

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, July 13th, 2022 – 5:30 PM
Van Buren Township Hall
46425 Tyler Road**

Per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022, the following Zoom link is provided to enable remote participation in a meeting of the public body by the general public:

When: Jul 13, 2022 05:30 PM Eastern Time (US and Canada)
Topic: 7/13/2022 Van Buren Township Planning Commission Meeting

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/87415242798>

Or One tap mobile : US: +16469313860,,87415242798# or +19294362866,,87415242798#

Or Telephone: Dial(for higher quality, dial a number based on your current location):

US: +1 646 931 3860 or +1 929 436 2866 or +1 301 715 8592 or +1 312 626 6799 or +1 669 444 9171 or +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799

Webinar ID: 874 1524 2798

See the Van Buren Charter Township website for additional information regarding how to participate in a Zoom public meeting.

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES: Approval of minutes from the regular meeting of June 22nd, 2022.

CORRESPONDENCE:

PUBLIC HEARING:

ITEM # 1 GASOLINE FILLING AND GASOLINE SERVICE STATION ZONING ORDINANCE TEXT AMENDMENT

TITLE: Proposed amendments to Article 3 (Zoning Districts and Permitted Uses) regarding the categorization of gasoline filling service stations.

ACTION ITEMS:

- A. Planning Commission opens public hearing.
- B. Public comment.
- C. Planning Commission closes public hearing.

ITEM # 2 CASE 22-006: MEIJER, INC – PHARMACY DRIVE-THRU AND GASOLINE STATION RENOVATIONS – SPECIAL LAND USE

TITLE: Applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. requests to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store's pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements. The property is zoned C-2 - Extensive Highway Business District.

LOCATION: 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road.

ACTION ITEMS:

- A. Planning Commission opens public hearing.
- B. Public comment.
- C. Planning Commission closes public hearing.

OLD BUSINESS:

NEW BUSINESS:

ITEM # 1 CASE 22-006: MEIJER, INC – PHARMACY DRIVE-THRU AND GASOLINE STATION RENOVATIONS – SPECIAL LAND USE

TITLE: Applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. requests to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store's pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements. The property is zoned C-2 - Extensive Highway Business District.

LOCATION: 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road.

ACTION ITEMS:

- A. Presentation from Township Staff
- B. Presentation from the applicant
- C. Planning Commission discussion
- D. Public comment
- E. Planning Commission considers recommendation on special land use approval to Township Board of Trustees

ITEM # 2 CASE 22-006: MEIJER, INC – PHARMACY DRIVE-THRU AND GASOLINE STATION RENOVATIONS – PRELIMINARY SITE PLAN

TITLE: Applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. requests to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store's pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements. The property is zoned C-2 - Extensive Highway Business District.

LOCATION: 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road.

- ACTION ITEMS:
- A. Presentation from Township Staff
 - B. Presentation from the applicant
 - C. Planning Commission discussion
 - D. Public comment
 - E. Planning Commission considers preliminary site plan approval

ITEM # 3 CASE 22-008 – VAN BUREN CHARTER TOWNSHIP COMMUNITY CENTER RENOVATION AND ADDITION – FINAL SITE PLAN

TITLE: The Applicant, Stephen J. Gedert, On behalf of Owner Van Buren Charter Township, has applied for roughly 13,446 square feet of renovations and a 16,411 Square Foot Gymnasium addition adjacent to the existing municipal building, renovations to the existing building, and the construction of associated pavements and utilities.

LOCATION: 46425 Tyler Road (PARCEL ID NUMBER 83 061 99 0006 000). the site is located east of Quirk Road and south of Tyler Road.

- ACTION ITEMS:
- A. Presentation from Township Staff
 - F. Presentation from the applicant
 - G. Planning Commission discussion
 - H. Public comment
 - I. Planning Commission considers approval of the final site plan

ITEM # 4 GASOLINE FILLING AND GASOLINE SERVICE STATION ZONING ORDINANCE TEXT AMENDMENT

TITLE: Proposed amendments to Article 3 (Zoning Districts and Permitted Uses) regarding the categorization of gasoline filling service stations.

- ACTION ITEMS:
- A. Presentation from Staff
 - B. Planning Commission discussion
 - C. Public Comment
 - D. Planning Commission recommendation to Township Board for consideration of adoption of zoning ordinance amendments.

GENERAL DISCUSSION AND UPDATES

ADJOURNMENT:

CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
June 22, 2022
MINUTES - DRAFT

Chairperson Kelley called the meeting to order at 5:30 p.m.

ROLL CALL:

Present: Cullin, Atchinson, Budd, Jahr and Kelley.

Excused: Barr.

Staff: Director Power and Secretary Harman.

Planning Representatives: McKenna Associates, Vidya Krishnan and Adam Cook (remote).

Applicant(s) in Attendance: None.

Audience: Two (2) and One (1) remote viewer.

APPROVAL OF AGENDA:

Motion Jahr, Cullin second to approve the agenda of June 22, 2022 as presented. **Motion Carried.**

APPROVAL OF MINUTES:

Motion Jahr, Cullin second to approve the regular meeting minutes of June 8, 2022 as presented.

Motion Carried.

NEW BUSINESS:

ITEM #1: DISCUSSION: SUMPTER ROAD CORRIDOR PLAN

THE CHARTER TOWNSHIP OF VAN BUREN HAS COMPLETED A DRAFT AMENDMENT TO ITS 2020 MASTER PLAN TO ADDRESS A SUB AREA LOCATED ALONG AND NEAR SUMPTER ROAD BETWEEN BEMIS ROAD AND INDUSTRIAL PARK DRIVE. THE PLAN INCLUDES AN AMENDMENT TO THE TOWNSHIP'S FUTURE LAND USE MAP TO CHANGE THE FUTURE LAND USE DESIGNATION TO THE SUMPTER ROAD MIXED USE DISTRICT.

Director Power gave the presentation. The full draft of the plan has been in circulation among the Township's neighboring communities and service providers for great than the 42 days required by Michigan PA 33 of 2008, or the Michigan Planning and Enabling Act (MPEA). Director Power provided brief update on the changes that have been made to the plan based on the feedback received, including the following:

- Minor formatting changes, removing a photograph of a business that no longer exists. There was also a reference to Fire Station 2, which was changed to Fire Station 1.
- On the south end of the Corridor near Sumpter and Bemis Roads there are 3 parcels, one (1) on the northeast corner and two (2) on the northwest corner. The property owner of the two (2) northwest parcels is not interested in mixed use and would like them to remain residential. The parcels are being reverted back to rural residential.
- Landlocked lots have been renamed Rear lots as there may be a road or access drive provided to these lots in the future.
- There are new color renderings of Anchor lots, Shallow Frontage lots, Deep Frontage lots and Rear lots.

- The dashed lines on the mobility plan are for where it is perceived that potential future roads may be.
- Rural Residential has been removed as a lot type.
- There is a distinction on the Deep Frontage Lots, a split on the building types. The front and rear designation is based on the relation to the road. The front building types are still what would be seen on lots along Sumpter Road, not on a rear lot.

Director Power displayed the Sumpter Road Corridor Plan and identified the changes that were discussed.

Commissioner commented that the plan looks really good and a lot of hard work has been put into it. No comments from the audience or remote viewers.

ITEM #2: DISCUSSION: SUMPTER ROAD MIXED USE ZONING DISTRICT (SRMU) AND SUMPTER ROAD OVERLAY DISTRICT.

DISCUSSION OF THE PROPOSED TEXT AMENDMENTS TO THE VAN BUREN TOWNSHIP ZONING ORDINANCE TO CONSIDER THE ADDITION OF SECTION 3.121 (SUMPTER ROAD MIXED USE DISTRICT) AND ARTICLE 6, CHAPTER 4 (SUPPLEMENTAL ZONING DISTRICT STANDARDS – SUMPTER ROAD OVERLAY DISTRICT) AND RELATED AMENDMENTS.

Director Power provided revised sets of the Zoning Ordinance Amendment to the Commission and provided a summary of the changes made. The changes are noted in call out boxes on the amendment and include the following:

- Definitions have been included for cottage or artisanal manufacturing, light manufacturing, accessory dwelling unit, brew pub, micro-brewery, small distillery, service road.
- In the Table of Permitted Uses, gasoline service stations will be changed to a special land use.
- The footnotes for section 3.105 (I)(5), commercial, educational and institutional uses are subject to the C, C-1 and C-2 greenbelt requirements. The reference defines the edge/buffer requirements for two different districts.
- Section 3.121 (C) commercial uses under the special land use category. The footnotes should link to 3 and 5, not 2 and 5. Footnote 3, puts limits on the proximity of commercial uses near residential dwellings. Within 100 feet of an existing dwelling. Footnote 5, is the greenbelt buffer requirement.

Director Power opened the meeting to discussion, noting on footnote 3 that there are terms that put limits on Commercial uses in relation to residential uses. The west side of Sumpter road is planned for the lowest intensity. There are limits on items like outdoor dining and only certain commercial uses allowed on those parcels. Initially within 100 feet of a residential building, would be subject to C district restrictions unless the Planning Commission finds that a modification is justified. It is rare to regulate based on proximity to a structure rather than a lot line. The intent was to make the requirement based on existing structures, as existing homes

site may be treated a little more sensitively. There is flexibility built in, however he would like to protect the existing residential dwellings. Director Power asked the Commission to discuss further.

- Vidya Krishnan of McKenna Associates informed that there are other portions in the zoning ordinance where when there is an existing legal non-conforming residential use, the setback is from the district boundary rather than from the use. However those provisions of the ordinance also have protection for residential dwellings in terms of greenbelts, screening and design elements.
- Commissioner inquired if we are looking at modifying that from an existing dwellings to the residential zoning, would that be more consistent with the remainder of the ordinance. Vidya Krishnan of McKenna Associates confirmed yes and informed that the setbacks can be based consistent with what is required on all other residential zoning in the township. Commissioner would like to see it consistent across the board.
- Commissioner agreed that consistency is important. Inquired whether the boundary is measured from the walls of the building or the property line, it's not necessarily a choice between 100 feet from the building or 100 feet from the property line, we would need to come up with a new number? Director Power, informed that if you build a new building, it has to be 100 feet from the residential zoning district, not existing residential structure in order to be exempt from certain restrictions. Commissioner thinks for the bulk of the document, it's better to have the distance be measured from the property line as the property line is less likely to change, where a building or structure may shift.
- Director Power informed that in subsection F, there are going to be frontage lots and rear lots, not primary lots and secondary lots. Commissioners agreed to the change.
- Subsection H, there is a matter of interpretation with the building types. The ordinance as written is very prescriptive, not a lot of question as to what the buildings are. There is a clause in the end that the Planning Director's interpretation of a building type may be appealed via a written request for an appeal for architectural interpretation to the Township's Planning Commission. If we are opening up to property owners, would you want all the owners within 300 feet able to appeal? Vidya Krishnan of McKenna Associates, commented that is a good idea to have an appeal process. In this case not talking about the impact of use, rather the architectural style. Reasonable to allow for the appeal, but only the applicant or other property owners who share a common property line. Commissioner does not feel it's necessary to be a full appeal, may be change to a review. Mrs. Krishnan suggested changing the language to the Planning Director's determination of building style may be brought before the planning commission for clarification and final determination. Mrs. Krishnan and Director Power will look into the language further, need to add clarification for neighboring property owners with line of sight impact. Commissioner commented that if we are allowing the ability for a clarification period may want to add a timeframe.
- Subsection I, the Regulation Plan, Director Power will make sure the image is the same as what is in the plan documents.
- In the Sumpter Overlay District, subsection C, 3(c) Windows, the second sentence that nonresidential buildings shall have 50% glass is to be stricken. Where used at the ground floor, glass shall be non-reflective and transparent.
- Vidya Krishnan of McKenna Associates recommend removing the underlining under of all the text in the ordinance to make it easier to read.

- Resident had trouble hearing part of the discussion regarding dwellings and commercial buildings proximity. Vidya Krishnan explained the language is committed to the same standards as elsewhere in the ordinance. Director Power informed that it would expand the buffer by being based off of the property line versus the dwelling and would now have to be 100 feet from the property line. There is some language that the Planning Commission has in order to allow for flexibility, but the basic standard is based on the property line.

Director Power explained that the next step is to schedule the public hearing, the earliest date would be July 27th. Director Power will make sure everything is up to date on the website and that notice is given to the residents of the public hearing.

No questions or comments from the remote viewers.

Motion Jahr, Cullin second to have staff schedule a public hearing for the Sumpter Road Corridor Plan, Sumpter Road Mixed Use Zoning District (SRMU) and Sumpter Road Overlay District at the next available meeting time.

Roll Call:

Yeas: Budd, Atchinson, Cullin, Jahr and Kelley.

Nays: None.

Excused: Barr.

Motion Carried.

ITEM #3: UPDATE: 20-035 – 44605 HULL ROAD AND VICINITY IRRIGATION PONDS.

STAFF WILL PROVIDE AN UPDATE ON THE REQUEST BY APPLICANT, KW LAND DEVELOPMENT, ON BEHALF OF OWNER, WILKIN FARM PROPERTIES. THE APPLICANT SEEKS TO CONSTRUCT TWO (2) FIVE-ACRE IRRIGATION PONDS FOR AGRICULTURAL PURPOSES PURSUANT TO CHAPTER 42, ARTICLE IV OF THE VAN BUREN TOWNSHIP CODE OF ORDINANCES. THE IRRIGATION POND APPROVAL FOR THE PROJECT WAS GRANTED BY THE PLANNING COMMISSION ON MARCH 24, 2021. THE PROJECT IS ANTICIPATED TO BEGIN IN JULY 2022, SUBJECT TO BOARD OF TRUSTEES APPROVAL.

