



STAFF REPORT

Agenda Title: **Old Home Road**

Presenter: **Michael Saunders / Mike Parrish**

Meeting Date: **January 4, 2020 1**

Summary:

This is a planned 20-unit subdivision at unaddressed property on Old Home Road, identified by Pin Number 973176062. This Property sits in our Mountain-Village zoning district. The subdivision is a right of use for the property.

Process and Timeline:

- Subdivision Plat Submitted
- Planning Department accepts Plans
- Schedules meeting for Planning and Zoning Board
- Planning and Zoning Board hears initial request with Preliminary Plat
- Planning and Zoning Board will suggest any edit they may have or ask any questions concerns they have
- Planning and Zoning Board recommendation, forwarded to Board of Commissioners for review

Recommendation/Next Steps

Staff recommends approval of preliminary plat so developer can move forward with there project.



Town of Woodfin

90 Elk Mountain Road
Woodfin, NC 28804
PH:(828) 253-4887
FX:(828) 253-4700

Notice of Public Hearing on a Major Subdivision Application

In accordance with the provisions outlined in the Town of Woodfin's Code of Ordinances, let it hereby be known to all interested parties that an application has been made to the Planning and Zoning Board of Adjustment for a Major Subdivision request. The major subdivision is for 20 single family homes for property located at Old Home Road further identified by Buncombe County Parcel Identification Number as (PIN) 973176062. The plans submitted are also enclosed for your review.

A public hearing will be held **Monday, January 4th, 2020 at 6:30 PM** (or as soon thereafter as possible) via Zoom. Detailed directions for how to attend the Zoom meeting are below.

Interested citizens are encouraged to attend this meeting and or review plans for the development prior to the meeting. Copies of the plan are available for review during normal business hours at the Town Hall, located at 90 Elk Mountain Road in Woodfin. Inquiries regarding this matter can be made at 253-4887 or to msaunders@woodfin-nc.gov.

How to Access the Public Hearing Via Zoom

To access the Planning and Zoning Board of Adjustment meeting, please visit <http://zoom.us> to sign up for a Zoom account. The registration is free and will enable you to participate with your computer at home. You may also download the free Zoom app on your mobile device.

Please use the link, meeting ID and password provided below to join the Zoom meeting. If you would like this information via email, please contact Michael Saunders and Adrienne Isenhower at Town Hall at 828-253-4887.

Join Zoom Meeting

<https://zoom.us/j/93012532241?pwd=U1BQRzUzNSUqL2FKdW9XVmUvMStTZz09>

Meeting ID: 930 1253 2241

Passcode: 447701

One tap mobile

+13126266799,,93012532241#,,,,,0#,,447701# US (Chicago)

+16465588656,,93012532241#,,,,,0#,,447701# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington D.C.)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

Meeting ID: 930 1253 2241

Passcode: 447701

Find your local number: <https://zoom.us/u/aRy0khdt>

If you are unable to utilize any of these options for Zoom, but would still like to provide comment on this item, please send your comments via email to either Michael Saunders msaunders@woodfin-nc.gov or Adrienne Isenhower at aisenhower@woodfin-nc.gov

Search By Deed or Plat

Sales Report Buffer Export Map Export to Google Map

Search Results

Export to Excel Print Results

PropCard

PROPERTY CARD (<http://f>)

5818/0030

DEEDBOOK/DEEDPAGE:

(<http://registerofdeeds.bu>)

bAutoSearch=true&bk=58

0016/0051

PLATBOOK/PLATPAGE:

(<http://registerofdeeds.bu>)

bAutoSearch=true&bk=16

Sales Report:

Sales Report

PINNUM:

973176062000000

OWNER:

PARRISH MICHAEL;PARR

CONDOUNIT:

CONDOBUILDING:

SUBNAME:

PINE BURR PARK

SUBLOT:

96 96 1/2 97 97 1/2 98 98

SUBBLOCK:

SUBSECT:

HOUSENUMBER:

99999

NUMBERSUFFIX:

DIRECTION:

STREETNAME:

OLD HOME

STREETTYPE:

RD

TOWNSHIP:

22

ACREAGE:

17.54999924

DEEDDATE:

20191003

COUNTY:

BUN

CITY:

CWO

FIREDISTRICT:

FNB

SCHOOLDISTRICT:

CAREOF:

ADDRESS:

431 MOSTERT DR

CITYNAME:

ASHEVILLE

STATE:

NC

ZIPCODE:

28804

CLASS:

320 (<https://gis.buncomb>)

TOTALMARKETVALUE:

263000

APPRAISEDVALUE:

263000

TAXVALUE:

263000

LANDUSE:

NEIGHBORHOODCODE:

R3VD

LANDVALUE:

263000

BUILDINGVALUE:

0

Measure Tools

© 2020 - BC :: Information Technology - GIS (<http://gis.buncombecounty.org>)

<https://gis.buncombecounty.org/buncomap/#>

Search By Deed or Plat

Sales Report Buffer Export Map Export to Google Map

Search Results

Export to Excel Print Results

PropCard

PROPERTY CARD (<http://registerofdeeds.buncombecounty.org/propcard.aspx?bk=580016&pg=0051>)

DEEDBOOK/DEEDPAGE:

(<http://registerofdeeds.buncombecounty.org/deedbook.aspx?bk=580016&pg=0051>)

PLATBOOK/PLATPAGE:

(<http://registerofdeeds.buncombecounty.org/platbook.aspx?bk=160016&pg=0051>)

Sales Report:

Sales Report

PINNUM:

973176062000000

OWNER:

PARRISH MICHAEL;PARRISH MICHAEL

CONDOUNIT:

CONDOBUILDING:

SUBNAME:

PINE BURR PARK

SUBLOT:

96 96 1/2 97 97 1/2 98 98 1/2

SUBBLOCK:

SUBSECT:

HOUSENUMBER:

99999

NUMBERSUFFIX:

DIRECTION:

STREETNAME:

OLD HOME

STREETTYPE:

RD

TOWNSHIP:

22

ACREAGE:

17.54999924

DEEDDATE:

20191003

COUNTY:

BUN

CITY:

CWO

FIREDISTRICT:

FNB

SCHOOLDISTRICT:

CAREOF:

ADDRESS:

431 MOSTERT DR

CITYNAME:

ASHEVILLE

STATE:

NC

ZIPCODE:

28804

CLASS:

320 (<https://gis.buncombecounty.org/landuse.aspx>)

TOTALMARKETVALUE:

263000

APPRAISEDVALUE:

263000

TAXVALUE:

263000

LANDUSE:

NEIGHBORHOODCODE:

R3VD

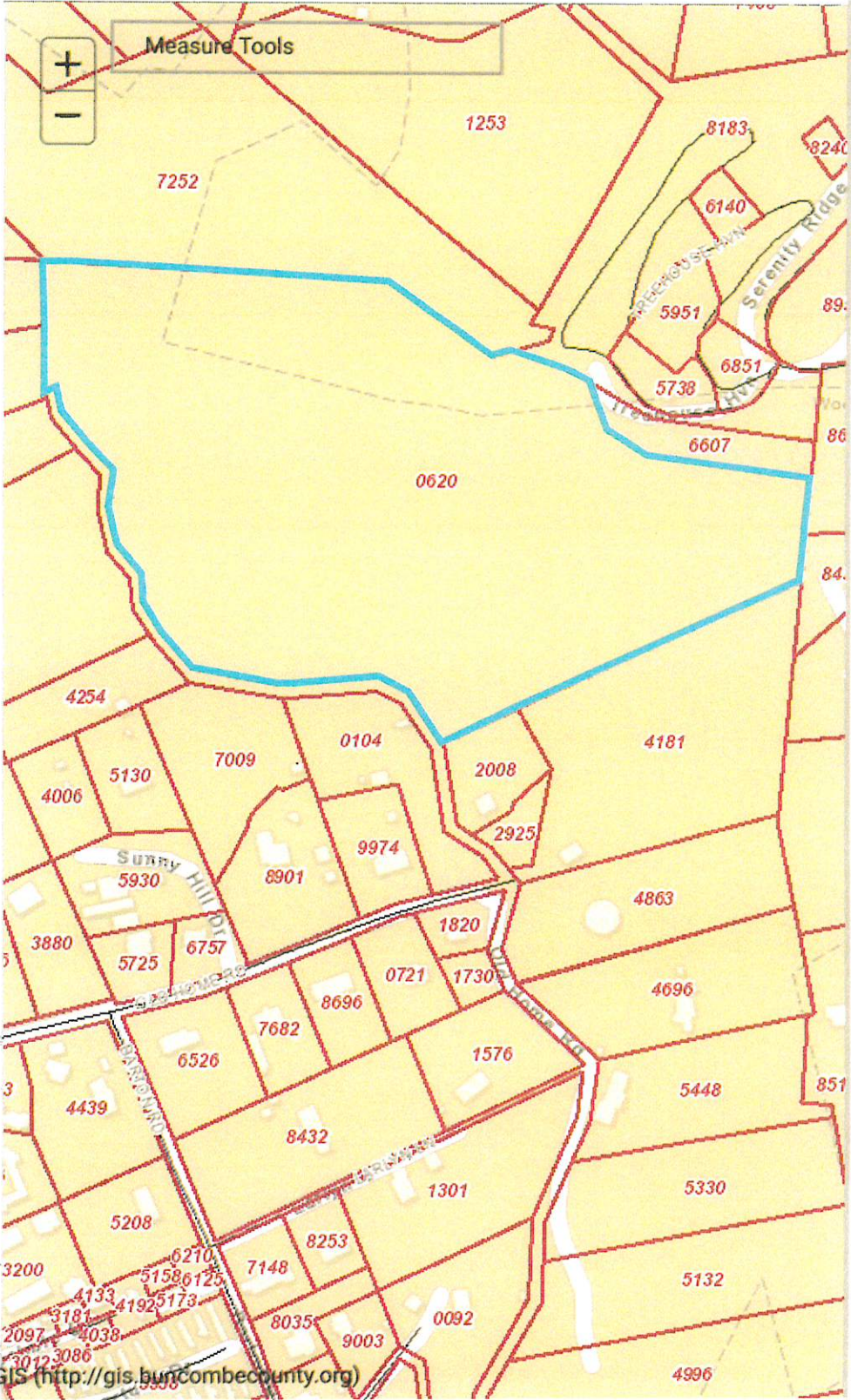
LANDVALUE:

263000

BUILDINGVALUE:

0

Measure Tools



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21 LOT RESIDENTIAL SUBDIVISION

NOTES

PROJECT MAP

CONTACTS

SITE NOTES:

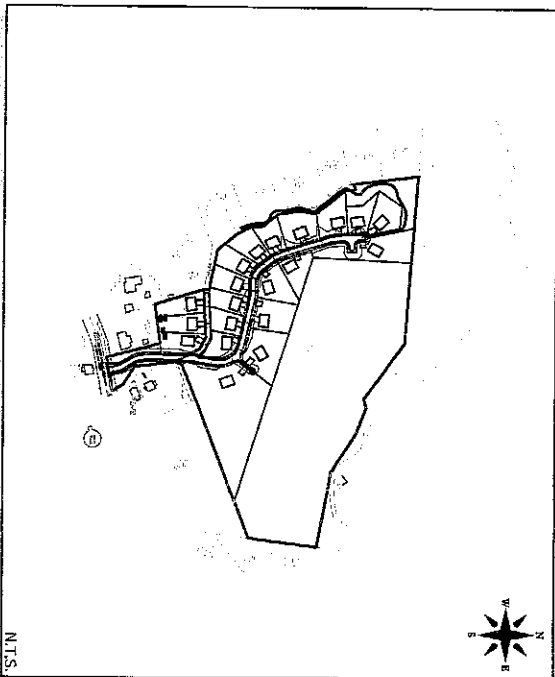
1. PROJECT ADDRESS: 99999 OLD HOME RD
2. TOTAL ACRES: 18.65 ± 0.04 ACRES
3. ZONING: ZONED FOR INDUSTRIAL
4. EXISTING TOPOGRAPHY: 1011-13-0600A & 9271-76-010A
5. EXISTING TOPO AND SHOWING WAS PROVIDED BY: SPENCER SURVEYING
6. ESTIMATED BOUNDARY INFO PROVIDED BY: SPENCER SURVEYING
7. PEAHA FLOOD PANEL: 37000727 PANEL
8. RECEIVING STREAM: WAGNER BRANCH, 6-87-13, CLASS C
9. SOIL TYPE(S): BONE, BONE S1D
10. LATITUDE: LONGITUDE: 35.6666149, -82.5803534
11. DISTURBED ACRES: 7.66661
12. REGIONAL CONTROL REVIEW: BUNDOOMB COUNTY
13. STORMWATER MANAGEMENT REVIEW: BUNDOOMB COUNTY

GENERAL NOTES:

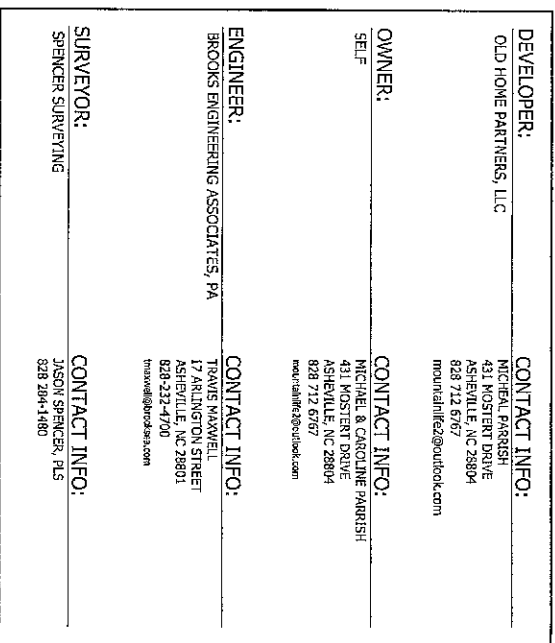
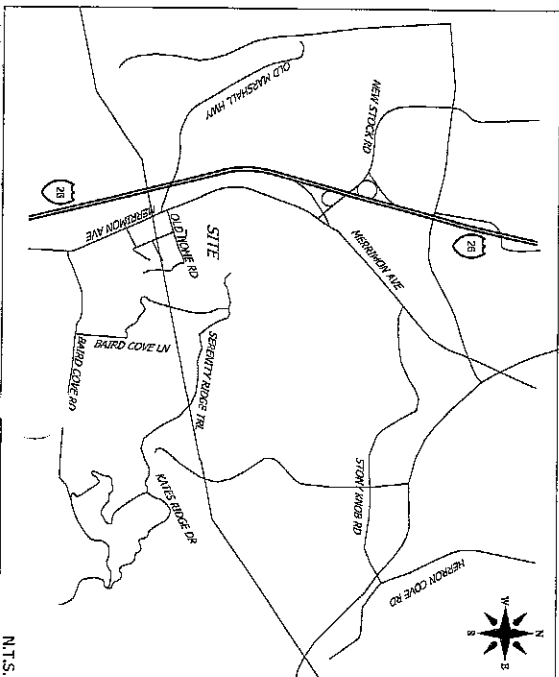
1. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGES WHICH OCCUR DURING CONSTRUCTION.
2. LOCATION OF ALL EXISTING UTILITIES, AS SHOWN HEREON, ARE APPROXIMATE ONLY, NO GUARANTEE IS MADE OR IMPLIED BY THE LOCATION REFLECTED IN THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES AND ALL UTILITIES AND OTHER FEATURES WHICH MAY AFFECT CONSTRUCTION OF THE PROJECT AND THE PROPOSED WORK. CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO CONSTRUCTION IF EXISTING CONDITIONS DIFFER FROM THAT INDICATED IN THE PLANS.
3. NO STRIKE OR WELDON DISTURBANCE SHALL OCCUR WITHOUT A WRAY CODE OF ENGINEERS PERMIT.
4. THE ESCAPE OR SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL, MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
5. ANY EXCESS DIRT MATERIAL, DEPOSITED IN THE CONSTRUCTION OF THIS SITE, SHALL BE DISPOSED OF IN AN APPROPRIATELY PERMITTED SOIL SITE. CONTRACTOR TO PROVIDE PROOF OF PERMITS PRIOR TO ANY ATTRACTION TO THE PLANS WILL BE APPROVED BY THE PROJECT ENGINEER, OR APPROPRIATE AGENCY PRIOR TO THE COMMENCEMENT OF WORK.
6. THE CONTRACTOR SHALL OBTAIN, AND PAY FOR, PRIOR TO BEGINNING ANY WORK, ALL PERMITS AND LICENSES NECESSARY TO ACCOMPLISH THE WORK.
7. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADEQUATE SUPERVISION TO PREVENT DAMAGE AND MOVEMENT FROM EQUIPMENT WORKING AROUND CONSTRUCTION STAGES. THESE CONSTRUCTION STAGES SHALL REMAIN IN PLACE AND BE PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN OBSOLETE AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY THE CONTRACTOR AT HIS OWN COST TO THE OWNER.
8. THE ENGINEER WILL NOT BE CONTINUOUSLY RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THAT HE DOES NOT UNDERTAKE WORK ASSAYING ANY DELAYATION FOR RESPONSIBILITY FOR SCHEDULING THE WORK FOR INSURING COMPLETE COMPLIANCE WITH ALL PROJECT DOCUMENTS AND ALL CODE REQUIREMENTS, RULES AND REGULATION OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK. IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.

