

**CHARTER TOWNSHIP OF VAN BUREN  
PLANNING COMMISSION AGENDA  
Wednesday, August 10<sup>th</sup>, 2022 – 5:30 PM  
Van Buren Township Hall  
46425 Tyler Road**

**Per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022, the following Zoom link is provided to enable remote participation in a meeting of the public body by the general public:**

When: Aug 10, 2022 05:30 PM Eastern Time (US and Canada)

Topic: 8/10/2022 Van Buren Township Planning Commission Meeting

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/81244472522>

Or One tap mobile : US: +16469313860,,81244472522# or +19294362866,,81244472522#

Or Telephone: Dial(for higher quality, dial a number based on your current location): US: +1 646 931 3860  
or +1 929 436 2866 or +1 301 715 8592 or +1 312 626 6799 or +1 669 444 9171 or +1 669 900 6833 or  
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Webinar ID: 812 4447 2522

**See the Van Buren Charter Township website for additional information regarding how to participate in a Zoom public meeting.**

**CALL TO ORDER:**

**ROLL CALL:**

**APPROVAL OF AGENDA:**

**MINUTES:** Approval of minutes from the regular meeting of July 27<sup>th</sup>, 2022.

**CORRESPONDENCE:**

**PUBLIC HEARING:**

**ITEM # 1                      CASE 22-012 – CHAHAL SEMI TRUCK REPAIR FACILITY SPECIAL LAND USE**

**DESCRIPTION:** Joe Davenport on behalf of owner Sukhdev Singh has applied to construct an 8,320 square foot truck and trailer repair building with truck well and site improvements. The property is zoned M-2 – General Industrial District. Truck repair as a principal use requires a special land use approval under Section 3.104 of the Van Buren Township Zoning Ordinance, which identifies Truck Repair and Maintenance Facility, Minor and Major as special land uses in the M-2 zoning district. A public hearing is required for special land uses under Article 12, Chapter 3 of the Zoning Ordinance.

**LOCATION:** 6100 Schooner Drive (parcel ID number V-125- 83 017 99 0014 714), located south of Michigan Avenue extending between Schooner Drive (west) and Schooner Drive (east).

ACTION ITEMS:           A. Planning Commission Opens Public Hearing  
                                  B. Public Comment  
                                  C. Planning Commission closes Public Hearing

**OLD BUSINESS:**

**NEW BUSINESS:**

**ITEM # 1                           CASE 22-012 – CHAHAL SEMI TRUCK REPAIR FACILITY SPECIAL LAND USE**

DESCRIPTION:           Joe Davenport on behalf of owner Sukhdev Singh has applied to construct an 8,320 square foot truck and trailer repair building with truck well and site improvements. The property is zoned M-2 – General Industrial District. Truck repair as a principal use requires a special land use approval under Section 3.104 of the Van Buren Township Zoning Ordinance, which identifies Truck Repair and Maintenance Facility, Minor and Major as special land uses in the M-2 zoning district.

LOCATION:                6100 Schooner Drive (parcel ID number V-125- 83 017 99 0014 714), located south of Michigan Avenue extending between Schooner Drive (west) and Schooner Drive (east).

ACTION ITEMS:           A. Presentation from Township Staff  
                                  B. Presentation from the applicant  
                                  C. Planning Commission discussion  
                                  D. Public comment  
                                  E. Planning Commission considers recommendation on special land use approval to Township Board of Trustees

**ITEM # 2                           CASE 22-012 – CHAHAL SEMI TRUCK REPAIR FACILITY PRELIMINARY SITE PLAN**

DESCRIPTION:           Joe Davenport on behalf of owner Sukhdev Singh has applied to construct an 8,320 square foot truck and trailer repair building with truck well and site improvements. The property is zoned M-2 – General Industrial District.

LOCATION:                6100 Schooner Drive (parcel ID number V-125- 83 017 99 0014 714), located south of Michigan Avenue extending between Schooner Drive (west) and Schooner Drive (east).

ACTION ITEMS:           A. Presentation from Township Staff  
                                  B. Presentation from the applicant  
                                  C. Planning Commission discussion  
                                  D. Public comment  
                                  E. Planning Commission considers preliminary site plan approval

**ITEM # 3                           ZONING ORDINANCE DISCUSSION: SIDE ENTRY GARAGE AND BUILDING SEPARATION REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS**

**TITLE:** The Planning Commission is requested to discuss zoning requirements for minimum percentage of side entry garages and building separation in residential developments.

**ACTION ITEMS:** A. Presentation from Staff  
B. Planning Commission discussion  
C. Public Comment  
D. Planning Commission considers continuation of research and discussion

**ITEM # 5                      DISCUSSION. CASE 22-008 / VAN BUREN TOWNSHIP COMMUNITY CENTER  
ADDITION: POND DESIGN UPDATE**

**TITLE:** Staff will provide updated information regarding the proposed design of the expanded Van Buren Township stormwater detention basin located at 46425 Tyler Road (parcel ID number 83 061 99 0006 000).

**GENERAL DISCUSSION AND UPDATES**

**ADJOURNMENT:**

**CHARTER TOWNSHIP OF VAN BUREN  
PLANNING COMMISSION  
July 27, 2022  
MINUTES - DRAFT**

Chairperson Kelley called the meeting to order at 5:30 p.m.

**ROLL CALL:**

**Present:** Jahr, Cullin, Budd and Kelley.

**Excused:** Atchinson and Barr.

**Staff:** Director Power and Secretary Harman.

**Planning Representatives:** McKenna Associates, Vidya Krishnan and Adam Cook.

**Applicant(s) in Attendance:** None.

**Audience:** Two (2).

**APPROVAL OF AGENDA:**

Motion Budd, Cullin second to approve the agenda of July 27, 2022 as amended, withdrawing New Business Item #3 Landscaping Plan Modification – 10010 Belleville Road (Menard's). **Motion Carried.**

**APPROVAL OF MINUTES:**

Motion Jahr, Cullin second to approve the regular meeting minutes of July 13, 2022 as presented. **Motion Carried.**

**PUBLIC HEARING:**

**ITEM #1: SUMPTER ROAD CORRIDOR PLAN**

**THE CHARTER TOWNSHIP OF VAN BUREN HAS COMPLETED A DRAFT AMENDMENT TO ITS 2020 MASTER PLAN TO ADDRESS A SUB AREA LOCATED ALONG AND NEAR SUMPTER ROAD BETWEEN BEMIS ROAD AND INDUSTRIAL PARK DRIVE. THE PLAN INCLUDES PROPOSED FUTURE LAND USE RECOMMENDATIONS, INCLUDING CHANGES TO THE FUTURE LAND USE DESIGNATIONS OF CERTAIN PROPERTIES IN THE AREA AND THE CREATION OF A PROPOSED SUMPTER ROAD MIXED USE DISTRICT.**

**Motion Jahr, Budd second to open the public hearing. Motion Carried.**

Director Power gave a brief presentation. This is the second public hearing for the Sumpter Road Corridor Plan, the first public hearing was held on 5-25-22. All neighboring communities were invited to attend the public hearing as required by State law for public comment.

Chairperson Kelley asked the audience if they had any questions or comments. No questions or comments from the audience.