THE AFFECTED PROPERTIES INCLUDE 180.57 ACRES OF LAND ON THE SOUTH SIDE OF HULL ROAD BETWEEN SUMPTER ROAD AND MARTINSVILLE ROAD, INCLUDING PARCEL 83-134-99-003-701, 44605 HULL ROAD / 83-134-99-0001-000, 44975 HULL ROAD / 83-134-99-0002-705 AND PARCEL 83-133-99-0003-701.

Director Power provided an update on the 44605 Hull Road and vicinity irrigation ponds. The Planning Commission in March of 2021 reviewed a request for two 5-acre irrigation ponds for agricultural purposes, located near the southeast corner Hull and Sumpter Roads. The way the ordinance for ponds is written, the Planning Commission reviews the project and the Planning Director issues the pond permit. The Board of Trustees has to approve the excavation of the site.

A preconstruction meeting was held in October with the soil erosion official from Wayne County. Work has not yet begun, excavation is anticipated to start in July. The neighboring property owners will be notified prior to the start of excavation.

No questions or comments from the Commission, audience or remote viewers.

ITEM #4: UPDATE: 21-025 – AMERISTAR HANGAR.

STAFF WILL PROVIDE AN UPDATE ON A PROPOSED SITE PLAN FOR A 21,712 SQ. FT. HANGAR WITH OFFICE AND STORAGE LOCATED ON THE SOUTH PORTION OF WILLOW RUN AIRPORT.

51500 TYLER ROAD EXTENSION (TAX PARCEL NUMBER 83-189-99-0006-005). THE PROPERTY IS LOCATED ON THE NORTH SIDE OF TYLER ROAD EXTENSION NEAR THE BORDER WITH YPSILANTI TOWNSHIP, AT THE FORMER “HANGAR 2” LOCATION.

Director Power provided an update on the Ameristar Jet Charter Company Hangar. Ameristar has charter jets for private traffic and cargo. They are relocating from Hangar 1 at Willow Run Airport to a new site called Hangar 2 on the west end of the Willow Run Airport bordering Ypsilanti Township. The Wayne County Airport Authority has the primary jurisdiction for airport projects, the Township has the ability to review the site plan and the authority to issue the building permits. Director Power summarized the comments from his staff review letter. The hangar is roughly 21,712 square feet with office space, 13 parking spaces and related site improvements. The storm water design has been approved by Wayne County and the Wayne County Airport Authority. A sign permit has been submitted to Van Buren Township and a permit for the sanitary sewer connection must be obtained from the Township's Water and Sewer Department prior to construction. The proposed site will connect to the Ypsilanti (YCUA) water supply system and YCUA will be the holder of standard construction details for the water utilities. The Fire Marshals review letter had the following comments:

- All Fire hydrants shall conform to the Van Buren Township Engineering Standards.
- If a security gate is to be installed, an approved access control device will be required.
- The approved gate access shall be KNOX gate and KEY switch.
- The width of the access roads in the front and the side of the hangar shall be increased to 30 feet.
- The required width of a fire department access road shall not be obstructed in any manner, including by the parking of vehicles.

Director Power believes that all comments in the Fire Marshals review letter have been addressed, he will verify.

No questions or comments from the Commission, audience or remote viewers.

ITEM #5: UPDATE: 19-011 – ARBY'S #6830 REMODEL

STAFF WILL PROVIDE AN UPDATE ON A PROPOSED SITE PLAN FOR THE REMODEL OF ARBY'S STORE.

10940 BELLEVILLE ROAD (PARCEL NUMBER 83-064-99-0003-708), LOCATED ON THE WEST SIDE OF BELLEVILLE ROAD BETWEEN THE NORTH INTERSTATE 94 SERVICE DRIVE AND WESTLAKE CIRCLE. THE SITE IS ZONED C-2 – EXTENSIVE HIGHWAY BUSINESS DISTRICT.

Director Power provided an update on the proposed Arby's remodel. The applicant had plans in place in June of 2019, then the pandemic hit. Director Power has reviewed the old planning file which had only minor landscape comments. A color rendering of the remodel was included in Commissioners packets and planning staff supports the architectural changes to the building.

Commissioner inquired if the restaurant was located in the Belleville Overlay District (BROD) and if the plan matches the amenities that are required in the BROD? Director Power will verify and make sure that the amenities are addressed prior to any final inspection on the site.

No questions or comments from the audience or remote viewers.

ITEM #6: UPDATE: 22-027 – RE-OCCUPANCY OF 2153 RAWSONVILLE ROAD.

STAFF WILL PROVIDE AN UPDATE ON A PROPOSED SITE PLAN FOR THE REDEVELOPMENT OF THE FORMER PAYLESS SHOES RETAIL STORE TO BE REPURPOSED AS A RETAIL SUPPLY STORE FOR BEAUTY SUPPLIES IN AN EXISTING 3,062 SQUARE FOOT BUILDING.

2153 RAWSONVILLE ROAD (PARCEL NUMBER 83-074-01-0005-002), LOCATED ON THE EAST SIDE OF RAWSONVILLE ROAD BETWEEN THE SOUTH INTERSTATE 94 SERVICE DRIVE AND GROVE ROAD. THE SITE IS ZONED C-1 – GENERAL BUSINESS DISTRICT.

Director Power provided an update on the interim site plan for the former Payless Shoe store. The new property owner has completed interior renovations, along with fire alarm and bathroom upgrades. The building will be utilized as a beauty supply store, which will have minimal site impacts. The site is unique, as it shares an access drive with the house behind it. The applicant has built a new dumpster enclosure, resurfaced the parking lot and patched holes in the parking lot where needed. Director Power will also have the applicant complete double striping in the parking lot as required.

No comments from the Commission, audience or remote viewers.

GENERAL DISCUSSION:

Commissioner inquired if Director Power had heard back from Cobblestone Creek? Director Power informed that Cobblestone Creek has provided the draft Master Deed, By-laws and are working on the PRD documents. The Township Attorney is looking at the materials provided.

Commissioner inquired if Director Power had heard anything back from Camping World? Director Power informed that the applicant has made good on the tabled conditions from the

Planning Commission meeting in May and he is just waiting for the Camping World Corporate office to provide their submittals.

ADJOURNMENT:

Motion Budd, Cullin second to adjourn the meeting at 6:43 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

PLANNING & ZONING APPLICATION

Case number _____

Date Submitted _____

APPLICANT INFORMATION

Applicant Elevatus Architecture (Craig Armstrong, AIA) **Phone** 260-424-9080 ext 616
Address 111 E. Wayne St., Suite 555 **Fax** 260-424-1222
City, State Fort Wayne, IN **Zip** 46802
E:mail carmstrong@elevatusarchitecture.com **Cell Phone Number** 260-241-2648
Property Owner Meijer, Inc. (Chris Mankowski) **Phone** 616-735-8713
(if different than applicant)
Address 2350 Three Mile Rd., NW **Fax** _____
City, State Walker, MI **Zip** 49544
Billing Contact Elevatus Architecture (Noel Winters) **Phone** 260-424-9080 ext 602
Address 111 E. Wayne St., Suite 555 **Fax** 260-424-1222
City, State Fort Wayne, IN **Zip** 46802

SITE/ PROJECT INFORMATION

Name of Project Meijer 072 Addition & Renovation
Parcel Id No. V125-83- 058990006705 **Project Address** 9701 Belleville Rd., Belleville, MI 48111

Attach Legal Description of Property

Property Location: On the East Side of Belleville Rd Road; Between Westlake Cir Road and Tyler Road. **Size of Lot** Width Varies - 1244' Depth Varies 1780' at widest

Acreage of Site 39.33 **Total Acres of Site to Review** 0.89 acres **Current Zoning of Site** C-2

Project Description: Front entry tower building additions, gas station building addition, pharmacy drive-thru-renovations at existing garden center, new parking lot medians to increase interior parking lot landscaping, and also site renovations to accommodate these site changes.

Is a re-zoning of this parcel being requested? NO YES (if yes complete next line) NO
Current Zoning of Site C-2 **Requested Zoning** _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? ☒ YES (if yes complete next line) NO
Section of Zoning Ordinance for which you are applying Section 3.104 Van Buren Township Zoning District
Is there an official Woodland within parcel? No **Woodland acreage** _____
List total number of regulated trees outside the Woodland area? _____ **Total number of trees** _____
Detailed description for cutting trees _____

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Chris Mankowski

Print Property Owners Name



Signature of Property Owner

2/24/2022

Date

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this _____ day of _____, 20____.

_____, Notary Public, _____ County, Michigan My Commission expires _____, 20____.

Rev 1/12/06

Meijer Store #72 - Van Buren Township, Wayne Co., Michigan

Owner: Meijer, Inc. (successor by merger with Good Will Co., Inc.)

Store/Gas Station Parcel as of January 2021

Part of the Northwest Quarter of Section 15, Township 3 South, Range 8 East, Van Buren Township, Wayne County, Michigan being more particularly described as follows:

Commencing at the Northwest corner of said Section 15; thence North 86 degrees 37 minutes 41 seconds East (this and all subsequent bearings are referenced to the Michigan State Plane Coordinate System of 1983, South Zone), 60.13 feet along the north line of said Northwest Quarter to the east line of the Bellville Road being the first parcel described in a Grant of Right of Way to the Board of County Road Commissioners of the County of Wayne recorded in Liber 29410, Page 364, Wayne County Records; thence South 07°06'22" East, 60.13 feet along the east line of said Bellville Road to the south line of Tyler Road being the second parcel described in said Grant of Right of Way document and the POINT OF BEGINNING; thence North 86°37'44" East, along said south line, 277.96 feet; thence South 03°28'48" East, 196.11 feet; thence North 86°39'38" East, 302.62 feet; thence North 03°09'41" West, 196.28 feet to said south line of Tyler Road; thence North 86°37'41" East, along said south line, 500.61 feet; thence South 03°22'19" East, 353.88 feet; thence North 87°45'01" East, 260.76 feet; thence North 27°33'51" East, 197.02 feet; thence North 02°56'09" West, 190.00 feet to said south line of Tyler Road; thence North 86°37'41" East, along said south line, 300.00 feet; thence South 02°56'09" East, 1209.31 feet; thence South 87°45'17" West, 1660.18 feet to said east line of Belleville Road; thence North 07°06'22" West, along said east line, 130.07 feet; thence South 89°43'56" East, 52.75 feet; thence 60.18 feet along a curve to the right having a radius of 402.00 feet and a chord bearing South 76°41'13" East, 60.12 feet; thence South 74°02'18" East, 33.00 feet; thence 53.42 feet along a curve to the left having a radius of 28.00 feet and a chord bearing North 51°17'58" East, 45.68 feet; thence North 03°21'47" West, 648.11 feet; thence 43.99 feet along a curve to the left having a radius of 28.00 feet and a chord bearing North 48°21'47" West, 39.60 feet; thence South 86°38'13" West, 194.54 feet to said east line of Belleville Road; thence North 07°06'22" West, 376.75 feet along said east line to the Point of Beginning. Containing: 39.35 Acres, more or less.

Tax Parcel Number: 83-058-99-0006-710 (formerly 83-058-99-0006-705)

Address: 9701 Belleville Road, Belleville, MI 48111



MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Case 22-006: Meijer Pharmacy Drive-thru Addition, Renovations and Gas Station Addition
DATE: July 8, 2022

The Planning Commission will consider a request by applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store's pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements.

The site is located at 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road. The property is zoned C-2 - Extensive Highway Business District. The drive-thru pharmacy requires a special land use approval under Section 3.104 of the Van Buren Township Zoning Ordinance, which identifies drive-thru facilities (accessory to any principal use) as a special land use in the C-2 zoning district. A public hearing is required for special land uses under Article 12, Chapter 3 of the Zoning Ordinance.

For your reference, this packet includes a completed planning and zoning application, reports from the Township's Planning Consultant dated June 30, 2022, a report from the Township Engineer dated July 7, 2022, a report from the Township Fire Marshal dated May 17, 2022, and a copy of the public hearing notice for this request. The Planning Commission is also receiving a hard copy excerpt of submittals from the applicant which included a 57-page combined civil and architectural plan set dated June 15, 2022. A more complete set of the submittals will be available electronically.

I look forward to assisting with this review. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written over a light blue horizontal line.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren



MCKENNA

June 30, 2022

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

**Subject: VBT-22-006 Meijer / 9701 Belleville; Special Land Use Review #2
Revised Site Plans Dated June 15, 2022**

Dear Commissioners:

The applicant, Meijer Inc., proposes to remodel the existing 232,541 square foot building to offer a pharmacy drive-thru, a reconfigured garden center along with upgraded façade treatments for the entire building and the remodeling of the existing gas station. The site is located on the southeast corner of Tyler Road and Belleville Road intersection. Section 3.112.C of the Zoning Ordinance permits drive-thru facilities accessory to the principal use as a special land use in the C-2 Extensive Highway Business District.

We have reviewed the special land use request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

SPECIAL LAND USE REVIEW COMMENTS

Section 12.306 of the Zoning Ordinance sets forth criteria for the Planning Commission to consider when reviewing special land use proposals. All drive-through uses are subject to special land use review. Following is our review of each criterion:

- 1. Will promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activity; for those landowners and residents who are adjacent; and for the Township as a whole.**

This standard has been met. The use of the site will not be changing significantly as it is fully developed as a supermarket and gas station. The addition of the pharmacy drive-through will serve residents of the area, providing a socially and economically desirable use as planned for the area. Any impacts resulting from the proposed development will be mitigated through setbacks, landscaping, screening, and architectural requirements, which are reviewed in our site plan review letter under separate cover.

