

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, September 27, 2023 – 5:30 PM
Van Buren Township Hall
46425 Tyler Road**

Per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022, the following Zoom link is provided to enable remote participation in a meeting of the public body by the general public:

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/83606388766>

Or One tap mobile :

+13092053325,,83606388766# US

+13126266799,,83606388766# US (Chicago)

Or Telephone: Dial: +1 309 205 3325 US

Webinar ID: 836 0638 8766

International numbers available: <https://us06web.zoom.us/j/83606388766>

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES: Approval of minutes from the regular meeting of September 13, 2023

CORRESPONDENCE / ANNOUNCEMENTS:

PUBLIC HEARING:

ITEM #1: **Zoning Ordinance Text Amendment: Child Care Uses.**

Description: Proposed amendments that will grant the Board of Trustees the ability to modify minimum required separation requirements between licensed group day care homes upon recommendation from the Planning Commission, based upon certain findings regarding traffic management, and will define the measurement used for minimum required separation distances. The amendments will include updates to Section 5.111 of the Van Buren Township Zoning Ordinance (Development Standards for Specific Uses - Day Care or Child Care, Group Home).

Action items: A. Open public hearing.
 B. Public comment.
 C. Close public hearing.

ITEM # 2: Case 23-031. Crossroads Distribution Center North 11, LLC

Title: A request by Crossroads Distribution Center North 11, LLC to construct a Distribution Center. This Distribution Center consists of one (1) building with a ground area of approximately 630,417 square feet of space and affiliated site improvements, along with grading and earthwork on property surrounding the building site. The total affected area will be approximately 175.0 acres. The property is zoned M-T – Industrial Transportation District

Location: The distribution center and auxiliary improvements will be constructed on the south side of Van Born Road, west of Haggerty Road, including parcel ID 83-005-99-0009-701, 42065 Van Born Road (parcel ID 83-005-99-0010-000), 42033 (parcel ID 83-005-99-0007-000), 41941 Van Born Road (parcel ID 83-005-99-0006-000), 41861 Van Born Road (parcel ID 83-005-99-0005-000) and 42333 Van Born Road (parcel ID 83-005-99-0009-002).

Action items:

- A. Open public hearing.
- B. Public comment.
- C. Close public hearing.

OLD BUSINESS:

NEW BUSINESS:

ITEM #1: Zoning Ordinance Text Amendment: Child Care Uses.

Description: Proposed amendments that will grant the Board of Trustees the ability to modify minimum required separation requirements between licensed group day care homes upon recommendation from the Planning Commission, based upon certain findings regarding traffic management, and will define the measurement used for minimum required separation distances. The amendments will include updates to Section 5.111 of the Van Buren Township Zoning Ordinance (Development Standards for Specific Uses - Day Care or Child Care, Group Home).

Action items:

- A. Staff presentation
- B. Planning Commission discussion
- C. Planning Commission considers recommendation of draft text amendment for adoption by the Board of Trustees.

ITEM # 2: Case 23-031. Crossroads Distribution Center North 11, LLC – Special Land Use

Title: A request by Crossroads Distribution Center North 11, LLC to construct a Distribution Center. This Distribution Center consists of one (1) building with a ground area of approximately 630,417 square feet of space and affiliated site improvements, along with grading and earthwork on property surrounding the building site. The total affected area will be approximately 175.0 acres. The property is zoned M-T – Industrial Transportation District. Distribution Centers

require special land use approval in the M-T – Industrial Transportation Zoning District.

Location: The distribution center and auxiliary improvements will be constructed on the south side of Van Born Road, west of Haggerty Road, including parcel ID 83-005-99-0009-701, 42065 Van Born Road (parcel ID 83-005-99-0010-000), 42033 (parcel ID 83-005-99-0007-000), 41941 Van Born Road (parcel ID 83-005-99-0006-000), 41861 Van Born Road (parcel ID 83-005-99-0005-000) and 42333 Van Born Road (parcel ID 83-005-99-0009-002).

Action Items:

- A. Presentation by the Township staff.
- B. Presentation by the applicant.
- C. Planning Commission discussion.
- D. Public Comment.
- E. Planning Commission recommends approval of the requested special land use by the Township Board of Trustees.

ITEM # 3: Case 23-031. Crossroads Distribution Center North 11, LLC – Preliminary Site Plan

Title: A request by Crossroads Distribution Center North 11, LLC to construct a Distribution Center. This Distribution Center consists of one (1) building with a ground area of approximately 630,417 square feet of space and affiliated site improvements, along with grading and earthwork on property surrounding the building site. The total affected area will be approximately 175.0 acres. The property is zoned M-T – Industrial Transportation District.

Location: The distribution center and auxiliary improvements will be constructed on the south side of Van Born Road, west of Haggerty Road, including parcel ID 83-005-99-0009-701, 42065 Van Born Road (parcel ID 83-005-99-0010-000), 42033 (parcel ID 83-005-99-0007-000), 41941 Van Born Road (parcel ID 83-005-99-0006-000), 41861 Van Born Road (parcel ID 83-005-99-0005-000) and 42333 Van Born Road (parcel ID 83-005-99-0009-002). The grading and earthwork will also involve parcels 83-005-99-0004-000, 83-005-99-0008-000, 83-005-01-0019-000, 83-005-01-0020-300, 83-005-01-0021-300, -0023-300, -0024-300, -0025-300, -0026-300, -0027-300, -0028-300, -0029-300, -0030-300, -0031-300, -0032-300, -0033-300, and -0034-300.

Action Items:

- A. Presentation by the Township staff.
- B. Presentation by the applicant.
- C. Planning Commission discussion.
- D. Public Comment.
- E. Planning Commission considers approval of preliminary site plan.

ITEM # 4: Case 19-037. Hampton Manor Senior Housing Project – Site Plan Amendment.

Title: A request by the Applicant, Van Buren Investors Land Holdings LLC, for an amendment to the site plan and architectural plans for a proposed senior housing facility called Hampton Manor with assisted living and memory care units. .

Location: The property is located on the south side of Tyler Road, between Morton Taylor and Haggerty Road and is zoned C (Local Business) District, at 43345 Tyler Road (parcel ID number 83 054 99 0012 701). The parcel is 7.11 acres in size.

ACTION ITEMS:

- A. Presentation by the Township staff.
- B. Presentation by the applicant.
- C. Planning Commission discussion.
- D. Public Comment.
- E. Planning Commission considers approval of amended site and architectural plans.

GENERAL DISCUSSION AND UPDATES

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
September 13, 2023
MINUTES - DRAFT**

Chairperson Cullin called the meeting to order at 5:31 p.m.

ROLL CALL:

Present: Budd, Grant, Atchinson, Pahle and Cullin.

Excused: Creal and Jahr.

Staff: Director Power and Secretary Harman.

Planning Representatives: None.

Applicant(s) in Attendance: Case 22-041 – 42482 North Cumberland Drive: Lawrence Duty, Case 23-035 – Gilbert Homes Walden Woods: Brad Gilbert and Case #23-040 Gilbert Homes Belle Pointe Estates: Brad Gilbert.

Audience: Six (6).

APPROVAL OF AGENDA:

Motion Grant, Budd second to approve the agenda of September 13, 2023 as presented. **Motion Carried.**

APPROVAL OF MINUTES:

Motion Budd, Grant second to approve the regular meeting minutes of August 23, 2023 as presented. **Motion Carried.**

NEW BUSINESS:

ITEM #1: CASE #22-041 – LAWRENCE DUTY / 42482 NORTH CUMBERLAND DRIVE – COUNTRY WALK PHASE III SITE PLAN AMENDMENT – ADDITIONAL MODIFICATION.

TITLE: THE APPLICANT, LAWRENCE DUTY, IS REQUESTING A REVISION TO AN AMENDMENT TO THE APPROVED COUNTRY WALK PHASE III SITE PLAN TO ALLOW ONE (1) NEW MODEL ARCHITECTURAL ELEVATION TO BE BUILT IN THE SUBDIVISION.

THE COUNTRY WALK PHASE III SUBDIVISION IS THE SUBJECT SITE OF THE REQUEST. THE DEVELOPMENT IS LOCATED ON THE EAST SIDE OF MARTINSVILLE ROAD, NORTH OF SAVAGE ROAD.

Director Power gave the presentation displaying the original site plan. The applicant, Lawrence Duty, is requesting a revision to a previously approved amendment that was reviewed by the Planning Commission on October 26, 2022. During the course of construction, the applicant determined that the use of vinyl siding on the façade of the garage above the garage door would be more suitable than the originally proposed brick. The applicant is seeking approval of a modification of the original approval to reduce the total area of brick on the façade and increase the total area of vinyl siding. The total area of brick will remain above the 50% minimum requirement. Staff recommends that the Planning Commission approve the site plan

amendment to the Country Walk Phase III site plan to allow one (1) new model architectural elevation to be built by Lawrence Duty based on the following condition:

1. The proposed model, as modified, is subject to approval by the Country Walk Phase III Homeowner's Association (represented by Sentry Management, Inc).

Applicant, Lawrence Duty gave a brief presentation. Mr. Duty is seeking a modification from the original site plan approval in an effort to stay more consistent with the other houses on the street.

Commissioners had the following questions and comments:

- Commissioner inquired if the applicant has contacted the Homeowner's Association? Director Power informed, yes.
- Commissioner inquired what percentage of the houses in the neighborhood currently have side-entry garages? Director Power informed the subdivision should be at 30%.
- Commissioner inquired why the change? Mr. Duty informed to maintain consistency with the existing houses on the street.
- Commissioner inquired if shutters are part of the substantially different consideration? Director Power informed, no, it would be more 3-dimensional items.
- Donald Boynton Jr., President of the Country Walk III Homeowners Association informed that the HOA Board does have a couple questions. The HOA Board has not had the opportunity to discuss this change with Mr. Duty or with their property manager. The HOA Board will be having their meeting in the next couple weeks and should be able to get things worked out if they can have the opportunity to meet with Mr. Duty.
- Commissioner inquired how the Commission can proceed. Director Power informed that the Commission can condition their approval on the final decision of the HOA Board or they can postpone until after the HOA acts on their decision.
- Commissioner inquired if the HOA would want to meet with the Planning Commission? President Boynton informed no, they are looking to have the opportunity to speak with Mr. Duty at their Board Meeting in the next couple weeks, then will contact the Commission or Director Power with their results.
- Commissioner would like to condition the approval rather than having the applicant come back to another meeting.

No comments from the audience.

Motion Grant, Budd second to grant the request of applicant, Lawrence Duty, to revise an amendment to the approved Country Walk Phase III site plan to allow one (1) new model architectural elevation to be built in the subdivision subject to the conditions in the staff letter dated 9-8-23 and conditioned upon the Homeowner's Association approval.

Roll Call:

Yeas: Pahle, Atchinson, Grant, Budd and Cullin.

Nays: None.

Excused: Creal and Jahr.

Motion Carried. (Letter Attached)

ITEM #2: CASE 23-035 – GILBERT HOMES WALDEN WOODS – SITE PLAN AMENDMENT.

TITLE: THE APPLICANT, GILBERT HOMES, IS REQUESTING AN AMENDMENT TO THE APPROVED WALDEN WOODS SUBDIVISION SITE PLAN FOR REVISED SINGLE-FAMILY ARCHITECTURAL ELEVATIONS.

THE UNFINISHED WALDEN WOODS SUBDIVISION IS THE SUBJECT OF THE REQUEST. THE DEVELOPMENT IS LOCATED ON THE WEST SIDE OF MORTON TAYLOR ROAD, NORTH OF TYLER ROAD.

Director Power presented his staff letter dated 9-8-23. Applicant, Gilbert Homes is requesting an amendment to the approved Walden Woods Subdivision Site plan for revised single-family architectural elevations on three (3) lots in Walden Woods Phases 4 and 5:

- 44046 Timberview Court: Lot 296 of Walden Woods No. 5
- 43518 S. Timberview Drive: Lot 275 of Walden Woods No. 4
- 43640 S. Timberview Drive: Lot 279 of Walden Woods No. 4

The Development Plan and Development Agreement were executed in January of 1994 and outline the responsibilities of the parties with respect to the completion of the development and required compliance with that PUD. The proposed plans are subject to the PUD Development Agreement and the standards of the Zoning Ordinance, specifically section 5.115 which addresses architectural details in subdivisions and site condominiums. The plans are also governed by a Declaration of Covenants and Restrictions, as amended and bylaws which are administered by the Walden Woods Homeowner's Association. Staff recommends that the Planning Commission approve the site plan amendment to the Walden Woods No. 4 and 5 subdivisions to be build by Gilbert Homes, subject to the following condition:

1. The proposed model, is subject to approval by the Walden Woods Homeowner's Association.

Applicant, Brad Gilbert of Gilbert Homes gave the presentation. Gilbert Homes has been building homes in Van Buren Township for the past 20 years including neighborhoods such as Arlene Arbors and Townsend Park. Mr. Gilbert provided a PowerPoint display of all three (3) lots, which will all have the same architectural elevation. The homes are sufficiently different from the neighboring houses and are in compliance with all Township requirements. Mr. Gilbert was present to answer any questions.

Commissioners had the following questions and comments:

- Commissioner inquired if the Commission can approve the request the same way as the previous review item, with it being conditioned on the HOA approval. Director Power informed, yes. Mr. Gilbert commented that he has spoken with the HOA and they do intend to approve the home elevations.

No questions or comments from the audience or remote viewers.

Motion Grant, Pahle second to approve the request by Gilbert Homes for an amendment to the approved Walden Woods Subdivision site plan for revised single-family architectural

elevations, located on the west side of Morton Taylor Road, north side of Tyler Road, subject to the conditions in the staff memo dated 9-8-23 and subject to approval by the Walden Woods Homeowner's Association.

Roll Call:

Yeas: Budd, Grant, Atchinson, Pahle and Cullin.

Nays: None.

Excused: Creal and Jahr.

Motion Carried. (Letter Attached)

ITEM #3: CASE 23-040 – GILBERT HOMES BELLE POINTE ESTATES – SITE PLAN AMENDMENT.

TITLE: THE APPLICANT, GILBERT HOMES, IS REQUESTING AN AMENDMENT TO THE APPROVED BELLE POINTE ESTATES SUBDIVISION SITE PLAN FOR REVISED SINGLE-FAMILY ARCHITECTURAL ELEVATIONS.

THE UNFINISHED BELLE POINTE ESTATES SUBDIVISION IS THE SUBJECT OF THE REQUEST. THE DEVELOPMENT IS LOCATED ON THE EAST SIDE OF BELLEVILLE ROAD, NORTH OF ECORSE ROAD.

Director Power gave the presentation. The applicant is applying on behalf of three (3) different land owners in the Belle Pointe Estates Subdivision to request an amendment to the approved Belle Pointe Estates Site Condominium Plan to allow one (1) new architectural elevation to be built. The lots specifically to be constructed upon are as follows:

- 7177 Belle Pointe Drive (Unit 81)
- 7234 Amanda Drive (Unit 88)
- 7055 Amanda Drive (Unit 35)

The proposed plans are subject to the standards of the Zoning Ordinance, specifically section 5.115 which addresses the architectural details in subdivisions and site condominiums. The plans are also governed by a master deed and bylaws, which are administered by the Belle Pointe Estates Homeowner's Association. Staff recommends the Planning Commission approve the site plan amendment to the Belle Pointe Estates Site Condominium to be build by Gilbert Homes, subject to the following condition:

1. The proposed model, is subject to approval by the Belle Pointe Estates Homeowner's Association.

Director Power informed that in this case, there is an email message from the Homeowner's Association approving the site plans. The future color schemes and landscaping will need to adhere to the bylaws and be coordinated with the surrounding houses in the subdivision.

Applicant, Brad Gilbert of Gilbert Homes gave a brief presentation displaying the architectural elevation, location of the three (3) lots, the façade of existing homes surrounding the lots and informed that everything will be in accordance with the Homeowner's Association.

No comments from the Commission or the audience.

Motion Atchinson, Pahle second to grant the applicant, Gilbert Homes, approval of an amendment to the approved Belle Pointe Estates Subdivision site plan for single-family architectural elevations, subject to the findings and conditions in Director Power's staff memo dated 9-8-23 and the email received from the Homeowner's Association of Belle Pointe Estates Subdivision dated 7-21-23.

Roll Call:

Yeas: Grant, Budd, Atchinson, Pahle and Cullin.

Nays: None.

Excused: Creal and Jahr.

Motion Carried. (Letters Attached)

ITEM #4: ZONING ORDINANCE AMENDMENT DISCUSSION - FENCES.

DESCRIPTION: STAFF WILL REQUEST THE PLANNING COMMISSION TO CONSIDER A CLARIFYING TEXT AMENDMENT TO THE VAN BUREN TOWNSHIP ZONING ORDINANCE TO REMOVE REFERENCES TO A REQUIRED PERMIT FOR FENCE INSTALLATION UNDER SECTION 7.205(A)(1) OF THE VAN BUREN TOWNSHIP ZONING ORDINANCE (FENCES).

