



Staff Report

Agenda title: Master Plan Review
Presenter: Adrienne Isenhower
Meeting Date: October 19, 2021

A master plan for a cottage cluster in the Mountain Village district for property located at 99999 Old Home Road, and further identified by Buncombe County Parcel Identification Number 9731-76-1678 is presented for recommendation. The proposed development will include a six-unit vacation rental and three “treehouses”. The development is referred to as the Harry Potter Village.

The applicant has submitted a site plan with existing and proposed conditions of the site, a grading and stormwater plan, and a water and sewer plan. The proposed use is allowed in the Mountain Village zoning district with submittal of the plans listed above. The Planning and Zoning Board of Adjustment (PZBOA) will review the proposal and make a recommendation to the Board of Commissioners. The PZBOA will not meet until after this agenda packet is delivered. Staff will provide a written recommendation from that board prior to the Board of Commissioners meeting on October 19th.

As a reminder, the Mountain Village district requires the following standards:

- Maximum eight dwelling units per acre
- Impervious surface shall not exceed 70% total land area
- Landscape buffer between incompatible uses
- Open/recreational space required at a ratio of 300 square feet per residential dwelling unit and 100 square feet per 1,000 gross square feet of nonresidential uses
- Pedestrian connectivity required via sidewalks or trails



REZONING APPLICATION

Complete the following application. All requested information must be provided, and supplemental information submitted for the application to be complete. Please submit the application to Planning Department staff at least 21 days prior to the Planning Board meeting at which the request will be heard.

TYPE OF REQUEST

☐ General Rezoning

☒ Master Plan

☐ Conditional Rezoning

PETITIONER INFORMATION

Petitioner Name: Mike Parrish

Date: 8/16/2021

Address: 21 Carolina Sunset Pass

City: Asheville

State: North Carolina

Zip Code: 28804

Phone: 828-712-6767

Email: mountainlife2@outlook.com

PROPERTY OWNER INFORMATION:

Petitioner Name: Mike Parrish

Date: 8/16/2021

Address: 21 Carolina Sunset Pass

City: Asheville

State: North Carolina

Zip Code: 28804

Phone: 828-712-6767

Email: mountainlife2@outlook.com

PARCEL INFORMATION: Please include a legal description or most recent plat with application.

Address: 99999 Old Home Road Woodfin NC

NCPIN#: 9731-76-1678

Acreage: 8.93

Current Zoning District: Mountain Village

Proposed Zoning District: Mountain Village

Statement of Reasonableness: *This application is for the proposed use of a 6 unit vacation rental village and 3 treehouses. This use is similar to the surrounding uses and we understand that it is allowable within the current zoning.*

APPLICANT/OWNER SIGNATURE

I certify that I understand that my rezoning request must be consistent with the Comprehensive Plan. I further certify that I am authorized to submit this application and that all the information presented is accurate to the best of my knowledge. I also understand that incomplete applications will delay the application process.

Applicant Signature:

Date:

8-13-21

Owner Signature:

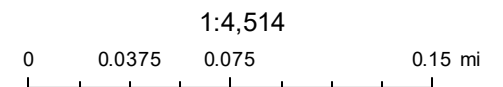
Date:

8-13-21

Buncombe County



September 23, 2021



TOWN OF WOODFIN

CONTACTS

 EXIST. BOUNDARY
 EXIST. ADJOINER
 MONUMENT FOUND
 REBAR FOUND
 IRON PIPE FOUND
 NAIL FOUND
 CORNER TREE FOUND
 EXIST. STREAM
 EXIST. STREAM BUFFER
 EXIST. WETLAND
 EXIST. FEMA NON-ENCROACHMENT
 FEMA FLOOD HAZARD AREA (1%)
 FEMA FLOOD HAZARD AREA (0.2%)
 EXIST. RIGHT OF WAY
 EXIST. EASEMENT
 EXIST. BUILDING SETBACK
 EXISTING BUILDING
 EXISTING SIDEWALK
 EXISTING PAVEMENT
 EXISTING GRAVEL
 EXIST. CURB
 EXIST. MANHOLE
 EXIST. MANHOLE
 EXIST. SANITARY SEWER
 EXIST. SEWER CLEAN OUT
 EXIST. WATER LINE
 EXIST. WATER METER
 EXIST. FIRE HYDRANT
 EXIST. WATER VALVE
 EXIST. OVERHEAD UTILITIES
 EXIST. POWER POLE
 EXIST. UNDERGROUND UTILITIES
 EXIST. STORM DRAIN
 EXIST. CURB INLET
 EXIST. JUNCTION BOX
 EXIST. DROP INLET
 EXIST. TELE MANHOLE
 EXIST. DROP INLET
 EXIST. TRANSFORMER
 EXIST. LIGHT POLE
 EXIST. MINOR CONTOUR
 EXIST. MAJOR CONTOUR
 ABANDON EASEMENT
 DEMO BUILDING
 DEMO CONCRETE
 DEMO PAVEMENT
 DEMO GRAVEL
 DEMO CURB
 DEMO SANITARY SEWER
 DEMO WATER LINE
 DEMO OTHER UTILITIES
 DEMO STORM DRAIN

