



ST LUKE'S HISTORIC DISTRICT

Isle of Wight County, Virginia

ST LUKE'S HISTORIC DISTRICT DESIGN GUIDELINES

Isle of Wight County, Virginia

Special Thanks to:

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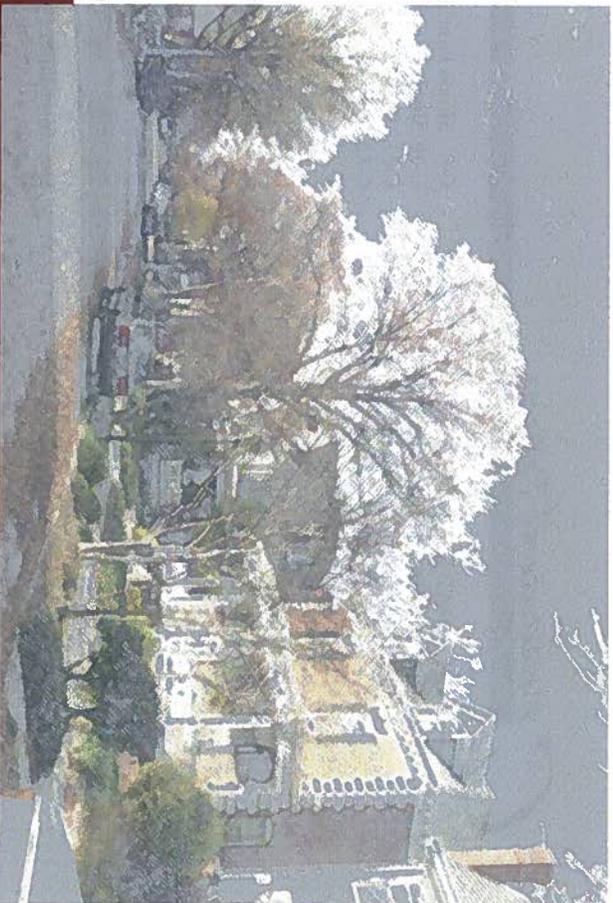
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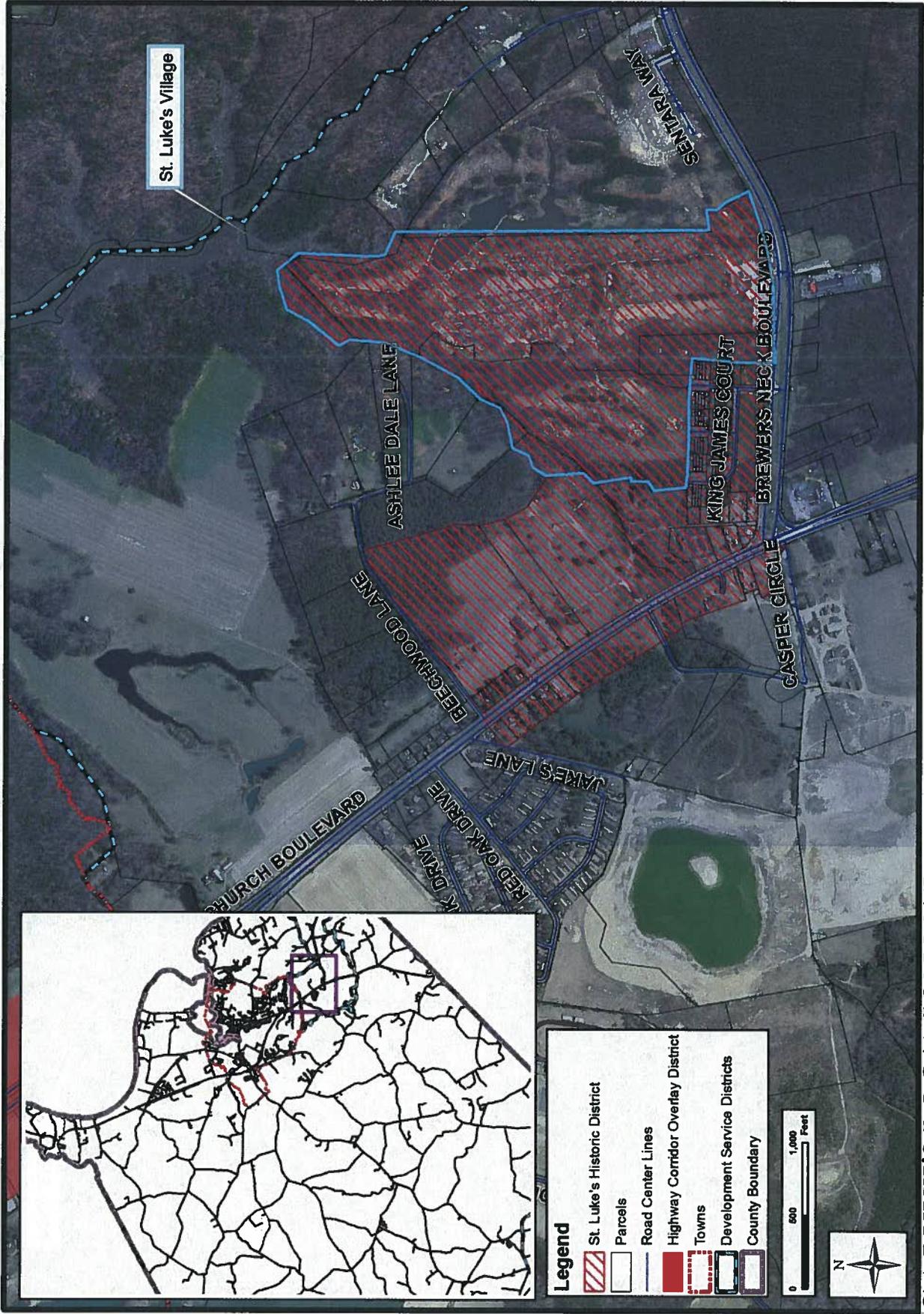
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Historic District Patterns