Director Power gave the presentation. In recent years, the Township has not required permits for fence installation as a matter of policy. The last permit application that was made with reference to fencing was in May 2015. This is in contrast to Section 7.205(A)(1) of the Zoning Ordinance. Director Power recommends that a Zoning Ordinance text amendment be adopted to clarify that permits are not required for fences and would like the Planning Commission to authorize staff and the Planning Consultant to develop potential Zoning Ordinance amendment recommendation for an upcoming meeting.

Commissioners had the following questions and comments:

- Commissioner commented that if they don't request a permit, anyone can go out and put up a fence. What if a fence is put up on another person's property? Director Power informed that Homeowner's Associations do have bylaws that require authorization from the HOA and Township staff will advise residents to have a valid survey when putting up a fence.
- Commissioner inquired what are we doing in neighborhoods like Haggerty Subdivision that don't have a Homeowner's Association. Director Power informed that it is case by case, staff advises them on Section 7.205 of the Zoning Ordinance and what the requirements are.
- Commissioner commented that it seems more reactionary than getting a fence approved and having paperwork that states where everything is so that you don't have to rely on the adjacent homeowners complaining to get action. Commissioner inquired if there is a vehicle that makes people put paperwork in order that doesn't require a permit. That

would at least would be in accordance with what is required by the ordinance and be on record instead of putting it on the adjacent property owner if there is a complaint. Director Power informed the Commission that at one time, there was a fence authorization and a shed authorization form, staff could take a look at reopening that to get something a little more formal in place and clarifying the language. At the Planning Commissions direction, staff, the Planning Consultant and Municipal Services Director will take a look into this.

- Commissioner commented that he believes that is what the Commission would like, clarifying and simplifying the ordinance to make it easier for residents.
- Commissioner inquired what constitutes a fence? Director Power informed that there is a solid definition for fencing in the Zoning Ordinance.
- Commissioner inquired if someone can put up a brick wall and call it a fence? Director Power informed that would require an inspection, in the zoning ordinance there is a provision about low walls and you have to keep a certain level of visibility.
- Commissioner inquired if a line of trees is considered a fence? Director Power informed, no.

No comments from the audience or remote viewers.

Director Power and the Planning Consultant will clean up the Zoning Ordinance language to bring back to a future meeting for further discussion and review.

GENERAL DISCUSSION AND UPDATES:

Director Power informed the next meeting will be on September 27, 2023.

ADJOURNMENT:

Motion Budd, Grant second to adjourn the meeting at 6:22 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary



MEMO

TO:	Van Buren Township Planning Commission
FROM:	Dan Power– Director of Planning and Economic Development
RE:	Child Care Zoning Ordinance Amendments / Adjustments
DATE:	September 15, 2023

Planning Commission Members:

The State of Michigan has recently promoted efforts to increase child care capacity in communities including Van Buren Charter Township. The Township has received several recent inquiries by existing proprietors of *family day care home* facilities which accommodate 1-6 children* to increase their capacity to become *group day care homes*, which accommodate 7-12 children*. The State of Michigan's office of Licensing and Regulatory Affairs (LARA) has recently played a direct supporting role with increasing the capacity of existing day care home facilities in and near Van Buren Township.

The *group day care home* designation requires special land use approval and an associated site plan that is reviewed by the Township's Planning Commission, as well as a procedural requirement for a public hearing. Reflective of rules included in the Michigan Zoning Enabling Act (MZEA) (PA 110 of 2006), Section 5.111 of the Van Buren Township Zoning Ordinance also requires *group day care homes* to meet certain dimensional requirements, including minimum separation distances from other group child care providers.

At their regular meeting on May 24, 2023, the Planning Commission recommended Staff and the Planning Consultant to proceed with researching this topic and exploring the foundation of the specific regulations regarding separation distance between group child care home providers. Our Planning Consultant has completed a preliminary review of this topic and has reviewed the MZEA and other ordinances to make sure there were no unintended consequences in the event of an amended and more flexible zoning ordinance. Based on this research, the planning consultant provided a first draft of a potential Zoning Ordinance amendment for the Planning Commission's consideration at the regular meeting on August 9, 2023. Based on feedback received at that meeting, the draft language was revised, and a second draft of the Zoning Ordinance amendment was discussed at the regular meeting held August 23, 2023. At that meeting, the Planning Commission recommended to proceed with posting the draft text amendment for a public hearing.

The Planning Commission is now invited to host a public hearing for the draft Zoning Ordinance amendment as presented in this packet. They may also make a recommendation on adoption to the Board of Trustees, or the Planning Commission may request staff to complete additional research on this topic or revisions to the draft ordinance language before proceeding to this step. I look forward to participating in this discussion.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written below the 'Sincerely,' text.

Dan Power, AICP
Planning and Economic Development Director
Municipal Services Department
Charter Township of Van Buren

CC: Vidya Krishnan, Senior Principal Planner, McKenna Associates / Van Buren Charter
Township Planning Consultant

* Under a recent policy change from the State of Michigan, *family day care home* providers may increase their capacity from six (6) to seven (7) maximum children after 29 months of operation, and *group day care home* providers may increase their capacity from twelve (12) to fourteen (14).

**CHARTER TOWNSHIP OF VAN BUREN COUNTY
OF WAYNE, STATE OF MICHIGAN
ORDINANCE NO. xx-xx-20**

AN ORDINANCE TO AMEND THE ZONING ORDINANCE 5-2-17(2) AS AMENDED OF THE CHARTER TOWNSHIP OF VAN BUREN TO AMEND THE LANGUAGE OF SECTION 5.111 DAY CARE OR CHILD CARE, GROUP HOME TO REMOVE SEPARATION DISTNACE REQUIREMENTS FROM ANOTHER SIMILAR USE. THE CHARTER TOWNSHIP OF VAN BUREN ORDAINS:

SECTION 1- ORDINANCE AMENDMENT

Pursuant to this Ordinance, the following sections of the Charter Township of Van Buren Zoning Ordinance shall be amended in accordance with the below text upon the effective date of this Amendment:

Section 5.111 Day Care or Child Care, Group Home

- (A) Group day care homes shall not be located closer than one thousand five hundred (1,500) feet to any of the following:
- (1) Another licensed group day care home, except that the Board of Trustees may modify this requirement upon recommendation from the Planning Commission, if the Planning Commission finds that traffic, drop-off, pick-up times and other issues that may impact the adjacent neighborhood have been considered and have found not to be of concern based upon the specific circumstances of the request. If the minimum separation distance between licensed group day care homes is modified, the Planning Commission may require additional measures to mitigate any adverse impacts.
 - (2) Adult foster care, small group home or large group home as defined in this Ordinance and by the State of Michigan.
 - (3) A facility offering substance abuse treatment and rehabilitation service to seven (7) or more people licensed by the State of Michigan.
 - (4) A community correction center, residence home, halfway house or other similar facility which houses an inmate population under the jurisdiction of the Federal or State Department of Corrections.
 - (5) Child care centers, subject to the requirements of [Section 5.108.](#)
 - (6) Adult day care centers, subject to the requirements of [Section 5.110.](#)

- (B) It has appropriate fencing for the safety of the children in the group day care home as determined by the Planning Commission.
- (C) It maintains the property consistent with the visible characteristics of the neighborhood.
- (D) It does not exceed sixteen (16) hours of operation during a twenty-four (24) hour period.
- (E) The group day care home operator shall provide off-street parking for his or her employees in accordance with [Article 9](#), in the ratio of one (1) parking space for each employee.
- (F) The distances required under this section shall be measured along a road, street, or place maintained by the State, County or a local unit of government and generally open to the public as a matter of right for the purpose of vehicular traffic, not including an alley.

SECTION 2 - SEVERABILITY

Should any provision or part of this Ordinance be declared by any court of competent jurisdiction to be invalid or unenforceable, the same shall not affect the validity or enforceability of the balance of this Ordinance, which shall remain in full force and effect.

SECTION 3 - REPEALER

All other provisions of the Zoning Ordinance, or Ordinances or parts of Ordinances, in conflict with this Ordinance are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

SECTION 4- SAVINGS CLAUSE

Nothing in this Ordinance shall be construed to affect any suit or proceeding pending in any court or any rights acquired or any liability incurred, or any cause or causes of action acquired or existing, under the Zoning Ordinance, or any act or Ordinance hereby repealed as cited in Section 3 of this Ordinance; nor shall any just or legal right or remedy of any character be lost, impaired, or affected by this Ordinance.

SECTION 5 - EFFECTIVE DATE

The provisions of this Ordinance are hereby ordered to take effect seven (7) days after publication of the notice of adoption in a newspaper of general circulation within the Township. This Ordinance shall be immediately recorded by the Township Clerk in the Township Ordinance Book as soon as it is adopted, which record shall be authenticated by the signatures of the Supervisor and Clerk and shall be published in a newspaper of general circulation in the Township within fifteen (15) days of passage. A copy of this Ordinance may be purchased or inspected at the Clerk's Office, 46425 Tyler Road, Van Buren Township, MI 48111 during normal business hours.

SECTION 6 - ADOPTION

This Ordinance is hereby declared to have been adopted by the Township Board of the Charter Township of Van Buren at a meeting duly called and held on the --- day of -----, 2020, and ordered to be given publication in the manner prescribed by law.

I hereby approve the foregoing Ordinance,

Leon Wright, Clerk

Kevin McNamara, Supervisor

Adopted:

Published:

Effective:

**CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION
NOTICE OF PUBLIC HEARINGS**

Notice is hereby given that the Charter Township of Van Buren Planning Commission will hold public hearings on **September 27, 2023 at 5:30 p.m.** The meeting will be held in person at Van Buren Township Hall, located at **46425 Tyler Road, Van Buren Township, MI 48111**, in the Board Room. Instructions for attending the meeting electronically are provided in this notice. The Planning Commission will consider the following items:

Zoning Ordinance Text Amendments: Proposed amendments that will grant the Board of Trustees the ability to modify minimum required separation requirements between licensed group day care homes upon recommendation from the Planning Commission, based upon certain findings regarding traffic management, and will define the measurement used for minimum required separation distances. The amendments will include updates to Section 5.111 of the Van Buren Township Zoning Ordinance (Development Standards for Specific Uses - Day Care or Child Care, Group Home).

Case 23-031: A request by Crossroads Distribution Center North 11, LLC to construct a Distribution Center. This Distribution Center consists of one (1) building with a ground area of approximately 630,417 square feet of space and affiliated site improvements, along with grading and earthwork on property surrounding the building site. The development is proposed to be located on the south side of Van Born Road, west of Haggerty Road at parcels 83-005-99-0009-701, 83-005-99-~~0004-000~~, ~~-0005-000~~, ~~-0006-000~~, ~~-0007-000~~, and ~~0010-000~~, 83-005-99-0009-002, 83-005-99-0008-000, 83-005-01-0019-000, 83-005-01-0020-300, 83-005-01-~~0021-300~~, ~~-0023-300~~, ~~-0024-300~~, ~~-0025-300~~, ~~-0026-300~~, ~~-0027-300~~, ~~-0028-300~~, ~~-0029-300~~, ~~-0030-300~~, ~~-0031-300~~, ~~-0032-300~~, ~~-0033-300~~, and ~~-0034-300~~ (approximately 175.0 acres).

On the agenda for the meeting, a unique Zoom weblink and dial-in phone number with a meeting ID for meeting videoconference or teleconference access will be provided. The meeting will be available to view live on the Van Buren Township YouTube Channel. A complete procedure for public comment by electronic means is provided on a guide which is accessible on the Van Buren Township website (www.vanburen-mi.org). Participants may also choose to submit written comments that will be read into record during public comment by the Chairperson. Submit any written comments or questions about the meeting via e-mail to dpower@vanburen-mi.org. To comply with the Americans with Disabilities Act (ADA), any citizen requesting accommodation to attend a meeting, and/or to obtain this notice in alternate formats, please contact the Clerk's Office at 734.699.8900, extension 9205.

Posted: August 31, 2023

Published: September 6, 2023



VAN BUREN

CHARTER TOWNSHIP

DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

46425 TYLER ROAD, VAN BUREN TOWNSHIP, MI 48111

PHONE (734) 699-8913 FAX (734) 699-8958

RECEIVED
Initial: JUL 06 2023

PLANNING & ZONING APPLICATION

CASE INFORMATION

CASE NUMBER: 23-031	DATE SUBMITTED: 7/6/23
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APPLICANT INFORMATION

NAME: Ashley Capital (Acting Agent Dennis Schultz)	PHONE: 734-394-1900
ADDRESS: 2575 S. Haggerty Road	CELL PHONE: 734-637-4763
CITY, STATE & ZIP: Canton, MI 48188	FAX: 734-436-0256
EMAIL: dschultz@ashleycapital.com	

PROPERTY OWNER INFORMATION (If different than the applicant)

NAME: Crossroads Distribution Center 11, LLC	PHONE: 734-394-1900
ADDRESS: 2575 S. Haggerty Road	CELL PHONE: 734-637-4763
CITY, STATE & ZIP: Canton, MI 48188	FAX: 734-436-0256
EMAIL: dschultz@ashleycapital.com	

BILLING CONTACT

NAME: Dennis Schultz	PHONE: 734-394-1900
ADDRESS: 2575 S. Haggerty Road	CELL PHONE: 734-637-4763
CITY, STATE & ZIP: Canton, MI 48188	FAX: 734-436-0256
EMAIL:	

SITE/PROJECT INFORMATION

NAME OF PROJECT: Crossroads Distribution Center North 11, LLC			
PARCEL ID NO: V125-83- Pending Lot Combination		PROJECT ADDRESS: Pending Lot Combination	
*APPLICANT MUST ATTACH LEGAL DESCRIPTION OF PROPERTY			
PROPERTY LOCATION: On the West Side of Haggerty Road; Between Ecorse Road and Van Born Road.			
SIZE OF LOT WIDTH: 1438 FT on Vanborn Rd. & 1992 FT on Haggerty Rd.	SIZE OF LOT DEPTH: 2870 FT.	ACREAGE OF SITE: 175	TOTAL ACRES OF SITE TO REVIEW: 69
CURRENT ZONING: MT, M1 & R1-A	IS A REZONING OF THIS PARCEL BEING REQUESTED? Y / N NO		REQUESTED ZONING:
PROJECT DESCRIPTION: We will build 630,417 SF building for a speculative tenant.			

SPECIAL PERMIT INFORMATION

DOES THE PROPOSED USE REQUIRE SPECIAL APPROVAL? Y / N YES	
IF YES, SECTION OF ZONING ORDINANCE FOR WHICH YOU ARE APPLYING FOR SPECIAL APPROVAL: Per section 5.112	
IS THERE AN OFFICIAL WOODLAND WITHIN THE PARCEL? Y / N NO	IF YES, WOODLAND ACREAGE:
TOTAL NUMBER OF REGULATED TREES OUTSIDE THE WOODLAND AREA: Please see drawings for tree removal.	TOTAL NUMBER OF TREES: Please see drawings for tree removal.
DETAILED DESCRIPTION FOR CUTTING TREES: Trees will only be removed in the areas of construction.	
IF APPLICABLE, APPLICATION MUST BE ACCOMPANIED WITH A TREE SURVEY OR STATEMENT OF NO TREES, WHICH INCORPORATES ALL THE REQUIREMENTS LISTED IN SECTION 4.45 OF THE TOWNSHIP'S ZONING ORDINANCE 6-2-92, AS AMENDED.	