INSPECTION SCHEDULE

1. NO CONSTRUCTION SHALL COMMENCE PRIOR TO A PRECONSTRUCTION MEETING WITH THE OWNER, THE CONTRACTOR, THE ENGINEER, AND A REPRESENTATIVE OF ALL SHOP FIRMS/ISSUES SHALL BE SUBMITTED AT OR PRIOR TO THE PRECONSTRUCTION MEETING.
2. CALL ENGINEERING SHALL BE CONDUCTED FOR PERIODIC INSPECTIONS.
3. CALL ENGINEERING SHALL BE CONDUCTED FOR OVERGROUND STRUCTURES FOR FINAL INSPECTIONS.
4. NEED TO MANUFACTURE SPECIFICALLY MANUFACTURED AND STATE AND LOCAL STANDARDS FOR ADDITIONAL REQUIREMENTS AND STANDARDS.
- 5.



VICINITY MAP



SHEET INDEX

NO.:	TITLE:
C-10	COVER
C-11	MASTER PLAN
C-12	PRELIMINARY PLAN
C-13	EXISTING CONDITIONS / DRAINAGE PLAN
C-14	PROPOSED DRAINAGE PLAN
C-15	PROPOSED SITE PLAN
C-16	PROPOSED SITE PLAN
C-17	PROPOSED SITE PLAN
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C-100	PROPOSED SITE PLAN

[illegible]

ISREDA INTERVIEWING GUIDE

Drawn:	Reviewed:
JHM	JHK
Design:	Scale:
CH	AS NOTED
Checked:	Date:
JHM	12/22/2020

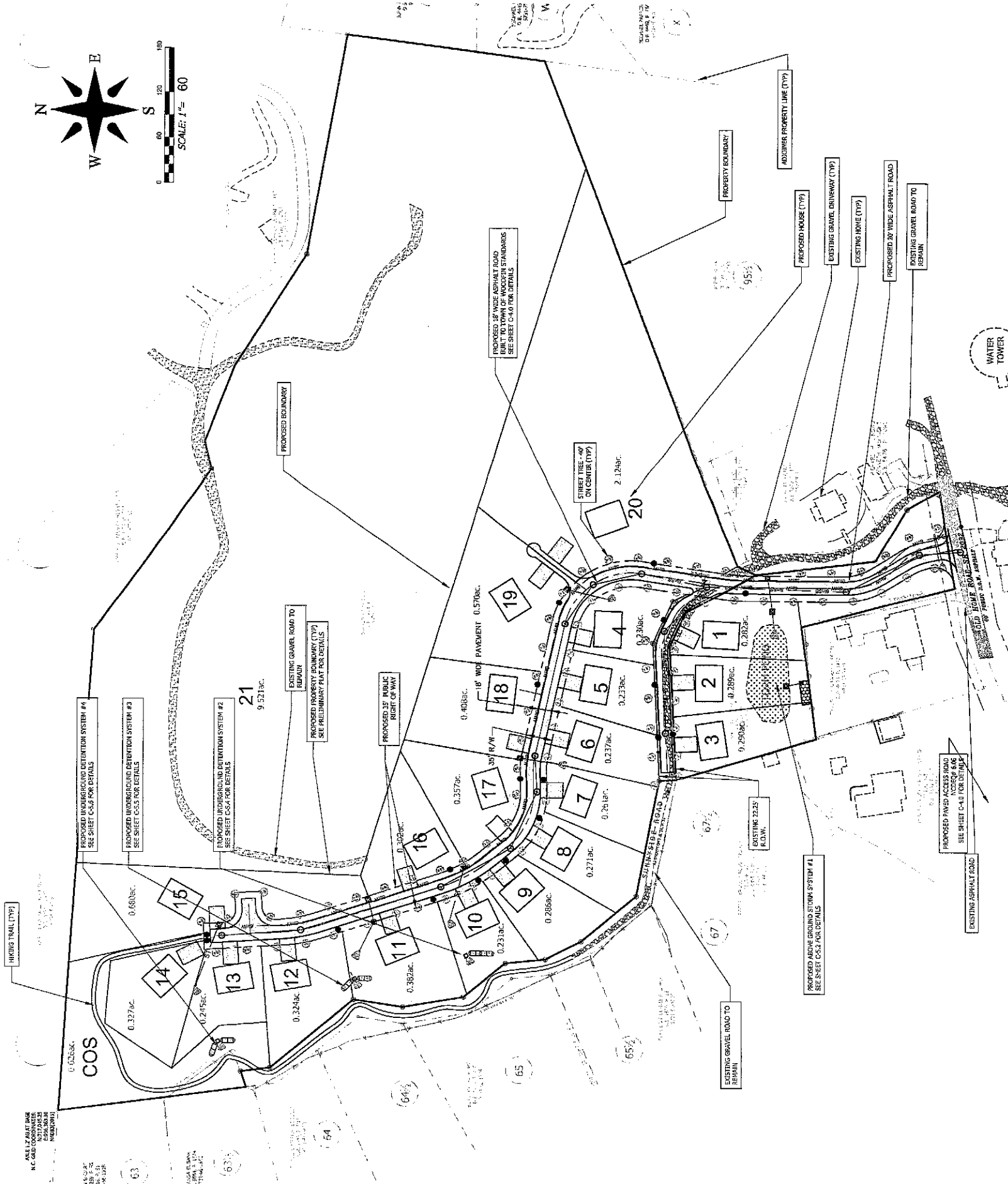
17 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
www.brookseas.com

Planning • Engineering • Surveying
• Environmental Services •

719 C-0	OLD HOME ROAD SUBDIVISION 21 LOT RESIDENTIAL SUBDIVISION TOWN OF WOODFIN NORTH CAROLINA
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ing Title:
OVER

res: L:2019 Projects:485719 Permit: Old Home Rd. Subdivision:Doc:485719 PARRISH CIVIL BASE 2020.dwg

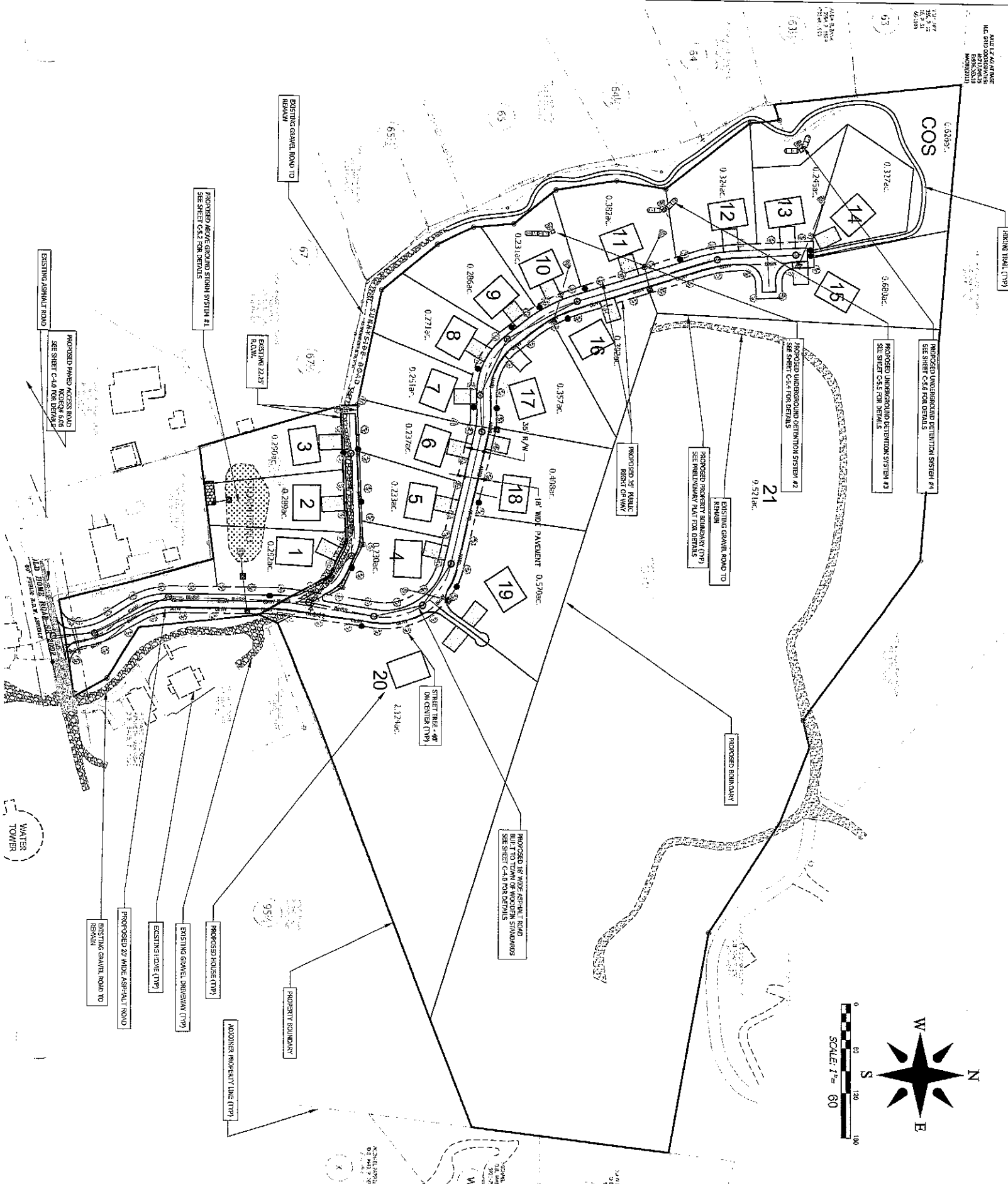
[illegible]

