

**CHARTER TOWNSHIP OF VAN BUREN**  
**REVISED PLANNING COMMISSION AGENDA**  
**Wednesday, March 23, 2022 – 7:30 PM**  
**Van Buren Township Hall**  
**46425 Tyler Road**

Per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022, the following Zoom link is provided to enable remote participation in a meeting of the public body by the general public:

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/87219599191>

Or One tap mobile :

US: +19294362866,,87219599191# or +13017158592,,87219599191#

Webinar ID: 872 1959 9191

See the Van Buren Charter Township website for additional information regarding how to participate in a Zoom public meeting.

**CALL TO ORDER:**

**ROLL CALL:**

**APPROVAL OF AGENDA:**

**MINUTES:** Approval of minutes from the regular meeting of March 9, 2022.

**CORRESPONDENCE:**

**PUBLIC HEARING:**

**OLD BUSINESS:**

**NEW BUSINESS:**

**ITEM # 1**                      **CASE 22-011 TNT FIREWORKS (WAL MART SITE)– TEMPORARY LAND USE**

**TITLE:**                      The Applicant, TNT Fireworks, is requesting a temporary land use permit to conduct a temporary outdoor fireworks tent sale.

**LOCATION:**                10562 Belleville Road. This site is located in the Wal Mart parking lot, which is on the west side of Belleville Road, south of Tyler Road.

**INFO:**                      This activity is proposed from June 22 to July 5, 2022.

**ACTION ITEMS:**        A. Presentation from Township Staff  
                                 B. Presentation from the applicant  
                                 C. Planning Commission discussion  
                                 D. Public comment



E. Planning Commission considers approval of the Temporary Land Use

**ITEM # 2**

**CASE 20-025 – DTE MODULAR RESTROOM ADDITION**

**TITLE:** The applicant, Rudolph Libbe, on behalf of owner DTE, has applied seeking to install a 1,285 square foot addition to an existing 116,377 office and manufacturing building used by DTE.

**LOCATION:** Parcel number v-125-83-046-99-0011-704; Address: 8001 Hagerty Road. The development is located on the east side of Hagerty Road, just south of Ecorse Road.

**ACTION ITEMS:**

- A. Presentation from Township Staff
- B. Presentation from the applicant
- C. Planning Commission discussion
- D. Public comment
- E. Planning Commission considers approval of the Preliminary and Final Site Plan

**ITEM # 3:** **CASE 22-014 – DTE ELECTRIC TREE REMOVAL PERMIT APPLICATION – 42061 ECORSE ROAD**

**LOCATION:** 42061 Ecorse Road, tax parcel 83 041 99 0004 001, On the South side of Ecorse Road between Haggerty Road and Kirkridge Park Drive.

**TITLE:** Applicant Christopher Becker on behalf of DTE Electric seeks approval for a tree permit for the removal of fifty-six (56) trees.

**ACTION ITEMS:**

- A. Presentation by Township Staff.
- B. Presentation by the Applicant.
- C. Planning Commission discussion.
- D. Planning Commission considers tree permit approval.

**ITEM # 4:** **DISCUSSION: SUMPTER ROAD MIXED USE ZONING DISTRICT (SRMU) AND SUMPTER ROAD OVERLAY DISTRICT (SROD)**

Work session to discuss proposed text amendments to the Van Buren Township Zoning Ordinance to consider the addition of Section 3.121 (Sumpter Road Mixed Use District) and Article 6, Chapter 4 (Supplemental Zoning District Standards – Sumpter Road Overlay District), and related amendments. The first work session will focus on the purpose of the SRMU District, permitted principal and special land uses in the district’s “Anchor” and “Shallow Frontage” lots, acceptable building types for these lots, and dimensional requirements for these buildings.

**ACTION ITEMS:**

- A. Presentation from Staff
- B. Planning Commission discussion
- C. Planning Commission considers recommendation to continue discussion at a future meeting.



**ITEM # 5:**

**PLANNING COMMISSION MEETING TIME**

**ACTION ITEMS:**

- A. Presentation from Staff
- B. Planning Commission discussion
- C. Planning Commission considers resolution to change regular meeting time.

**GENERAL DISCUSSION AND UPDATES**

**ADJOURNMENT:**



**CHARTER TOWNSHIP OF VAN BUREN  
PLANNING COMMISSION  
March 9, 2022  
MINUTES - DRAFT**

Chairperson Kelley called the meeting to order at 7:32 p.m.

**ROLL CALL:**

**Present:** Jahr, Barr, Budd and Kelley.

**Excused:** Atchinson, Cullin and Garrett.

**Staff:** Director Power, Director Renaud, Executive Assistant Dohring and Secretary Harman.

**Planning Representatives:** McKenna Associate, Vidya Krishnan and Fishbeck Associate, David Potter.

**Applicant(s) in Attendance:** Frank Martin and Tom Gergich of Dorchon-Martin Associates for Applebee's (remote), Scott Wright and Mason Brown of JSB Builders and Steven Gedert of Neumann/Smith Architecture for the Van Buren Charter Township Community Center.

**Audience:** Seven (7).

**APPROVAL OF AGENDA:**

Motion Budd, Jahr second to approve the agenda of March 9, 2022 as presented.

**Motion Carried.**

**APPROVAL OF MINUTES:**

Motion Jahr, Barr second to approve the regular meeting minutes of February 23, 2022 as presented. **Motion Carried.**

**PUBLIC HEARING:**

**ITEM #1: 21-043 – APPLEBEE'S DRIVE-UP ADDITION SPECIAL LAND USE REQUEST AND SITE PLAN REVIEW.**

THE APPLICANT, FRANK MARTIN, AIA ON BEHALF OF OWNER APVB, LLC SEEKS TO CONSTRUCT AN 11' X 14' "TO GO" BOOTH FOR ONLINE AND PICKUP ORDERS FOR THE APPLEBEE'S RESTAURANT. ANY DRIVE-THRU FACILITY (ACCESSORY TO ANY PRINCIPAL USE) IS A SPECIAL LAND USE IN THE C-2 (EXTENSIVE HIGHWAY BUSINESS) ZONING DISTRICT. THE PROPOSED SPECIAL LAND USE REQUIRES A PUBLIC HEARING.

THE 1.3 ACRE SITE IS LOCATED AT 10526 BELLEVILLE ROAD (PARCEL ID NUMBER 83-064-99-0003-715), ON THE WEST SIDE OF BELLEVILLE ROAD BETWEEN WESTLAKE CIRCLE AND THE NORTH I-94 SERVICE DRIVE AND IS ZONED C-2, EXTENSIVE HIGHWAY BUSINESS DISTRICT.

Motion Jahr, Budd second to open the public hearing. **Motion Carried.**



The applicant's team was available via Zoom to answer any questions. There were no comments from the audience or remote viewers.

**Motion Jahr, Barr second to close the public hearing. Motion Carried.**

**NEW BUSINESS:**

**ITEM #1: 21-043 – APPLEBEE'S DRIVE-UP ADDITION SPECIAL LAND USE REQUEST AND SITE PLAN REVIEW.**

**THE APPLICANT, FRANK MARTIN, AIA ON BEHALF OF OWNER APVB, LLC SEEKS TO CONSTRUCT AN 11' X 14' "TO GO" BOOTH FOR ONLINE AND PICKUP ORDERS FOR THE APPLEBEE'S RESTAURANT. ANY DRIVE-THRU FACILITY (ACCESSORY TO ANY PRINCIPAL USE) IS A SPECIAL LAND USE IN THE C-2 (EXTENSIVE HIGHWAY BUSINESS) ZONING DISTRICT. THE PROPOSED SPECIAL LAND USE REQUIRES A PUBLIC HEARING.**

**THE 1.3 ACRE SITE IS LOCATED AT 10526 BELLEVILLE ROAD (PARCEL ID NUMBER 83-064-99-0003-715), ON THE WEST SIDE OF BELLEVILLE ROAD BETWEEN WESTLAKE CIRCLE AND THE NORTH I-94 SERVICE DRIVE AND IS ZONED C-2, EXTENSIVE HIGHWAY BUSINESS DISTRICT.**

Director Power gave a brief presentation. The purpose for the Applebee's addition is to have a "To Go" booth for online and mobile app order pickup with some vehicle stacking. The "To Go" booth being an accessory to the principal use requires special land use approval. The Planning Commission will consider 2 actions, special land use and site plan approval.

Vidya Krishnan of McKenna Associates presented her special land use review letter dated 2-27-22. The proposed plan meets the general standards for consideration of special land use approval and the specific standards related to the use. Therefore, McKenna Associates recommends the Planning Commission recommend approval of the special land use to the Township Board of Trustees, subject to site plan approval.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 2-27-22. A revised plan has been submitted by the applicant which addresses all of their concerns. The proposed addition will allow the applicant to offer additional services at the restaurant which has become the norm over the past two years. Therefore, McKenna Associates recommends the Planning Commission grant preliminary and final site plan approval for the proposed drive-through addition to Applebee's, subject to the following conditions:

1. Administrative review of existing site landscaping and providing additional plantings as required to meet intent of the ordinance.
2. Administrative approval of signage.

David Potter of Fishbeck Associates presented his staff review letter dated 2-28-22, recommending engineering and final site plan approval for the Applebee's addition, subject to



the comments in the review letter and in accordance with the Township's Engineering Standards manual.

Director Power presented the Fire Department review letter dated 12-23-2. Fire Department access will not be adversely affected by the addition of the booth and it is further understood that building plans will be submitted for review at a later date.

Applicant, Frank Martin thanked the Planning and Engineering consultants. Applebee's has been a business partner in Van Buren Township since the early 2000's. The pandemic changed everything and restaurants needed to adapt as the number of to-go and pickup orders increased. The "To Go" booth is an effort to improve upon the pickup/delivery experience. Customers will place orders on the mobile app or by calling Applebee's and drive to the "Go To" booth for pickup improving safety by eliminating a crew member walking to the vehicle and/or the customer leaving the vehicle. Mr. Martin was available to answer any questions.

Commissioners had the following questions and comments:

- Where are the signs going to be located? There will be 2 signs, they are displayed on the elevations.
- Is there signage in the traffic area? The applicant doesn't have it marked on the site, staff will review and make sure signage is in place.
- Is there any striping required for the stacking area? Striping is not required for the stacking area, but has to be shown on the plan.
- Is there a menu board? No, ordering will be done on the mobile app or by phone.

No comments from the audience or remote viewers.

**Motion Jahr, Budd second to recommend special land use approval to the Township Board of Trustees for applicant, Frank Martin on behalf of owner APVB, LLC to construct and operate an 11' x 14' "To Go" booth for online and pickup orders at Applebee's, located at 10526 Belleville Road, based on the analysis and subject to the conditions in the McKenna Associates review letter dated 2-27-22, Fishbeck Associates review letter dated 2-28-22, Fire Department review letter dated 12-23-21 and Director Power's staff review memo dated 3-4-22.**

**Roll Call:**

**Yeas: Barr, Budd, Jahr and Kelley.**

**Nays: None.**

**Excused: Atchinson, Cullin and Garrett.**

**Motion Carried. (Letters Attached)**

**Motion Jahr, Barr second to grant the applicant, Frank Martin on behalf of owner APVB, LLC both preliminary and final site plan approval to construct an 11' x 14' "To Go" booth for online and pickup orders at Applebee's, located at 10526 Belleville Road, based on the analysis and subject to the conditions in the McKenna Associates review letter dated 2-27-22, Fishbeck**



**Associates review letter dated 2-28-22, Fire Department review letter dated 12-23-21 and Director Power's staff review memo dated 3-4-22.**

**Roll Call:**

**Yeas: Budd, Barr, Jahr and Kelley.**

**Nays: None.**

**Excused: Atchinson, Cullin and Garrett.**

**Motion Carried. (Letters Attached)**

**ITEM #2: 21-004 – JSB BUILDERS LLC – FINAL SITE PLAN.**

**THE APPLICANT, SAM PATEL ON BEHALF OF JSB BUILDERS, LLC HAS APPLIED TO CONSTRUCT A 16,280 SQUARE FOOT MULTI-TENANT LIGHT INDUSTRIAL BUILDING WITH TRUCK WELL AND RELATED SITE IMPROVEMENTS.**

**THE SITE IS LOCATED TO THE SOUTH OF 6032 SCHOONER DRIVE, TAX PARCEL ID NUMBER 83-018-99-0003-708, IS ZONED M-1 (LIGHT INDUSTRIAL) WITH A TOTAL AREA OF 4.478 ACRES. THE SITE IS LOCATED ON THE WEST SIDE OF SCHOONER DRIVE WHICH IS LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE BETWEEN BECK AND DENTON ROADS.**

Director Power deferred the presentation to the Planning Consultant and Township Engineer for their reviews.

Vidya Krishnan of McKenna Associates presented her final site plan review letter dated 2-9-22. All of the conditions of the preliminary plan approval have been met at this time, with the exception of landscaping along the site's future development area. Therefore, McKenna Associates recommends the Planning Commission grant final site plan approval for JSB Builders to construct a new industrial building on Schooner Drive, subject to:

1. Installation of landscaping along the site's remaining frontage (future development area) if no formal plan for the development of the area is submitted to the Township officially by April 2025.

David Potter of Fishbeck Associates presented his site plan review letter dated 2-22-22, highlighting storm sewer comments 1 and 2:

1. There is no dedication of a stormwater detention system. The applicant has indicated onsite stormwater detention is not required in accordance with the property deed restrictions and design of the Schooner Road detention system. The applicant must provide these referenced documents that exempt the site from stormwater detention requirements for the Township to review.
2. The applicant must submit calculations for the total additional runoff volume for the ten-year storm for the proposed development of including calculations for composite C factor for the entire site.



Fishbeck Associates recommends engineering and final site plan approval for JSB Builders site, subject to the comments listed in the review letter and in accordance with the Township's Engineering Standards manual. The applicant must amend the plans in accordance with the comments listed and submit documentation indicating previous approvals for no required internal stormwater management prior to the Issued for Construction plan set. If said documents cannot be supplied or if Wayne County does not accept the stormwater design, or lack thereof, the applicant will be responsible for resubmitting for engineering review.

Director Power presented the Fire Department review letter dated 2-16-22, providing the following comments:

Fire Protection/Water Supply

- No part of any buildings and structures shall be more than 250 feet from a hydrant.
- 1 fire hydrant located on Schooner Drive is shown on the plans, 1 additional hydrant will need to be installed on the north side of the building.
- The north side of the building is over 250 feet away from either hydrant.

Building Access/Communications

- The installation of an ELOCK Knox box is required for all tenants within the building. The Knox Box location will be verified prior to the installation on the building.
- Emergency Responder Radio Coverage System is required unless it can be proven after building is constructed and occupied that coverage is sufficient. This will be verified by AHJ prior to final C/O.

Architect, Scott Wright discussed the two outstanding items addressed in the planning and engineering reviews. The applicant has no issue with adding a date for the landscaping of Schooner Drive and has also discussed the possibility of a performance bond. In regard to the stormwater, the property was purchased with the deed restriction and the owner has been looking through documents. The owner and applicant will continue working with the Township to locate the required stormwater system documents.

Mason Brown discussed the hydrants referenced in the Fire Department review letter. The applicant has sent out new drawings with revised hydrant coverage. 1 hydrant has been added to the north side of the building and the hydrant on the south side of the building has been moved in order to meet requirement standards.

Commissioners had the following questions and comments:

- What is the applicant's recourse if they can't find the information that we are looking for? The recourse would be to reverse engineer the site.
- If the information does not appear and there needs to be significant stormwater engineering, would it come back to the Planning Commission. Yes, the review letter would be rescinded and it would come back for engineering review.
- Commissioner likes the 3-year reprieve for landscaping with a performance bond. How did the Planning Consultant come up with the 3 years? The project will take approximately 18 months and gives the applicant some incentive.
- Commissioners like the look of the building.



No comments from the audience or remote viewers.

**Motion Jahr, Budd second to grant the applicant, Sam Patel on behalf of JSB Builders, LLC final site plan approval to construct a 16,280 square foot multi-tenant light industrial building with truck well and related site improvements at the site location to the south of 6032 Schooner Drive, parcel number 83-018-99-0003-708, based on the analysis and subject to the comments in the McKenna Associates review letter dated 2-9-22, Fishbeck Associates review letter dated 2-22-22, Fire Department review letter dated 2-16-22 and Director Power's staff memo dated 3-4-22 with the added condition that a performance bond shall be attached to the landscaping requirement.**

**Roll Call:**

**Yeas: Barr, Budd, Jahr and Kelley.**

**Nays: None.**

**Excused: Atchinson, Cullin and Garrett.**

**Motion Carried. (Letters Attached)**

**ITEM #3: 22-008 – VAN BUREN CHARTER TOWNSHIP COMMUNITY CENTER RENOVATION AND ADDITION – PRELIMINARY SITE PLAN.**

**THE APPLICANT, STEPHEN J. GEDERT, ON BEHALF OF OWNER VAN BUREN CHARTER TOWNSHIP, HAS APPLIED FOR ROUGHLY 13,446 SQUARE FEET OF RENOVATIONS AND A 16,411 SQUARE FOOT GYMNASIUM ADDITION ADJACENT TO THE EXISTING MUNICIPAL BUILDING, RENOVATIONS TO THE EXISTING BUILDING AND THE CONSTRUCTION OF ASSOCIATED PAVEMENT AND UTILITIES.**

**46425 TYLER ROAD (PARCEL ID NUMBER 83-061-99-0006-000). THE SITE IS LOCATED EAST OF QUIRK ROAD AND SOUTH OF TYLER ROAD.**

Director Power presented his staff review letter dated 3-7-22. The site plan review is for a proposed 13,446 square foot renovation and building addition totaling 21,763 square feet (16,411 square foot first floor addition and 5,352 square foot mezzanine addition) for the purpose of providing a Community Center and site upgrades at the Van Buren Township Hall administrative campus. In addition to extensive programming (indoor and outdoor activities), the improvements will include a performance plaza, a fitness patio, additional parking, walkways and landscaping. The site is zoned OT, Office Technology and the lot is approximately 14.5 acres in area. Director Power displayed color renderings of the building addition and parking area, the exterior façade consists of metal panel, brick and glass. The items included in Director Power's staff review letter are minor in nature and can be addressed with final site plan adjustments as the project proceeds through engineering and final site plan review and through the creation of "Issued for Construction" drawings. Director Power recommends conditional approval of the plan dated 2-25-22, subject to the following conditions:

- A written statement regarding a public safety need should be provided to justify the closure of access between the site's visitor and employee (public safety and general municipal employee) parking must be provided.



- I recommend the Planning Commission to approve the site's access configuration based on the presented site programming data and on the condition of receiving this written public safety justification.
- A designated snow storage area must be provided in coordination with the Township Department of Building and Grounds.
- The Planning Commission should modify the greenbelt along the east lot line from 20' to approximately 4' 9" as noted.
- The length of Type B perimeter in the Affected Area must be listed.
- The Planning Commission should modify the standard requirement of Section 10.103 (E)(b) to enable three shrubs per tree in place of trees along the required Type B greenbelt perimeter.
- The required number of deciduous or evergreen ("large") trees and ornamental trees related to building foundation landscaping must be reversed to show sixteen (16) required evergreen and deciduous trees and seven (7) ornamental trees and the species must be reflected in the final plant list.
- Staff should be enabled to work with the applicant to provide appropriate landscaping credit for trees which do not meet the minimum standards for plant materials.
- A detail of the proposed gate must be shown.
- I recommend that the Planning Commission should review the plans for consistency with the requirements of Section 3.114(F) of the Van Buren Township Zoning Ordinance as it pertains to building architecture and approve the plans as presented.

David Potter of Fishbeck Associates presented his review letter dated 3-3-22, highlighting Storm Sewer comment number 2:

- Calculations for the design of the storm sewer system must be provided in accordance with the Township Design Standard Manual as part of the Engineering Plan. The maximum allowable discharge in the Township for detention basins is 0.1 cubic feet per second (cfs)/acre.

Fishbeck Associates recommends the applicant move forward in the Township approval process, subject to the applicant determining the proper course of action for the comments in the review letter.

Director Power presented the Fire Department review letter dated 3-1-22. The parking lot on the eastern side of the complex that leads to the baseball diamond has a dead end that exceeds 150 feet. Dead-end fire department access roads in excess of 150 feet in length shall be provided with approved provisions for the fire apparatus to turn around. Director Power informed that the Fire Chief and Fire Marshal are willing to modify.

Applicant, Stephen Gedert provided a PowerPoint presentation providing an overview of the design of the Community Center. Mr. Gedert displayed the overall site plan overlaid on a Google map to display the area of the renovation with the new gymnasium and fitness addition. On the outside there will be a performance plaza for outdoor concerts, movies and other events. The applicant is proposing an outdoor fitness patio to be used by staff for outdoor yoga and exercise classes. A new entrance for the Community Center has been designed for the east side of the



building. The parking area and side walk will be extended to Quirk Park. The Police and Employee parking lot area is closed off to the public, with access along Quirk Road, a 5 foot high decorative fence with a security gate entrance to the parking area. The renovated area of the building will have a new lobby, control desk, community center offices and Black Box Theater. Across from the administrative offices are restrooms and locker rooms, a multi-purpose party room and renovated senior area. Also included in the renovation/addition are new seating areas, a play room, an additional multi-purpose party room, fitness area/exercise room, new gymnasium with a high school sized basketball court or 2 junior high sized courts with pickle ball and volleyball layouts. The gymnasium will have a stair access to the mezzanine floor which has a walking track. Mr. Gedert displayed color renderings of the exterior of the building, a sample of the brick for the exterior façade and was available to answer any questions.

Commissioners had the following questions and comments:

- Very nice-looking addition to the building. With regard to Section 3.114(F) flat roofs being discouraged, since this is an addition to the building with an existing flat roof, feel it is an acceptable look.
- Commissioner thanked Director Renaud, Executive Assistant Dohring and the architects for their hard work.
- What is the Black Box Theater? It is a theater room that can be used for any type of performance, it does not have a fixed stage and can hold seating for up to 150 people. The room will have bleacher type seating that comes out from the wall.
- In reducing the greenbelt buffering, do we have the ability to make the modification if the intent is keeping the buffering with screening? Yes.
- Commissioner agrees with screening, the flat roof and loves the design of the building.
- Commissioner inquired about the written statement for public safety. Director Power informed that if the Planning Commission needs more information, they can reach out to the department.
- Commissioners agreed to the fence around the public safety and employee parking areas.

No comments from the audience or remote viewers.

**Motion Jahr, Barr second to grant the applicant, Stephen J. Gedert on behalf of owner Van Buren Charter Township preliminary site plan approval for 13,446 square feet of renovations and a 16,411 square foot gymnasium addition adjacent to the existing municipal building, renovations to the existing building and the construction of associated pavements and utilities, based on the analysis and subject to the conditions in the Fishbeck Associates review letter dated 3-3-22, Fire Department review letter dated 3-1-22 and Director Power's revised staff review letter dated 3-7-22.**

**Roll Call:**

**Yeas: Budd, Barr, Jahr and Kelley.**

**Nays: None.**

**Excused: Atchinson, Cullin and Garrett.**

**Motion Carried. (Letters Attached)**



**GENERAL DISCUSSION:**

Director Power discussed the possibility of changing the Planning Commission meeting format to an earlier meeting time. There is a public process to make a time change to the meeting and Director Power wants to make sure that any change made works for all Planning Commission members. Commissioners will check their work schedules and follow up with Director Power as to their availability.

**ADJOURNMENT:**

**Motion Barr, Jahr second to adjourn the meeting at 9:23 p.m. Motion Carried.**

Respectfully submitted,

Christina Harman  
Recording Secretary





CHARTER TOWNSHIP OF VAN BUREN  
APPLICATION FOR  
TEMPORARY LAND USE/SPECIAL EVENT  
46425 TYLER ROAD  
BELLEVILLE, MI 48111

RECEIVED

MAR 08 2022

DATE: 3/3/2022

Initial: \_\_\_\_\_

BUSINESS NAME: AMERICAN PROMOTIONAL EVENTS INC. DBA: TNT FIREWORKS

CONTACT PERSON: CHARLES FRIESE PHONE # 517.526.3839

SUPERVISOR FOR SITE: CHARLES FRIESE PHONE # 517.526.3839

EVENT TITLE: FIREWORKS TENT SALE

TYPE OF EVENT: TEMP/TENT SALE DATE(S): 6/22 TO 7/5/2022

LOCATION OF EVENT: WALMART PARKING LOT

ADDRESS OF LOCATION: 10562 BELLEVILLE RD, 48111

PROPERTY OWNER REPRESENTATIVE: STORE MANAGER PHONE # 734.697.2078

ARE SIGNS PROPOSED FOR ADVERTISING: ☒ YES ☐ NO IF YES, INCLUDE LOCATIONS & DETAILS

OTHER SIGNS ON TENT/BANNERS

IF OUTSIDE USE OF THE SITE IS PROPOSED SUBMIT DRAWING OF LAYOUT AND INCLUDE CRITERIA ITEMS (ATTACHED)

**NOTES:**

IF NOISE ABOVE 65 DB, ODOR, GLARE, SMOKE, VIBRATION ARE EXPECTED BEYOND THE PROPERTY BOUNDRIES PLEASE EXPLAIN IN SEPARATE LETTER.

ALL STRUCTURES INSTALLED FOR THE SPECIAL EVENT MUST BE REMOVED FROM SITE NO LATER THAN THREE (3) DAYS AFTER THE EVENT.

PROCESSING FEE \$ \_\_\_\_\_ BOND FEE \$ \_\_\_\_\_ TOTAL \$ \_\_\_\_\_

  
(SIGNATURE OF APPLICANT)

3/3/22  
(DATE SIGNED)

\_\_\_\_\_  
(APPROVED BY)

\_\_\_\_\_  
(DATE SIGNED)





## MEMO

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TO: Township Planning Commission

FROM: Dan Power – Director of Planning and Economic Development

RE: Review of Temporary Land Use Request #21-012 – TNT Fireworks

DATE: March 17, 2022

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### PROJECT REVIEW

TNT Fireworks is requesting a Temporary Land Use permit for a tent sale of fireworks at the Belleville Road Walmart, Store #2872, at 10562 Belleville Road. The use is proposed to be from June 22, 2022 through July 5, 2022. Per Section 7.120 of the Zoning Ordinance, temporary land uses that operate for more than seven (7) consecutive days require Planning Commission approval.

Under Section 7 of Michigan Public Act 256 of 2011, local units of government are limited in their ability to regulate the sale of fireworks within their communities. The Michigan Attorney General has issued an Opinion on this section of the Act (Opinion #7266), which states, "so long as the local ordinance does not prohibit fireworks vendors from undertaking their commercial operations in any way that other vendors may undertake their operations, the ordinance is not preempted by the Act." Therefore, fireworks vendors are subject to the same Zoning Ordinance regulations as any other temporary land use.

I have reviewed the application and the requirements of Section 7.120 for temporary land use approval and have the following comments:

1. **Adequacy of parking and access** (Section 7.120(C.1)) – The site has 714 public parking spaces, 23 of which are handicapped reserved. The site is currently is over-parked, and the tent will have a limited impact on the number of available parking spaces. The tent and surrounding buffer will occupy roughly 16 parking spaces. This site is located in the heart of Van Buren's downtown district, and sufficient access is available.
2. **Adequate drainage** (Section 7.120(C.2)) – The site is in an existing parking lot that already has storm water drainage. The tent will not affect the amount of impervious surface or water that would be diverted into the storm system.
3. **Compatibility with surrounding land uses** (Section 7.120(C.3)) – The surrounding parcels are all commercial in nature, and this temporary land use is not expected to impact the surrounding commercial uses.
4. **Size, height, and type of construction of proposed buildings and structures in relation to surrounding site** (Section 7.120(C.4)) – The tent is temporary in nature, and the parking lot, Walmart store, and the surrounding commercial businesses will not be impacted by the bulk of the tent.
5. **Sufficient setbacks from road rights-of-way and lot lines** (Section 7.120(C.5)) – The tent is located behind a landscaping island within the Walmart Parking Lot near the southeast corner of the site. It is over 100 feet from the southern lot line, and 20 feet from



the interior service road. Therefore, the setbacks are sufficient and the tent will not impact traffic flow or adjoining commercial businesses.

6. **Adequate utilities** (Section 7.120(C.6)) – TNT Fireworks will supply its own electrical generation. The generator and electrical hook-up will be inspected to ensure compliance with National Fire Protection Association requirements.
7. **Trash disposal and site clean-up** (Section 7.120(C.7)) – TNT Fireworks will be responsible for all trash disposal and site clean-up in relation to their lease agreement with Walmart.
8. **Sanitary facilities** (Section 7.120(C.8)) – Walmart has authorized all customers and TNT employees to use its restroom facilities.
9. **Hours of operation** (Section 7.120(C.9)) – The hours of operation will be from 9:00 a.m. to 10:00 p.m. Although Van Buren Township has a Fireworks Ordinance (adopted in 1986) which requires fireworks sales to conclude at 9:00 p.m., Act 256 preempts this requirement as there is no restriction on the hours of operation for other temporary uses. However, staff are not aware of any complaints with TNT Fireworks closing at 10:00 p.m. in previous years, so the hours of operation approved last year are reasonable and we recommend the same hours of operation for this year.
10. **Outdoor light and signs** (Section 7.120(C.10)) – No exterior lights are provided. Interior lights will be hung inside the tent. Although no temporary commercial sign permit requests have been received, the Zoning Ordinance permits one (1) 32 sq. ft. temporary sign for a period not to exceed 30 days. Any temporary signage must comply with the Zoning Ordinance before it obtains a sign permit from the Building Department.
11. **Other licenses and permits required** (Section 7.120(C.11)) – Last year, the applicant provided the Township with their Consumer Fireworks Retail Facility: Non-Permanent license. A current license must be provided by the applicant prior to the establishment of the temporary use. The Van Buren Fire Marshal shall be separately issuing his review letter.
12. **Potential noise, odor, dust, and glare** (Section 7.120(C.12)) – The proposed temporary use should not increase the noise, odor, dust or glare from their use.
13. **Fire lanes, fire protection, and security** (Section 7.120(C.13)) – The Van Buren Fire Marshal shall review the application for adequacy of fire lanes and fire protection. The site will be continually staffed. During non-operating hours, all products will be stored inside the tent and tent security will be maintained at all times by the tent operator or their representative.
14. **Off-site impacts of traffic volumes** (Section 7.120(C.14)) – The road in the immediate vicinity is a major Township road (Belleville Road) and this temporary use will not impact the flow or travel volumes. During 2014's Public Hearing, a resident raised a concern of the launching of fireworks at the site. No fireworks are permitted to be launched within 300 feet.
15. **Necessity of performance bond to ensure prompt removal** (Section 7.120(C.15)) – The property owner will be responsible for ensuring the site is returned to its pre-sale condition.
16. **Other concerns which may impact the public health, safety, or general welfare** (Section 7.120(C.16)) – There are no additional concerns; however,



the applicant is subject to the regulations of Act 256 and applicable regulations of the Fire Department.