OWNER'S AFFIDAVIT

Dennis Schultz (Acting Agent for Ashley Capital)
PRINT PROPERTY OWNER'S NAME

[Signature]
SIGNATURE OF PROPERTY OWNER

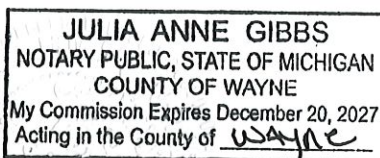
7/6/2023
DATE

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 6th day of July, 2023

Julia Anne Gibbs Notary Public, Wayne County, Michigan My Commission expires 12/27, 2023



Project Name:		Ashley Crossroads North Phase II - Building 11+Outer Berm						
Project Number:		23-031						
Acres, Units & Trees:		# of Acres:	69	Official Woodland Acres:				
		# of Units:		# of Trees Outside Wood:				
Water & Sewer Total Est. Cost		\$						
Construction Contract Amount		\$						
ITEM	#	TOWNSHIP BASE	CONSULTANT BASE	ACRE FEE	UNIT FEE	TOWNSHIP TOTAL	CONSULTANT TOTAL	LINE-ITEM TOTAL
Rezoning		\$600.00	\$600.00	\$10.00		\$0.00	\$0.00	\$0.00
Conditional Zoning Amendment, Reviews, Rezoning Contract and Conditions		\$1,500.00	\$1,500.00	\$30.00		\$0.00	\$0.00	\$0.00
Conditional Rezoning Contract and Conditions			Cost+20%				\$0.00	
Special land Use (new development)		\$800.00	\$500.00	\$10.00	\$690.00	\$800.00	\$1,190.00	\$1,990.00
Special Land Use (existing building, no site changes)		\$500.00	\$500.00	\$10.00		\$0.00	\$0.00	\$0.00
Concept Plan Review Only		\$350.00	\$350.00			\$0.00	\$0.00	\$0.00
*Additional Reviews by Consultant			Cost+20%					
Engineering Concept Plan Review Only			\$500.00	\$25.00				
Sub-Total:								\$1,990.00
Site Plan Application (Non-Residential)								
Commercial Development		\$2,500.00	\$4,000.00	\$150.00		\$0.00	\$0.00	\$0.00
Industrial Development		\$2,500.00	\$4,000.00	\$150.00	\$10,350.00	\$2,500.00	\$14,350.00	\$16,850.00
Public or Semi-public Development			\$675.00	\$125.00	\$150.00	\$0.00	\$0.00	\$0.00
Administrative Review(Re-occupancy, site changes to Existing Use or Addition to Existing * Additional reviews by Consultant		\$400.00	Minor Change			\$0.00	\$0.00	\$0.00
		\$1,250.00	\$500.00	Major/New Structure		\$0.00	\$0.00	\$0.00
			Cost + 20%					
Initial Engineering Deposit			\$5,000.00	\$25.00	\$1,725.00		\$6,725.00	\$6,725.00
Sub-Total:								\$23,575.00
Site Plan Application (Residential)								
Site Condominium		\$2,500.00	\$750.00		\$15.00	\$0.00	\$0.00	\$0.00
Cluster Housing Development (PRD)		\$4,000.00	\$450.00		\$10.00	\$0.00	\$0.00	\$0.00
Multiple Family		\$3,000.00	\$400.00		\$10.00	\$0.00	\$0.00	\$0.00
Mobile Home Park		\$3,000.00	\$600.00		\$10.00	\$0.00	\$0.00	\$0.00
Condominium, PRD, Subdivision Documents			Cost +20%			\$0.00		
*Additional Reviews by Consultant			Cost+20%			\$0.00	\$0.00	\$0.00
Initial Engineering Deposit			\$2,500.00	\$25.00			\$0.00	\$0.00
Dev. Instigated Rev. Approved Plat, Architectural Rev. Existing Developments		\$400.00	Cost	\$15.00	\$15.00	\$0.00	\$0.00	\$0.00
Sub-Total:								\$0.00
Subdivision/Plat Review								
Sketch Plan Review		\$400.00	\$350.00		\$30.00	\$0.00	\$0.00	\$0.00
Site Plan Review(Tent. Preliminary Plat)		\$2,000.00	\$700.00		\$30.00	\$0.00	\$0.00	\$0.00
Preliminary Plat Review		\$600.00	\$500.00		\$15.50	\$0.00	\$0.00	\$0.00
Final Plat Review		\$700.00	\$600.00		\$15.50	\$0.00	\$0.00	\$0.00
*Additional Reviews by Consultant			Cost +20%				\$0.00	\$0.00
Initial Engineering Deposit			\$2,500.00		\$25.00	\$0.00	\$0.00	\$0.00
Sub-Total:								\$0.00
Special Meetings								
Expedited Review		150% of cost	Cost+150%					\$0.00
Planning Commission		\$560.00	Cost + 20%			\$0.00		\$0.00
Board of Zoning Appeals-(Single Family Res.)		\$400.00	\$350.00			\$0.00	\$0.00	\$0.00
Board of Zoning Appeals(Non-Res./Multiple)		\$400.00	\$350.00			\$0.00	\$0.00	\$0.00
Sub-Total:								\$0.00
Other Fees								
Variance Review-Single Family Residential & Agricultural		\$200.00	Cost			\$0.00	\$0.00	\$0.00
Variance Review-Multi-Family, Commercial, & Industrial		\$350.00	Cost					
Zoning Verification		\$75.00				\$0.00		\$0.00
Replat/Change to Master Deed		\$250.00	\$250.00		\$75.00	\$0.00	\$0.00	\$0.00
Woodlands/Tree Removal		\$350.00	\$700.00	\$60.00	\$3.00	\$0.00	\$0.00	\$0.00
Tree Replacement(per tree)					\$350.00	\$0.00		\$0.00
Lot Split Review		\$75.00	\$350.00			\$0.00	\$0.00	\$0.00
Accessory Structure Modification		\$250.00				\$0.00		\$0.00
Fire Department Site Plan Review		\$450.00						\$450.00
Temporary Land Use/Special Event Permit		\$1,250.00				\$0.00		\$0.00
Wireless Equipment Administration Review		\$400.00	\$450.00			\$0.00	\$0.00	\$0.00
Grass & Weeds Mowing/Blight/Property Maintenance Administrative Fee (Ordinance)					Cost+ \$100.00			\$0.00
Developer Initiated Master Plan or Zoning Amendments		\$1,500.00	cost+20%			\$0.00		\$0.00
Water & Sewer Administration Fee (water)		cost x .25%						
Water & Sewer Administration Fee (sewer)		cost x .25%						
Engineering Review Deposit			cost x .2%					
Planning Administration Fee		cost x .5%						
Construction Observation Deposit			10% of cost					
Sub-Total:								\$450.00
Grand Total:								\$26,015.00
Sub-Total by Fee Category		Township Fee Total	Consultant Fee Total	Engineering Fee Total		Fire Department Total		
		\$3,300.00	\$15,540.00	\$6,725.00		\$450.00		
Account No.		101-000-485-000	101-000-284-000	592-000-284-000		101-000-628-001		
Sub-Total by Fee Category		Water Fee Total		Sewer Fee Total				
		\$0.00		\$15,540.00				
Account No.		592-537-605-000		592-536-605-000				

Dennis Schultz

From: Power, Dan <dpower@vanburen-mi.org>
Sent: Wednesday, July 5, 2023 3:33 PM
To: Dennis Schultz
Cc: Williams, Brittney
Subject: [update] RE: [EXTERNAL EMAIL] FW: CRN Acres for Dan Power. / Case 23-031
Attachments: 23-031_Planning Fee Schedule-Invoice_CRN Phase II_Building 11+Berm.pdf

Dennis: Thanks for the clarification. With 69 acres plugged in, please see the attached revised charge calculation: **\$26,015**. Please note – I caught a minor error to adjust the FD review fee from \$400 to \$450 (per the FD 2023 fee schedule update). Thank you.

Dan Power, AICP

Director of Planning and Economic Development

Department of Municipal Services

Charter Township of Van Buren

734.699.8900, ext. 9392

Township Hours: Monday -Thursday 7:00 am to 5:00 pm. **Closed Fridays.**

From: Dennis Schultz <dschultz@ashleycapital.com>
Sent: Wednesday, July 5, 2023 11:17 AM
To: Power, Dan <dpower@vanburen-mi.org>
Subject: RE: [EXTERNAL EMAIL] FW: CRN Acres for Dan Power.

Dan, Joe says to use 69 Acres.

From: Dennis Schultz
Sent: Wednesday, July 5, 2023 9:26 AM
To: Power, Dan <dpower@vanburen-mi.org>
Subject: RE: [EXTERNAL EMAIL] FW: CRN Acres for Dan Power.

I spoke to Joe and he says the drive and the berm on Haggerty road are part of the 67.4 acres all ready.

Let me know what you think.

Dennis Schultz
Ashley Capital
2575 S. Haggerty Road
Suite 500
Canton, MI 48188

P: (734) 394-1900
E: dschultz@ashleycapital.com
F: (734) 394-1925
C: (734) 637-4763



MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Case 23-031 / Ashley Crossroads North Phase 2 Project
Preliminary Site Plan and Special Land Use Review
DATE: September 15, 2023

Planning Commission Members:

Crossroads Distribution Center North 11, LLC has applied seeking approval to construct a Distribution Center. This Distribution Center consists of one (1) building with a ground area of approximately 630,417 square feet of space and affiliated site improvements, along with grading and earthwork on property surrounding the building site. The distribution center and auxiliary improvements will be constructed on the south side of Van Born Road, west of Haggerty Road, including approximately 175.0 acres of property. The property is zoned M-T – Industrial Transportation.

To assist with your review, your packet contains reports from the Township's reviewing staff including the Planning Consultant and Township Engineer, as well as civil and architectural plans from the applicant.

If the request is granted, the applicant will be considered for special land use approval by the Board of Trustees. The applicant will also undergo Wayne County engineering review and final site plan and engineering review by Van Buren Township.

Please feel free to reach out with any questions.

Sincerely,

Dan Power, AICP
Planning and Economic Development Director
Municipal Services Department
Charter Township of Van Buren

CC: Vidya Krishnan, Senior Principal Planner, McKenna Associates / Van Buren Charter Township Planning Consultant
Ron Akers, AICP – Van Buren Charter Township Municipal Services Director



MCKENNA

September 19, 2023

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

**Subject: VBT-23-031 Ashley Capital Crossroads Distribution Center North – Building 11
Special Land Use Review #1**

Plans Dated August 17, 2023; Received on August 29, 2023

Dear Commissioners:

The applicant, Ashley Capital (acting agent: Dennis Schultz) is seeking preliminary site plan approval for a proposed 630,417 sq. ft. distribution center (Crossroads Distribution Center North, Building 11 or CRN11), just north of CRN6, south of Van Born Road, and west of Haggerty Road. The overall CRN site is 175 acres, while the development area for this proposal involving the building and mass grading is approximately 118 acres, pending a lot combination.

Most of the development area is zoned M-T (Industrial Transportation) and is composed of several parcels; some of these parcels are zoned M-1 (Light Industrial) as a result of recent rezoning, or R-1B (Single-Family Residential) per original zoning. The site plan and application describe the development as a speculative building for multiple future tenants, to be used for warehousing, light manufacturing, and distribution. In the M-T district, warehousing and light manufacturing are permitted uses by-right; distribution centers are considered a special land use, requiring additional review standards and action by the Board of Trustees, per Section 3.116 and Chapter 12 of the Zoning Ordinance.

SPECIAL LAND USE REVIEW COMMENTS

Section 12.306 of the Zoning Ordinance sets forth criteria for the Planning Commission to consider when reviewing special land use proposals. We have reviewed the special land use request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

- 1. Will promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activity; for those landowners and residents who are adjacent; and for the Township as a whole.**

This standard has been met. The use of the site for the proposed distribution center is in an area with similar uses and is zoned for industrial transportation uses. The land for the proposed CRN11 is currently undeveloped and is largely non-adjacent to any existing residential uses, and, where it does abut an existing residential use to the northeast, a significant greenbelt and stormwater detention basin is proposed to adequately buffer the industrial use. The addition of the distribution center will serve the region, providing a socially and economically desirable use as planned for the area. Any impacts resulting from the proposed development will be mitigated through setbacks, landscaping, screening, and architectural requirements, which are reviewed in our site plan review letter under separate cover.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.



2. Is necessary for the public convenience at that location.

This standard has been met. The proposed use is located along the northern edge of the Township off Van Born Road, is in close proximity to Ecorse Road and Haggerty Road, and near the I-275 interchange. This makes it a convenient trucking route for the proposed use, provided that the improvements noted in the associated traffic impact study and site plan are implemented.

3. Is compatible with adjacent uses of land.

This standard has been met. The site is adjacent to existing industrial uses to the south under common ownership with the project site. A 350-foot utility easement exists to the west and is buffered by undeveloped land and one of three proposed conservation easements within the site. A landfill and other industrial uses are under Canton Township jurisdiction to the north. Some residential uses exist to the site's northeast, but are buffered by one of the conservation easements, greenbelt, and detention pond. The remaining land to the east of the site is under common ownership with the project site, slated for future development.

4. Is so designed, located and proposed to be operated that the public health, safety, and welfare will be protected.

This standard has been met. The proposed site changes involve dedicated conservation easements and site improvements to accommodate the distribution center. Significant setbacks provide adequate screening for the site. As with any trucking use, traffic impact remains a concern, with an anticipated increase in truck traffic to the east and south of the site. This has been evaluated in an associated traffic impact study, which found that the existing infrastructure can generally support the increase in traffic. In addition, the applicant has stated that the planned reconstruction of Haggerty Road includes a new traffic light at the intersection of a proposed new access drive from the subject site onto Haggerty. Comments addressing the site layout, circulation and access are discussed in our attached site plan review letter.

5. Can be adequately served by public services and facilities without diminishing or adversely effecting public services and facilities to existing land uses in the area.

This standard has been met. This proposal is considered Phase II of the much larger Crossroads North development. As such, significant improvements to utilities and services have already been implemented, are currently proposed, or slated for future phases. We do not anticipate that the proposed site plan will affect the area's public service capacity. The applicant is working with the Township Engineer to meet all utility requirements.

6. Will not cause injury to other property in the neighborhood in which it is to be located.

This standard has been met. The proposed site improvements will not cause injury to other properties in the neighborhood in which it is located. Much of the surrounding area has been planned and zoned for industrial uses, and many of these projects have been constructed in recent years. Any adverse impacts resulting from the use on the site are mitigated through the use of conservation easements, wide greenbelts, extensive plantings and the use of sound planning and design principles.

7. Will consider the natural environment and help conserve natural resources and energy.

This standard has been met. Per agreements with EGLE, the applicant proposes significant preservation easements to conserve existing wetlands and wooded areas, as well as buffer the use from surrounding properties. The applicant is actively working with the Planning Department to provide the required tree replacement and meet extensive landscaping requirements. Any stormwater related concerns will be addressed to the satisfaction of Wayne County and the Township Engineer.



8. **Is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located and meets applicable site design standard for special approval uses.**

This standard has been met. A distribution center is within the provisions of uses requiring special approval and is in harmony with the purposes and conforms to the applicable regulations of the M-T zoning district. The proposed development largely meets the applicable site design standards for distribution centers; however, a variance will be required for a reduced setback from the truck staging area in the southwest corner of the site to the ITC corridor which is zoned residential.

9. **Is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.**

This standard has been met. The proposed use as a distribution center is related to the valid exercise of the Township's police power and those purposes which are affected by the proposed use or activity.

Specific Approval Criteria for Distribution Centers [Section 5.112]:

1. **A building containing a distribution center shall be located not less than two hundred fifty (250) feet from any residential zoning district and five hundred (500) feet from any residential dwelling.** The site plan demonstrates compliance with minimum setbacks to residential zones at 402 feet (west) and 683 feet (east) as well as setbacks from a residential dwelling at 907 feet (northeast).
2. **Any building containing a distribution center shall be located not less than four hundred fifty (450) feet from any public right-of-way, with all buildings conforming to all other minimum requirements. Off-street parking and loading shall be located relative to the building as otherwise required in this Ordinance.** The site plan demonstrates compliance with the proposed building set back 450 feet from Van Born Road right-of-way.
3. **Truck docks, overhead doors and trailer staging areas accessory to a distribution center shall be located not less than three hundred fifty (350) feet from a residential district. They shall be oriented away from or shall be reduced in number and sufficiently screened where oriented toward, all residential districts and public rights-of-way. Where building layouts incorporate multiple buildings, buildings shall be designed and oriented such that truck docks, overhead doors and trailer staging areas in adjacent buildings face one another. The proposed staging area on the southwest corner of the site is shown at a setback of 207 feet from the residentially zoned ITC corridor to the west. The setback area is heavily wooded and part of a proposed conservation easement, with the closest residential unit being located at a minimum distance of 800+ feet. However, as the proposed setback does not meet the letter of the Ordinance, a variance must be obtained from the Zoning Board of Appeals.**
4. **All other off-street parking and loading areas, access drives, and paved surfaces accessory to such a use shall be located not less than sixty (60) feet from any residential district, which must include a greenbelt buffer required in Section 10.103(E).** The site plan demonstrates compliance with a 60-foot setback between the eastern Van Born access drive and the neighboring residential zone, accompanied by the required buffer landscaping. Additional details are noted in our site plan review letter.



RECOMMENDATION

The proposed distribution center meets the general standards for consideration of special land use approval in the M-T District, and most of the standards specific to distribution centers. Therefore, we recommend the Planning Commission recommend approval of the requested special land use to the Township Board of Trustees, subject to the following conditions:

1. Approval of a variance for the staging area from the Zoning Board of Appeals.
2. Final site plan approval.

Respectfully,

McKENNA

Vidya Krishnan
Senior Principal Planner

Gage Belko, AICP
Associate Planner

cc: Dan Power, Director of Planning and Economic Development



September 19, 2023

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Van Buren, Michigan 48111

**Subject: VBT-23-031 Ashley Capital Crossroads Distribution Center North – Building 11
Site Plan Review #2 (Preliminary)**

Revised Plans Dated August 17, 2023; Received on August 29, 2023

Dear Commissioners:

The applicant, Ashley Capital (acting agent: Dennis Schultz) is seeking preliminary site plan approval for a proposed 630,417 sq. ft. warehouse and distribution facility (Crossroads Distribution Center North, Building 11 or CRN11), just north of CRN6, south of Van Born Road, and west of Haggerty Road. The overall CRN site is 175 acres, while the development area for this proposal involving the building and mass grading is approximately 118 acres, pending a lot combination.