ST. LUKE'S HISTORIC DISTRICT

A



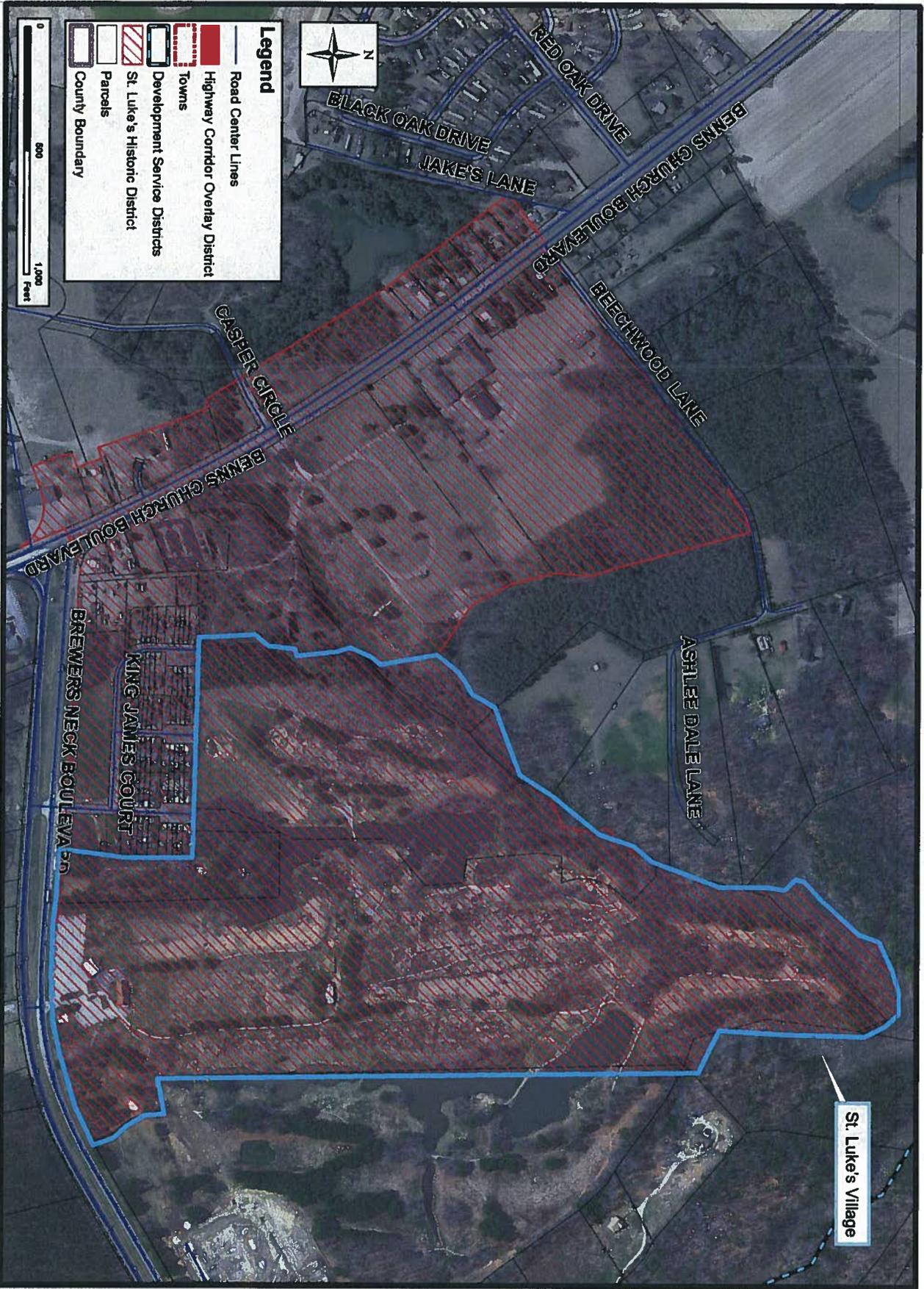
St. Luke's Village

AI

ST. LUKE'S LOCATION MAP

ST. LUKE'S HISTORIC DISTRICT

Historic District Patterns



Legend

- Road Center Lines
- Highway Corridor Overlay District
- Towns
- Development Service Districts
- St. Luke's Historic District
- Parcels
- County Boundary



ST. LUKE'S BOUNDARY MAP

Historic District Patterns

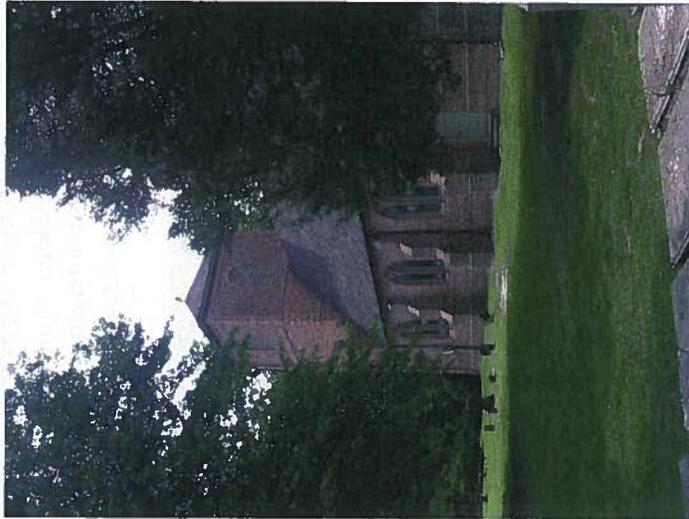
ST. LUKE'S HISTORIC DISTRICT

St. Luke's Church

St. Luke's Church is the key architectural and historic feature of the district. Originally called the "Newport Parish Church" and also the "Old Brick Church", St. Luke's Church is the oldest existing brick church of English foundation in America and the Nation's only surviving original gothic church structure. While there has been some debate as to the date of construction, it is believed by local sources to have been started around 1632. This landmark structure is located in a grove of mature hardwood trees on the upper reaches of Jones Creek.

St. Luke's Church is built in the gothic style, typical of rural English parish churches. The critical architectural details of the structure include the Flemish bond brickwork, Gothic buttresses, stepped gables, brick-traceried windows, and the medieval timber-trussed roof structure. However, unique to St. Luke's Church is the triangle pediment shape and the thick brick arch over the front entry of the tower. While seemingly classical in origin, similar details can be found in mid to late sixteenth century buildings in England. It is thought that these elements were merely a simple concession to tradition by a skillful, but uncritical local mason, based upon a part of his architectural heritage. The third story on the tower with the rounded brick window is believed to have been added in 1682. St. Luke's Church is highly recognized as one of the more significant remaining examples of the architecture associated with early English settlement of Virginia which has earned this site designation as a National Historic Landmark.

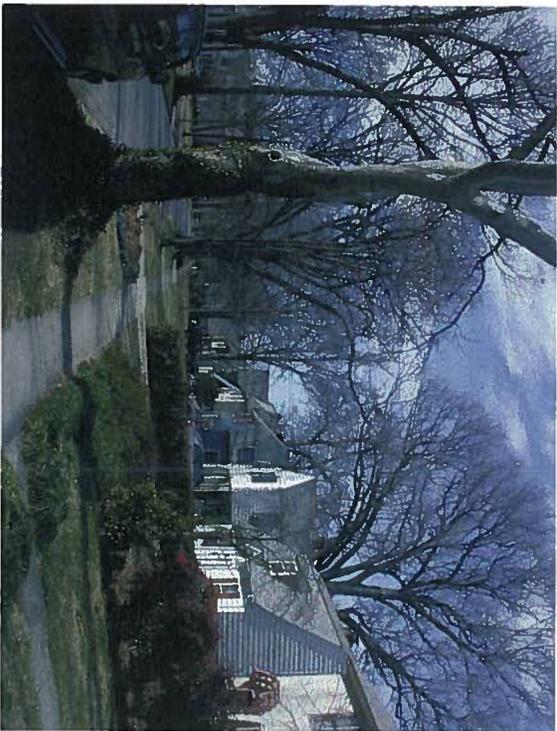
In 1953, St. Luke's Restoration, Inc. was formed as a non-profit organization to restore and maintain this historic and religious shrine. The labors of this group have restored the building to its present condition. The most recent updates to St. Luke's occurred in 2011-12, during which time they stabilized the tower, made repairs to the roof and gutters, and improved site drainage. The building and grounds are open to the public for tours throughout most of the year. Historic St. Luke's also includes an important cemetery with considerable importance to Isle of Wight County's history. The cemetery remains active to this day. Historic St. Luke's is also periodically used for special events and activities from weddings to fund-raising events, in addition to occasional burial services.



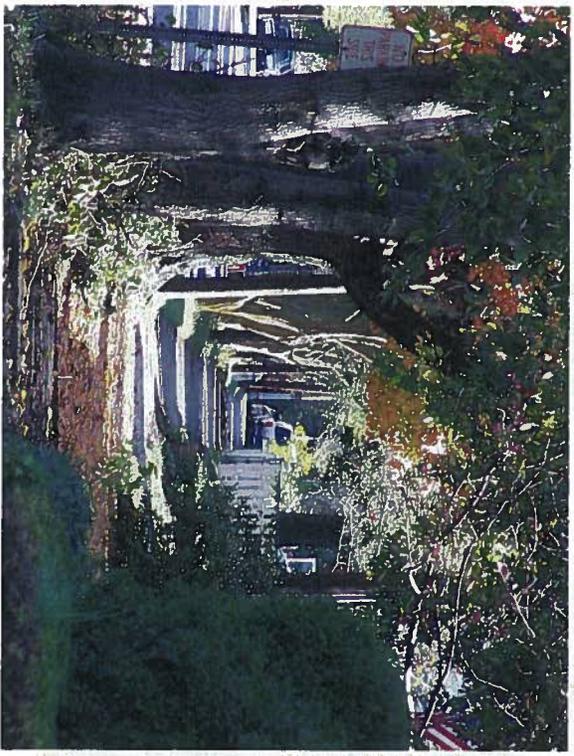
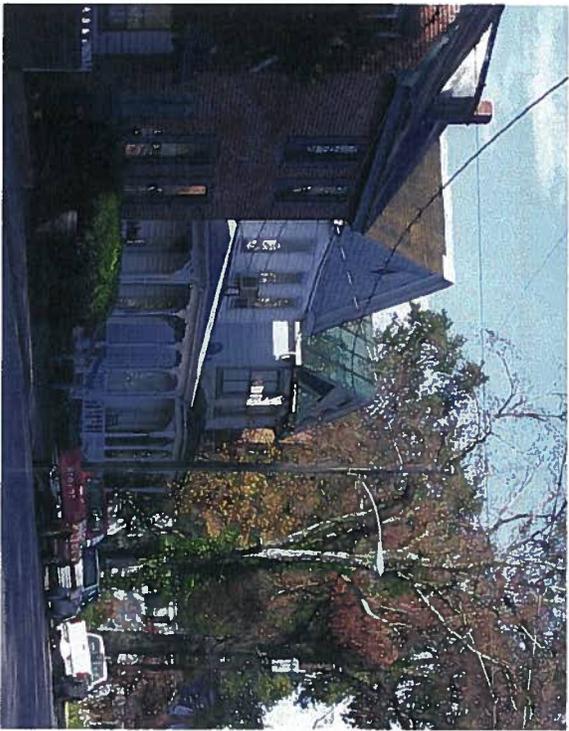
St. Luke's Church