- 2. Is necessary for the public convenience at that location.**

This standard has been met. The proposed use is located off Tyler and Belleville Roads, making access to it convenient for the public. The site is also part of the Belleville Road Overlay District (BROD) which is the main commercial hub for the Township.

- 3. Is compatible with adjacent uses of land.**

This standard has been met. The site is already in use as a supermarket and gas station. As previously noted, the site is located in the main commercial corridor for the Township and is located in an area with numerous other commercial uses, many of which include a drive-through component.

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4. Is so designed, located and proposed to be operated that the public health, safety and welfare will be protected.

This standard has been met. The proposed site changes involve improvements to the internal parking lot and garden center to accommodate the pharmacy drive-through. Several pedestrian-focused improvements are included, which are likely to enhance public health, safety, and welfare. Comments addressing the site layout, circulation and access are discussed in our attached site plan review letter.

5. Can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area.

This standard has been met. We do not anticipate that the proposed site plan will affect the site's current public service capacity. The applicant is working with the Township Engineer to meet all utility requirements.

6. Will not cause injury to other property in the neighborhood in which it is to be located.

This standard has been met. The proposed site improvements will not cause injury to other properties in the neighborhood in which it is located. As noted previously, the existing site is in a corridor with similar higher intensity commercial uses and use of the site is not expected to change dramatically.

7. Will consider the natural environment and help conserve natural resources and energy.

This standard has been met. While the site plan indicates an increase in impervious surface area, the proposal shows an overall net gain of green space in the form of new parking lot landscape islands. Any stormwater related concerns will be addressed to the satisfaction of the Township Engineer.

8. Is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located and meets applicable site design standard for special approval uses.

This standard has been met. A drive-through pharmacy is within the provisions of uses requiring special approval and is in harmony with the purposes and conforms to the applicable regulations of the C-2 zoning district and meets applicable site design standard for special approval uses.

9. Is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.

This standard has been met. The proposed pharmacy drive-through use is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.

The Zoning Ordinance does not have any specific standards related to drive-thru facilities for pharmacies.



RECOMMENDATION

The proposed special land use meets the general standards for consideration of special land use approval. Therefore, we recommend the Planning Commission recommend approval of the special land use to the Township Board of Trustees, subject to final site plan approval.

Respectfully,

McKENNA

Vidya Krishnan
Senior Principal Planner

Gage Belko
Assistant Planner

cc: Dan Power, Director of Planning and Economic Development



MCKENNA

June 30, 2022

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

**Subject: VBT-22-006 Meijer / 9701 Belleville; Site Plan Review #3
Revised Site Plans Dated June 15, 2022**

Dear Commissioners:

The applicant, Meijer Inc., proposes to remodel the existing 232,541 square foot building to offer a pharmacy drive-through, a reconfigured garden center along with upgraded façade treatments for the entire building, and remodeling and construction of an addition to the existing gas station. The site is located on the southeast corner of Tyler Road and Belleville Road intersection.

Based on prior review letter comments, the applicant has made revisions to the site plan based on previous reviews. We have reviewed the latest set of revised site plan based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

SITE PLAN REVIEW STANDARDS

1. **Zoning and Use.** The site is currently zoned C-2 (Extensive Highway Business District) and is occupied by a grocery/department store and ancillary gas station. The grocery store and gas station are principal permitted uses per Section 3.112.B of the Zoning Ordinance. However, Section 3.112.C of the Zoning Ordinance permits drive-thru facilities accessory to the principal use as a special land use in the C-2 Extensive Highway Business District. Our comments on the special land use are noted under separate cover.

The site is also located in the Belleville Road Overlay District (BROD). Per Section 6.303 "*The BROD is a mandatory overlay district. Property in the BROD may continue to be used as permitted by the standard zoning district and all other legal nonconformities are permitted to continue; however, any new activity that requires site plan approval in accordance with the requirements of the Zoning Ordinance shall also comply with the requirements of the BROD contained in this Chapter.*"

2. **Required Information.** Section 12.203 of the Zoning Ordinance includes requirements for information on a site plan, an internal site plan review checklist has been submitted, noting the required items and explanation of non-applicability.
3. **Lot.** The application has indicated that the site is a total area of 39.33 acres. The legal description is included with the tax parcel ID number.
4. **Dimensional Requirements.** There is no required minimum lot area or width in the C-2 Extensive Highway Business District.

The minimum required front, rear, and side yard setbacks for the C-2 District is 35 feet, 20 feet, and 25 feet respectively. The proposed building location complies with all the setback dimensions. Maximum permitted

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building height in the C-2 District is 4 stories and 40 feet. The elevations proposed indicate a maximum building height of 23 feet and 4 inches, compliant with the Zoning Ordinance.

5. Access and Circulation.

- a. **Location of Curb Cuts.** Access to the new pharmacy drive-through is to be provided via the existing driveways off Tyler Rd., with an existing cross access driveway off Belleville Rd., which provides access to the Meijer Express Gas Station. The access drives are 38 feet wide, with one lane for ingress and two lanes for egress. No change is proposed.
- b. **Vehicle Circulation.** The plan proposes a horseshoe-shaped drive-through for vehicular access to the pharmacy service window, with ingress and egress along the main access drive off Tyler Rd. To avoid conflicts with an existing drive to the north, the drive-through is a self-contained one-way lane with pavement markings, signage, pedestrian striping, and bollards surrounding the paved center island. The drive-through also features thickened and heavy-duty asphalt treatments to differentiate it from existing drives.

Previously, the pedestrian island area in the middle of the pharmacy drive-through was noted as an 'outdoor sales area', with an intent to display plants for the garden center. However, we had concerns regarding pedestrians actively crossing the drive-through and increased chance for pedestrian-vehicular conflicts. The revised plans eliminates the outdoor sales proposed, and adds perimeter plantings that contribute favorably to the pedestrian circulation and safety.

- c. **Sidewalks.** The site has an existing sidewalk along its Tyler Road frontage leading into the parking lot. The plan proposes the repaving of the sidewalk along the building's western face leading into concrete pedestrian island at the center of the drive-through and into the reconfigured garden center. The sidewalk and pedestrian island create a plaza where garden displays will be featured. Connection to this plaza from Tyler Road is made via pedestrian striping leading from the terminus of the concrete sidewalk to the crosswalk leading to the plaza from the barrier-free parking spaces. Additional access is provided to the main building via crosswalk striping from the plaza.

6. Parking and Loading.

- a. **Space Dimensions.** The revised plan notes parking spaces dimensioned with a width of 9.5 feet. All spaces are shown double-striped as required. Barrier free parking spaces on the site are also ADA compliant.
- b. **Number of Parking Spaces.** Revised parking calculations have been provided:

Standard	Applicable Measurement	Number of Spaces Required	Number of Spaces Provided
Gas Station			
1 space per gasoline pump	12 pumps	12	12
1 space per employee at maximum shift	3 employees at maximum shift	3	3 (in main lot)



1 space per 200 square feet of useable floor area	80% of 3,165 SF = 2,532 SF useable floor area	13	11 (in gas station lot) 2 (in main lot)
Retail Stores (larger than 50,000 sq. ft)			
1 space per 200 square feet of useable floor area up to 25,000 sq. ft	80% of 226,626 SF = 181,301 SF useable floor area First 25,000 SF	125	125
1 space per 250 SF for the second 25,000SF	Second 25,000 SF	100	100
1 space per 350 SF for each 25,000 SF thereafter	Remaining = 131,301 SF	377	607
Totals:		630 (13 barrier-free)	860 (37 barrier-free)

The subject site has a 37% surplus of parking spaces, although the ordinance limits it to 20%. The excessive parking was established at a time when there were no such limits in the Ordinance. The proposal at this time adds several additional land scape islands and reduced the amount of parking on the site, but a lot still remains. *We recommend that in the future if any additional outlots are developed on the north side of the site, the excess parking be used towards such use instead of construction of more impervious surface.*

- c. **Stacking Spaces.** Section 9.102 details parking spaces required for each use. Eight (8) stacking spaces dimensioned at 20 feet long by 10 feet wide have been provided, in compliance with the ordinance. These spaces do not conflict with any existing access lanes.
 - d. **Barrier Free Spaces.** The site includes a total of 37 barrier free accessible spaces. All of the spaces are ADA compliant and are spread out through the site.
 - e. **Loading.** Existing loading areas on the main site are shown to be 80 feet in length; while individual loading area widths are not provided, they appear to be an average of 15 feet wide, which complies with the ordinance.
 - f. **Bicycle Parking.** Chapter 3 of Article 6 provides standards for buildings within the BROD. Per this chapter, one (1) bicycle parking space shall be provided for each twenty-five (25) vehicle parking spaces or fraction thereof. Sheet C-200 shows two (2) bike racks, one each abutting the north and south entrance to the store. Per the applicant's response letter each section can accommodate 30+ bikes. With the vast parking area, the number of bike parking space proposed are adequate. Plan and manufacturer details are given on sheet CG700. A smaller bike rack is also included for the gas station convenience store.
7. **Landscaping and Screening.** The site is located in the Extensive Highway Business (C-2) district. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others.
- a. **Landscaping Adjacent to the Right-of-Way.** A landscaping plan has been provided, breaking down the calculations for existing, proposed, and required landscaping among five different areas of the site along



with a planting schedule. For the three areas adjacent to the right-of-way, the plan demonstrates compliance with the ordinance, with extensive planting at the corner of Tyler and Belleville Roads and near the site's entrances.

- b. **Parking Lot Landscaping and Screening.** Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public or private rights-of-way. Adequate screening of the parking lot is provided by the landscaping adjacent to the right-of-way as described above. This is in addition to the existing berms along these frontages that aid in screening.

Interior Parking Lot landscaping. Several new interior landscape islands and increased planting in existing islands are proposed. Each landscape island has at least one required deciduous tree per 300 square feet of landscaped area and the necessary curb stops. Additional landscaped islands have been provided at the southernmost row of parking, bringing this arrangement of parking into compliance. The parking area to the north of the proposed pharmacy appears to be retained as is. We recommend that the applicant consider adding landscape islands at the end of each row to provide for breaks in the expanse of pavement and redo the only portion of the site that is not being addressed. The pedestrian island at the center of the drive-through has been converted to a landscaped plaza instead of an outdoor sales area.

- c. **Loading Area Landscaping.** Additional plantings are proposed within the existing landscape island for the southern loading area, demonstrating compliance for staggered evergreens placed 15 feet apart on center. Further evergreen landscaping is proposed at the northern edge of the parking lot directly across from the northern loading area, providing additional screening from Tyler Road.
- d. **Display Area Buffering.** The plan shows details for fencing that buffers the outdoor garden display area from the rest of the site. The revised plan also proposes landscaping within the interior pedestrian island of the drive-through, addressing the concern of unnecessary pedestrian crossing and potential vehicular conflicts with the drive-through. However, the outdoor sales display still appears on Sheet ES101-2 and must be deleted.
- e. **Greenbelt Buffering.** Section 10.103 (E) provides greenbelt buffering standards. A ten (10) foot wide buffer, with one (1) tree per thirty (30) linear feet is required in Areas 1 and 2. Area 4 adjacent to residentially zoned lots, requires a 20-foot wide buffer with one tree per 20 linear feet. The revised plan brings the evergreen trees into the greenbelt area and staggered among the proposed deciduous trees to meet this requirement.
- f. **Detention Pond Landscaping.** The site has an existing detention pond on the northeast corner of the site. The applicant has submitted a letter dated November 5, 2020 from ENCAP Inc. outlining stormwater system clean-up on the site done in September 2020. The applicant's response letter notes that Wayne County approval letter is included in the packet; however, the submittal includes an email from Wayne County approving only the soil erosion permit. Functioning of the pond at this time is subject to review and approval by the Township Engineer and Wayne County for compliance with current stormwater detention requirements. Any planting around drainage areas is under Wayne County's jurisdiction.
- g. **Specific Landscaping for C-2 Zoning District.** Developments in the C-2 District require contiguous outdoor space, independent of sidewalks, pedestrian circulation areas, and required landscaping, in an amount not less than one (1) square foot for each twenty-five (25) square feet of principal building and in no case less than two hundred fifty (250) square feet in total. The applicant has noted that 9,192 square feet of contiguous outdoor space is required. The applicant provides a total of 28,715 square feet of landscaped area, but does not differentiate between required landscaping and the additional outdoor space and amenities. The standard appears to be met through the landscaped area near the gas station.



Area 4, and enhanced drive-through pedestrian island, however, calculations need to be updated to indicate the individual areas.

h. BROD Landscape Standards. Section 6.310 provides landscape standards for development projects within the BROD. These standards are described in the landscape plan and have been met, including the provision of perennial beds and street trees.

- 8. Tree Removal Permit.** A tree removal permit is required if the applicant proposes to remove any trees of 5" caliper or larger. It does not appear that any trees are being removed as part of this project.
- 9. Stormwater Pond.** The proposed additions for the main building and the gas station are to be located on an existing paved impervious surface. We do not anticipate any significant changes to stormwater detention requirements; However, as previously stated, it appears the stormwater system on the site was cleaned in September 2020, but needs to be reviewed by the Township Engineer and Wayne County for compliance with current storm water detention standards, as required.
- 10. Lighting.** The plan submitted indicates that existing light poles at the edge of the garden center will be relocated to accommodate the drive-through. One will be placed at the northern edge of the pedestrian island, and another will be placed near the entrance of the garden center, east of the drive-through. Additionally, a new fixture will be installed within the canopy above the pharmacy service window and within the overhang (noted as 'canopy' in the plan) along the building frontage.