COMMENTS

We have reviewed the proposed site plan based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

1. **Zoning and Use.** Most of the development area is zoned M-T (Industrial Transportation) and is composed of several parcels; some of these parcels are zoned M-1 (Light Industrial) as a result of recent rezoning, or R-1B (Single-Family Residential) per original zoning. Parcels must be legally combined and recorded with Wayne County Register of Deeds prior to site construction.

The site plan and application describe the development as a speculative building for multiple future tenants, to be used for warehousing, light manufacturing, and distribution. In the M-T district, warehousing and light manufacturing are permitted uses by-right; distribution centers are considered a special land use, requiring additional review standards and action by the Board of Trustees, per Section 3.116 and Chapter 12 of the Zoning Ordinance. We provide comments regarding the special land use under separate cover.

2. **Required Information.** Section 12.203 of the Zoning Ordinance includes requirements for information on a site plan. The applicant has provided the required information.

3. **Phased Development.** CRN11 is proposed to be completed in a single phase (Phase II of the larger Crossroads North development) by the end of 2024. Sheet C2.0 states the proposed development schedule for CRN11. Grading, utilities, landscaping, flatwork, and stormwater systems are proposed to begin in fall/winter of 2023. Vertical construction, landscaping, and Haggerty Road improvements are slated for completion in the spring/summer/fall of 2024.

The plan indicates 'future' buildings CRN8, CRN9, and CRN10 for which the applicant is mass-grading at this time. The applicant is aware that at a future date when those building sites are



developed, each of them will have to go through the site plan and conditional land use approvals, if applicable. Construction may not commence until such approvals are granted.

- 4. Dimensional Requirements.** There are no minimum lot area, width, or depth requirements in the M-T, Industrial Transportation District.

Maximum lot coverage is 35%; the site plan shows calculations for the entire Ashley Capital site, noting building coverage at only 8%. The Ashley Capital site is not a single lot, but a collection of several lots. Previously, we requested clarification as to which buildings and lots are being used for lot coverage calculations. The “Limits of CRN11 Development Area” is noted as 69 acres – lot coverage of this development area would be approximately 21%; however, this development area is likely not the resulting ‘lot’ from an anticipated (required) lot combination. We recommend that lot coverage calculations be noted based on the lot area after the assorted parcels are combined, for a more accurate representation.

The minimum required front, rear, and side yard setbacks for the M-T District are 50 feet each. The maximum building height in the M-T District is 35 feet. However, Section 4.102(S) allows for one (1) foot of additional height for every two (2) feet of additional setback. With a proposed building height of 49'-3", the required setbacks are 79 feet each. The proposed front yard setback is 450 feet, which complies. The west side setback is noted at 351 feet; however, the development area tapers to the south. The site appears to comply, with estimated side setbacks of 140 feet and a rear setback far exceeding that.

The ordinance requires a 350-foot setback for all truck docks, overhead doors and trailer staging areas. The proposed staging area on the southwest corner of the site is shown at a setback of 207 feet from the residentially zoned ITC corridor to the west. The setback area is heavily wooded and part of a proposed conservation easement, with the closest residential unit being located at a minimum distance of 800+ feet. However, as the proposed setback does not meet the letter of the Ordinance, a variance must be obtained from the Zoning Board of Appeals

5. Access and Circulation.

- a. Location of Curb Cuts.** The site can be accessed via two 36-foot-wide access drives proposed off Van Born Road which generally run north-south along the east and west sides of the building, connecting the surrounding parking lots. Per our previous comments, the plan has been revised to align the western Van Born access drive with Lilley Road across the street, which provides access to a landfill in Canton Township. A third access drive is proposed along the southern edge of the development area, running east-west, and connecting both the proposed CRN11 site and existing CRN6 site to Haggerty Road.
- b. Vehicle Circulation.** A truck turning diagram has been submitted, showing adequate truck access throughout the site, connecting to the existing CRN6 site to the south. The proposed drives create an emergency access lane around the site. Vehicle circulation and site access is subject to further review and approval by the Fire Marshal and Township Engineer.

The applicant has submitted a traffic impact study for the proposed development, prepared by Fleis & VandenBrink Engineering in November 2021, which examines future conditions related to warehousing and distribution centers and anticipated improvements. The conclusion of the report states the levels of service in the area will be similar to existing conditions, with a few delays



predicted at Ecorse intersections. Recommendations from the report include signal optimization and a center left turn lane along Haggerty at future driveway locations. The plans show proposed acceleration/deceleration lanes and a 3-way signal at the Haggerty entrance. With the proposed reconstruction of Haggerty Road and the improvements noted, traffic concerns will be alleviated. However, we defer to Wayne County and the Township Engineer on the adequacy of all improvements proposed to address current and future needs of buildings CRN 8, 9 and 10.

- c. Sidewalks.** Several interior sidewalks are proposed to connect the parking areas to the building. Additionally, a sidewalk is proposed along Haggerty Road, adjacent to the proposed landscape berm. Per our previous comments, a 5-foot concrete sidewalk is being proposed along the site's Van Born frontage. To create a cohesive industrial complex, interior sidewalks must be provided with connections to all current and proposed Ashley Capital sites.

6. Parking and Loading.

- a. Layout.** All parking spaces are proposed to be double-striped and most spaces are dimensioned at 9.5 x 20 ft. with a 24-foot maneuvering lane, compliant with ordinance standards. Spaces abutting sidewalks and sodded areas are dimensioned at 9.5 x 18 ft., which is permitted per Section 9.104. Per our previous comments, all sidewalks abutting parking have been increased to 8-feet wide to avoid vehicle-pedestrian conflicts.
- b. Number of Parking Spaces.** Section 9.102 enumerates the minimum parking requirements for specific uses. Because this is a speculative development, it is difficult to understand the full extent of parking needs for the site. The developer has included a revised series of calculations for the proposed distribution center and accessory office uses. Depending on the end mix of uses, revised calculations and parking arrangements may be required.

The table below shows what is required and what is being proposed.

Land Use	Measurement	Required
Distribution Center	5 + 1 per 1,500 sq ft. of GFA (550,617 sq ft.)	372
Office (Distribution Center cont'd)	1 per 350 sq ft. Of UFA (79,800 sq ft.)	228
Loading (Commercial/Industrial buildings over 50,000 sq ft.)	3 + 1 per 50,000 sq. ft. over initial 50,000 sq ft. (630,417 sq ft. total)	15
Total Parking Required: 600 (372 + 228) Maximum Allowed: 720 (600 x 0.2) Parking Provided: 470, including 40 deferred parking spaces. Loading Provided: 136 docks, incl. 8 trash compactor docks, and 277 staging areas – <u>clarify 14-foot overhead clearance</u>		

Since our last review, the applicant has reduced the parking provided which is now below the required minimum, whereas previously, excessive car parking was a point of concern. The developer has explained that a single prospective tenant would utilize over half of the building area, requiring additional staging areas but only 75 car parking spaces. The developer further explains that, in addition to the deferred parking, the site's staging areas could be converted into car parking, if needed. The Planning Commission has the flexibility to determine if the developer's explanation is sufficient to permit the



deferred parking and staging area conversion in lieu of the required minimum car parking required by Ordinance. An agreement stating the conditions of deferred/converted parking is subject to review and approval by the Township Attorney.

The plan has also been revised to state that the entire building will be used for distribution, with “just in time product staging” for off-site manufacturing.

c. Barrier Free Spaces. With 470 car parking spaces provided, 9 barrier-free spaces are required. 14 barrier-free spaces are shown on the plan. For sites requiring between 501-1,000 parking spaces, 2% is required to be barrier-free. Should the site eventually include any stated deferred/converted parking, such parking shall be limited to a maximum of 720 spaces, unless additional barrier-free spaces are provided.

d. EV Parking Spaces. It is the intent of the Township to support the reduction of carbon emissions by encouraging the provision of electric vehicle charging stations within private development. Given the scale of the CRN site and its improvements, it is highly unusual that there are no EV parking spaces proposed for CRN11. The applicant had previously stated that EV spaces will be provided based on tenant needs and the potential location of such spaces would be identified on the site plan. The site plan does not show any locations at this time. It is our recommendation that such locations be shown at this time to ensure there is no conflict with barrier free parking location and that the site is prepped with required conduits and infrastructure in the future to allow for easy installation of the ports.

7. Mechanical Equipment. Four exterior “tenant-dependent” transformer pad locations are shown, two each at the north and south ends of the building. Per the applicant all mechanical units for the overall building will be roof mounted and appropriately placed to be screened from view of adjacent properties and public rights-of-way.

8. Landscaping and Screening. Landscaping is subject to the provisions of Section 10.103 of the Zoning Ordinance. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others, and our comments on these are as follows:

a. Landscaping Adjacent to the Right-of-Way. Section 10.103(A) requires lot frontage must be screened from view from the right-of-way with a continuous landscape screen comprising of 1 deciduous tree per 40 linear feet + 1 ornamental tree per 100 linear feet + 8 shrubs per 40 linear feet.

- **Van Born Frontage:** With frontage of 1,365 feet along Van Born, the required landscaping is 34 deciduous or evergreen trees + 14 ornamental trees + 273 shrubs. Sheet LS-1 states that there will be 36 evergreen trees + 14 ornamental trees + 115 shrubs – the shrubs fall short of the required minimum due to a calculation error; this remains to be corrected from our first review.

- **Haggerty Frontage.** With 1,810 feet of frontage, the required landscaping along Haggerty is 45 deciduous/evergreen trees + 18 ornamental trees + 360 shrubs. Sheet LS-1 states that there will be 46 evergreen trees + 19 ornamental trees + 232 shrubs – The shrubs fall short of the required minimum due to a calculation error; this must be corrected.



b. Parking Lot Landscaping. Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public or private rights-of-way. Most of the CRN11 parking lots are screened by existing buildings and preserved foliage. The only parking lot with potential to be viewed from the right of way is the north lot.

- **North Lot.** Though not explicitly noted in the landscape plans, the proposed topography of the site indicates a 3-foot berm extending from the proposed detention pond across the northern edge of the parking lot, sufficiently screening the view of the parking lot from the right of way.

The site plan clearly shows intent to provide screening for future parking lots adjacent to Haggerty. At such time when the site plans for CRN 8, 9 or 10 are reviewed, the proposed landscaping will be reviewed for compliance again.

c. Interior Parking Lot Landscaping. Section 10.103(B)(2) requires the provision of landscaping within islands in a parking lot. At a minimum one (1) tree per landscape island is required; landscape islands must be a minimum of 360 sq ft. The Zoning Ordinance requires interior landscaping to be a minimum of 5% of all interior paved areas and 1 tree per 300 square feet of interior landscaping area.

- **North Car Lot.** At 140,707 sq ft., 7,035 sq ft. of interior landscape islands and 23 trees must be provided. The landscape plan notes within a table that 8,000 sq ft. of interior landscaping and 24 trees are provided. Per our previous comments, plants have been labeled for their intended location; only 20 trees are labeled for the north parking lot – 2 of which are designated replacement trees, which cannot count towards other landscaping requirements. Additional information is required. The landscape islands must also be shown to meet the minimum area of 360 sq ft; a label for square footage should be included next to each island.
- **South Car Lot.** The landscape plan combines the car parking lot and staging area for a total of 166,743 sq ft. Based on this calculation, it requires 8,337 sq ft. of interior landscape islands and 28 trees. Again, the plan is inconsistent with the table, labeling only 18 trees for the south parking lot. While many other trees surround the lot, these are designated as replacement trees, which must remain separate from other landscape requirements. The landscape islands must also be shown to meet the minimum area of 360 sq ft.
- **West and East Lots.** The landscape plan combines the car parking lots and staging areas, for a total of 208,548 square feet and 224,782 square feet, respectively. Using this calculation, both areas are noted as having 11,300 square feet of landscaped islands each, and 35 and 38 trees, respectively. A sufficient number of trees are provided for in their intended location, though they differ from the data tables. The landscape islands must be shown to meet the minimum area of 360 sq ft. (see above).

d. Loading Area Landscaping. Section 10.103(C) requires loading/staging areas that can be viewed from residential zones or public rights of way to have perimeter landscaping of staggered 8-foot evergreen trees, planted 15 feet on center. The east and west loading and staging areas are an integral part of the site, which are primarily screened from view by dedicated preservation easements. An existing stand of vegetation and natural berm covers a gap along the edge of the eastern loading area,



- e. **Greenbelt Buffering.** Section 10.103(E) has specific requirements for greenbelts abutting M-T, M-1, M-2, and R-1 zoning.
- **Abutting M-1.** A 20-foot-wide buffer planted with one tree per 30 linear feet is required. In lieu of a landscaped buffer, the landscape plan shows an extensive preservation area (including tree stands and wetlands) along the northwest edge of the development area, effectively buffering the site from the adjacent M-1 lot, which is acceptable.
 - **Abutting M-2 and M-T Zoning Districts.** A 10-foot-wide buffer with one tree per 30 linear feet is required. In lieu of a landscaped buffer, the landscape plan shows the preservation area extending along the eastern edge of the development area abutting the easterly CRN M-T site.
 - **Abutting the R-1 Zoning Districts.** A 60-foot-wide buffer with staggered evergreens planted 15 feet on-center atop a 6-foot berm is required. The landscape plan shows a 60-foot greenbelt along the eastern edge of the development area where it abuts the neighboring R-1 lots, featuring berms along with the required plantings. In lieu of a landscaped berm along the western edge of the site which abuts an R-1B zone (ITC corridor), the applicant is proposing an extensive preservation area extending the length of the western edge. We recommend approval of the preservation proposal by the Planning Commission.
- f. **Open Space Landscaping.** Section 10.103(G) of the Zoning Ordinance requires 1 tree per 3,000 square feet of open space area not occupied by buildings or parking. The area must also be provided with ground cover. Sheet LS-1 notes general open space of 356,095 sq. ft. after excluding the buffer and detention basin areas. At the above standard, that would result in a requirement of 119 trees. The landscape plan notes the proposed preservation areas to meet this standard, in addition to any remaining open space being proposed with lawn/sod. We recommend approval of the preservation proposal by the Planning Commission.
- g. **Mechanical and Utility Equipment Screening.** The outdoor transformer pads are proposed to be screened on three sides with 6-foot-tall Arborvitae in a dense hedge. This screening must remain whether a tenant requires a transformer to be placed on the pad or not.
- h. **Stormwater Basin Landscaping (Section 10.103(K)).** The proposed detention pond and associated landscaping is subject to review and approval by Wayne County. Any planting around drainage areas is under Wayne County's jurisdiction. In addition to the required landscaping, the applicant must agree to a 2-year landscape performance guarantee associated with the stormwater basin plantings. No mechanical equipment is proposed in or around the ponds.
9. **Tree Removal Permit.** A tree removal permit is required if the applicant proposes to remove any trees of 5-inch caliper or larger. A tree inventory by Webb Engineering shows the removal of 440 regulated trees and 354 non-regulated trees within the development area; with 2,772 regulated trees remaining (86%), the applicant is seeking approval for the proposed preservation plan to satisfy the requirements of Section 8.106(F)(2)(b). Tree preservation is an additional requirement for large lots and does **not** preclude the developer from replacing regulated trees that are removed from the site; while the landscape plan shows replacement trees provided at a 1:1 ratio, it appears that many of these trees are double counted toward other landscaping requirements. This must be clarified and corrected.
10. **Lighting.** The applicant has submitted a detailed photometric plan which complies with Ordinance standards.



- 11. Architecture and Building Details.** The applicant has submitted preliminary floor plans and colored elevations for the building. The building façade is primarily comprised of pre-cast concrete panels in a light gray, with darker gray accent panels as well as a small amount of blue paneling. Metal coping, gray glazing, and spandrels provide visual relief to the large building. The façade incorporates vertical and horizontal banding and slight height differences across the parapet. The proposed elevations are consistent with the other buildings constructed in Crossroads North and in keeping with the industrial park development of the area. Material and color samples must be presented to the Planning Commission for approval. Any roof mounted mechanical equipment must be screened and must be noted on the plans.
- 12. Dumpster.** The site plan proposes 8 compactors in lieu of dumpster enclosures, enclosed within the east and west facades of the building. The site plan notes that no hazardous materials will be used, stored, or processed on-site.
- 13. Signs.** A monument sign is detailed on Sheet C8.1. The proposed building is part of a larger site which will accommodate 3 future buildings and as such qualifies as a multi-business development or industrial park. The following regulations apply to monument signs for multi-business industrial parks in the M-T District:
- Maximum number is 1 per industrial park; the applicant proposes two signs, one each at the Van Born and Haggerty entrances. This must be limited to one sign; up to two interior monument signs may be allowed, located 50 feet from all other signs.
 - Maximum height is 5 feet; the proposed sign is over 9 feet tall and must be shortened.
 - Maximum sign area is 80 sq ft.; the proposed sign is approximately 53 sq ft.
 - Minimum setback is 10 feet from the lot line; the proposed sign is 15 feet from the lot line.