**Motion Jahr, Cullin second to close the public hearing. Motion Carried.**

**ITEM #2: SUMPTER ROAD CORRIDOR ZONING ORDINANCE TEXT AMENDMENTS**

**PROPOSED AMENDMENTS AND ADDITIONS TO THE VAN BUREN TOWNSHIP ZONING ORDINANCE TO INITIATE A PROPOSED SUMPTER ROAD MIXED USE (SRMU) ZONING DISTRICT AND SUMPTER ROAD OVERLAY DISTRICT (SROD):**

- 1. ARTICLE 2, SECTION 2.102. DEFINITIONS, SPECIFIC TERMS.**
- 2. ARTICLE 3 – ZONING DISTRICTS AND PERMITTED USES: SECTION 3.104 (PERMITTED USES BY DISTRICT), SECTION 3.105 (FOOTNOTES TO THE TABLE OF PERMITTED USES AND SPECIAL LAND USES BY DISTRICT), SECTION 3.119 (SUMPTER ROAD MIXED USE DISTRICT) AND SECTION 3.121 (SUMPTER ROAD MIXED USE DISTRICT).**
- 3. ARTICLE 4, SECTION 4.102. SCHEDULE OF REGULATIONS.**
- 4. ARTICLE 6, CHAPTER 4. SUPPLEMENTAL ZONING DISTRICT STANDARDS, SUMPTER ROAD OVERLAY DISTRICT.**

**Motion Budd, Jahr second to open the public hearing. Motion Carried.**

Director Power provided a brief presentation. The public hearing is a request for comments on the Sumpter Road Overlay District text amendment and the public hearing is required by State law. The sub-committee worked hard on the details of the text amendment, once the full set of amendments was prepared a notice was published in the paper of record.

Chairperson Kelley asked the audience if they had any questions or comments. No questions or comments from the audience.

**Motion Budd, Cullin second to close the public hearing. Motion Carried.**

**NEW BUSINESS:**

**ITEM #1: SUMPTER ROAD CORRIDOR PLAN**

**THE CHARTER TOWNSHIP OF VAN BUREN HAS COMPLETED A DRAFT AMENDMENT TO ITS 2020 MASTER PLAN TO ADDRESS A SUB AREA LOCATED ALONG AND NEAR SUMPTER ROAD BETWEEN BEMIS ROAD AND INDUSTRIAL PARK DRIVE. THE PLAN INCLUDES PROPOSED FUTURE LAND USE RECOMMENDATIONS, INCLUDING CHANGES TO THE FUTURE LAND USE DESIGNATIONS OF CERTAIN PROPERTIES IN THE AREA AND THE CREATION OF A PROPOSED SUMPTER ROAD MIXED USE DISTRICT.**

Director Power gave the presentation and discussed the basics of what is contained in the Sumpter Road Corridor Plan including the following: Introduction, The Corridor through the Years, The Corridor Today, Public Engagement, The Corridor Tomorrow, Vision Statement, Future Land Use Plan, Building and Lot Types, Frontage Lot: Deep, Frontage Lot: Shallow, Rear Lot, Rural Residential Patterns, Mobility Plan, Zoning Plan and Plan Implementation. The Plan is for a geographic area smaller than the entire Township (Sub Area Plan). The Plan includes an inventory of conditions and features, public input, goals, objectives, mobility recommendations and future land use recommendations including a prescriptive architectural guide for a context-appropriate

Sumpter Road Mixed Use District and recommended design guidelines for rural residential development near Sumpter Road. Recommendations are made through the Zoning Plan for the development of the Sumpter Road Mixed Use (SRMU) Zoning District and the Sumpter Road Overlay District (SROD). The Planning Commission can consider recommending the plan to the Board of Trustees for adoption with minor revisions and can request additional feedback.

Commissioners had the following questions and comments:

- In the existing the map, the pink area is commercial, what is the zoning? Director Power informed the commercial zoning is primarily C and C-1. Commissioner inquired what control we have over the zoning and will the Mixed Use District provide more control? Yes, the zoning has to be consistent with the uses within the district. What about existing vacant commercial buildings, will they follow mixed use or commercial zoning? Director Power informed, they would have to establish vacancy of the building and make a decision.
- Commissioners asked Director Power to display the maps included on the meeting agenda. Director Power displayed the maps and explained the changes between the existing and future maps.
- Commissioner inquired in moving forward with the agenda item, would the resolution need to be referenced in the motion. Director Power confirmed the Commission would need to reference the adoption of the resolution.

No questions or comments from the audience.

**Motion Jahr, Cullin second that the Planning Commission declares to adopt the 2022 Van Buren Charter Township Sumpter Road Corridor Plan with the Resolution text presented by staff and recommend to the Township Board for approval.**

**Roll Call:**

**Yeas: Budd, Cullin, Jahr and Kelley.**

**Nays: None.**

**Excused: Atchinson and Barr.**

**Motion Carried.**

**ITEM #2: SUMPTER ROAD CORRIDOR ZONING ORDINANCE TEXT AMENDMENTS**

**PROPOSED AMENDMENTS AND ADDITIONS TO THE VAN BUREN TOWNSHIP ZONING ORDINANCE TO INITIATE A PROPOSED SUMPTER ROAD MIXED USE (SRMU) ZONING DISTRICT AND SUMPTER ROAD OVERLAY DISTRICT (SROD):**

- 1. ARTICLE 2, SECTION 2.102. DEFINITIONS, SPECIFIC TERMS.**
- 2. ARTICLE 3 – ZONING DISTRICTS AND PERMITTED USES: SECTION 3.104 (PERMITTED USES BY DISTRICT), SECTION 3.105 (FOOTNOTES TO THE TABLE OF PERMITTED USES AND SPECIAL LAND USES BY DISTRICT), SECTION 3.119 (SUMPTER ROAD MIXED USE DISTRICT) AND SECTION 3.121 (SUMPTER ROAD MIXED USE DISTRICT).**
- 3. ARTICLE 4, SECTION 4.102. SCHEDULE OF REGULATIONS.**

#### **4. ARTICLE 6, CHAPTER 4. SUPPLEMENTAL ZONING DISTRICT STANDARDS, SUMPTER ROAD OVERLAY DISTRICT.**

Director Power gave the presentation. Based on the designation of areas along Sumpter Road being mixed uses, the Sumpter Road Mixed Use District (SRMU) was developed. The regulations incorporate building type standards substantially similar to the precedent in the Sumpter Road Corridor Plan and contains a Regulating Plan that assigns lot types (Anchor Lot, Frontage Lot: Shallow, Frontage Lot: Deep, Rear Lot) in a manner substantially similar to those described in the SRMU. There is a table of permitted uses, by-right and by special land use approval. The uses are a mixture of residential, office, commercial and light industrial. The SRMU also includes regulations pertaining to setbacks, alignment and spacing of buildings in the same manner as the existing Mixed-Use (MU) District in the Township Zoning Ordinance. The creation of the Sumpter Road Overlay District (SROD), encompasses all parcels abutting Sumpter Road and will have certain design standards that will apply when new development comes in to the Township. The regulated design standards encompass access management standards, guidelines for future local access streets, non-motorized transportation, architectural standards, lighting, landscaping and fencing. The SROD applies to current properties with frontage on Sumpter Road.

The proposed amendments and additions to the Van Buren Township Zoning Ordinance to initiate the Sumpter Road Mixed Use (SRMU) District and the Sumpter Road Overlay District (SROD) are the following:

1. Article 2, Section 2.102. Definitions, Specific Terms.
2. Article 3 – Zoning Districts and Permitted Uses: Section 3.104 (Permitted Uses by District), Section 3.105 (Footnotes to the Table of Permitted Uses and Special Land Uses by District), Section 3.119 (Sumpter Road Mixed Use District) and Section 3.121 (Sumpter Road Mixed Use District).
3. Article 4, Section 4.102. Schedule of Regulations.
4. Article 6, Chapter 4. Supplemental zoning district standards, Sumpter Road Overlay District.