Manufacturers cut sheets for proposed fixtures and a photometric plan for the pharmacy area and gas station have been provided. Average illumination for the pharmacy area appears to be adequate while minimizing light trespass to neighboring properties. Illumination intensity directly under the gas station canopy shall not exceed 20 footcandles and must be demonstrated as compliant with the requirements of Section 8.105 (B)(2) through a full photometric plan.

- 11. Architecture and Building Details.** The applicant has submitted revised elevations for the proposed renovation to the main building. Overall, the buildings are comprised of primarily brick and glass. For the main building, the existing brick face at the north and south of the building are to remain and new brick veneers are proposed for the center of the building. EIFS has been minimized in the revised proposal, appearing as 'Fawn Brindle' and 'Colonnade Gray' with matching fascia accent panels. Existing brick on the northern façade will remain and will be adjacent to a proposed brick veneer where the pharmacy drive-through is. The remaining existing CMU will be painted 'Fawn Brindle' to match the veneer.

The gas station is also proposed to be comprised primarily of brick, with variations in color and orientation to provide variety and CMU walls are to be painted 'Fawn Brindle' found throughout the façade. The canopy over the drive-through window will be painted 'Loyal Blue' to match the fascia panels of the façade. The fascia along the western face of the pharmacy will be painted 'Fawn Brindle,' matching the brick. Additionally, the canopy is now proposed to include an 'Interstate Blue' mansard style roof and brick support columns that brings the structure into compliance with BROD standards.

- 12. Dumpster.** One existing trash compactor is shown to the south of the main building and one dumpster location is shown to the east of the gas station. Modifications are proposed to the enclosure to update it.
- 13. Signs.** The applicant is proposing several *incidental* pole signs for the pharmacy drive-through area including three single-sided stop signs, one double sided stop/wrong way sign, and a pharmacy drive-up sign. Additionally, the plan indicates crosswalk, directional, and 'STOP' lettering pavement treatments along the



drive-through lane. Because of the signs' incidental nature, designed to be seen only by users within the site, they are exempt from the zoning code. Review of these signs does not indicate they will infringe upon the public health, safety, or welfare of the public using the site.

New 'Pharmacy Drive Up' and 'Meijer' wall signs are proposed for the western façade. The applicant has noted that signage will be submitted at a later date with a sign package for administrative approval.

- 14. Other.** Decorative fencing details have been provided for the garden center and are compliant with the ordinance. The only outdoor storage proposed is at the rear of the garden center within the fenced in area.

RECOMMENDATION

The revised plan addresses most of the concerns noted in our previous review letters. The proposed improvements to the site will enhance the site and bring it closer into compliance with the BROD standards. Therefore, we recommend that the Planning Commission grant preliminary site plan approval for the proposed addition of a pharmacy drive-through and additional site improvement for Meijer located at 9701 Belleville Road, subject to the following conditions:

1. Removal of outdoor sales area shown on sheet E-101(2).
2. Clarification of calculations with regard to required landscaping square footage of various areas on the site.
3. Revised photometric plan to indicate compliance with illumination intensity below the gas station canopy.
4. Wayne County and Township Engineer approval of storm water detention.

Respectfully,
McKENNA

Vidya Krishnan
Senior Principal Planner

Gage Belko
Assistant Planner

cc: Dan Power, Director of Planning and Economic Development
Paul J. Kammer, FTCH, Township Engineers
Andy Leneghan, Van Buren Township Fire Marshal

July 7, 2022
Fishbeck Project No. 220578

Dan Power
Director of Planning and Economic Development
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Meijer Addition & Renovation Site Plan Final Site Plan and Engineering Review

Dear Director Power:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Final Site Plan submitted to the Township and distributed for Final Site Plan and Engineering review on June 20, 2022 for the Meijer Store Addition and Renovation for the Meijer Store at 9701 Belleville Road (Store #072, Meijer Project #: CP-22-00072).

This project entails the reconstruction and upgrade to the façade and entrance of the existing Meijer Store, as well as a renovation and expansion of the existing gas station on site. The project includes the removal and replacement of the existing entrances, removal of the existing garden center, construction of a new pharmacy drive-thru, replacing the existing parking lot in front of the building, proposed island additions, and upgrades and expansion of the existing gas station building and façade for the out lot.

Fishbeck and the Township have previously conducted preliminary level reviews for feasibility and the applicant has addressed those comments within the new submittal reference above. Any additional or lingering comments or concerns with the new submittal are listed in the below letter.

Our review comments are as follows:

General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. Soil boring information, including the ground water elevations, must be provided.
 - a. **RESPONSE:** *The applicant has chosen not to do soil borings, due to lack of underground work. The applicant has stated that a 3rd Party inspector will be onsite, determining soil bearing capacity. They have also acknowledged the below comment from our previous letter.*
 - b. **Additional Comment [Preliminary Review (5-31-22)]:** It is ultimately the applicant's responsibility to determine soil bearing capacity and ground water for any excavation work they are performing. The Township inspector(s) has the right to require additional testing be done if results are not acceptable.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records and the applicant's plan indicate there is a watermain loop around the existing Meijer building, running north-south and east-west around the project area.

An approved water main connection is also being installed as part of another project for the Jiffy Lube Multi-Service Center located in the NW quadrant of the existing Meijer loop. This connection extends to the NW to a new hydrant and service for the Jiffy Lube outlot.

Proposed: The applicant's plan does not indicate a proposed water main or water main connection to the exterior public water main, nor is there any modification to the existing water main system for the work on this project.

Comments:

1. No comments at this time for water main or water service adjustments.

Sanitary Sewer

Existing: The applicant's base plan indicates there are two sanitary service lines to the existing building. One from the west/northwest side of the building and one from the east/southeast side of the building. Both service lines are connected to the private sanitary sewer system on site, which eventually discharges into the public sanitary main along Belleville Road. The plans also indicate an existing sanitary sewer service line from the east side of the gas station building. It appears the sanitary service connects directly into the Belleville Road sewer, however, Township GIS does not show this service line. Also, as mentioned above, the approved Jiffy Lube Multi-Service Center plans also include a new sanitary sewer system, which runs along the southern portion of the gas station site. This system includes deep sewers and manholes. The system runs from the Jiffy Lube out lot to the Belleville Road sewer in the southwest corner of the gas station lot.

Proposed: The applicant's plan does not indicate any adjustment to the service leads to either building.

Comments:

1. No comments at this time for sanitary service adjustments.

Storm Sewer

Existing: The plans provided show the existing storm sewer network, as it collects runoff from the main Meijer lot, as well as the outlots. Runoff is collected through the system and is diverted to the east side of the lot before being discharged into the existing detention pond/wetland. The north side of the property collects into a system that flows around the north side of the building, eventually discharging through a 24-inch outlet into the wetland, while the south side of the property collects into a system that flows around the south side of the building and discharges through a 36-inch outlet into the wetland.

Proposed: The applicant's plan proposes slight modifications to the existing storm sewer system near the garden center. The existing seepage drains will remain in place, however, small storm structures are being proposed to be added on top of and tapped into the seepage drain system.

The plans indicate that the work to the main building, gas station, and both parking lots, which all contribute to the same system storage, result in a net change of impervious area of 0 square feet.

Comments:

1. It is our understanding that the Meijer Site drainage system and pond have been a cause for some concern with the Township. The applicant has provided a "Stormwater Restoration Work" narrative, explaining the restoration and revitalization work that was done to the existing pond in September of 2020. This work mainly involved minor tree and brush removal and outfall/outlet restoration. It shall be the applicant's responsibility to maintain the functionality of the system throughout and after construction is complete.

Paving and Grading

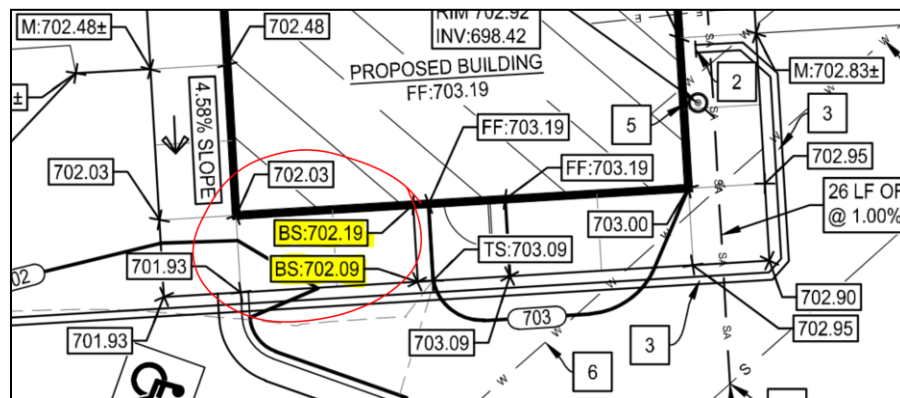
Existing: The plans provided show the existing HMA parking lot and islands are currently configured. Existing topographic survey of the area also indicates the existing layout of the sidewalks, ramps, and parking lot areas.

Proposed: The applicant's plan proposes resurfacing the area in front of the building with either an HMA overlay or a full concrete reconstruction, as well as a new pavement (concrete) pad for the drive-thru area. Other paving modifications include the areas around the new islands, the new pharmacy drive-thru, and the gas station parking lot reconfiguration due to the building expansion. There is no indication of any other repair or maintenance to the site pavement, except that impacted by the construction.

Grades are also given for the proposed sidewalk areas around the buildings.

Comments:

1. Applicant to verify the grades around the gas station building. Below shows a snippet where there is a 1.0 ft grade difference:



2. Any changes to the sidewalk ramp allowable detectable warning style and color is something that will need to be discussed with the Planning Department and Consultant.

Soil Erosion and Sedimentation Control

1. The applicant has received approval from Wayne County for the SESC plan included in the plan set. The applicant will be required to secure the Permit from the County before any work shall be conducted on site.

Recommendation

Fishbeck recommends Final Site Plan approval based on the attached Engineering Review for the Meijer Store Addition and Renovation project referenced in the above letter, subject to the applicant addressing the final comments listed.

If you have any questions regarding this project or our comments listed above, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'P. Kammer', followed by a horizontal line.

Paul J. Kammer, PE
Senior Civil Engineer

By email

Copy: Britney Williams – Township
Kris Schlutow - Township
Vidya Krishnan– McKenna
Dave Potter – Fishbeck

Andrew Lenaghan
Deputy Fire Chief/Fire Marshal
O: 734-699-8900 ext9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp., MI 48111



May 17, 2022

Director of Planning and Economic Development
Department of Public Services
46425 Tyler Rd.
Van Buren Township, MI 48111

Meijer Store/Gas Station 072 Renovation
9701 Belleville Rd.
Van Buren Township, MI 48111

I have reviewed a set of plans, dated 1/21/2022, and received 5/13/2022. The plans call for a demolition and remodel of the existing storefront, gas station, and the addition of a new pharmacy drive through. According to the plans, the existing fire hydrants and access roads will remain unchanged.

The plans are approved with the following exceptions: **All concerns have been addressed in the last submittal**

~~The fire suppression system shall remain operational at all times during the renovation~~
~~**NFPA 1 2018 16.4.4.1**~~

~~All required exit components shall be maintained during the renovation. lock box will be required for the facility.~~
~~**NFPA 1 2018 16.4.4.6 A**~~

The "Knox box" required for Van Buren Township can be found at www.knoxbox.com
If you have any questions regarding this plan review, I can be reached at 734-699-8900 x 9416

Andrew Lenaghan
Deputy Fire Chief/ Fire Marshal

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Charter Township of Van Buren Planning Commission will hold a public hearing on **July 13, 2022 at 5:30 p.m.** The meeting will be held in person at Van Buren Township Hall, located at **46425 Tyler Road, Van Buren Township, MI 48111**, in the Board Room. Members of the public may additionally participate in the meeting electronically per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022. Instructions for attending the meeting electronically are provided in this notice. The Planning Commission will consider the following request:

Case 22-006: A request by applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site located at 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road, to construct a drive-thru addition to the store's pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements. The property is zoned C-2 - Extensive Highway Business District. The drive-thru pharmacy requires a special land use approval under Section 3.104 of the Van Buren Township Zoning Ordinance, which identifies drive-thru facilities (accessory to any principal use) as a special land use in the C-2 zoning district. A public hearing is required for special land uses under Article 12, Chapter 3 of the Zoning Ordinance.

Members of the public may access the agenda materials via the Township website – www.vanburen-mi.org beginning **July 8, 2022**. On the meeting website, members of the public will also gain access to **means of participating in the electronic meeting. On the agenda for the meeting**, a unique Zoom weblink and dial-in phone number with a meeting ID for meeting videoconference or teleconference access will be provided. The meeting will be available to view live on the Van Buren Township YouTube Channel which can be reached from the live meeting link located on the Van Buren Township website home page (www.vanburen-mi.org). Closed captioning will be available after YouTube fully renders meeting video.

A complete procedure for public comment by electronic means is provided on a guide which is accessible on the Van Buren Township website (www.vanburen-mi.org). Participants may also choose to submit written comments that will be read into record during public comment by the Chairperson. Submit any written comments or questions about the meeting via e-mail to dpower@vanburen-mi.org.

To comply with the Americans with Disabilities Act (ADA), any citizen requesting accommodation to attend a meeting, and/or to obtain this notice in alternate formats, please contact the Clerk's Office at 734.699.8900 extension 9205.