RECOMMENDATION

Many of our comments from the initial staff review have been addressed on the revised plan set; however, some issues remain to be addressed or corrected, though these are not likely to materially impact the layout of the site. Items that are either missing or require additional information can be included for the final site plan review. Therefore, we recommend that the Planning Commission grant preliminary site plan approval only for a new "Building 11 (CRN11)" at Ashley Capital Crossroads Distribution Center North, subject to the following conditions:

1. Approval of the special land use by the Township Board of Trustees.
2. Approval of lot combination prior to commencement of construction.
3. Clarification regarding lot coverage pursuant to future lot combination.
4. Approval of a variance for trailer staging area setback on the southwest corner of the site.
5. Provision of interior sidewalks to connect all existing and proposed CRN sites.
6. Planning Commission approval of the deferred/converted parking plan.
7. Notation of potential locations of EV charging spaces and provision of infrastructure to support future installations.
8. Planning Commission approval of landscape plan with additions and deviations as noted in Comment 8, a through h, above.
9. Clarification regarding tree replacement counts, as noted in Comment 9, above.
10. Planning Commission approval of building colors and material samples.
11. Submission of a signage package in compliance with Ordinance standards.
12. Wayne County and Township Engineer approval of proposed stormwater detention system.



13. Wayne County approval of proposed detention basin landscaping.

Respectfully,
McKENNA

Vidya Krishnan
Senior Principal Planner

Gage Belko, AICP
Associate Planner

cc: Dan Power, Director of Planning and Economic Development
Paul Kammer, FTCH, Township Engineers
Andrew Lenaghan, Fire Marshal

September 20, 2023
Fishbeck Project No. 231310
Van Buren Township Project No. 23-031

Dan Power
Director of Planning and Economic Development
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Crossroads Distribution Center North – Building No. 11 Preliminary Site Plan Review

Dear Director Power:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Preliminary Site Plan dated August 17, 2023, submitted to the Township for Planning Staff approval, for the proposed Crossroads Distribution Center North – Building No. 11 located on Haggerty Road, south of Van Born Road, in Van Buren Township (Township), Wayne County (County), Michigan.

This project entails construction of a 630,417 sft distribution center with both bituminous and concrete pavement parking lots, access drives and truck routes. Surface improvements will include 778 parking spaces, 136 truck docks, and new landscaping. The site plan also includes a new water main loop with water services and fire hydrants, a sanitary service and an enclosed stormwater collection and management system.

At this time, Fishbeck examines and reviews the feasibility of the engineering aspects of the site design but will not conduct a full engineering review until the engineering review submittal.

Our review comments are as follows:

General

The following items are general requirements established as part of the *Engineering Standards Manual, Charter Township of Van Buren (April 2014)*. The applicant must include the following items as part of the construction plans:

1. In general, all engineering design and plan creation shall be done in accordance with the requirements set forth in the Township Engineering Standards Manual. That includes all details for water main, sanitary, and storm utilities. The Township can provide full size Standard Detail sheets if requested, otherwise, the singular detail sheets can be found at the back of the standards manual.
2. Any soil boring information, including the ground water elevations, must be provided. Soil boring logs should be shown on the plans.
3. Plans must include the following required notes:
 - a. The Developer is responsible for resolving and drainage problems on adjacent properties which are the result of the Developer's actions.
4. All elevations shall be on NGVD 29 datum. A conversion factor may be provided to convert provided elevations to NGVD 29. Benchmarks should be shown and labeled, with elevations, on each plan view they appear on.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records and the Applicant's plan indicates there is an existing 12-inch asbestos cement (AC) water main running east-west along the south side of Van Born Rd and a 12-inch AC water main running north-south along the west side of Haggerty Rd. The existing 12-inch water main in Haggerty Rd is proposed to be replaced with a 16-inch ductile iron water main and construction is anticipated to begin soon (Fall 2023/Winter 2024). There is also an existing 12-inch watermain loop around the existing Crossroads North Buildings 4-6 development to the south. There are three existing hydrants and one valve along Van Born Rd.

Proposed: The Applicant's plan shows new 12-inch water main around the proposed building with connections to the existing water main in Van Born Rd and the existing water main loop to the south. There is also a dead-end branch being proposed to the east for a future connection. 4-inch water service and 12-inch fire service connections are proposed on the north and south sides of the building. A private high-pressure fire main is also being proposed connecting to the south side of the proposed building and an existing high-pressure fire main from Crossroads North Building No. 6.

Comments:

1. All existing and proposed water main must be labeled with material.
2. Profiles will be required during final site plan and engineering review for all proposed water main per EGLE standards and requirements.
3. Additional details and information as listed in the Township Engineering Standards Manual will be required for final site plan and engineering approval including profiles, materials, etc.
4. Hydrant placement will be subject to review by the Township Fire Marshall and valve placement will get final approval from the Water and Sewer Director.
5. It is understood that future connections to the proposed 16-inch water main along the west side of Haggerty Rd. have shifted locations slightly. The adjustment appears to be acceptable and the Township Engineer will update the Haggerty Rd water main plans accordingly.
6. The existing water main stub and hydrant by the northeast corner of building 6 should be extended across the proposed driveway and terminated for the future connection for building 10. The plans currently show a new future connection for the building 10 water main loop to the west of the existing water main stub that was provided as part of the CRN Building 6 project. This connection should be eliminated and handled with the existing stub and extension.

Sanitary Sewer

Existing: The Township's GIS records indicate a public 21-inch reinforced concrete pipe (RCP) sanitary sewer running east-west along the south side of Van Born Rd and a 21-inch RCP sanitary sewer running north-south along the east side of Haggerty Rd. The existing sewer in Van Born Rd flows east towards Haggerty where it then flows south.

Proposed: The Applicant's plan indicates a public 10-inch sanitary sewer running north along the west side of the proposed building and connecting to the existing sanitary sewer main in Van Born Rd. Two sewer branches are proposed on the north and south sides of the proposed building with three sanitary sewer leads servicing each side of the building. A separate connection is also proposed to the existing 21-inch sewer in Haggerty Rd where it will tie into the existing sewer.

Comments:

1. The Applicant must provide a design and details for the proposed public sanitary sewer crossing Haggerty Rd. by the south end of future building 8. The design must be submitted and approved by the Township before it can be constructed. The Applicant should indicate if this sanitary sewer crossing is proposed to be built as part of the building 11 project.
2. Based on the previous submittal, it appears that the full extent of the proposed sanitary sewer and sewer easement may not be shown properly. Did the sanitary sewer along the west side of the building and the

south side get removed from the project? The sanitary sewer is not shown, however there are still notes for a 10-inch public sanitary sewer still on the plans. The Applicant should make sure that all proposed work is shown on the plans or delete any previous notes that no longer correlate.

3. The sanitary sewer is too close to the water main as they run south from Van Born Rd. The Applicant should relocate the sanitary sewer or the water main so that the sanitary easement and water easement do not overlap, this will allow the Township to conduct maintenance and repairs on the sewer or water main without the concern of disrupting both services.
4. All existing sanitary sewers shown on the plans should be labeled with size and material. Sanitary sewers should also clearly be labeled as future, proposed or existing.
5. All proposed easements shall be shown on the plans. It is currently indicated that there is a 20-foot easement but is not visually represented.
6. Profiles of the proposed sanitary sewer will be required for final site plan and engineering review.
7. The basis of design flow computations for sanitary shall be submitted for both phase and total development. Calculations for total development shall include all development phases, present and future, and existing and future off-site areas tributary to the system.
8. Has the Applicant verified there is enough depth in the sanitary sewer along Van Born Rd. for the proposed sewer to connect by gravity? If there is proposed sanitary serving the south side of building 11, there may not be enough depth available.

Storm Water Management

Existing: The existing site is currently a mix of farmland, wetlands and wooded areas and contains no existing stormwater sewer systems. There are existing stormwater management facilities to the south for the previously developed Crossroads North buildings 4 – 6. The Bell Creek Drain, an existing County drain, runs through the northern part of the site and crosses under Haggerty Rd to the east.

Proposed: The Applicants plan proposes a fully enclosed stormwater sewer system to collect site runoff and convey it to a stormwater detention basin in northeast corner of the site. Catch basins are provided throughout the proposed parking areas to collect stormwater. The Applicant's plan also shows modifications to the existing basin to the south for the previously developed Crossroads North Buildings 4 – 6.

Comments:

1. The abandoning of Bell Creek Drain must be reviewed and approved by the Wayne County Drain Commissioner's office. We understand that this is in progress.
2. The Applicant must provide a clear stormwater management plan for the entire site. This should include a narrative that clearly details the management plan for the entirety of the development area including the changes to and use of the existing development area to the south (Phase 1). The stormwater management plan and details (sheets and calculations) for the existing CRN buildings 4, 5 and 6, including ponds A and B, should be included in the plans with notes and redlines on how the pond(s) and system functionality will change. Provide detailed information for the calculated discharge rates for each basin. It is unclear how the Q_p was calculated or why it is labeled as prorated discharge.
3. **The maximum allowable discharge rate per the Township Engineering standards is 0.1 cfs/acre.** The provided detention volume must meet the volume requirements of the Township and the County with an outlet release rate of 0.1 cfs/acre.
4. Additional details will be required for final engineering review including all required stormwater details, outlet control calculations and structure details, pond cross sections, emergency overflow routes, storm sewer calculations, sewer profiles, and all other detailed information for the Township to review in full.
5. If it has not already begun, it is recommended that the Applicant begin discussions with the County regarding the proposed stormwater management of the site. Prior to moving to the final engineering review stage of the Township process, the Applicant must receive all approvals and permits from the County and submit them to the Township.

Paving and Grading

1. All geometrics will be subject to review by the Township Fire Marshal for emergency accessibility for fire trucks and other equipment
2. Detail grading will be required as part of the final site plan and engineering review. Detail grades for Americans with Disabilities Act (ADA) parking areas and walkways must also be provided.
3. Proposed driveway approaches shall be designed per Wayne County design standards and details and approved by the County ROW department.
4. Has a traffic study been conducted for this site? A traffic impact study must be completed and submitted to the Township and the County for review. The traffic impact study should include the impact to Van Born Rd. and Haggerty Rd. as well as the previously developed CRN buildings to the south.
5. Roadway profiles will be required as part of the final engineering review plans.

Soil Erosion and Sedimentation Control (SESC)

1. SESC Wayne County Permit (Permit #23-222) has been obtained by the Applicant. The approved plans are shown in the Construction set. The Contractor will be required to install and maintain SESC measures throughout construction and in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with the County SESC standards.

Recommendation

Fishbeck recommends the Planning Commission grant the Crossroads Distribution Center North – Building No. 11, Preliminary Site Plan approval, based on the engineering feasibility of the plans and subject to the comments listed above. The Applicant should begin discussions with the County for stormwater management if they haven't done so already. County permits should be obtained prior to the Applicant moving to Final Engineering review with the Township. If you have any questions regarding this project or our comments listed above, please contact me at 248.324.4796 or mtleppek@fishbeck.com.

Sincerely



Mike Leppek, PE

Civil Engineer



Paul J. Kammer, PE

Senior Civil Engineer

By email

Copy: Brittney Williams – Township
Kevin Lawrence – Township
Vidya Krishnan – McKenna



VAN BUREN TOWNSHIP FIRE DEPARTMENT

46425 Tyler Road, Van Buren Township, MI 48111

David C. McNally II, Fire Chief: (734) 699-8900 x 8916

Andrew Lenaghan, Deputy Chief/Fire Marshal: (734) 699-8900 x 9416

August 31, 2023

Dan Power
Director of Planning and Economic Development
46425 Tyler Road
Van Buren Township, MI 48111

Ashely Crossroads North Building 11—Phase II
Van Buren Township, Michigan 48111
VBT23-031

A preliminary site plan review was performed for Ashley Capital Crossroads Distribution Center North Building 11. The focus of this review was Water Supply, and Fire Department Access. The Code used in the review is the Van Buren Township adopted fire code IFC 2021.

Project Overview:

Type of Construction: IIB
Use group: Warehouse, Light Manufacturing, Distribution Center. The Building is speculative and being designed for use by multiple tenants.
Roof Height: 49' 3"
Square Footage: 630,417 ft²
Fire Flow Info: 8000 gpm for 8 hours Per IFC 2021 Table B105.1(2)
Water Supply: The building has 10 fire hydrants spaced around the structure.

Water Supply:

~~The plans show a 12" High Pressure Fire service water main coming into the south end of Building 11 from Building 6. The Public water main does not completely loop the building. A 12" water main runs along the South, West and North sides while the East side of the building has 2 dead end 8" mains.~~

~~The minimum water pressure at the dead end of the main shall be 20 psi (residual) with a minimum flow of 1,500 gpm. Calculations must be provided to verify adequate pressure and flow.~~

The 8" inch water main Shown on sheets C3.1 and C3.2 now run down the length of the building, eliminating the dead ends.

Fire Department Access:

If a security gate is to be installed at the entrance to the complex, and approved access control device will be required. The device for Van Buren Township gate access is a Knox gate and key switch Model 3501

Tenant improvement, addressed here for future reference.

Knox boxes will be required at the riser rooms, and at entrances determined by the Van Buren Township Fire Department. The boxes can be obtained at www.knoxbox.com

~~An emergency vehicle access plan showing vehicle movement around the entire development, shall be submitted using the dimensions of the Van Buren Township Fire Department Ladder Truck.~~

Length: 49 Feet 7 inches

Turning Radius: 44 Feet

Height: 12 feet 8 inches

An emergency vehicle access plan utilizing the Van Buren Township Ladder Truck is shown on sheet C7.0

General Comments:

An Emergency Responder Radio Coverage test will need to be completed.

510.2 Emergency responder radio cover in existing buildings. Existing buildings that do not have approved radio coverage for emergency responders within the building, based upon the existing coverage levels of the public safety communication system of the jurisdiction at the exterior of the building, shall be equipped with such coverage according with one of the following:

Exception: Where it is determined by the Fire Code Official that a radio coverage system is not needed.

If you have any questions regarding this review, please contact me at alenaghan@vanburen-mi.org or 734-699-9416.

Andrew Lenaghan
Deputy Fire Chief/Fire Marshal
Van Buren Township

**CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION
NOTICE OF PUBLIC HEARINGS**

Notice is hereby given that the Charter Township of Van Buren Planning Commission will hold public hearings on **September 27, 2023 at 5:30 p.m.** The meeting will be held in person at Van Buren Township Hall, located at **46425 Tyler Road, Van Buren Township, MI 48111**, in the Board Room. Instructions for attending the meeting electronically are provided in this notice. The Planning Commission will consider the following items:

Zoning Ordinance Text Amendments: Proposed amendments that will grant the Board of Trustees the ability to modify minimum required separation requirements between licensed group day care homes upon recommendation from the Planning Commission, based upon certain findings regarding traffic management, and will define the measurement used for minimum required separation distances. The amendments will include updates to Section 5.111 of the Van Buren Township Zoning Ordinance (Development Standards for Specific Uses - Day Care or Child Care, Group Home).

Case 23-031: A request by Crossroads Distribution Center North 11, LLC to construct a Distribution Center. This Distribution Center consists of one (1) building with a ground area of approximately 630,417 square feet of space and affiliated site improvements, along with grading and earthwork on property surrounding the building site. The development is proposed to be located on the south side of Van Born Road, west of Haggerty Road at parcels 83-005-99-0009-701, 83-005-99-~~0004-000~~, ~~-0005-000~~, ~~-0006-000~~, ~~-0007-000~~, and ~~0010-000~~, 83-005-99-0009-002, 83-005-99-0008-000, 83-005-01-0019-000, 83-005-01-0020-300, 83-005-01-~~0021-300~~, ~~-0023-300~~, ~~-0024-300~~, ~~-0025-300~~, ~~-0026-300~~, ~~-0027-300~~, ~~-0028-300~~, ~~-0029-300~~, ~~-0030-300~~, ~~-0031-300~~, ~~-0032-300~~, ~~-0033-300~~, and ~~-0034-300~~ (approximately 175.0 acres).

On the agenda for the meeting, a unique Zoom weblink and dial-in phone number with a meeting ID for meeting videoconference or teleconference access will be provided. The meeting will be available to view live on the Van Buren Township YouTube Channel. A complete procedure for public comment by electronic means is provided on a guide which is accessible on the Van Buren Township website (www.vanburen-mi.org). Participants may also choose to submit written comments that will be read into record during public comment by the Chairperson. Submit any written comments or questions about the meeting via e-mail to dpower@vanburen-mi.org. To comply with the Americans with Disabilities Act (ADA), any citizen requesting accommodation to attend a meeting, and/or to obtain this notice in alternate formats, please contact the Clerk's Office at 734.699.8900, extension 9205.