**Recommendation**

This would be the eighth (8<sup>th</sup>) year that TNT Fireworks has been granted a temporary land use permit to operate at this location, and I am not aware of any issues or concerns from those previous years. I recommend approval of this application subject to the following conditions:

1. That the applicant obtains approval from the Van Buren Township Fire Marshal.
2. That all proposed signage complies with the Zoning Ordinance.



Andrew Lenaghan  
Deputy Fire Chief/Fire Marshal  
O: 734-699-8900 ext 9416

Van Buren Fire Department  
46425 Tyler Rd  
Van Buren Twp, MI 48111



March 11, 2022

Director of Building and Planning  
46425 Tyler Road  
Belleville, MI 48111

Re: American Promotional Events Inc. /TNT Fireworks  
Wal-Mart Parking Lot, 10562 Belleville Rd  
VBT 22-011

To whom it may concern:

I have reviewed a site plan received on March 11, 2022 for the above referenced project.

**Project Overview:**

The site plan is for a temporary fireworks retail facility. Included in the permit application package is a letter of authorization signed by TNT and Wal-Mart representatives. Also included, is the site plan for the stand, showing the location of the tent as it sits in the store parking lot as well as proof of insurance.

The Temporary facility and the retail sales of fireworks must comply with **NFPA 1124** as required by the State of Michigan and the Township of Van Buren.

Upon approval from the State of Michigan Bureau of Fire Services, and the issuance of a tentative permit to sell fireworks, the site will be inspected by the Van Buren Township Fire Department.

A detailed floor plan showing the location of tables, displays and exits shall be kept on site of the CFRS location.

Respectfully submitted,

Andrew Lenaghan  
Deputy Fire Chief/Fire Marshal  
Van Buren Township Fire Department

**Our Mission:** The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.



**Chuck Friese**  
**TNT Fireworks**  
**Regional Manager**  
**friese@tntfireworks.com**



**PO Box 7**  
**Three Rivers, MI 49093**  
**Cell 517.526.3839**  
**Fax 866.496.0838**

March 3, 2022

Reference: Temporary Fireworks Sale in Walmart Parking Lot

To whom it may concern:

Below is information on the temporary fireworks tent sale.

1. Our company will be selling Michigan approved fireworks.
2. Our sales period will be no longer than from June 22<sup>nd</sup> through July 5<sup>th</sup>, 2022.
3. Hours of operation will be from 9am through 10pm daily.
4. Sales will be conducted from a tent erected by a local tent rental company with a flame sheet provided.
5. There will be several 'no smoking' signs around the tent.
6. Overnight security will be provided by the group that is operating the tent (2 people present at all times).
7. Our company will make sure the environment will be kept clean and safe.
8. There will be a fire extinguisher placed at each exit (**THREE** total- two 10lb ABC and 1 water cannon).
9. Orange cones will be used to mark off the safety buffer around the tent so cars don't drive right up next to it. (10 feet away)
10. Our company will also provide all necessary insurance.
11. A copy of the State Permit from LARA will be provided after they issue it to me.

Attached is also a rough sketch of the location of the tent in the parking lot of Walmart, a permission letter from Walmart and proof of insurance.

*Also, please let me know if there are any changes or further requirements that need to be met.*

Thank you,

Chuck Friese  
TNT Fireworks  
Michigan~Area Managers





702 SW 8<sup>th</sup> Street  
Bentonville, AR 72716  
Jasmine.Allen@walmart.com

September 2, 2021

To Whom It May Concern,

American Promotional Events, Inc. dba TNT Fireworks is an approved National Supplier to conduct fireworks promotions on our Walmart parking lots where this type of promotion is legal. All stores have been researched and approved by the Walmart Realty Department. Approximate time frame for the promotions are:

- December 26<sup>th</sup>, 2021 through and including January 10<sup>th</sup>, 2022.
- June 11<sup>th</sup>, 2022 through and including July 12<sup>th</sup>, 2022 with the exception of Utah which has an additional selling period through the end of July for Pioneer Days.

American Promotional Events, Inc. dba TNT Fireworks is authorized to sign for and obtain all necessary permits and/or licenses for the promotion and must display such permits and/or licenses at each stand/tent. Walmart grants permission for all patrons of the sale to utilize the restroom facilities at each participating store.

An American Promotional Events, Inc. dba TNT Fireworks representative will call you to introduce the company and discuss your participation in the event. Participation is encouraged and does add additional income to your other income account. Store Management must approve the store's participation and placement on the parking lot.

Thank you in advance for your cooperation in this matter and if you have any questions, please contact TNT Fireworks at 256-767-7142.

Best Regards,

DocuSigned by:  
A handwritten signature in cursive script that reads "Jasmine Allen".

80E00EFEF25F4DE...  
Jasmine Allen  
Walmart Retail Services





Site Plan for Belleville Walmart #2872- 10562 BELLEVILLE RD BELLEVILLE, MI 48111

End Row 2

*North*



*Picture from MSN Maps*

The little yellow box on the south end of the parking lot is where the tent would be. (30x40)  
The white area around it would be the 10 foot buffer for no cars to park. Orange cones will be used to mark off the buffer.

\*\* Cars would park no less than 10 feet away

\*\* Any generator used would be placed 20 feet away





# CERTIFICATE OF LIABILITY INSURANCE

11/1/2022

DATE (MM/DD/YYYY)

10/29/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Lockton Companies 3280 Peachtree Road NE, Suite #250 Atlanta GA 30305 (404) 460-3600	<b>CONTACT NAME:</b>	<b>FAX (A/C, No):</b>	
	<b>PHONE (A/C, No, Ext):</b>	<b>E-MAIL ADDRESS:</b>	
<b>INSURED</b> 1378172 American Promotional Events, Inc. - East DBA TNT Fireworks, Inc. P.O. Box 1318 4511 Helton Drive Florence AL 35630	<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
	INSURER A : Everest Indemnity Insurance Company		10851
	INSURER B : Arch Specialty Insurance Company		21199
	INSURER C : AXIS Surplus Insurance Company		26620
	INSURER D :		
	INSURER E :		
INSURER F :			

**COVERAGES****CERTIFICATE NUMBER:** 13397800**REVISION NUMBER:** XXXXXXXX

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:	Y	N	SI8GL00242-211	11/1/2021	11/1/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$	
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY			NOT APPLICABLE			COMBINED SINGLE LIMIT (Ea accident) \$ XXXXXXXX BODILY INJURY (Per person) \$ XXXXXXXX BODILY INJURY (Per accident) \$ XXXXXXXX PROPERTY DAMAGE (Per accident) \$ XXXXXXXX \$ XXXXXXXX	
B	<input checked="" type="checkbox"/> <b>UMBRELLA LIAB</b> <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE	Y	N	UXP0056189-08	11/1/2021	11/1/2022	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$ XXXXXXXX
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	N/A	NOT APPLICABLE			PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ XXXXXXXX E.L. DISEASE - EA EMPLOYEE \$ XXXXXXXX E.L. DISEASE - POLICY LIMIT \$ XXXXXXXX	
C	Excess Liability	Y	N	P-001-000055919-04	11/1/2021	11/1/2022	\$5M Each Occurrence \$5M General Aggregate Total XS Limits: \$10M	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Additional Insured: FMI2872 Property located at Wal-Mart #2872 at 10562 Belleville Road, Belleville, MI 48111. Yvette Harris 2598162. The Township of Van Buren, all elected and appointed officials, all employees and volunteers, all boards, commission and/or authorities and board members, including employees and volunteers thereof. It is understood and agreed that by naming the Township of Van Buren as additional insured, coverage afforded is considered to be primary and any other insurance the Township of Van Buren may have in effect shall be considered secondary and/or excess

**CERTIFICATE HOLDER****13397800**Wal-Mart Stores, Inc.  
2001 SE 10th Street  
Bentonville AR 72716**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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in the previous year. Based on the review, Director Power recommends approval of the application subject to the following two (2) conditions:

1. That the applicant obtains approval from the Van Buren Township Fire Marshal.
2. That all proposed signage complies with the Zoning Ordinance.

Rick Tapper of Phantom Fireworks reiterated that this will be the second (2<sup>nd</sup>) year of operation at the same location, there were no problems the previous year and Menards was happy with the setup and cleanup of the site.

Commissioner inquired how many fire extinguishers will be located in the tent. There will be 3 fire extinguishers and the applicant will provide staff with an updated sheet displaying their locations. Commissioner inquired if the food truck will be coming back to the site and what is the location of the food truck in relation to the fireworks tent. Director Power informed that the food truck will be coming back and the location of the food truck will not conflict with the fireworks tent use.

**Motion Kelley, Jahr second to grant the applicant, Phantom Fireworks, a temporary land use permit to conduct a temporary outdoor fireworks tent sale, located at 10010 Belleville Road in the Menards parking lot, based on the analysis and subject to the conditions in the Director Power's staff review letter dated 4-9-21 and Fire Marshal Lenaghan's review letter dated 3-18-21 adding a note to see the fire extinguisher's locations on the plan.**

**Roll Call:**

**Yeas: Budd, Kelley, Cullin, Jahr and Thompson.**

**Nays: None.**

**Absent: Atchinson.**

**Motion Carried. (Letters Attached)**

**ITEM #7: 21-012 – TNT FIREWORKS (WALMART SITE) – TEMPORARY LAND USE.**

**THE APPLICANT, TNT FIREWORKS, IS REQUESTING A TEMPORARY LAND USE PERMIT TO CONDUCT A TEMPORARY OUTDOOR FIREWORKS TENT SALE.**

**LOCATION: 10562 BELLEVILLE ROAD. THIS SITE IS LOCATED IN THE WALMART PARKING LOT, WHICH IS ON THE WEST SIDE OF BELLEVILLE ROAD, SOUTH OF TYLER ROAD.**

Director Power presented his staff review letter dated 4-9-21 and display an image of the site. TNT Fireworks is requesting a temporary land use permit for a tent sale of fireworks at the Belleville Road Walmart at 10562 Belleville Road. The proposed use is from June 22, 2021 through July 5, 2021 with hours of operation from 9:00 a.m. to 10:00 p.m. This would be the seventh (7<sup>th</sup>) year that TNT Fireworks has been granted a temporary land use permit to operate at this location and staff is not aware of any issues or concerns from previous years. Director Power recommends approval of the application subject to the following conditions:

1. That the applicant obtains approval from the Van Buren Township Fire Marshal.
2. That all proposed signage complies with the Zoning Ordinance.



Chuck Friese of TNT Fireworks was available to answer any questions.

Commissioner inquired if there were 3 exits on the tent and 3 fire extinguishers. Mr. Friese confirmed there are 3 exits and fire extinguishers. There were no comments from the audience.

**Motion Kelley, Jahr second to grant the applicant, TNT Fireworks, a temporary land use permit to conduct a temporary outdoor fireworks tent sale, located at 10562 Belleville Road in the Walmart parking lot, based on the analysis and subject to the conditions in the Director Power's staff review letter dated 4-9-21 and Fire Marshal Lenaghan's review letter dated 3-10-21.**

**Roll Call:**

**Yeas: Jahr, Cullin, Kelley, Budd and Thompson.**

**Nays: None.**

**Absent: Atchinson.**

**Motion Carried. (Letters Attached)**

**GENERAL DISCUSSION:**

**Resignation of Commission Joan Franzoi:** Director Power informed the Commission and audience that Commissioner Joan Franzoi had announced her retirement, she first served on the Planning Commission in 1983. Commissioners thanked Franzoi for her many years of service, hard work and great mentorship to fellow Commissioners.

Commissioners discussed the potential of an update and review to the permitting process in the General Ordinance when outside of normal procedures. Director Best informed that a review and update can be worked on with the Planning Commission and the Board of Trustees. Commissioners requested staff to take a look into it and decide how to move forward and agreed mechanically the Ordinance is good but the permitting process needs to be restructured. Any changes to the Ordinance will come from the Board of Trustees. Director Power inquired what role the Planning Commission would like moving forward. Commissioners agreed that permit approvals still need to go through the Planning Commission. Staff will take a look at the General Ordinance to look at ways to simplify the permitting process and bring back information to the Commission.

**ADJOURNMENT:**

**Motion Budd, Cullin second to adjourn the meeting at 9:46 p.m. Motion Carried.**

Respectfully submitted,

Christina Harman  
Recording Secretary



# PLANNING & ZONING APPLICATION

Case number \_\_\_\_\_

Date Submitted 8/20/20

## APPLICANT INFORMATION

<b>Applicant</b>	<u>Rudolph Libbe Inc - Jamie Generous</u>	<b>Phone</b>	<u>810-772-6529</u>
<b>Address</b>	<u>47461 Clipper St.</u>	<b>Fax</b>	_____
<b>City, State</b>	<u>Plymouth MI</u>	<b>Zip</b>	<u>48170</u>
<b>E:mail</b>	<u>Jamie.Generous@RLGbuilds.com</u>	<b>Cell Phone Number</b>	_____
<b>Property Owner</b>	<u>DTE</u>	<b>Phone</b>	<u>586-707-3081</u>
	<small>(if different than applicant)</small>		
<b>Address</b>	<u>1 energy Plaza.</u>	<b>Fax</b>	_____
<b>City, State</b>	<u>Detroit MI</u>	<b>Zip</b>	<u>48226</u>
<b>Billing Contact</b>	<u>Rudolph Libbe Inc - Jamie Generous</u>	<b>Phone</b>	<u>810-772-6529</u>
<b>Address</b>	<u>47461 Clipper St.</u>	<b>Fax</b>	_____
<b>City, State</b>	<u>Plymouth MI</u>	<b>Zip</b>	<u>810-772-6529</u>

## SITE/ PROJECT INFORMATION

**Name of Project** DTE Western Wayne Modular Restroom Expansion

**Parcel Id No.** V125-83- **Project Address** 8001 Haggerty, Van Buren 48111

### Attach Legal Description of Property

**Property Location:** On the East Side of Haggerty Road; Between Ecourse Road and Tyler Road.

**Size of Lot** Width \_\_\_\_\_ Depth \_\_\_\_\_

**Acreage of Site** \_\_\_\_\_ **Total Acres of Site to Review** \_\_\_\_\_ **Current Zoning of Site** \_\_\_\_\_

**Project Description:** \_\_\_\_\_

465 SF Masonry construction on grade beam expansion

840 SF Temp. Modular restroom facility set on piers

**Is a re-zoning of this parcel being requested?** \_\_\_\_\_ **YES (if yes complete next line)** **NO**

**Current Zoning of Site** \_\_\_\_\_ **Requested Zoning** \_\_\_\_\_

## SPECIAL PERMIT INFORMATION

**Does the Proposed Use Require Special Approval?** \_\_\_\_\_ **YES (if yes complete next line)** **NO**

**Section of Zoning Ordinance for which you are applying** \_\_\_\_\_

**Is there an official Woodland within parcel?** NO **Woodland acreage** NA

**List total number of regulated trees outside the Woodland area?** None **Total number of trees** No Trees

**Detailed description for cutting trees** None

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

## OWNER'S AFFIDAVIT

DTE Energy / Supervisor of Corporate Real Estate / Karen L. Bourdage

Print Property Owners Name

Karen L. Bourdage  
Signature of Property Owner

**MICHELLE A. RILEY**  
**NOTARY PUBLIC - STATE OF MICHIGAN**  
**COUNTY OF OAKLAND**  
**My Commission Expires September 9, 2024**  
**Acting in the County of** Wayne

9/15/2020

Date

STATE OF MICHIGAN  
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 15<sup>th</sup> day of September, 2020  
Michelle A. Riley Notary Public, Oakland County, Michigan My Commission expires September 9, 2024  
Notarized using electronic/remote technology





## MEMO

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TO: Van Buren Township Planning Commission  
FROM: Dan Power– Director of Planning and Economic Development  
RE: Case 20-025 - DTE Modular Restroom Addition  
DATE: March 22, 2022

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The Planning Commission will review the request by applicant Rudolph Libbe, on behalf of owner DTE, to install a 1,285 square foot addition to an existing 116,377 office and manufacturing building used by DTE. The 26.2-acre site is located at 8001 Haggerty Road (parcel ID number 83-046-99-0011-704), on east side of Haggerty Road south of Ecorse Road, and is zoned M-1 – Light Industrial. The packet being considered by the Planning Commission includes a selection of civil and architectural drawings and images of the proposed addition.

DTE requires an expansion of restrooms and office space in a small addition to the warehouse portion of their main building. The reason for this addition is explained in a brief letter from DTE received March 22, 2022, which is attached to the revised packet. Per Section 12.201 of the Van Buren Township Zoning Ordinance, an addition to a nonresidential building exceeding 1,000 square feet in area requires site plan review by the Planning Commission.

If the site plan is approved by the Planning Commission, the final construction drawings will be produced. I look forward to assisting with this review. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written over a light blue horizontal line.

Dan Power, AICP  
Planning and Economic Development Director  
Public Services Department  
Charter Township of Van Buren





**MCKENNA**

March 17, 2022

Planning Commission  
Charter Township of Van Buren  
46425 Tyler Road  
Belleville, Michigan 48111

**Subject: VBT-20-025; DTE Energy Trailer Addition/8001 Haggerty Road; Site Plan Review #4;  
Revised plans not dated; recd. By Township on 3/2/2022.**

Dear Commissioners:

The applicant, DTE, proposes to construct an addition to the existing Western Wayne Service Center building, which includes a building addition with ramps to a trailer housing restrooms. The plan also includes the creation of outdoor equipment storage area on the east side of the site. The site is located on the south side of Ecorse Road, between Haggerty and I-275 Metro Trail, and area of the site with the new development is labeled at 1.57 acres. We have reviewed the site plan based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

## **COMMENTS**

- 1. Zoning and Use.** The site is zoned M-1 (Light Industrial District). Section 3.115 (B) of the Zoning Ordinance permits public utility buildings by right in the M-1 District. The proposed addition is an expansion of the existing service center building and is permitted by right. The proposed outdoor storage racks are to replace an existing storage area, and has been deemed as accessory outdoor storage. The site is surrounded by similar M-1 zoning to the north and south, and AG along a portion of the property to the north that is currently occupied by single family dwellings.

The proposed addition to the building is approximately 460 square feet in size and the trailer has an area of 825 square feet. The proposed additions are placed on the southeast side of the existing main building. *For purposes of zoning, the trailer is considered as a permanent structure since it is not being proposed as a short term temporary structure.*

Background. The PC previously approved an ASOC center on this site, which is no longer going to be built. The proposed changes to the site included addition of the locker room and trailer, yard improvements for storage and additional stormwater detention pond improvements in 2 phases. Previously, "Phase 1" yard improvements consisted of resurfacing existing surfaces and the installation of racking systems to organize materials stored in this area. Phase 2 yard improvements which expand to the east and south of the Phase 1 area, along with additional racking of stored equipment in this area. This proposal also included the construction of an expanded detention pond and the construction of an addition / trailer to be attached to the existing WWSC building.


Due to ongoing issues at DTE's end, the **scope of the project under consideration by the PC at this time is limited to the trailer addition only.** None of the other site improvements are part of this approval and the applicant is aware that any changes to the site, parking layout, outdoor storage, detention pond redo, will require additional approval from the Planning Commission.

**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

O 248.596.0920  
F 248.596.0930  
**MCKA.COM**

**Communities for real life.**



- 
2. **Required Information.** All of the basic information required per Section 12.203 of the Zoning Ordinance, has been provided at this time.
  3. **Lot.** The parcel has a total area of 20.03 acres, with the affected portion of the site measuring 1.57 acres in area. The legal description with Parcel ID has now been provided.
  4. **Dimensional Requirements.** The minimum required front, rear, and side yard setbacks per Section 4.102 of the Zoning Ordinance are 50 feet, 40 feet, and 40 feet (80 feet total of 2), respectively. The proposed addition complies with the minimum setbacks for the M-1 Light Industrial District.

Maximum permitted building height in the M-1 District is 2.5 stories and 30 feet. The height of the proposed addition/ trailer is 14' which is within the limits permitted.

5. **Access and Circulation.** The proposed addition does not alter any access to the site. The proposed addition does not include any doorways on the exterior and is an expansion from the interior. Therefore, no sidewalk connections are proposed at this time.
6. **Parking and Loading.** The parking requirement for the zoning ordinance is based on gross square footage. Therefore, parking is required for the proposed addition is at a rate of one (1) space per three hundred (300) square feet of gross floor area. Per the applicant's response letter dated 5/14/21, the site has more than the total required parking. Per comments from the applicant, the site contains a current surplus of 19 parking spaces. Five spaces are proposed to be removed where the trailer / addition is proposed. The new addition and trailer will be barrier free accessible from the interior of the main building to which they are connected.
7. **Landscaping and Screening.** The site is located in the Light Industrial (M-1) district. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others. The proposed addition is in the middle of an existing paved area, and is concealed entirely from view of Haggerty Road, but likely visible from the site's I-275 frontage. *Due to its small size, it is not likely to have a significant visual impact. Landscaping will be reviewed as part of the larger site plan improvements on the site at a future date.*
8. **Tree Removal Permit.** The current proposal is located on a paved area and does not result in any tree removal.
9. **Storm water Pond.** The proposed addition is located on existing impervious surface area. The Township Engineer has made the determination that the limited scope of the project at this time does not require detailed engineering or storm water detention review.
10. **Lighting.** Per the applicant, no changes or additions to site lighting are proposed. The elevations however note a single fixture on the exterior of the unit. Manufacturer's cut sheet detail of the proposed shielded light fixture must be provided for administrative approval, prior to installation.
11. **Architecture and Building Details.** The applicant has submitted proposed elevations for the addition and trailer. The addition is to be constructed of masonry block, while the trailer is constructed of standing seam metal panels. The previous plan noted that the trailer will have a 28-guage vertical ribbed steel skirt to cover up the frame and provide a more aesthetic appearance. The applicant even described it in conversations:





however, the elevations submitted at this time do not identify a skirt. The elevations are shown with a steel perimeter frame. We recommend the applicant present a colored rendering of the proposed trailer with/without skirt, in order to ensure that it does not appear like a temporary add-on to the building and is in fact and integral feature of the main building. Any detail must go down to grade and support posts for the trailer should not be visible.

**12. Dumpster.** There are two dumpsters proposing to be located to the east of the newly relocated 16 parking spaces. Details of the dumpster and circulation around them will be subject to review as part of the larger site project at a later date.

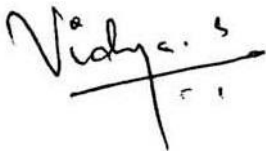
**13. Signs.** No signage is proposed for the addition.

## RECOMMENDATION

The Township has worked with DTE for several months/years on this project, which has often faced issues related to engineering, construction etc. Per DTE the addition of the trailer is vital to their operations at this time, so the scope of the project has been severely limited. Based on the limited scope of the project, we recommend that the Planning Commission approved the site plan for the proposed trailer addition, subject to the following conditions:

1. Installation of a shielded light fixture with administrative approval.
2. PC approval of the proposed trailer's architecture.
3. Clear understanding by the applicant that all other aspects of the site including but not limited to outdoor storage, racks, dumpsters, detention pond and landscaping, will be subject to the full site plan review process. No outdoor storage use must commence without PC approval.

Respectfully,  
**McKENNA**



Vidya Krishnan  
Senior Principal Planner

cc: Dan Power, Director of Planning and Economic Development  
Paul Kammer, FCTH, Township Engineer  
Andrew Lenaghan, Van Buren Township Fire Marshal





Andrew Lenaghan  
Deputy Fire Chief/Fire Marshal  
O: 734-699-8900 ext9416

Van Buren Fire Department  
46425 Tyler Rd  
Van Buren Twp., MI 48111



March 18, 2022

Dan Power  
Director of Building and Planning  
46425 Tyler Road  
Van Buren Township, MI 48111

PB21-0563

Received and reviewed plans for the addition of a temporary/permanent combination restroom/locker room for the Western Wayne DTE Facility. The focus of this review was for compliance with the adopted fire code for Van Buren Township **NFPA 1 2018**, and The life safety code **NFPA 101 2018**

~~The plans are Denied for the following reason:~~

~~The fire hydrant shown on sheet C2.1 is only 2 feet 6 inches away from the trailers.~~

~~A clear space of not less than 60 inches shall be provided in front of each hydrant connection having a diameter of greater of 2 ½ inches. **NFPA 1 18.5.7.2 2018**~~

**3/18/2022 Revised plans show the hydrant away from the trailer approximately 5-7 feet. The steamer connections will need to face the access road. The plans are approved.**

If you have any questions regarding this review, please feel free to contact me at [alenaghan@vanburen-mi.org](mailto:alenaghan@vanburen-mi.org) or 734-699-9416

Respectfully submitted,

Andrew Lenaghan  
Deputy Chief/Fire Marshal

**Our Mission:** The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.



## DTE Western Wayne Service Center Locker Room/Trailer Project Summary

The purpose of this project is to provide restroom and locker room areas to the existing DTE Energy Western Wayne Service Center next to the warehouse and mechanic garage. DTE Energy (DTE) would like to add this addition to respond to the following building code:

[P]2902.3.4

“The required public and employee toilet facilities shall be located not more than one story above or below the space required to be provided with toilet facilities, and the path of travel to such facilities shall not exceed a distance of **300 feet (91 mm)**.”

The warehouse and fleet garage employees have been requesting for a closer restroom. Currently, employees travel from the south end of the service center to the office building on the west side of the service center which is over 500 feet away. In addition, the warehouse and garage employees travel through the service center shelter to use the existing restroom and this is a safety concern for DTE. Adding a restroom area for employees near the garage and warehouse area would discourage unnecessary trips from one side of the building to the other. This would then reduce potential congestion between truck traffic and employees walking to the restroom. This project does not increase the impervious area of the site since the trailers are proposed to be built over an existing paved area on-site.

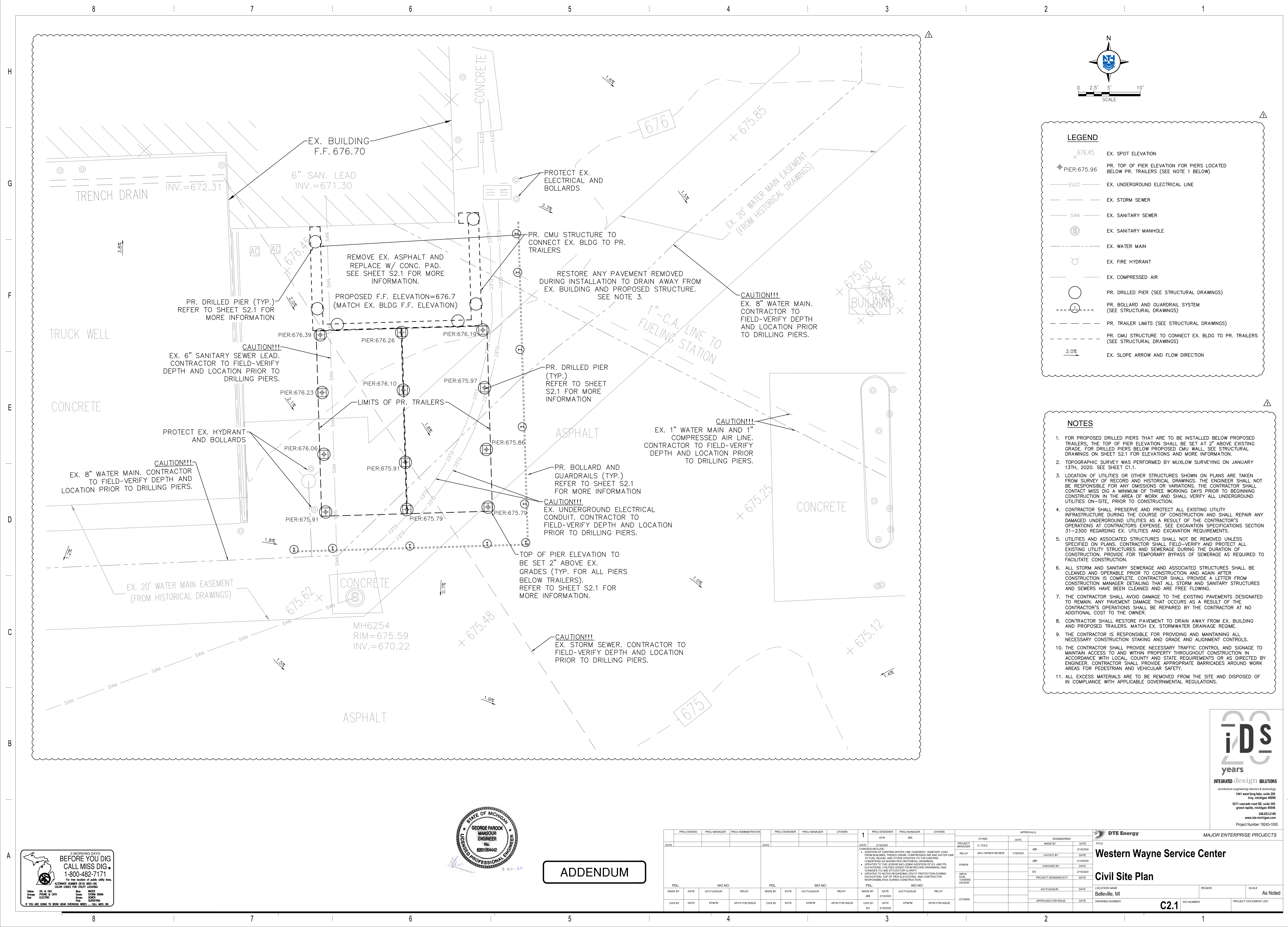




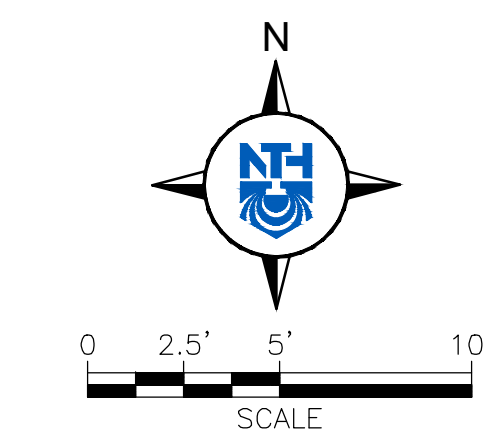
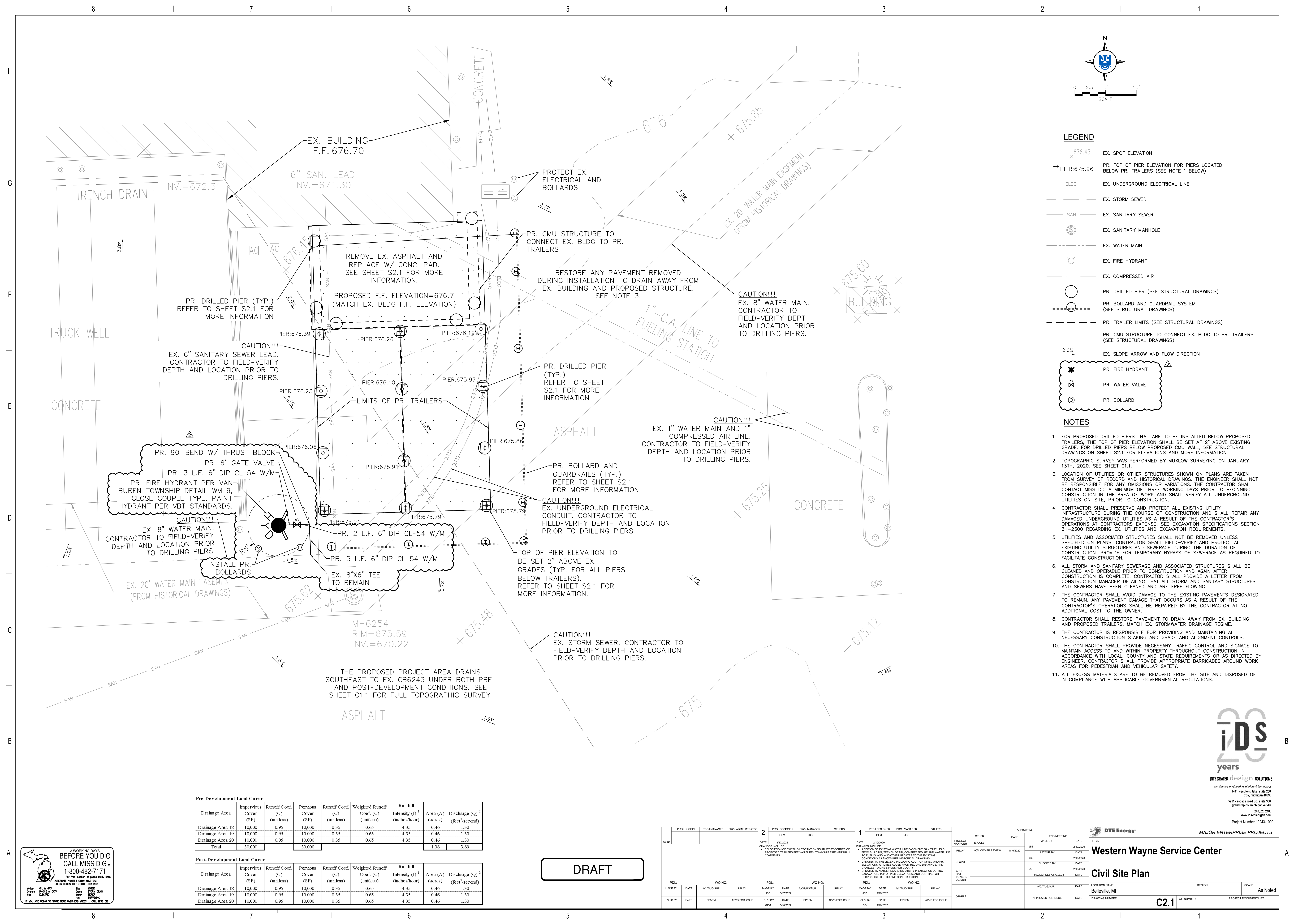