 TREE TO REMAIN

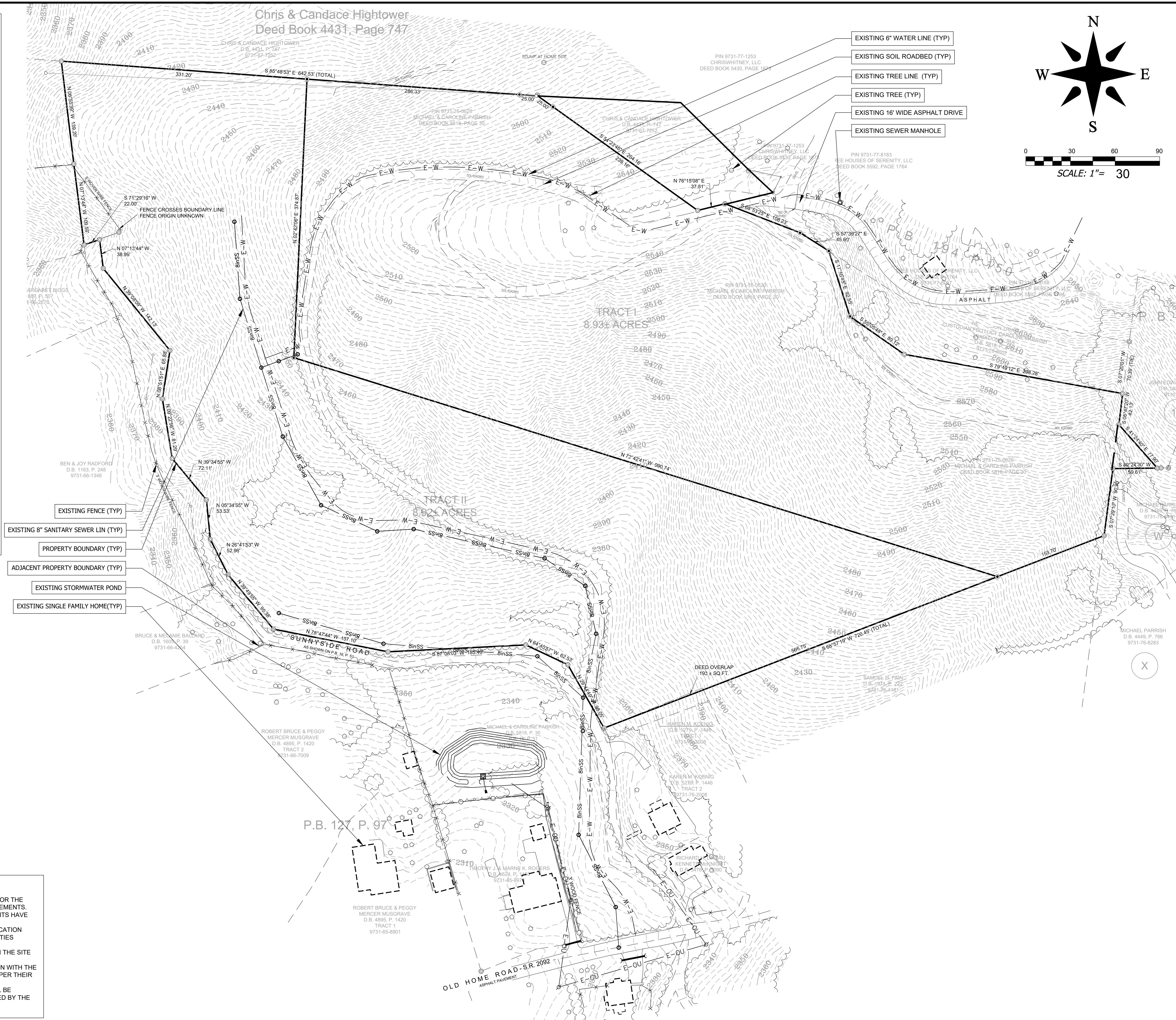
 TREE TO BE REMOVED

 EXIST. FENCE

PROPERTY ADDRESS: 99999 OLD HOME ROAD
WOODFIN NC 28084

PIN NUMBER: 9731761678
PROPERTY SIZE: 8.93 AC
ZONING REVIEW: TOWN OF WOODFIN
EROSION CONTROL REVIEW: BUNCUMBE COUNTY
STORMWATER REVIEW: BUNCUMBE COUNTY
ZONING CLASSIFICATION: CZ
PROPOSED NUMBER OF UNITS: 9
PROPOSED DENSITY: 1.0 UNITS PER ACRE
PROPERTY OWNER: MICHAEL PARRISH
CONTACT: MICHAEL PARRISH
ADDRESS: 21 CAROLINA SUNSET PASS
ASHEVILLE NC 28084
EMAIL: MOUNTAINLIFE2@OUTLOOK.COM
PHONE: (828) 712-6767
DEVELOPER: MICHAEL PARRISH
CONTACT: MICHAEL PARRISH
ADDRESS: 21 CAROLINA SUNSET PASS
ASHEVILLE NC 28084
EMAIL: MOUNTAINLIFE2@OUTLOOK.COM
PHONE: (828) 712-6767
ENGINEER: BROOKS ENGINEERING
CONTACT: WEDSEL
ADDRESS: 17 ARLINGTON ST
ASHEVILLE, NC 28801
EMAIL: WEDSEL@BROOKSEA.COM
PHONE: 828-232-4700