Posted: August 31, 2023

Published: September 6, 2023

PLANNING & ZONING APPLICATION

Case number 19-037

Date Submitted _____

APPLICANT INFORMATION

Applicant	Van Buren Investors Land Holdings, LLC	Phone	_____
Address	1451 S. Gratiot Avenue	Fax	(586) 465-2525
City, State	Clinton Township, MI	Zip	48035
E:mail	zohaibsyed2001@yahoo.com	Cell Phone Number	(989) 708-1878
Property Owner	Walter and Joyce Rochowiak	Phone	(734) 697-1765
	(if different than applicant)	Fax	(734) 699-0505
Address	43250 Tyler Road	Zip	48111
City, State	Van Buren, MI	Phone	(989) 708-1878
Billing Contact	Van Buren Investors Land Holdings, LLC	Fax	(586) 465-2525
Address	1451 S. Gratiot Avenue	Zip	48111
City, State	Clinton Township, MI		

SITE/ PROJECT INFORMATION

Name of Project Hampton Manor of Van Buren Township
Parcel Id No. V125-83- Please see attached supplement Project Address 43250 Tyler Road

Attach Legal Description of Property

Property Location: On the South Side of Tyler Road; Between Morton Taylor Road and Haggerty Road.
Size of Lot Width 488.00 Depth 612.10
Acreage of Site 7.11 acres Total Acres of Site to Review 7.11 acres Current Zoning of Site C
Project Description: Proposed commercial institutional development including building structure, storm water management system, underground utilities, parking lots, landscaping and turf restoration.

Is a re-zoning of this parcel being requested? No YES (if yes complete next line) NO
Current Zoning of Site _____ Requested Zoning _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? Yes YES (if yes complete next line) NO
Section of Zoning Ordinance for which you are applying Chapter 3, Sections 12.301-12.409

Is there an official Woodland within parcel? No Woodland acreage N/A

List total number of regulated trees outside the Woodland area? 193 Total number of trees 193

Detailed description for cutting trees Please refer to the plans for the tree survey and preservation. All trees to be preserved will be protected by construction fencing. Trees to be removed will be felled by the Contractor, stripped of limbs, and the trunks cut to length for removal and disposal offsite. All waste will be chipped for use as temporary mulch.

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

WALTER ROCHOWIAK & EVELYN ROCHOWIAK

Print Property Owners Name

x Walter S Rochowiak

Signature of Property Owner

E. Joyce Rochowiak

Therese Antonelli, Notary Public
State of Michigan, County of Wayne
My Commission Expires 8/27/2022
Acting in the County of WAYNE

11/5/19

Date

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 5th day of November 2019

Therese Antonelli Notary Public, WAYNE County, Michigan

My Commission expires 8/27

2023
Rev 1/12/06

VAN BUREN TOWNSHIP
PLANNING & ZONING APPLICATION SUPPLEMENT
HAMPTON MANOR OF VAN BUREN TOWNSHIP

TAX ID

83-054-99-0012-000
83-054-99-0013-000
83-054-99-0014-701
83-054-99-0015-701
83-054-99-0016-002
83-054-99-0016-003

LEGAL DESCRIPTIONS

PARCEL 1: PARCEL #83-054-99-0012-000

PART OF THE NORTHWEST 1/4 OF SECTION 14, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING SOUTH 333 FEET FROM THE NORTHWEST CORNER OF SECTION 14; THENCE NORTH 89 DEGREES 00 MINUTES EAST 248 FEET; THENCE NORTH 333 FEET; THENCE NORTH 89 DEGREES 00 MINUTES EAST 150 FEET; THENCE SOUTH 258 FEET; THENCE NORTH 89 DEGREES 00 MINUTES EAST 150 FEET; THENCE SOUTH 294.87 FEET; THENCE SOUTH 89 DEGREES 00 MINUTES WEST 548 FEET; THENCE NORTH 219.87 FEET TO THE POINT OF BEGINNING. 4.18 ACRES

PARCEL 2: PARCEL #83-054-99-0013-000

PART OF THE NORTHWEST 1/4 OF SECTION 14, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING NORTH 89 DEGREES 00 MINUTES EAST 398 FEET FROM THE NORTHWEST CORNER OF SECTION 14; THENCE NORTH 89 DEGREES 00 MINUTES EAST 150 FEET; THENCE SOUTH 258 FEET; THENCE SOUTH 89 DEGREES 00 MINUTES WEST 150 FEET; THENCE NORTH 258 FEET TO THE POINT OF BEGINNING. 0.89 ACRES

PARCEL 3: PARCEL #83-054-99-0014-701

PART OF THE NORTHWEST 1/4 OF SECTION 14, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING SOUTH 60 FEET AND NORTH 89 DEGREES EAST 60 FEET FROM THE NORTHWEST CORNER OF SECTION 14; THENCE SOUTH 123 FEET; THENCE NORTH 89 DEGREES EAST 188 FEET; THENCE NORTH 123 FEET; THENCE SOUTH 89 DEGREES WEST 188 FEET TO THE POINT OF BEGINNING. 0.53 ACRES

PARCEL 4: PARCEL #83-054-99-0015-701

PART OF THE NORTHWEST 1/4 OF SECTION 14, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING SOUTH 183 FEET FROM THE NORTHWEST CORNER OF SECTION 14; THENCE NORTH 89 DEGREES 00 MINUTES EAST 248 FEET; THENCE SOUTH 150 FEET; THENCE SOUTH 89 DEGREES 00 MINUTES WEST 248 FEET; THENCE NORTH 150 FEET TO THE POINT OF BEGINNING EXCEPT THE WEST 60 FEET THEREOF. 0.65 ACRES

PARCEL 5: PARCEL #83-054-99-0016-002

PART OF THE NORTHWEST 1/4 OF SECTION 14, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING DUE SOUTH 672.10 FEET AND NORTH 90 DEGREES EAST 232 FEET FROM THE NORTHWEST CORNER OF SECTION 14; THENCE NORTH 89 DEGREES EAST 176 FEET; THENCE DUE NORTH 119.23 FEET; THENCE SOUTH 89 DEGREES WEST 176 FEET; THENCE DUE SOUTH 119.23 FEET TO THE POINT OF BEGINNING. 0.48 ACRES

PARCEL 6: PARCEL #83-054-99-0016-003

PART OF THE NORTHWEST 1/4 OF SECTION 14, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING DUE SOUTH 672.10 FEET AND NORTH 90 DEGREES EAST 408 FEET FROM THE NORTHWEST CORNER OF SECTION 14; THENCE NORTH 89 DEGREES EAST 140 FEET; THENCE DUE NORTH 119.23 FEET; THENCE SOUTH 89 DEGREES WEST 140 FEET; THENCE DUE SOUTH 119.23 FEET TO THE POINT OF BEGINNING. 0.38 ACRES



MEMO

TO:	Van Buren Township Planning Commission
FROM:	Dan Power– Director of Planning and Economic Development
RE:	Case 19-037 / Hampton Manor: Proposed Site and Architectural Plan Amendment
DATE:	September 15, 2023

Planning Commission Members:

The Planning Commission is asked to consider a request by the Applicant, Van Buren Investors Land Holdings LLC, for an amendment to the site plan and architectural plans for a proposed senior housing facility called Hampton Manor with assisted living and memory care units. The request will be described in greater detail in the letter from the Van Buren Township Planning Consultant. If the request is granted conditional approval, the applicant will proceed as instructed by the Planning Commission, including finalizing any plan changes and scheduling adjustments to the façade of the building. If the request is denied, the applicant's original approved plan will remain in place.

Please feel free to reach out with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power'.

Dan Power, AICP
Planning and Economic Development Director
Municipal Services Department
Charter Township of Van Buren

CC: Vidya Krishnan, Senior Principal Planner, McKenna Associates / Van Buren Charter Township Planning Consultant
Ron Akers, AICP – Van Buren Charter Township Municipal Services Director



MCKENNA

September 18, 2023

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

**Subject: VBT-19-037 Hampton Manor/43250 Tyler Road; Amended Site Plan Review #1;
Updated elevations and floor plans dated 9/6/2023; cover letter dated 9/13/2023.**

Dear Commissioners:

Van Buren Investors Land Holdings, LLC, received site plan and special land use approval to construct a Senior Housing development called Hampton Manor in 2020. The proposed 62,516 square foot building was approved with 56 assisted living units and 24 memory care units. The site is located on the southeast corner of Tyler Road and Morton Taylor Road intersection and has a total site area of 7.11 acres.

VIOLATIONS

Upon receipt of site plan and special land use approval, the applicant proceeded with site engineering and subsequent construction. The drawings submitted for approval of building permits were consistent with the approved site plans. However, it has been brought to our attention that the applicant has made numerous changes to the facades of the building, including but not limited to material changes and colors, in the field, without any prior approval from the Township. Upon the issues being brought to the applicant's attention, the applicant has merely submitted an "as-built" elevations for the record.

Section 12.305(6) Final Site Plan states: *The plan/design shall become part of the record of approval, and subsequent actions relating to the activity authorized shall be consistent with the approved final site plan, unless a change conforming to this section receives the mutual agreement of the landowner and the Planning Commission.* The applicant has not sought any approval from the Planning Commission prior to making the changes.

Further **Section 12.206 Violations** states: *Any site plan approval shall be revoked when construction of the development is not in conformance with the approved plans, in which case the Planning Commission shall give the applicant notice of intention to revoke such approved plans at least 10 days prior to review of the violation by the Planning Commission. After conclusion of such review, the Planning Commission shall revoke its approval of the development if the Commission feels that a violation in fact exists and has not been remedied prior to such hearing.*

The changes on the site are a significant departure from the approved site plan and not within the scope of administrative review as outlined in the Zoning Ordinance. Therefore, the applicant has applied to the Planning Commission seeking approval of several amendments.

COMMENTS

Our comments below include a summary of the changes to the facade from the originally approved plan and proposed additional changes by the applicant in an attempt to correct the violations.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.

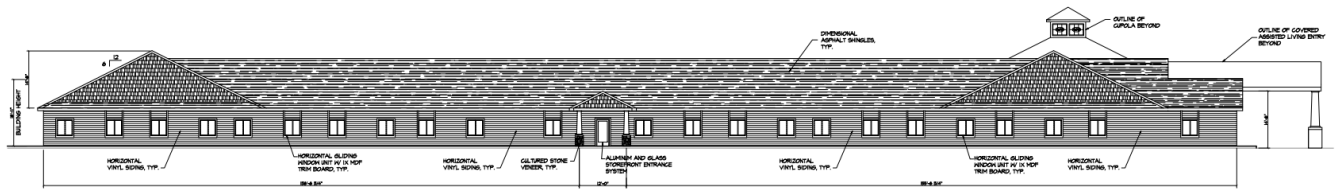


East Façade. The east façade does not match the elevation approved by the Planning Commission.

- The limestone sill/foundation with face brick has been eliminated.
- The areas with brick have been replaced with siding but are to be covered with cultured stone in an attempt to match masonry amount to the approved plans.
- All of the roof dormers have been eliminated.
- The horizontal composite siding in the roof pitches has been eliminated.
- The entrance door accented by columns and a pitched roof feature has been minimized to appear like a utility door with a small roof overhang.



EAST ELEVATION
Approved Elevation



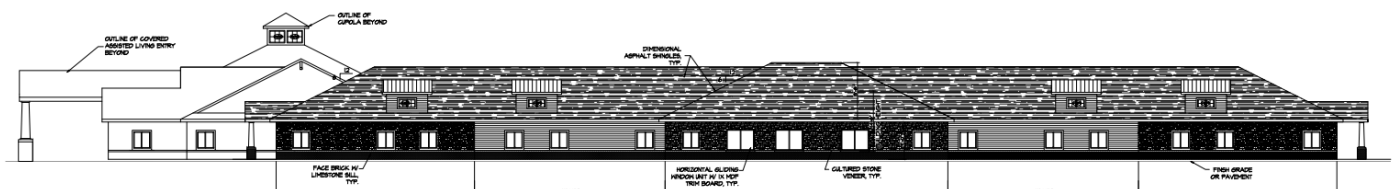
EAST ELEVATION
552'-11\"/>



Proposed Correction

West Façade. The west façade does not match the elevation approved by the Planning Commission.

- The limestone sill/foundation has been eliminated.
- No metal roof accents on the dormers.
- All of the brick and limestone in the approved façade has been replaced with cultured stone.
- Four roof dormers have been reduced to two dormers of a different design.



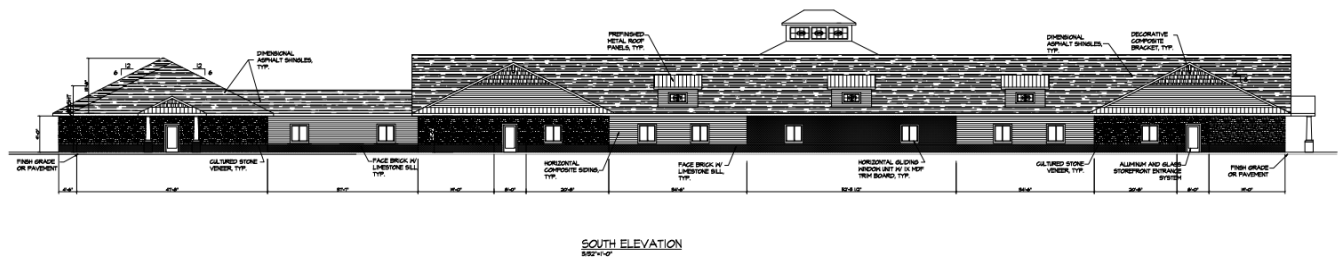
WEST ELEVATION
552'-11\"/>



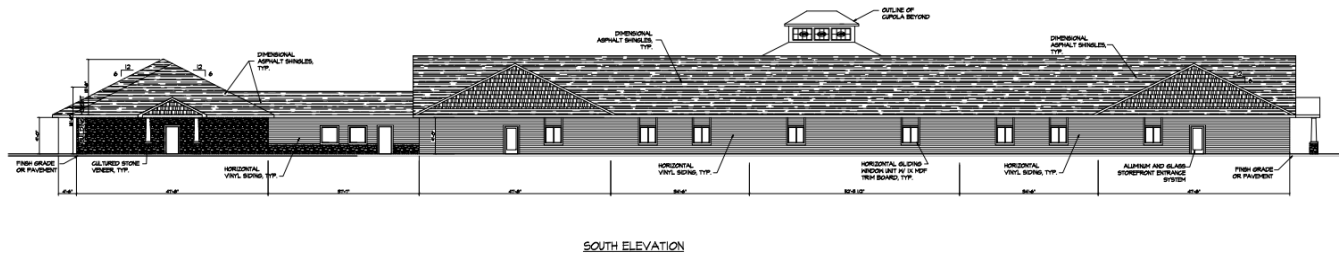
As-Built

South Façade. The south façade does not match the elevation approved by the Planning Commission.

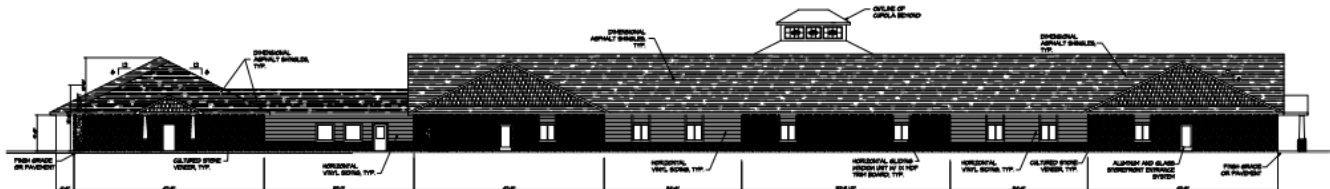
- The limestone sill/foundation with face brick has been eliminated.
- The façade as-built approx. 75% less brick. The applicant is proposing to add cultured stone to all the areas where brick was proposed to comply with the percentage of masonry on the approved plans.
- All of the roof dormers have been eliminated.
- The horizontal composite siding in the roof pitches has been eliminated.
- Two evenly spaced windows have been replaced with square windows and a door, which appears like a utility entrance. Since the door was not previously shown, it is unclear if the door opens up onto a sidewalk connector which is required. Door cannot open out onto a landscape area.