**LEGEND**

- 676.45 X EX. SPOT ELEVATION
- PIER:675.96 PR. TOP OF PIER ELEVATION FOR PIERS LOCATED BELOW PR. TRAILERS (SEE NOTE 1 BELOW)
- ELEC EX. UNDERGROUND ELECTRICAL LINE
- EX. STORM SEWER
- SAN EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. WATER MAIN
- EX. FIRE HYDRANT
- EX. COMPRESSED AIR
- PR. DRILLED PIER (SEE STRUCTURAL DRAWINGS)
- PR. BOLLARD AND GUARDRAIL SYSTEM (SEE STRUCTURAL DRAWINGS)
- PR. TRAILER LIMITS (SEE STRUCTURAL DRAWINGS)
- PR. CMU STRUCTURE TO CONNECT EX. BLDG TO PR. TRAILERS (SEE STRUCTURAL DRAWINGS)
- 2.0% EX. SLOPE ARROW AND FLOW DIRECTION
- PR. FIRE HYDRANT
- PR. WATER VALVE
- PR. BOLLARD

- NOTES**
- FOR PROPOSED DRILLED PIERS THAT ARE TO BE INSTALLED BELOW PROPOSED TRAILERS, THE TOP OF PIER ELEVATION SHALL BE SET AT 2" ABOVE EXISTING GRADE. FOR DRILLED PIERS BELOW PROPOSED CMU WALL, SEE STRUCTURAL DRAWINGS ON SHEET S2.1 FOR ELEVATIONS AND MORE INFORMATION.
  - TOPOGRAPHIC SURVEY WAS PERFORMED BY MUXLOW SURVEYING ON JANUARY 13TH, 2020. SEE SHEET C1.1.
  - LOCATION OF UTILITIES OR OTHER STRUCTURES SHOWN ON PLANS ARE TAKEN FROM SURVEY OF RECORD AND HISTORICAL DRAWINGS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS OR VARIATIONS. THE CONTRACTOR SHALL CONTACT MISS DIG A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION IN THE AREA OF WORK AND SHALL VERIFY ALL UNDERGROUND UTILITIES ON-SITE, PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITY INFRASTRUCTURE DURING THE COURSE OF CONSTRUCTION AND SHALL REPAIR ANY DAMAGED UNDERGROUND UTILITIES AS A RESULT OF THE CONTRACTOR'S OPERATIONS AT CONTRACTORS EXPENSE. SEE EXCAVATION SPECIFICATIONS SECTION 31-2300 REGARDING EX. UTILITIES AND EXCAVATION REQUIREMENTS.
  - UTILITIES AND ASSOCIATED STRUCTURES SHALL NOT BE REMOVED UNLESS SPECIFIED ON PLANS. CONTRACTOR SHALL FIELD-VERIFY AND PROTECT ALL EXISTING UTILITY STRUCTURES AND SEWERAGE DURING THE DURATION OF CONSTRUCTION. PROVIDE FOR TEMPORARY BYPASS OF SEWERAGE AS REQUIRED TO FACILITATE CONSTRUCTION.
  - ALL STORM AND SANITARY SEWERAGE AND ASSOCIATED STRUCTURES SHALL BE CLEANED AND OPERABLE PRIOR TO CONSTRUCTION AND AGAIN AFTER CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL PROVIDE A LETTER FROM CONSTRUCTION MANAGER DETAILING THAT ALL STORM AND SANITARY STRUCTURES AND SEWERS HAVE BEEN CLEANED AND ARE FREE FLOWING.
  - THE CONTRACTOR SHALL AVOID DAMAGE TO THE EXISTING PAVEMENTS DESIGNATED TO REMAIN. ANY PAVEMENT DAMAGE THAT OCCURS AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL RESTORE PAVEMENT TO DRAIN AWAY FROM EX. BUILDING AND PROPOSED TRAILERS. MATCH EX. STORMWATER DRAINAGE REGIME.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL NECESSARY CONSTRUCTION STAKING AND GRADE ALIGNMENT CONTROLS.
  - THE CONTRACTOR SHALL PROVIDE NECESSARY TRAFFIC CONTROL AND SIGNAGE TO MAINTAIN ACCESS TO AND WITHIN PROPERTY THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH LOCAL, COUNTY AND STATE REQUIREMENTS OR AS DIRECTED BY ENGINEER. CONTRACTOR SHALL PROVIDE APPROPRIATE BARRICADES AROUND WORK AREAS FOR PEDESTRIAN AND VEHICULAR SAFETY.
  - ALL EXCESS MATERIALS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF IN COMPLIANCE WITH APPLICABLE GOVERNMENTAL REGULATIONS.

Pre-Development Land Cover							
Drainage Area	Impervious Cover (SF)	Runoff Coef. (C) (unitless)	Pervious Cover (SF)	Runoff Coef. (C) (unitless)	Weighted Runoff Coef. (C) (unitless)	Rainfall Intensity (I) (inches/hour)	Discharge (Q) (feet/second)
Drainage Area 18	10,000	0.95	10,000	0.35	0.65	4.35	0.46
Drainage Area 19	10,000	0.95	10,000	0.35	0.65	4.35	0.46
Drainage Area 20	10,000	0.95	10,000	0.35	0.65	4.35	0.46
Total	30,000		30,000				1.38

Post-Development Land Cover							
Drainage Area	Impervious Cover (SF)	Runoff Coef. (C) (unitless)	Pervious Cover (SF)	Runoff Coef. (C) (unitless)	Weighted Runoff Coef. (C) (unitless)	Rainfall Intensity (I) (inches/hour)	Discharge (Q) (feet/second)
Drainage Area 18	10,000	0.95	10,000	0.35	0.65	4.35	0.46
Drainage Area 19	10,000	0.95	10,000	0.35	0.65	4.35	0.46
Drainage Area 20	10,000	0.95	10,000	0.35	0.65	4.35	0.46

DRAFT

PROJECT DESIGN		PROJECT MANAGER		PROJECT ADMINISTRATOR		PROJECT DESIGNER		PROJECT MANAGER		OTHERS		PROJECT DESIGNER		PROJECT MANAGER		OTHERS		APPROVALS				DTE Energy		MAJOR ENTERPRISE PROJECTS	
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**SOUTH**



**EAST**



**WEST**



**NORTH**

**TRAILER ELEVATION PHOTOS**



FRAME:  
TYPE: 10" JR. I-BM PERIMETER W/CROSSMEMBERS @ 48" O.C.  
HITCH: DETACHABLE W/2-5/16" COUPLER & JACK  
AXLES: 2 QUAD W/ELECTRIC BRAKES ON THREE AXLES  
TIRES: 16 14 PLY RATED MAX CAP. 3030#  
FLOOR:  
BOTTOM BOARD: PLASTIC ROLL TYPE  
INSULATION: R-30 UNFACED FIBERGLASS BATT TYPE  
JOIST: 2X8 #2 SPF OR BETTER @ 16" O/C INSTALLED LONGITUDINAL  
DECKING: 3/4" PLYWOOD SINGLE LAYER 1&G EDGE  
FASTEN W/0.131"x2.5" NAILS @ 6" O/C BOUNDARY&EDGE, 12" O/C FIELD  
UNDERLAYMENT: 1/4" LUAN UNDERLAYMENT  
COVERING: 12 X 12 X 1/8" VINYL TILE  
MATE-LINE FLOOR: HOLD BACK COVERING, HOLD BACK DECKING 8"

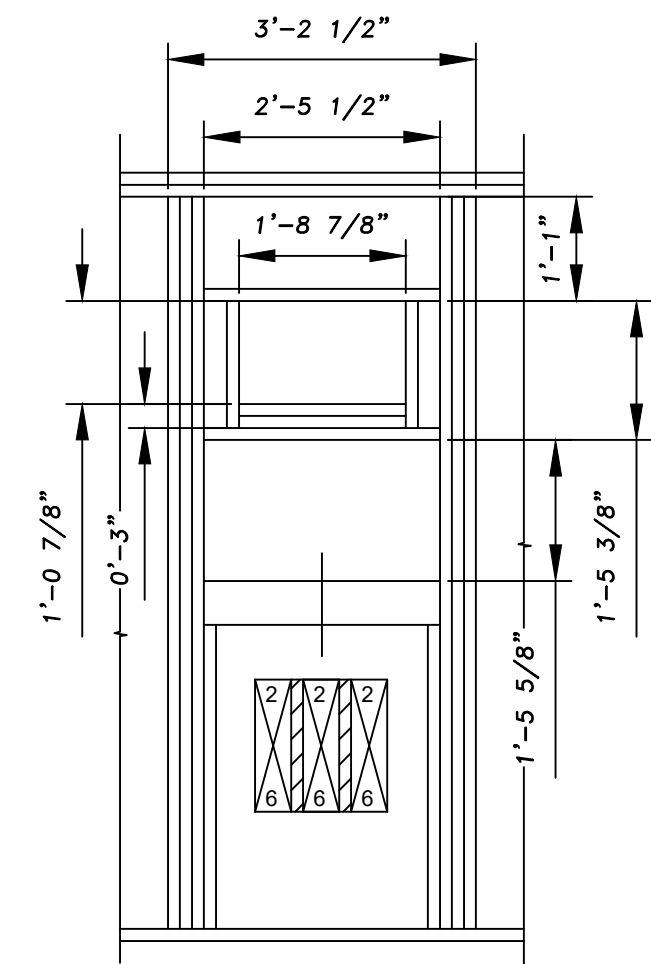
WALLS - EXT/INT/WL:  
EXTERIOR STUDS: 2X6 @ 16" O/C W/DOUBLE TOP & SINGLE BOTTOM PLATES  
HEIGHT: 8'-6" (97 1/2" STUDS)  
INSULATION: R-21 KRAFT FACED FIBERGLASS BATT TYPE (H.D.)  
INTERIOR STUDS: 2X4 @ 16" O/C W/DOUBLE TOP & SINGLE BOTTOM PLATES  
HEIGHT: 8'-6" (97 1/2" STUDS)  
INT. INSULATION: R-11 UNFACED FIBERGLASS BATT TYPE  
CHASE WALLS: 2X4 @ 16" O/C W/SINGLE TOP & BOTTOM PLATES  
RETURN AIR PLENUM: 2X4 @ 16" O.C. LINED WITH 1/2" GYPSUM IN CAVITY  
MATE LINE STUDS: 2X4 @ 16" O/C W/SINGLE TOP & BOTTOM PLATES  
HEIGHT: 8'-6" (97 1/2" STUDS)  
SHIPPING WALLS: 2X4 @ 48" O.C. W/SINGLE 2X4 TOP AND BOTTOM PLATES  
SUPPORT COLUMNS: IN WALL FRAMING DETAIL  
COVERING: 1/2" VINYL COVERED GYPSUM  
INTERIOR TRIM PKG:  
Floor Base: 6" VINYL COVEBASE  
Ceiling Cove: 1" VINYL WRAPPED WOOD BATTEN  
Inside Corner: 1" VINYL WRAPPED WOOD CORNER (INSIDE)  
Outside Corner: 3" VINYL WRAPPED WOOD CORNER (OUTSIDE/INSIDE)  
Door Trim: STEEL  
Wall Mate-Line: COVERING HELD BACK; SHIP EXTRA MATERIAL LOOSE  
Cin'g Mate-Line: 6" CEILING BEAM - PAINTED (SHIPPED LOOSE)

EXTERIOR: SHEATHING: 7/16" OSB W/EXTERIOR GLUE  
FASTEN W/ G19 1 1/2" X 1/8" MEDIUM CROWN 16 GA STAPLES @ 4" O/C BOUNDARY & EDGE, 8" O/C FIELD  
SHEATHING: AIR INFILTRATION BARRIER  
SIDING: 28 GA. VERTICAL RIBBED STEEL  
SKIRTING: 28 GA. VERTICAL RIBBED STEEL - TO 36" ABOVE FINISH GRADE  
EXT. TRIM:  
Bottom: 28 GA. STEEL STARTER @ BOTTOM  
Top: 28 GA. STEEL STARTER @ TOP  
Corners: 28 GA. STEEL OUTSIDE CORNER  
Doors: 28 GA. STEEL J CHANNEL AT SIDES OF WINDOWS/DOORS  
Windows: 28 GA. STEEL J CHANNEL AT SIDES OF WINDOWS/DOORS  
Mate-Line: 28 GA. STEEL WINDOW/DOOR DRIP CAP  
TRANSIT COVERING: HI STRENGTH VISQUEEN FASTENED WITH PLY STRIPS

ROOF:  
ROOF FRAMING: TESTED MONO (LOW) TRUSSES @ 16" O/C - LL = 40 P.S.F.  
INSULATION: R-38 KRAFT FACED FIBERGLASS BATT TYPE (H.D.)  
SHEATHING: INCLUDED IN ROOFING LINE ITEM  
CEILING SYSTEM: 1/2" WHITE PREFINISHED SHEETROCK  
CEILING HEIGHT: 8'-6"  
ROOFING: 45 MIL E.P.D.M.-CLASS "C" RATED WITH 7/16" APA FR PANEL  
FASTEN W/0.131"x2.5" NAILS @ 6" O/C EDGE & BOUNDARY, 12" O/C FIELD  
M.L. ROOF SEAM: E.P.D.M. SELF BRIDGING, 9"  
DRIP EDGE: STANDARD TERMINATION  
ROOF FLASHING: E.P.D.M. FLASHING AROUND VENTS  
VENTS:  
Gable: 2 POWERED  
Gable: 2 PASSIVE  
ACCESSORIES: RAIN GUTTERS W/DOWN SPOUTS - RESPONSIBILITY OF OTHERS

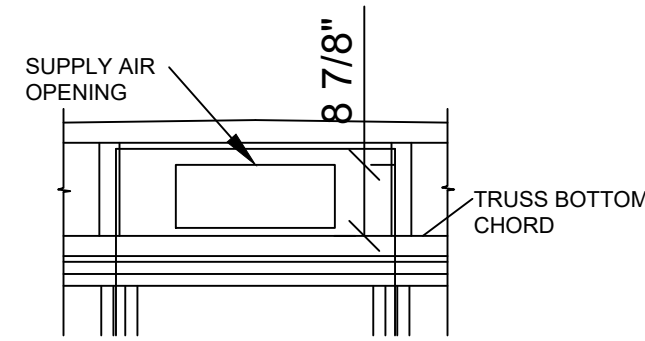
EXTERIOR DOORS:  
DOOR(D1) 2 36X80 18 GA. STEEL, W/16 GA. STEEL FRAME  
R.O. 37 1/2"x81"  
HARDWARE: CLOSER, TELL #12816 - (Grade 1 ADA Approved)  
HARDWARE: TELL, LC1281 KEYED LEVER SET (Heavy Duty Grade 1)  
FINISH: PAINTED (SINGLE DOOR)  
ACCESSORIES: DRIP CAP  
INTERIOR DOORS:  
DOOR(D2) 1 36X80 EMBOSSED WOOD SOLID CORE, NON-RATED  
R.O. 37 1/2"x81"  
FRAME: STEEL/PAINTED RATED EQUAL TO DOOR  
HARDWARE: BALL BEARING HINGES 4-1/2 X 4-1/2 {1-1/2 PAIR}  
HARDWARE: TELL, LC1281 KEYED LEVER SET (Heavy Duty Grade 1)  
FINISH: PREFINISHED IMPERIAL OAK OR EQUAL BY DOOR MANUFACTURER  
EXT. WINDOWS:(W1) (6) G82 ULTRA II WHITE VINYL PICTURE WINDOW 11 1/2"x23 1/2"  
R.O. 12"x24" UP 75" A.F.F.

SPECIALTIES:  
FURNITURE: NONE  
MISCELLANEOUS: LOCKERS AND BENCHES - PROVIDED BY OTHERS AT SITE



1 1/2-2 TON "BARD" HVAC  
WALL FRAMING DETAIL

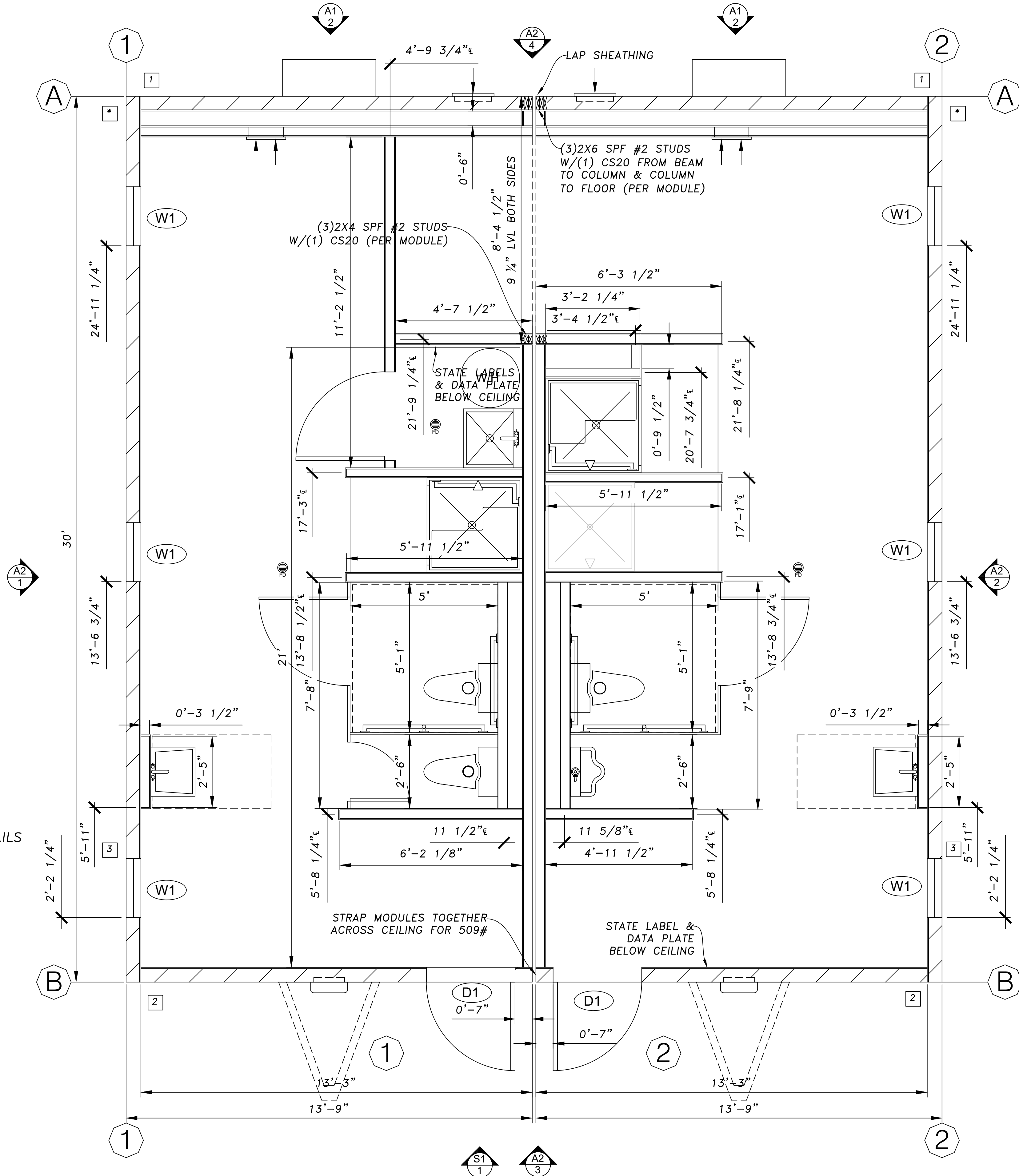
NOTE:  
1) THESE DETAILS ARE DESIGNED FOR 2x3 BOTTOM CHORD. BOTTOM CHORD IS NOT TO BE CUT-OUT.  
2) SUPPLY AIR OPENING ON HVAC UNIT TO BE 1" ABOVE THE TOP OF THE BOTTOM CHORD.  
3) CLEAR DISTANCE BETWEEN TOP OF BOTTOM CHORD AND TOP OF SUPPLY AIR OPENING ON HVAC UNIT IS 8 7/8". **CONC HEIGHT TO BE APPROXIMATELY 10 1/2" HIGH.**  
4) A MINIMUM OF (3) LAG SCREWS ARE TO BE USED IN THE UPPER ROW OF HOLES ON THE BOTTOM BRACKET.



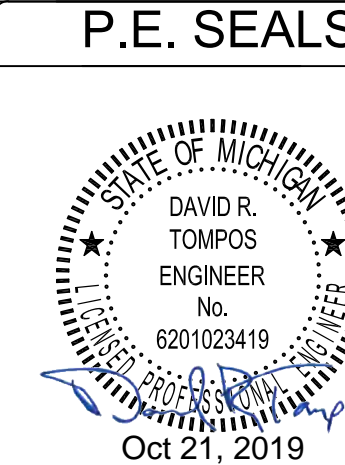
1 1/2-2 TON "BARD"  
HVAC ROOF DETAIL

DRAWING LEGEND	
REFER TO SPECIFICATIONS FOR DETAILS	
SYMBOL	DESCRIPTION
	LOAD CENTER LATCH @ 42" A.F.F.
	TOGGLE TYPE SWITCH @ 42" A.F.F. (TO BOTTOM) (UNLESS NOTED)
	CEILING MOUNTED PASSIVE INFRARED SENSOR
	CEILING MOUNTED LIGHT FIXTURE
	6" CAN LIGHT WET LOCATION
	CEILING MOUNT EXHAUST FAN
	CEILING MOUNT EXHAUST FAN/LIGHT COMBO
	DUAL HEAD EMERGENCY/EXIT LIGHT COMBO W/ BATTERY BACK-UP @ 85" A.F.F. (UNLESS NOTED)
	DUAL HEAD EMERGENCY FLOOD LIGHT W/ BATTERY BACK-UP @ 84" A.F.F. (UNLESS NOTED)
	EMERGENCY EGRESS LIGHT REMOTE HEAD
	EXTERIOR LIGHT FIXTURE W/ PHOTO CELL SURFACE MOUNTED @ 80" A.F.F. (UNLESS NOTED)
	DUPLEX RECEPTACLE @ 18" A.F.F. (TO BOTTOM) (UNLESS NOTED)
	GFI PROTECTED DUPLEX RECEPTACLE @ 42" A.F.F. (TO BOTTOM) (UNLESS NOTED)
	WEATHERPROOF & RESISTANT GFI RECEPTACLE MOUNTED @ 18" A.F.F. (TO BOTTOM) (UNLESS NOTED)
	HEAT TAPE RECEPTACLE LOCATED BELOW UNIT
	J-BOX FOR FIRE ALARM PULL STATION @ 42" A.F.F. W/ 3/4" CONDUIT & PULLWIRE
	J-BOX FOR FIRE ALARM VISUAL AID & HORN @ 80" A.F.F. W/ 3/4" CONDUIT & PULLWIRE
	THERMOSTAT @ 42" A.F.F. (TO BOTTOM) (UNLESS NOTED)
	10x10 CEILING MOUNTED, SUPPLY AIR DIFFUSER W/ ADJUSTABLE AIR DAMPER
	24x14 RETURN AIR GRILL, WALL MOUNTED @ 72" A.F.F. (TO BOTTOM) R.O. = 23 1/2" x 13 1/2"

- 1 = (1)CS20 FOR 449# FROM STUD TO FOUNDATION  
2 = (1)CS20 FOR 594# FROM STUD TO FOUNDATION  
3 = (1)CS20 FOR 329# FROM STUD TO FOUNDATION  
\* = ATTACH SIDEWALL TO ENDWALL W/0.131"x3" NAILS @ 6" O/C FOR HEIGHT OF WALL



ELEVATION



REVISION	
#	DATE
1	ADDED WINDOWS
2	ADDED NOTES
3	
4	
5	
6	

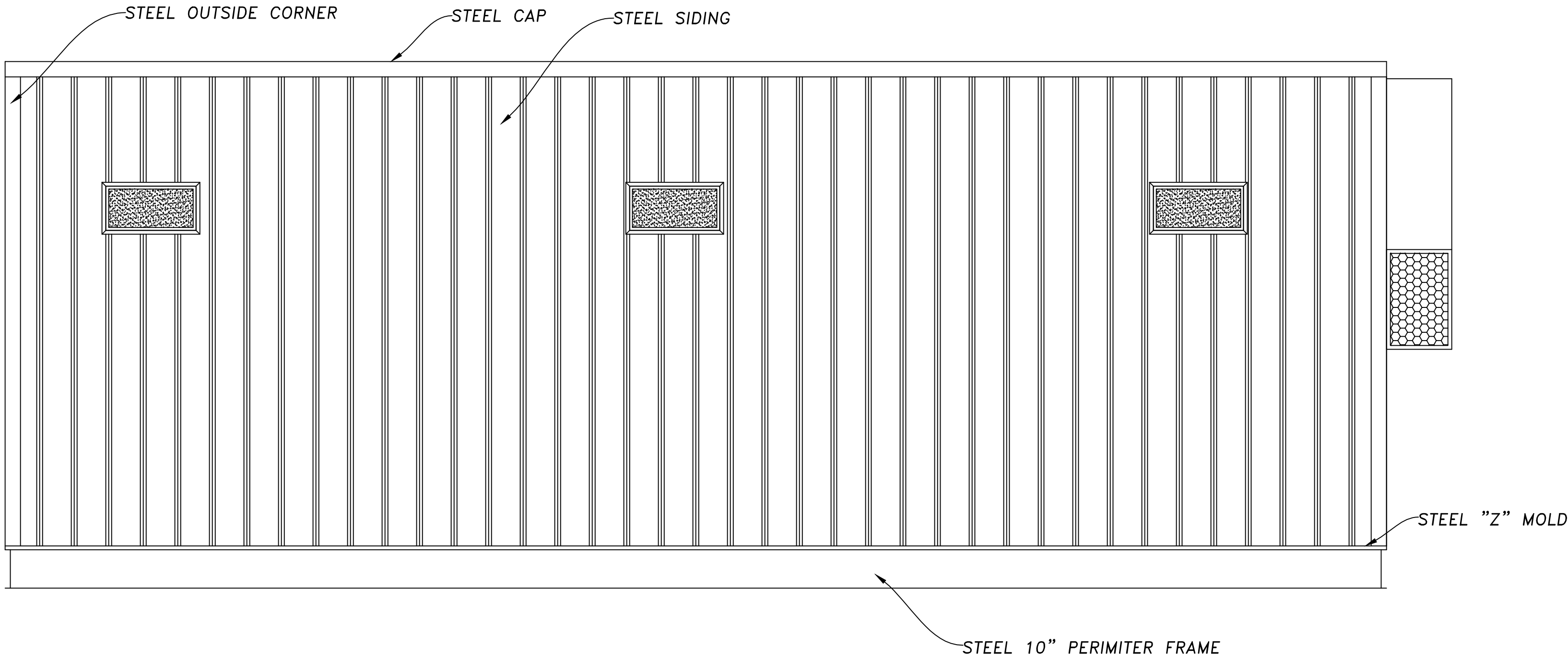
THIS DRAWING IS THE PROPERTY OF TITAN INTERNATIONAL INC. ("TITAN"). THIS DRAWING IS LOANED TO THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY WAY DETRIMENTAL TO THE INFORMATION OF TITAN AND IS NOT TO BE REPRODUCED, COPIED OR OTHERWISE PROVIDED TO A THIRD PARTY WITHOUT THE WRITTEN PERMISSION OF TITAN. BY THE WRITING OF THIS DRAWING, TITAN IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS. THE CONDITIONS AND AS AN ACCEPTANCE OF THE EXCLUSIVE OWNERSHIP IN AND TO THE DRAWING BY TITAN.