The summary of changes included in the newest revision dated July 21, 2022 include:

- Clarifying edits regarding greenbelt requirements (Sec. 3.105(I)(5-6)).
- Changed a trigger that places limits on commercial, office and industrial development from being based on setback to an existing dwelling to being based on setback to a residential zoning district. (Sec. 3.121 (D)(2-3)). Included financial institutions in these limits through a footnote.
- Clarified specific terms and timelines for appealing a building type determination in Sec. 3.121(H).
- Removed 6.409(A)(2) regarding visibility from an automotive drive-by scale.
- Removed a 50% minimum glass requirement from Sec. 6.409(C)(3)(c).
- Changed Belleville Road to Sumpter Road in Sec. 6.409(C)(5).

Commissioners had the following questions and comments:

- The text changes to section 3.121(H) are very good.
- Is there a list of people waiting for the ordinance amendments to be approved? Director Power informed that there is one project that has been in limbo and has brought up ideas.

This would allow them to start submitting plans. Another building located in the Sumpter Road Corridor that went to commercial zoning, would be able to go back to their original residential zoning.

- Commissioner likes the changes to 3.121(H), inquired if the word “appeal” could be changed to “reviewed by the Planning Commission”. Director Power and Vidya Krishnan agreed that a change can be made to “request an interpretation from the Planning Commission”.
- Commissioner inquired if the word “appeal” was changed to “interpretation”, would that be subject to a minor revision of the text amendment? Vidya Krishnan confirmed it would and the Planning Commission can make a recommendation to the Township Board noting the change.

No comments from the audience.

**Motion Jahr, Cullin second that the Planning Commission declares to adopt the 2022 Van Buren Charter Township Sumpter Road Corridor Text Amendments using the resolution text presented by staff with the word appeal being replaced with interpretation or similar acceptable word in section 3.121(H) and recommends to the Township Board of Trustees for approval.**

**Roll Call:**

**Yeas: Budd, Cullin, Jahr and Kelley.**

**Nays: None.**

**Excused: Atchinson and Barr.**

**Motion Carried.**

**ITEM #3: ZONING ORDINANCE DISCUSSION: SIDE ENTRY GARAGE AND BUILDING SEPARATION REQUIREMENTS FOR RESIDENTIAL DEVELOPERS**

**THE PLANNING COMMISSION IS REQUESTED TO DISCUSS ZONING REQUIREMENTS FOR MINIMUM PERCENTAGE OF SIDE ENTRY GARAGES AND BUILDING SEPARATION IN RESIDENTIAL DEVELOPMENTS.**

Director Power presented references from the 2020 Van Buren Township Master Plan of the Residential Goal and Related Residential objectives in the Plan. The current trends are increased development of smaller lots, higher density single family residential detached housing, increased housing prices and maturing residential site condominiums and subdivisions with cluster housing. A high number of developments and site plans started 20-30 years ago, have the requirement for a high number of the garages to be side entry. The current trends having smaller lot sizes may not meet the side entry garage requirement and building separation requirement.

Vidya Krishan of McKenna Associates presented her review letter dated 5-24-22. McKenna Associates reviewed zoning ordinances in other municipalities (Lyon Township, Plymouth Township, Canton Township, Pittsfield Township, City of Novi and Ypsilanti Township) to see if their regulations have minimum requirements for side entry garages and what the separation



requirements are between residential buildings. The issue has come up in recent discussions with prospective developers regarding the completion of long-incomplete residential PRD's and new proposals. The Township's PRD Ordinance was written a long time ago and no PRD projects have been reviewed in the past decade. Some of the current regulations make proposed new attainable housing projects located on smaller lots infeasible. In the ordinances compared by McKenna Associates, side entry garages were a desirable option but not a mandate. Ypsilanti Township ordinance offered a creative alternative of side entry or recessed garage placement. Building separation requirements varied significantly, with a majority having a separation requirement of only 10 feet or allow for Planning Commission and Board of Trustees to reduce that distance based on preservation of natural features or other factors.

Vidya Krishnan provided architectural examples of front entry and recessed garages with high quality façade materials. The comparison data provided to the Commission is a starting point to discuss the existing provisions in the Van Buren Zoning Ordinance.

Commissioners had the following questions and comments:

- Commissioner inquired about the existing 50 foot lots in Townsend Park, can the PRD be brought back? Most PRD's could be brought back, however not Townsend Park due to a consent judgement.
- Concern with most people having 2 cars, the front of the garage even with architectural details still takes up 50% of the frontage. Vidya Krishnan informed that any amendment can say that the garage cannot occupy 50%.
- Commissioner liked the recessed garage, maybe putting a design on it or different color, something to consider.
- The overall lot width, eyeballing the examples, none have over 50%. Have seen developments where the home is taller than it is wide. Commissioner is not sure it's as simple as basing on the garage width, maybe width and height. Maybe we can consider a separate 6<sup>th</sup> entry to the substantially different requirement, not a requirement but an incentive. Vidya Krishnan agreed, still encourage side entry garages. The ordinance is written with no deviation, can add more architectural garage doors. Mrs. Krishnan thinks we can add in a deviation to the 30% side entry garage requirement.
- Commissioner likes the idea of adding in a deviation of the 30% side entry garage requirement. Gives more flexibility to the architectural design. Allow developers to present and give guidelines. Vidya Krishnan commented maybe modifications can be granted from the side entry garage upon superior architecture. Have design suggestions for developers, not hard guidelines. Commissioner likes the idea to give the developer the option and flexibility.
- In regard to lot set back and building separation numbers, the Commission wants to make certain to get that number correct. Vidya Krishnan commented the building separation is a separate clause.
- The 5 foot minimum setback, asked staff to check the ordinance to prevent any drainage issues.
- Commissioner is concerned about the building separation only by 10 feet. If putting in a fence, pool or patio, there could possibly be drainage onto neighbor's properties and may not be able to get equipment into the backyard.

- Commissioner inquired if By-Laws address access points? Vidya Krishnan informed that most site condos do not allow for fences unless you have a pool.
- Commissioners all agreed they are interested in having further discussion on side entry garage and building separation requirements and asked Director Power and Vidya Krishnan to bring a proposal back to the Commission.

**ITEM #4:        GASOLINE FILLING AND GASOLINE SERVICE STATION ZONING ORDINANCE TEXT AMENDMENT**

**THE PROPOSED AMENDMENTS TO ARTICLE 3 (ZONING DISTRICTS AND PERMITTED USES) REGARDING THE CATEGORIZATION OF GASOLINE FILLING SERVICE STATIONS.**

Vidya Krishnan of McKenna Associates gave the presentation. The Commission has been discussing the gasoline filling station text amendments for the past several months. The main change to the Zoning Ordinance is changing gas stations to being a special land use in the C-1 (General Business), C-2 (Extensive Highway Business) and FS (Freeway Service) Districts and creating a new section 5.144 with specific design standards for gasoline filling stations. The only corrections to the draft are in section 5.144, Item 5) ingress and egress, the stripes will say 2 way ingress and egress and Item 6) Driveway Spacing, the spacing of the driveways has been updated for speeds 30, 35, 40 and 45 to minimum spacing of 155, 185, 225 and 300 to make consistent with section 9.106(c) of the Zoning Ordinance. The specific requirements ensure that there is adequate pedestrian circulation, vehicle circulation, signage, number of bays and pumps. Electric Vehicle (EV) charging stations will be looked at separately.

Director Power informed the Commission that they can recommend to adopt the resolution with the changes presented.

No comments from the Commission, audience or remote viewers.