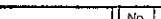
SITE AND ZONING NOTES:

PROPERTY ZONING: MOUNTAINVILLE
MINIMUM LOT SIZE: 1/4 AC.
ACTUAL LOT SIZE: 0.45600 AC. 20.1215 AC.
ACTUAL DENSITY: 14.35/AC.
MINIMUM LOT FRONTAGE: N/A
MINIMUM LOT WIDTH: N/A
SETBACKS: N/A
PARKING: PROVIDED
2.2 SPACES PER UNIT
MINIMUM STORIES ABOVE GROUND: 20'
CONCRETE REQUIRED FOR FOUNDATION: 20'
CONCRETE REQUIRED 3000# F.U.N.T.: 0.3200
REQUIRED: 27.2500
STRENGTH PROVIDED: 11.40' / 30.12'
PROVIDED: 8.1'
IMPERVIOUS AREA: 100%
TOTAL CONCRETE COVERED: 100%
ACTUAL: 100%
ALL PARKING AREAS ARE TO BE PAVED WITH ASPHALT
FACING CURBS FOR ALL PARKING AREAS OF
BUILDING UNITS OTHERWISSE NOTED.
ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE LATEST EDITION OF
DETAILS, SPECIFICATIONS AND OTHER
DEFINITIVE ORDINANCES OR CODES IN

DEVELOPMENT DATA

PROPERTY ADDRESS: 06000 OLD HOME RD
PIN NUMBER: 0712-07-00000-0000
COUNTY: BUNCOMBE COUNTY
SECTION: 0712-07-00000-00000
ECONOMIC REVIEW: TOWN OF WOODFIN
ZONING: R-100
PROPOSED NUMBER OF UNITS: 21
PROPOSED DENSITY: 1 UNIT PER 0.7 ACRES
PROPOSED LENGTH: 1.1 MILE
PROPOSED WIDTH: 110 FEET OF ROAD: 1300'
CONTACT: MICHAEL A CAROLINE PARKER
ADDRESS: 431 MONTE CARLO DRIVE
CITY: MOUNTAIN VIEW
STATE: NC 27020
EMAIL: MOUNTAINVIEW@OUTLOOK.COM
PHONE: 703-712-0907
DEVELOPER: CHOCOLATE ENGINEERING, LLC
CONTACT: MICHAEL PARKER
ADDRESS: 27 ASHLEY VILLAGE 2ND FLOOR
CITY: ASHLEY VILLAGE
STATE: NC 27804
PHONE: 703-712-0907
ENGINEER: BROOKS ENGINEERING
CONTACT: TAYLOR BROS
ADDRESS: 7 LAMINGTON ST
CITY: ASHLEY VILLAGE
STATE: NC 27804
PHONE: 703-712-0907



Drawing No: 719		OLD HOME ROAD SUBDIVISION			Designed: TMM Drawn: E.J.H. Checked: TMM		Reviewed: J.H.K. Sealed: AS NOTED Date: 12/22/2020				No. 1		REVISIONS/SUBMISSIONS PRELIMINARY PLAT		Date 12/22/2020		
C-1.0		21 LOT RESIDENTIAL SUBDIVISION			17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brookseng.com		17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brookseng.com				I SEAL THIS DOCUMENT AS BEING ACCURATE AND CORRECT						
Drawing Title: MASTER PLAN				Planning • Engineering • Surveying • Environmental Services •													

EXIST. BOUNDARY _____
 EXIST. ADJOINER _____
☒ MONUMENT FOUND _____
☒ REBAR FOUND _____
☒ IRON PIPE FOUND _____
☒ NAIL FOUND _____
☐ CALCULATED POINT _____
☒ FENCE POST FOUND _____
 EXIST. RIGHT OF WAY _____
 EXIST. EASEMENT _____
 EXIST. BUILDING SETBACK _____

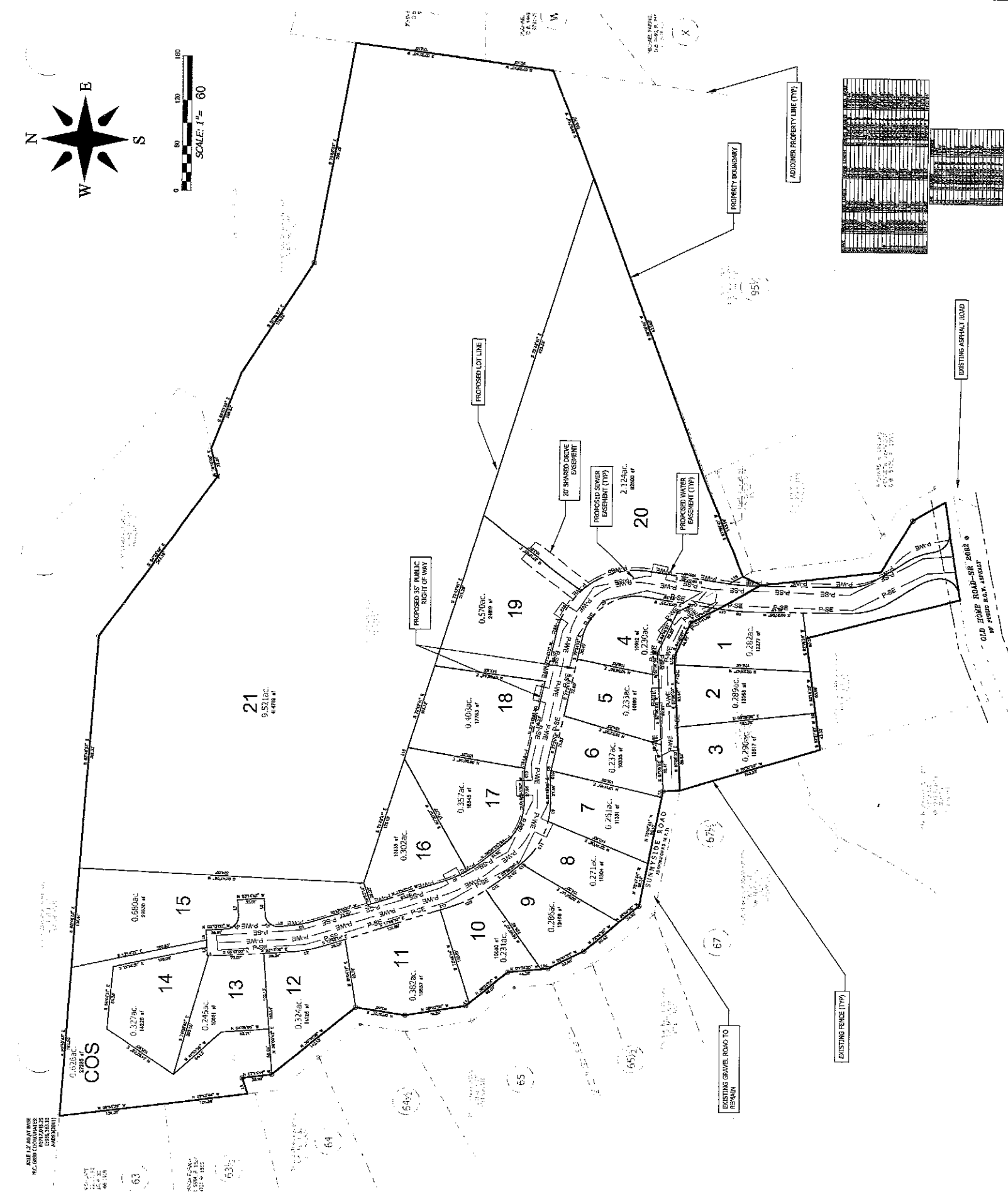
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- BUILDING SETBACK LINE
- NEW PAVEMENT
- NEW 24" CURB & GUTTER
- NEW SIDEWALK
- NEW BUILDING
- NEW LANDSCAPE DUFFET
- NEW SEWER EASEMENT
- NEW WATER EASEMENT