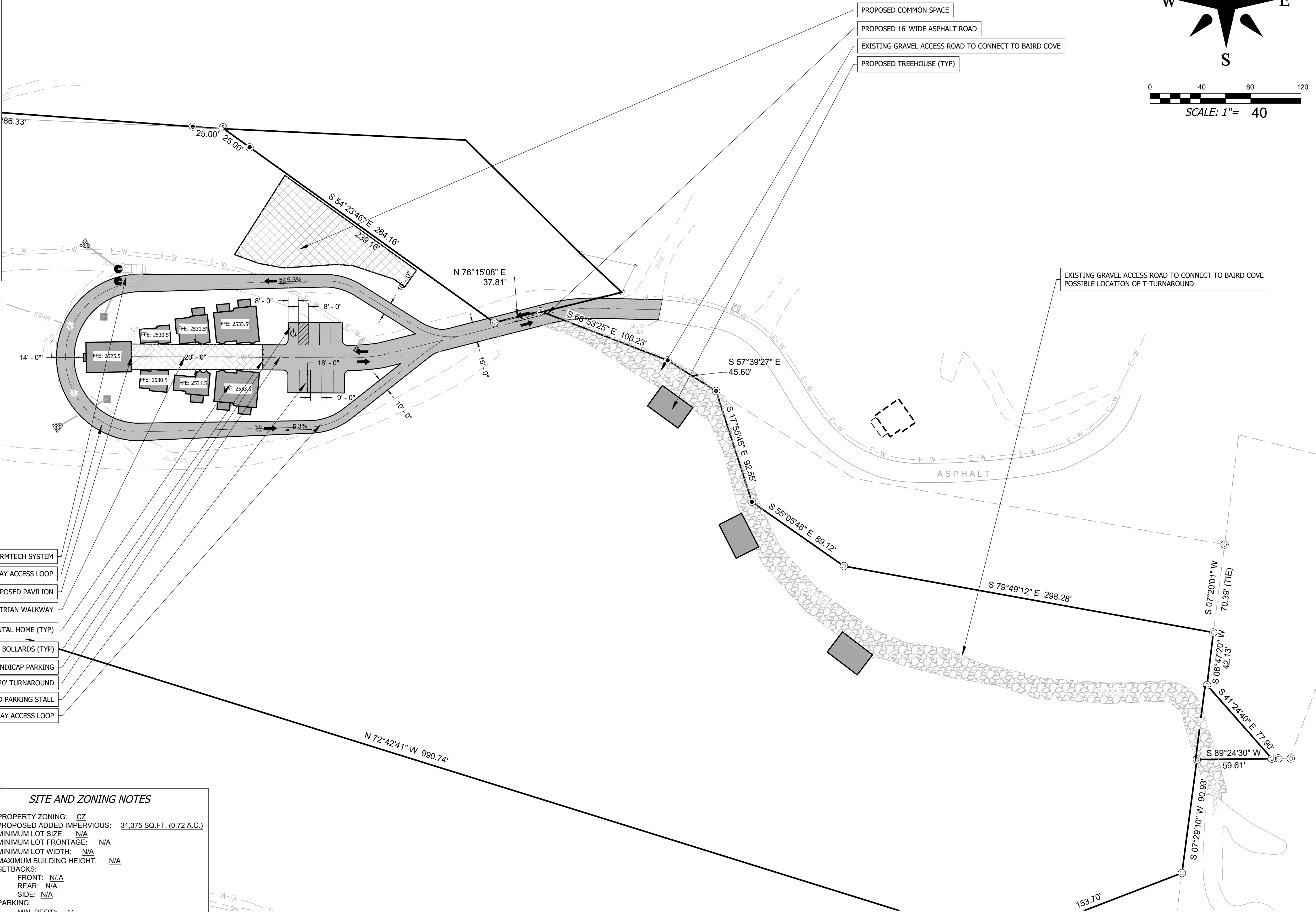
1. CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS FOR THE DEMOLITION OF BUILDINGS AND EXISTING SITE IMPROVEMENTS. NO WORK SHALL COMMENCE UNTIL THE PROPER PERMITS HAVE BEEN ACQUIRED.
2. CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY LOCATION SERVICE FOR THIS AREA AND HAVE THE EXISTING UTILITIES LOCATED PRIOR TO BEGINNING WORK.
3. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROPRIATE MANNER.
4. CONTRACTOR TO COORDINATE ANY UTILITY DEMOLITION WITH THE APPROPRIATE UTILITY PROVIDER AND DEMO UTILITIES PER THEIR SPECIFICATIONS AND STANDARDS.
5. EXCESS EXCAVATION TO BE USED A LATER DATE SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DETERMINED BY THE OWNER, AND STABILIZED WITH PERMANENT SEEDING.



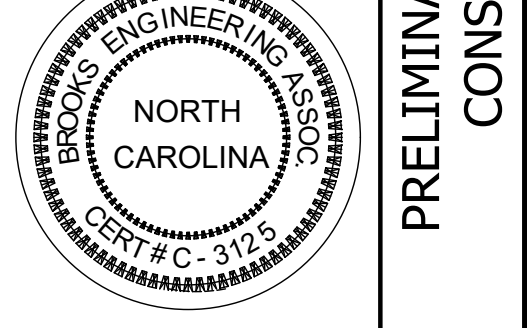
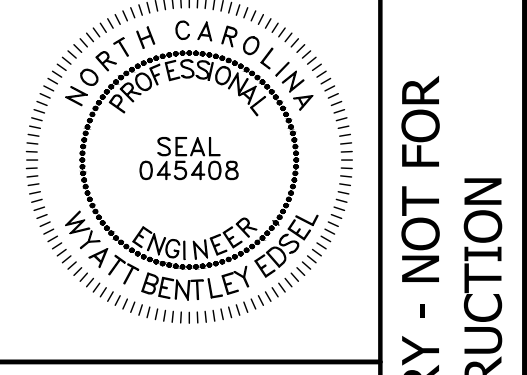
Project No: 545221		HARRY POTTER VILLAGE RESIDENTIAL SUBDIVISION TOWN OF WOODFIN NORTH CAROLINA	 Planning • Engineering • Surveying • Environmental Services •	Designed: ZAW Drawn: ZAW Checked: WBE	Reviewed: WBE Scale: AS NOTED Date: 08/13/2021	 	No. 1	REVISIONS/SUBMISSIONS PRELIMINARY SUBMISSION	Date 08/13/2021
C-2.0				Drawing Title: EXISTING CONDITIONS & DEMO PLAN				PRELIMINARY - NOT FOR CONSTRUCTION	

Location: L:\2021 Projects\545221 Parrish_Harry Potter Village\Dwg\CIVIL BASE 545221.dwg

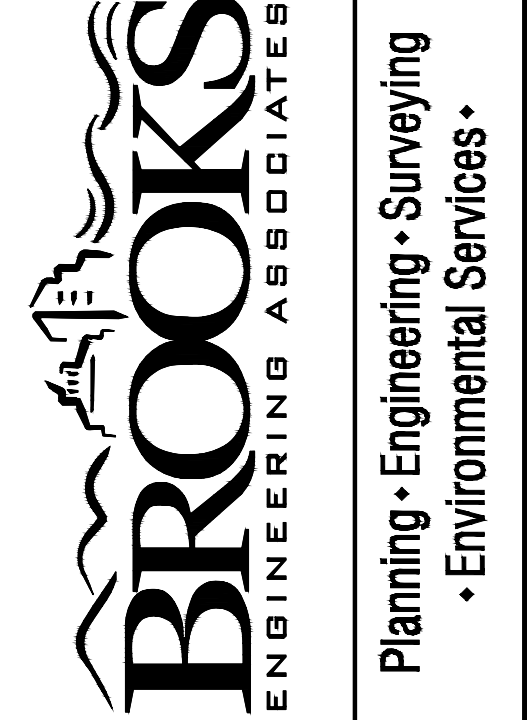
SITE PLAN LEGEND	
	EXIST. BOUNDARY
	EXIST. ADJOINER
	EXIST. STREAM
	EXIST. STREAM BUFFER
	EXIST. WETLAND
	EXIST. FEMA NON-ENCROACHMENT FEMA FLOOD HAZARD AREA (1%) FEMA FLOOD HAZARD AREA (0.2%)
	EXIST. RIGHT OF WAY
	EXIST. BUILDING SETBACK
	EXIST. BUILDING
	EXISTING SIDEWALK
	EXISTING PAVEMENT
	EXIST. CURB
	NEW PROPERTY LINES
	NEW RIGHT OF WAY
	NEW EASEMENT
	BUILDING SETBACK LINE
	NEW LANDSCAPE BUFFER
	NEW COMMON OPEN SPACE
	NEW BUILDING
	NEW PAVEMENT
	NEW HD PAVEMENT
	NEW CONCRETE SIDEWALK
	NEW GRAVEL
	NEW CURB & GUTTER
	NEW WALL (BY OTHERS)