CHURCH ARCHITECTURE

Historic District Patterns



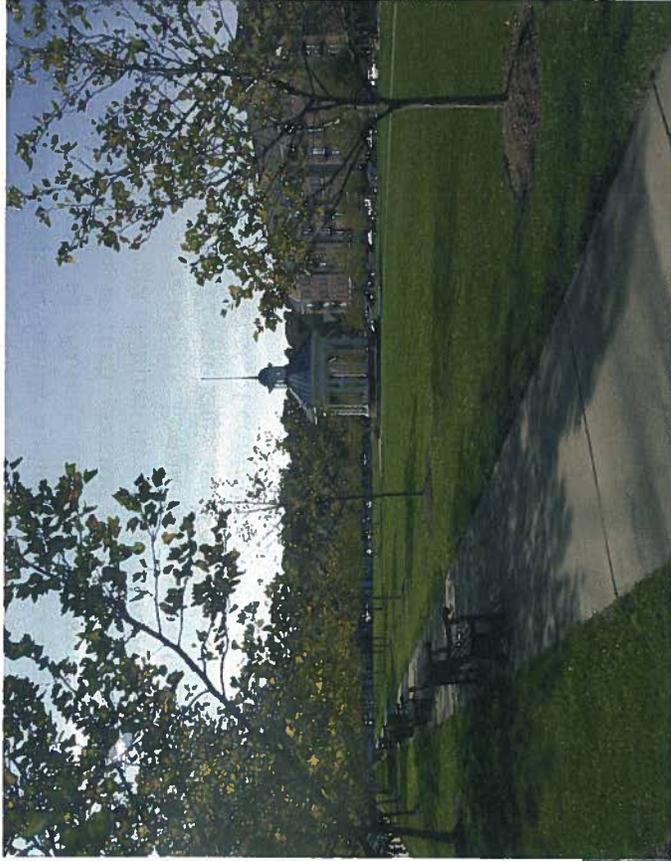
St. Luke's Historic District is intended to be a pedestrian-friendly neighborhood that mirrors traditional rural village architecture as well as Isle of Wight County's vernacular architecture and the architecture of the district. Traditional neighborhood development promotes a return to the traditional town planning that defines places in Virginia like Chent in Norfolk, The Fan in Richmond, Hilton Village in Newport News, and Old Town Alexandria as well as downtown Charleston, historic San Francisco and Georgetown in Washington DC. Rather than large, single-use developments connected by streets hostile to pedestrians, these traditional neighborhoods feature main street shopping districts, town parks, and residential areas with cross-connected street patterns, all within a five-minute walk. This pedestrian-friendly streetscape defines the character appropriate in the Historic District. Development within the Historic District is intended to have features like Village Squares, Greens, and parks, and have the features found in a traditional neighborhood, and an architectural design which utilizes the historic elements and local vernacular.



ST. LUKE'S CHARACTER

Historic District Patterns

The traditional village square was a popular outdoor gathering space for locals to meet for trading, entertainment, holiday festivities or even for political speeches. The square was usually lined with shops and cafes that helped to define the edge of the square. The square typically was located in an area that was central to daily activity and easily connected to popular pedestrian links.

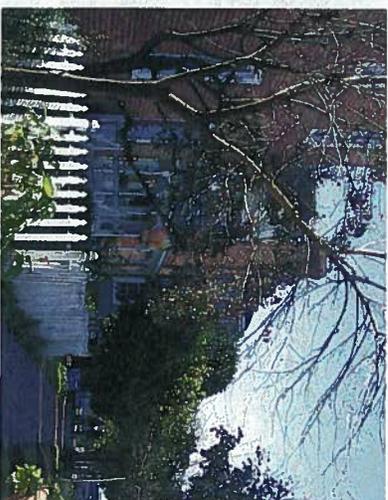


DISTRICT PRECEDENTS: VILLAGE SQUARE

Historic District Patterns



Traditional neighborhoods had a mix of housing choices available from single-family homes to higher density housing units. This mix of choices allowed housing to be more affordable which, in turn, created a diverse neighborhood. Young families with children lived next to older couples who lived next to single adults. People were outside playing and talking and living. People knew each other and looked out for one another. This sense of community created safe, livable communities.



DISTRICT PRECEDENTS: NEIGHBORHOODS

Historic District Patterns

Traditional communities had greenways, gardens and parks nestled throughout the neighborhood for people to relax and enjoy themselves in a natural setting. These common green areas are important elements in traditional neighborhood design because they create opportunities for spontaneous interaction within the community.



DISTRICT PRECEDENTS: GREENS AND PARKS

Historic District Patterns

Vernacular architecture is the indigenous building tradition of a region. Architectural details have been simplified and refined to respond to the existing resources available to the local builders and craftsmen. Simple details which reflect Isle of Wight County's charm and history are seen throughout the architecture in the county and have been used as a guide for the elements in these Design Guidelines.

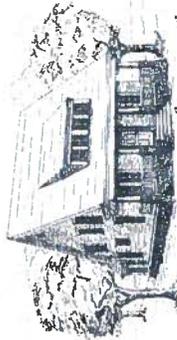
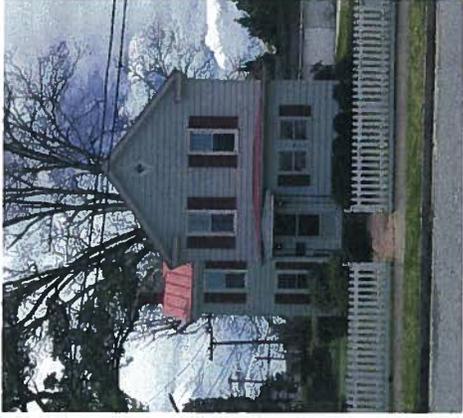


ISLE OF WIGHT VERNACULAR ARCHITECTURE

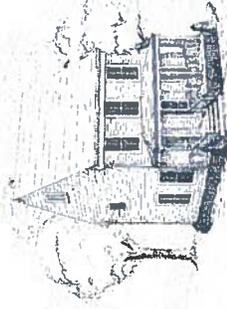
Historic District Patterns

ST. LUKE'S HISTORIC DISTRICT

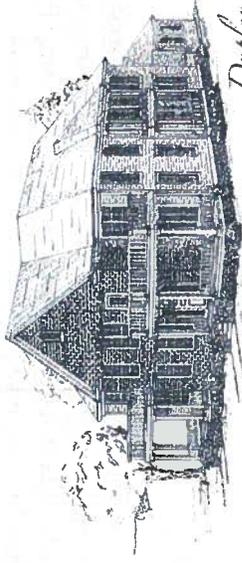
The elements illustrated in these design guidelines draw from the simple, vernacular detailing of the architecture found throughout Isle of Wight County and more specifically the important structures in the historic district. All future construction in the St. Luke's Historic District will be strictly governed by the architectural patterns incorporated into these design guidelines.



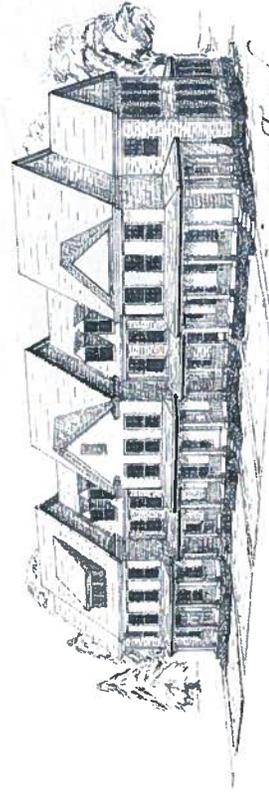
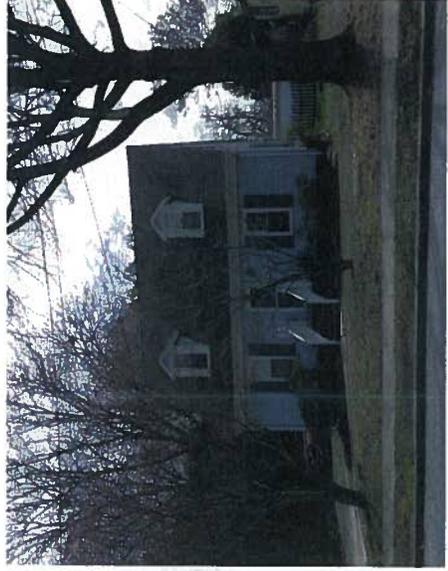
Single Family Home