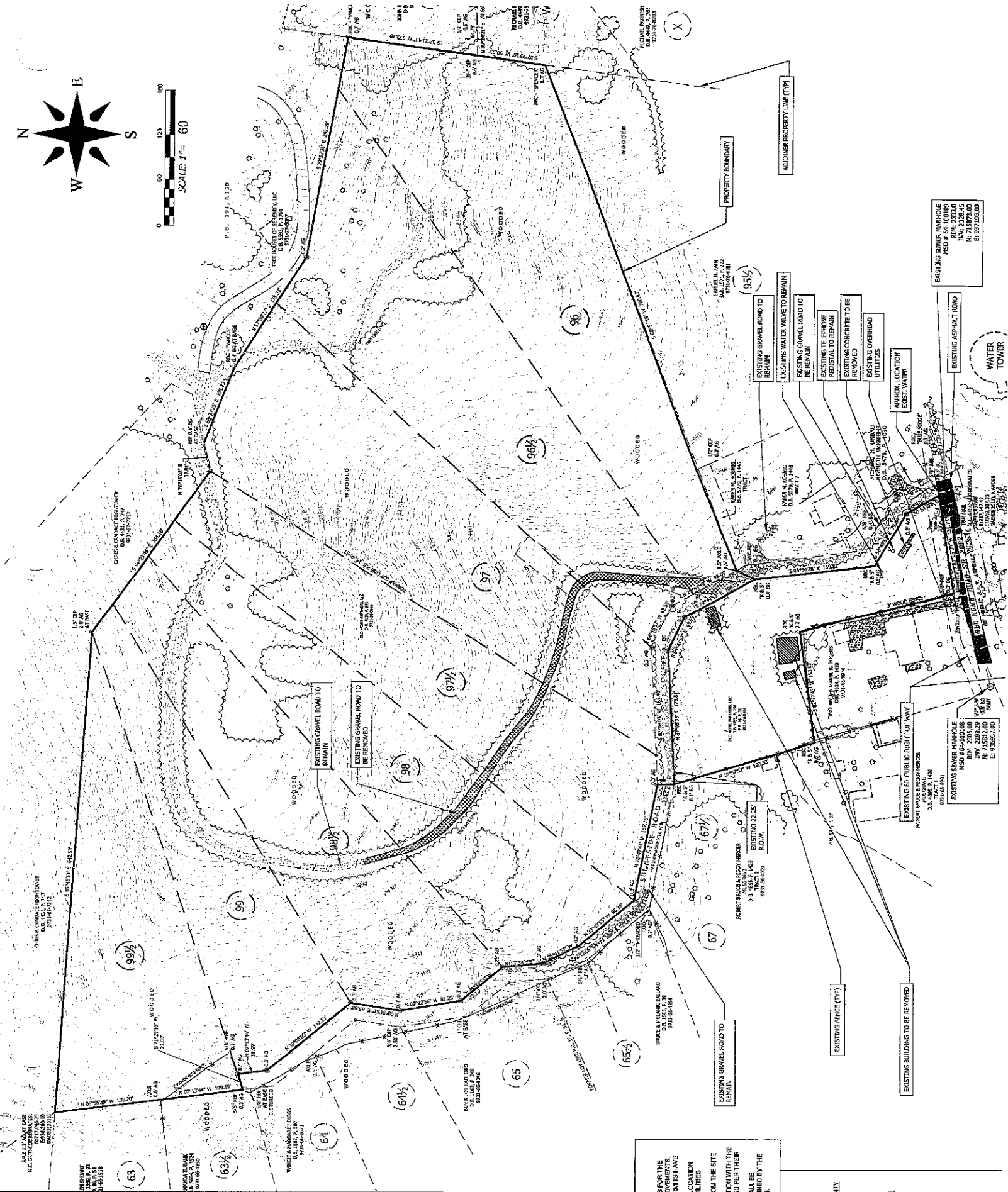
PROPERTY ZONING: MOUNTAIN VILLAGE
 MINIMUM LOT SIZE: N/A
 MAXIMUM LOT SIZE: (1/4 AC) 10,000 sq. ft.
 ACTUAL DENSITY: 141.281sf
 MINIMUM LOT FRONTAGE: N/A
 MINIMUM LOT WIDTH: N/A
 SETBACKS: NA
 PARKING:
 PROVIDED: 2 SPACES PER UNIT
 MINIMUM SPACE BETWEEN BUILDINGS: 20'
 COMMON OPEN SPACE:
 REQUIRED (sq.ft./ UNIT): 9,300sf
 PROVIDED: 27,200sf

STREET TREES:
REQUIRED (1'40" FRONTAGE): 81
PROVIDED: 81
INTERVIEWS AREA
MAX ALLOWED (70%): 208.10sf
ACTUAL: 95.422

ALL DIMENSIONS ARE FROM EDGE OF ASPHALT
FACE OF CURB, FACE OF WALL, OR FACE OF
BUILDING UNLESS OTHERWISE NOTED.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE LATEST EDITION OF
DETAILS, SPECIFICATIONS, AND OTHER
DEVELOPMENT ORDINANCES OF WOODFIN

[illegible]



- ## DEMOLITION NOTES
1. CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS FOR THE DEMOLITION OF BUILDINGS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
2. CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY LOCATION AGENCIES AND AGENCIES TO MAINTAIN THE EXISTING UTILITIES LOCATED PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
3. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROPRIATE MANNER.
4. CONTRACTOR TO COORDINATE ANY UTILITY LOCATION WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND MAINTAIN THE EXISTING UTILITIES LOCATED PRIOR TO DEMOLITION.
5. EXCAVATION TO BE USED AS A LATER DATE SHALL BE STOPPED ON SITE AT A LOCATION TO BE DETERMINED BY THE OWNER AND STABILIZED WITH PERMANENT SEEDING.

DEVELOPMENT DATA

PROPERTY ADDRESS: 88992 OLD HONEY DO
PROPERTY NUMBER: 5731-10-0000 & 5731-10-0001
SECTION: 1516.6 ACRES
TOWNSHIP: 2000P
CITY: BUNCOMBE COUNTY
GEOGRAPHIC INFORMATION SYSTEM: BUNCOMBE COUNTY
GEOGRAPHIC INFORMATION SYSTEM: BUNCOMBE COUNTY
PROPOSED NUMBER OF UNITS: 21
PROPOSED SQUARE FEET: 1,417,000
PROPOSED SQUARE FEET OF ROAD: 130,000
PROPOSED SQUARE FEET OF PARKING: 130,000
CONTACT: MICHAEL CAROLINE PARRISH
ADDRESS: 281 MOSTERT DRIVE
CITY: MOUNTAIN VIEW
STATE: NC 28149
PHONE: 828-718-8767
FAX: 828-718-8767
EMAIL: MOUNTAINVIEW@OUTLOOK.COM
OVERSEER: MICHAEL CAROLINE PARRISH LLC
CONTACT: MICHAEL PARRISH
ADDRESS: 281 MOSTERT DRIVE
CITY: MOUNTAIN VIEW
STATE: NC 28149
PHONE: 828-718-8767
FAX: 828-718-8767
EMAIL: MOUNTAINVIEW@OUTLOOK.COM
BUNCOMBE COUNTY
CONTACT: HANNA MAXWELL
ADDRESS: 1730 HUNTER HILL
CITY: ASHLAND
STATE: NC 28801
PHONE: 828-718-8767
FAX: 828-718-8767
EMAIL: MOUNTAINVIEW@OUTLOOK.COM

<i>EXIST. CONDITIONS LEGEND</i>					
	EXIST. BOUNDARY		EXIST. SIDEWALK		DEMO BUILDING
	EXIST. ANCHORING		EXIST. SANITARY		DEMO CONCRETE
	EXIST. MONUMENT FOUND		EXIST. SEWER CLEAN OUT		DEMO SOIL ROAD
	EXIST. IRON PIPE FOUND		EXIST. WATER LINE		
	EXIST. NAIL FOUND		EXIST. WATER METER		
	EXIST. CALCULATED POINT		EXIST. FUEL HYDRANT		
	EXIST. RIGHT OF WAY		EXIST. OVERHEAD UTIL.		
	EXIST. EASEMENT		EXIST. POWER POLE		
	EXIST. BUILDING SETBACK		EXIST. STORM DRAIN		
	EXIST. EXIST. MAJOR CONCOURSE		EXIST. DROP INLET		
	EXIST. STREET LIGHT		EXIST. JUNCTION BOX		
	EXIST. SIGN		EXIST. IMPROVING UTIL.		
	EXIST. TRUCK BUFFER		EXIST. HANDLING PROPERTY L		
	EXIST. PRESENT				