**Motion Jahr, Cullin second to recommend the Township Board of Trustees the Adopt the text amendment to reclassify gasoline filling stations under the Zoning Ordinance as detailed in the McKenna Associates letter dated 5-24-22, the letter from staff dated 7-8-22 and noting the corrections to item number 5) Ingress and Egress Drives and item number 6) Driveway Spacing.**

**Roll Call:**

**Yeas: Budd, Cullin, Jahr and Kelley.**

**Nays: None.**

**Excused: Atchinson and Barr.**

**Motion Carried.**

**GENERAL DISCUSSION:**

Commissioner would like to see Electric Vehicle (EV) charging station ordinance changes and examples at a future meeting.

**ADJOURNMENT:**

**Motion Budd, Cullin second to adjourn the meeting at 7:14 p.m. Motion Carried.**

Respectfully submitted,

Christina Harman  
Recording Secretary

# PLANNING & ZONING APPLICATION

Case number \_\_\_\_\_

Date Submitted \_\_\_\_\_

Davenport Brothers Construction Co Inc. LLC

## APPLICANT INFORMATION

Applicant Joe Davenport Phone 313-350-0369, 734-697-2994 OF.  
 Address 301 Industrial Park Drive Fax 734-697-0200  
 City, State Bellville, Michigan Zip 48111  
 E-mail Joe@davenportbrothers.com Cell Phone Number ABOVE  
 Property Owner Sukhdev Singh one 734-419-3060  
 (if different than applicant)  
 Address 8385 Opal Fax \_\_\_\_\_  
 City, State Westland, MI Zip 48185  
 Billing Contact Joe @ Davenport Brothers Phone 734-419-3060  
 Address 301 Industrial Park Drive Fax 734-697-0200  
 City, State Bellville, MI Zip 48111

## SITE/ PROJECT INFORMATION

Name of Project CHARTAL Semi Truck Repair Facility  
 Parcel Id No. V125-83- 83-017-99-0014-74 Project Address \_\_\_\_\_  
 Attach Legal Description of Property  
 Property Location: On the South Side of Micht Ave Road; Between OFF Schooner Road  
 and \_\_\_\_\_ Road. Size of Lot Width 274' Depth 1010.75'  
 Acreage of Site 6.5 Total Acres of Site to Review 3.8 Current Zoning of Site M-2  
 Project Description: New Project, Construct 8320 SF Repair Facility  
Detention pond, Complete, Truckwell, Asphaltic Paving,  
Landscaping etc.  
 Is a re-zoning of this parcel being requested? NO YES (if yes complete next line) NO  
 Current Zoning of Site \_\_\_\_\_ Requested Zoning \_\_\_\_\_

## SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? YES (if yes complete next line) NO  
 Section of Zoning Ordinance for which you are applying NO  
 Is there an official Woodland within parcel? NO Woodland acreage \_\_\_\_\_  
 List total number of regulated trees outside the Woodland area? \_\_\_\_\_ Total number of trees \_\_\_\_\_  
 Detailed description for cutting trees \_\_\_\_\_

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

## OWNER'S AFFIDAVIT

Sukhdev Singh  
 Print Property Owners Name  
[Signature]  
 Signature of Property Owner

3/7/2022  
 Date

STATE OF MICHIGAN  
 COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and data are in all respects true and correct.

Subscribed and sworn before me this 8th day of March 20 22  
Caron H. Bunn Notary Public, Wayne County, Michigan

My Commission expires August 06

ALLISON R BUSHWAY  
 Notary Public - State of Michigan  
 20 22 Wayne County  
 My Commission Expires Aug 6, 2022  
 Acting in the County of Wayne



## MEMO

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TO: Van Buren Township Planning Commission  
FROM: Dan Power– Director of Planning and Economic Development  
RE: Case 22-012: Chahal Trucking  
DATE: August 4, 2022

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Applicant Joe Davenport has applied on behalf of owner Sukhdev Singh for preliminary site plan review and special land use approval to construct an 8,320 square foot truck and trailer repair building with truck well and site improvements. The property is located at 6100 Schooner Drive (parcel ID number V-125- 83 017 99 0014 714), south of Michigan Avenue extending between Schooner Drive (west) and Schooner Drive (east). The property is zoned M-2 – General Industrial District. Truck repair as a principal use requires a special land use approval under Section 3.104 of the Van Buren Township Zoning Ordinance, which identifies the principal uses of Truck Repair and Maintenance Facility, Minor and Major as special land uses in the M-2 zoning district. A public hearing is required for special land uses under Article 12, Chapter 3 of the Zoning Ordinance.

To assist in the Planning Commission's review, this packet includes reports by the Township's Planning Consultant, Township Engineer, and Fire Marshal, a copy of the public hearing notice, and excerpts from a 49-page combined civil and architectural site plan set. The applicant has submitted revised plans that address the review comments received in this packet. These revised plans are being distributed to the reviewers. If the Planning Commission moves to conditionally recommend special land use approval and conditionally approve the preliminary site plan, the project's plans will be forwarded to the Board of Trustees for their consideration. Pending the Board of Trustee's approval, the project plans will be subject to engineering review by the Van Buren Township Engineer and Wayne County Department of Public Services (WCDPS) prior to final site plan approval.

I look forward to assisting with this review. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written over a light blue horizontal line.

Dan Power, AICP  
Planning and Economic Development Director  
Public Services Department  
Charter Township of Van Buren



**MCKENNA**

July 19, 2022

Planning Commission  
Charter Township of Van Buren  
46425 Tyler Road  
Belleville, Michigan 48111

**Subject: VBT-22-012 Chahal Transport - Schooner Drive; Special Land Use Review #1  
Revised Site Plans Dated February 16, 2022 (Received May 17, 2022)**

Dear Commissioners:

The applicant, Chahal Transport, Inc., proposes to construct an 8,320 square foot truck and trailer major repair facility on Schooner Drive. The 6.04-acre site is located south of Michigan Avenue extending between Schooner Drive (west) and Schooner Drive (east) on a M-2 (General Industrial) zoned site. The proposed major truck repair is a special land use in the M-2 district

We have reviewed the revised special land use request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):



**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

O 248.596.0920  
F 248.596.0930  
**MCKA.COM**

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## SPECIAL LAND USE REVIEW COMMENTS

Section 12.306 of the Zoning Ordinance sets forth criteria for the Planning Commission to consider when reviewing special land use proposals. All truck repair and maintenance facilities, whether major or minor, are considered special land uses in the M-2, General Industrial District. Following is our review of each special land use standard as it relates to this project:

- 1. Will promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activity; for those landowners and residents who are adjacent; and for the Township as a whole.**

This standard has been met. The proposed use of the site will convert the currently vacant lot into an economically viable use. Contiguous to other General Industrial and Light Industrial zoned lots, the use in this location is the most socially desirable option for the Township. Any impacts resulting from the proposed development will be mitigated through setbacks, landscaping, screening, and architectural requirements, which are reviewed in our revised site plan review letter under separate cover.

- 2. Is necessary for the public convenience at that location.**

This standard has been met. The proposed use is located on Schooner Drive, just off Michigan Avenue, a major regional thoroughfare, making it convenient to the users of the site, which will be primarily transport truck drivers.

- 3. Is compatible with adjacent uses of land.**

This standard has been met. The site is adjacent to existing industrial uses to its south, east, and west. The parcel(s) currently to the north of the proposed developed area of the site is currently undeveloped. The future land use map of the Township Master Plan indicates this area is primed for continued light and heavy industrial uses. We find that this proposed use is compatible with current and future adjacent uses.

- 4. Is so designed, located and proposed to be operated that the public health, safety and welfare will be protected.**

This standard has been met. The proposed site changes involve improvements to the currently vacant site, with enhancements to pedestrian circulation and landscaping. These are likely to improve public health, safety, and welfare in the industrialized area. Comments addressing the site layout, circulation, and access are discussed in our attached site plan review letter.