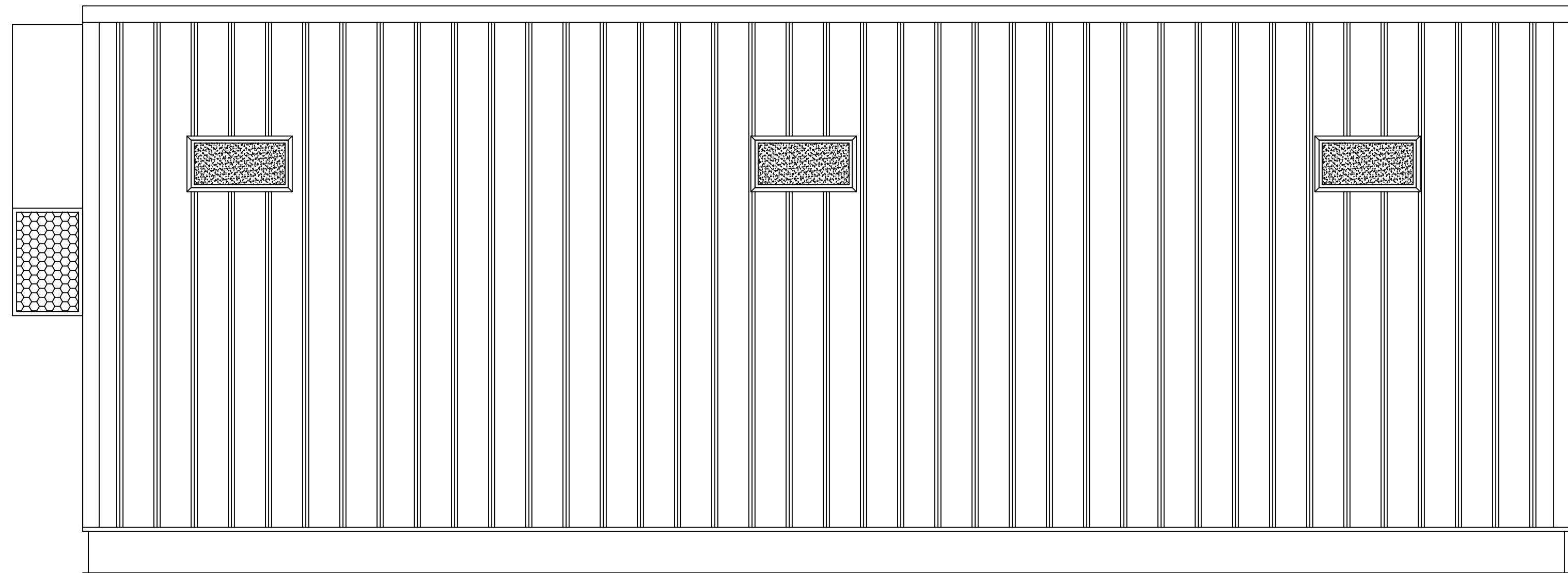
McDONALD MODULAR SOLUTIONS  
DTE SHOWER LOCKER/ROOM  
MODEL  
28X30-B-R2050  
"BOX SIZE"  
(2) 13'-9"x30'-0"  
"DOES NOT INCLUDE SIDING, SHEATHING & OTHER PROTRUSIONS"

QUOTE NO. 19-1138	
SHEET NO. A-1 FLOOR PLAN	
DRAWN BY: RLH	SCALE: 1/2"=1'
CHECKED BY:	DATE: 10/8/19
PRODUCTION NO. R2050-1 & 2	

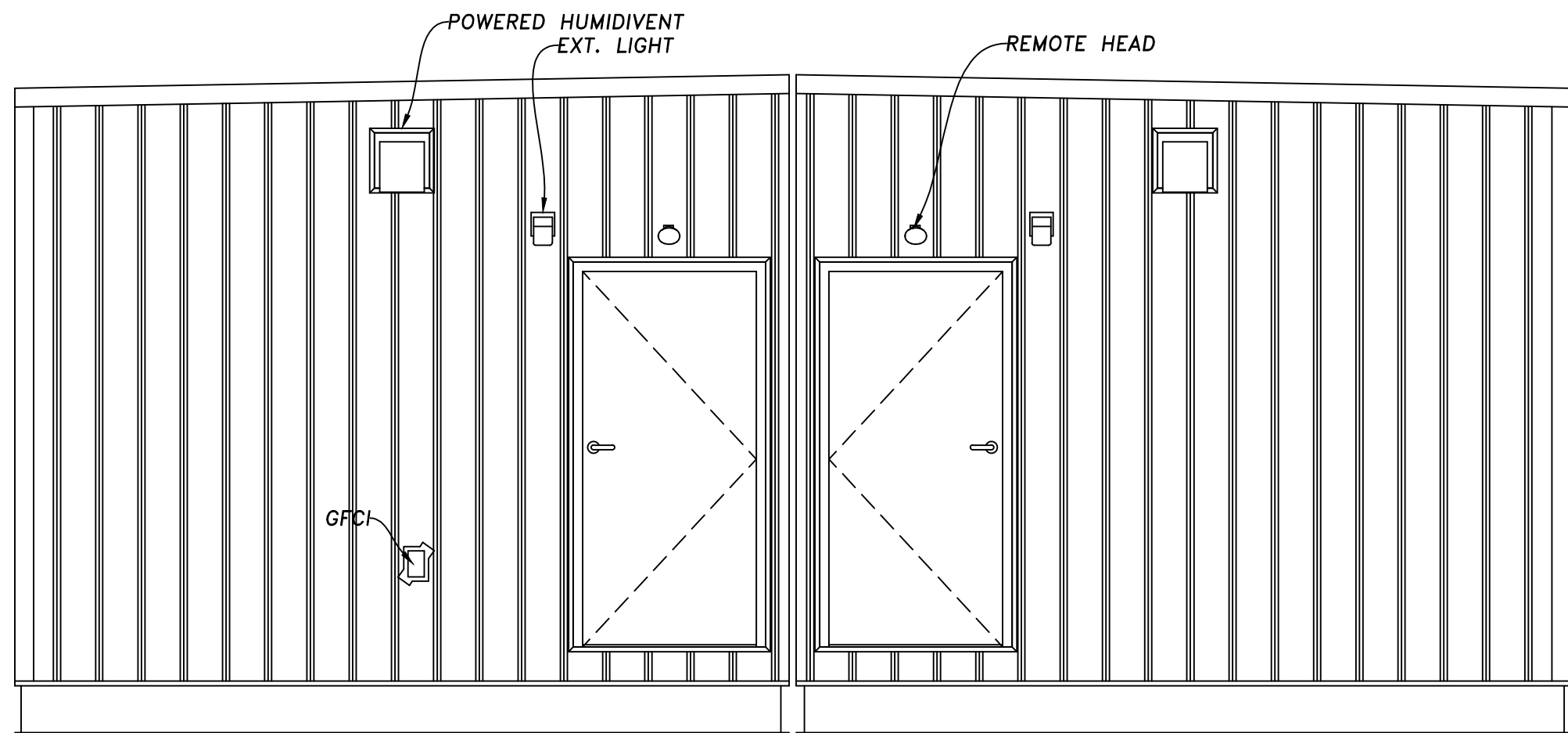




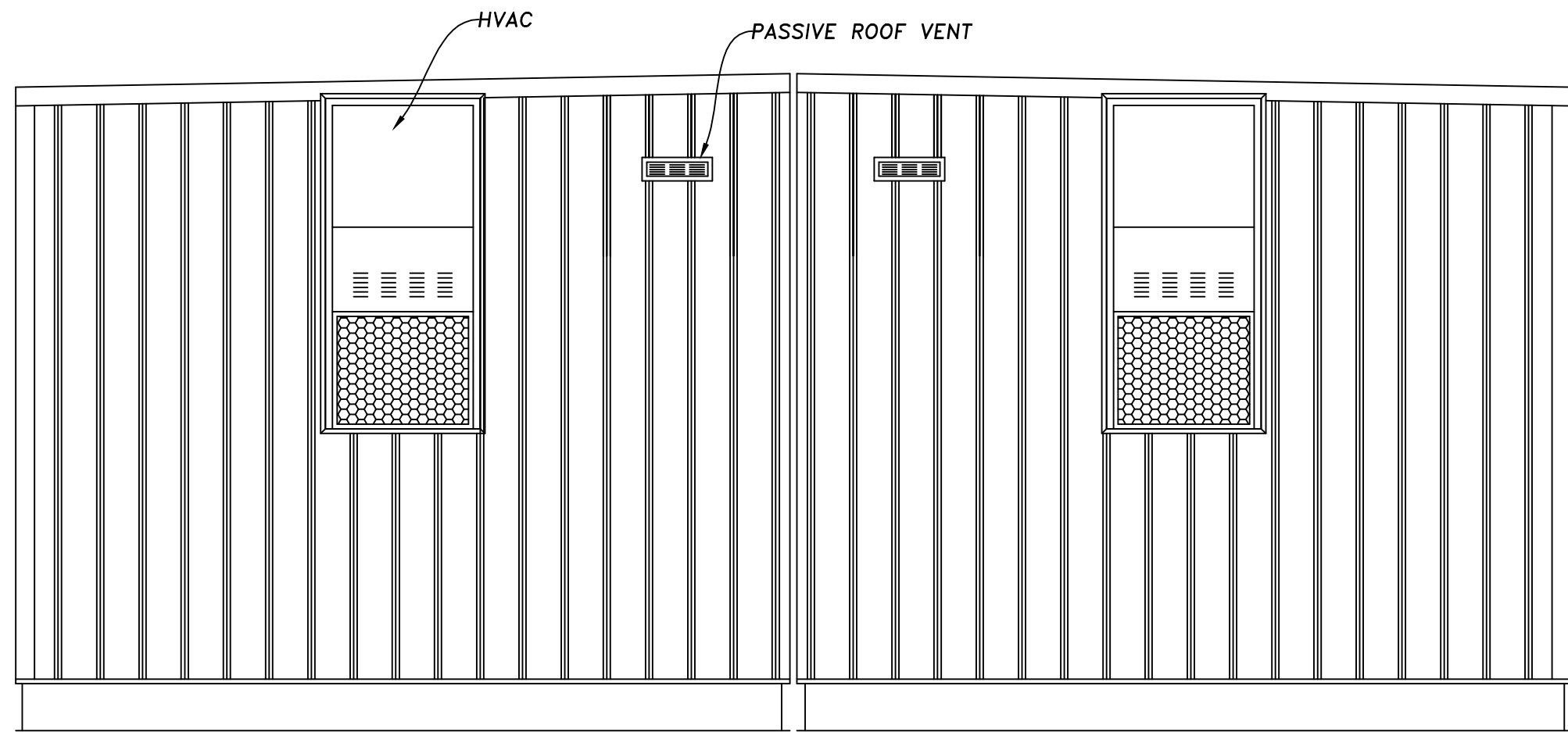
**A2**  
1  
ELEVATION



**A2**  
2  
ELEVATION

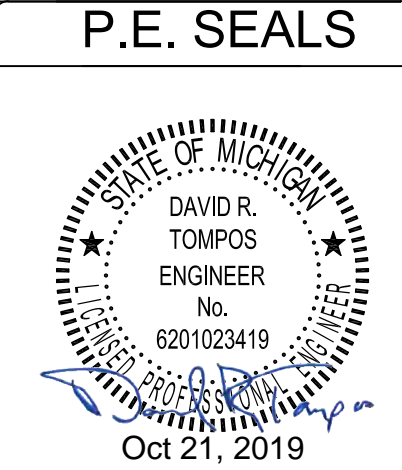


**A2**  
3  
ELEVATION



**A2**  
4  
ELEVATION

- NOTES:
- \*RAMPS, STAIRS, LANDINGS, STEPS & HANDRAILS TO BE PROVIDED & INSTALLED @ SITE BY OTHERS
  - \*CONTRACTOR TO PROVIDE AS SPECIFIED, CRAWL SPACE ACCESS (18x24 MINIMUM)
  - \*ALUMINUM CAST VENT TO CRAWL SPACE (FILTERED & VERMIN PROOFED) TO BE WITHIN 36" OF CORNERS TO PROVIDE CROSS VENTILATION (PROVIDED & INSTALLED @ SITE BY OTHERS
  - \*ALL SIGNAGE REQUIRED SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE HANDICAP CODE REFERENCED ON THE COVER SHEET
- SPECIAL NOTES:
- MATERIALS ARE TYPICAL ON ALL SIDES OF UNIT
  - ALL DOOR GLASS TO BE SAFETY GLAZED
  - ELEVATIONS REPRESENT ONLY ONE POSSIBLE COMBINATION OF OPTIONS



REVISION	
#	DATE
1	
2	
3	
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6	

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McDONALD MODULAR SOLUTIONS	
DTE SHOWER LOCKER/ROOM	
MODEL:	28X30-B-R2050
1500 SIZE	(2) 13'-9"X30'-0"
*DOES NOT INCLUDE SIDING, SHEATHING & OTHER PROTRUSIONS	
QUOTE NO. 19-1138	
SHEET NO. A-2 ELEVATION	
DRAWN BY: RLH	SCALE: 3/8"=1'
CHECKED BY:	DATE: 10/8/19
PRODUCTION NO. R2050-1 & 2	



Van Buren Township

Application for Tree Removal Permit

A Tree Removal Permit is required in accordance with Section 4.45 E of the Zoning Ordinance, *Woodland and Tree Preservation*, prior to removal of landmark trees from the property.

Applicant

Christopher W. Becker  
(Name) (Address)

313.235.0394 christopher.becker@dteenergy.com  
(Phone) (Fax)

Property Owner

Location of Work

DTE Electric V125-83-041-99-004-001  
(Address and/or parcel identification number)

Christopher W. Becker 3 Mar 2022  
(Signature of Property Owner) (Date)

Reason for cutting (attach a separate paper if needed).

Site clearing for soil remediation and eventual  
construction of 120-13.2KV substation

This application must be accompanied with a Tree survey, this survey must incorporate the provisions listed in Section 4.45 E of the Zoning Ordinance.

Permit valid \_\_\_\_\_ through \_\_\_\_\_

Issued by \_\_\_\_\_ date \_\_\_\_\_

Base Application Fee	\$ <del>600.00</del> was \$1,050
+ fee per acre of woodland	+ \$ <del>50.00</del> / acre of woodland N/A
+ fee per regulated tree outside a woodland	+ \$ <del>1.75</del> / regulated tree 3.00
TOTAL FEE	TOTAL FEE \$1,221

Application fee \_\_\_\_\_





# MEMO

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TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development  
Vidya Krishnan – Planning Consultant

RE: VBT 22-014 – Tree Removal Permit Review for DTE Energy

DATE: March 22, 2022

---

Applicant Christopher W. Becker of DTE Electric seeks approval for the removal of trees on the property located at 42061 Ecorse Road (parcel ID number 83 041 99 0004 001). Section 8.106 of the Van Buren Township Zoning Ordinance regulates woodlands and includes all relevant requirements for tree removal permits. Per Section 8.106(H)(2) of the Zoning Ordinance, the Planning Commission serves as the reviewing body for a tree removal permit request, following review and recommendation by Township staff. The applicant seeks tree clearing pursuant to environmental remediation work that must be done to make way for a proposed substation at the subject site. The tree clearing must occur prior to development and therefore requires a standalone tree removal permit and review by the Planning Commission. The Planning Commission will recall that the subject site was rezoned in Fall 2021 from C-1 – General Business District to M-1 – Light Industrial to provide a suitable zoning district for the eventual substation construction.

The required submittals for a tree removal permit application are listed under Section 8.106(G) of the Zoning Ordinance.

The applicant requests to remove 113 trees including fifty-six (56) regulated trees which are not classified as “removable” under Section 8.106(D)(17) of the Van Buren Township Zoning Ordinance. The Planning and Economic Development Department has evaluated this request. Based on the applicant’s submittal, staff have provided an initial review of the request under Section 8.106(H)(1). A typical application for a tree removal permit requires the submission of a tree survey per Section 8.106(G)(4). The applicant has provided a completed tree survey consistent with these requirements:

- a. *A topographical map at the same scale as the related sites plan, plat or survey drawing for the division of the land.* The latest existing conditions / survey drawing dated February 2022 has been provided.
- b. *The shape and dimensions of the site, together with the existing and proposed locations of structures and improvements (including building and driveway envelopes), including existing and proposed utilities and proposed changes to existing grades.* The latest site plan, dated February 2022, has been provided.
- c. *Location and dimensions of all setbacks and existing and proposed rights-of-way and*



easements. This information is included on the site plan.

- d. *All existing trees on the parcel shall be inventoried by actual field survey and shown on the topographical map by type, location and crown spread drawn to scale...* Existing trees are shown on the Tree Plan dated February 2022.
- e. *Isolated trees shown on the topographical map shall be tagged in the field with identifying numbers using non-corrosive metal tags. Groups of trees shall be tagged sufficiently to identify the group upon field inspection. Such identifying numbers shall be shown on the topographical map.* Trees have been tagged and are noted on the Tree Plan dated February 2022.
- f. *All existing trees proposed to remain, to be relocated or to be removed, shall be so designated by the identifying number.* Existing trees to remain are shown on the Tree Plan dated February 2022.
- g. *If existing trees are to be relocated, the proposed locations for such trees, together with a statement setting forth how such trees are to be removed, protected and/or sorted during land clearance, development and construction and how they are to be maintained after construction.* The applicant has indicated in his application materials that the required replacement trees will be planted in Van Buren Park in the Fall of 2022.
- h. *A statement setting forth how existing trees not to be relocated are to be protected during land clearance, development, construction and on a permanent basis thereafter, including proposed use of tree wells, protective barriers, tunneling and/or retaining walls.* The developed portion of the site will not have individual trees that are preserved. Trees that are proposed to remain outside of the developed area are shown on the Tree Plan. Limits on disturbance will be further show in a soil erosion plan as part of site plan review.

I find that the following standards for tree removal permit issuance have been met per Section 8.106(l) of the Van Buren Township Zoning Ordinance, with conditions as noted below:

- (1) *The protection and conservation of natural resources from pollution, impairment or destruction is of paramount concern. Therefore, all woodlands, trees and related natural resources shall have priority over development when there are feasible and prudent location alternatives on the site for proposed buildings, structures or other improvements. The applicant must consider and pursue all development options available under the Zoning Ordinance in order to preserve the woodlands and trees.* The subject site is the optimal location for DTE's substation. DTE has worked closely with relevant agencies to make sure adequate protections to natural resources on the site have been provided. The site's rezoning allowed for additional tree and wetland preservation in the south end of the site. This standard has been adequately met.
- (2) *The integrity of woodland areas shall be maintained to the greatest extent reasonably possible, regardless of whether such woodlands cross property lines.* The proposed substation site is confined to the northern portion of the parcel, which preserves wetland and trees in the southern portion of the site.
- (3) *Where the proposed activity consists of land clearing, it shall be limited to designated street right-of-way, drainage and utility easements, building and driveway envelopes and other areas (such as off-street parking and loading and unloading areas) necessary for site improvements, considering the development*



*options available under the Zoning Ordinance.* The proposed clearing is confined around the immediate needs for the substation structure footprint, overhead power lines, and the connection to the adjacent ITC Corridor to the site's west.

*(4) Where the proposed activity involves residential development, the residential structures shall, to the extent reasonably feasible, be designed and constructed to use the natural features of the site.* No known residential structures are being considered at this time therefore, this standard is not applicable.

*(5) The removal of trees for which a tree removal permit is required shall be limited to any of the following instances:*

*(a) When necessary for the location of a structure or site improvements and when no reasonable alternative location for the structure or improvements can be had without causing undue hardship, consideration of all development options which are available under the Zoning Ordinance.*

As noted above, the tree removal is limited to the portion of the site directly needed for structures and power lines.

*(b) When necessary, as determined by the Township, to provide reasonable drainage upon the site and when no reasonable alternative drainage is available without the removal of the trees.* Any use of the site will be required to comply with necessary standards for stormwater drainage established by Wayne County and the Township Engineer.

*(c) When the prospective owner of the residential dwelling unit has requested the builder in writing to remove the trees in order to facilitate the homeowner making certain specified improvements which must be undertaken within twelve (12) months of the date of the certified of occupancy for the dwelling unit. Notwithstanding the foregoing, no applicant shall be denied solely on the basis that some trees are growing on the property under construction.* This is not applicable.

*(6) The burden of satisfying standards shall be upon the applicant.*

Based on our review of the proposal for tree removal approval, we recommend that the Planning Commission approve the request for a tree removal permit on the above site, subject to the following conditions:

- The substation site plan will be resubmitted for Planning Commission review prior to the commencement of tree clearing.
- Staff will work with the applicant to evaluate a suitable landscaping performance bond to cover any restoration work that is required in the event that the substation construction does not commence.
- The timing, specifications of trees, and exact location of proposed replacement trees must be reviewed and approved by staff prior to planting.
- A tree removal permit fee has been preliminarily assessed with this application. Any required permit fee must be paid prior to any tree removals.

Sincerely,





Dan Power, AICP  
Planning and Economic Development Director  
Public Services Department  
Charter Township of Van Buren

CC: Vidya Krishnan – Van Buren Charter Township Principal Planner / Planning Consultant –  
McKenna Associates  
Elizabeth Renaud – Van Buren Charter Township Community Services Director  
Christopher W. Becker – DTE Electric





18 March 2022

Dan Power, Director of Planning and Economic Development  
Department of Public Services  
Charter Township of Van Buren  
46425 Tyler Road  
Van Buren Township, MI 48111  
[dpower@vanburen-mi.org](mailto:dpower@vanburen-mi.org).  
734.699.8913

Mr. Power,

DTE is submitting an "Application for Tree Removal Permit" for the property at 42061 Ecorse Road for review and approval.

This permit is being submitted in separate from the Site Plan as to facilitate remediation of the soil contamination on the southern half of the property as shown on drawing MORTON-A-0011, "Site Preparation Plan".

#### *Due Care Plan*

As part of the property purchase in 2009, an Environmental Site Assessment was conducted and hazardous substances in some of the soil samples exceeded Part 201 of Public Act 451 of 1994 as amended, (Part 201) residential soil cleanup criteria. Potential unacceptable human exposure to constituents of concern were not indicated on the property. The Due Care Plan required by Part 201 was developed and is in place. The soil was identified to contain, arsenic, chromium and selenium.

#### Total Arsenic

Total arsenic is present at a concentration that exceed the Part 201 generic groundwater surface water protection (GSIP) and drinking water protection (DWP) criteria and above the Part 201 generic residential direct contact (DC) criteria but below the nonresidential DC Part 201 criteria. The total arsenic residential DC exceedances are not of concern given the planned future use of the site is nonresidential.

#### Total Chromium



Total chromium is present at concentrations exceeding the Part 201 generic GSIP criteria. However, these concentrations are all below the 2015 Michigan soil survey background levels for the Huron Erie Lobe (HEL) for clay and top soil and all other Part 201 generic criteria. In addition, consider that total chromium is not detected at a concentration exceeding any residential or nonresidential Michigan Part 201 criteria other than the GSIP and the pathway to a GSI is not a complete pathway at this site as groundwater is not present.

#### Total Selenium

The total selenium that is almost certainly from natural background at concentrations exceeding the Part 201 generic GSIP criteria in some of the soil samples. However, these concentrations are all below the 2015 Michigan soil survey background levels for the HEL for clay and top soil except for one location. In addition, consider that total selenium is not detected at a concentration exceeding any Michigan Part 201 criteria other than the GSIP and the GSIP is not a complete pathway at this site as groundwater is not present. Therefore, there is no complete soil pathway on the site that has an applicable Part 201 criteria exceedance.

In preparation for constructing Morton on the site, DTE conducted additional investigations and determined the extent of the contamination was limited to the southern portion of the site. DTE will be removing the contaminated soil volume, see MORTN-A-0011, "Site Preparation Plan" and disposed of at an appropriately licensed burial site. Separate from the construction of the substation, DTE will be pursuing a No Further Action (NFA) resolution with EGLE.

The Morton site is not identified as a woodland per the township's official "woodland map". As such none of the woodland requirements are addressed for this activity.

DTE conducted an actual field survey using ECI Environmental Consultants, the arborists used by DTE for overhead line tree clearing management, in August and September 2021. The results of that survey are show visually on "Ariel View of Tree Inventory with Approximate Locations" and MORTN-A-0012, "Tree Plan" with the inventory listing with tag numbers, species, D.B.H. health and vigor, base elevation, canopy size, and hand held GPS coordinates in "Morton Tree Inventory".

DTE is planning to remove one hundred and thirteen (113) "protected" trees [Ref. Sect. 8.106 (D) (12) at 42061 Ecorse Road to support remediation of this soil and to support the eventual building of a 120 – 13.2 kV substation at the site under separate action.



As previously discussed, these are the trees planned for removal by DTE for the project at 42016 Ecorse drive. DTE may need to remove additional trees on the property to support construction activities or support electric reliability. At the end of the project, DTE will true up the actual "protected" trees removed against the "Trees Identified for Removal" and make the corresponding change in the number of replacement trees.

Of the of one hundred and thirteen (113) trees planned for removal, fifty-seven (57) are classified as "removable" [Ref. Sect. 8.106 (D) (17)]. DTE will have to plant fifty-six (56) replacement trees which cannot include the trees required for landscaping along to front or screening of the property. The fifty-six (56) replacement trees cannot be planted on the site. Consistent with Sect. 8.106 (J)(3), "Location" which provides for the Planning Commission to "...designate another planting location ..." DTE proposes planting the replacement trees at Van Buren Park in the fall of 2022.

DTE will not be relocating any trees.

Trees of size greater than five (5) D.B.H along the east and southern property lines and a line thirty feet (30 ft) east of the centerline of McClaughrey Drain are planned for removal. Trees along these lines planned for removal are marked with green paint or green surveyors' tape to establish the boundary. Each tree being removed from the west side of McClaughrey drain and within the McClaughrey drain easement are marked with green paint or green surveyors' tape. During tree and garbage removal no tree protections will be in place as DTE is clearing up to the identified lines.

In the wetland area to remain in the south west corner of the property, bounded on the west by McClaughrey drain, no stump removals will occur and trees will not be felled along with normal protection methods for tree removal in wetlands.

DTE will establish wetland protections as prescribed by EGLE Water Resources Division Permit WRP023186, Soil Erosion and Sediment Control Permit and tree protection prior to beginning excavation activities on the site.

Additional ordinance requirements of note:

### **Protected Trees within the Development**

Sect. 8.106 (F), "Tree Removal Permit" (2) Sect. (b) requires that DTE preserve and leave standing a minimum of thirty-seven percent (37%) of



the total number of trees of five (5) inches diameter breast height (D.B.H.) or greater.

The full tree location survey required by Sect. 8.106, (G), "Application for Permit" (4) is provided via MORTN-A-0012, "Tree Plan", an ariel view with tag numbers in "Ariel View of Tree Inventory", a listing of all trees and required characteristics in "Morton Total Tree Inventory" and a listing of trees planned to be removed in "Trees Identified for Removal" are provided.

DTE cannot preserve or leave standing on the property this minimum of thirty-seven percent (37%) of the protected trees on the property due to the conflict between trees and electrical substation reliability

However, 8.106 (F), "Tree Removal Permit" (2) Sect. (b) provides that the planning commission may modify where based upon the nature of the proposed development and location of existing trees, it is not feasible to preserve this required percentage.

To that end, DTE is requesting permission to remove the "protected" trees from the property at 42061 Ecorse Road listed in "Trees Identified for Removal" with the recognition that construction and electrical reliability may require the removal of additional "protected" trees.

NOTE: International Transmission Company (ITC) will be clearing trees on the south side of DTE's property at 42061 Ecorse Road under the "Public Utilities" exemption in Section 8.106 (C)(2)

If there are any questions or concerns with this application, please feel free to contact me at christopher.becker@dteenergy.com or 734.320.171one.

Respectfully,

*Christopher W. Becker /s/*

Christopher W. Becker, Manager of Engineering  
DTE – Major Enterprise Projects – Distribution  
christopher.becker@dteenergy.com

Attachments:

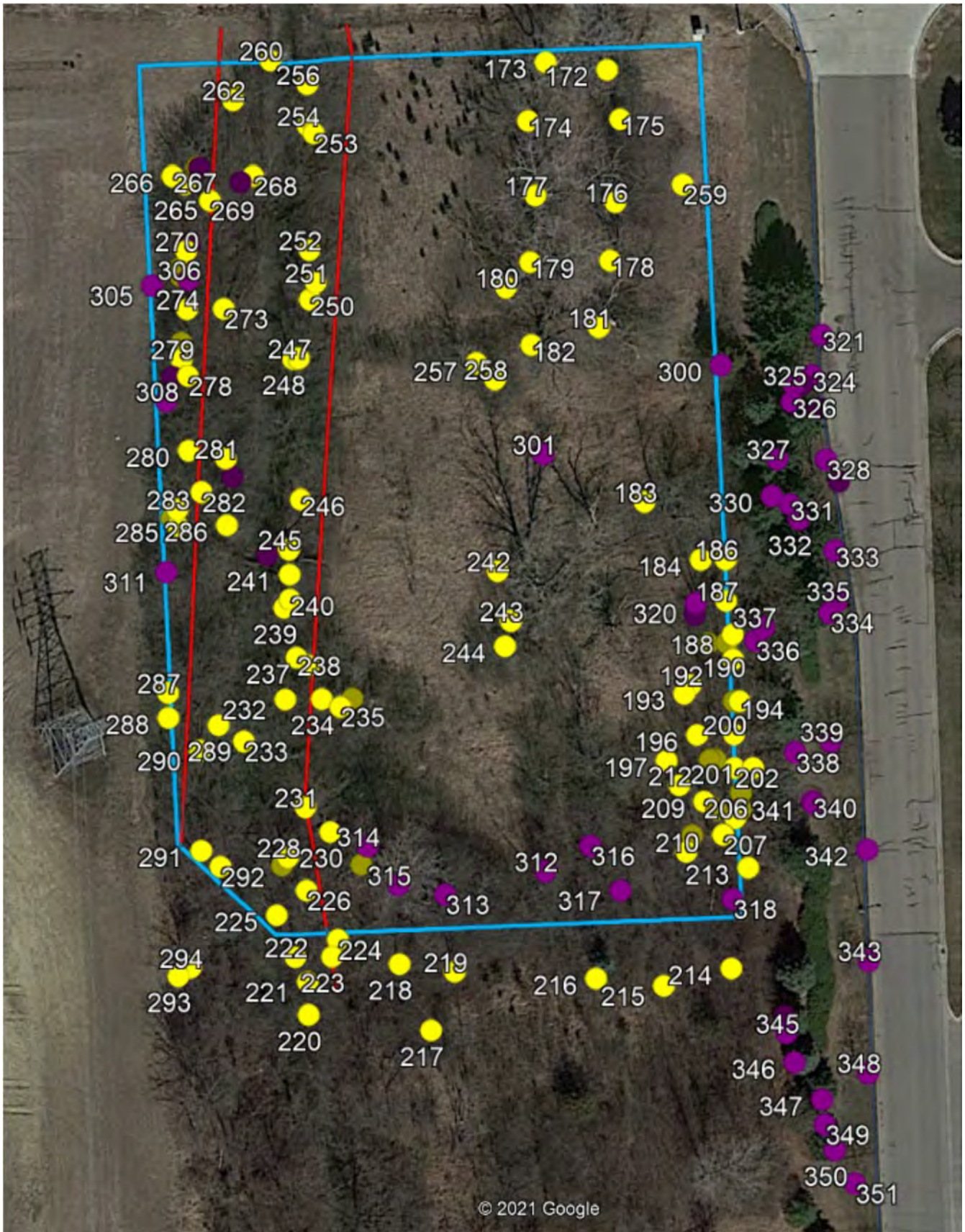
1. Application for Tree Removal dated 03 Mar 2022
2. Check No. 69607, Payable to "Charter Township of Van Buren" for \$1,221 dated 07 Mar 2021 (reference only, sent separately)
3. Ariel Photograph – Leaves Off 13 Mar 21
4. Ariel Photograph – Leaves On 27 Sep 21
5. Ariel View of Tree Inventory with Approximate Locations
6. Morton Total Tree Inventory
7. United States Geological Survey (U.S.G.S) Quadrant Map - Bellville
8. Trees Identified for Removal
9. Morton Tree Inventory
10. Elements from Morton Site Plan Package



- a. MORTN-A-0001, "Existing Conditions"
- b. MORTN-A-0002, "Site Plan"
- c. MORTN-A-0003, "Site Plan Notes and Details"
- d. MORTN-A-0004, "Grading Plan"
- e. MORTN-A-0011, "Site Preparation Plan"
- f. MORTN-A-0012, "Tree Plan"



# Ariel View of Tree Inventory with Approximate Locations



Note: Yellow was DTE's initial tree inventory, purple were added when the inventory was updated to collect all information required for Van Buren Township Tree Permit.