Approved Plan



As-Built

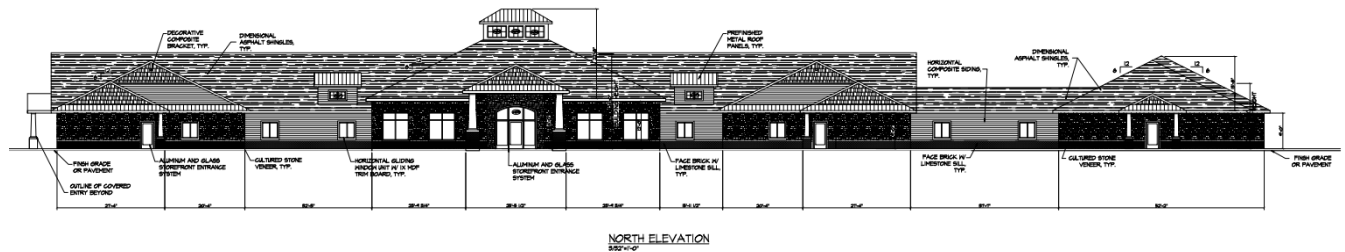


Proposed Correction

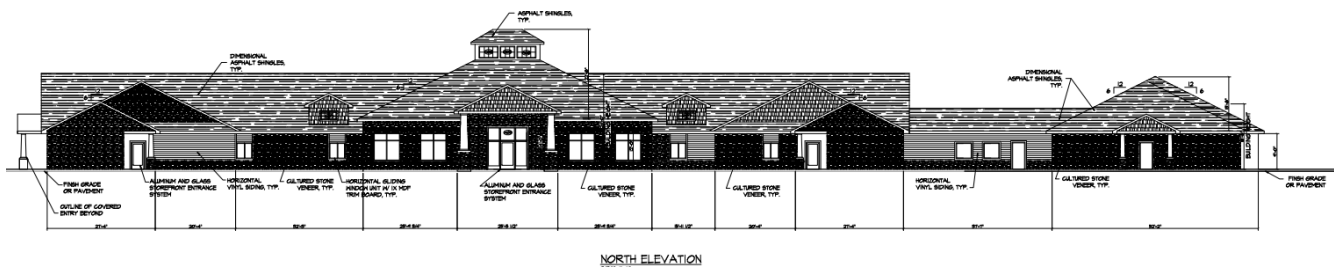


North Façade. The north facade does not match the elevation approved by the Planning Commission.

- Roof dormers are of a different design.
- No metal roof accents on the dormers.
- A new door has been added to the corridor connecting the memory care with the assisted living portion of the building, resulting in the replacement of 2 evenly spaced windows with square windows and a door. The location is recessed and not a part of the main façade wall. We have requested an updated site plan to ensure the door opens up onto a sidewalk connector and not a landscape area.



Approved Plan



As-Built

- Cupola.** The metal panel roof over the main cupola feature has been replaced with dimensional asphalt shingles.
- Colors.** The main siding color was originally changed during the site plan approval process from a blue to an earth-tone brown in order to blend in better with the surrounding residential area. This was specifically discussed during the planning process. However, the building as constructed has all blue siding. The applicant has submitted pictures of single-family dwellings with blue siding to demonstrate that the siding on the building is in keeping with the character of structures in the area. However, the pictures are not labeled and have no addresses to determine where the structures are located. The images show smaller cottage size dwellings on which the siding color is compatible with the architectural style. These cannot be used as a direct comparison to a residential building, with a significantly larger mass and presence.

Per the applicant, the reason for the deviation is due to supply-chain delays caused by the pandemic, resulting in discontinuance of some of the materials and delays in availability of others. This justification, however, is difficult to accept in light of the fact that the blue siding color matches all of the other assisted living buildings owned by the applicant. The blue siding is the 'corporate' color scheme for Hampton Manor.



RECOMMENDATION

As noted above, the elevations as built/implemented have several changes from the approved plan. Over the past three years the Planning Commission has reviewed and approved several large projects, many of which are under construction or completed, as approved. While supply-chain delays could have impacted the availability of materials, any changes to the site plan should have been presented to the Planning Commission for approval, prior to being implemented.

At this time, addition of cultured stone to meet the masonry requirement as shown on the approved plan, is a step in the right direction towards correcting the violations. While some changes such as roof dormers cannot be added to the building at this late date, a few additional changes are possible to bring the site closer into compliance. ***If the Planning Commission should consider approval of the amended site plan***, the additional recommended corrections are:

1. Addition of metal panel roof to the cupola. Replacement of the asphalt shingles with the previously approved metal roof will create the focal feature for the building as was originally intended.
2. Addition of metal roofs to the dormers. While addition of new dormers is not feasible at this time due to the possibility of creating roof damage, it is possible to add metal roof to the dormers already constructed.
3. Replacement of siding. The applicant has stated that a certificate of occupancy is required to enable them to accommodate 40 families that have committed to joining the facility by October end. While being considerate to the families that have been assured occupancy as promised by the applicant, the Planning Commission can consider granting a temporary certificate of occupancy, subject to the blue siding being entirely replaced with the previously approved neutral/earth-tone siding color. This would allow the applicant to meet their obligations, but also ensure a major correction to the façade as-built.
4. Submission of a final site plan to ensure that all exterior doors on the building open onto sidewalks or concrete landings.

I will be present at the Planning Commission meeting to answer any questions and concerns.

Respectfully,

MCKENNA

Vidya Krishnan
Senior Principal Planner

cc: Planning Commission
Board of Trustees



September 13, 2023

Planning Commission
Van Buren Charter Township
46425 Tyler Rd.
Van Buren Twp., MI 48111

RE: Hampton Manor of Van Buren-
Request for

Dear Planning Commission,

This letter is to acknowledge receipt of the recent Violations letter for the project, prepared by McKenna (dated 8-16-2023), and e-mails received from Dan Power (dated 8-31-2023 and 9-10-2023).

We acknowledge that several deviations have been made from the approved exterior elevations for this location, and are submitting the revised drawings seeking amended Site Plan approval from the Planning Commission.

Construction of the new 63,837 sq. ft., approx. \$10 Million budget, Hampton Manor Senior Living facility, began in early 2022. As a result of the Covid-19 pandemic, the general contractor has experienced numerous supply-chain disruptions, including the discontinuance of certain products, and delays in availability of others. Certain decisions were made that have deviated from the approved plans. Specifically, the deletion of all brick, the deletion of metal roofing, and the change of color of the siding.

We are requesting for the following amended items:

1. Change from brick to cultured stone on all elevations
2. Change from metal panel roofing to dimensional asphalt shingles on the cupola and all dormers
3. Delete several dormers on the East, West and South elevations

4. Change remaining dormers from shed type with metal roofing to gable type with asphalt shingles
5. Change color of siding from tan/earthtone to blue/gray color scheme

See the attached pdf drawing files, ISSUED FOR CONST. A1, and ISSUED FOR CONST. A3 and A3.1 for previously approved overall floor plan and exterior elevations.

See the attached current overall floor plan, A1.0-B2, and the proposed exterior elevations, A3-B4 and A3.1-B4.

In comparing the two A1 floor plans, the number of exterior doors depicted on the plans is the same in both versions. However, there are egress doors in the connector corridor between the Assisted Living and Memory Care wings that appear on the floor plan, but were not previously indicated on the approved north and south exterior elevations. This has been corrected on the new, revised proposed elevations.

Item 1: Per information provided by the general contractor, as a result of the Covid-19 pandemic, the specified brick masonry was unavailable for the project. Therefore, it was determined to propose substituting cultured stone, in lieu of brick. See attached revised sheets A3 and A3.1 depicting cultured stone in areas previously indicating brick. Foundation design was revised to not include the width of brick, therefore at this point, we are unable to install the specified brick back onto the elevation.

Item 2: Asphalt shingles were installed in lieu of metal roofing on the cupola and dormers. Per information provided by the general contractor, as a result of the Covid-19 pandemic, the specified metal roofing panels, were unavailable for the project, and substituted with asphalt shingles.

Item 3 and 4: The dormer roof profile was changed from a shed dormer to a gable dormer, to better shed water off the dormer roofs. The number of roof dormers was reduced in some locations, to minimize roof penetrations. Providing additional dormers at this point, and revising the roof slopes to match the original design, would likely result in creating opportunities for roof leaks.

Item 5: Per information provided by the general contractor, as a result of the Covid-19 pandemic, the specified siding color was unavailable for the project, and substituted with the blue siding. Please see attached pictures as requested of houses across the street having similar siding, and one of the houses has almost exact color of siding as the building. We hope this helps to show that the blue color is in keeping with the surrounding residential structures.

Over the past few years, Hampton Manor has been building new facilities throughout Michigan, and in an effort to minimize the supply-chain issues and maintain brand identity, have been using the same material color schemes and manufacturers. New facilities completed or under construction in at least eight locations, including Trenton,

Oshtemo, Holly, Roseville, Burton, Dundee, Adrian, and Hamburg, all have the same color and material palette.

At this point, removing and replacing the siding would create delays and complications for at least 40 residents and their families currently residing in Van Buren Township and 72 employees , that are committed to the facility and expecting occupancy by end of October, as they have already provided notice at their current residence that they will be moving.

Should you have any further questions or require additional information please contact me.

Sincerely,

Zohaib Syed

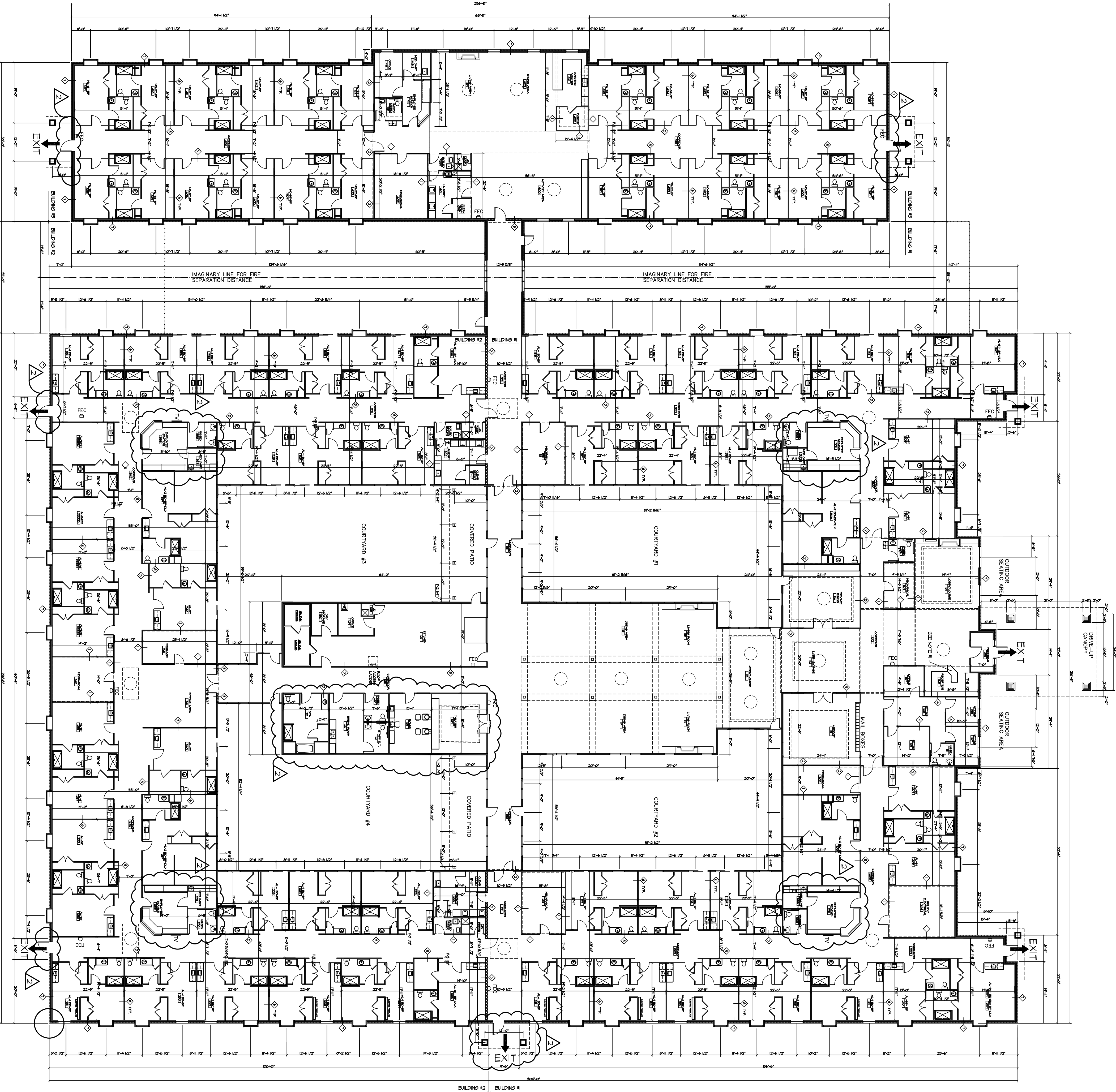
Managing Director/ CEO











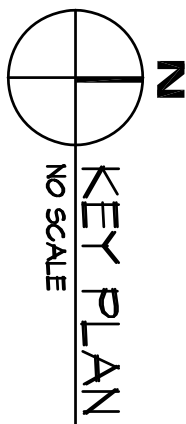
MALL TYPES:

1. FIRE BARRIERS:
1-HOUR RATED NON-LOAD BEARING 5/8" TYPE X GYPSUM BOARD EACH SIDE OF 2X4 WOOD STUD FRAMING AT 6" O.C. W/ 3 1/2" FIBERGLASS SOUND BATT INSULATION (UL #800). EXTEND UP TO ROOF DECK ABOVE (OR TO SMOKE RESISTIVE 1-HOUR FIRE RATED ROOF/CEILING ASSEMBLY). PER SECTION 504.4.2 AND 707.5, PENETRATIONS OF FIRE BARRIERS SHALL COMPLY WITH NBC SECTION 714. SEE FINISH SCHEDULE.
2. SMOKE COMPARTMENT-
1-HOUR RATED NON-LOAD BEARING 5/8" GYPSUM BOARD EACH SIDE OF 2X4 WOOD STUD FRAMING AT 6" O.C. W/ 3 1/2" FIBERGLASS SOUND BATT INSULATION (UL #800). EXTEND UP TO ROOF DECK ABOVE (OR TO SMOKE RESISTIVE 1-HOUR FIRE RATED ROOF/CEILING ASSEMBLY). PER SECTION 504.4.2 AND 707.5, PENETRATIONS OF FIRE BARRIERS SHALL COMPLY WITH NBC SECTION 714. SEE FINISH SCHEDULE.
3. SMOKE PARTITION/CORRIDOR WALL-
1/2-HOUR RATED NON-LOAD BEARING 5/8" GYPSUM BOARD EACH SIDE 1/2" 5/8" FIBERGLASS SOUND BATT INSULATION ON 1/2" WOOD STUD FRAMING AT 6" O.C. W/ 3 1/2" FIBERGLASS SOUND BATT INSULATION (UL #800). EXTEND UP TO ROOF DECK ABOVE (OR TO SMOKE RESISTIVE 1-HOUR FIRE RATED ROOF/CEILING ASSEMBLY). PER SECTION 714.5.1, ALL MECHANICAL AND ELECTRICAL PENETRATIONS SHALL BE SEALED TIGHT TO RESIST THE PASSAGE OF SMOKE.
4. TYPICAL PARTITION WALL-
SIDE OF 2X4 WOOD STUD FRAMING AT 6" O.C. W/ 3 1/2" FIBERGLASS SOUND BATT INSULATION. SEE FINISH SCHEDULE.
5. FIRE WALL INTERIOR-
2-HOUR RATED NON-LOAD BEARING 8-INCH CMU W/ #5 VERT REIN AT 32" O.C. WITH 5/8" GYPSUM BOARD ON 1/2" METAL Z FILING EACH SIDE. PENETRATIONS SHALL COMPLY WITH NBC SECTION 714.5.1, ALL MECHANICAL AND ELECTRICAL PENETRATIONS SHALL BE SEALED TIGHT TO RESIST THE PASSAGE OF SMOKE.
6. TYPICAL SLEEPING UNIT SEPARATING WALL-
5/8" GYPSUM BOARD EACH SIDE RESISTANT CHANNEL (RC-1) ONE SIDE ON 2X4 WOOD STUD FRAMING AT 6" O.C. W/ 3 1/2" FIBERGLASS SOUND BATT INSULATION. STC 51. SEE FINISH SCHEDULE.
7. TYPICAL EXTERIOR WALL-
1-HOUR RATED NON-LOAD BEARING 1-LAYER 5/8" GYPSUM BOARD INTERIOR SIDE OF MINIMUM 2X6 WOOD STUD FRAMING AT 6" O.C. W/ 5 1/2" FIBERGLASS SOUND BATT INSULATION (UL #800). 1/2" OSB SHEATHING, VINYL SIDING OR FACE BRICK (UL #1956).
8. ENTRANCE CANOPIES-
2-HOUR RATED NON-LOAD BEARING 1-LAYER 5/8" GYPSUM BOARD ON MINIMUM 2X6 WOOD STUD FRAMING AT 6" O.C. W/ 5 1/2" FIBERGLASS SOUND BATT INSULATION (UL #800).

PER STATE OF MICHIGAN HOME FOR THE AGED LICENSING REQUIREMENTS, EACH RESIDENT ROOM SHALL HAVE AT LEAST 80 SQ. FT. OF USABLE FLOOR SPACE PER LICENSED BED. THE RESIDENT UNITS AS DESIGNED FOR THIS FACILITY COMPLY WITH AND EXCEED THE MINIMUM REQUIREMENTS.