Bungalow



Duplex



Townhomes

ARCHITECTURE

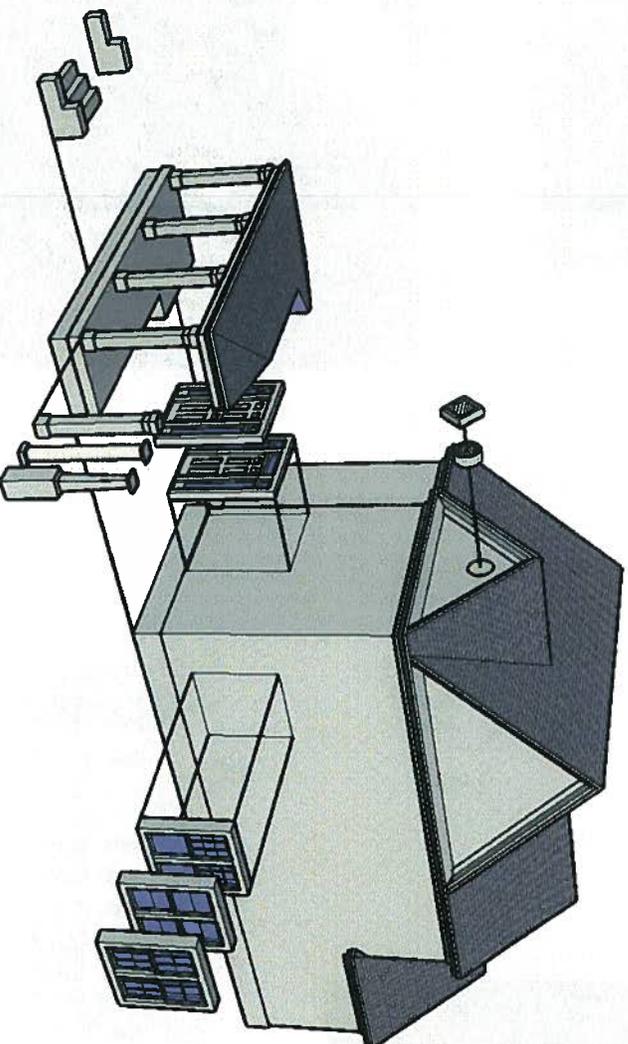
Historic District Patterns

The objective of these design guidelines is to illustrate the design standards, the character, and the architectural elements for the buildings in St. Luke's Historic District. These guidelines incorporate *A Roadmap for Growth*, *St. Luke's Design Manual*, and other historic precedent in the district and county.

Although there will be many diverse types of buildings in the St. Luke's Historic District, they can all share similar characteristics from building setbacks to building materials. These shared characteristics create the character of the St. Luke's Historic District.

The St. Luke's Historic Guidelines are an important resource when designing a building to be located in the Historic District. **Section A, Historic District Patterns** gives a historical perspective as to why the old, traditional neighborhoods offer desirable community patterns to emulate.

These guidelines should be used as a "kit of parts." After determining the floor plan and massing of your building, refer to **Section B, Architectural Elements** to select the appropriate building elements and materials to use. **Section C, Architectural Patterns** then shows design possibilities of building plans and elevations for building types using the elements shown in **Section B**. Refer to **Section D, Landscape Patterns** for guidelines on appropriate landscape elements and materials to use.



HOW TO USE THE ST. LUKE'S HISTORIC DISTRICT GUIDELINES

PURPOSE OF DESIGN STANDARDS

The overall objectives in establishing these guidelines are:

1. To fulfill the overall vision of Traditional Neighborhood Development and Architectural Design in the St. Luke's Historic District;
2. To ensure that all development and redevelopment be kept architecturally consistent in appearance and quality;
3. To protect and enhance the character of the St. Luke's Historic District.

APPLICABILITY

The Design Standards shall apply to all buildings, structures, and improvements within the St. Luke's Historic District including fences, walls, signs, antennas, clotheslines, awnings, lawn and yard lighting, play equipment and lawn ornaments. Nothing in the guidelines shall prevent an individual from conducting routine maintenance of their property. No buildings regardless of type shall be required to be submitted to the Historic Architecture Review Committee for review and approval as long as they follow these guidelines completely; any waiver or variation from these guidelines will require HARC approval.

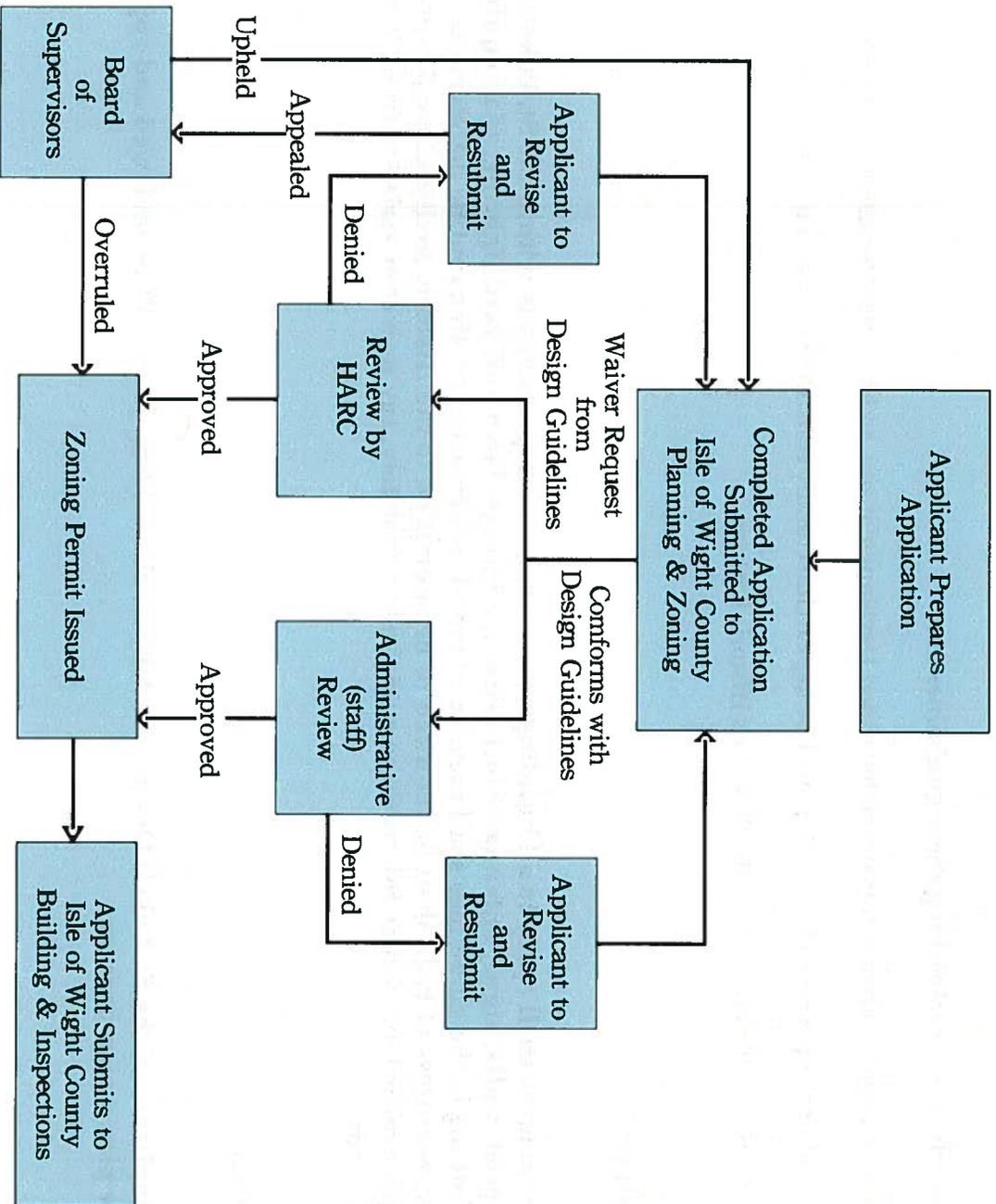
ENFORCEMENT

To ensure compliance of the St. Luke's Design Guidelines, all building plans will be reviewed and approved by staff as part of the site plan review process.