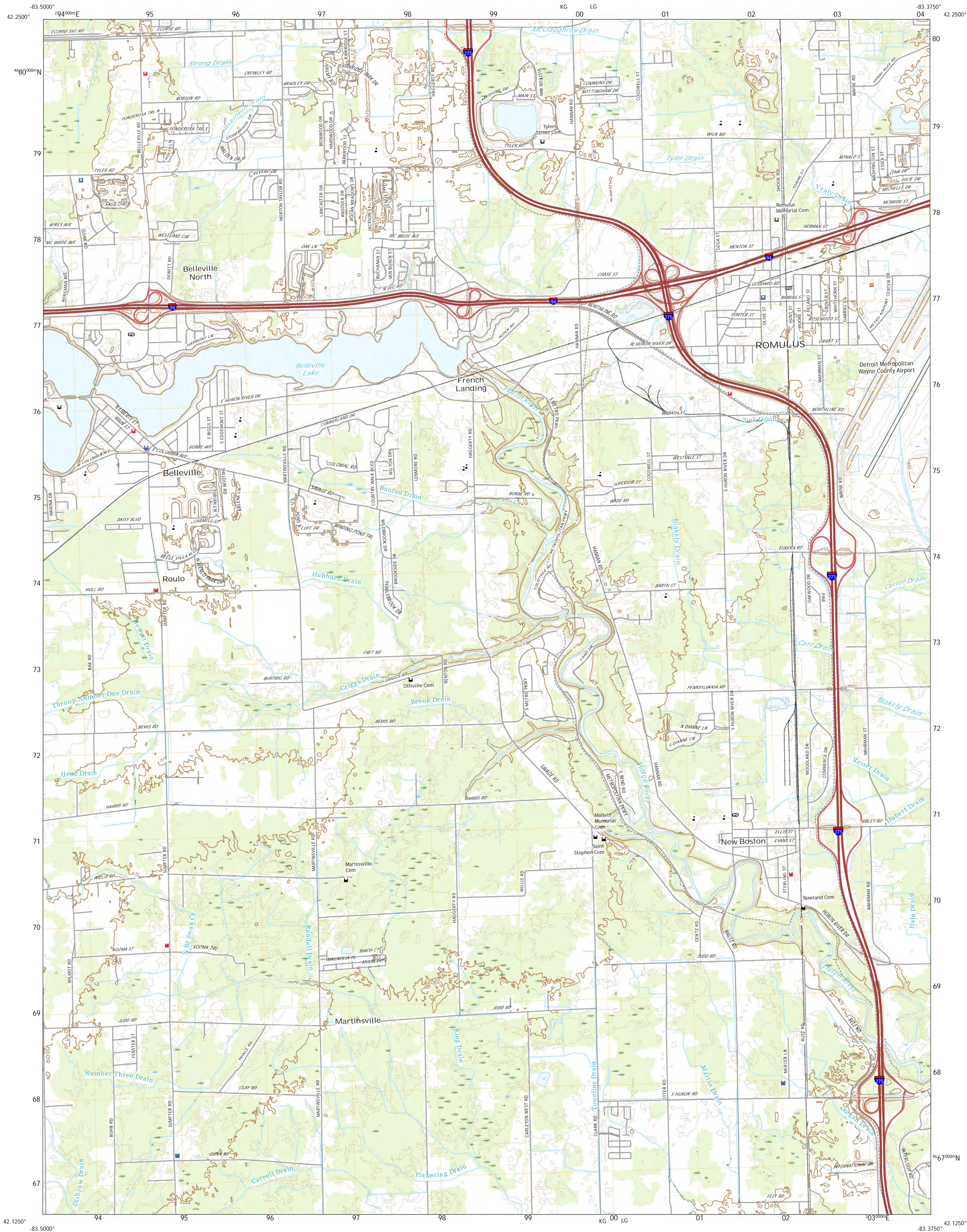






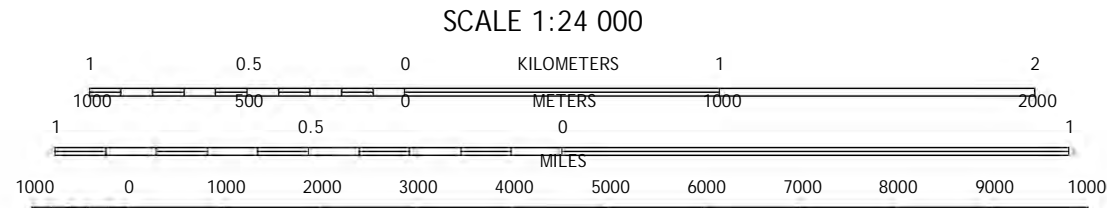
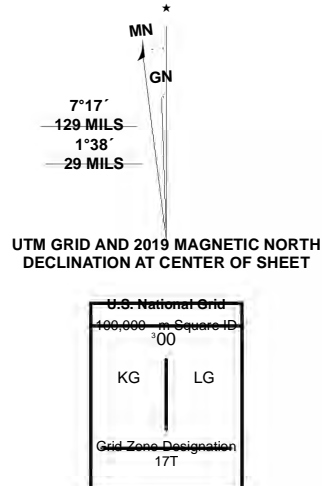






Produced by the United States Geological Survey  
North American Datum of 1983 (NAD83)  
World Geodetic System of 1984 (WGS84) Projection and  
1 000-meter grid/Universal Transverse Mercator, Zone 17T  
This map is not a legal document. Boundaries may be  
generalized for this map scale. Private lands within government  
reservations may not be shown. Obtain permission before  
entering private lands.

Imagery.....NAIP, July 2016 - October 2016  
Roads.....U.S. Census Bureau, 2016  
Names.....GNIS, 1980 - 2019  
Hydrography.....National Hydrography Dataset, 1989 - 2019  
Contours.....National Elevation Dataset, 2018 - 2019  
Boundaries.....Multiple sources: see metadata file, 2017 - 2018  
Public Land Survey System.....BLM, 2018  
Wetlands.....FWS National Wetlands Inventory, 2005



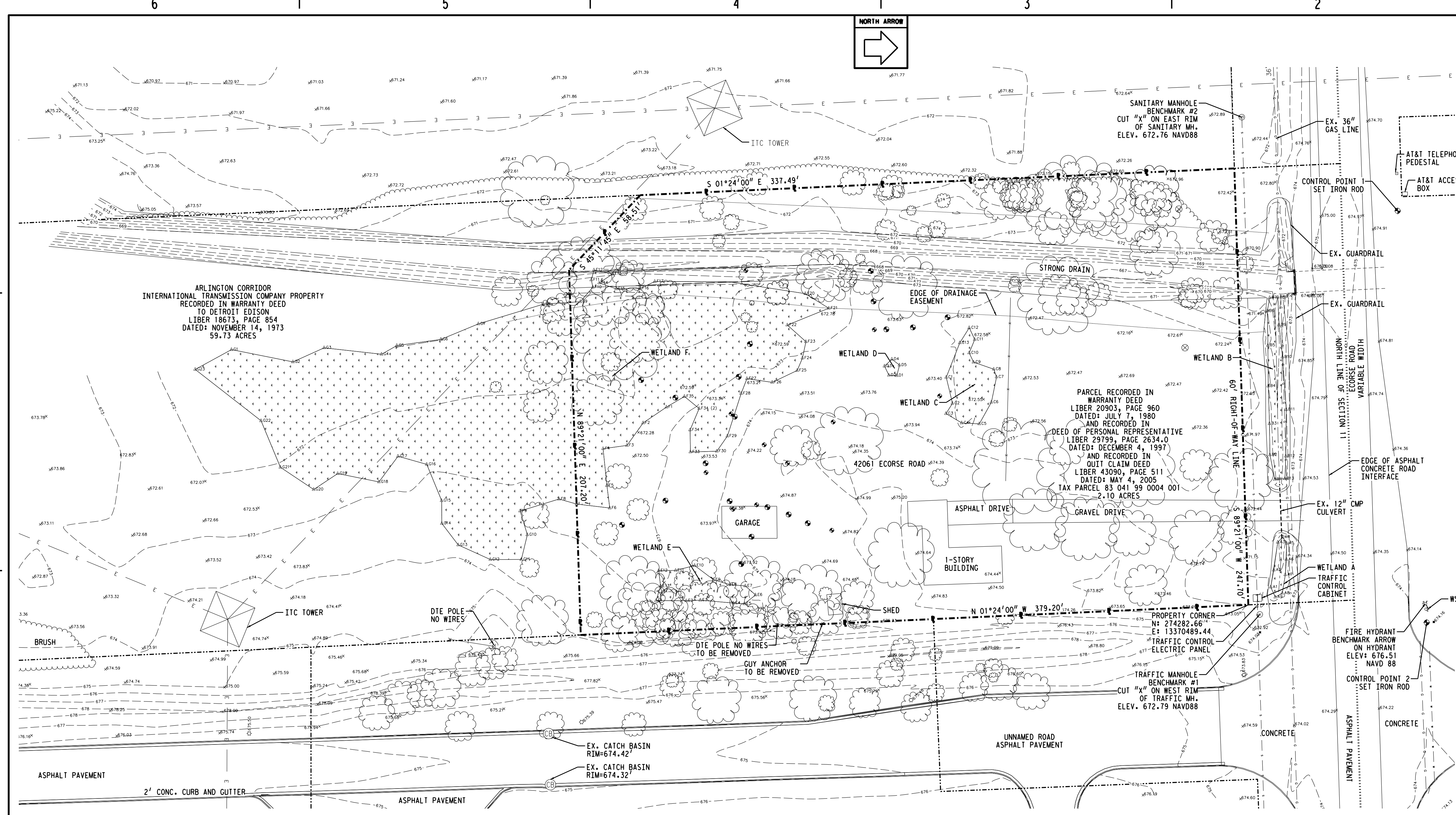
1	2	3
4	5	6
7	8	9

ADJOINING QUADRANGLES

1 Denton  
2 Wayne  
3 Inkster  
4 Ypsilanti East  
5 Flat Rock NE  
6 Maybee  
7 Carleton  
8 Flat Rock

ROAD CLASSIFICATION	
Expressway	Local Connector
Secondary Hwy	Local Road
Ramp	4WD
Interstate Route	US Route
	State Route





- GENERAL NOTES:**
- DRAWING IS SET UP IN THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FOOT.
  - THE HORIZONTAL DATUM IS NAD 83 (2011).
  - THE ELEVATIONS ARE IN FEET AND DECIMALS THEREOF AND ARE REFERENCED TO THE NAVD 88 DATUM. TO CONVERT TO NGVD 29, ADD 0.3379 FEET TO THE NAVD88 ELEVATION SHOWN ON THE PLAN.
  - CONTOURS INDICATED ARE AT 1 FOOT INTERVALS.
  - BEARING STRUCTURE IS BASED ON DETROIT EDISON DRAWING 65E VAN-001; REV A; PROPERTY SURVEY.
  - THE PROPERTY LINES INDICATED HEREON ARE FOR REFERENCE ONLY. NO BOUNDARY SURVEY WORK HAS BEEN PERFORMED AT THIS DATE.
  - THE DRAIN EASEMENT SHOWN HEREON WAS TAKEN FROM GSE VAN-001; REV A; PROPERTY SURVEY.
  - THE LOCATION OF UTILITIES AND IMPROVEMENTS INDICATED HEREON ARE APPROXIMATE ONLY AND WERE OBTAINED FROM SOURCES BELIEVED TO BE RELIABLE, BUT NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO LOCATION, TYPE OR COMPLETENESS OF UTILITIES OR IMPROVEMENTS.
  - WETLANDS A THRU F WERE MARKED BY DTE ENERGY'S ENVIRONMENTAL FIELD SERVICES, ENVIRONMENTAL MANAGEMENT & RESOURCE

**SURVEY NOTE**  
THIS DRAWING IS SET UP IN THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FOOT. THE HORIZONTAL DATUM IS NAD 83 (2011). THE ELEVATIONS ARE IN FEET AND DECIMALS THEREOF AND ARE REFERENCED TO THE NAVD 88 DATUM. CONTOURS INDICATED ARE AT 1 FOOT INTERVALS. BEARING STRUCTURE IS BASED ON PROPERTY SURVEY BY DETROIT EDISON'S SURVEYING SERVICES JOB NO. 200902027. THE PROPERTY LINES INDICATED HEREON ARE FOR REFERENCE ONLY. NO BOUNDARY SURVEY WORK HAS BEEN PERFORMED AT THIS DATE.

**WETLAND NOTE:**  
IDENTIFIED WETLAND AREA PER DTE ENERGY'S ENVIRONMENTAL FIELD SERVICES, ENVIRONMENTAL MANAGEMENT & RESOURCES SURVEY. ON JUNE 2, 2020.

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, THE SITE IS WITHIN ZONE X. AREA IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26163C0352E DATED FEBRUARY 2, 2012.

**PROPERTY OWNER/APPLICANT/DEVELOPER:**  
DTE ENERGY - DTE ELECTRIC CO.  
ONE ENERGY PLAZA  
DETROIT, MI 48226-1279  
(313)235-0177

**ENGINEER:**  
POWER ENGINEERS CONSULTING  
555 BRIARWOOD CIRCLE SUITE 205  
ANN ARBOR, MICHIGAN 48108  
(734) 619-7200 FAX (734) 619-7299

**ADDRESS:**  
MORTON SUBSTATION  
42061 ECORSE ROAD  
BELLEVILLE, MICHIGAN 48111  
WAYNE COUNTY

**BENCHMARKS:**  
BM #1: (HOLD)  
FIRE HYDRANT  
NORTHING: 304207.57  
EASTING: 13475205.16  
ELEV: 601.37' (NAVD 88)

BM #2: (HOLD)  
FIRE HYDRANT  
NORTHING: 304207.57  
EASTING: 13475205.16  
ELEV: 601.37' (NAVD 88)

CP #1:  
SET IRON ROD  
NORTHING: 274367.41  
EASTING: 13370265.99

CP #2:  
SET IRON ROD  
NORTHING: 274383.88  
EASTING: 13370499.44

**LEGEND:**

- PL--- PROPERTY LINE
- ADJACENT PROPERTY LINES
- SECTION LINE
- X--- EXISTING FENCE
- XXX--- EXISTING CONTOUR
- E--- EXISTING ELECTRICAL LINE
- S--- EXISTING SANITARY LINE
- G--- EXISTING GAS LINE
- EXISTING UTILITY/TRANSMISSION POLE
- EXISTING WATER MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- EXISTING TREES
- PRIOR BORING SEE SHEET 5C1491-8
- 2021 BORING SEE SHEET 5C1491-8

**REFERENCE DRAWINGS:**

EXISTING CONDITIONS PLAN	5A1491-3
SITE PLAN	5A1491-3
GRADING PLAN	5A1491-4
TRAFFIC CONTROL PLAN	5A1491-11
SERVICE DRIVE PLAN	5A1491-9
LANDSCAPE PLAN	5A1491-8
SOIL EROSION AND SEDIMENT CONTROL PLAN	5A1491-10
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	5A1491-10
SITE PREPARATION PLAN	5A1491-11
TREE PLAN	5A1491-12
ENTRANCE TURNING RADIUS PLAN	5A1491-14
SITE CROSS SECTIONS	5A1491-15
STORMWATER MANAGEMENT PLAN	5M1491-1
STORMWATER MANAGEMENT NOTES AND DETAILS	5M1491-2
STORMWATER MANAGEMENT NOTES AND DETAILS	5M1491-3
STORMWATER MANAGEMENT PROFILES	5M1491-4

**PRELIMINARY**

**811**  
Know what's below.  
Call before you dig.

**STOP THINK ACT REVIEW**

**NOTE TO FIELD**

FOR ANY QUESTIONS ON THIS DESIGN, PLEASE CONTACT:

PROJECT DESIGNER	PROJECT ENGINEER
PATRICK GODDARD/PEC (513)326-1503	TOM J. GILL/PEC (513)326-1510

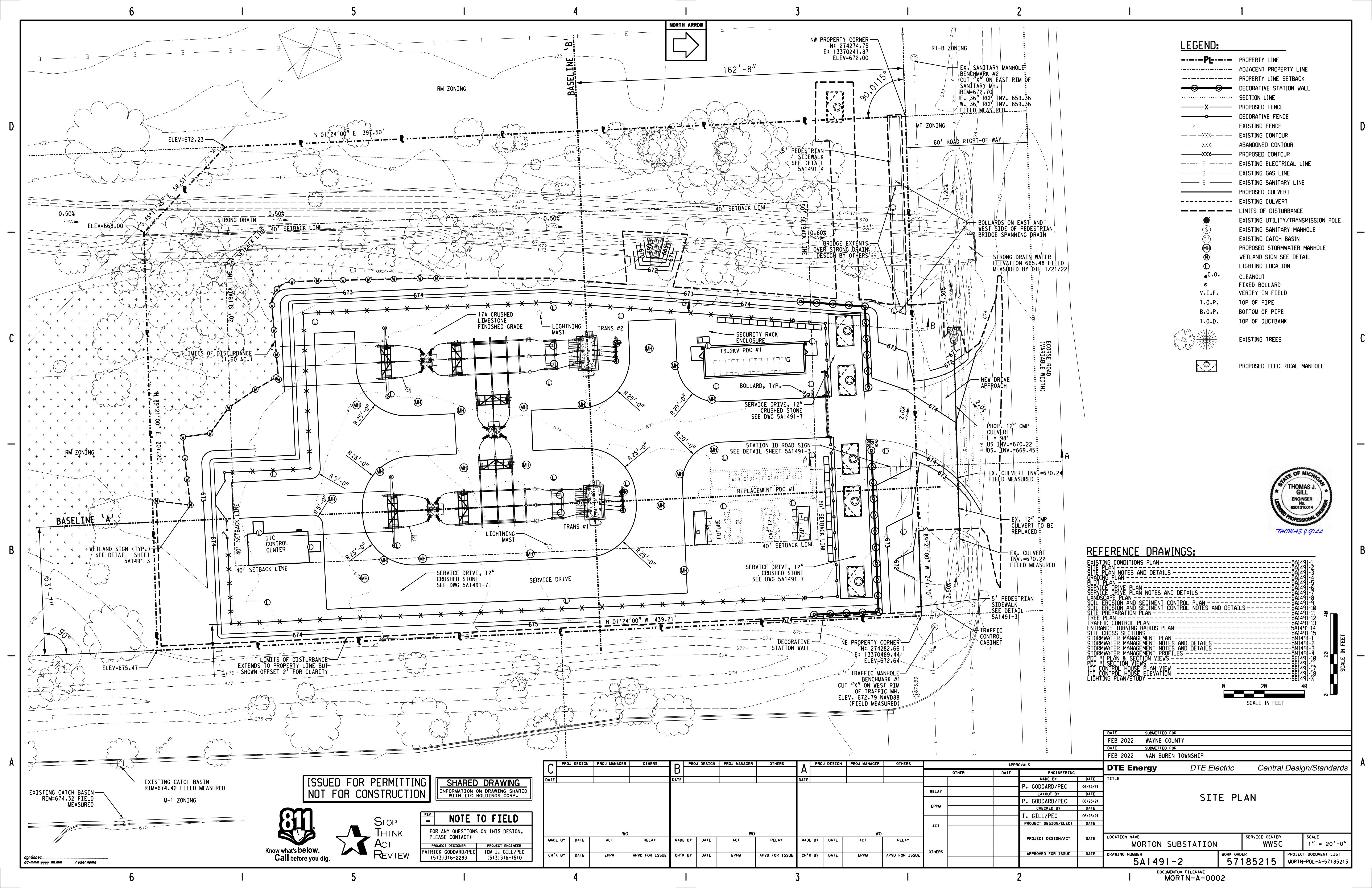
DATE	DATE	DATE
FEB 2022	FEB 2022	FEB 2022

APPROVALS	APPROVALS	APPROVALS
OTHER	ENGINEERING	ENGINEERING
RELAY	MADE BY	DATE
	P. GODDARD/PEC	06/25/21
EPPM	LAYOUT BY	DATE
	P. GODDARD/PEC	06/25/21
ACT	CHECKED BY	DATE
	T. GILL/PEC	06/25/21
OTHERS	PROJECT DESIGN/ELECT	DATE
	PROJECT DESIGN/ACT	DATE
	APPROVED FOR ISSUE	DATE

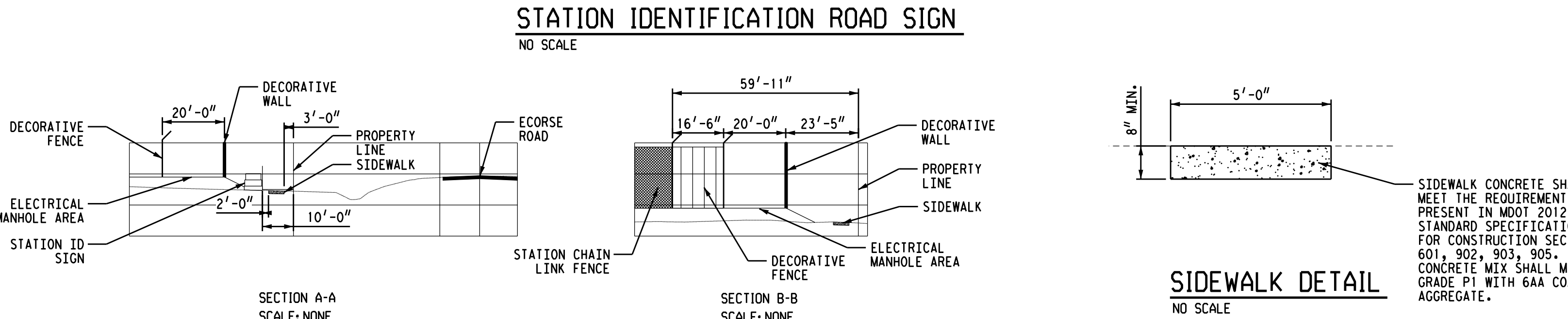
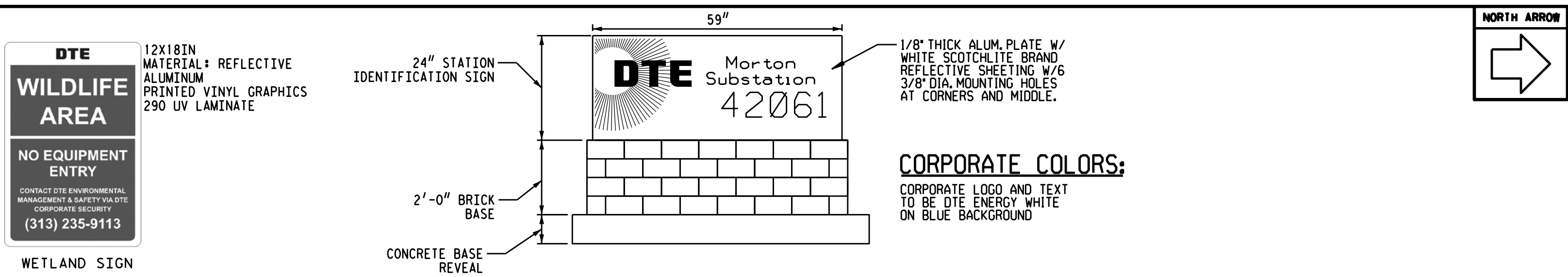
LOCATION NAME	SERVICE CENTER	SCALE
MORTON SUBSTATION	WWSC	1" = 30'-0"
DRAWING NUMBER	WORK ORDER	PROJECT DOCUMENT LIST
5A1491-1	57185215	MORTN-PDL-A-57185215

DOCUMENTUM FILENAME  
MORTN-A-0001









LUMINAIRE LOCATION SUMMARY			
LUMINO	LABEL	MOUNTING HEIGHT (FT)	TYPE
1	ALA	15	0
2	ALA	15	0
3	ALA	15	0
4	ALA	15	0
5	ALA	15	0
6	ALA	15	0
7	GMA	9	0
8	GMA	9	0
9	GMA	9	0
10	GMA	9	0
11	ALC	15	0
12	ALC	15	0
13	ALC	15	0
14	ALC	15	0
15	ALC	15	0
16	ALC	15	0
17	ALC	15	0
18	ALC	15	0
19	ALC	15	0
20	ALC	15	0
21	ALC	15	0
22	ALC	11	0
23	ALC	11	0
24	ALD	11	0
25	ALD	11	0

LUMINAIRE SCHEDULE					
SYMBOL	QTY	LABEL	ARRANGEMENT	TOTAL LAMP LUMENS	DESCRIPTION
⌈	4	GMA	SINGLE	N.A.	0.800 LITHONIA - WSR LED P1 SR2 40K MVOLT RPA PIR HS BS EGS
⌋	6	ALA	SINGLE	N.A.	0.810 LITHONIA DSX1 LED P2 40K 1FIM MVOLT RPA HS BS
⌋	2	ALD	SINGLE	N.A.	0.810 LITHONIA DSX1 LED P2 40K 1FIM MVOLT RPA HS BS
⌋	13	ALC	SINGLE	N.A.	0.810 LITHONIA DSX1 LED P2 40K 1FIM MVOLT RPA PIR HS BS

CALCULATION SUMMARY				
LABEL	CALCTYPE	UNITS	AVG	MAX
GROUND TOP 1	ILLUMINANCE	FC	X.XX	X.XX
SUBSTATION PERIMETER EAST	ILLUMINANCE	FC	X.XX	X.XX
SUBSTATION PERIMETER NORTH	ILLUMINANCE	FC	X.XX	X.XX
SUBSTATION PERIMETER SOUTH	ILLUMINANCE	FC	X.XX	X.XX
SUBSTATION PERIMETER WEST	ILLUMINANCE	FC	X.XX	X.XX

**SURVEY NOTE**  
THIS DRAWING IS SET UP IN THE MICHIGAN STATE PLAN COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FOOT. THE HORIZONTAL DATUM IS NAD 83 (2011). THE ELEVATIONS ARE IN FEET AND DECIMALS THEREOF AND ARE REFERENCED TO THE NAVD 88 DATUM. CONTOURS INDICATED ARE AT 1 FOOT INTERVALS. BEARING STRUCTURE IS BASED ON PROPERTY SURVEY BY DETROIT EDISON'S SURVEYING SERVICES JOB NO. 200902027. THE PROPERTY LINES INDICATED HEREON ARE FOR REFERENCE ONLY. NO BOUNDARY SURVEY WORK HAS BEEN PERFORMED AT THIS DATE.