No.	REVISIONS/SUBMISSIONS	Date
1	PRELIMINARY SUBMISSION	08/13/2021



Reviewed:	WBE	Scale:	AS NOTED
Designed:	ZAW	Drawn:	ZAW
Checked:	WBE	Date:	08/13/2021
15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com			



HARRY POTTER VILLAGE RESIDENTIAL SUBDIVITION		NORTH CAROLINA
TOWN OF WOODFIN		

Project No:	545221	Drawing Title:	SITE PLAN
C-4.0			

DEVELOPMENT DATA	
PROPERTY ADDRESS:	99999 OLD HOME ROAD WOODFIN NC 28804
PIN NUMBER:	9731761678
PROPERTY SIZE:	8.93 AC
ZONING REVIEW:	TOWN OF WOODFIN
EROSION CONTROL REVIEW:	BUNCOMBE COUNTY
STORMWATER REVIEW:	BUNCOMBE COUNTY
ZONING CLASSIFICATION:	CZ
PROPOSED NUMBER OF UNITS:	9
PROPOSED DENSITY:	1.0 UNITS PER ACRE
PROPERTY OWNER:	MICHAEL PARRISH
CONTACT:	MICHAEL PARRISH
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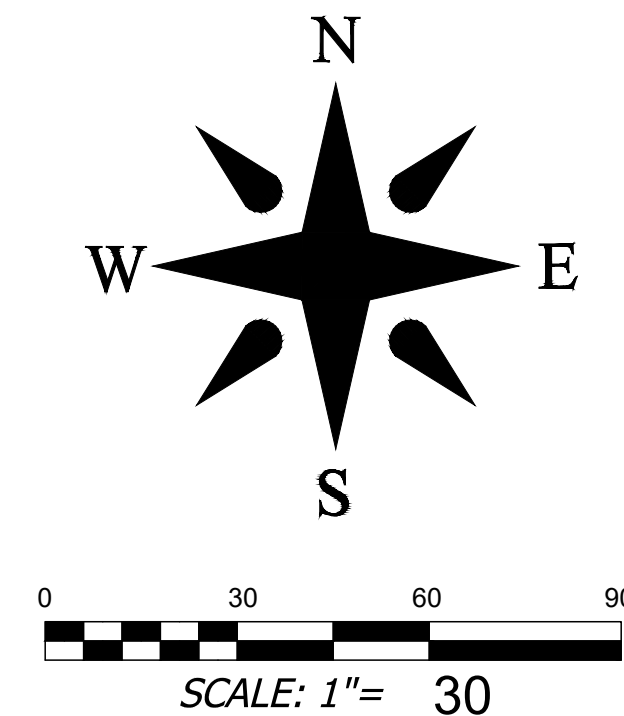
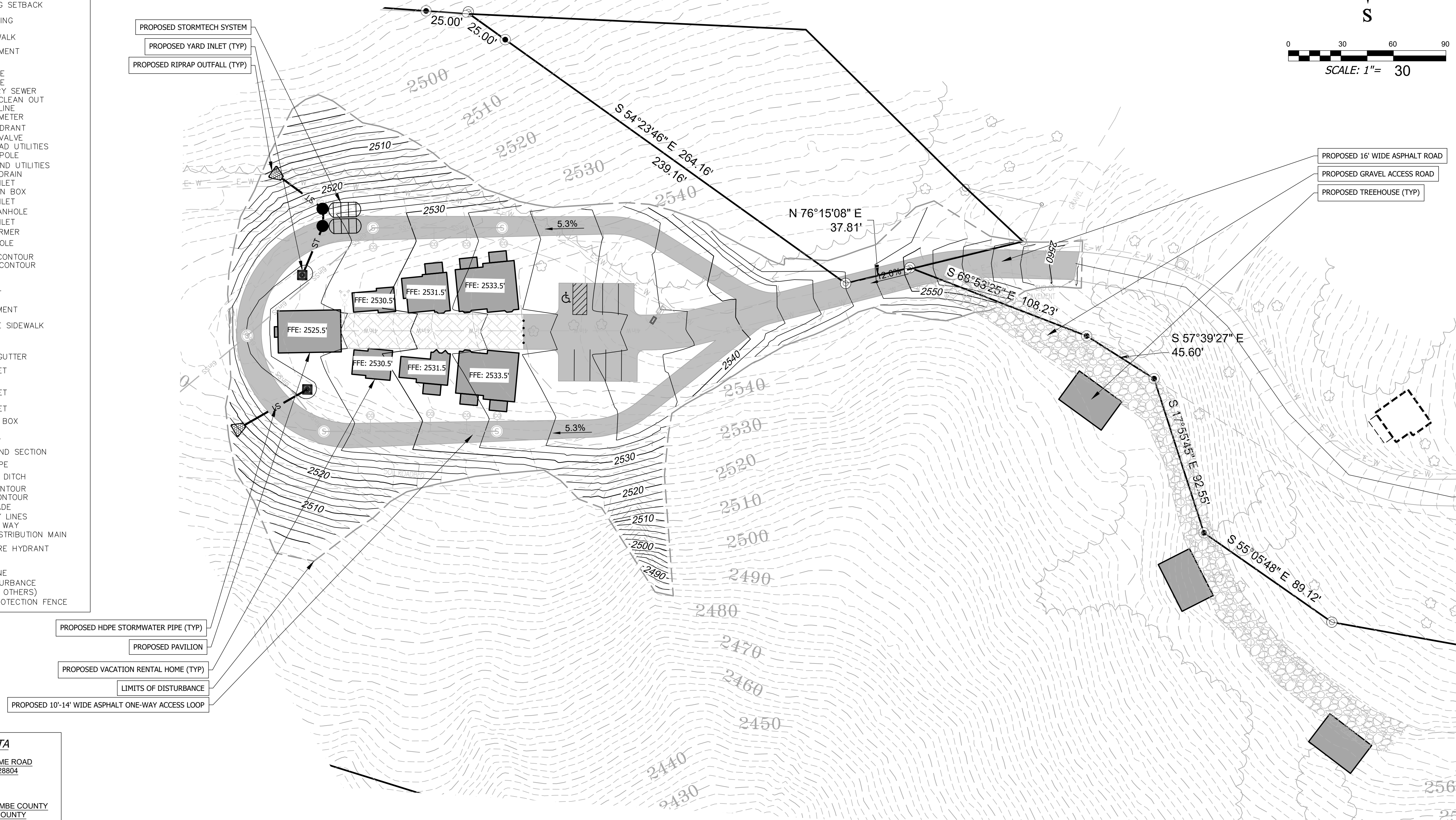
SITE AND ZONING NOTES	
PROPERTY ZONING:	CZ
PROPOSED ADDED IMPERVIOUS:	31,375 SQ.FT. (0.72 A.C.)
MINIMUM LOT SIZE:	N/A
MINIMUM LOT FRONTAGE:	N/A
MINIMUM LOT WIDTH:	N/A
MAXIMUM BUILDING HEIGHT:	N/A
SETBACKS:	
FRONT:	N/A
REAR:	N/A
SIDE:	N/A
PARKING:	
MIN. REQ'D:	11
MAX REQ'D:	N/A
PROVIDED:	12
ADA SPACES:	1
BICYCLES SPACES REQ'D:	N/A
BICYCLES SPACES PROVIDED:	N/A
COMMON OPEN SPACE REQ'D:	4,500 SQ.FT.
COMMON OPEN SPACE PROVIDED:	5,463 SQ.FT.
*ALL DIMENSIONS ARE FROM EDGE OF ASHPHALT, FACE OF CURB, FACE OF WALL, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.	
*ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF DETAILS, SPECIFICATIONS, AND OTHER DEVELOPMENT ORDINANCES OF	