Posted: June 20, 2022
Published: June 23, 2022

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VAN BUREN

CHARTER TOWNSHIP

FEB 7 2022

Initial: _____

DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

46425 TYLER ROAD, VAN BUREN TOWNSHIP, MI 48111

PHONE (734) 699-8913 FAX (734) 699-8958

PLANNING & ZONING APPLICATION

CASE INFORMATION

CASE NUMBER:	DATE SUBMITTED:
--------------	-----------------

APPLICANT INFORMATION

NAME: Stephen J. Gedert, AIA	PHONE: 248.352.8310
ADDRESS: 400 Galleria Officentre, Suite 555	CELL PHONE: 248.514.7866
CITY, STATE & ZIP: Southfield, MI 48034	FAX: None
EMAIL: sgedert@neumannsmith.com Representing Neumann/Smith Architecture	

PROPERTY OWNER INFORMATION (If different than the applicant)

NAME: Van Buren Charter Township	PHONE:
ADDRESS: 46425 Tyler Road	CELL PHONE:
CITY, STATE & ZIP: Van Buren, Township, MI 48111	FAX:
EMAIL:	

BILLING CONTACT

NAME: Elizabeth Renaud	PHONE: 734.787.0542
ADDRESS: 46425 Tyler Road	CELL PHONE:
CITY, STATE & ZIP: Van Buren, Township, MI 48111	FAX:
EMAIL: erenaud@vanburen-mi.org	

SITE/PROJECT INFORMATION

NAME OF PROJECT: Van Buren Charter Township Community Center Addition and Renovation			
PARCEL ID NO: V125-83- V125-83-061-99-0006-000		PROJECT ADDRESS: 46425 Tyler Road	
* APPLICANT MUST ATTACH LEGAL DESCRIPTION OF PROPERTY			
PROPERTY LOCATION: On the South Side of Tyler Road; Between Quirk Road and Sage Circle Road.			
SIZE OF LOT WIDTH: Varies	SIZE OF LOT DEPTH: Varies	ACREAGE OF SITE: 14.49	TOTAL ACRES OF SITE TO REVIEW: 3.85
CURRENT ZONING: O-T	IS A REZONING OF THIS PARCEL BEING REQUESTED? Y / (N)		REQUESTED ZONING:
PROJECT DESCRIPTION: Addition and renovation to the existing community center. Refer to project description on the architectural site plan and on the accompanying 8.5x11 document.			

SPECIAL PERMIT INFORMATION

DOES THE PROPOSED USE REQUIRE SPECIAL APPROVAL? Y / <u>N</u>	
IF YES, SECTION OF ZONING ORDINANCE FOR WHICH YOU ARE APPLYING FOR SPECIAL APPROVAL:	
IS THERE AN OFFICIAL WOODLAND WITHIN THE PARCEL? Y / <u>N</u>	IF YES, WOODLAND ACREAGE:
TOTAL NUMBER OF REGULATED TREES OUTSIDE THE WOODLAND AREA:	TOTAL NUMBER OF TREES:
DETAILED DESCRIPTION FOR CUTTING TREES:	
IF APPLICABLE, APPLICATION MUST BE ACCOMPANIED WITH A TREE SURVEY OR STATEMENT OF NO TREES, WHICH INCORPORATES ALL THE REQUIREMENTS LISTED IN SECTION 4.45 OF THE TOWNSHIP'S ZONING ORDINANCE 6-2-92, AS AMENDED.	

OWNER'S AFFIDAVIT

Kevin McManara
PRINT PROPERTY OWNER'S NAME

[Signature]
SIGNATURE OF PROPERTY OWNER

2/1/2022
DATE

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 1st day of February, 2022.

[Signature] Notary Public, Wayne County, Michigan My Commission expires 02/08/26, 2026.

HANNAH RODRIGUEZ
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES Feb 8, 2028
ACTING IN COUNTY OF Wayne



NEUMANN/SMITH ARCHITECTURE
400 Galleria Officentre / Suite 555
Southfield, Michigan 48034
P 248.352.8310
1500 Woodward Avenue / Suite 300
Detroit, Michigan 48226
P 313.782.4800
neumannsmith.com

**Van Buren Charter Township
Community Center Addition and Renovation**

N/S Project Number 2019074
February 2, 2022

Project Location

Van Buren Charter Township Hall
46425 Tyler Road
Van Buren Township, MI 48111

Legal Description of Property

16A1A2C A1A2D B1A2 PT OF THE N 1/2 SEC 16 T3S R8E BEG AT THE N 1/4 COR SEC 16 TH N89DEG 07M 10S E
391.44FT TH S10DEG 47M 00S E 929.30FT TH S82DEG 00M 30S W 673.37FT TH N10DEG 47M 00S W 1013.58FT TH
N89DEG 03M 00S E 291.25FT POB 14.49 AC



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power – Director of Planning and Economic Development

RE: Final Site Plan Review #22-008 – Van Buren Township Community Center

DATE: July 8, 2022

Project Summary

This report contains review comments for **final site plan review** a proposed 13,446 square foot renovation and a building addition totaling 21,763 square feet (16,411 square foot first floor addition, 5,352 square foot mezzanine addition) for purposes of providing a Community Center and site upgrades at the Van Buren Township administrative campus. In addition to extensive indoor programming explained in a project narrative and in the submitted floor plans, the improvements will include exterior improvements including a performance plaza, a fitness patio (as an alternate item), additional parking, walkways and landscaping. The proposed building addition will be 34'-8" in height. The subject site is located at 46425 Tyler Road (parcel ID number 83 061 99 0006 000). The site is zoned O-T – Office Technology. The lot is approximately 14.5 acres in area. The Planning Commission granted preliminary site plan approval on March 9, 2022. The submittal being provided to the Planning Commission includes a set of civil / site and architectural plans provided by the applicant dated July 5, 2022. An abridged set of these plans will be provided to the Planning Commission in hard copy and the complete set will be available electronically. Throughout this report, recommended conditions or requests for revisions are underlined.

Zoning and Use

As previously discussed, the proposed use is as a publicly-owned recreational facility, which is a permitted use by right in the O-T zoning district. The use also includes outdoor components including a new performance plaza. A detailed use description is provided at the top of the Architectural Site Plan sheet. A detailed description of all proposed uses appears on Sheet AS103.

Required Information and Overall Formatting Comments

A master plan sheet index is provided on the cover sheet of the submitted plan set. Existing conditions are shown on sheets C2.1 – C2.3 which show the existing footprint of the Township municipal building and topographical survey data for the main affected portion of the site.

Dimensional Requirements. The proposed addition meets all applicable height and setback requirements. The property's required front yard setbacks are each 50', its required rear yard setback is 30', and its required side yard setback adjacent to the residential property to the east is 50'.

Access, Circulation and Traffic Impacts

- **Overall traffic and circulation.** The most significant impact of the proposed site plan on circulation during the preliminary site plan review stage of the project was the closure of access to public safety and general personnel parking. The applicant previously provided a Traffic Impact Statement in their narrative submittal. The narrative states that the building's several functions (Township Hall, Police Department, Senior Center, and Community Center) will have staggered times of usage. A letter with written justification for the need to provide separate access, dated April 12, 2022, was provided by the Van Buren Township Police Chief. Note that the current plan has a proposed alternative design with a second driveway to be located at the northwest corner of the site with access to Quirk Road. This will be located in the area that is outside of the secure personnel parking area and therefore accessible to site visitors. This second driveway may provide a benefit for overall site circulation and safety by providing a second means of egress and ingress in major events. If the alternative second driveway is used, Wayne County Department of Public Services (WCDPS) approval of the driveway must be provided at the time of construction.
- **Location of Curb Cuts and Cross Access.** Apart from the proposed alternative second driveway mentioned above, there are no proposed changes to curb cuts or new cross access between the subject site and neighboring properties. The proposed site plan does provide a new connection to the Quirk Park property to the south.
- **Sidewalks.** No new public sidewalks are proposed. The site plan contains a sufficient network of internal sidewalks with one exception. A new internal sidewalk network alongside parking and public open space is shown in the proposed Plan.

Parking and Loading

- **Space Dimensions.** Minimum parking space dimensions (20' deep, 9.5' wide) and access aisle minimum dimensions (24' wide) are adequately conveyed on the Plan.
- **Number of Parking Spaces.** The applicant lists 357 total parking spaces as being required based on the summation of 119 spaces being required for the existing public safety and Township Hall offices (one space per 300-sf at 35,477-sf), 181 spaces being required for the Community Center and Senior Center (one space per 200-sf at 36,105-sf), seven spaces being required for the recreation center (one space per 300-sf of office at 2,069-sf), and 50 spaces being required for the theater (one space per 3 seats at 150 seats). 400 parking spaces are provided.
- **Barrier Free Spaces.** Under Section 8.103, eight (8) barrier free spaces are required on site and ten (10) barrier free spaces are provided.
- **Loading.** No loading is shown beyond existing loading in the current employee parking lot.
- **Snow Storage.** The Township Public Services Director has confirmed there will be adequate snow storage locations in the proposed parking lot.
- **Other comments.** The configuration of the proposed stormwater management system may result in the removal of 2-3 parking spaces within the Water and Sewer building material yard and parking area. Any changes to the configuration of the Water and Sewer

building material yard and parking area are subject to approval by the Van Buren Township Water Department.

Landscaping and Screening. The applicant shows all proposed landscaping in sheets L-1 – L-5 and an irrigation plan in sheet IR-1. An extensive landscaping plan is provided for the area surrounding the proposed renovation and addition. The site plan is exempt from a tree removal permit and tree inventory requirement as a public property, in accordance with Section 8.106(C) of the Van Buren Township Zoning Ordinance. In 2020-2021, the Township completed significant campus-wide landscaping. The comments in this report will focus on landscaping standards of Article 10 of the Township Zoning Ordinance as it pertains to the area that did not previously have landscaping performed and where new improvements are proposed (“Affected Area”). Many conditions placed on landscaping based on the preliminary site plan submittal have been addressed.

Applicable landscaping standards and required additional information on the landscaping plan related to these standards is listed below.

- **Overall formatting comments.** The applicant has provided a plant list and a “Landscape Tabulation Schedule for the Affected Area.” This schedule is based on the relevant sections from Article 10 of the Van Buren Township Zoning Ordinance, as listed below in items 10.103(A)-(G).
- **10.103(A). Frontage Landscaping.** No new frontage landscaping is required as no portion of the site’s frontage which has not recently had landscaping done is part of this project.
- **10.103(B).**
 - **Parking Lot Screening.** The required 10’ of open space buffer surrounding the parking lots along the site’s frontage remains in place.
 - **Interior Parking Lot Landscaping.** 5% of interior parking lot area must be provided as interior parking lot landscaping. Each separate interior landscaped area shall be a minimum of three hundred sixty (360) square feet in area and shall have a minimum width of ten (10) feet. Each interior landscape area shall contain at least one (1) deciduous tree. One (1) deciduous tree shall be planted for each three hundred (300) square feet of interior landscaping. All required interior parking lot landscaping shall be planted within the landscaped islands or in landscaped areas within twenty (20) feet of the perimeter of the parking lot, provided that such landscaping is not also counted toward other landscape or screening requirements. The applicant demonstrates that there is 3,203-sq. ft. of overall interior parking lot landscaping required based on the affected parking lot area being 64,060 square feet. 3,462 square feet of landscaping is provided for this requirement, distributed as 16 trees, including one (1) tree that will be replaced where a tree requires removal by the alternative driveway approach. The interior parking lot landscaping requirement is met.
- **10.103(C). Loading Area Landscaping.** Not applicable.
- **10.103(D). Display Area Buffering.** Not applicable.
- **10.103(E). Greenbelt Buffering.** The Affected Area borders on a residential zoning district. This requires the application of a “Type B” greenbelt. The Type B Greenbelt requires

a 20' wide green space with one tree every 20', or installation of a 6' high masonry wall. The site's type "B" greenbelt perimeter includes area adjacent to the site's existing east parking lot. As part of preliminary site plan approval, the Planning Commission modified the required 20' wide "Type B" greenbelt to reduce it to 4'9" on the east lot line. Required planting volumes based on the Type B greenbelt requirement must be provided. The total length of Type Greenbelt perimeter is listed as 595' on Sheet L-1. This would typically require 30 trees. Based on a modification granted by the Planning Commission during preliminary site plan review, the applicant may use three (3) shrubs in place of every one (1) tree that is required. This requires a total of 90 shrubs. The applicant proposes 98 shrubs. This requirement is met.

- **10.103(F). Office Technology (O-T) District Landscaping.** In the O-T zoning district, perimeter landscaping around a building is required at a rate of one (1) deciduous or evergreen tree per 40', one (1) ornamental tree per 100', and one (1) shrub per 10'. Based on the building perimeter area of 630', 16 deciduous or evergreen trees, seven (7) ornamental trees, and 63 shrubs are required. Sixteen (16) deciduous or evergreen ("large") trees, seven (7) ornamental trees, and 152 shrubs are proposed. The requirements for foundation plantings in the O-T zoning district are met.
- **10.103(G). Open Space Landscaping.** With the final site plan submittal, the applicant has calculated that there is a total affected open space area of 140,168 square feet. At a rate of one (1) required tree per 3,000 square feet of open space, 47 trees are required. 47 trees are proposed.
- **Detention Pond Landscaping** does not require any additions on the schedule of required landscaping. The proposed storm drainage basin has been redesigned since the time of preliminary site plan review based on direction provided by staff which has prompted expanding the existing stormwater detention basin rather than using two (2) basins. Landscaping around the previously proposed second detention basin has been reallocated and moved in a curvilinear manner around the expanded single detention basin.
- **Other comments.** The configuration of the proposed stormwater management system may result in the additional removal of three (3) existing trees along the south end of the Water and Sewer building material yard and parking area. The three (3) trees proposed for removal along the south end of the Water and Sewer building material yard and parking area must be replaced.

Lighting. Lighting on the site will either be existing or relocated existing lighting. If any new light poles are proposed in the Affected Area of the site in the future, the photometric plan must comply with Section 8.105 of the Zoning Ordinance.

Dumpster. There are no proposed changes to the existing dumpster.