- 5. Can be adequately served by public services and facilities without diminishing or adversely effecting public services and facilities to existing land uses in the area.**

This standard has been met. We do not anticipate that the proposed use will affect the site's current public service capacity. The applicant is working with the Township Engineer to meet all utility requirements.

- 6. Will not cause injury to other property in the neighborhood in which it is to be located.**

This standard has been met. The proposed site improvements will not cause injury to other properties in the neighborhood in which it is located. As noted previously, the site is in an area of similar intensity industrial uses.



**7. Will consider the natural environment and help conserve natural resources and energy.**

This standard has been met. The site plan indicates consideration of the natural environment through an enhanced landscaping plan and preservation of significant wooded areas on the site. The provision of stormwater basins and parking lot landscaping will help mitigate the increase in impervious surface area.

**8. Is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located and meets applicable site design standard for special approval uses.**

This standard can be met. Major truck repair facilities are within the provisions of uses requiring special approval in the M-2 district. Subject to design revisions being made to the site plan to comply with the Ordinance requirements noted in our site plan review letter under separate cover, this standard can be met.

**9. Is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.**

This standard has been met. The major truck repair facility use is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.

**SPECIFIC APPROVAL CRITERIA FOR VEHICLE SERVICE USE**

Section 5.141 of the Zoning Ordinance sets forth additional standards for 'Vehicle Service' uses, as follows:

**1. Service stations and commercial garages, where permitted, shall be located at least five hundred (500) feet from any entrance or exit to a lot on which public, parochial or private school or a playground, playfield or park is located.**

With surrounding vacant and industrial uses, this standard is not applicable.

**2. The minimum frontage on any one (1) public street shall be at least one hundred fifty (150) feet.**

The site has a frontage of 274 feet on Schooner drive, which complies with the Ordinance.

**RECOMMENDATION**

The proposed use meets the general standards for consideration of special land use approval as well as specific criteria for vehicle service uses. Therefore, we recommend the Planning Commission recommend approval of the special land use for Chahal Transport to the Township Board of Trustees, subject to full site plan approval.

Respectfully,

**McKENNA**

Vidya Krishnan  
Senior Principal Planner

cc: Dan Power, Director of Planning and Economic Development  
Paul J. Kammer, FTCH, Township Engineers  
Andy Leneghan, Van Buren Township Fire Marshal

Gage Belko  
Assistant Planner





**MCKENNA**

July 19, 2022

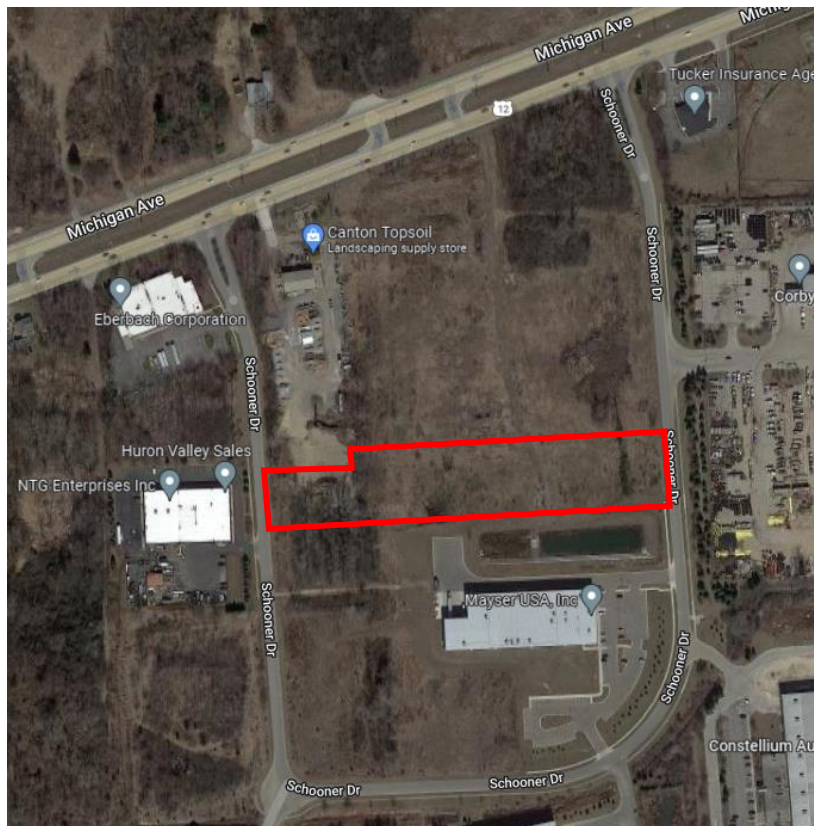
Planning Commission  
Charter Township of Van Buren  
46425 Tyler Road  
Belleville, Michigan 48111

**Subject: VBT-22-012 Chahal Transport - Schooner Drive; Site Plan Review #3  
Revised Plans Dated June 21, 2022 (Received July 5, 2022)**

Dear Commissioners:

The applicant, Chahal Transport, Inc., proposes to construct an 8,320 square foot truck and trailer major repair building with truck well and site improvements on Schooner Drive. The 6.04-acre site is located south of Michigan Avenue extending between Schooner Drive (west) and Schooner Drive (east).

We have reviewed the revised site plan based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):



Source: Google Maps

**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

O 248.596.0920  
F 248.596.0930  
**MCKA.COM**

**Communities for real life.**



## SITE PLAN REVIEW STANDARDS

1. **Zoning and Use.** The site is zoned M-2 (General Industrial District). The plan proposes the development and use of the eastern 2/3 of the site up to the existing western tree line, which is to be preserved for possible future development. The applicant proposes to operate a major truck repair facility on the site, which is considered a special land use in the M-2 district. Our comments on the proposed special land use are in a letter under separate cover.
2. **Required Information.** All of the site plan related details required per Section 12.203 of the Zoning Ordinance have been noted on the site plan.
3. **Dimensional Requirements.** The required front, rear and side yard setbacks for the M-2 District are 60 feet, 50 feet, and 50 feet, respectively. The proposed building complies. The maximum permitted building height in the M-2 district is 40 feet and the proposed building height is noted as 21 feet. The maximum permitted lot coverage is 35%. The proposed lot coverage is 3.8% which includes only buildings and complies with the Ordinance. The total proposed impervious surface area is noted as 54%; however, the Ordinance does not regulate it except requiring it be accommodated for storm water detention.
4. **Access and Circulation.**
  - a. **Location of Curb Cuts and circulation.** The site plan includes a new curb cut off Schooner Drive (east) which appears to be intended for 2-way movement of vehicles. The width of the access drive is noted at 36 feet. The applicant has provided a truck circulation diagram which shows truck movement throughout the site.

Per the revised site plans, fire lane access has been provided around the building. The access drive on the south side is shown as 24' wide which implies two-way movement of vehicles; originally, the parking abutting it was angled for one way parking. The revised plans show the spaces oriented at 90 degrees. Sufficient turnaround space for the truck trailer spaces has been provided.