File Location: L:\2021 Projects\545221 Parrish_Harry Potter Village\DWG\CIVIL BASE 545221.dwg

EXIST. BOUNDARY
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 NEW HEADWALL
 NEW FLARED END SECTION
 NEW STORM PIPE
 RIP RAP LINED DITCH
 NEW MINOR CONTOUR
 NEW MAJOR CONTOUR
 NEW SPOT GRADE
 NEW PROPERTY LINES
 NEW RIGHT OF WAY
 NEW WATER DISTRIBUTION MAIN
 NEW WATER FIRE HYDRANT
 NEW MANHOLE
 NEW SEWER LINE
 LIMITS OF DISTURBANCE
 NEW WALL (BY OTHERS)
 TEMP. TREE PROTECTION FENCE

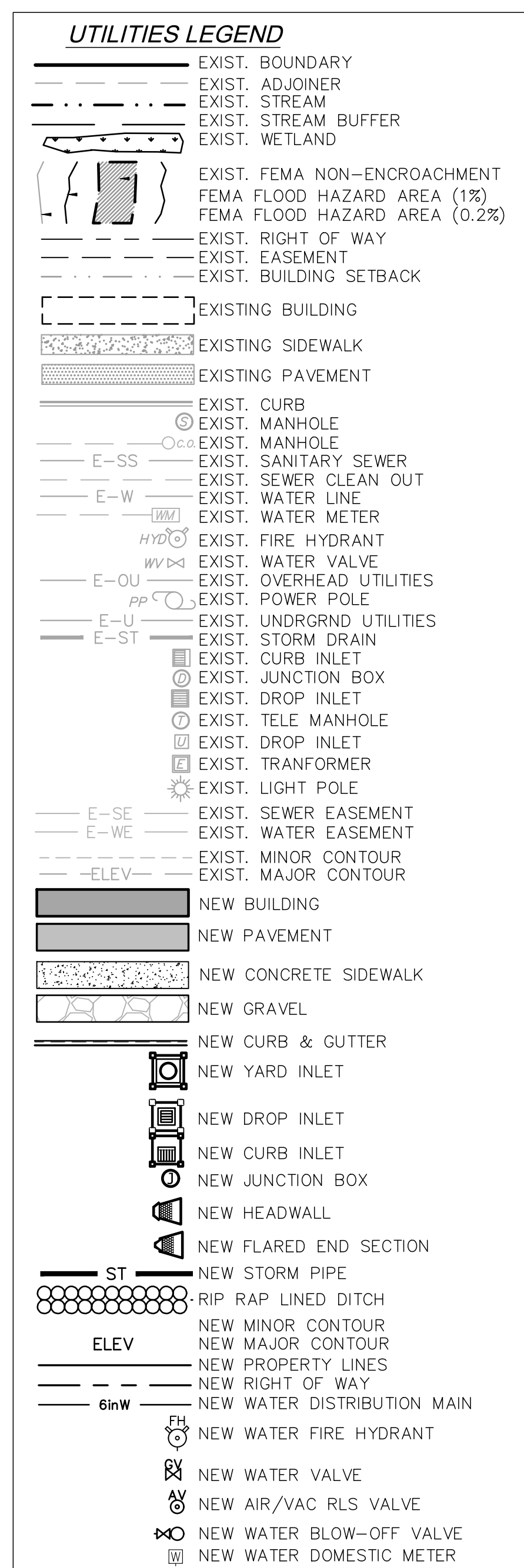
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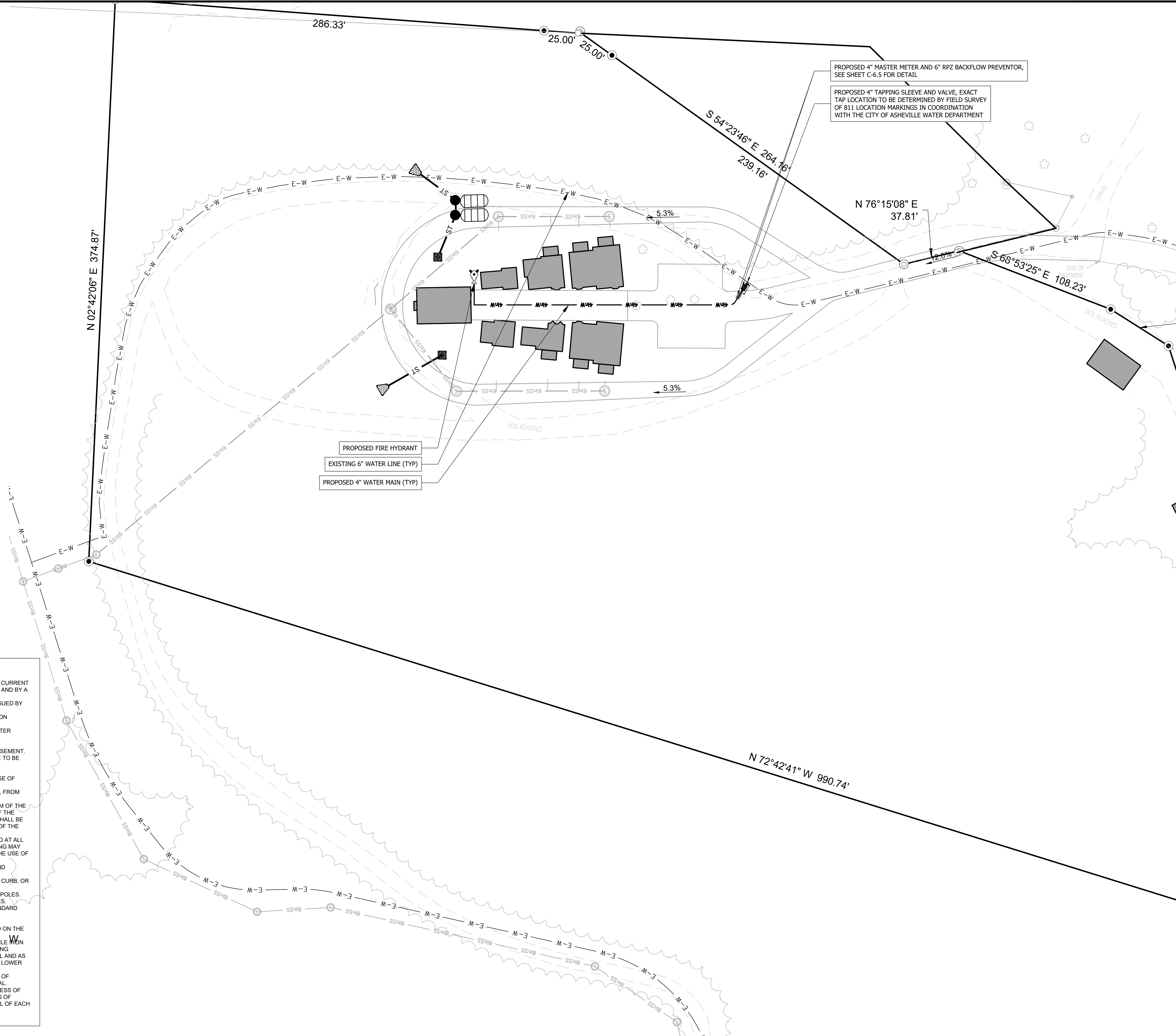
Project No: 545221	HARRY POTTER VILLAGE RESIDENTIAL SUBDIVITION TOWN OF WOODFIN NORTH CAROLINA		Designed: ZAW Drawn: ZAW Checked: WBE Scale: AS NOTED Date: 08/13/2021			No. 1	REVISIONS/SUBMISSIONS PRELIMINARY SUBMISSION	Date 08/13/2021
C-5.0								
Drawing Title: GRADING & STORMWATER PLAN		Planning • Engineering • Surveying • Environmental Services •		PRELIMINARY - NOT FOR CONSTRUCTION		Revision/Submission number with a triangle indicates changes made on this sheet		