Fencing. New security fencing and a gate is proposed to provide only secure access for employee parking at the entrance to the site on Tyler Road. The proposed fence is a 5' tall black aluminum fence. Fencing and gate details have been provided on sheet L-5 and meets the standards of the Van Buren Township Zoning Ordinance. The configuration of the proposed stormwater management system may result in the additional removal of fencing along the south end of the

Water and Sewer building material yard and parking area. Any proposed replacement fencing along the south end of the Water and Sewer Building site is subject to review and approval by the Planning Director.

Architecture and Building Details. A series of flat roofs in this site as designed with a series of tiered features will provide consistency with the architecture of the existing building and will provide some visual interest. Staff supports the proposed building architecture, subject to Planning Commission approval. The Planning Commission previously recommended the approval of the building's architecture. Based on elevation drawings provided, rooftop HVAC equipment will be adequately screened from the neighboring properties and public rights-of-way.

Signs. The applicant indicates that signage will be limited to wall mounted lettering and Township logo as shown in the attached elevations. The Township will file a permit for signage separately from the requested site plan review.

Topographic and Grading Information. The site is relatively flat. In the proposed renovated east parking lot, stormwater drains to central catch basins on the inside of the parking lot. Additional grading changes will occur in the south end of the project area to accommodate the proposed expanded stormwater detention basin.

Other Specific O-T District Requirements. The proposed building's site amenities are consistent with the Premiere Community Amenity Plan adopted by the Township in 2000, per Section 3.114(F) of the Zoning Ordinance.

Miscellaneous Site Plan Clarifications

- The existing fuel station is listed as "to be removed." This will be relocated as part of a separate project. The site's emergency generator will also be relocated.
- According to the applicant, the existing plaza will be demolished and removed from the site. There are no plans at this time to save or repurpose any of the existing amenities. The Township may opt to save some of these items before the demolition begins

Additional **Stormwater Management** comments will be provided by the Township Engineer.

Recommendation

Most preliminary site plan comments have been addressed. I recommend conditional approval of the Plan dated 4-5-2022, subject to the following conditions being addressed prior to the time of a preconstruction meeting with Township staff:

- If the alternative second driveway is used, Wayne County Department of Public Services (WCDPS) approval of the driveway must be provided at the time of construction.
- Any changes to the configuration of the Water and Sewer building material yard and parking area are subject to approval by the Van Buren Township Water Department.
- The three (3) trees proposed for removal along the south end of the Water and Sewer building material yard and parking area must be replaced.

- Any proposed replacement fencing along the south end of the Water and Sewer Building site is subject to review and approval by the Planning Director.
- The final pond design shall be coordinated between the applicant and the Township Department of Public Services to ensure the basin meets all aesthetic, operational, and stormwater design needs.

Thank you for allowing me to assist with this review.

Sincerely,

A handwritten signature in cursive script, appearing to read "Dan Power".

Dan Power

Director of Planning and Economic Development, Van Buren Charter Township

CC: Elizabeth Renaud and Tammy Dohring, Van Buren Township Department of
Community Services
Stephen J. Gedert, AIA – Neumann Smith
Paul Kammer, PE, Van Buren Township Engineering Consultant – Fishbeck
Andrew Lenaghan, Van Buren Township Fire Marshal
Kristopher Schlutow, Van Buren Township Interim Water and Sewer Director
Lawrence Lockett, Van Buren Township Director of Public Services

July 8, 2022

Dan Power
Director of Planning and Economic Development
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Van Buren Township Community Center Addition and Renovation Site Plan Final Site Plan and Engineering Review #2

Dear Director Power:

At the request of Van Buren Township (Township), Fishbeck has completed a second Engineering review for the plans submitted to the Township (dated July 5, 2022) for the Final Site Plan and Engineering review for the proposed Community Center Addition and Renovation. The engineering standards review is conducted utilizing the standards and requirements set forth in the Township Engineering Standards Manual (April 2014), as well as site specific design requirements for all onsite utilities, pavement, and general engineering details.

This project entails renovation and expansion of approximately 35,200 square feet of space to the existing Township Hall located at 46425 Tyler Road between Belleville Road and Quirk Road. Proposed improvements to the building include, a gymnasium with elevated running track, group fitness room, open fitness gym, multipurpose/party rooms, black box theater, youth area, child watch/playroom, a new lobby and entrance vestibule, renovated offices, locker rooms, restrooms, and other support spaces. Improvements to the surrounding site include, proposed parking lot and island reconfiguration to accommodate 400 parking spaces, water system loop around the proposed building, sanitary sewer lead, storm drain system including a mechanical storm treatment structure and a detention basin, and other various landscaping and site plan improvements.

The previous Final Site Plan and Engineering plan submittal was reviewed, but did not receive a Final Site Plan approval recommendation, as outlined in the Fishbeck letter dated May 20, 2022. Responses to the previous comments are outlined within the letter below.

Our review comments are as follows:

General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. All easements, proposed and existing, must be indicated on the plans. A 12-foot water main easement shall be assumed for all existing water main onsite. Proposed water main easements must extend a minimum of 6 feet beyond any hydrants. The applicant shall work with the Township to include any existing or previous public utilities within the easement that may not have previously been recorded.
Response: The applicant has reached out to the Township to include any existing easement information on the plan set and no information was found. In addition to the proposed watermain, the existing watermain will be shown to have a 12-foot-wide easement to be recorded.
2. In general, removal limits of existing bituminous pavement should be revised so no small slivers of existing pavement remain in place. Removal of pavement should be squared off for ease of construction and longevity of the life of pavement.
Response: Removal limits of existing bituminous pavement have been revised to avoid small slivers of existing pavement remaining in place and to square off for ease of construction and longevity of the life of pavement.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicates there are multiple public water mains adjacent to or within the area of development. An existing 16-inch public water main runs east-west along the south side of Tyler Road across the entirety of the Township site. There is a single hydrant and an isolation gate valve in the northeast (NE) quadrant of the site on this main. Additionally, there is an 8-inch public water main that runs north-south along Quirk Road on the west side of the roadway. A separate 8-inch water main is tapped off the Quirk Road main and runs easterly to a hydrant located near the existing fuel tank site. This line also feeds the service lines for the existing Township Hall and Department of Public Works (DPW) Buildings.

Proposed: The applicant's plan proposes an 8-inch public water main loop, tying the 16-inch Tyler Road water main to the 8-inch hydrant extension near the south side of the site. The loop is to be tapped at the east end of the site along Tyler Road and wrap around the new proposed wing of the Community Center at the south, before tying in to the 8-inch extension near the existing fuel tank site. The loop includes a new isolation valve-in-well, a tapping sleeve and valve, two new hydrants and the reinstallation of the existing hydrant at the end of the 8-inch lead. It is assumed that the proposed 6-inch water lead to the building addition is for fire suppression and the domestic service for the addition will be provided by the existing service within the existing building.

Comments:

1. The new water main alignment has eliminated many of the unnecessary bends within the loop, however, has now created some alignments that may cause issues with future maintenance and lends to some awkward offsets and unfavorable pavement replacement. The previous straight-line alignment of the water main was acceptable (and desirable) however the excess bends were the problem. A hybrid of the two designs, similar to the blue line (drawing to the right) should be considered. The applicant shall explore a configuration that limits the number of required fittings and places the proposed water main locations are easily accessible for future repair and maintenance, which also limits the impact to pedestrian access (sidewalk repair).

Response: *Ongoing conversation with Fishbeck have occurred to provide a configuration that limits the number of required fittings and places the proposed watermain locations are easily accessible for future repair and maintenance, which also limits the impact to pedestrian access.*

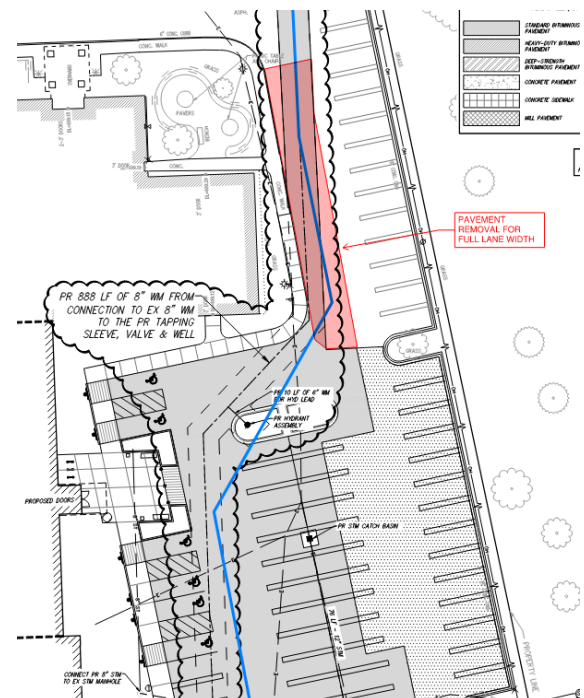
2. Please also see the red outline for limits of pavement replacement to be sure no slivers of pavement remain. Uniform pavement repair/replacement shall be done when possible (See General Note No. 4).

Response: *Plans have been revised per limits of pavement replacement to be sure no slivers of pavement remain.*

3. Final say on all hydrant coverage, locations, and accessibility will be made by the Township Fire Marshall. Minimum hydrant spacing in relation to the Fire Department Connection (FDC) location will be determined by the Township Fire Marshall. Hydrant located at the southeast (SE) corner of the building is too close to the outside wall. Hydrants should be located a minimum of 40 feet away, unless otherwise approved by the Fire Marshall.

Response: *Noted and plans have been reviewed and approved by the Township Fire Marshall.*

4. Gate Valve 2 should not be located in the side slope of the proposed swale, please revise swale layout. It is also advised the construction details for the proposed concrete spillway be indicated. It is also recommended



that the inlet be changed to a catch basin rather than an end section due to the fact you have flow coming from opposing directions. Riprap shall be provided to protect spillway from erosion.

Response: *Gate Valve 2 has been relocated out of the side slope of the proposed swale. Details for the proposed concrete spillway have been indicated on the paving and layout plans. The existing inlet has not been changed to a catch basin, but riprap has been provided. A catch basin did not seem feasible with the existing pavement grade and potential rim.*

5. Final Water Main plans must be submitted to EGLE for approval of all public water main design. Upon acceptance of the Engineering Plans, the applicant will be responsible for submitting three sets of full size paper copies of the plans, in conformance with the requirements from EGLE, as well as the EGLE Permit Application for Drinking Water Systems.

Sanitary Sewer

Existing: The Township's GIS records indicates there is an 8-inch Polyvinyl Chloride (PVC) truss pipe that acts as the public sanitary sewer outlet. The existing Township Hall and DPW service lines tap the upstream manhole with an 8-inch and 4-inch service line, respectively.

Proposed: The applicant's plan indicates a 6-inch sanitary building lead from the proposed building expansion. The 6-inch line heads westerly from the building extension to a new sanitary manhole located on top of the existing 4-inch service line from the DPW building. The new manhole is the upstream limit of a new 8-inch sanitary main that runs westerly until it intersects with the existing 8-inch outlet pipe from Township Hall upstream of the existing tie-in to the sanitary main along Quirk Road. The proposed layout allows for minimum slopes to be met in the 6-inch (>1.0%) and 8-inch (>0.4%) lines.

Comments:

1. The applicant shall add a note to the sanitary sewer proposed layout to have the Contractor verify the location of the existing 4-inch and 8 inch mains prior to determining final layout (similar to the water tap notes).

Storm Sewer

Existing: The existing Township Hall site collects runoff via a combination of spillways, culverts, and enclosed sewers. The system eventually outlets to an existing lift station.

Proposed: The applicant's plan is proposing to capture stormwater runoff via a system of inlets and an enclosed storm sewer system. The proposed system is designed to connect to the existing storm sewer system upstream from the proposed mechanical treatment structure. The plans currently show no weir structure to meter the flow of runoff into the existing pump station.

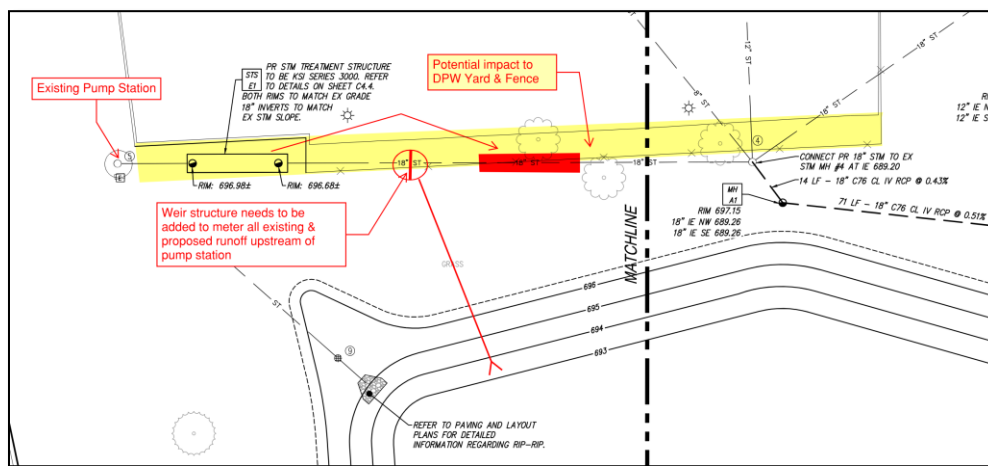
Township Discussion: Prior to submittal of the updated plans, the Township and the applicant have had several conversations about consolidating the overall stormwater management for both the proposed and existing system. Information on the existing pump station did not determine a metered value that could be used to determine if runoff was being detained the proper amount of time, thus it was determined that the entire contributing system would need to be accounted for and detained per Township Standards. The applicant would be responsible for detaining all flow upstream of the pump station for the required time, per the Township standards. The assumption was made that the existing swale/detention ponds between the soccer fields were functional and the flow from anything south of the splash pad would not be considered. Based on this criteria, the applicant has proposed a single, larger pond to accommodate all the incoming flow. The pond will be a dry pond, which is acceptable by the Township.