IMPLEMENTATION OF THESE DESIGN GUIDELINES

A-11

DESIGN REVIEW PROCESS
FOR BUILDINGS IN
ST. LUKE'S HISTORIC DISTRICT



DESIGN REVIEW PROCESS

B



Architectural Elements

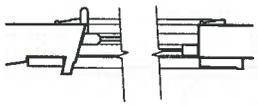
ST LUKE'S HISTORIC DISTRICT

POSSIBLE MULLION PATTERNS AND DETAILS

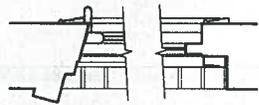


2ND FLOOR WINDOWS

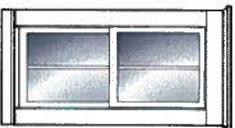
1ST FLOOR WINDOWS



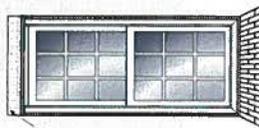
SIDING



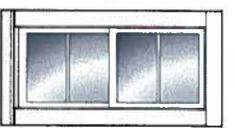
BRICK



2 OVER 2 VERTICAL



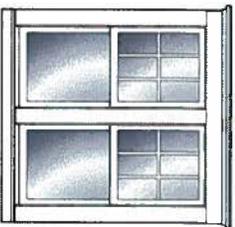
9 OVER 9 JACKARCH



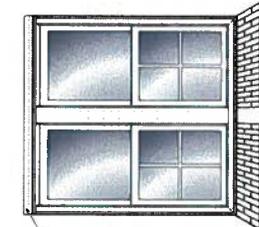
2 OVER 2 HORIZONTAL



9 OVER 9 ARCHD



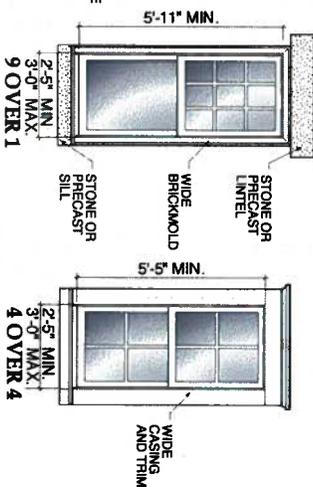
6 OVER 1



4 OVER 1 JACKARCH WITH KEYSTONE

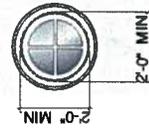
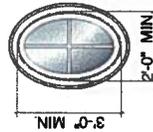
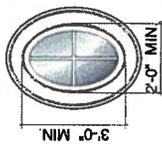
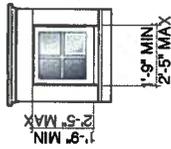
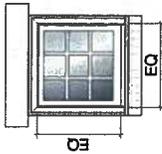
TYPICAL WINDOWS

Windows are a key element to a home's character. The variety of window patterns found in the homes throughout the St. Luke's Historic District help to define the streetscape's character. Windows are vertical in proportion and are double hung. Some of the mullion pattern possibilities, defined in terms of the number of panes, are 2 over 2, 6 over 6, 4 over 4, and 9 over 1.



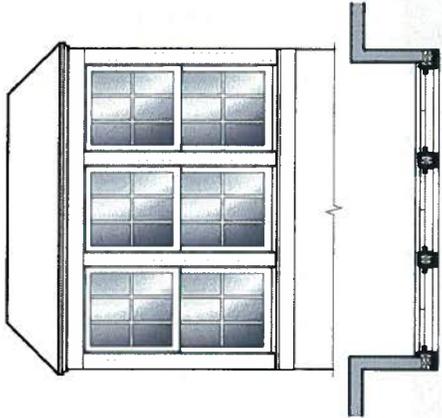
WINDOWS

SPECIAL WINDOWS

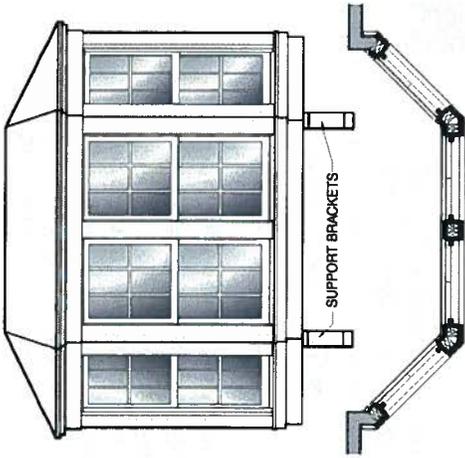


SPECIAL WINDOWS

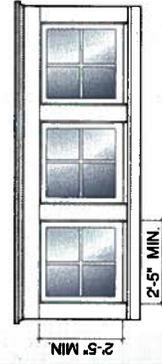
Special windows add to the charm of the house. Special windows include oval, round, small square or diamond-shaped windows. Groupings of multiple casement windows arranged horizontally can be also used as dormer windows. Angled bay and boxed bay windows will either extend to the grade or have support brackets.



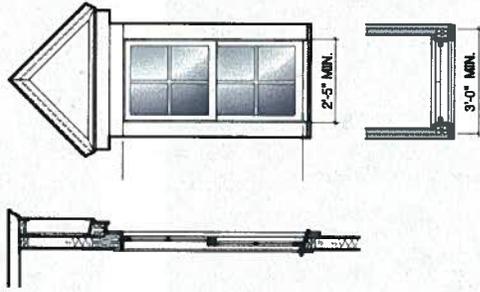
BOXED BAY WINDOW



ANGLED BAY WINDOW



SHED DORMER

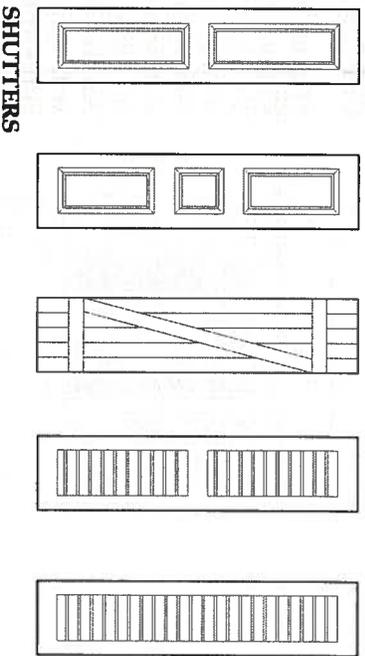


TYPICAL DORMER



WINDOWS

Architectural Elements



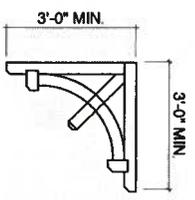
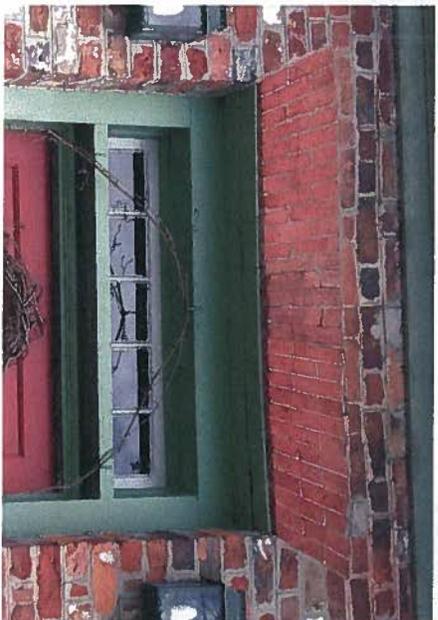
SHUTTERS

SHUTTERS

Shutters can be plank/board, paneled, or louvered. Shutters will appear to be operable with appropriate associated hardware. Shutter size will be the full height of the window sash and half of the width of the window sash to ensure full coverage of the window if shutters are closed.