Section 9.106 details spacing between driveways. For driveways on opposite sides of the road that are unable to be aligned, they should be offset a minimum 150 feet from center. The driveway across the street is shown with an offset of 198 feet, and is compliant.
  - b. **Cross Access.** No cross-access drives are proposed for the site.
  - c. **Sidewalks.** A new 5-foot sidewalk is proposed along the site's Schooner Drive frontage (east and west). An interior sidewalk 5 feet in width has been proposed on the north and partially along the east side of the building to provide pedestrian access from the parking lot to the building entrances on the north and east sides of the building via a crosswalk..
5. **Parking and Loading.** Parking requirements are as follows:
  - a. **Space Dimensions.** Parking spaces are proposed to be 10' wide x 18' deep. The Ordinance allows 18' deep spaces when overhanging a greenbelt area greater than 10 feet in width. All spaces are shown as being double striped.



b. **Number of Parking Spaces.**

Standard	Applicable Measurement	Number of Spaces Required	Number of Spaces Proposed
<b>Manufacturing:</b> Five (5), plus either one (1) per each 550 square feet gross floor area or one (1) per each employee at peak shift, whichever is greater.	8,320 sq. ft. of GFA plus 5 employees	20	<b>22</b>

The plan also includes 19 truck parking spaces along the northwest and southwest property lines dimensioned at 12' x 80' with turning area for maneuvering. Trucks parked in these spaces are noted to be awaiting repair, with no junk parts being stored or salvaged.

- c. **Barrier Free Spaces.** The plan indicates one (1) barrier free space, as required for parking lots containing 1-25 parking spaces. A striped crosswalk has been provided from the space leading to the proposed sidewalk. An ADA accessible ramp must be clearly shown on this portion of the sidewalk.
- d. **Loading.** For the proposed building size, one (1) 10 ft. x 25 ft. loading space is required. A 24 ft. x 80 ft. truck well is proposed at the northwest corner of the building to accommodate two loading areas and is compliant with the Ordinance.

6. **Landscaping and Screening.**

- a. **Landscaping Adjacent to Right-of-Way.** Section 10.103(A) requires lot frontage landscaping of 1 deciduous or evergreen tree/40 lineal feet + 1 ornamental tree/100 lineal feet + 8 shrubs/40 lineal feet. Per the landscape plan calculations, the site has a frontage of 274 feet – 36 feet driveway, or 238 feet on Schooner Drive (east). The site also has frontage Schooner Drive (west), however, the existing tree line to the west is to be preserved.

The site plan rounds up frontage to 240 feet. The site requires a total of 6 deciduous or evergreen trees + 3 ornamental trees + 48 shrubs along the site's frontage. The applicant has provided 10 deciduous or evergreen trees + 3 ornamental trees + 49 shrubs along the Schooner Drive frontage.

- b. **Parking Lot Landscaping.** Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public rights-of-way. The parking lot is screened from the Schooner Drive right-of-way by the proposed frontage landscaping.

**Interior Parking Lot Landscaping.** Section 10.103(B)(2) requires the provision of landscaping within islands in a parking lot. Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. The applicant has indicated there is a total of 88,352 sq. ft. of parking area, which requires a total of 4,418 sq. ft. of interior parking lot landscaping; the applicant has noted the provision of 6,080 sq. ft. of interior parking lot landscaping. Additionally, one (1) deciduous tree is required to be planted for each three hundred (300) square feet of interior landscaping, which the applicant has provided.



- c. **Loading Area Landscaping.** The loading area is situated at the rear of the proposed building, shielded from view of the public right-of-way by the building itself and the proposed landscaping of the site.
  - d. **Greenbelt Buffering.** In addition to previously mentioned landscaping requirements, a ten (10) foot wide buffer, with one (1) tree per thirty (30) lineal feet is required along the north and south side lot lines. The applicant has provided a ten-foot-wide buffer and the required trees along the north and south lot lines buffering the parking lot.
  - e. **Open Space Landscaping.** All remaining open areas on the site that are not required landscaping areas as described elsewhere in this Article shall be planted with one (1) deciduous or evergreen tree per three thousand (3,000) square feet of open area. The applicant has noted that 20,644 sq. ft. of open area remains beyond the required landscaping areas and has provided seven (7) deciduous trees to meet the ordinance requirement.
  - f. **Stormwater Basin Landscaping.** The site plan includes a proposed detention basin on the southeast corner of the site and a forebay on the northeast side, along Schooner Drive (east) frontage. Landscaping around the detention pond is subject to review and final approval by Wayne County.
7. **Tree Removal Permit.** The plans submitted do not include a detailed tree inventory of all the trees on the site, which has been repeatedly requested. The final submittal must include a tree survey identifying all regulated trees, i.e., trees with a d.b.h 5" or greater on the site. The tree survey can be limited to the area of disturbance if the limits are clearly specified. The wooded area on the rear of the site, if left undisturbed, need not be surveyed. A summary table of total number of trees on site, total number of regulated trees, trees to be preserved and trees to be removed, must be provided. All regulated trees to be removed must be replaced in accordance with Section 8.106 (J) of the Zoning Ordinance and clearly identified on the landscape plan. Required landscaping cannot be counted towards replacement.
8. **Stormwater Detention.** The plan proposes a detention pond to the southeast of the site and a forebay to the northeast. The detention pond design is subject to review and approval by the Township Engineer and Wayne County.
9. **Lighting.** The applicant has submitted a photometric plan for the site. The plan proposes nine (9) 25-foot light poles for parking lot illumination and eight (8) exterior wall fixtures mounted at 15 feet. Manufacturer's cut sheet detail for proposed fixtures have been provided and are acceptable. As previously recommended, consistent with all other developments on Schooner Drive, the revised plan notes a single 15' tall pole to the access drive for safety and clear visibility for emergency vehicles accessing the site. Light trespass into adjacent lots does not exceed 0.5 fc. The proposed illumination intensity on the site complies with the requirements of Section 8.105 (B)(2).
10. **Architecture and Facades.** The applicant has provided proposed building elevations. The building is proposed to be constructed of metal siding, metal standing seam roofing, and decorative single-score CMU block with accent banding. While the ordinance does not have specific architectural requirements for industrial buildings located in this area, the Planning Commission has consistently required architecture of a higher quality for all buildings in the Township.

The revised elevations incorporate alternate materials to enhance the office portion of the building façade facing the east and wrapping around to the north. The area includes wood grain composite



vinyl siding and smooth Hardi board (vinyl) modular panels. The proposed awning is of a factory finish painted metal. The applicant has submitted a full color rendering of the building (below).



11. **Dumpster.** The site plan notes a dumpster enclosure on the northern portion of the site, between the passenger parking and semi staging areas. The enclosure is to be constructed of block, with face brick and provided with a cap. The gates are to be constructed of steel panels. The brick color must match the building façade color.
12. **Signs.** It is noted on the plans that no signs are being proposed for the site. If signs are proposed at a future date, they must be submitted for administrative approval.
13. **Other.** The plan notes a gate at the main entrance drive into the site. Details of the proposed gate have been noted in addition to a note providing for fire department access. No fences are proposed as part of this plan.

### RECOMMENDATION

The revised site plan addresses most of the concerns from previous reviews, including parking standards, architectural standards, and access and circulation standards. The items remaining to be addressed can be included for review with the final site plan submission. Therefore, we recommend that the Planning Commission grant **preliminary site plan approval** for Chahal Transport to be located at the above site, subject to the following conditions:

1. Provision of barrier free access ramp to building.
2. Submission of a tree survey with replacement trees, as noted.
3. Notation that dumpster enclosure masonry color will match the building color.
4. Detention pond approval by Wayne County and Township Engineer.



Respectfully,  
**McKENNA**

Vidya Krishnan  
Senior Principal Planner

Gage Belko  
Assistant Planner

cc: Dan Power, Director of Planning and Economic Development  
Paul J. Kammer, FTCH, Township Engineers  
Andy Leneghan, Van Buren Township Fire Marshal



July 21, 2022  
Fishbeck Project No. 220675  
VBT Project No. 22-012

Dan Power  
Director of Planning and Economic Development  
Van Buren Township  
46425 Tyler Road  
Van Buren Township, MI 48311

## **Chahal Semi Truck/Trailer Repair Facility Site Plan Preliminary Site Plan Review #2**

Dear Director Power:

At the request of Van Buren Township (Township), Fishbeck has reviewed the second Preliminary Site Plan [dated 6-21-2022] submitted to the Township and distributed for Preliminary Site Plan review on June 30, 2022 for the Chahal Truck Repair Facility located at 6100 Schooner Drive in Van Buren Township, Michigan.