Comments:

1. While combining the runoff from the existing and proposed systems, the applicant did not include a weir structure to meter flow, but instead assumed that the existing pump station was the metering device. The

Township does not have information on the flow capacity of the pump station and will require all metering to be done upstream of the pump station. The Township will be replacing the pump station in a future project and wants excess flow to be routed to the new detention pond. The applicant shall include the design of a weir structure with the proper allowable discharge rate downstream of the proposed mechanical structure.

2. Calculations for the detention pond and the weir structure must be included when the structure is included. The applicant shall make sure the design water level of the detention basin is a minimum of at least 1-foot below the rim elevation of any storm water structure upstream of the detention basin. If this cannot be accomplished, the applicant must have justification and approval from the Township.
3. The plans must include a detention basin section view, showing overall detention volume elevation, freeboard elevation and all inlet and outlet elevations.
4. When the updated configuration is included, the applicant must also determine the level of disturbance to the DPW yard. Removal and replacement of the fence will be required. Design parameters for the fence and location will be determined by the Township.



Paving and Grading

1. Is the intention of the proposed curb on the east side of the parking lot to be poured against the existing hot mix asphalt (HMA) parking lot? The preference would be to saw cut an excess of 2 feet so the curb and gutter can be poured against a form, rather than an existing pavement edge.

Response: *The intention of the proposed curb on the east side of the parking lot is to be poured once the existing pavement is sawcut. Please refer to demolition plans for existing pavement to be sawcut and removed.*

Soil Erosion and Sedimentation Control (SESC)

1. The SESC plan provided appears to be in accordance with the *Township Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements. The SESC plan must also be in accordance with Wayne County SESC standards. A permit must be acquired from the Wayne County SESC County Enforcing Agency.

<https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx>

Response: *Plans will be submitted to Wayne County SESC County Enforcing Agency to acquire a permit prior to construction activity beginning.*

2. What is the intended construction access/haul route? The plan must indicate a mud mat or gravel drive prior to entering/exiting existing roads.

Recommendation

Fishbeck has reviewed the engineering aspects of the Final Site Plan for the Community Center project. At this time, we recommend the Planning Commission grant Final Site Plan Approval, based on the engineering aspects of the project, subject to the comments and conditions in the above letter being met. The stormwater management and detention pond design is the main aspect of design that will need to be worked out with the Township and Engineer prior to getting final construction approval. It is not anticipated that any of the comments or conditions listed above will impact the final layout or site design when finalized, sans the fence and impact to the existing DPW lot. The applicant will be required to submit a final Issued for Construction plan set for approval by the Township and Engineering prior to moving forward to the PreConstruction phase of the project.

If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE

Senior Civil Engineer

By email

Copy: Kris Schlutow – Township
Vidya Krishnan– McKenna
Dave Potter, PE – Fishbeck

Andrew Lenaghan
Deputy Fire Chief/Fire Marshal
O: 734-699-8900 ext 9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp., MI 48111



April 26, 2022

Director of Building and Planning
46425 Tyler Road
Van Buren Township, MI 48111

Charter Township of Van Buren
Community Center
46425 Tyler Road
Van Buren Township, Michigan 48111

A set of plans were received February 18, 2022 for the Van Buren Township Community Center. This Facility was reviewed for compliance with the Van Buren Township adopted fire code NFPA 1 2018. Fire Department access, and water supply, were the focus of this review. **The plans have incorrectly identified the Van Buren Township Fire Code as IFC 2015, future submittals will need to reference NFPA 1 2018.**

The site plan as submitted is approved with the following exceptions.

Fire Department Access

~~The parking lot on the eastern side of the complex that leads to the baseball diamond has a dead end that exceeds 150 feet.~~

~~Dead-end fire department access roads in excess of 150 feet in length shall be provided with approved provisions for the fire apparatus to turn around~~ **NFPA 1 2018 18.2.3.5.4**

There is no need at this time to place a turn-around at the end of the lot. The parking lot does not meet the provisions of an access road. NFPA 1 2018 18.2.3.1.3* (6)

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

Water Supply

~~The required fire flow and spacing of the fire hydrants for the type of construction and square footage of the building complies with the fire code. However, the Fire Department Connection (FDC) on sheet C3.2 is obstructed by vehicle parking. The FDC needs to be moved to the southeast corner of the building by the hydrant, or 1 parking space in front of the FDC will need to be eliminated and marked accordingly.~~

The FDC has been relocated to the South East corner of the building.

It is further understood that, Building, Fire Suppression, and Fire Alarm plans will be submitted at a later date.

Two-Way Radio Communication Enhancement Systems are required for all new construction, unless after finished construction the occupant can prove through a signal test with the AHJ that it is not needed.

In all new and **existing buildings**, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ. **NFPA 72 24.5.2.2.3**

Andrew Lenaghan
Deputy Chief/Fire Marshal
Van Buren Township



04/12/2022

TO: Director Dan Powers

FROM: Chief Jason Wright

SUBJECT: **Secure Township Employee Parking**

Director Powers,

With our upcoming demolition, renovation and the addition of our new future Community Center, we evaluated the traffic flow patterns, parking and overall parking lot security for all Township employees. The police department's employee parking lot and all other Township employee parking lots are currently open to the public, including the area where we park and store our on-duty and off-duty patrol cars, DPW trucks and equipment.

While I agree that the Township needs to be open to the public and inviting, there are areas that must be designated for township employees only to promote a safe and secure environment. I have recommended that a fence for security purposes be erected around the police department's employee parking lot along with a mechanical gate across the Quirk Road parking lot entrance/exit. This will provide a visual deterrent as well as a proper barrier to stop unnecessary general public access to where all township employees park their personal vehicles. It will also provide better security for our marked patrol vehicles, DPW trucks and equipment that is stored and utilized within this area.

This practice is common at many municipal facilities, especially those that are law enforcement. If you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

Jason Wright

No comments from the audience or remote viewers.

Motion Jahr, Budd second to grant the applicant, Sam Patel on behalf of JSB Builders, LLC final site plan approval to construct a 16,280 square foot multi-tenant light industrial building with truck well and related site improvements at the site location to the south of 6032 Schooner Drive, parcel number 83-018-99-0003-708, based on the analysis and subject to the comments in the McKenna Associates review letter dated 2-9-22, Fishbeck Associates review letter dated 2-22-22, Fire Department review letter dated 2-16-22 and Director Power's staff memo dated 3-4-22 with the added condition that a performance bond shall be attached to the landscaping requirement.

Roll Call:

Yeas: Barr, Budd, Jahr and Kelley.

Nays: None.

Excused: Atchinson, Cullin and Garrett.

Motion Carried. (Letters Attached)

ITEM #3: 22-008 – VAN BUREN CHARTER TOWNSHIP COMMUNITY CENTER RENOVATION AND ADDITION – PRELIMINARY SITE PLAN.

THE APPLICANT, STEPHEN J. GEDERT, ON BEHALF OF OWNER VAN BUREN CHARTER TOWNSHIP, HAS APPLIED FOR ROUGHLY 13,446 SQUARE FEET OF RENOVATIONS AND A 16,411 SQUARE FOOT GYMNASIUM ADDITION ADJACENT TO THE EXISTING MUNICIPAL BUILDING, RENOVATIONS TO THE EXISTING BUILDING AND THE CONSTRUCTION OF ASSOCIATED PAVEMENT AND UTILITIES.

46425 TYLER ROAD (PARCEL ID NUMBER 83-061-99-0006-000). THE SITE IS LOCATED EAST OF QUIRK ROAD AND SOUTH OF TYLER ROAD.

Director Power presented his staff review letter dated 3-7-22. The site plan review is for a proposed 13,446 square foot renovation and building addition totaling 21,763 square feet (16,411 square foot first floor addition and 5,352 square foot mezzanine addition) for the purpose of providing a Community Center and site upgrades at the Van Buren Township Hall administrative campus. In addition to extensive programming (indoor and outdoor activities), the improvements will include a performance plaza, a fitness patio, additional parking, walkways and landscaping. The site is zoned OT, Office Technology and the lot is approximately 14.5 acres in area. Director Power displayed color renderings of the building addition and parking area, the exterior façade consists of metal panel, brick and glass. The items included in Director Power's staff review letter are minor in nature and can be addressed with final site plan adjustments as the project proceeds through engineering and final site plan review and through the creation of "Issued for Construction" drawings. Director Power recommends conditional approval of the plan dated 2-25-22, subject to the following conditions:

- A written statement regarding a public safety need should be provided to justify the closure of access between the site's visitor and employee (public safety and general municipal employee) parking must be provided.

- I recommend the Planning Commission to approve the site's access configuration based on the presented site programming data and on the condition of receiving this written public safety justification.
- A designated snow storage area must be provided in coordination with the Township Department of Building and Grounds.
- The Planning Commission should modify the greenbelt along the east lot line from 20' to approximately 4' 9" as noted.
- The length of Type B perimeter in the Affected Area must be listed.
- The Planning Commission should modify the standard requirement of Section 10.103 (E)(b) to enable three shrubs per tree in place of trees along the required Type B greenbelt perimeter.
- The required number of deciduous or evergreen ("large") trees and ornamental trees related to building foundation landscaping must be reversed to show sixteen (16) required evergreen and deciduous trees and seven (7) ornamental trees and the species must be reflected in the final plant list.
- Staff should be enabled to work with the applicant to provide appropriate landscaping credit for trees which do not meet the minimum standards for plant materials.
- A detail of the proposed gate must be shown.
- I recommend that the Planning Commission should review the plans for consistency with the requirements of Section 3.114(F) of the Van Buren Township Zoning Ordinance as it pertains to building architecture and approve the plans as presented.

David Potter of Fishbeck Associates presented his review letter dated 3-3-22, highlighting Storm Sewer comment number 2:

- Calculations for the design of the storm sewer system must be provided in accordance with the Township Design Standard Manual as part of the Engineering Plan. The maximum allowable discharge in the Township for detention basins is 0.1 cubic feet per second (cfs)/acre.

Fishbeck Associates recommends the applicant move forward in the Township approval process, subject to the applicant determining the proper course of action for the comments in the review letter.

Director Power presented the Fire Department review letter dated 3-1-22. The parking lot on the eastern side of the complex that leads to the baseball diamond has a dead end that exceeds 150 feet. Dead-end fire department access roads in excess of 150 feet in length shall be provided with approved provisions for the fire apparatus to turn around. Director Power informed that the Fire Chief and Fire Marshal are willing to modify.

Applicant, Stephen Gedert provided a PowerPoint presentation providing an overview of the design of the Community Center. Mr. Gedert displayed the overall site plan overlaid on a Google map to display the area of the renovation with the new gymnasium and fitness addition. On the outside there will be a performance plaza for outdoor concerts, movies and other events. The applicant is proposing an outdoor fitness patio to be used by staff for outdoor yoga and exercise classes. A new entrance for the Community Center has been designed for the east side of the

building. The parking area and side walk will be extended to Quirk Park. The Police and Employee parking lot area is closed off to the public, with access along Quirk Road, a 5 foot high decorative fence with a security gate entrance to the parking area. The renovated area of the building will have a new lobby, control desk, community center offices and Black Box Theater. Across from the administrative offices are restrooms and locker rooms, a multi-purpose party room and renovated senior area. Also included in the renovation/addition are new seating areas, a play room, an additional multi-purpose party room, fitness area/exercise room, new gymnasium with a high school sized basketball court or 2 junior high sized courts with pickle ball and volleyball layouts. The gymnasium will have a stair access to the mezzanine floor which has a walking track. Mr. Gedert displayed color renderings of the exterior of the building, a sample of the brick for the exterior façade and was available to answer any questions.

Commissioners had the following questions and comments:

- Very nice-looking addition to the building. With regard to Section 3.114(F) flat roofs being discouraged, since this is an addition to the building with an existing flat roof, feel it is an acceptable look.
- Commissioner thanked Director Renaud, Executive Assistant Dohring and the architects for their hard work.
- What is the Black Box Theater? It is a theater room that can be used for any type of performance, it does not have a fixed stage and can hold seating for up to 150 people. The room will have bleacher type seating that comes out from the wall.
- In reducing the greenbelt buffering, do we have the ability to make the modification if the intent is keeping the buffering with screening? Yes.
- Commissioner agrees with screening, the flat roof and loves the design of the building.
- Commissioner inquired about the written statement for public safety. Director Power informed that if the Planning Commission needs more information, they can reach out to the department.
- Commissioners agreed to the fence around the public safety and employee parking areas.

No comments from the audience or remote viewers.

Motion Jahr, Barr second to grant the applicant, Stephen J. Gedert on behalf of owner Van Buren Charter Township preliminary site plan approval for 13,446 square feet of renovations and a 16,411 square foot gymnasium addition adjacent to the existing municipal building, renovations to the existing building and the construction of associated pavements and utilities, based on the analysis and subject to the conditions in the Fishbeck Associates review letter dated 3-3-22, Fire Department review letter dated 3-1-22 and Director Power's revised staff review letter dated 3-7-22.

Roll Call:

Yeas: Budd, Barr, Jahr and Kelley.

Nays: None.

Excused: Atchinson, Cullin and Garrett.