TRIM AND SURROUND DETAILS

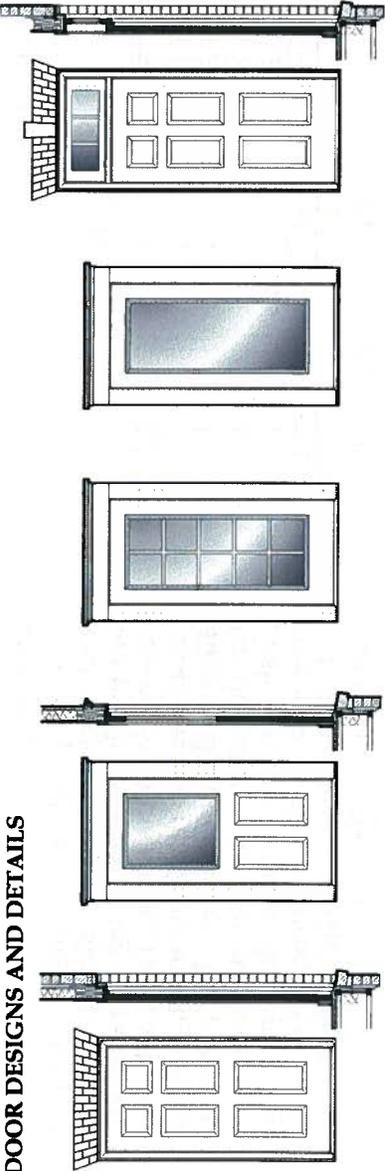
All doors, sidelights, and transoms will be cased with appropriate detailing that visually connects all of the entry elements. The surround will be a minimum of 3 1/2" wide brick mold or casing. Doors and windows set in a home with brick veneer will have appropriate brick detailing at the heads and sills of the openings. Details will include brick or stone jack arches with or without a keystone, quoins and other approved brick detailing.



SUPPORT BRACKET

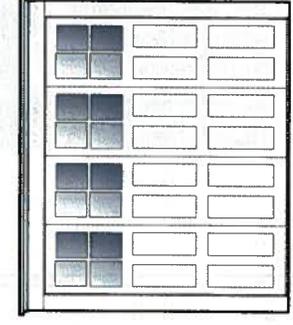
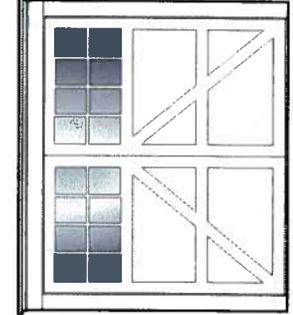
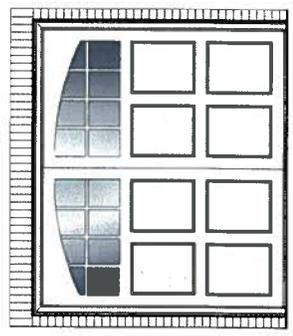
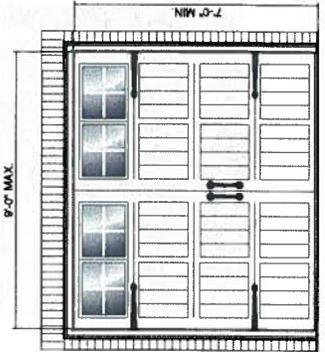
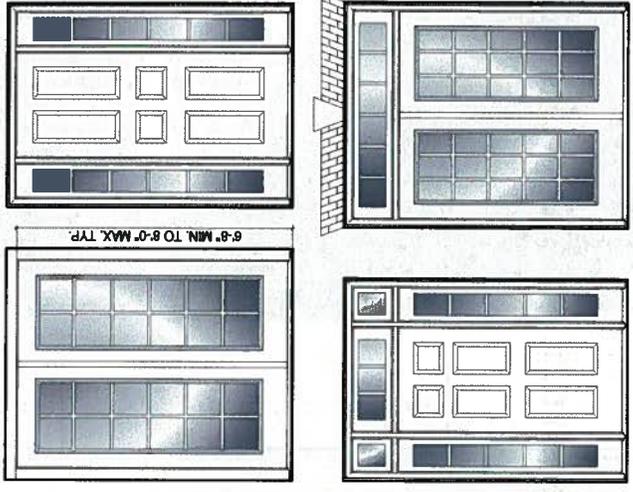
WINDOW DETAILS

DOOR DESIGNS AND DETAILS



TYPICAL DOORS

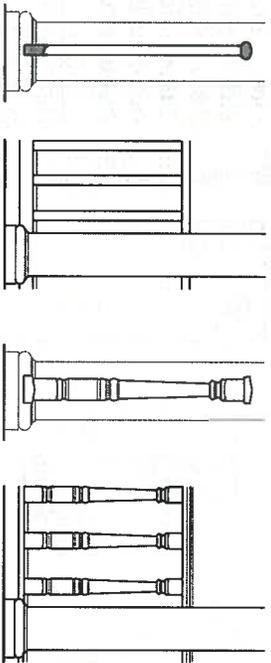
Doors may be paneled or glass with sidelights or a transom above. All doors will be side-hinged except for garage doors, which must appear to be side-hinged, if visible from the public street.



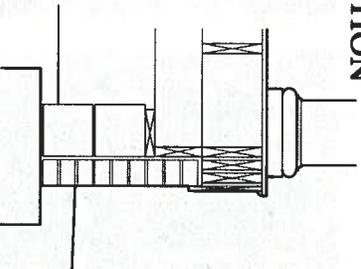
DOORS



RAILING DETAILS



TYPICAL PORCH SECTION



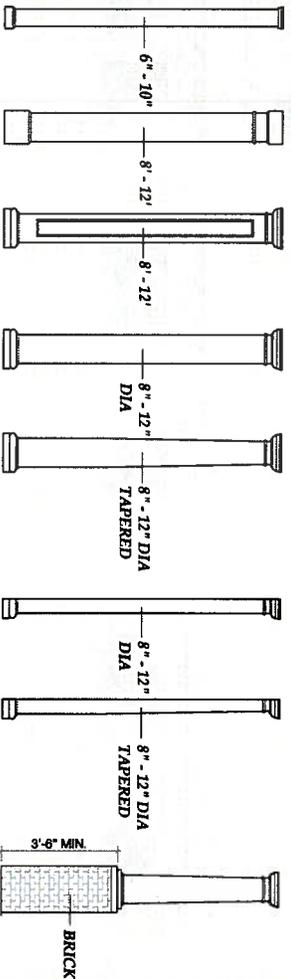
PORCHES
The front porch is a repetitive element, which contributes to the streetscape. The front porch is crucial to the character and to the safety of the street. The front porch encourages the residents to sit, talk and visit with their neighbors. The porch can span the entire length of the front of the house, wrap around to the side of the house or be positioned on one side of the front of the house to fill in the void made by an L-shaped floor plan.

COLUMNS AND RAILINGS

Column and railing designs add to the character of the house. Column types include round, tapered round, square, tapered square, paneled square, and half height column resting on a brick pier. First floor columns are 9' to 10' in height and second floor columns are 8'-0" to 9'-0" in height.