This project entails construction of a 8,320 square foot building within the interior loop of the Schooner Drive industrial park on the south side of Michigan Avenue. Proposed improvements include: the repair facility, a 41 space (22 vehicles, 19 truck) asphalt paved parking lot with curb, asphalt driveway with connection to Schooner Drive, a storm water collection and detention system, water and sanitary service connections to the proposed building, and other various landscaping and site plan improvements.

At this time, Fishbeck is conducting a preliminary site plan review, which looks at the engineering feasibility of the project and give preliminary review comments for the preparation of the engineering review submittal.

Our review comments are as follows:

### **General**

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. Soil boring information, including the ground water elevations, has been provided as part of the latest submittal. We would like to see the soil boring logs added as part of the plans, near the back of the engineering set, for ease of future reference when adjacent sites are proposed.
2. Any incoming flow to the site must be shown how it will be accounted for. Check swale coming into north side of forebay.
3. Plans should label size and material of the existing underground utilities within and adjacent to the property. (See Attached Map for more information).
4. The Title Sheet must include the list of required permits, broken down by type (ROW, SESC, etc.). The current plan set does not list the requirement for a Wayne County SESC permit.
5. All utility crossing information shall list bottom and top of crossing utility pipes. The separation shall also be shown on the profiles. 18-inch minimum crossing separation should be met for all crossings.

## Water Main Service

**Existing:** The Township's Geographic Information System (GIS) records and the applicant's plan indicate there is an existing 12-inch ductile iron watermain running east-west through the northern portion of the property. The existing water main connects between the east and west legs of the 12-inch ductile iron Schooner Drive water main loop. Existing information shows 2 hydrants and 2 gate valves in wells along the 12-inch water main.

**Proposed:** The applicant's plan does not indicate any proposed water main adjustments, however, they do indicate a removal and relocation of the existing eastern hydrant. A proposed 1-inch copper service tap is also shown tapping the existing 12-inch water main loop for service to the proposed building.

### Comments:

1. Applicant shall replace the existing hydrant with a new hydrant and turn over the existing hydrant to Township DPW.
2. Hydrant relocation placement will be subject to review by the Township Fire Marshal and may need adjustment, depending on final property layout. All hydrants must be placed a minimum of 5 feet from the back of curb. Plans must dimension this and note it for proper placement. The contractor shall look to use the same existing hydrant tap & lead to every extent possible, to eliminate the need for a new tap in the same area.
3. GIS indicates a second fire hydrant to the west and valves on both ends of the loop. The existing western hydrant appears on the existing topo survey, but is turned off on other pages. Hydrant shall be shown and labeled on all pages.
4. It appears the eastern gate well will be located in the proposed driveway and needs to be shown as being adjusted.
5. Adjustment of existing water main (adding dips/bends) for installation of new storm sewer will ONLY be allowed as a last resort. The applicant shall do everything possible to avoid crossing and conflicting with the existing water main. Any conflict resolution of this manner must be first approved by the Township. There may be an allowable solution to place a saddle or concrete encasement to avoid adding bends. Further discussion needs to be conducted during Engineering Design.

## Sanitary Sewer

**Existing:** The Township's GIS records and the plans indicate a 12-inch PVC truss pipe sanitary sewer main running north-south along the eastern leg of the Schooner Drive loop. The sanitary mains flow north towards the existing 24-inch sanitary main near the northern portion of the industrial park.

**Proposed:** The applicant's plan indicates a proposed 6-inch PVC sanitary sewer service lead with cleanouts from the proposed building to the existing 12-inch sanitary main along Schooner Drive.

### Comments:

1. The sanitary basis of design must follow the Van Buren Township Engineering Manual and the REU's must be based on the latest schedule of rate published by the Township located on the Water & Sewer Department page under Water & Sewer Rates
2. All service leads shall tap into the main upstream or downstream of a manhole utilizing a wye connection. Connection type shall be listed on the plans.
3. Maximum length of building sewers shall be 200 feet unless otherwise approved. Based on the requirements of the site, and the proposed ability to maintain 1.0%, we see no issue with allowing for a longer service lead. Final decision will be from the Township W&S Director.
4. The previous letter had the following comment: *Further information on the installation of the sanitary lead across the roadway and connecting to the existing system needs to be included in the next submittal.*



- a. Plans show the removal of the roadway pavement, but don't show anything more. Removal of the sidewalk, restoration of any of the existing pavement, sidewalk, etc. Details on pavement section, curb details, sidewalk section, maintenance of traffic, etc. will all be required. How much disruption/disturbance will there be to connect to the existing sewer. In general, the plans MUST show the limits of excavation, proposed installation techniques, crossing profile with existing utilities shown (water and storm crossing), overall constructability of the area, and final restoration of the roadway, lawn, and sidewalk.

## Storm Sewer

**Existing:** The Township GIS indicates a 36-inch storm sewer running north-south along the east side of Schooner Drive for the length of the property. North of the property, a 36-inch storm culvert inlet is indicated, which discharges into the roadway catch basin system, and eventually discharging into the 36-inch mainline. The 36-inch mainline appears to flow south before discharging into the existing Denton Drain on the south side of Schooner Drive.

The existing plans submitted show parts of the above-described system, but not all. There are still lines shown on the plans indicating existing storm sewer pipe, but show no information on size, material, slope, or directional flow. The existing runoff on the site appears to flow west to east towards an existing swale and is labeled with flow arrows. These discharge into the existing catch basin in the southeast of the property.

**Proposed:** The applicant's plan proposes a new, fully detained storm management system which includes: C-76 CL IV concrete pipe, inlets, catch basins, manholes, a storm detention forebay, and a storm detention pond. The system discharges first into the forebay, which connect into the detention pond before discharging into the Schooner Drive 36-inch storm sewer.

At this level of review, we do not complete detailed calculation review. It appears that calculations have been submitted and the general overall drainage of the site appears to meet the minimum requirements from the Township and Wayne County, however, a full intensive review will come after Preliminary Site Plan approval and initial conversations with Wayne County on Storm Water Management.

### Comments:

1. The applicant must do a bit more investigation into the existing storm system, showing precisely how the existing system operates. The manhole and catch basins located at the driveway entrance show only information on 1 of the catch basins. How has the ultimate outlet been verified? Do we have documentation that there is a blind tap into the 36-inch RCP storm sewer on the east side of Schooner?
2. Has there been any consideration of future expansion on the western side of the property? If so, the applicant should consider sizing the pond and/or leave room for future expansion so future improvements aren't necessary or can be accomplished. Is this the reasoning for 24-inch RCP between MH 10 and MH 5? Add a note in the plans and add it to the contributing area information (A=?, C=?).
3. Inlet #1 into the proposed forebay should be shifted westerly to maximize the overall time from inlet to outlet in the forebay. This allows for extension of time for sediment filtration. Can the system be reconfigured to place the outlet pipe from CB #3 or CB#4?
4. Calculations for the design of the storm sewer system must be expanded and shown all calculations. All storm water detention must be designed in accordance with the Township Design Standard Manual as part of the Engineering Plan submittal. Although the Wayne County standards have changed, the applicant must compare these with the Van Buren requirements and design for the most stringent requirements. **The maximum allowable discharge in the Township for detention basins is 0.1 cfs/acre.**

5. Profile views of all storm sewers have been included, but not fully reviewed. These will be reviewed during Engineering review. Profiles shall label cover/depth, utility crossing separation minimums shall be shown on the profiles, and all other information necessary to show the pipes are meeting minimum criteria.
6. Inverts shall be matched at 8/10ths elevations for a change in pipe size whenever possible.
7. Full detention pond and forebay details shall be included. Design cross sections have been included, but don't appear to include proper information applicable to this design (Pump station?). Adjust accordingly and provide accurate cross sections for review.
8. The Township will request to see that Wayne County has reviewed and commented on the stormwater system prior to reviewing the system itself. It is recommended that the applicant keep an open line of communication with the Township with respect to the storm water design, keeping in mind that the Township standards must be considered when designing the system.