**SITE INFORMATION:**  
EXISTING AND PROPOSED LAND USE:  
GREENFIELD LOT, NEW ELECTRICAL SUBSTATION (120-13.2KV)  
SITE AREA:  
93,074 S.F. (2.14 ACRES)  
SETBACKS:  
ALL OTHER USES: FRONT YARD - 50'  
SIDE YARD - 40'  
REAR YARD - 40'  
WETLAND INFORMATION:  
TOTAL WETLAND AREA = 0.694 AC  
PERMANENT WETLAND IMPACT = 0.11 AC  
TEMPORARY WETLAND IMPACT = 0.01 AC  
EXISTING ZONING CLASSIFICATION:  
EXISTING: M-1 (LIGHT INDUSTRIAL)  
ADJACENT ZONING CLASSIFICATIONS:  
NORTH: R-1B AND M-1  
SOUTH: RM  
EAST: M-1  
WEST: RM

**REFERENCE DRAWINGS:**

EXISTING CONDITIONS PLAN	5A1491-1
SITE PLAN	5A1491-2
SITE PLAN NOTES AND DETAILS	5A1491-3
GRADING PLAN	5A1491-4
PLOT PLAN	5A1491-5
SERVICE DRIVE PLAN	5A1491-6
SERVICE DRIVE PLAN NOTES AND DETAILS	5A1491-7
LANDSCAPE PLAN	5A1491-8
SOIL EROSION AND SEDIMENT CONTROL PLAN	5A1491-9
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	5A1491-10
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TREE PLAN	5A1491-12
TRAFFIC CONTROL PLAN	5A1491-13
ENTRANCE TURNING RADIUS PLAN	5A1491-14
SITE CROSS SECTIONS	5A1491-15
STORMWATER MANAGEMENT PLAN	5A1491-16
STORMWATER MANAGEMENT NOTES AND DETAILS	5A1491-17
STORMWATER MANAGEMENT PROFILES	5A1491-18
PDC #1 PLAN & SECTION VIEWS	5A1491-19
PDC #2 SECTION VIEWS	5A1491-20
ITC CONTROL HOUSE PLAN VIEW	5A1491-21
ITC CONTROL HOUSE ELEVATION	5A1491-22
LIGHTING PLAN/STUDY	5A1491-23

**ISSUED FOR PERMITTING  
NOT FOR CONSTRUCTION**

**SHARED DRAWING**  
INFORMATION ON DRAWING SHARED WITH ITC HOLDINGS CORP.

<b>C</b>	<b>B</b>	<b>A</b>	<b>APPROVALS</b>	<b>DTE Energy</b>
PROJ DESIGN	PROJ DESIGN	PROJ DESIGN	OTHER	DTE Electric
PROJ MANAGER	PROJ MANAGER	PROJ MANAGER	ENGINEERING	Central Design/Standards
OTHERS	OTHERS	OTHERS	MADE BY	TITLE
DATE	DATE	DATE	P. GODDARD/PEC	06/25/21
			LAYOUT BY	DATE
			P. GODDARD/PEC	06/25/21
			CHECKED BY	DATE
			T. GILL/PEC	06/25/21
			PROJECT DESIGN/ELECT	DATE
			PROJECT DESIGN/ACT	DATE
			APPROVED FOR ISSUE	DATE
MADE BY	MADE BY	MADE BY	LOCATION NAME	MORTON SUBSTATION
DATE	DATE	DATE	SERVICE CENTER	WWSC
ACT	ACT	ACT	SCALE	1" = 30'-0"
RELAY	RELAY	RELAY	DRAWING NUMBER	5A1491-3
CH'K BY	CH'K BY	CH'K BY	WORK ORDER	57185215
DATE	DATE	DATE	PROJECT DOCUMENT LIST	MORTN-PDL-A-57185215
EPPM	EPPM	EPPM	DOCUMENTUM FILENAME	MORTN-A-0003
APVD FOR ISSUE	APVD FOR ISSUE	APVD FOR ISSUE		

- GENERAL NOTES:**
- FIELD TO VERIFY CONDITIONS THAT AFFECT THE WORK. INFORM THE ENGINEERS OF ANY DISCREPANCIES IN DIMENSIONS, SIZE, LOCATIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK.
  - ALL EXISTING INFORMATION SHOWN IS OBTAINED FROM THE SURVEY DRAWING PREPARED BY DTE ENERGY'S SURVEYING SERVICE. DWG. 6SE-VAB-001.
  - THIS FACILITY WILL NOT BE USED FOR OUTDOOR STORAGE.
  - CALL 'MISS DIG' (811) 3 WORKING DAYS PRIOR TO START OF CONSTRUCTION.
  - THERE WILL BE NO TRASH RECEPTACLES ON SITE, NO TRASH WILL BE LEFT ON SITE OVERNIGHT.
  - PROVIDE SEDIMENTATION CONTROL FABRIC FENCE WHERE AND AS REQUIRED, SEE DRAWING 5A1491-8 FOR DETAIL.
  - BACKFILL MATERIAL NEEDED IS TO MEET MDOT CLASS II OR MDOT 21AA DENSE GRADED AGGREGATE SPECIFICATION UNLESS OTHERWISE NOTED ON THE PLANS, COMPACT BACKFILL IN 8" LIFTS TO 95% MAX. DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM D1557) ENGINEER TO APPROVE THIS FILL MATERIAL PRIOR TO ITS INSTALLATION.
  - THE TOP THREE FEET OF DAYLIGHT SLOPES OUTSIDE THE LIMITS OF GRAVEL OR PAVEMENT SHALL BE NO MORE THAN 50% SILT OR PI<10.
  - DRAWING ESTABLISHED IN NAD83 (2011) MICHIGAN STATE PLANE SOUTH ZONE, INTERNATIONAL FOOT AS THE HORIZONTAL DATUM. THE DRAWING IS ESTABLISHED IN NAVD88 AS THE VERTICAL DATUM. TO CONVERT TO NGVD 29, ADD 0.3379 FEET TO THE NAVD88 ELEVATION SHOWN ON THE PLAN.
  - SITE IS AN EXISTING BROWNFIELD SITE AND HAS A DUE CARE PLAN TO PROVIDE DETAILS ON KNOWN ENVIRONMENTAL CONTAMINATION. HOWEVER, SOIL EXCAVATION WORK WILL BE COMPLETED PRIOR TO SUBSTATION/CONDUIT WORK TO REMOVE ALL KNOWN CONTAMINATION.
  - SLOPES OUTSIDE THE STATION PAD ARE 4H:1V UNLESS NOTED OTHERWISE.
  - PICK UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
  - PAVED SURFACES, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
  - SQUARE FOOTAGE OF PROPOSED COMMERCIAL/INDUSTRIAL BUILDINGS - 0 SQUARE FEET
  - ALL CONSTRUCTION SHALL CONFORM TO CURRENT STANDARDS AND GENERAL REQUIREMENTS OF VAN BUREN TOWNSHIP.
  - DTE IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF DTE'S ACTIONS
  - AT ALL TIMES THE GRADING SHALL BE CONDUCTED IN A TIMELY AND ORDERLY FASHION ACCEPTABLE TO THE TOWNSHIP ENGINEER. GRADING SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS AND SEQUENCES AND SHALL NOT ALTER OR IN ANY WAY AFFECT OFF-SITE AND ADJACENT NATURAL DRAINAGE. NATURAL DRAINAGE FLOW PASSING THROUGH ANY CONSTRUCTION SITE SHALL BE ACCOMMODATED AT ALL TIMES.
  - GROUND SLOPES SHOWN BETWEEN PROPOSED ELEVATIONS SHALL BE CONSIDERED CONSTANT UNLESS NOTED TO THE CONTRARY.
  - FINISH GRADES SHALL BE COMPLETED TO AN ACCURACY OF ONE-TENTHS OF 1-FOOT OF THE ELEVATIONS SHOWN IN THE SUBSTATION'S APPROVED OVERALL GRADING PLAN.
  - SETTLEMENT OCCURRING IN TRENCHES WITHIN ONE YEAR AFTER COMPLETION OF THE WORK SHALL BE FILLED, REGRADED AND RESTORED WITH SOD OR TOPSOIL, SEED AND MULCH OUTSIDE OF THE STATION PAD AND ROAD LIMITS, AND RESTORED WITH GRAVEL OR PAVEMENT BASED ON THE SURFACING REQUIREMENTS WITHIN THE LIMITS OF THE SUBSTATION PAD AND ROAD, BY THE CONTRACTOR, AS DETERMINED BY DTE OR TOWNSHIP ENGINEER.
  - ANY PERSON BEFORE ENGAGING OR CONTINUING IN THE BUSINESS OF ERECTING OR REPAIRING SIGNS IN THE TOWNSHIP SHALL APPLY FOR A SIGN ERECTOR'S LICENSE AND SUBJECT TO ALL REQUIREMENTS OF "CHARTER TOWNSHIP OF VAN BUREN ZONING ORDINANCE" AS AMENDED 08 FEB 2021, SECT 11.112, "SIGN ERECTOR REQUIREMENTS"

**UTILITY WARNING**  
UNDERGROUND UTILITY LOCATIONS, AS SHOWN ON THE PLAN, WERE OBTAINED FROM TOPOGRAPHIC SURVEY DRAWING NUMBER 6ES-VAN-001. UTILITY INFORMATION WAS ALSO GATHERED FROM THE "MISS DIG" REPORT B00450326. THE ACCURACY AND COMPLETENESS OF THE UTILITY INFORMATION CAN NOT BE GUARANTEED.

A MINIMUM OF 3 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN.

**PROPERTY OWNER/APPLICANT/DEVELOPER:**  
DTE ENERGY - DTE ELECTRIC CO.  
ONE ENERGY PLAZA  
DETROIT, MI 48226-1279  
(313)235-0177

**ENGINEER:**  
POWER ENGINEERS CONSULTING  
555 BRIARWOOD CIRCLE SUITE 205  
ANN ARBOR, MICHIGAN 48108  
(734) 619-7200 FAX (734) 619-7299

**ADDRESS:**  
MORTON SUBSTATION  
42061 ECORSE ROAD  
BELLEVILLE, MICHIGAN 48111  
WAYNE COUNTY

**DEVELOPMENT SUMMARY:**  
ALLOWABLE LOT COVERAGE - 2.14 ACRE  
PROPOSED LOT COVERAGE - 1.60 ACRE  
- CONTROL HOUSE AND PDC'S  
- TRANSFORMERS  
- FOUNDATIONS  
- MISC. ELECTRICAL EQUIPMENT  
- STATION PAD & GRAVEL DRIVES  
- UNDERGROUND UTILITIES & STRUCTURES  
- DETENTION AREA  
- LANDSCAPED AREAS

THERE ARE NO PHASES FOR THIS PROJECT. THE SITE WORK, SUBSTATION, AND LANDSCAPING ARE ALL TO BE COMPLETED.

**811**  
Know what's below.  
Call before you dig.

**STOP THINK ACT REVIEW**

REV	NOTE TO FIELD
-	FOR ANY QUESTIONS ON THIS DESIGN, PLEASE CONTACT:
PROJECT DESIGNER	PROJECT ENGINEER
PATRICK GODDARD/PEC (513)316-2293	TOM J. GILL/PEC (513)316-1510

MICHIGAN EGLE  
SITE WORK (303/301) - JOINT PERMIT APPLICATION (JPA) REQUEST  
"HP3-M5G2-VASBR,82-42061 ECORSE RD-BELLEVILLE" SUBMITTED 30 SEPT 2021 WITH EXPECTED APPROVAL EARLY JAN 2022  
SIDEWALK (301) JPA WILL BE REQUIRED FOR THE BRIDGE OVER THE DRAIN ON THE WEST SIDE OF THE PROPERTY. THIS WILL BE SUBMITTED WHEN THE ENGINEERING FOR THE BRIDGE AND ITS ASSOCIATED FOUNDATIONS IS COMPLETED SECOND QUARTER OF 2022.

VAN BUREN TOWNSHIP  
SITE PLAN APPROVAL - FIRST SUBMISSION 25 OCT 2021  
ENGINEERING REVIEW  
TREE REMOVAL PERMIT  
BUILDING PERMIT

WAYNE COUNTY  
STORM WATER MANAGEMENT-  
DRAINAGE-  
SOIL EROSION AND SEDIMENT CONTROL-  
DRIVEWAY AND RIGHT OF WAY IMPROVEMENTS-

FAA PART 77  
NOTICE CRITERION TOOL- 21 DEC 2021, FILING IN ACCORDANCE 77.9 REQUIRED 7460-1, PART 1, "OBSTRUCTION EVALUATION/ AIRPORT AIRSPACE ANALYSIS" - 7460-2, PART 2, "NOTICE OF ACTUAL CONSTRUCTION OR ALTERATION" IF REQUIRED BY FAA FINAL AERONAUTICAL STUDY DETERMINATION LETTER, OUTPUT OF PART D-

**STATE OF MICHIGAN**  
**THOMAS J. GILL**  
ENGINEER  
No. 8201310014  
LICENSED PROFESSIONAL ENGINEER

0 30 60  
SCALE IN FEET

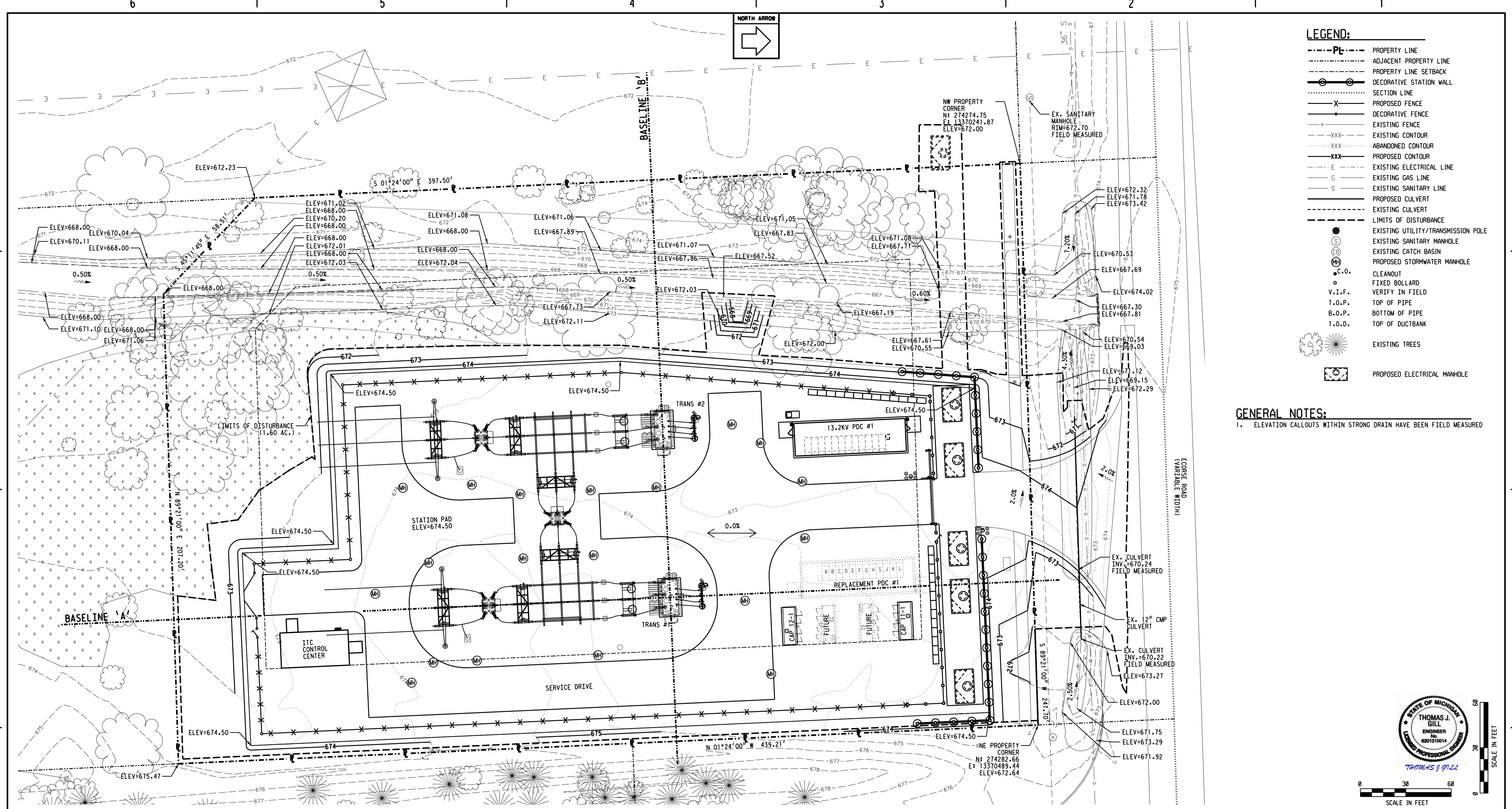
0 30 60  
SCALE IN FEET

DATE	SUBMITTED FOR
FEB 2022	WAYNE COUNTY
DATE	SUBMITTED FOR
FEB 2022	VAN BUREN TOWNSHIP

LOCATION NAME	SERVICE CENTER	SCALE
MORTON SUBSTATION	WWSC	1" = 30'-0"
DRAWING NUMBER	WORK ORDER	PROJECT DOCUMENT LIST
5A1491-3	57185215	MORTN-PDL-A-57185215

DOCUMENTUM FILENAME  
MORTN-A-0003





ISSUED FOR PERMITTING  
NOT FOR CONSTRUCTION

Know what's below.  
Call before you dig.

STOP  
THINK  
ACT  
REVIEW

SHARED DRAWING  
INFORMATION ON DRAWING SHARED  
WITH ITC HOLDINGS CORP.

NOTE TO FIELD

FOR ANY QUESTIONS ON THIS DESIGN,  
PLEASE CONTACT:  
PROJECT DESIGNER: PATRICK GODDARD/PEC (513)316-2293  
PROJECT ENGINEER: TOM J. GILL/PEC (513)316-1510

REFERENCE DRAWINGS:  
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SITE PLAN --- 5A1491-2  
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STORMWATER MANAGEMENT PROFILES --- 5M1491-4

C				B				A				APPROVALS					
PROJ DESIGN		PROJ MANAGER		OTHERS		PROJ DESIGN		PROJ MANAGER		OTHERS		PROJ DESIGN		PROJ MANAGER		OTHERS	
DATE				DATE			DATE					DATE					
MADE BY				MADE BY				MADE BY				MADE BY					
DATE				DATE				DATE				DATE					
ACT				ACT				ACT				ACT					
DATE				DATE				DATE				DATE					
APVD FOR ISSUE				APVD FOR ISSUE				APVD FOR ISSUE				APVD FOR ISSUE					
CH'K BY				CH'K BY				CH'K BY				CH'K BY					
DATE				DATE				DATE				DATE					
EPPM				EPPM				EPPM				EPPM					
APVD FOR ISSUE				APVD FOR ISSUE				APVD FOR ISSUE				APVD FOR ISSUE					

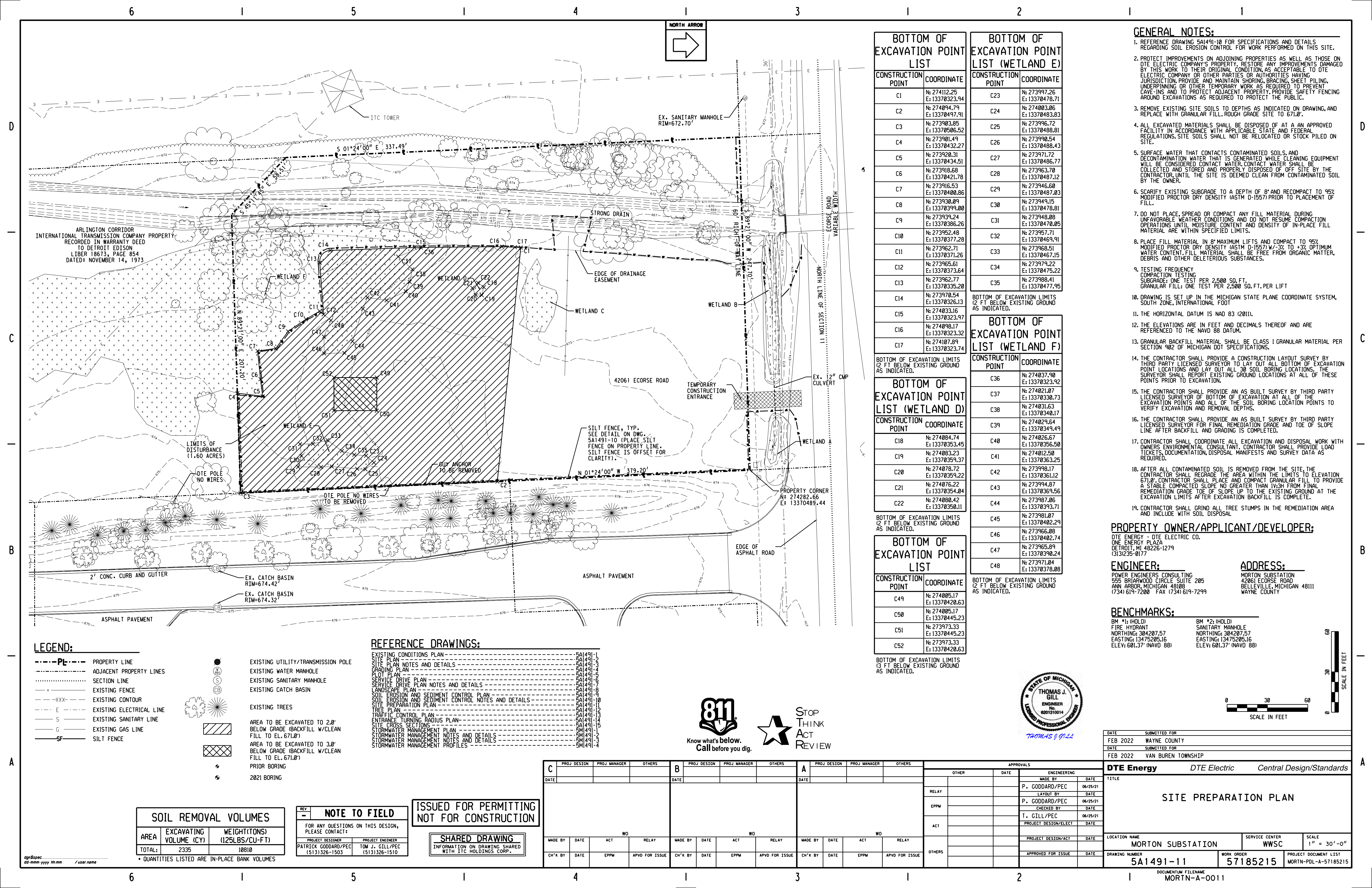
OTHER		ENGINEERING	
DATE		DATE	
		MADE BY	DATE
		P. GODDARD/PEC	06/25/21
		LAYOUT BY	DATE
		P. GODDARD/PEC	06/25/21
		CHECKED BY	DATE
		T. GILL/PEC	06/25/21
		PROJECT DESIGN/ELECT	DATE
		PROJECT DESIGN/ACT	DATE
		APPROVED FOR ISSUE	DATE

LOCATION NAME		SERVICE CENTER		SCALE	
MORTON SUBSTATION		WWSC		1" = 30'-0"	
DRAWING NUMBER		WORK ORDER		PROJECT DOCUMENT LIST	
5A1491-4		57185215		MORTN-PDL-A-57185215	

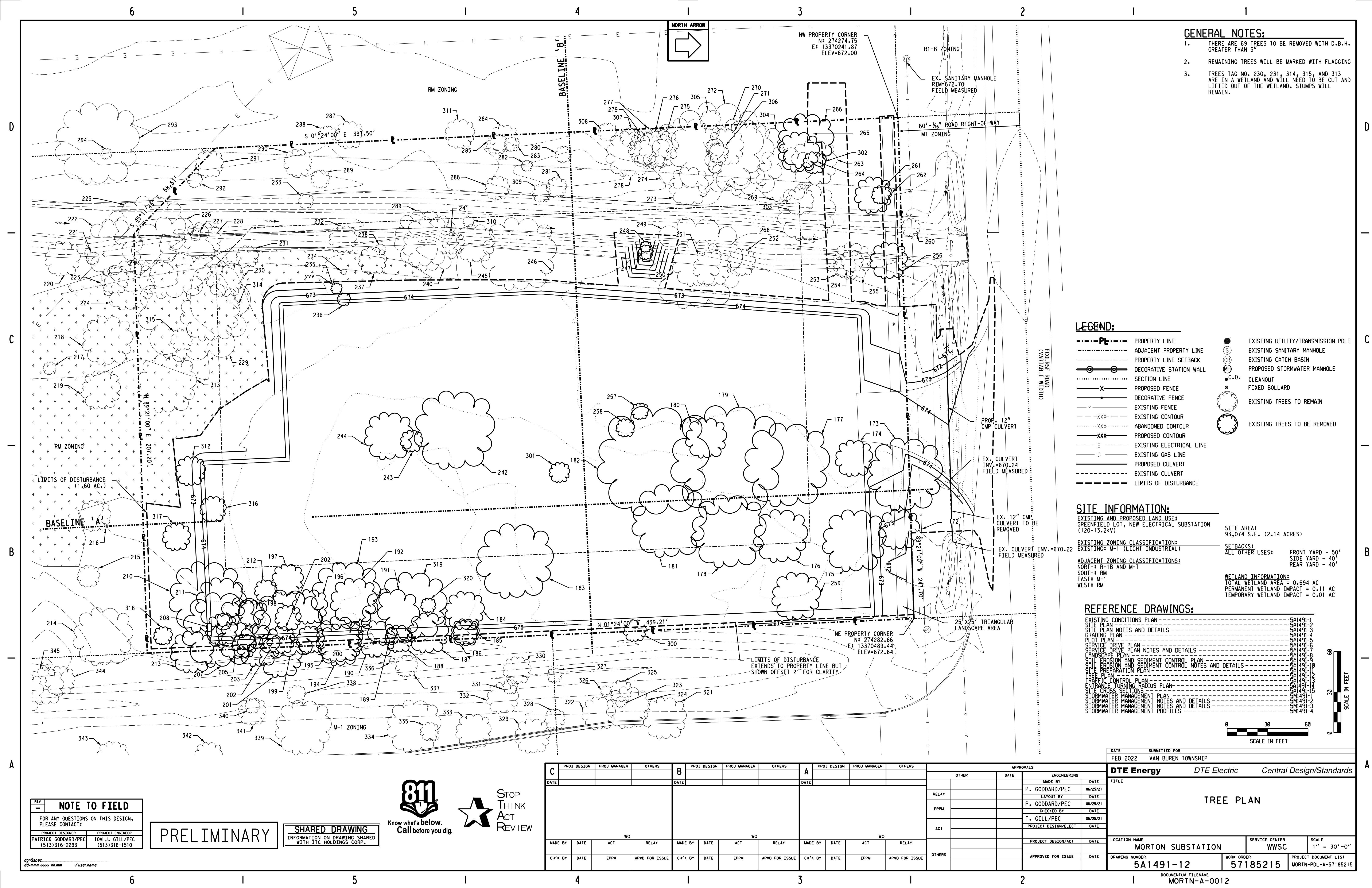
STATE OF MICHIGAN  
THOMAS J. GILL  
ENGINEER  
No. 6201510014  
THOMAS J. GILL

SCALE IN FEET  
0 30 60  
0 30 60











Morton Total Tree Inventory

Tree Tag No.	Species	DBH (in.)	Tree Health	Lat/Long	Latitude	Longitude	Crown Spread Length (nearest foot)	Crown Spread Width (nearest foot)	Ground Elevation	Comments:
172	Acer negundo	30	Poor	<a href="#">42.24894 -83.45405</a>	42.24894	-83.45405	32	22	672	
173	Populus deltoides	27	Good	<a href="#">42.24895 -83.45415</a>	42.24895	-83.45415	52	40	672	
174	Acer negundo	20	Poor	<a href="#">42.24888 -83.45418</a>	42.24888	-83.45418	12	20	672	
175	Acer saccharinum	23	Good	<a href="#">42.24888 -83.45403</a>	42.24888	-83.45403	40	34	673	
176	Acer saccharinum	22	Good	<a href="#">42.24878 -83.45404</a>	42.24878	-83.45404	29	29	674	
177	Populus deltoides	30	Good	<a href="#">42.24879 -83.45417</a>	42.24879	-83.45417	50	46	673	
178	Acer saccharinum	20	Good	<a href="#">42.24871 -83.45405</a>	42.24871	-83.45405	45	40	674	
179	Populus deltoides	28	Good	<a href="#">42.24871 -83.45418</a>	42.24871	-83.45418	50	60	673	
180	Acer negundo	36 (2x18)	Poor-split trunk	<a href="#">42.24868 -83.45422</a>	42.24868	-83.45422	16	22	673	
181	Acer negundo	33 (15+18)	Poor-split trunk	<a href="#">42.24863 -83.45407</a>	42.24863	-83.45407	30	40	674	
182	Acer negundo	27	Good-split trunk	<a href="#">42.24861 -83.45418</a>	42.24861	-83.45418	50	60	674	
183	Catalpa speciosa	31	Poor-trunk rot,ivy	<a href="#">42.24842 -83.454</a>	42.24842	-83.454	43	41	675	
184	Ulmus americana	10	Good	<a href="#">42.24835 -83.45391</a>	42.24835	-83.45391	31	21	675	
185	Acer negundo	7	Good	<a href="#">42.24835 -83.45387</a>	42.24835	-83.45387	12	13	675	
186	Acer negundo	7	Good	<a href="#">42.24835 -83.45387</a>	42.24835	-83.45387	25	15	675	
187	Ulmus americana	7	Good	<a href="#">42.2483 -83.45387</a>	42.2483	-83.45387	18	22	675	
188	Ulmus americana	7	Good	<a href="#">42.24826 -83.45386</a>	42.24826	-83.45386	17	15	674	
189	Ulmus americana	5	Good	<a href="#">42.24825 -83.45387</a>	42.24825	-83.45387	8	6	674	
190	Ulmus americana	11	Good	<a href="#">42.24823 -83.45386</a>	42.24823	-83.45386	30	20	674	
191	Acer rubrum	9	Good	<a href="#">42.24825 -83.4539</a>	42.24825	-83.4539	31	31	675	
192	Acer negundo	6	Good	<a href="#">42.2482 -83.45393</a>	42.2482	-83.45393	19	25	674	
193	Ulmus americana	9	Good	<a href="#">42.24819 -83.45394</a>	42.24819	-83.45394	29	37	674	
194	Acer negundo	7	Good-split trunk	<a href="#">42.24818 -83.45385</a>	42.24818	-83.45385	22	23	674	
195	Acer negundo	8	Good-split trunk	<a href="#">42.24818 -83.45386</a>	42.24818	-83.45386	19	25	674	
196	Acer rubrum	8	Good	<a href="#">42.24814 -83.45392</a>	42.24814	-83.45392	20	19	674	
197	Acer rubrum	7	Good	<a href="#">42.24811 -83.45397</a>	42.24811	-83.45397	19	17	674	
198	Ulmus americana	5	Good	<a href="#">42.24811 -83.4539</a>	42.24811	-83.4539	12	14	673	
199	Acer rubrum	7	Good	<a href="#">42.24811 -83.45389</a>	42.24811	-83.45389	35	37	673	
200	Acer negundo	8	Good	<a href="#">42.24814 -83.45386</a>	42.24814	-83.45386	27	15	674	
201	Acer negundo	10	Good	<a href="#">42.2481 -83.45383</a>	42.2481	-83.45383	17	23	675	
202	Acer negundo	9	Good	<a href="#">42.2481 -83.45386</a>	42.2481	-83.45386	25	15	673	
203	Acer negundo	8	Good	<a href="#">42.24807 -83.45385</a>	42.24807	-83.45385	17	23	674	
204	Acer negundo	5	Good-split trunk	<a href="#">42.24805 -83.45389</a>	42.24805	-83.45389	27	29	673	
205	Acer negundo	7	Good-split trunk	<a href="#">42.24805 -83.45385</a>	42.24805	-83.45385	16	13	674	
206	Acer negundo	9	Good-split trunk	<a href="#">42.24804 -83.45386</a>	42.24804	-83.45386	20	20	673	
207	Acer negundo	6	Good	<a href="#">42.24802 -83.45388</a>	42.24802	-83.45388	39	41	673	
208	Acer negundo	7	Good	<a href="#">42.24802 -83.45388</a>	42.24802	-83.45388	15	17	673	
209	Acer negundo	9	Good	<a href="#">42.24806 -83.45391</a>	42.24806	-83.45391	21	14	673	
210	Acer saccharinum	13	Good	<a href="#">42.248 -83.45394</a>	42.248	-83.45394	45	39	673	