COLUMN TYPES

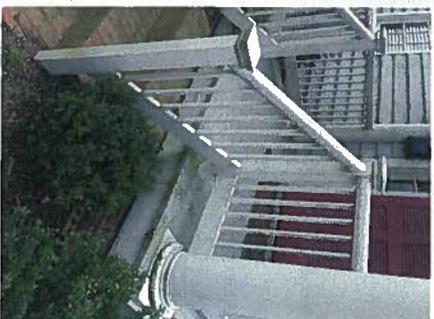


Box Columns

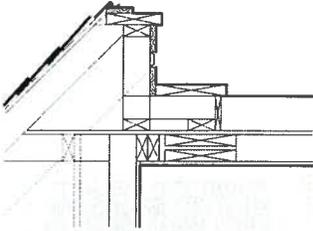
Round Columns

Half Columns

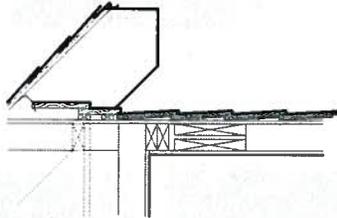
Half Height Columns



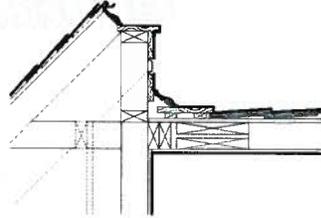
PORCHES



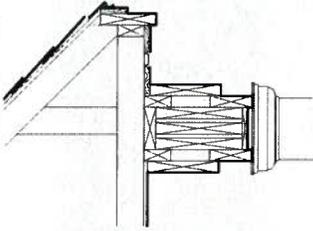
BOXED EAVE 01



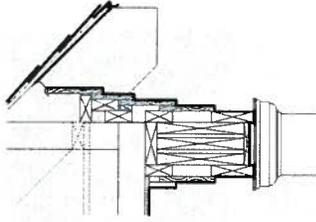
EXPOSED RAFTER



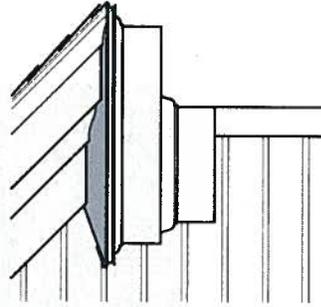
BOXED EAVE 02



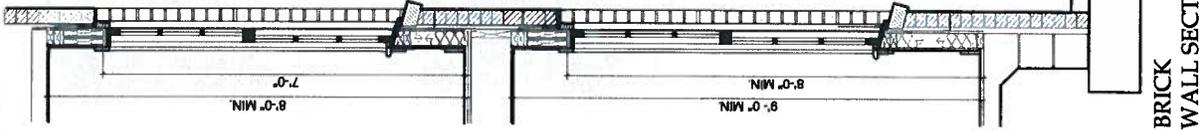
PORCH EAVE 01



PORCH EAVE 02 DETAIL



RETURN EAVE



BRICK WALL SECTION

ROOFS AND EAVES

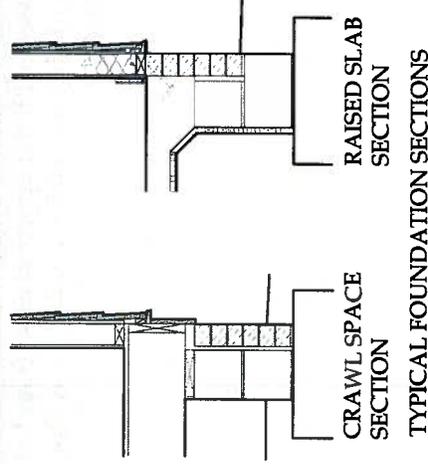
Houses in St. Luke's Historic District should have simple, symmetrical rooflines. Hipped roofs will have a pitch between 9:12 and 16:12. Gabled roofs will have a pitch between 10:12 and 18:12. Overhangs will be a minimum of 8" on the main building mass.

WALLS

The finish floor of the houses will be set approximately 30" above the finished grade. Ceiling heights will be a minimum of 9'-0" on the first floor and 8'-0" on the second floor.

FOUNDATION

The foundation will be brick on all exposed surfaces.



CRAWL SPACE SECTION

RAISED SLAB SECTION

TYPICAL FOUNDATION SECTIONS

TYPICAL WALL CONSTRUCTION

FIELD BRICK



LAWRENCEVILLE BRICK TYPE: KENSINGTON
MORTAR: SAND OR BUFF
WITH GRAPEVINE JOINT



LAWRENCEVILLE BRICK TYPE: CARTERS GROVE
MORTAR: BUFF
WITH GRAPEVINE JOINT



LAWRENCEVILLE BRICK TYPE: OLD SALEM
MORTAR: BUFF
WITH GRAPEVINE JOINT

ACCENT BRICK



LAWRENCEVILLE BRICK TYPE: MONTICELLO
MORTAR: GRAY OR BUFF
WITH GRAPEVINE JOINT



LAWRENCEVILLE BRICK TYPE: ABINGDON
MORTAR: SAND OR BUFF
WITH GRAPEVINE JOINT



LAWRENCEVILLE BRICK TYPE: MONTICELLO
MORTAR: BRICK RED
WITH GRAPEVINE JOINT



LAWRENCEVILLE BRICK TYPE: ABINGDON
MORTAR: COLONIAL RED
WITH GRAPEVINE JOINT

PAVERS



- COLORES:**
RED RANGE, FULL RANGE,
CHESTNUT, COCOA
PAVER STYLES:
STRAIGHT EDGE, ANTIQUE
PATTERNS:
DOUBLE BASKETVILLE,
HERRINGBONE OFFSET,
BASKETWEAVE

Note that these are suggestions; other masonry may be used with the approval of staff and of the Isle of Wight Historic Architecture Review Committee as needed.

*PLEASE NOTE: COLOR REPRODUCTIONS SHOWN ARE NOT NECESSARILY TRUE COLOR RENDERINGS. REFER TO ACTUAL COLOR SAMPLES FOR FINAL COLOR SELECTIONS.

MASONRY SELECTIONS

	MATERIALS	CONFIGURATIONS	GENERAL
FOUNDATION, PIERS, WATERTABLES, CHIMNEYS	<ul style="list-style-type: none"> - BRICK, STONE, AND ERSATZ STONE ON ALL EXPOSED FOUNDATION WALLS. CMU MAY ONLY BE USED WHERE WALL IS CONCEALED. - BRICK AND STONE SHALL COMPLEMENT ST. LUKE'S CHURCH. SEE MASONRY SELECTIONS. 	<ul style="list-style-type: none"> - BRICK MAY BE WHITE WASHED. - STONE AND ERSATZ SHALL BE LAID IN TRUE BONDING PATTERN 	<ul style="list-style-type: none"> - CHIMNEYS MAY BE WHITEWASHED BRICK WITH A STONE OR CAST STONE COPING.
EXTERNAL BUILDING WALLS	<ul style="list-style-type: none"> - BRICK (SIMILAR TO ST. LUKE'S STANDARD & OVERSIZE - 2 3/4 X 8 X 4 NOMINAL MAX) AND STONE OR ERSATZ STONE. SEE MASONRY SELECTIONS. - WOOD SIDING: BEADED SHIPLAP, OR PLAIN WITH 6" MAX. EXPOSURE. - CEMENTITIOUS SIDING (6" MAX EXPOSURE). - USE OF VINYL SIDING SHALL BE MINIMIZED AND SHALL BE USED ONLY WHERE NOT VISIBLE FROM A PUBLIC STREET. - SYNTHETIC PLASTER OR STUCCO FINISHES ABOVE GROUND FLOOR LEVEL OR AS AN ACCENT. (LESS THAN 15% OF SURFACE) 	<ul style="list-style-type: none"> - BRICK MAY BE WHITE WASHED - OPENINGS WILL BE NO MORE SQUAT THAN SQUARE, NO MORE VERTICAL THAN A TRIPLE SQUARE. - STONE AND ERSATZ SHALL BE LAID IN TRUE BONDING PATTERN 	<ul style="list-style-type: none"> - WHERE VISIBLE FROM THE STREET, FACADE MATERIALS SHALL BE CONSISTENT HORIZONTALLY.
ROOF / GUTTERS	<ul style="list-style-type: none"> - METAL ROOFING, MAX. 18" O.C. FOR SEAMS. (COLORS: DARK GRAY / SLATE GRAY OR WARM EARTH TONES / COPPER) - WOOD SHINGLES, MAX. 5" EXPOSURE 5/8" BUTT. - ASPHALT SHINGLES, 25 YEAR ARCHITECTURAL TAB. (COLORS: GRAY, BLACK, BROWN OR WARM EARTH TONES) - SLATE OR CEMENTITIOUS IMITATION SLATE. - GUTTER, D.S. AND FLASHING SHALL MATCH METAL ROOFING. - WHITE ALUMINUM OR COPPER GUTTER, D.S. AND FLASHING SHALL BE USED AT OTHER ROOFS. 	<ul style="list-style-type: none"> - HIPPED ROOFS WILL HAVE A PITCH BETWEEN 8:12 AND 18:12 AND GABLE ROOFS WILL HAVE A PITCH BETWEEN 10:12 AND 18:12 - DORMERS SHALL SIT, NO CLOSER THAN 3" TO THE GABLE END OF THE BUILDING. - OVERHANGS SHALL BE A MINIMUM OF 8" FOR PRINCIPAL BUILDINGS. - BUILDINGS WITH FLAT ROOFS SHALL HAVE ARCHITECTURAL DETAILING CONSISTENT WITH THE SURROUNDING BUILDINGS. 	<ul style="list-style-type: none"> - THE FOLLOWING MAY BE USED: <ul style="list-style-type: none"> - SKYLIGHTS AND VENTSTACKS (NOT VISIBLE FROM STREET) - SKYLIGHTS WILL BE FLAT AND FLUSH WITH ROOF LINE AND NO GREATER THAN 9 SQ. FT. - HALF-ROUND GUTTERS.
WINDOWS	<ul style="list-style-type: none"> - PAINTED WOOD - ALUMINUM OR VINYL CLAD WOOD. (CLADDING TO MATCH EXT. TRIM) - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. - CLEAR GLASS W/ MAX. 10% LIGHT REDUCTION. - STAINED OR FROSTED GLASS MAY BE USED IN ACCENT WINDOWS. - STOREFRONT FRAMING: WHITE OR BLACK. 	<ul style="list-style-type: none"> - FACADE FENESTRATION WILL NOT BE LESS THAN 30% OF THEIR SURFACE AREA. - OPENINGS FOR RESIDENTIAL DOORS SHALL NOT BE LARGER THAN 8'-0" HORIZONTALLY AND 10'-0" VERTICALLY. - OPENINGS FOR COMMERCIAL DOORS SHALL NOT BE LARGER THAN 12'-0" HORIZONTALLY AND 10'-0" VERTICALLY. - SINGLE OPENINGS FOR WINDOWS SHALL NOT BE LARGER THAN 4'-0" HORIZONTALLY AND 8'-0" VERTICALLY. - PANE OF GLASS SHALL NOT BE LARGER THAN 1'-0" HORIZONTALLY AND 2'-0" VERTICALLY WITH HORIZONTAL AND VERTICAL MULLIONS ONLY. - WINDOW SILLS SHALL PROJECT BETWEEN 1" AND 4". 	<ul style="list-style-type: none"> - WHERE VISIBLE FROM THE STREET, ONLY THE FOLLOWING WILL BE PERMITTED: <ul style="list-style-type: none"> - SINGLE AND DOUBLE HUNG WINDOWS - STOREFRONT FRAMING SHALL BE PERMITTED AT GROUND LEVEL OF COMMERCIAL BUILDINGS ONLY.
DOORS	<ul style="list-style-type: none"> - PAINTED OR STAINED WOOD. - ALUMINUM OR VINYL CLAD TO MATCH WOOD PROFILE. - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. - STOREFRONT FRAMING: WHITE OR BLACK. - GLASS SHALL BE CLEAR W/ MAX. 10% LIGHT REDUCTION. 	<ul style="list-style-type: none"> - DOORS SHALL BE RECESSED WOOD PANEL, LOUVERED OR DECORATIVE GLASS. - DOORS SHALL BE SIDE-HINGED. - STORM DOORS MAY BE GLASS. 	<ul style="list-style-type: none"> - WHERE VISIBLE FROM THE STREET, ONLY THE FOLLOWING SHALL BE PERMITTED: <ul style="list-style-type: none"> - GARAGE DOORS SHALL APPEAR TO BE WOOD AND HINGED AT JAMBS. - STOREFRONT FRAMING SHALL BE PERMITTED AT GROUND LEVEL OF COMMERCIAL BUILDINGS ONLY.
TRIM	<ul style="list-style-type: none"> - PAINTED WOOD - WHITE ALUMINUM OR VINYL CLADDING TO MATCH WOOD PROFILE. - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. 	<ul style="list-style-type: none"> - TRIM BOARDS BETWEEN 3" & 8" SHALL BE USED AT OPENINGS. 	<ul style="list-style-type: none"> - WHITE ALUMINUM CLADDING/TRIM SHALL BE A PREFORMED PRODUCT - IT SHALL NOT BE FIELD WORK ALUMINUM OR OTHER METAL
LINTELS	<ul style="list-style-type: none"> - STONE - BRICK - PRECAST CONCRETE 	<ul style="list-style-type: none"> - ARCHES AND LINTELS SHALL BE CONFIGURED AS TRUE BEARING ELEMENTS. - VISIBLE LINTELS SHALL BEAR BEYOND THE OPENINGS BY THE DIMENSION EQUAL TO THEIR HEIGHT (MIN. 4') 	
SOFFITS	<ul style="list-style-type: none"> - WOOD - FIBER CEMENT BOARD - COMPOSITE MATERIAL TO MATCH WOOD PROFILE 		