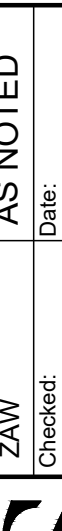
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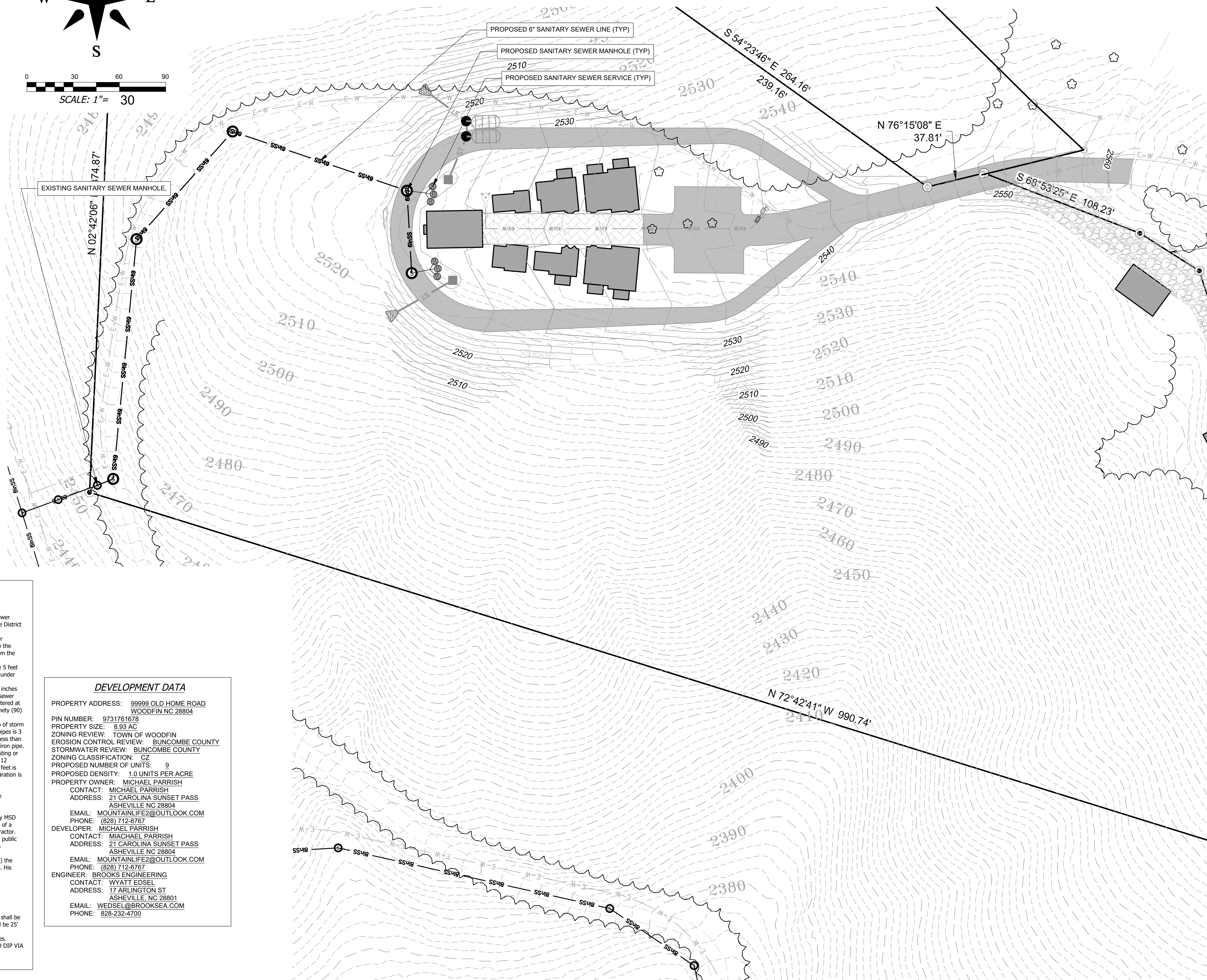
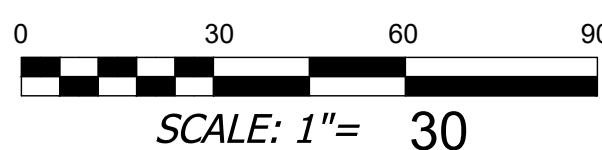
CITY OF ASHEVILLE WATER NOTES