Morton Total Tree Inventory

Tree Tag No.	Species	DBH (in.)	Tree Health	Lat/Long	Latitude	Longitude	Crown Spread Length (nearest foot)	Crown Spread Width (nearest foot)	Ground Elevation	Comments:
211	Acer negundo	7	Good	<a href="#">42.24802 -83.45393</a>	42.24802	-83.45393	19	27	673	
212	Ulmus americana	7	Good	<a href="#">42.24808 -83.45395</a>	42.24808	-83.45395	17	12	673	
213	Acer negundo	8	Good	<a href="#">42.24798 -83.45384</a>	42.24798	-83.45384	21	23	674	
214	Ulmus americana	7	Good	<a href="#">42.24786 -83.45387</a>	42.24786	-83.45387	30	32	674	
215	Ulmus americana	5	Good	<a href="#">42.24784 -83.45398</a>	42.24784	-83.45398	12	12	674	
216	Picea pungens	5	Good	<a href="#">42.24785 -83.45409</a>	42.24785	-83.45409	11	17	673	
217	Ulmus americana	6	Good	<a href="#">42.24779 -83.45436</a>	42.24779	-83.45436	7	7	672	
218	Ulmus americana	8	Good	<a href="#">42.24787 -83.45441</a>	42.24787	-83.45441	19	27	672	
219	Ulmus americana	6	Good	<a href="#">42.24786 -83.45432</a>	42.24786	-83.45432	14	21	672	
220	Ulmus americana	7	Good	<a href="#">42.24781 -83.45456</a>	42.24781	-83.45456	12	19	670	
221	Populus deltoides	6	Good	<a href="#">42.24785 -83.45456</a>	42.24785	-83.45456	6	7	671	
222	Ulmus americana	11	Good	<a href="#">42.24788 -83.45458</a>	42.24788	-83.45458	35	31	670	
223	Ulmus americana	7	Good	<a href="#">42.24788 -83.45452</a>	42.24788	-83.45452	15	15	671	
224	Ulmus americana	9	Good	<a href="#">42.2479 -83.45451</a>	42.2479	-83.45451	40	27	671	
225	Ulmus americana	10	Good	<a href="#">42.24793 -83.45461</a>	42.24793	-83.45461	30	38	669	
226	Ulmus americana	8	Good	<a href="#">42.24796 -83.45456</a>	42.24796	-83.45456	35	45	671	
227	Cratageus sp.	7	Good	<a href="#">42.24799 -83.4546</a>	42.24799	-83.4546	5	6	670	
228	Acer negundo	9	Good	<a href="#">42.248 -83.45459</a>	42.248	-83.45459	30	20	671	
229	Populus deltoides	23	Good	<a href="#">42.24799 -83.45447</a>	42.24799	-83.45447	55	60	671	
230	Acer negundo	10	Good	<a href="#">42.24803 -83.45452</a>	42.24803	-83.45452	20	20	671	
231	Acer negundo	9	Good	<a href="#">42.24806 -83.45456</a>	42.24806	-83.45456	12	12	671	
232	Ulmus americana	7	Good	<a href="#">42.24819 -83.45459</a>	42.24819	-83.45459	10	15	672	
233	Cratageus sp.	6	Good	<a href="#">42.24814 -83.45466</a>	42.24814	-83.45466	7	8	669	
234	Ulmus americana	7	Poor	<a href="#">42.24819 -83.45453</a>	42.24819	-83.45453	3	3	672	
235	Ulmus americana	6	Good	<a href="#">42.24818 -83.4545</a>	42.24818	-83.4545	6	6	672	
236	Ulmus americana	7	Poor	<a href="#">42.24819 -83.45448</a>	42.24819	-83.45448	7	7	672	
237	Morus rubra	11	Mulit-trunk	<a href="#">42.24823 -83.45455</a>	42.24823	-83.45455	15	15	672	
238	Ulmus americana	6	Good	<a href="#">42.24824 -83.45457</a>	42.24824	-83.45457	6	6	672	
239	Ulmus americana	15	Good	<a href="#">42.2483 -83.45459</a>	42.2483	-83.45459	25	31	670	
240	Ulmus americana	13	Good	<a href="#">42.24831 -83.45458</a>	42.24831	-83.45458	30	30	671	
241	Ulmus americana	6	Good	<a href="#">42.24834 -83.45458</a>	42.24834	-83.45458	12	12	671	
242	Populus deltoides	31	Good	<a href="#">42.24834 -83.45424</a>	42.24834	-83.45424	48	43	674	
243	Acer negundo	18	Poor	<a href="#">42.24828 -83.45422</a>	42.24828	-83.45422	17	12	675	
244	Acer negundo	18	Poor	<a href="#">42.24825 -83.45423</a>	42.24825	-83.45423	20	26	675	
245	Ulmus americana	11	Good	<a href="#">42.24837 -83.45458</a>	42.24837	-83.45458	20	21	671	
246	Populus deltoides	8	Good	<a href="#">42.24843 -83.45456</a>	42.24843	-83.45456	31	40	671	
247	Ulmus americana	6	Good	<a href="#">42.2486 -83.45456</a>	42.2486	-83.45456	6	8	670	
248	Acer negundo	8	Good	<a href="#">42.2486 -83.45457</a>	42.2486	-83.45457	6	6	670	
249	Ulmus americana	19	Good	<a href="#">42.24867 -83.45454</a>	42.24867	-83.45454	60	50	672	



Morton Total Tree Inventory

Tree Tag No.	Species	DBH (in.)	Tree Health	Lat/Long	Latitude	Longitude	Crown Spread Length (nearest foot)	Crown Spread Width (nearest foot)	Ground Elevation	Comments:
250	Ulmus americana	7	Good	<a href="#">42.24867 -83.45454</a>	42.24867	-83.45454	25	26	672	
251	Ulmus americana	6	Good	<a href="#">42.24869 -83.45453</a>	42.24869	-83.45453	20	20	672	
252	Ulmus americana	6	Good	<a href="#">42.24873 -83.45454</a>	42.24873	-83.45454	11	15	671	
253	Cratageus sp.	7	Good	<a href="#">42.24887 -83.45453</a>	42.24887	-83.45453	12	12	671	
254	Cratageus sp.	6	Good	<a href="#">42.24888 -83.45454</a>	42.24888	-83.45454	12	12	670	
255	Ulmus americana	8	Good	<a href="#">42.24888 -83.45454</a>	42.24888	-83.45454	30	20	670	
256	Ulmus americana	6	Good	<a href="#">42.24893 -83.45454</a>	42.24893	-83.45454	30	20	670	
257	Acer negundo	13	Good	<a href="#">42.24859 -83.45427</a>	42.24859	-83.45427	10	9	673	
258	Acer negundo	7	Good	<a href="#">42.24857 -83.45424</a>	42.24857	-83.45424	15	10	673	
259	Ulmus americana	8	Good	<a href="#">42.2488 -83.45393</a>	42.2488	-83.45393	26	26	674	
260	Populus deltoides	6	Good	<a href="#">42.24896 -83.4546</a>	42.24896	-83.4546	10	10	669	
261	Ulmus americana	5	Good	<a href="#">42.24892 -83.45466</a>	42.24892	-83.45466	10	10	673	
262	Ulmus americana	5	Good	<a href="#">42.24891 -83.45466</a>	42.24891	-83.45466	13	20	673	
263	Acer negundo	11	Poor	<a href="#">42.24883 -83.45472</a>	42.24883	-83.45472	20	25	673	
264	Dead Tree	na	Dead	<a href="#">42.24883 -83.45472</a>	42.24883	-83.45472			673	
265	Cratageus sp.	8	Good	<a href="#">42.24881 -83.45474</a>	42.24881	-83.45474	30	22	673	
266	Ulmus americana	7	Good	<a href="#">42.24882 -83.45476</a>	42.24882	-83.45476	20	30	673	
267	Ulmus americana	7	Good	<a href="#">42.24882 -83.45476</a>	42.24882	-83.45476	20	30	673	
268	Ulmus americana	9	Good	<a href="#">42.24882 -83.45463</a>	42.24882	-83.45463	40	31	671	
269	Prunus serotina	8	Good	<a href="#">42.24879 -83.4547</a>	42.24879	-83.4547	30	30	672	
270	Ulmus americana	6	Good	<a href="#">42.24873 -83.45474</a>	42.24873	-83.45474	29	37	673	
271	Ulmus americana	7	Good	<a href="#">42.24871 -83.45475</a>	42.24871	-83.45475	15	20	673	
272	Ulmus americana	12	Good	<a href="#">42.2487 -83.45475</a>	42.2487	-83.45475	35	50	672	
273	Ulmus americana	6	Good	<a href="#">42.24866 -83.45468</a>	42.24866	-83.45468	20	21	673	
274	Ulmus americana	7	Good	<a href="#">42.24866 -83.45474</a>	42.24866	-83.45474	29	39	673	
275	Ulmus americana	7	Good	<a href="#">42.24862 -83.45475</a>	42.24862	-83.45475	23	21	672	
276	Ulmus americana	7	Good	<a href="#">42.24861 -83.45475</a>	42.24861	-83.45475	26	19	672	
277	Ulmus americana	8	Good	<a href="#">42.24861 -83.45475</a>	42.24861	-83.45475	23	23	672	
278	Ulmus americana	9	Good	<a href="#">42.24858 -83.45474</a>	42.24858	-83.45474	16	25	673	
279	Ulmus americana	8	Good	<a href="#">42.2486 -83.45475</a>	42.2486	-83.45475	14	17	672	
280	Cratageus sp.	6	Multi-trunk	<a href="#">42.24849 -83.45474</a>	42.24849	-83.45474	11	9	674	
281	Cratageus sp.	11	Good	<a href="#">42.24848 -83.45468</a>	42.24848	-83.45468	15	11	673	
282	Cratageus sp.	6	Good	<a href="#">42.24844 -83.45472</a>	42.24844	-83.45472	6	6	674	
283	Acer negundo	6	Good/multi-trunk	<a href="#">42.24842 -83.45476</a>	42.24842	-83.45476	8	8	673	
284	Cratageus sp.	5	Good	<a href="#">42.24841 -83.45477</a>	42.24841	-83.45477	16	15	673	
285	Cratageus sp.	6	Good	<a href="#">42.2484 -83.45476</a>	42.2484	-83.45476	8	11	673	
286	Cratageus sp.	10	Good	<a href="#">42.2484 -83.45468</a>	42.2484	-83.45468	10	13	673	
287	Cratageus sp.	6	Good/multi-trunk	<a href="#">42.2482 -83.45478</a>	42.2482	-83.45478	15	15	673	
288	Ulmus americana	6	Good	<a href="#">42.24817 -83.45478</a>	42.24817	-83.45478	9	10	673	



Morton Total Tree Inventory

Tree Tag No.	Species	DBH (in.)	Tree Health	Lat/Long	Latitude	Longitude	Crown Spread Length (nearest foot)	Crown Spread Width (nearest foot)	Ground Elevation	Comments:
289	Ailanthus altissima	6	Good	<a href="#">42.24816 -83.4547</a>	42.24816	-83.4547	12	10	671	
290	Ailanthus altissima	6	Good	<a href="#">42.24813 -83.45473</a>	42.24813	-83.45473	11	15	672	
291	Ulmus americana	7	Good	<a href="#">42.24801 -83.45473</a>	42.24801	-83.45473	9	15	673	
292	Ulmus americana	5	Good	<a href="#">42.24799 -83.4547</a>	42.24799	-83.4547	8	8	672	
293	Ailanthus altissima	12	Good	<a href="#">42.24786 -83.45477</a>	42.24786	-83.45477	35	45	673	
294	Ulmus americana	5	Good	<a href="#">42.24787 -83.45475</a>	42.24787	-83.45475	5	6	673	
300	Juniperus virginiana	7	Good-split trunk	<a href="#">42.248582 -83.453873</a>	42.248582	-83.453873	12	12	675	
301	Cratageus sp.	7	Good	<a href="#">42.248479 -83.454163</a>	42.248479	-83.454163	10	11	675	
302	Ulmus americana	6	Good	<a href="#">42.248829 -83.454716</a>	42.248829	-83.454716	12	12	673	
303	Ulmus americana	6	Good	<a href="#">42.248812 -83.454650</a>	42.248812	-83.45465	15	15	672	
304	Ulmus americana	11	Good/multi-trunk	<a href="#">42.248736 -83.454734</a>	42.248736	-83.454734	20	41	673	
305	Ulmus americana	5	Good	<a href="#">42.248689 -83.454796</a>	42.248689	-83.454796	12	11	673	
306	Ulmus americana	6	Good	<a href="#">42.248695 -83.454737</a>	42.248695	-83.454737	23	11	673	
307	Ulmus americana	6	Good	<a href="#">42.248579 -83.454765</a>	42.248579	-83.454765	11	10	672	
308	Rhamnus cathartica	8	Good	<a href="#">42.248550 -83.454776</a>	42.24855	-83.454776	8	10	673	
309	Rhamnus cathartica	6	Good	<a href="#">42.248458 -83.454670</a>	42.248458	-83.45467	8	10	673	
310	Cratageus sp.	6	Good	<a href="#">42.248364 -83.454617</a>	42.248364	-83.454617	7	6	668	
311	Rhamnus cathartica	9	Good/multi-trunk	<a href="#">42.248345 -83.454780</a>	42.248345	-83.45478	10	16	673	
312	Ulmus americana	7	Good	<a href="#">42.247979 -83.454170</a>	42.247979	-83.45417	13	16	673	
313	Ulmus americana	9	Good	<a href="#">42.247953 -83.454334</a>	42.247953	-83.454334	21	32	672	
314	Ulmus americana	6	Good	<a href="#">42.248012 -83.454459</a>	42.248012	-83.454459	28	32	672	
315	Rhamnus cathartica	12	Good	<a href="#">42.247965 -83.454410</a>	42.247965	-83.45441	11	12	672	
316	Acer rubrum	5	Good	<a href="#">42.248009 -83.454096</a>	42.248009	-83.454096	12	14	673	
317	Ailanthus altissima	6	Good	<a href="#">42.247955 -83.454048</a>	42.247955	-83.454048	17	15	673	
318	Cratageus sp.	7	Good	<a href="#">42.247943 -83.453866</a>	42.247943	-83.453866	10	10	673	
319	Acer negundo	15	Mulit-trunk	<a href="#">42.248284 -83.453921</a>	42.248284	-83.453921	24	37	675	
320	Acer negundo	10	Good	<a href="#">42.248298 -83.453919</a>	42.248298	-83.453919	10	8	675	
321	Picea abies	27	Good	<a href="#">42.248616 -83.453709</a>	42.248616	-83.453709	23	23	676	
322	Picea abies	10	Good	<a href="#">42.248528 -83.453717</a>	42.248528	-83.453717	18	18	676	
323	Picea abies	7	Poor	<a href="#">42.248557 -83.453742</a>	42.248557	-83.453742	6	6	678	
324	Acer platanoides	11	Good	<a href="#">42.248568 -83.453726</a>	42.248568	-83.453726	21	23	676	
325	Picea abies	13	Good	<a href="#">42.248556 -83.453756</a>	42.248556	-83.453756	12	12	677	
326	Picea abies	9	Poor	<a href="#">42.248536 -83.453760</a>	42.248536	-83.45376	6	6	678	
327	Picea abies	8	Poor	<a href="#">42.248468 -83.453785</a>	42.248468	-83.453785	8	8	678	
328	Picea abies	11	Good	<a href="#">42.248467 -83.453705</a>	42.248467	-83.453705	11	11	676	
329	Acer platanoides	12	Good	<a href="#">42.248441 -83.453684</a>	42.248441	-83.453684	40	19	676	
330	Picea abies	12	Good	<a href="#">42.248424 -83.453795</a>	42.248424	-83.453795	15	15	679	
331	Picea abies	10	Poor	<a href="#">42.248414 -83.453766</a>	42.248414	-83.453766	8	8	678	
332	Picea abies	15	Good	<a href="#">42.248396 -83.453751</a>	42.248396	-83.453751	17	17	678	



Morton Total Tree Inventory

Tree Tag No.	Species	DBH (in.)	Tree Health	Lat/Long	Latitude	Longitude	Crown Spread Length (nearest foot)	Crown Spread Width (nearest foot)	Ground Elevation	Comments:
333	Picea abies	11	Good	<a href="#">42.248358 -83.453693</a>	42.248358	-83.453693	19	19	676	
334	Acer rubrum	11	Good	<a href="#">42.248284 -83.453703</a>	42.248284	-83.453703	35	29	676	
335	Picea abies	12	Good	<a href="#">42.248298 -83.453690</a>	42.248298	-83.45369	10	10	676	
336	Picea pungens	7	Poor	<a href="#">42.248252 -83.453824</a>	42.248252	-83.453824	3	3	676	
337	Picea pungens	8	Good	<a href="#">42.248268 -83.453810</a>	42.248268	-83.45381	12	12	677	
338	Picea pungens	11	Good	<a href="#">42.248118 -83.453763</a>	42.248118	-83.453763	10	10	678	
339	Acer rubrum	12	Good	<a href="#">42.248130 -83.453704</a>	42.24813	-83.453704	27	30	676	
340	Picea pungens	8	Poor	<a href="#">42.248059 -83.453736</a>	42.248059	-83.453736	8	8	678	
341	Picea pungens	10	Good	<a href="#">42.248056 -83.453733</a>	42.248056	-83.453733	15	15	678	
342	Acer rubrum	10	Good	<a href="#">42.248000 -83.453647</a>	42.248	-83.453647	15	15	675	
343	Acer rubrum	7	Good	<a href="#">42.247867 -83.453647</a>	42.247867	-83.453647	17	17	675	
344	Picea pungens	10	Good	<a href="#">42.247803 -83.453786</a>	42.247803	-83.453786	16	16	676	
345	Picea pungens	10	Good	<a href="#">42.247783 -83.453783</a>	42.247783	-83.453783	20	20	677	
346	Picea pungens	9	Good	<a href="#">42.247748 -83.453771</a>	42.247748	-83.453771	22	22	677	
347	Picea pungens	7	Good	<a href="#">42.247704 -83.453728</a>	42.247704	-83.453728	25	25	678	
348	Acer platanoides	7	Good	<a href="#">42.247733 -83.453651</a>	42.247733	-83.453651	21	19	675	
349	Picea pungens	8	Good	<a href="#">42.247674 -83.453724</a>	42.247674	-83.453724	18	18	678	
350	Picea pungens	8	Good	<a href="#">42.247643 -83.453708</a>	42.247643	-83.453708	22	22	677	
351	Acer platanoides	7	Good	<a href="#">42.247602 -83.453676</a>	42.247602	-83.453676	21	22	676	





## MEMO

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TO: Van Buren Township Planning Commission  
FROM: Dan Power– Director of Planning and Economic Development  
RE: Sumpter Road Mixed Use Zoning District and Sumpter Road Overlay District: Work Session #1  
DATE: March 17, 2022

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Dear Planning Commissioners:

In collaboration with our Planning Consultants, I am happy to present a set of zoning ordinance amendments that will provide actionable standards for development based on the vision set forth in the 2022 Van Buren Township Sumpter Road Corridor Plan. The following revisions to the Zoning Ordinance and Map are recommended under the draft 2022 Sumpter Road Corridor Plan:

1. Develop new, form-based regulations for a **Sumpter Mixed Use District (SMU)**. The regulations should incorporate building types standards substantially similar to the precedent buildings illustrated in the Plan, and contain a Regulating Plan that assigns Lot Types in a manner substantially similar to those described in this Plan. A Table of Permitted Uses, by-right and by Special Land Use approval, will be created as part of this effort. Uses will include a mix of Residential, Office, Commercial, and light production uses. The SMU District will also include regulations pertaining to setbacks, alignment and spacing of buildings, in the same manner as the existing Mixed-Use (MU) District in the Township Zoning Ordinance.
2. Create a **Sumpter Road Overlay District (SROD)** that will encompass all parcels abutting Sumpter Road, and can apply to additional areas as needed in the future. Design standards regulated in the SROD will encompass, access management standards, guidelines for future local access streets, non-motorized transportation, architectural standards, lighting, landscaping, and fencing.

The Planning Commission is therefore requested to discuss proposed text amendments to the Van Buren Township Zoning Ordinance to consider the addition of Section 3.121 (Sumpter Road Mixed Use District) and Article 6, Chapter 4 (Supplemental Zoning District Standards – Sumpter Road Overlay District), and related amendments to the Zoning Ordinance to accommodate the addition of these districts.

In the first work session, the Planning Commission is requested to focus on the purpose of the SRMU District, permitted principal and special land uses in the district's "Anchor" and "Shallow Frontage" lots, acceptable building types for these lots, and dimensional requirements for these buildings. To assist with this effort, I have provided the following materials for reference:

- Worksheets on the following pages which provide a simplified visual guide to the content



of the Zoning Ordinance amendments the Planning Commission is requested to consider.

- The entire draft text for the proposed Section 3.121 in addition to relevant other changes to the Zoning Ordinance.

If the Planning Commission concurs with these recommendations in general, I recommend that you provide staff their feedback regarding any requested edits. Subsequently, staff will return with revisions and ask the Planning Commission to consider use, building type, and dimensional regulations for the "Deep Frontage" and "Landlocked" lot types at a later date. The tentative sequence of work sessions is as follows:

1. Work session 1: Review SRMU – "Anchor" and "Shallow Frontage" lot types;
2. Work session 2: Review SRMU – "Deep Frontage" and "Landlocked" lot types;
3. Work session 3: Review SROD District draft language;
4. Additional work sessions as needed; and
5. Public hearing to consider comprehensive zoning ordinance amendments and make recommendation to the Van Buren Township Board of Trustees.

Thank you for allowing us to contribute to this important discussion.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Power", with a stylized, cursive script.

Dan Power, AICP  
Planning and Economic Development Director  
Public Services Department  
Charter Township of Van Buren

CC: Planning Consultants Adam Cook and Vidya Krishnan, McKenna



	Building Type		Setbacks			Height	Use Types					
			Front	Side	Rear		R	O	C	I	RC	C/E/I
<b>Anchor Lots</b>	Mixed Use		See footnote 1	See Footnote 2	See footnote 3	Max. 36 ft./ 3 Stories	X	X	X	X	X	X
	Retail		See footnote 1	See Footnote 2	See footnote 3	Max. 18' / 1 story		X	X			
	Liner		See footnote 1	See Footnote 2	See footnote 3	Max. 30 ft./ 2 Stories		X	X			
	Cottage Retail		Max 54'	See Footnote 2	See footnote 3	Max 24' / 20 stories	X	X	X	X	X	X
	Workshop (Accessory)		10' min. behind principal bldg	See Footnote 2	See footnote 3	Max 18'		X		X	X	X
	Barn-Style (Rear Only)		50' min. from principal bldg	5' min.	5' min.	Max 36'		X	X	X	X	X
	Artist Cottage (Rear Only)		10' min. behind principal bldg	See Footnote 2	See footnote 3	Max 18'		X	X	X	X	X
	Artisan Studio (Rear Only)		10' min. behind principal bldg	See Footnote 2	See footnote 3	Max 18'		X	X	X	X	X
	Studio Shed / Roadside Stand (Accessory)		Same as principal bldg	5' min.	5' min.	Max 18'			X			

### Use Type Key

R: Residential. C: Commercial. O: Office. I: Industrial. RC: Recreational. C/E/I: Community / Educational / Institutional.











See page 5 for full list of permitted and special land uses in each category.

### Footnotes

1. 0' along service road, otherwise a maximum of 54'.
2. A minimum 20' separation between buildings is required.
3. 25' or height of the building, whichever is greater.





 <b>Frontage Lots (Shallow)</b>	Building Type		Setbacks			Height	Use Types					
			Front	Side	Rear		R	O	C	I	RC	C/E/I
	Mixed Use		See footnote 1	See Footnote 2	See Footnote 3	Max. 36 ft./ 3 Stories	X	X	X	X	X	X
	Retail		See footnote 1	See Footnote 2	See Footnote 3	Max. 18' / 1 story		X	X			
	Liner		See footnote 1	See Footnote 2	See Footnote 3	Max. 30 ft./ 2 Stories		X	X			
	Cottage Retail		Max 54'	See Footnote 2	See Footnote 3	Max 24' / 20 stories	X	X	X	X	X	X
	Single Family House <sup>4</sup>		30' / 18' for porch	10' 1 side / 25' 2 sides	See Footnote 3	Max 24'	X	X	X		X	X
	Duplex <sup>4</sup>		30' / 18' for porch	10' 1 side / 25' 2 sides	See Footnote 3	Max 24'	X	X	X		X	X
	Detached Garage (Accessory)		See Article 7, Chapter 2 (Accessory Structures and Uses)				X					
	Maker Space (Special Land Use)		See footnote 1	See Footnote 2	See Footnote 3	Max 18'.		X	X	X	X	X
	Accessory Dwelling Unit (Accessory)		10' behind principal	5' min.	See Footnote 3	Max 24'	X					

#### Use Type Key

R: Residential. C: Commercial. O: Office. I: Industrial. RC: Recreational. C/E/I: Community / Educational / Institutional.

See page 5 for full list of permitted and special land uses in each category.

#### Footnotes

1. 0' along service road, otherwise a maximum of 54'.
2. A minimum 20' separation between buildings is required.
3. 25' or height of the building, whichever is greater.
4. Only where there is direct access to a residential street.





<b>PERMITTED USES<sup>1</sup></b>		<b>SPECIAL LAND USES<sup>1</sup></b>
<b>RESIDENTIAL USES</b> <ul style="list-style-type: none"> <li>• Dwelling, Single-Family Residential Attached</li> <li>• Dwelling, Single-Family Residential Detached</li> <li>• Two-Family Dwelling</li> <li>• Home Occupations</li> <li>• Accessory Dwelling Unit</li> </ul> <b>OFFICE USES</b> <ul style="list-style-type: none"> <li>• Financial Institution-with drive-through in rear only</li> <li>• Office, Medical or Dental</li> <li>• Office, Professional</li> <li>• Veterinary/Animal Clinics and Hospitals (no breeding, boarding, or training)</li> </ul> <b>COMMERCIAL USES</b> <ul style="list-style-type: none"> <li>• Contractor Establishment, Indoor</li> <li>• Grocery Store</li> <li>• Health or Exercise Club or Spa</li> <li>• Mortuary Establishment</li> <li>• Printing Shops and Establishments</li> <li>• Private Clubs</li> <li>• Private Indoor Instructional Institutions</li> <li>• Public Auction Rooms</li> <li>• Restaurant, Carry-Out</li> <li>• Restaurant, Outdoor Dining</li> <li>• Restaurant, Sit-Down</li> <li>• Restaurant with walk-up window</li> <li>• Retail Sales, Indoor</li> <li>• Service Establishment, Office, Showroom, or Workshop (No Retail Required)</li> </ul>	<ul style="list-style-type: none"> <li>• Service Establishment, Office, Showroom, or Workshop (Retail Required)</li> <li>• Service Establishment, Personal Services</li> <li>• Studios</li> </ul> <b>INDUSTRIAL USES<sup>3</sup></b> <ul style="list-style-type: none"> <li>• Laboratories, Minor</li> </ul> <b>COMMUNITY, EDUCATIONAL AND INSTITUTIONAL USES</b> <ul style="list-style-type: none"> <li>• Adult Foster Care, Family Home</li> <li>• Day Care Home, Family Home</li> <li>• Places of Assembly</li> <li>• Public Buildings and Uses</li> <li>• Religious Institutions</li> <li>• School (College or University, Public or Non-Profit)</li> <li>• School (College or University, Private)</li> <li>• School (Primary or Secondary)</li> </ul> <b>RECREATION USES</b> <ul style="list-style-type: none"> <li>• Private Swimming Pools</li> <li>• Publicly-Owned Recreational Facilities</li> </ul> <b>OTHER USES</b> <ul style="list-style-type: none"> <li>• Home Occupations</li> <li>• Parking Garages</li> <li>• Accessory structures and uses customarily incidental to the above permitted uses</li> </ul>	<b>RESIDENTIAL USES</b> <ul style="list-style-type: none"> <li>• Apartments<sup>2</sup></li> </ul> <b>LODGING USES</b> <ul style="list-style-type: none"> <li>• Bed and Breakfast</li> </ul> <b>COMMERCIAL USES</b> <ul style="list-style-type: none"> <li>• Greenhouses and Nurseries</li> <li>• Brewpub with Tavern License<sup>3</sup></li> </ul> <b>INDUSTRIAL USES<sup>3</sup></b> <ul style="list-style-type: none"> <li>• Light Manufacturing other than light manufacturing uses listed in Section 2.102(131)(c)-(d)<sup>4</sup></li> <li>• Outdoor Storage of Building or Contracting Equipment and Supplies</li> <li>• Micro Brewery</li> <li>• Small Wine Maker</li> <li>• Small Distiller</li> </ul> <b>COMMUNITY, EDUCATIONAL AND INSTITUTIONAL USES</b> <ul style="list-style-type: none"> <li>• Senior Housing in building not to exceed 5,000 square feet</li> <li>• Adult Day Care Center</li> <li>• Adult Foster Care, Large Group Home</li> <li>• Adult Foster Care, Small Group Home</li> <li>• Child Care Centers</li> <li>• Day Care Home, Group</li> <li>• Hospitals and Nursing Homes</li> <li>• Public utility buildings, telephone exchange buildings, electric transformer stations and substations and gas regulator stations (excluding storage yards) when necessary to serve the immediate vicinity</li> </ul> <b>RECREATION USES</b> <ul style="list-style-type: none"> <li>• Indoor Recreation</li> <li>• Private Clubhouse</li> </ul>

1. The above list is a summary of uses permitted by right or special land use approval in the district. Refer to [Section 3.104](#) (including footnotes) for standards and requirements applicable to permitted and special land uses. In case of a conflict between the above list and the uses listed in [Section 3.104](#) (including footnotes), then [Section 3.104](#) shall prevail. Refer to [Article 2](#) for definitions of uses and refer to [Article 5](#) for development standards for specific uses. Section 3.121(F) (Sumpter Road Mixed Use District – Building Type Standards) refers to the use categories (e.g., “Residential”) in the above list.
2. Apartments in the SMU Zoning District are only permitted within building types specified in Section 3.121(F). Minimum floor area per dwelling unit (sq. ft.) in apartment units shall be the same as for apartment units in the RM zoning district as labeled in Section 4.102, Table 2.
3. Must be at least 200' from any existing single-family residential dwelling.
4. Only the following light manufacturing uses are permitted, subject to special land use approval: The assembly, fabrication, manufacture, compounding, processing, packaging, or treatment of such products as cutlery, food products, hardware, pharmaceuticals, toiletries, musical instruments, optical goods, toys, rubber stamps and other small molded rubber products, novelties, electrical instruments (e.g., electric or neon signs, appliances, computers, radios, phonographs, televisions and video recorders) and pottery, figurines, and other ceramic products using only previously pulverized clay; and the manufacture, compounding, assembling, fabrication, packaging, or treatment of products, articles, or merchandise from the following previously prepared materials: bone, canvas, cellophane, cloth, cork, feathers, felt, fiber, fiberglass, fur, glass, hair, horn, leather, paper,



plastics, precious or semi-precious metals or stone, shell, textiles, tobacco, wax, wire, wood (excluding saw and planing mills), and yarn.