Motion Carried. (Letters Attached)



MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Discussion of Zoning Ordinance Text Amendments: Gasoline Filling and Service Stations
DATE: July 8, 2022

The Planning Commission will consider Proposed amendments to the following sections of the Van Buren Charter Township Zoning Ordinance:

1. Section 3.111. C-1, General Business District, sub-section (B) Permitted Uses; move gasoline filling stations to sub-section (C) Special Land Uses.
2. Section 3.112. C-2, Extensive Highway Business District, making change to C-1 district will automatically move gasoline filling stations from sub-section (B) Permitted Uses to sub-section (C) Special Land Uses.
3. Section 3.113. FS, Freeway Service District, sub-section (B) Permitted Uses; move gasoline filling stations and gasoline service stations to sub-section (C) Special Land Uses.
4. Create new Section 5.144. Gasoline or Automobile Filling Stations under Article 5. Development Standards for Specific Uses.

The Planning Commission is requested to hold a public hearing on these proposed Zoning Ordinance text amendments and consider recommending their approval to the Van Buren Township Board of Trustees.

For your reference, I have included the latest draft version of the proposed amendments and a copy of the minutes of the last discussion on this topic which was held at the regular Planning Commission meeting on June 8th, 2022.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written over a light blue horizontal line.

Dan Power, AICP
Planning and Economic Development Director
Charter Township of Van Buren Public Services Department



May 24, 2022

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: Automobile filling stations

Dear Commissioners:

The Planning Commission at its meeting held on April 27, 2022 considered a zoning text amendment to re-classify gasoline filling stations in the Township Zoning Ordinance.

The ordinance currently allows the use as a principal permitted use in the C-1 (Local Business), C-2 (Extensive Highway Business) and FS (Freeway service) districts. There are no specific site design standards governing the use either. We reviewed zoning ordinances in other municipalities to see how the use is classified. The municipalities chosen were based on their location with a major arterial, freeway or trunkline traversing through it such as I-275, I-94, I-96, US-24, US-23, US-12 etc., which are generally seen with a lot of filling stations. Based on our review, Van Buren Township is the only municipality that permits gas stations as a principal use, with the exception in the City of Novi. Gasoline fillings stations are considered as a use that requires placement consideration because of concerns related to access, circulation, fire hazard, odor, hours of operation etc.

We presented a text amendment which also included a reference to EV (Electric Vehicle) charging stations. The Planning Commission expressed concern about handicap accessibility being affected, pedestrian walkways being blocked, long duration parking at these spots and the possibility of a row of EV charging stations on a site and directed us to look into the subject. Upon further research we believe the EV charging stations may need an ordinance to regulate them separately from gasoline filling stations. We have collected some information and hope to present it as a separate text amendment in the future.

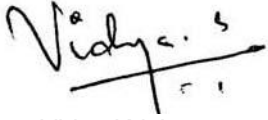
At this time the amendment is limited to gasoline filling stations only. Following are the proposed changes:

ZONING ORDINANCE CHANGES

1. §3.111. C-1, General Business District, sub-section (B) Permitted Uses; move *gasoline filling stations* to sub-section (C) Special Land Uses.
2. §3.111. C-2, Extensive Highway Business District, making change to C-1 district will automatically move gasoline filling stations from sub-section (B) Permitted Uses to sub-section (C) Special Land Uses.
3. §3.113. FS, Freeway Service District, sub-section (B) Permitted Uses; move *gasoline filling stations* to sub-section (C) Special Land Uses.
4. Create new Section 5.144. Gasoline or Automobile Filling Stations under Article 5. Development Standards for Specific Uses.

The item is on the Planning Commission's agenda for scheduling of a public hearing at this time, prior to making a recommendation to Township Board of Trustees. We will be present at the Planning Commission meeting to answer any questions and concerns.

Respectfully,
McKENNA

A handwritten signature in black ink, appearing to read "Vidya Krishnan", with a horizontal line drawn across the middle of the signature.

Vidya Krishnan
Senior Principal Planner

Cc: Dan Power, Director of Planning and Economic Development

Section 5.144 Gasoline or Automobile Filling Stations

- (1) **Minimum lot area and width:** There is no minimum lot area and width requirement; however, sites are required to comply with all setback, landscaping greenbelt and parking requirements as established in the Ordinance.
- (2) **Front yard setback** measured from any right-of-way line:
Canopy: 40 feet.
Pump and/or pump island: 50 feet.
Building: 85 feet.
- (3) **Side or rear yard setback:**
Canopy: 30 feet.
Pump and/or pump island: 40 feet.
Building: 30 feet.
- (4) **Side or rear yard setback abutting residential zoned property:**
Canopy: 40 feet.
Pump and/or pump island: 50 feet.
Building: 40 feet.
- (5) **Ingress and egress.** The following requirements shall be applicable for ingress and egress:
 - (a) Ingress and egress drives shall be a minimum of 30 feet and a maximum of 36 feet in width. Curb radii shall be adequate to accommodate the turning radii of delivery trucks. There shall be a clear unobstructed driveway area provided to the loading area which is not in conflict with other vehicular patterns on the site.
 - (b) No more than one such drive or curb opening shall be permitted for every 75 feet of frontage (or fraction thereof) along any street. The nearest edge of any such drive shall be located at least 25 feet from the nearest point of any property zoned or used for residential purposes.
 - (c) Ingress and egress for drives shall be designated and located in a manner that does not create a safety hazard or traffic nuisance because of its location in relation to other ingress and egress drives, its location in relation to the traffic generated by other buildings or uses, its location near a vehicular or pedestrian entrances or crossings, or similar concerns.
 - (d) Driveway design and placement must be in harmony with internal circulation and parking design such that the entrance can absorb the maximum rate of inbound traffic during a normal peak traffic period.
 - (e) There must be sufficient on-site storage to accommodate at least two queued vehicles waiting to enter or exit without using a portion of the public right-of-way obstructing existing vehicle sight distance, or otherwise interfering with street traffic.
 - (f) Provisions for circulation between adjacent parcels are required when possible through coordinated or joint parking systems.

- (g) Driveways shall be designed to accommodate all vehicle types having occasion to enter and exit the site, including delivery and refueling vehicles. There shall be clear delineation and/or separation, where appropriate, of entry and exit lanes within driveways.
- (h) Loading and unloading and refueling activities shall not hinder vehicle ingress or egress.
- (6) **Driveway spacing.** Driveway spacing will be determined as a function of operating speeds of the adjacent public road. Spacing will be determined according to the following minimum standards or to standards adopted by the appropriate governing road jurisdiction, whichever is more stringent:

Speed Limits (mph)	Minimum Spacing (feet)
25	105
30	125
35	150
40	185
45	230

Spacing is based on average vehicle acceleration and deceleration rates and is considered necessary to maintain safe traffic operation. Spacing will be measured from the midpoint of each driveway. In the event that a particular parcel or parcels lack sufficient road frontage to maintain adequate spacing, the applicant shall have one of two options:

- (a) A modification from minimum spacing can be sought from the planning commission, but in no case can the variance be greater than that which is necessary to provide safe and efficient access to the site.
- (b) The adjacent landowners may agree to establish a common driveway. In such cases, the driveway midpoint shall be the property line between the two parcels and shall meet standard specifications. The township may require maintenance agreements between owners of a common driveway to cover such issues as snow plowing, resurfacing liability, etc.
- (7) **Number of driveways:** A maximum of one two-way driveway opening or a pair of one-way driveway openings shall be permitted to a particular site from each adjacent public road. Based on the recommendation of the appropriate governing road jurisdiction and/or the township engineer, that an additional driveway is in the interest of good traffic operation, the planning commission may permit one additional driveway entrance along a continuous site with frontage in excess of 300 feet or two additional driveway entrances along a continuous site with frontage in excess of 600 feet. Common driveways shall be considered to be one driveway.
- (8) **Pumps.** All gasoline pumps shall be arranged so that motor vehicles do not park on or extend over abutting landscaped areas, sidewalks, streets, buildings, or adjoining property while being served.

- (9) **Off-street parking and loading.** Required off-street parking for automobile filling multiuse stations offering additional services shall be provided in accordance with the standards set forth in section 9.102 and shall be computed on the basis of each separate use as set forth in the schedule of off-street parking.
- (10) **Canopy structure.** Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building and the overlay district in which it is located in, if any. Support columns of any proposed canopy structure shall be covered with brick to match the principal building. Required fire protection devices under the canopy shall be architecturally screened so that the tanks are not directly visible from the street. The screens shall be compatible with the design and color of the canopy.
- (12) **Fueling operations.** Fueling operations designed to accommodate tractor trailer trucks shall be prohibited except on sites adjacent to an interstate freeway.
- (13) **Pedestrian circulation.**
- (a) Automobile filling/mixed use stations shall be designed in a manner which promotes pedestrian and vehicular safety.
 - (b) The parking and circulation system within each development shall accommodate the safe movement of vehicles, bicycles, pedestrians and refueling activities throughout the proposed development and to and from surrounding areas in a safe and convenient manner.
 - (c) Pedestrian walkway patterns shall be considered as an integral component of site design and shall be located to connect areas or points of pedestrian origin and destination. Where it is necessary for the pedestrian access to cross drive aisles, crossings shall emphasize and place priority on pedestrian access and safety. The pedestrian crossings must be well-marked and clearly visible, using pavement treatments, signs, striping, signals, and lighting.
 - (d) Clear identification and delineation between the drive-thru facility and parking lot shall be provided. Drive-thru facilities shall be designed in a manner which promotes pedestrian and vehicular safety, and do not interfere with access to parking and maneuvering lanes.
- (14) **Signs.** All signage installed on the site, including the canopy and pumps shall comply with the regulations set forth in Article 11 of this ordinance.

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Charter Township of Van Buren Planning Commission will hold a public hearing on **July 13, 2022 at 5:30 p.m.** The meeting will be held in person at Van Buren Township Hall, located at **46425 Tyler Road, Van Buren Township, MI 48111**, in the Board Room. Members of the public may additionally participate in the meeting electronically per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022. Instructions for attending the meeting electronically are provided in this notice. The Planning Commission will consider the following request:

Zoning Ordinance Text Amendments: Proposed amendments to the following sections of the Van Buren Charter Township Zoning Ordinance:

1. Section 3.111. C-1, General Business District, sub-section (B) Permitted Uses; move gasoline filling stations to sub-section (C) Special Land Uses.
2. Section 3.112. C-2, Extensive Highway Business District, making change to C-1 district will automatically move gasoline filling stations from sub-section (B) Permitted Uses to sub-section (C) Special Land Uses.
3. Section 3.113. FS, Freeway Service District, sub-section (B) Permitted Uses; move gasoline filling stations and gasoline service stations to sub-section (C) Special Land Uses.
4. Create new Section 5.144. Gasoline or Automobile Filling Stations under Article 5. Development Standards for Specific Uses.

Members of the public may access the agenda materials via the Township website – www.vanburen-mi.org beginning **July 8, 2022**. On the meeting website, members of the public will also gain access to **means of participating in the electronic meeting. On the agenda for the meeting**, a unique Zoom weblink and dial-in phone number with a meeting ID for meeting videoconference or teleconference access will be provided. The meeting will be available to view live on the Van Buren Township YouTube Channel which can be reached from the live meeting link located on the Van Buren Township website home page (www.vanburen-mi.org). Closed captioning will be available after YouTube fully renders meeting video.

A complete **procedure for public comment by electronic means** is provided on a guide which is accessible on the Van Buren Township website (www.vanburen-mi.org). Participants may also choose to submit written comments that will be read into record during public comment by the Chairperson. Submit any written comments or questions about the meeting via e-mail to dpower@vanburen-mi.org.

To comply with the Americans with Disabilities Act (ADA), any citizen requesting accommodation to attend a meeting, and/or to obtain this notice in alternate formats, please contact the Clerk's Office at 734.699.8900 extension 9205.

Posted: June 20, 2022

Published: June 23, 2022

ITEM #4: DISCUSSION: GASOLINE FILLING STATION AND GASOLINE SERVICE STATION ZONING ORDINANCE TEXT AMENDMENT.

Director Power gave a brief presentation. The Planning Consultant has provided draft Zoning Ordinance amendment language based on the feedback received at the April 27, 2022 meeting. Director Power deferred the presentation to Vidya Krishnan of McKenna Associates.

Vidya Krishnan of McKenna Associates presented her letter dated 5-24-22. McKenna Associates presented a text amendment which included a reference to EV (Electric Vehicle) charging stations. The Planning Commission expressed concern about handicap accessibility being affected, pedestrian walkways being blocked, long duration of parking at these spots and the possibility of a row of EV charging stations on a site and directed McKenna Associates to look into the subject further. Upon further research, EV charging stations may need an ordinance to regulate them separately from gasoline filling stations. McKenna has collected information and hopes to present it as a separate text amendment in the future. At this time the amendment is limited to gasoline filling stations only and the following are the proposed changes:

1. §3.111. C-1, General Business District, sub-section (B) Permitted Uses; move gasoline filling stations to sub-section (C) Special Land Uses.
2. §3.111. C-2, Extensive Highway Business District, making change to C-1 district will automatically move gasoline filling stations from sub-section (B) Permitted Uses to sub-section (C) Special Land Uses.
3. §3.111. FS, Freeway Service District, sub-section (B) Permitted Uses; move gasoline filling stations to subsection (C) Special Land Uses.
4. New Section 5.144. Gasoline or Automobile Filling Stations under Article 5. Development Standards for Specific Uses.

The item is on the Planning Commission's agenda to schedule a public hearing, prior to making a recommendation to the Township Board of Trustees.

Commissioners agreed they are ready to schedule the public hearing.

No comments from the audience or remote viewers.

Motion Jahr, Cullin second schedule the public hearing for the Gasoline Filling and Gasoline Service Station Zoning Ordinance text amendment.

Roll Call:

Yeas: Barr, Culling, Jahr and Kelley.

Nays: None.

Excused: Budd and Atchinson.

Motion Carried.