SITE PLAN LEGEND

- SITE PLAN LEGEND**
- | | |
|--|-------------------------|
| | EXIST. BOUNDARY |
| | EXIST. ADJOINER |
| | MONUMENT FOUND |
| | REBAR FOUND |
| | IRON PIPE FOUND |
| | MAIL FOUND |
| | CALCULATED POINT |
| | FENCE POST FOUND |
| | EXIST. RIGHT OF WAY |
| | EXIST. EASEMENT |
| | EXIST. BUILDING SETBACK |

- SITE PLAN LEGEND**
- | | |
|-------------------------|---------------------------|
| EXIST. BOUNDARY | EXIST. STREAM |
| EXIST. ADJUTORY | EXIST. STREAM BUFFER |
| MONUMENT FOUND | EXIST. PAYMENT |
| REBAR FOUND | EXIST. SIDEWALK |
| EXIST. FOUND | EXIST. SEWER LINE |
| MAIL FOUND | EXIST. FIRE HYDRANT |
| Q CALCULATED POINT | EXIST. OVERHEAD UTILITIES |
| FENCE POST FOUND | |
| EXIST. HIGH OF WAY | |
| EXIST. BUILDING SETBACK | |

- | SITE PLAN LEGEND | |
|---|---------------------------|
|  | EXIST. BOUNDARY |
|  | EXIST. ADJOINER |
|  | EXIST. RETAINMENT FOUND |
|  | EXIST. ANCHORAGE BLUFUR |
|  | EXIST. IRON PIPE FOUND |
|  | EXIST. NAIL FOUND |
|  | EXIST. POST FOUND |
|  | EXIST. FENCE POST FOUND |
|  | EXIST. EASEMENT |
|  | EXIST. RIGHT OF WAY |
|  | EXIST. BUILDING SETBACK |
|  | EXIST. STREAM |
|  | EXIST. STREAM BLUFUR |
|  | EXIST. PAVEMENT |
|  | EXIST. SIDEWALK |
|  | EXIST. SEWER LINE |
|  | EXIST. FIRE HYDRANT |
|  | EXIST. OVERHEAD UTILITIES |
|  | NEW PROPERTY LINES |
|  | NEW RIGHT OF WAY |
|  | NEW BUILDING SETBACK LINE |
|  | NEW PAVEMENT |
|  | NEW 24" CURB & GUTTER |
|  | NEW SIDEWALK |
|  | NEW ANCHORAGE BLUFUR |
|  | NEW SEWER EASEMENT |
|  | NEW WATER EASEMENT |

SITE AND ZONING NOTES

SITE AND ZONING NOTES

PROPERTY ZONING: MOUNTAIN VILLAGE
MINIMUM LOT SIZE: N/A
MAXIMUM DENSITY: 175,000/sf, 173 UNITS
ACTUAL DENSITY: 141,301/sf
MINIMUM LOT FRONTAGE: N/A
MINIMUM LOT WIDTH: N/A

SITE AND ZONING NOTES

PROPERTY ZONING: MOUNTAIN VILLAGE
MINIMUM LOT SIZE: 1/4 AC. (33,000 SQ. FT.)
ACTUAL MEASUREMENT: 1.24 AC.
MINIMUM LOT FRONTAGE: N/A
MINIMUM LOT WIDTH: N/A
BACKS: N/A
PROVIDED: 2 SPACES PER UNIT
MINIMUM OPEN SPACE: 27'
REQUIRED OPEN SPACE: 5,000 SQ. FT.
REQUIREMENTS: 27' (27,000 SQ. FT.)
REQUIRED 11' (11,000 SQ. FT.)
PROVIDER: 61'
PERVIOUS AREA
MAX ALLOWED 70%

SITE AND ZONING NOTES:

PROPERTY ZONING: MOUNTAIN VILLAGE
ADJACENT ZONING: R-100
MAXIMUM LOT AREA: 176,000 sq. ft.
ACTUAL LOT AREA: 161,381 sq. ft.
MINIMUM LOT FRONTAGE: N/A
MINIMUM LOT DEPTH: N/A
MINIMUM LOT WIDTH: N/A

STREET NAMES: NA
STREET FRONTS: NA

PROVIDED: 2 SPACES PER UNIT
MINIMUM SPACE BETWEEN BUILDINGS: 20'
MINIMUM SETBACKS: 10' SIDE & REAR;
REAR YARD: 5' SIDE
REQUIRED OPEN SPACE: 5,000 sq. ft.
PROVIDED: 72,958 sq. ft.

TREE TREES: 11
FRONTAGE: 61'

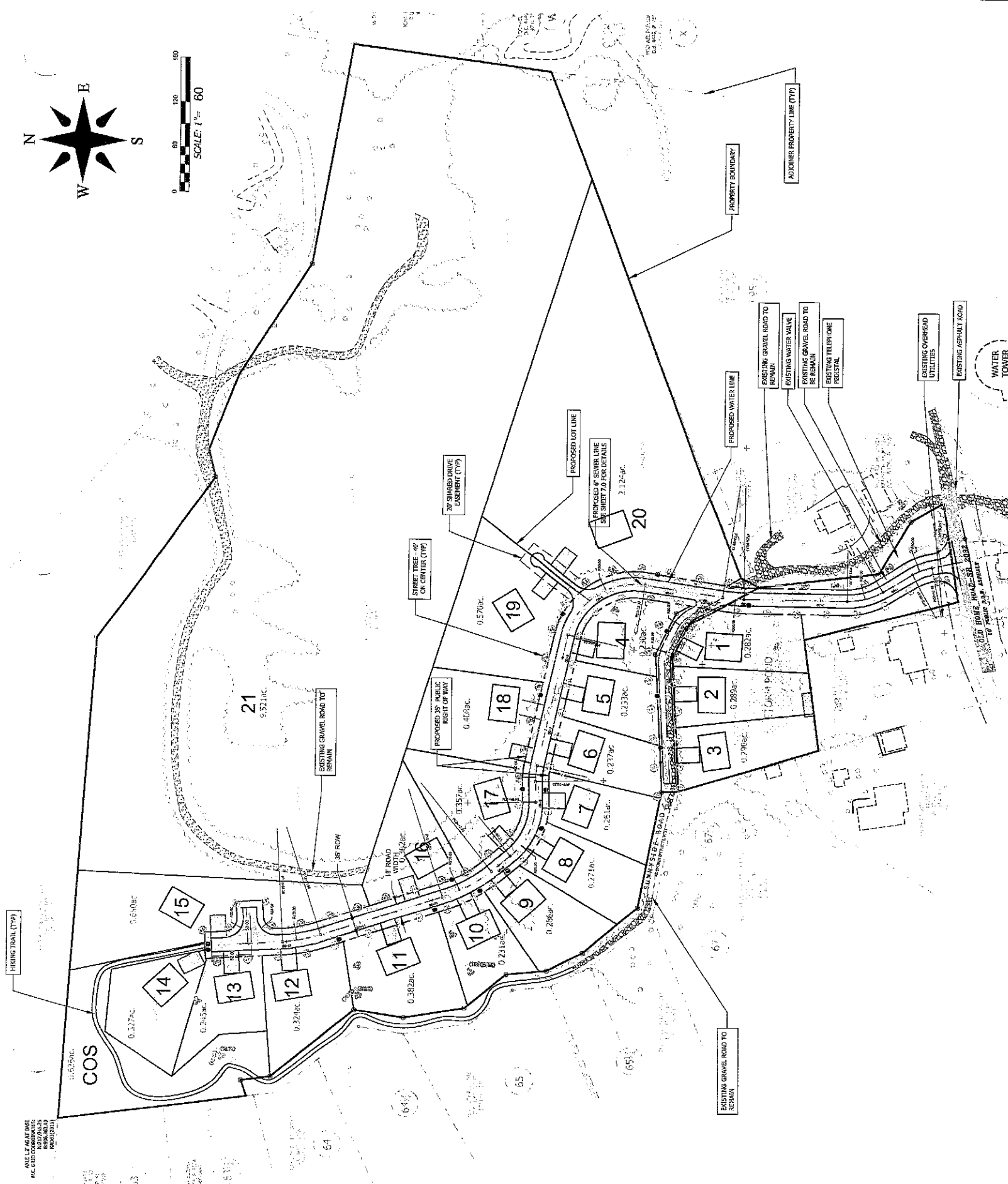
PREVIOUS AREA:
PROVIDER: 81'