Unit Summary

WC STUDIO UNITS-BF (301 S.F.)	24
AL STUDIO UNITS-BF (346 S.F.)	20
AL ONE BED UNITS-BF (433 S.F.)	32
AL TWO BED UNITS-BF (537 S.F.)	4
TOTAL UNITS =	80



OVERALL FLOOR PLAN AND NOTES

PROPOSED NEW HOME FOR THE AGED FACILITY
HAMPTON MANOR OF VAN BUREN
TYLER ROAD, VAN BUREN TWP, MI 48111

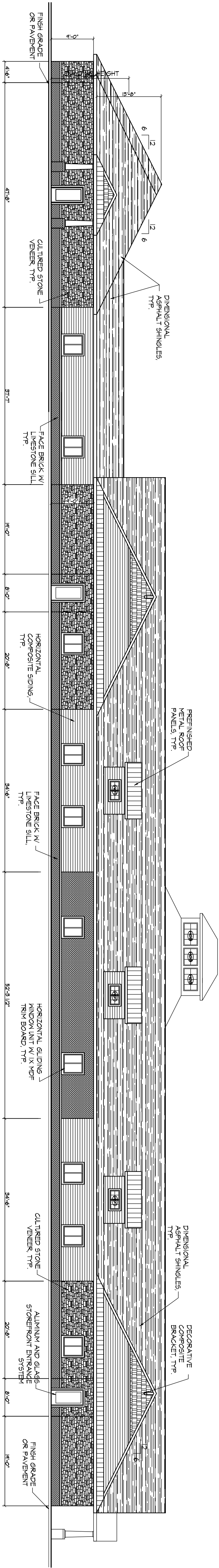
JOHN K. COSTA, AIA
ARCHITECTURAL DESIGN & CONSULTATION, PLLC

417 OLDMILL DRIVE
FLUSHING, MICHIGAN 48433 810-659-5275 FAX 810-659-5399

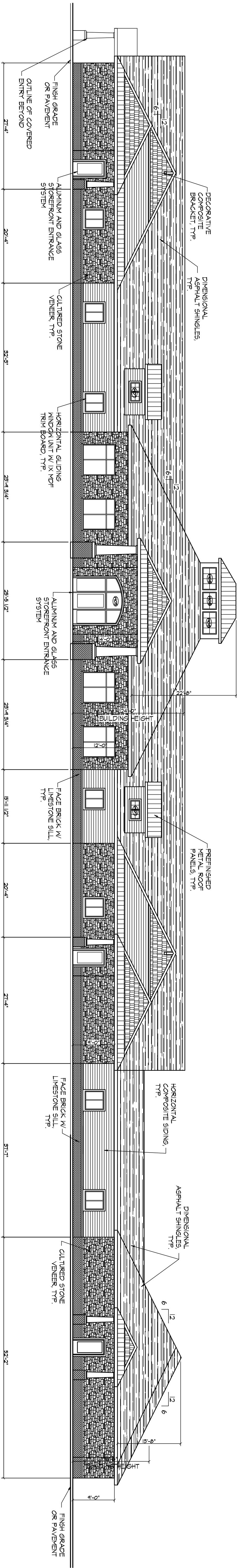
REVISIONS

6-24-2021	
2-7-2022	

JOB NO:	019-035
DATE:	4-1-2020
DRAWN BY:	JKC
SCALE:	AS NOTED
SHEET NO:	



SOUTH ELEVATION
3/32"=1'-0"



NORTH ELEVATION
3/32"=1'-0"

EXTERIOR FINISHES

ROOFING SHINGLES: CERTAINTED LANDMARK ASPHALT ROOFING COLOR: MOORE BLACK
CORING AND DRIPS: ALCOA EXTERIOR, ALUMBER 2000, COLOR: WHITE
GUTTERS AND DOWNSPOUTS: AEROMAX 5" K STYLE GUTTER SYSTEM, COLOR: WHITE
TRIM BOARDS & FASCIA: FIBER CEMENT OR PVC VINYL, COLOR: WHITE
BRICK BELDEN BRICK STANDARD, COLOR: ADMIRAL RED VENDOR
VINYL SIDING: FOUNDRY, CEDAR SHAKE, COLOR: MOON ROCK #836
VINYL SIDING: VARIFORM, HORIZONTAL SIDING, DOUBLE 4", COLOR: HAZELNUT
CULTURED STONE VENEER: QUARRY RIDGE STONE, COLOR: TUSCANY

EXTERIOR ELEVATIONS

PROPOSED NEW HOME FOR THE AGED FACILITY
HAMPTON MANOR OF VAN BUREN
TYLER ROAD, VAN BUREN TWP, MI 48111

JOHN K. COSTA, AIA
ARCHITECTURAL DESIGN
& CONSULTATION, PLLC
417 OLD MILL DRIVE
FLUSHING, MICHIGAN 48433 810-659-5275 FAX 810-659-5399



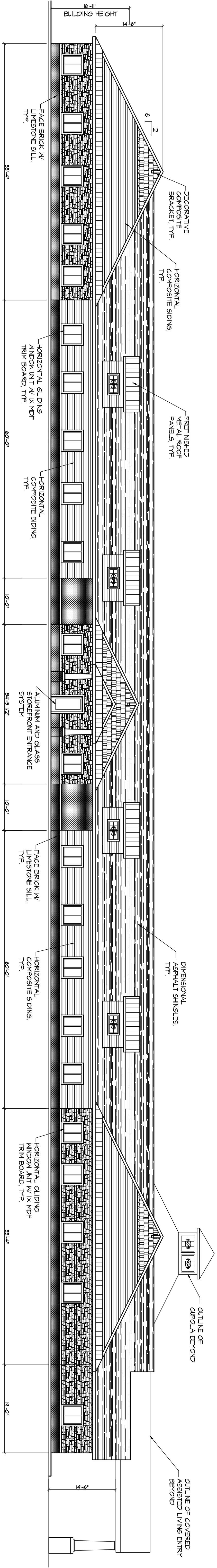
REVISIONS

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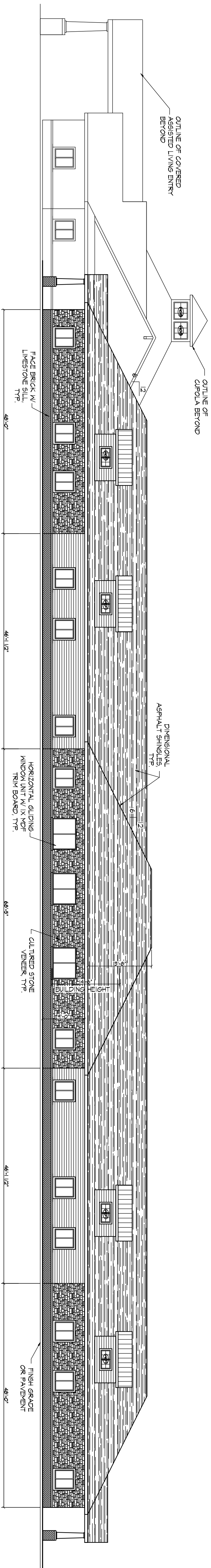
JOB NO: 019-035
DATE: 4-1-2020
DRAWN BY: JKC
SCALE: AS NOTED
SHEET NO:



Handwritten signature of John K. Costa.



EAST ELEVATION
5/22/21-0'



WEST ELEVATION
5/22/21-0'

EXTERIOR FINISHES

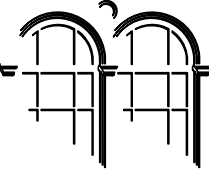
ROOFING SHINGLES: CERTANTIEED, LANDMARK, ASPHALT ROOFING COLOR- MOIRE BLACK
CORING AND DRIPS, ALCOA EXTERIORS, ALUMINE 2000, COLOR- WHITE
GUTTERS AND DOWNSPOUTS: AVERIMAX, 5" K STYLE GUTTER SYSTEM, COLOR- WHITE
TRIM BOARDS & FASCIA: FIBER CEMENT OR PVC VINYL, COLOR- WHITE
BRICK: BELDEN BRICK, STANDARD COLOR- ADVIRAL, RED, YELLOW
VINYL SIDING: FOUNDRY, CEDAR SHAKE COLOR- MOON ROCK #826
VINYL SIDING: VARIOFORM, HORIZONTAL SIDING, DOUBLE #1, COLOR- HAZELNUT
CULTURED STONE VENEER: QUARRY RIDGE STONE, COLOR- TISCANY

EXTERIOR ELEVATIONS

PROPOSED NEW HOME FOR THE AGED FACILITY
HAMPTON MANOR OF VAN BUREN
TYLER ROAD, VAN BUREN TWP, MI 48111

JOHN K. COSTA, AIA
ARCHITECTURAL DESIGN
& CONSULTATION, PLLC

417 OLD MILL DRIVE
FLUSHING, MICHIGAN 48433 810-659-5275 FAX 810-659-5399



REVISIONS

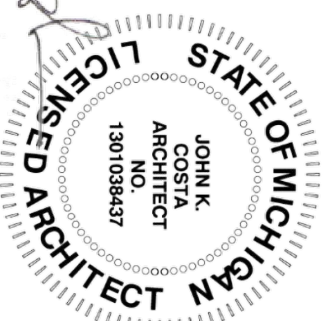
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JOB NO: 019-035
DATE: 9-1-2020
DRAWN BY: JKC
SCALE: AS NOTED
SHEET NO:

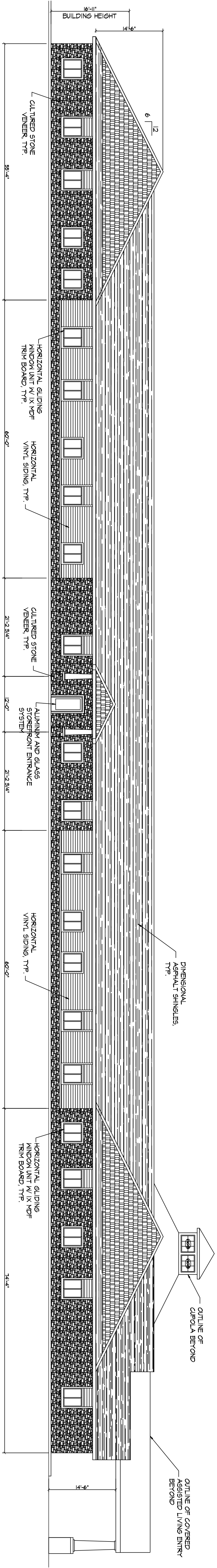
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OF

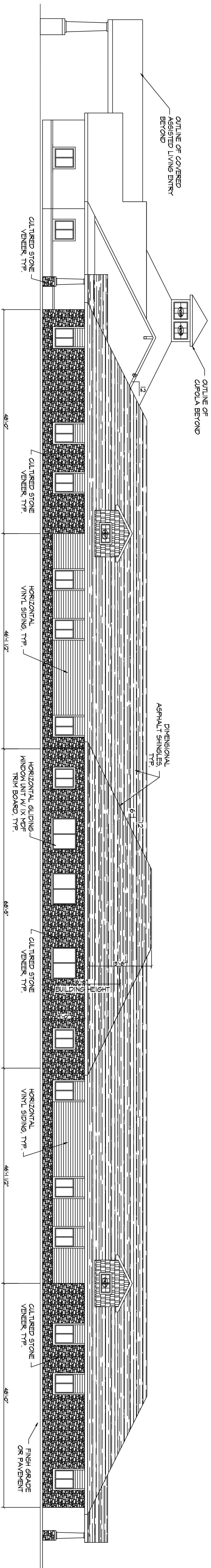
11/22/2021



John K. Costa



EAST ELEVATION
5/22/11-0"



WEST ELEVATION
5/22/11-0"

EXTERIOR FINISHES

ROOFING SHINGLES: CERTAINTED LANDMARK, ASPHALT ROOFING, COLOR- MOORE BLACK
CORING AND DRIPS: ALCOA EXTERIORS, ALUMINE 2000, COLOR- WHITE
GUTTERS AND DOWNSPOUTS: AMERIMAX, 5" K STYLE GUTTER SYSTEM, COLOR- WHITE
TRIM BOARDS & FASCIA: FIBER CEMENT OR PVC VINYL, COLOR- WHITE
VINYL SIDING: VARIFORM, PLYGEN, HERITAGE CEDAR, PT SHINGLE COLOR- PEWTER
VINYL SIDING: VARIFORM, HORIZONTAL SIDING, DOUBLE 4" COLOR-BAYOU
CULTURED STONE VENEER: JAIN STONE, STACK-FACE FLAT COLOR- BELGRADE #67241

EXTERIOR ELEVATIONS

PROPOSED NEW HOME FOR THE AGED FACILITY
HAMPTON MANOR OF VAN BUREN
TYLER ROAD, VAN BUREN TWP, MI 48111

JOHN K. COSTA, AIA
ARCHITECTURAL DESIGN
& CONSULTATION, PLLC

417 OLDMILL DRIVE
FLUSHING, MICHIGAN 48433 810-659-5275 FAX 810-659-5399



REVISIONS

3	6-4-2023
4	4-6-2023

JOB NO: 014-035

DATE: 4-1-2020

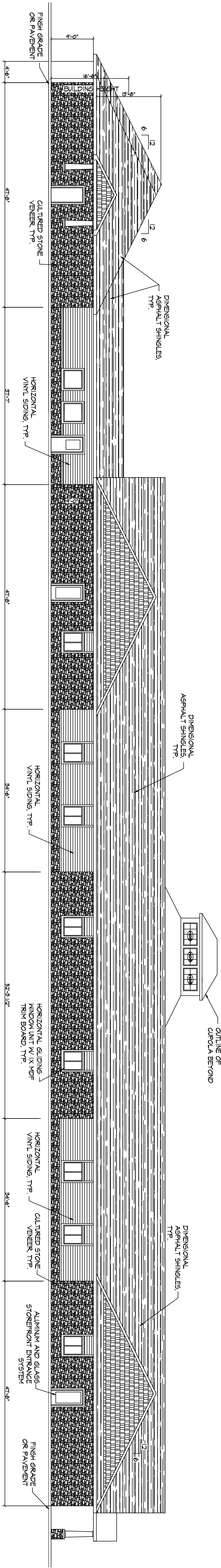
DRAWN BY: JKC

SCALE: AS NOTED

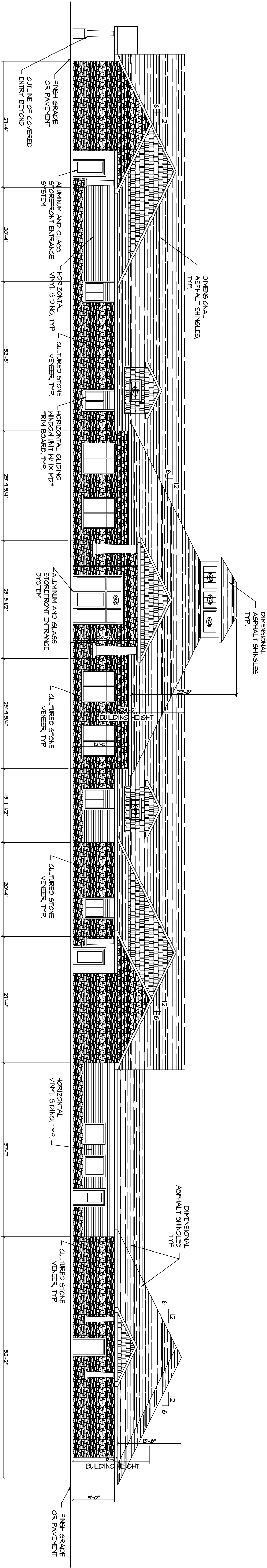
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OF



SOUTH ELEVATION
3/52=1'-0"



NORTH ELEVATION
3/52=1'-0"

EXTERIOR FINISHES

ROOFING SHINGLES, CERTAINTED LANDMARK, ASPHALT ROOFING, COLOR- MOIRE BLACK
CORING AND DRIPS, ALCOA EXTERIORS, ALUMINE 2000, COLOR- WHITE
GUTTERS AND DOWNSPOUTS, AERIMAX, 5" K STYLE GUTTER SYSTEM, COLOR- WHITE
TRIM BOARDS & FASCIA, FIBER CEMENT OR PVC VINYL, COLOR- WHITE
VINYL SIDING, VARIOFORM PLYGEM, HERITAGE CEDAR, DT SHINGLE COLOR- PEWTER
VINYL SIDING, VARIOFORM HORIZONTAL SIDING, DOUBLE 4", COLOR-BAYOU
CULTURED STONE VENEER, JAN STONE, STACK-EASE FLAT, COLOR- BELGRADE #61241

EXTERIOR ELEVATIONS

PROPOSED NEW HOME FOR THE AGED FACILITY
HAMPTON MANOR OF VAN BUREN
TYLER ROAD, VAN BUREN TWP, MI 48111

JOHN K. COSTA, AIA
ARCHITECTURAL DESIGN
& CONSULTATION, PLLC

417 OLD MILL DRIVE
FLUSHING, MICHIGAN 48433 810-659-5275 FAX 810-659-5399

REVISIONS	
3	6-4-2023
4	4-6-2023
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