**Section 3.121. SMU, Sumpter Road Mixed-Use District**

<b>(A) STATEMENT OF PURPOSE</b>
<p>The Sumpter Road Mixed-Use District is intended to encourage contextually appropriate development and redevelopment by implementing the following mixed-use policies of the 2020 Township Master Plan, Sumpter Road Corridor Plan, and South Side Master Plan:</p> <ol style="list-style-type: none"> <li><b>1. Mix of Land Compatible Land Uses.</b> Permit a range of compatible land uses within the semi-rural context of the Sumpter Road corridor, such as residential (from single-family to multi-family), public, institutional, retail, personal services, and appropriate light industrial uses.</li> <li><b>2. Accommodate All Modes of Transportation.</b> Create walkable, pedestrian-oriented development that does not conflict with motorized traffic at key nodes along the corridor. Otherwise, ensure development does not inhibit the safety and comfort of non-automobile users of the corridor.</li> <li><b>3. Building Location and Site Design.</b> Ensure that buildings have a strong relationship to the street by requiring development to be human-scale through appropriate building location and site design. Accommodate the varying size of land parcels in the District by regulating these elements relative to their location on a given parcel.</li> <li><b>4. Use of Buildings.</b> Allow compatible mixed uses to be located in a single building.</li> <li><b>5. Land Assembly for Development.</b> Because frontage land on major roads tends to have higher property values, the mixed-use standards in this Section create a strong economic incentive to combine shallower frontage land with land behind the frontage. By allowing lots to extend deeper into frontage property, typical strip development will be discouraged and a more sustainable mix of land uses will be permitted. Clustering of new residential development with open space preservation will be encouraged.</li> </ol>

<b>(B) PERMITTED USES<sup>1</sup></b>	<b>(C) SPECIAL LAND USES<sup>1</sup></b>
<p><b>RESIDENTIAL USES</b></p> <ul style="list-style-type: none"> <li>• <u>Dwelling, Single-Family Residential Attached<sup>2</sup></u></li> <li>• <u>Dwelling, Single-Family Residential Detached<sup>3</sup></u></li> <li>• <u>Two-Family Dwelling</u></li> <li>• <u>Home Occupations</u></li> <li>• <u>Accessory Dwelling Unit</u></li> </ul> <p><b>OFFICE USES</b></p> <ul style="list-style-type: none"> <li>• <u>Financial Institution-with drive-through in rear only</u></li> <li>• <u>Office, Medical or Dental</u></li> <li>• <u>Office, Professional</u></li> <li>• <u>Veterinary/Animal Clinics and Hospitals (no breeding, boarding, or training)</u></li> </ul> <p><b>COMMERCIAL USES</b></p> <ul style="list-style-type: none"> <li>• <u>Contractor Establishment, Indoor</u></li> <li>• <u>Grocery Store</u></li> <li>• <u>Health or Exercise Club or Spa</u></li> <li>• <u>Mortuary Establishment</u></li> <li>• <u>Printing Shops and Establishments</u></li> <li>• <u>Private Clubs</u></li> <li>• <u>Private Indoor Instructional Institutions</u></li> <li>• <u>Public Auction Rooms</u></li> <li>• <u>Restaurant, Carry-Out</u></li> <li>• <u>Restaurant, Outdoor Dining</u></li> <li>• <u>Restaurant, Sit-Down</u></li> <li>• <u>Restaurant with walk-up window</u></li> <li>• <u>Retail Sales, Indoor</u></li> <li>• <u>Service Establishment, Office, Showroom, or Workshop (No Retail Required)</u></li> </ul>	<p><b>RESIDENTIAL USES</b></p> <ul style="list-style-type: none"> <li>• <u>Apartments<sup>2</sup></u></li> </ul> <p><b>LODGING USES</b></p> <ul style="list-style-type: none"> <li>• <u>Bed and Breakfast</u></li> </ul> <p><b>COMMERCIAL USES</b></p> <ul style="list-style-type: none"> <li>• <u>Greenhouses and Nurseries</u></li> <li>• <u>Brewpub with Tavern License<sup>3</sup></u></li> </ul> <p><b>INDUSTRIAL USES<sup>3</sup></b></p> <ul style="list-style-type: none"> <li>• <u>Light Manufacturing other than light manufacturing uses listed in Section 2.102(131)(c)-(d)<sup>4</sup></u></li> </ul> <p><b>OUTDOOR STORAGE OF BUILDING OR CONTRACTING EQUIPMENT AND SUPPLIES</b></p> <ul style="list-style-type: none"> <li>• <u>Outdoor Storage of Building or Contracting Equipment and Supplies</u></li> </ul> <p><b>MICRO BREWERY</b></p> <ul style="list-style-type: none"> <li>• <u>Micro Brewery</u></li> </ul> <p><b>SMALL WINE MAKER</b></p> <ul style="list-style-type: none"> <li>• <u>Small Wine Maker</u></li> </ul> <p><b>SMALL DISTILLER</b></p> <ul style="list-style-type: none"> <li>• <u>Small Distiller</u></li> </ul> <p><b>COMMUNITY, EDUCATIONAL AND INSTITUTIONAL USES</b></p> <ul style="list-style-type: none"> <li>• <u>Senior Housing in building not to exceed 5,000 square feet</u></li> </ul>



### Article 3: Zoning Districts and Permitted Uses

<ul style="list-style-type: none"> <li>• <u>Service Establishment, Office, Showroom, or Workshop (Retail Required)</u></li> </ul>		<ul style="list-style-type: none"> <li>• <u>Adult Day Care Center</u></li> <li>• <u>Adult Foster Care, Large Group Home</u></li> <li>• <u>Adult Foster Care, Small Group Home</u></li> <li>• <u>Child Care Centers</u></li> <li>• <u>Day Care Home, Group</u></li> <li>• <u>Hospitals and Nursing Homes</u></li> <li>• <u>Public utility buildings, telephone exchange buildings, electric transformer stations and substations and gas regulator stations (excluding storage yards) when necessary to serve the immediate vicinity</u></li> </ul> <p><u>RECREATION USES</u></p> <ul style="list-style-type: none"> <li>• <u>Indoor Recreation</u></li> <li>• <u>Private Clubhouse</u></li> </ul>
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1. The above list is a summary of uses permitted by right or special land use approval in the district. Refer to Section 3.104(including footnotes) for standards and requirements applicable to permitted and special land uses. In case of a conflict between the above list and the uses listed in Section 3.104 (including footnotes), then Section 3.104 shall prevail. Refer to Article 2 for definitions of uses and refer to Article 5 for development standards for specific uses. Use categories in Section 3.121(F) (Sumpter Road Mixed Use District – Building Type Standards) refer to the use categories (e.g., “Residential”) as detailed in the above list.
2. Apartments in the SMU Zoning District are only permitted within building types specified in Section 3.121(F). Minimum floor area per dwelling unit (sq. ft.) in apartment units shall be the same as for apartment units in the RM zoning district as labeled in Section 4.102, Table 2.
3. Must be at least 200’ from any existing single family residential dwelling.
4. Only the following light manufacturing uses are permitted, subject to special land use approval: The assembly, fabrication, manufacture, compounding, processing, packaging, or treatment of such products as cutlery, food products, hardware, pharmaceuticals, toiletries, musical instruments, optical goods, toys, rubber stamps and other small molded rubber products, novelties, electrical instruments (e.g., electric or neon signs, appliances, computers, radios, phonographs, televisions and video recorders) and pottery, figurines, and other ceramic products using only previously pulverized clay; and the manufacture, compounding, assembling, fabrication, packaging, or treatment of products, articles, or merchandise from the following previously prepared materials: bone, canvas, cellophane, cloth, cork, feathers, felt, fiber, fiberglass, fur, glass, hair, horn, leather, paper, plastics, precious or semi-precious metals or stone, shell, textiles, tobacco, wax, wire, wood (excluding saw and planing mills), and yarn.

#### **(D) REQUIRED CONDITIONS OF THE SMU, SUMPTER ROAD MIXED USE DISTRICT**

1. Drive-through and drive-in restaurants are prohibited.
2. Bars or standalone taverns which are not affiliated with a restaurant or brewpub are prohibited in the SMU.
3. Any form of automotive manufacturing, heavy manufacturing and processing, and the following forms of light manufacturing are prohibited within this District: Tool and die shops, metal working machine shops involving the use of grinding or cutting tools, manufacturing shops for tools, dies, jigs, and fixtures, the manufacture, compounding, assembling, fabrication, packaging or treatment of products, articles or merchandise from sheet metal, and the manufacture or assembly of light sheet metal products including heating and



### **Article 3: Zoning Districts and Permitted Uses**

ventilating equipment, cornices, eaves and gutters; and publishing, printing, forming of boxes and cartons and manufacturing of cardboard products.

•



### Article 3: Zoning Districts and Permitted Uses

<u>Street Type Name</u>	<u>Street Easement or Right-of-Way Width</u>	<u>Street Pavement Width</u>	<u>Location</u>	<u>On-Street Parking</u>	<u>Minimum Required Driveway Spacing</u>
<u>Service Road</u>	<u>40 ft.</u>	<u>32 ft.</u>	<u>Immediately east of and parallel to Sumpter Road, north of Hull Road. Intended for one-way, northbound traffic.</u>	<u>Yes – Diagonal, one side</u>	<u>See Article 9</u>
<u>Local Street Extended</u>	<u>66 ft.</u>	<u>30 ft.</u>	<u>West of and parallel to Sumpter Road. Must be a linear extension of an existing classified Local street (see 2020 Master Plan, Map 5).</u>	<u>Yes – Variable configuration</u>	<u>See Article 9</u>
<u>Railroad Street</u>	<u>66 ft.</u>	<u>36 ft.</u>	<u>South of and generally parallel to the Norfolk Southern railroad right-of-way.</u>	<u>Yes – Variable configuration</u>	<u>See Article 9</u>
<u>Local Arterial</u>	<u>Variable</u>	<u>Variable</u>	<u>Hull Road and Sumpter Road</u>	<u>Variable</u>	<u>See Article 9</u>

<sup>1</sup>– Must meet the design criteria of Section 9.106(F) of the Zoning Ordinance.

<b>(E) ALLOWABLE MIXED-USE LOT TYPES<sup>1</sup></b>
<p>All existing or new platted lots within the Sumpter Road Mixed-Use District shall be classified as one of the following subareas, illustrated on the Regulating Plan (Figure x.xxx):</p> <ul style="list-style-type: none"> <li>(1) <b><u>Anchor Lots (A).</u></b></li> <li>(2) <b><u>Landlocked Lots (LL).</u></b></li> <li>(3) <b><u>Frontage Lots (Deep) (FL-D)</u></b></li> <li>(4) <b><u>Frontage Lots (Shallow) (FL-S)</u></b></li> </ul>

<sup>1</sup> Definitions and characteristics of the identified lot types are included in the 2022 Van Buren Township Sumpter Road Corridor Plan and illustrated in the Regulating Plan in 3.121(H) of this Ordinance. Individual properties' lot type classifications may be altered by conditions such as parcel divisions or combinations or the creation of new access to lots which change their classification. Such conditions shall be reviewed as needed by the Township Planning and Economic Development Director at the time of an application for development or redevelopment..



### Article 3: Zoning Districts and Permitted Uses

<u>Building Type Name</u>	<u>Front Setback</u>	<u>Side Setback</u>	<u>Rear Setback</u>	<u>Height</u>	<u>Allowable Lot Types – Front Locations</u>	<u>Allowable Lot Types – Rear Locations</u>
<u>Mixed Use</u>	0 ft. along <u>Service Road</u> Max. 54 ft. otherwise	See Footnote 1.	Min. 25 ft. or height of building, whichever is greater	Max. 36 ft./ 3 Stories	A FL-S	
<u>Retail</u>	0 ft. along <u>Service Road</u> Max. 54 ft. otherwise	See Footnote 1.	Min. 25 ft. or height of building, whichever is greater	Max. 18 ft./1 story	A FL-S	
<u>Accessory Dwelling Unit</u>	Must be located at rear of principal residential unit; min. 10 ft. separation	5 ft.	Min. 25 ft. or height of building, whichever is greater	Max. 24 ft.		FL-D (Accessory) FL-S
<u>Liner</u>	0 ft. along <u>Service Road</u> Max. 54 ft. otherwise	See Footnote 1.	Min. 25 ft. or height of building, whichever is greater	Max. 30 ft./ 2 Stories	A FL-S	
<u>Cottage Retail</u>	Max. 54 ft.	See Footnote 1.	Min. 25 ft. or height of building, whichever is greater	Max.: 24 ft./ 2 Stories	A FL-D FL-S LL	
<u>Barn-Style</u>	Must be located at rear of principal residential unit; min. 50 ft. separation	5 ft.	Min 5 ft.	Max. 36 ft.	LL (Accessory)	A (Accessory) FL-D (Accessory)
<u>Duplex</u>	Min. 30 ft. Porches may encroach up to 12 ft. into setback	Min. 10 ft. one side / 25' two sides.	Min. 25 ft. or height of building, whichever is greater	Max. 24 ft.	FL-D FL-S <sup>2</sup>	
<u>Single-Family House</u>	Min 30 ft.; Porches may encroach up to 12 ft. into setback	Min. 10 ft. one side / 25' two sides.	Min. 25 ft. or height of building, whichever is greater	Max. 24 ft.	FL-D FL-S <sup>2</sup> LL	
<u>Detached Garage</u>	See Article 7, Chapter 2 (Accessory Structures and Uses)				FL-D (Accessory) FL-S (Accessory) LL (Accessory)	
<u>Workshop</u>	If located at rear of principal building: min. 10 ft. separation, Max. 54' otherwise	See Footnote 1.	Min. 25 ft. or height of building, whichever is greater	Max. 18 ft.	LL (Special Land Use)	A (Accessory) FL-D (Special Land Use)
<u>Artisan Studio</u>	If located at rear of principal residential unit: min. 10 ft. separation, max. 54' otherwise	See Footnote 1.	Min. 25 ft. or height of building, whichever is greater	Max. 18 ft.		A FL-D



### Article 3: Zoning Districts and Permitted Uses

<u>Artist Cottage</u>	<u>If located at rear of principal residential unit: min. 10 ft. separation, max. 54' otherwise</u>	<u>See Footnote 1.</u>	<u>Min. 25 ft. or height of building, whichever is greater</u>	<u>Max. 18 ft.</u>	<u>LL</u>	<u>A FL-D</u>
<u>Maker Space</u>	<u>0 ft. along Service Road, Max. 54' otherwise</u>	<u>See Footnote 1.</u>	<u>Min. 25 ft. or height of building, whichever is greater</u>	<u>Max. 18 ft.</u>	<u>FL-S (Special Land Use) LL</u>	
<u>Studio Shed / Roadside Stand</u>	<u>No closer to front lot line than principal building</u>	<u>Min. 5 ft.</u>	<u>Min. 5 ft.</u>	<u>Max. 18 ft.</u>	<u>A (Accessory) FL-D (Special Land Use) LL (Special Land Use)</u>	<u>A (Accessory)</u>

<sup>1</sup>A minimum 20' separation between buildings is required. The side yard setback may be less than 20' so long as unobstructed access around all sides of each building is provided via a 20' wide cross access and shared driveway agreement which provides for 20' access around all sides of each building (see figure below).



<sup>2</sup>Only permitted in this lot type where there is direct access to a residential street.

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- (F) **BUILDING TYPE STANDARDS.** A range of Building Types permitted in the Sumpter Road Mixed-Use District are described and illustrated in this section. Each Building Type contains a mix of allowable uses by floor, with retail always at the ground floor level of non-residential buildings. Building frontage orientation is coordinated with street frontages in the Building Type illustrations. Such orientation of building fronts and frontages must be followed with the use of each Building Type, though architectural variation that achieves these objectives is permitted.

**(1) BUILDING TYPE STANDARDS: MIXED USE BUILDING**

**Description.** The Mixed Use Building Type is a multi-story Building Type with storefronts along all primary frontage lines. This Building Type is ideal for smaller-floorplate retail spaces that can flexibly accommodate the surrounding local trade area.

**Permitted Uses and Special Land Use.** Ground floor permitted uses are restricted to non-residential uses listed in Section 3.121(B) and (C), while the upper floors may have any use permitted in the District, subject to Section 3.121(B) and (C)

**Parking.** Parking in front of buildings shall be limited to a maximum of one single tier of parking and one maneuvering lane, set behind a greenbelt as required under Article 10 (Landscaping and Screening).



**(2) BUILDING TYPE STANDARDS: RETAIL BUILDING**

**Description.** The Retail Building Type is a single-story, limited-use building with storefronts along all primary frontage lines. This Building Type is ideally configured for downtowns and in retail segments of downtown shopping streets, though they may also be used for single-use, suburban areas.

**Permitted Uses and Special Land Uses.** Commercial and Office uses listed in Section 3.121 (B) and (C) only.

**Parking.** Parking in front of buildings shall be limited to a maximum of one single tier of parking and one maneuvering lane, set behind a greenbelt as required under Article 10 (Landscaping and Screening).





### (3) BUILDING TYPE STANDARDS: ACCESSORY DWELLING UNIT

**Description.** An Accessory Dwelling Unit exists as accessory to a Primary Dwelling Unit and must be located behind the corresponding Primary Dwelling Unit. Accessory Dwelling Units allow for site flexibility and increased density without changing site character. The Accessory Dwelling Unit minimum floor area is 500 sq. ft. for an efficiency unit, 700 sq. ft. for a one bedroom unit, 900 sq. ft. for a two-bedroom unit and 1,100 sq. ft. for a unit with three or more bedrooms..

**Permitted Uses and Special Land Uses.** Residential uses only.



### (4) BUILDING TYPE STANDARDS: LINER BUILDING

**Description.** The Liner Building Type is a Mixed Use or Retail Building Type that has been limited in depth to conceal parking behind. This Building Type is ideal for mid-block conditions, and adjacent to – or located toward the edge of – existing strip-type shopping centers.

**Permitted Uses and Special Land Use.** Commercial and Office uses listed in Section 3.121 (B) and (C) only.

**Parking.** Parking in front of buildings shall be limited to a maximum of one single tier of parking and one maneuvering lane, set behind a greenbelt as required under Article 10 (Landscaping and Screening).



### (5) BUILDING TYPE STANDARDS: COTTAGE RETAIL BUILDING

**Description.** The Cottage Retail Building Type is a mixed-use building type with a residential building form that permits storefronts along all primary frontage lines and extends down the sides of the secondary frontage line. This building type emulates a building form that has evolved in older neighborhoods adjacent to planned retail centers. It is a modestly-scaled building, including a gable and a pitched roof, usually with a storefront at the ground floor. Roofs must have a minimum slope of 4:12. Storefronts shall be located along all primary frontage lines and extend from a primary frontage a minimum of twelve (12) feet into any secondary frontage.



**Permitted Uses and Special Land Use.** Non-residential uses may only be permitted in the front of the building on the ground floor. Other areas of the building, including upper stories, are limited to Residential uses, in accordance with the uses listed in Section 3.121(B) and (C).

**Parking.** Parking in front of buildings shall be limited to a maximum of one single tier of parking and one maneuvering lane, set behind a greenbelt as required under Article 10 (Landscaping and Screening).



#### (6) BUILDING TYPE STANDARDS: BARN-STYLE

**Description.** The Barn-style Building Type is an agricultural building type accessory to a Principal Building. The barn Building Type satisfies the functionality of a mix of building types and uses on a site without compromising the rural or residential character of the site. The design of the Barn Building Type includes a gambrel, gable, or shed roof profiles and all wood construction on a masonry foundation. Allowable Colors: Red, Brown, White. Allowable roof materials: Standing seam, natural finish.

**Permitted Uses and Special Land Use.** Non-residential uses as regulated under Section 3.121(B) and (C).

#### Design.



#### (7) BUILDING TYPE STANDARDS: DUPLEX BUILDING

**Description.** The Duplex Building Type is any independent building configuration consisting of exactly two residential units, usually surrounded by a private or common yard, meeting minimum room quantity and size requirements as dictated by the local building code, zoning, or both.

The units can be side-by-side (similar to rowhouses) or stacked one above the other. Similar to single-family residential buildings, duplex buildings include front porches that encroach into the established building setback and optional detached garages. A front porch of at least twelve (12) feet wide and seven (7) feet deep is required for new buildings. The minimum floor area in each duplex dwelling unit is 1,000 square feet. The duplex building type may contain certain non-residential uses but may not contain industrial uses.

**Permitted Uses and Special Land Use.** All non-industrial uses.



**(8) BUILDING TYPE STANDARDS: SINGLE-FAMILY HOUSE**

**Description.** A Single-Family House Building Type exists as the Primary Dwelling Unit on its corresponding site and must be located forward of all other buildings on its site by a distance of minimum 10 feet. Minimum floor area is 1,250 sq. ft. The Single-Family Home Building Type preserves the existing residential character along Sumpter Road, while allowing for a mix of Building types and uses behind. New buildings should generally fit the style of Mid-Century American residential construction, such as Ranch, Prairie, Cape Cod, or Modern. Decks and patios must be to the side or rear of structures on new buildings. The single-family house building type may contain certain non-residential uses but may not contain industrial uses.

**Permitted Uses and Special Land Use.** All non-industrial uses.

**(9) BUILDING TYPE STANDARDS: DETACHED GARAGE**

**Description.** The Detached Garage Building Type is accessory to a Primary Dwelling Unit. The Detached Garage allows for vehicular storage and accessory utility activities on a site. The detached garage will adhere to the same size, height, roof pitch, architectural, and setback standards as used for detached accessory buildings in residential zoning districts under Article 7, Chapter 2 (Accessory Structures and Uses).

**Permitted Uses and Special Land Use.** Vehicular Parking and residential storage.



**(10) BUILDING TYPE STANDARDS: WORKSHOP**

**Description.** The Workshop Building Type is a utility building type. The design of the Workshop Building Type includes a one-story building which must consist of wood, brick, Portland Cement stucco, rock-face block or stone construction. Maximum building footprint is 5,000 sq. ft. and maximum building height is 18'.

**Permitted Uses and Special Land Use.** Uses other than Residential and Commercial Uses as listed in and subject to the regulations of Section 3.121(B) and (C).





**(11) BUILDING TYPE STANDARDS: ARTISAN STUDIO**

**Description.** The Artisan Studio is a flexible building type that accommodates entrepreneurial activities including culinary, winemaking, craft fabrication, and other light-footprint industries.. The design of the Artisan Studio Building Type includes a one-story building and must consist of wood, brick, Portland Cement stucco, rock-face block, or stone construction.

**Permitted Uses and Special Land Use.** Uses other than Residential Uses as listed in and subject to the regulations of Section 3.121(B) and (C).



**(12) BUILDING TYPE STANDARDS: ARTIST COTTAGE**

**Description.** The The Artist Cottage is a small-floorplate building, resembling a residential cottage. It is intended to provide space for production of small goods that do not require electrical, mechanical, or plumbing equipment or fixtures of a grade atypical for residential use..

**Permitted Uses and Special Land Use.** Uses other than Residential Uses as listed in and subject to the regulations of Section 3.121(B) and (C).



**(13) BUILDING TYPE STANDARDS: MAKER SPACE**

**Description.** The Maker Space is a building that combines a public-facing retail shopfront with an adjacent light manufacturing space. It may contain direct vehicular access to the interior via a garage bay..



## Article 3: Zoning Districts and Permitted Uses

**Permitted Uses and Special Land Use.** Uses other than Residential Uses as listed in and subject to the regulations of Section 3.121(B) and (C).

**Parking.** Parking in front of buildings shall be limited to a maximum of one single tier of parking and one maneuvering lane, set behind a greenbelt as required under Article 10 (Landscaping and Screening)



### **(14) BUILDING TYPE STANDARDS: STUDIO SHED / ROADSIDE STAND**

**Description.** The The Studio Shed/Roadside Stand is intended for the sale and production of goods on a seasonal or intermittent basis. These structures are permanent or semi-permanent, and are easily adaptable for other uses. They are “drive up” in nature, rather than “drive through”- the former does not require large expanses of pavement for queuing, nor are orders taken via intercom systems.

**Permitted Uses and Special Land Use.** Accessory to commercial uses listed in and subject to the regulations of Section 3.121(B) and (C).





## (G) REGULATING PLAN

A Regulating Plan designates the locations where different Building Type standards apply, based on the physical character of the area.



### Sumpter Road Lot Types

Van Buren Township, Wayne County, MI

February 4, 2022 - DRAFT

#### Legend

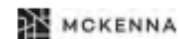
- Anchor Lots
- Landlocked Lots
- Primary Lots (Deep)
- Primary Lots (Shallow)

- Parcel Boundaries
- Municipal Boundaries



0 300 600  
Feet

Base Map Source: Michigan Center for Geographic Information, v. 2.0  
Data Source: Van Buren Township, 2021, Reference 2021





## **Additional Related Changes**

### **Additions to Section 2.102**

ACCESSORY DWELLING UNIT. A secondary house or apartment used for residential purposes that shares the building lot of a larger, primary home which is detached from the larger, primary home.

APARTMENT OR APARTMENT UNIT: A renter-occupied room or suite of rooms arranged and intended as a place of residence for a single family living together as a single housekeeping unit that is contained within a building which is not a single-family dwelling, such as a mixed use building, cottage retail building, apartment house, or multiple-family high rise dwelling.

BREW PUB WITH TAVERN LICENSE: An establishment associated with a license issued by the State of Michigan in conjunction with a tavern license that authorizes the person licensed with the tavern to manufacture and brew not more than 18,000 barrels of beer per calendar year in this state and sell at its licensed premises the beer produced for consumption on or off the licensed brewery premises in the manner provided for in sections 405, 407, and 537.

MANUFACTURING AND PROCESSING (LIGHT): Includes the following uses and any other similar uses conducted entirely within a completely enclosed building:

- a. The assembly, fabrication, manufacture, compounding, processing, packaging, or treatment of such products as cutlery, food products, hardware, pharmaceuticals, toiletries, musical instruments, optical goods, toys, rubber stamps and other small molded rubber products, novelties, electrical instruments (e.g., electric or neon signs, appliances, computers, radios, phonographs, televisions and video recorders) and pottery, figurines, and other ceramic products using only previously pulverized clay;
- b. The manufacture, compounding, assembling, fabrication, packaging, or treatment of products, articles, or merchandise from the following previously prepared materials: bone, canvas, cellophane, cloth, cork, feathers, felt, fiber, fiberglass, fur, glass, hair, horn, leather, paper, plastics, precious or semi-precious metals or stone, shell, textiles, tobacco, wax, wire, wood (excluding saw and planing mills), and yarn;
- c. Tool and die shops, metal working machine shops involving the use of grinding or cutting tools, manufacturing shops for tools, dies, jigs, and fixtures, the manufacture, compounding, assembling, fabrication, packaging or treatment of products, articles or merchandise from sheet metal (excluding large stamping such as automobile fenders and bodies), and the manufacture or assembly of light sheet metal products including heating and ventilating equipment, cornices, eaves and gutters; and
- d. Publishing, printing, forming of boxes and cartons and manufacturing of cardboard products.

MICRO BREWERY: A manufacturer of beer which manufactures 60,000 or fewer barrels of beer a year. Can sell beer to Wholesaler licensees to sell to retailers. May also sell beer to consumers under an On-Premises Tasting Room Permit at the location where it manufactures beer. May also self-distribute beer it manufactures to retailers if it sells fewer than 2,000 barrels of beer a year. No local legislative approval required for licensure, if manufacturing only; On-Premises Tasting Room Permit requires local legislative approval.



RESTAURANT, CARRY-OUT: An establishment where food is prepared and served to a customer solely for the consumption off the premises and where food and nonalcoholic beverages comprise greater than 50% of revenues.

RESTAURANT, DRIVE-IN OR DRIVE-THRU: An establishment where food is prepared and served on the premises for the consumption within automobiles or an establishment with combined drive-in and sit-down facilities and where food and nonalcoholic beverages comprise greater than 50% of revenues.

RESTAURANT, SIT-DOWN: An establishment where food is prepared and served for consumption within the principal building, with or without carry-out facilities, including delicatessens, bakeries, and coffee shops and where food and nonalcoholic beverages comprise greater than 50% of revenues.

SERVICE ROAD. Low-speed, one-way roadways adjacent and parallel to a major roadway which provide direct access to properties fronting on the major roadway.

SMALL DISTILLER: A manufacturer of spirit products that contain more than 10% alcohol by volume which manufactures 60,000 or fewer gallons of spirits a year. Can sell spirits it manufactures to the Commission to sell through Authorized Distribution Agents to retailers. May self-distribute spirits it manufactures to retailers if it sells less than 3,000 gallons of spirits a calendar year to retailers. May sell spirits it manufactures to customers under an On-Premises Tasting Room Permit at the location where it manufactures it and also through an Off-Premises Tasting Room license or Joint Off-Premises Tasting Room license. No local legislative approval required for licensure, if manufacturing only; On-Premises Tasting Room Permit requires local legislative approval.

SMALL WINE MAKER: A manufacturer of wine which manufactures 50,000 or fewer gallons of wine a year. Can sell wine to Wholesaler licensees to sell to retailers. May also sell wine to consumers under an On-Premises Tasting Room Permit at the location where it manufactures it and also through an Off-Premises Tasting Room license or Joint Off-Premises Tasting Room license May self-distribute wine it manufactures to retailers. May hold a Farmer's Market Permit that allows the sale and sampling of its wine at a farmer's market. No local legislative approval required for licensure, if manufacturing only; On-Premises Tasting Room Permit requires local legislative approval.

TAVERN: Any place licensed to sell at retail "beer", "wine", or "mixed spirit drinks", but not "sprints", as defined by the MLCC, for consumption on the premises only.

#### **Revision to Section 3.119**

- **Change all references from Mixed Use District or Mixed-Use District to Belleville Road Mixed-Use District.**

#### **Additions to Section 4.102.**

- **(Add row explaining as follows): Belleville Road Mixed Use District – See Section 3.119 for District-Specific Regulations**
- **(Add row explaining as follows): Sumpter Road Mixed Use District – See Section 3.121 for District-Specific Regulations**



**Article 6, Chapter 3 (Supplemental District Standards: Sumpter Road Overlay District)**

- **To be reviewed at a later date.**



**PLANNING COMMISSION RESOLUTION 2022-02**

**TO RECOMMEND APPROVAL OF A REVISED MEETING TIME**

At a meeting of the Van Buren Charter Township Planning Commission, Wayne County, Michigan, held at the Van Buren Township Hall on March 23, 2022, at 7:30 p.m.

The following Resolution was made by \_\_\_\_\_ and seconded by \_\_\_\_\_.

WHEREAS, the Charter Township of Van Buren Planning Commission shall hold at least four regular meetings each year, and shall by resolution determine the time and place of the meetings according to Section 2-88 of the Van Buren Charter Township Code of Ordinances; and

WHEREAS, the Planning Commission and staff recognize the need to hold meetings with start times that accommodate the availability of the public, Planning Commissioners, and Township officials; and

WHEREAS, the Planning Commission has an opportunity to review its meeting format in light of recent changes in the composition of the Planning Commission and in response to again hosting in person meetings following temporary changes in meeting format under State law during 2020 and 2021;

**NOW, THEREFORE BE IT RESOLVED** that the Van Buren Charter Township Planning Commission adopts an adjusted start time for regular meetings of \_\_\_\_\_ on the second and fourth Wednesday of each month, subject to approval by the Van Buren Charter Township Board of Trustees.

ADOPTED:

YEAS: \_\_\_\_\_



NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

I, \_\_\_\_\_, \_\_\_\_\_, of the Charter Township of Van Buren Planning Commission, do hereby certify that the foregoing resolution is a true and correct copy of a resolution adopted by the Charter Township of Van Buren Planning Commission at a regular meeting held on \_\_\_\_\_, 2022.

\_\_\_\_\_



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**Sec. 2-88. Bylaws, meetings and records.**

The planning commission shall adopt bylaws for the transaction of business.

The planning commission shall hold at least four regular meetings each year, and shall by resolution determine the time and place of the meetings.

Unless otherwise provided in the planning commission's bylaws, a special meeting of the planning commission may be called by the chairperson or by two other members, upon written request to the secretary. Unless the bylaws otherwise provide, the secretary shall send written notice of a special meeting to planning commission members at least 48 hours before the meeting.

The business that the planning commission may perform shall be conducted at a public meeting held in compliance with the Open Meetings Act, Public Act 267 of 1976, MCL 15.261, et seq.

The planning commission shall keep a public record of its resolutions, transactions, findings, and determinations. A writing prepared, owned, used, in the possession of, or retained by a planning commission in the performance of an official function shall be made available to the public in compliance with the Freedom of Information Act, Public Act 442 of 1976, MCL 15.231, et seq.

(Ord. No. 06-07-11, § 8, eff. 6-30-11)