1. INSTALLATIONS SHALL BE IN ACCORDANCE WITH CITY OF ASHEVILLE CURRENT DESIGN GUIDELINES UNDER THE INSPECTION OF CITY OF ASHEVILLE AND BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
2. CONSTRUCTION ON THIS SITE MUST BE AUTHORIZED BY PERMITS ISSUED BY THE CITY OF ASHEVILLE WATER DEPARTMENT
3. ALL SITEWORK SHALL BE IN ACCORDING TO LOCAL, STATE AND NATION REGULATORY STANDARDS.
4. A MINIMUM COVER DEPTH OF 3' SHALL BE MAINTAINED OVER ALL WATER LINES.
5. ALL BRASS FITTINGS MUST BE CERTIFIED LEAD FREE.
6. NO LANDSCAPING SHALL BE ALLOWED INSIDE THE 20' WATERLINE EASEMENT.
7. ALL FIRE HYDRANTS, VAULTS, BACKFLOWS AND WATER METERS ARE TO BE LOCATED IN RELATIVELY FLAT AREAS AND OUTSIDE PAVEMENT OR DRIVEWAYS.
8. ALL WATER METERS ARE TO BE LOCATED WITHIN 5 FEET OF THE EDGE OF PAVEMENT OR BACK OF CURB.
9. WATER LINES SHALL HAVE A 3.0' HORIZONTAL SEPARATION MINIMUM, FROM STORM DRAIN BOXES.
10. WHERE A WATER MAIN CROSSES A SANITARY SEWER, IF THE BOTTOM OF THE WATER LINE IS LESS THAN 18" ABOVE TOP OF THE SEWER LINE, OR IF THE WATER LINE IS UNDER THE SEWER LINE, THE WATER AND SEWER LINES SHALL BE DUCTILE IRON PIPE FOR A MINIMUM DISTANCE OF 10' ON EACH SIDE OF THE CROSSING.
11. RESTRAINED PIPE BY AN APPROVED MANUFACTURER SHALL BE USED AT ALL FITTING AND OTHER REQUIRED SECTIONS OF PIPE. THRUST BLOCKING MAY BE USED WHERE CONDITIONS DO NOT REQUIRE TO EXISTING LINES OR THE USE OF MECHANICAL RESTRAINT IS NOT FEASIBLE.
12. FIRE HYDRANTS AND METERS SHALL BE LOCATED IN FLAT AREAS, AND OUTSIDE OF DRIVEWAYS.
13. WATER METERS SHALL BE LOCATED WITHIN 5 FEET OF THE BACK OF CURB, OR WITHIN 5 FEET OF THE SIDEWALK.
14. MAINTAIN 5' FOOT SEPARATION BETWEEN WATER AND UTILITY/LIGHT POLES.
15. TREES SHALL BE PLANTED A MINIMUM OF 10' FROM NEW WATER LINES.
16. BACKFLOW PREVENTER ENCLOSURES ARE TO MEET ASSE 1060 STANDARD REQUIREMENTS
17. GAS, SEWER, AND OTHER UTILITIES SHALL BE INSTALLED SUCH THAT CLEARANCES FROM THE WATER LINE ARE MAINTAINED, OR LOCATED ON THE OPPOSITE SIDE OF THE ROAD.
18. ALL WATER MAINS 3" AND ABOVE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AND FITTINGS AS SPECIFIED BY AWWA C150 AND C151 FOR LAYING CONDITIONS PER THE CITY OF ASHEVILLE STANDARD TRENCH DETAIL, AND AS REQUIRED BY THE REQUIRED BEST TECHNICAL SPECIFICATIONS. ALL SERVICE LINES LOWER THAN 3" TO BE TYPE "K" COPPER TUBING.
19. ALL WATER LINES ARE TO BE INSTALLED IN ACCORDANCE WITH CITY OF ASHEVILLE WATER RESOURCES DESIGN AND CONSTRUCTION MANUAL.
20. METER BOXES SHALL BE CLEARLY LABELED TO DESCRIBE THE ADDRESS OF THE BUILDING SERVED. A PERMANENT NAMEPLATE WITH ENGRAVING OF ADDRESS SHALL BE PERMANENTLY SECURED TO THE INTERIOR WALL OF EACH METER BOX WITHIN 3' OF THE TOP.



Project No: 545221	HARRY POTTER VILLAGE RESIDENTIAL SUBDIVISION TOWN OF WOODFIN NORTH CAROLINA		Planning • Engineering • Surveying • Environmental Services •	Drawing Title: WATER PLAN	Designed: ZAW Drawn: ZAW Checked: WBE Date: 08/13/2021	Reviewed: WBE Scale: AS NOTED Date: 08/13/2021	15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com			PRELIMINARY - NOT FOR CONSTRUCTION	No. 1	REVISIONS/SUBMISSIONS PRELIMINARY SUBMISSION	Date 08/13/2021
											Revisions/Submission number with a triangle indicates changes made on this sheet.		