MAX ALLOWED: 100%
ACTUAL: 98.42%

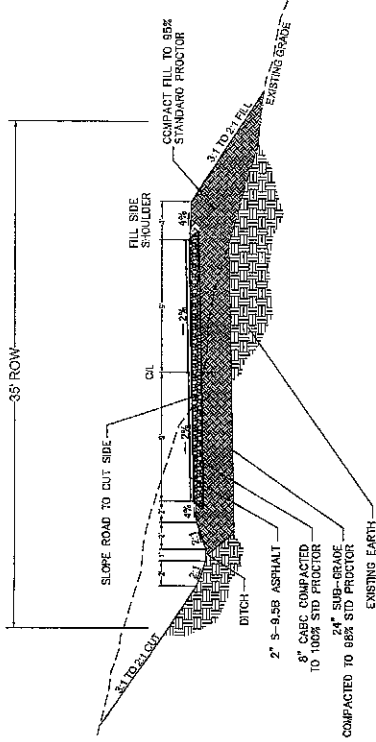
ALL DIMENSIONS ARE FROM EDGE OF ASPHALT
FACE OF CURB, FACE OF WALL OR FACE OF
BUILDING UNLESS OTHERWISE NOTED.

NO CONSTRUCTION SHALL BE IN
VIOLATION OF ANY CITY ORDINANCE OR
STATEL STANDARDS, SPECIFICATIONS AND OTHER
DEVELOPMENT ORDINANCES OF WOODFIN

DEVELOPMENT DATA

[illegible][illegible]

NOTE:
1. DITCH SHALL HAVE A MAXIMUM 2:1 SLOPE ON EACH SIDE FOR 1 VERTICAL FROM THE BOTTOM OF DITCH.



NOTES:

*FILL SIDE SHOULDER TO BE A MINIMUM 4' TRAVELABLE SURFACE WHERE AVERAGE CROSS SLOPE IS STEEPER THAN 30% AND ROAD GRADE IS STEEPER THAN 15%

*PAVEMENT WIDTH TO INCREASE FOR RADII LESS THAN 90 DEGREES ACCORDING TO THE FOLLOWING: R>=50=NO CHANGE; R>70 AND R<90=25% INCREASE; R=60 AND R=70=35% INCREASE; R=50 AND R=60=45% INCREASE; R<50=50% INCREASE

***NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE CLAY, ORGANIC MATTER, OR OTHER UNSUITABLE MATERIAL.

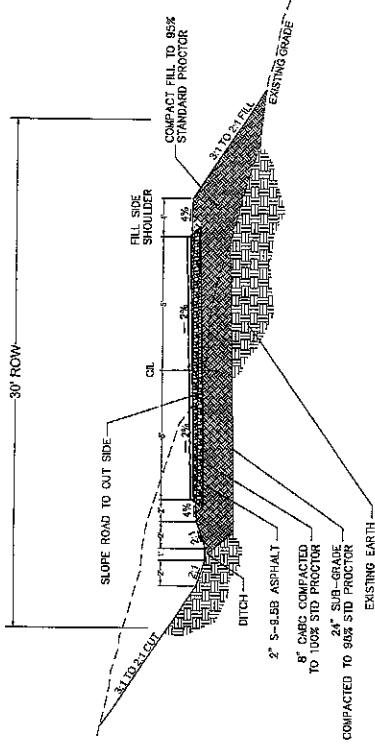
*****ANY ROADS CONSTRUCTED IN AREAS IN EXCESS OF 30% SHALL REQUIRE CONSULTATION WITH A LICENSED GEOTECHNICAL ENGINEER, PRIOR TO FINAL SUBDIVISION APPROVAL OR RELEASE OF GUARANTEE OF IMPROVEMENTS, A REPORT BY THE GEOTECHNICAL ENGINEER SHALL BE REQUIRED CERTIFYING THAT THE RECOMMENDATIONS WERE FOLLOWED DURING CONSTRUCTION.

20' WIDE MAIN ROAD CROSS SECTION

SCALP=NTS

三

CH SHALL HAVE A MAXIMUM 2:1 SIDE
'E ON EACH SIDE FOR 1 VERTICAL FOOT
M THE BOTTOM OF DITCH.



NOTES:

*FILL SIDE SHOULD TO BE A MINIMUM 4" TRAVELABLE SURFACE
WHERE AVERAGE CROSS SLOPE IS STEEPER THAN 30% AND ROAD
GRADE IS STEEPER THAN 15%

..PAVEMENT WIDTH TO INCREASE FOR RADII LESS THAN 90 DEGREES
ACCORDING TO THE FOLLOWING: R>=90=NO CHANGE;

AND R>80=45% INCREASE; R<=50=50% INCREASE

***NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE CLAY, ORGANIC MATTER, OR OTHER UNSUITABLE MATERIAL.

SHARED DRIVE CROSS SECTION

SCALE NTS

[illegible]

Old Home Road Subdivision
21 Lot Residential Subdivision
Town of Woodfin
North Carolina

Engineering Associates
Brooks
Planning • Engineering • Surveying
• Environmental Services •

17 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brooksnc.com

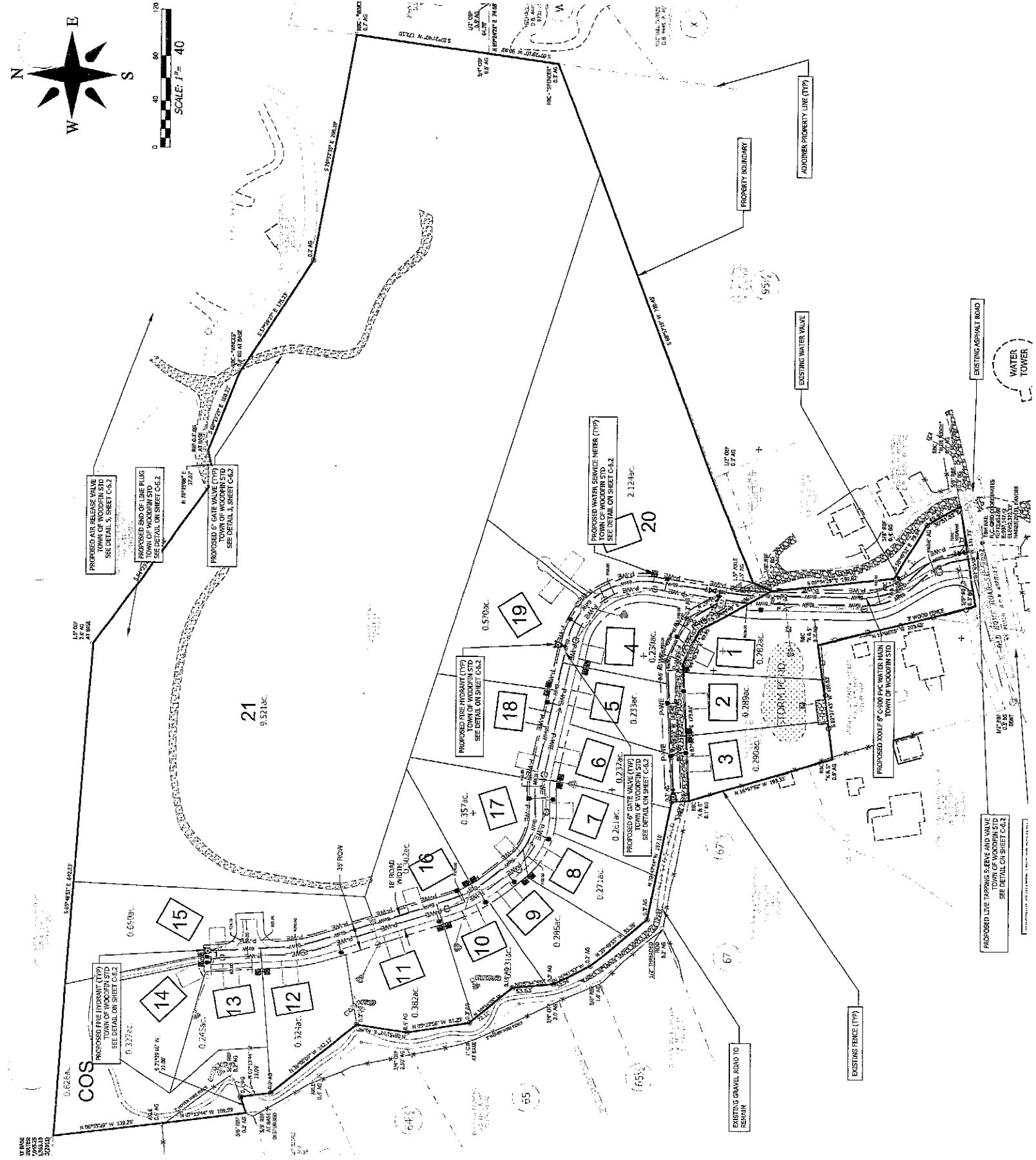
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ROAD A PROFILE VIEW