ARCHITECTURAL GUIDELINES

Architectural Elements

	MATERIALS	CONFIGURATIONS	GENERAL
RAILINGS	<ul style="list-style-type: none"> - PAINTED WOOD. - WROUGHT IRON. - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. 		
COLUMNS	<ul style="list-style-type: none"> - PAINTED WOOD. - FIBERGLASS. - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. 		
SHUTTERS	<ul style="list-style-type: none"> - PAINTED WOOD - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. 	<ul style="list-style-type: none"> - SHUTTERS MUST BE OPERABLE - SHUTTERS SHALL BE SIZED TO ENSURE FULL COVERAGE OF THE WINDOW IF CLOSED. 	
PORCH CEILING	<ul style="list-style-type: none"> - T & G WOOD BEADED BOARD - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. 		
PORCH / DECK FLOORING	<ul style="list-style-type: none"> - WOOD. - BRICK. - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. 		
EAVE / CORNICE DETAIL	<ul style="list-style-type: none"> - PAINTED WOOD OR WHITE ALUMINUM CLADDING TO MATCH WOOD SHAPE - COMPOSITE MATERIAL TO MATCH WOOD PROFILE. 		<p>WHITE ALUMINUM CLADDING/RIM SHALL BE A PRE-FORMED PRODUCT - IT SHALL NOT BE FIELD WORK ALUMINUM OR OTHER METAL.</p>
GARDEN WALLS & FENCES	<ul style="list-style-type: none"> - WOOD PICKET FENCING, WHITE OR NATURAL. - MASONRY WALLS SHALL COMPLEMENT ST. LUKE'S CHURCH (CMU & STUCCO ARE NOT PERMITTED). - WROUGHT IRON OR BLACK ALUMINUM - HIGH QUALITY VINYL, WHITE. 	<ul style="list-style-type: none"> - SPACE PICKETS @ 2X PICKETS WIDTH. - HEIGHT AND USE OF PRIVACY FENCES SHALL BE LIMITED TO THE REAR OF THE STRUCTURE AND SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING ORDINANCE. - FRONT YARD FENCING SHALL BE LIMITED TO 3'7" IN HEIGHT FOR SOLID DESIGNS AND 4'7" IN HEIGHT FOR DESIGNS WHICH ARE AT LEAST 50% OPEN. 	<p>USE, SIZE AND LOCATION OF OUTBUILDINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING ORDINANCE.</p>
OUTBUILDINGS & ACCESSORY STRUC.	<ul style="list-style-type: none"> - MASSING, MATERIALS & COLORS SHALL CONFORM TO THAT OF THE PRIMARY STRUCTURE. 	<ul style="list-style-type: none"> - OPEN SPACE UNDER WOOD DECKS, PORCHED OR STEPS IS TO BE ENCLOSED BY WOOD LATTICE (VERTICAL AND HORIZONTAL PATTERN ONLY). 	
LANDSCAPE & SIGNAGE	<ul style="list-style-type: none"> - TO CONFORM TO USE OF MIGHT COUNTY ZONING ORDINANCE AND SUBJECT TO APPROVAL. 	<ul style="list-style-type: none"> - BUILDING SIGNAGE SHALL BE FRONT LIGHTED. - SIGNAGE SHALL BE COMPOSED USING THE FOLLOWING COLORS: WHITE, DARK BLUE, MAROON, BROWN, BLACK, DARK GREEN, OR BRONZE. - LETTERING HEIGHT SHALL NOT EXCEED 1/2 OF THE BUILDING HEIGHT. - SITE SIGNAGE SHALL FOLLOW THE REQUIREMENTS OF THE ZONING ORDINANCE FOR SIZE, LOCATION, AND STYLE. COLORS ARE LIMITED TO THOSE LISTED. 	<p>RESIDENTIAL DEVELOPMENT WITHIN THE ST. LUKE'S HISTORIC DISTRICT SHALL BE REQUIRED TO INSTALL THREE (3) TIMES THE AMOUNT OF LANDSCAPING IDENTIFIED IN THE ZONING ORDINANCE.</p>
MISCELLANEOUS	<ul style="list-style-type: none"> - EXTERIOR HARDWARE TO BE SOLID BRASS, BRONZE, BRUSHED CHROME, OR BLACK. 	<p>THE FOLLOWING SHALL BE LOCATED TO MINIMIZE IMPACT AND SCREENED WHERE NECESSARY:</p> <ul style="list-style-type: none"> - ELECTRICAL METERS & GAS METERS. - WASTE BINS. - UTILITY AND TELEPHONE COMPANY BOXES. 	<p>THE FOLLOWING SHALL NOT BE VISIBLE FROM THE STREET:</p> <ul style="list-style-type: none"> - CLOTHES LINES, SATELLITE DISHES. - WASTE BINS, ABOVE GROUND STORAGE TANKS, ARTIFICIAL VEGETATION, EQUIPMENT. - AIR CONDITIONING COMPRESSORS, ELECTRIC METERS & GAS METERS. - SOLAR PANELS.
AWNINGS	<ul style="list-style-type: none"> - METAL. - FABRIC. 	<ul style="list-style-type: none"> - AWNINGS MAY BE CONSTRUCTED IN THE FOLLOWING COLORS: WHITE, DARK BLUE, MAROON, BROWN, BLACK, DARK GREEN, OR BRONZE. 	

ARCHITECTURAL GUIDELINES (continued)