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	EXIST. WETLAND
	EXIST. FEMA NON-ENCROACHMENT
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	FEMA FLOOD HAZARD AREA (0.2%)
	EXIST. RIGHT OF WAY
	EXIST. BASEMENT
	EXIST. BUILDING SETBACK
	EXISTING BUILDING
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	NEW FLARED END SECTION
	NEW STORM PIPE
	NEW RIP LINED DITCH
	NEW MINOR CONTOUR
	NEW MAJOR CONTOUR
	NEW PROPERTY LINES
	NEW RIGHT OF WAY
	NEW WATER DISTRIBUTION MAIN
	NEW WATER FIRE HYDRANT
	NEW WATER VALVE
	NEW AIR/VAC RLS VALVE
	NEW WATER BLOW-OFF VALVE
	NEW WATER DOMESTIC METER



1. The Minimum cover over any sanitary sewer pipe shall be 3.0 feet.
2. All sewer pipe shall be PVC pipe class SDR 35 except as shown.
3. All sanitary sewer mains shall be designed and constructed in accordance with "Sewer Extension Procedures, Standards, and Specifications for the Metropolitan Sewerage District of Cumberland County, North Carolina" latest edition.
4. Sanitary sewers shall be laid at least 10 feet lateral edge to edge from existing or proposed water mains unless the top of the sewer main is at least 18 inches below the bottom of the water main and there is a horizontal separation of at least 3 feet from the closest edges of the pipes.
5. The minimum distance of the water main to the outside edge of manholes shall be 5 feet when the sanitary sewer line is at least 18 inches below the waterline and 10 feet under other circumstances.
6. Where sanitary sewers cross beneath water mains with a vertical separation of 18 inches or less, or where water mains cross under sewer mains, the entire leg of sanitary sewer shall be of water main standard ductile iron pipe. The water line pipe shall be centered at the point of the crossing and shall cross sanitary sewer lines at an approximate ninety (90) degree angle.
7. Sanitary Sewers shall have the top of the pipe at least 24 inches below the bottom of storm sewer pipe when the horizontal separation between the closest edges of the two pipes is 24 feet or less. Where sanitary and storm sewers cross with a vertical separation of less than 24 inches, the entire leg of sanitary sewer shall be of water main standard ductile iron pipe.
8. Water mains shall be laid at least 10 feet lateral edge to edge from existing or proposed storm drain. If the elevation of the bottom of the water main is at least 12 inches above the top of the storm drain, a clear horizontal separation of at least 3 feet is allowable. Where a water main and storm sewer cross, the minimum vertical separation is 12 inches and the crossing should be at an approximate 90 degree angle.
9. Distances are horizontal distance and do not reflect the actual length of pipe.
10. MSD Specifications and Requirements supersede all others in the installation of the proposed extension.
11. All work shall be performed by a North Carolina Licensed contractor.
12. No work on any portion of the sewer system proposed to be publicly maintained by MSD shall begin until a preconstruction conference has been conducted in the presence of a duly authorized representative from the Project Engineer's office, MSD and the Contractor.
13. MSD's construction inspector shall be present at any testing done on the proposed public sewer system or services thereto. All testing shall be done by the Contractor at his expense. MSD's Inspector shall be present to observe that the tests were done in accordance to MSD and NCDEM requirements and to verify (to MSD's satisfaction) the testing results. The Project Engineer shall be notified and invited to any such tests. His attendance at such tests is desirable but not mandatory.
14. No Doghouse Manholes allowed.
15. The entire permanent sewer corridor easement must be free of tree plantings and permanent structures.
16. Coordinates are NC Grid Nad 83.
17. In accordance with MSD standards, for sewer lines at depths up to 12', the sewer easement shall be 20' wide. For sewer lines greater than 14', the sewer easement shall be 30' wide. For sewer lines at depths between 12' and 14', the sewer easement shall be 25' wide.
18. Easement areas must be cleared and remain free of trees and permanent structures.
19. IF MINIMUM COVER OF 3' CANNOT BE MAINTAINED, PIPE MUST TRANSITION TO DIP VI PIPE.
20. SLOPE-SLEEVE COUPLING AND EXTEND TO THE NEXT MANHOLE.
21. All sewer lines are located in a FEMA Section X zone.

PROPERTY ADDRESS: 99999 OLD HOME ROAD
WOODFIN NC 28804

PIN NUMBER: 9731761678

PROPERTY SIZE: 8.93 AC

ZONING REVIEW: TOWN OF WOODFIN

EROCN CONTROL NO.: 10-0000000000000000 BUNCOMBE COUNTY

STORMWATER REVIEW: BUNCOMBE COUNTY

ZONING CLASSIFICATION: CZ

PROPOSED NUMBER OF UNITS: 9

PROPOSED DENSITY: 1.0 UNITS PER ACRE

PROPERTY OWNER: MICHAEL PARRISH

CONTACT: MICHAEL PARRISH

ADDRESS: 21 CAROLINA SUNSET PASS
ASHVILLE NC 28804

EMAIL: MOUNTAINLIFE2@OUTLOOK.COM

PHONE: (828) 712-6767

DEVELOPER: MICHAEL PARRISH

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ENGINEER: BROOKS ENGINEERING

CONTACT: WYATT EDEL

ADDRESS: 17 ARKLETON ST
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EMAIL: WEDEL@BROOKSEA.COM

PHONE: 828-232-4700

Project No: 545221	 BROOKS ENGINEERING ASSOCIATES HARRY POTTER VILLAGE RESIDENTIAL SUBDIVISION TOWN OF WOODFIN NORTH CAROLINA	Designed: ZAW Reviewed: WBE Drawn: ZAW Scale: AS NOTED Checked: ZAW Date: 08/13/2021 15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksgsa.com	 SEAL 045408 ENGINEER WYATT BENTLEY ENSLE  SEAL 045408 ENGINEER WYATT BENTLEY ENSLE	No. 1 REVISIONS/SUBMISSIONS PRELIMINARY SUBMISSION Date 08/13/2021
		Project No: 545221 C-7.0	Drawing Title: SEWER PLAN Planning • Engineering • Surveying • Environmental Services •	PRELIMINARY - NOT FOR CONSTRUCTION Revision/Submit number with a triangle indicates changes made on this sheet