UTILITY PLAN LEGEND

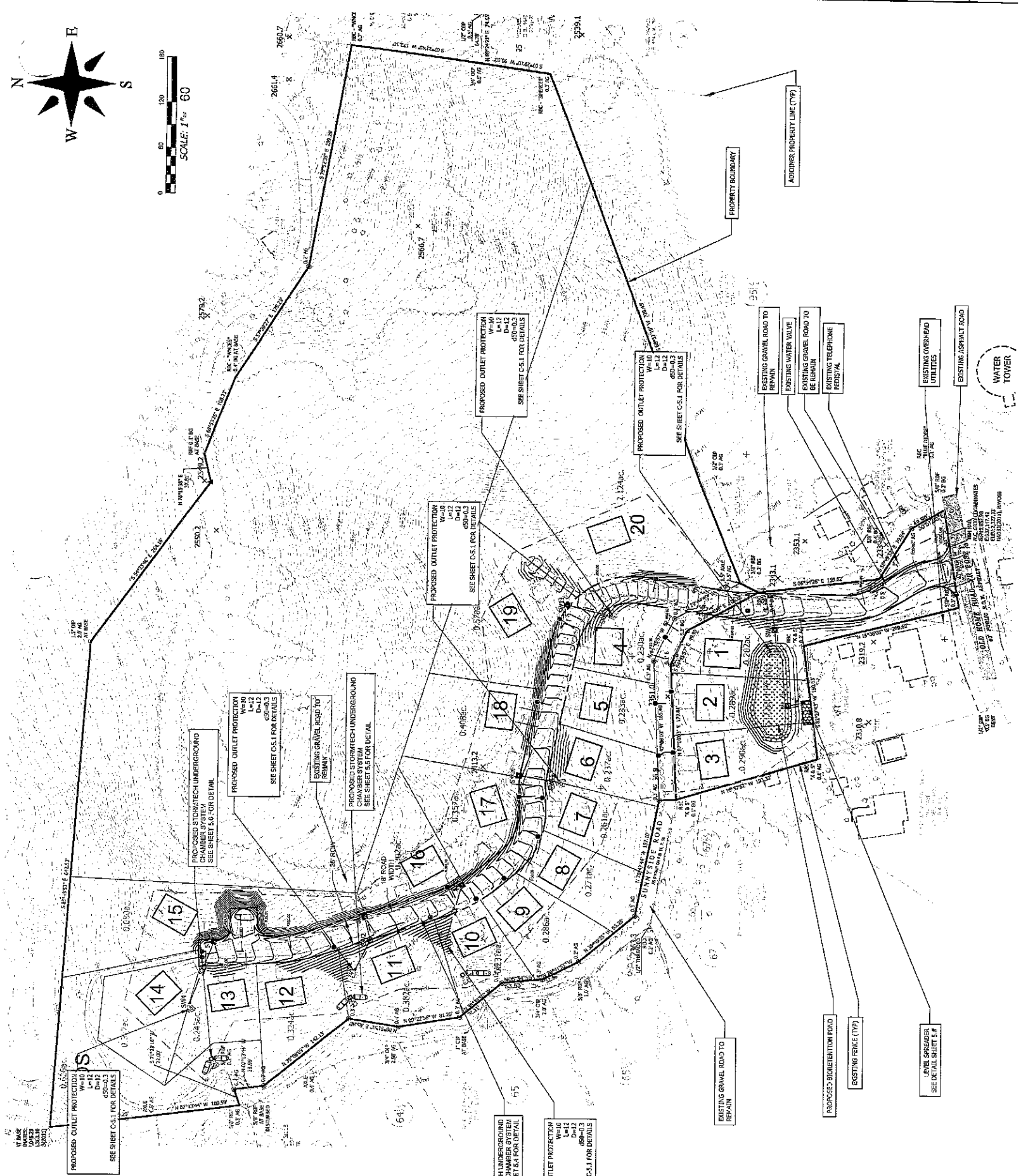
- | | | |
|------|------------------------------|--|
| | EXIST. BOUNDARY | |
| | EXIST. ALLOMER | |
| | EXIST. RAILROAD AND | |
| | REAR FENCE | |
| (6) | IRON PIPE FOUND | |
| (9) | CALCULATED POINT | |
| (10) | FENCE POST FOUND | |
| (11) | EXIST. RIGHT OF WAY | |
| | EXIST. STREAM | |
| | EXIST. BUFFER | |
| | EXIST. MINOR CONTOUR | |
| | EXIST. MAJOR CONTOUR | |
| | EXIST. SEWER ELEMENT | |
| (X) | EXIST. MANHOLE | |
| | EXIST. SANITARY SEWER | |
| | EXIST. SEWER SERVICE | |
| | EXIST. DRAINAGE | |
| | EXIST. PUBLIC WATER | |
| | EXIST. FIRE HYDRANT | |
| | EXIST. WETTER BOX | |
| HPO | EXIST. POWER POLE | |
| W | EXIST. STORMDRAIN | |
| | EXIST. DROP INLET | |
| | EXIST. CATCHBASIN | |
| | EXIST. JUNCTION BOX | |
| | EXIST. POWER POLE UTILITIES | |
| | EXIST. UNDERGROUND UTILITIES | |

- NEW SEWER LINE
NEW MANHOLE
NEW SEWER CLEAN OUT
NEW WATER EASEMENT
NEW WATER LINE
NEW FIRE HYDRANT
NEW VALVE
NEW AIR/VAC RLS VALVE
NEW BLOWOFF
NEW DOMESTIC METER
NEW STORM PIPE

DEVELOPMENT DATA

PROPERTY ADDRESS: 8899D OLD HEMLOCK
 FILE NUMBER: 813-7-12-62-20
 ZONING REVIEW: TOWN OF WOODFIN
 ENGINEERING REVIEW: BLANCHMIRE COUNTY
 ZONING CLASSIFICATION: BLANCHMIRE COUNTY
 PROPOSED NUMBER OF UNITS: 21
 PROPOSED DENSITY: 1 UNIT PER 6.7 ACRES
 PROPERTY OWNER: FEELE OF ROAD, 13902
 CONTACT: MICHAEL FARRISH
 ADDRESS: 431 MOSTERT DRIVE
 ADDRESS: 431 MOSTERT DRIVE
 PHONE: 559-121-6762
 EMAIL: MAINTAIN@TOWNOFWOODFIN.COM
 ENGINEERING CONTACT: MICHAEL FARRISH, LLC
 ADDRESS: 431 MOSTERT DRIVE
 ADDRESS: 431 MOSTERT DRIVE
 PHONE: 559-121-6762
 EMAIL: MAINTAIN@TOWNOFWOODFIN.COM
 ENGINEERING CONTACT: BROWN ENGINEERING
 ADDRESS: 17411 WILSON RD
 ADDRESS: 17411 WILSON RD
 PHONE: 559-332-4700

[illegible][illegible]

[illegible]

DEVELOPMENT DATA

PROPERTY ADDRESS: 9900 OLD HOME RD
PIN NUMBER: 973126-0000 / 9731-26-0000
DATE: 10/04/2008
OWNER: JAMES L. BOWEN
ZONING OR CONTROL: RESUB. BUCKINHAM COUNTY
STORMWATER REVIEW: BUCKINHAM COUNTY
PROPOSED NUMBER OF UNITS: 21
PROPOSED DENSITY: 1 UNIT PER 0.7 ACRES
PROPOSED LINEAR FEET OF ROAD: 1300'
PROPOSED LOT AREA: 1.00 ACRES
CONTACT: JAMES L. BOWEN
ADDRESS: 21 MUSTIE DRIVE
ADDRESS: 21 ASHEVILLE, NC 28804
PHONE: 813.732.9700
FAX: 813.732.9700
DEVELOPER: OLD TIME PARTNERS, LLC
CONTACT: MATTHEW BARBER
ADDRESS: 21 ASHEVILLE, NC 28804
ADDRESS: 21 ASHEVILLE, NC 28804
EMAIL: MOUNTAINFEET@aol.com
ENGINEER: BROOKS ENGINEERING
CONTACT: TRAVIS MAXWELL
ADDRESS: 1720 N. HUNTON ST.
ADDRESS: 1720 N. HUNTON ST.
EMAIL: MAXWELL@BROOKS-ENGINEER.COM