## Paving and Grading

1. Restoration/reconstruction of all removed pavement must be shown on the plans. Roadway restoration will ultimately be reviewed by Wayne County and required to follow the County standards.
2. A maintenance of traffic plan will be required. Full closure of the roadway while making utility crossings appears to be the fastest and least disruptive, however, more discussion will need to be conducted between the County and Township Public Safety.
3. Sidewalk details shall follow Township Standard Details for sidewalk.
4. As part of the Engineering review process, the applicant will be required to provide more detailed grading plans that show detailed ramp grades for Americans with Disabilities Act 2010 (ADA) ramp areas.

## Soil Erosion and Sedimentation Control

1. Make sure the SESC plan provided is clear and concise, showing all elements that are needed for all areas of earth disturbance, and in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. A permit must be acquired from the Wayne County SESC County Enforcing Agency.  
<https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx>.
2. SESC plans should show all elements in a key/legend and easily be discernible on the plans. The silt fence line type does not match between legend and plans.
3. Sediment/inlet filters need to be added to existing catch basins in the roadway at the entrance and in the southeast area of the site, both in the road and on the property. Any structure that accepts flow into the existing system that could carry sediment needs to be protected.

## Recommendation

Fishbeck offers no objection and recommends the Planning Commission grant Preliminary Site Plan approval to the Chahal Semi Truck/Trailer Repair Facility, based on the preliminary site plans submitted to the Township on June 30, 2022. Prior to the next submittal for Final Site Plan and Engineering approval, the applicant shall review and amend any of the plan comments listed in the letter above, begin or continue conversations with Wayne County regarding storm water management and pavement design, and include all information as required in the Van Buren Township Engineering Standards Manual with the next submittal. If you have any questions regarding this project or our comments listed above, please contact me at 248.324.2137 or [pkammer@fishbeck.com](mailto:pkammer@fishbeck.com).

Sincerely,

A handwritten signature in black ink, appearing to read 'P. Kammer', followed by a horizontal line.

**Paul J. Kammer, PE**  
Senior Civil Engineer

Attachement

By email

Copy: Kevin Lawrence – Township  
Brittney Williams – Township  
Vidya Krishnan– McKenna

Andrew Lenaghan  
Deputy Fire Chief/Fire Marshal  
O: 734-699-8900 ext 9416

Van Buren Fire Department  
46425 Tyler Rd  
Van Buren Twp., MI 48111



July 13, 2022

Director of Building and Planning  
46425 Tyler Road  
Van Buren Township, MI 48111

Chahal Semi-Truck/Trailer repair facility  
Schooner Drive  
Van Buren Township, Michigan 48111

A site plan for the Chahal Semi-Truck /Trailer repair facility was reviewed for compliance with the Van Buren Township adopted fire code NFPA 1 2018. Fire Department access and water supply were the focus of this review.

**A 3<sup>rd</sup> review of the project was completed on 7/12/2022. All Fire Department concerns have been addressed.**

Upon review, the following will need clarification:

~~Construction type per NFPA 1~~ Confirmed Type 2 (000) in the 4/20 staff review meeting

~~Occupancy use group per NFPA~~ Confirmed Industrial Occupancy (NFPA 1) in the 4/20 staff review meeting

NFPA 1 2018 is the adopted fire code for the Charter Township of Van Buren, all future submittals will need to comply with this code.

### **Water Supply-Compliant**

The plans show 1 fire hydrant within the complex of the proposed structure, 1 hydrant approximately 450 feet north to the closest corner of the building, and a second hydrant 523 feet the south of the

***Our Mission:*** The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

building. All 3 hydrants are connected on a 12-inch water main. This is sufficient to achieve the required fire flow.

### **Fire Department Access-Compliant**

The plans show 360-degree access around the building. The fire lane width and turning radiuses are compliant. Fire lanes will need to be marked with approved signs.

If a security gate is to be installed at the entrance to the complex, and approved access control device **or Knox padlock for manual gates** will be required. The padlock shall be obtained from [www.knoxbox.com](http://www.knoxbox.com)

**Per the site plan (2<sup>nd</sup> page) under site “specific notes” #7 to avoid confusion, the Fire Department requires a Knox Padlock for the manual gate. The Fire Department does not supply the lock**

If you have any questions regarding this review, feel free to contact me at [alenaghan@vanburen-mi.org](mailto:alenaghan@vanburen-mi.org) or (734) 699-8900 ext. 9416

Andrew Lenaghan  
Deputy Fire Chief/Fire Marshal  
Van Buren Township

**CHARTER TOWNSHIP OF VAN BUREN  
PLANNING COMMISSION  
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Charter Township of Van Buren Planning Commission will hold a public hearing on **August 10, 2022 at 5:30 p.m.** The meeting will be held in person at Van Buren Township Hall, located at **46425 Tyler Road, Van Buren Township, MI 48111**, in the Board Room. Members of the public may additionally participate in the meeting electronically per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022. Instructions for attending the meeting electronically are provided in this notice. The Planning Commission will consider the following request:

**Case 22-012:** A request by applicant Joe Davenport on behalf of owner Sukhdev Singh to construct an 8,320 square foot truck and trailer repair building with truck well and site improvements located at 6100 Schooner Drive (parcel ID number V-125- 83 017 99 0014 714), located south of Michigan Avenue extending between Schooner Drive (west) and Schooner Drive (east). The property is zoned M-2 – General Industrial District. Truck repair as a principal use requires a special land use approval under Section 3.104 of the Van Buren Township Zoning Ordinance, which identifies Truck Repair and Maintenance Facility, Minor and Major as special land uses in the M-2 zoning district. A public hearing is required for special land uses under Article 12, Chapter 3 of the Zoning Ordinance.

Members of the public may access the agenda materials via the Township website – [www.vanburen-mi.org](http://www.vanburen-mi.org) beginning **August 5, 2022**. On the meeting website, members of the public will also gain access to **means of participating in the electronic meeting. On the agenda for the meeting**, a unique Zoom weblink and dial-in phone number with a meeting ID for meeting videoconference or teleconference access will be provided. The meeting will be available to view live on the Van Buren Township YouTube Channel which can be reached from the live meeting link located on the Van Buren Township website home page ([www.vanburen-mi.org](http://www.vanburen-mi.org)). Closed captioning will be available after YouTube fully renders meeting video.

A complete procedure for public comment by electronic means is provided on a guide which is accessible on the Van Buren Township website ([www.vanburen-mi.org](http://www.vanburen-mi.org)). Participants may also choose to submit written comments that will be read into record during public comment by the Chairperson. Submit any written comments or questions about the meeting via e-mail to [dpower@vanburen-mi.org](mailto:dpower@vanburen-mi.org).

To comply with the Americans with Disabilities Act (ADA), any citizen requesting accommodation to attend a meeting, and/or to obtain this notice in alternate formats, please contact the Clerk's Office at 734.699.8900 extension 9205.

Posted: July 18, 2022

Published: July 21, 2022



# CHAHAL SEMI TRUCK/TRAILER REPAIR FACILITY

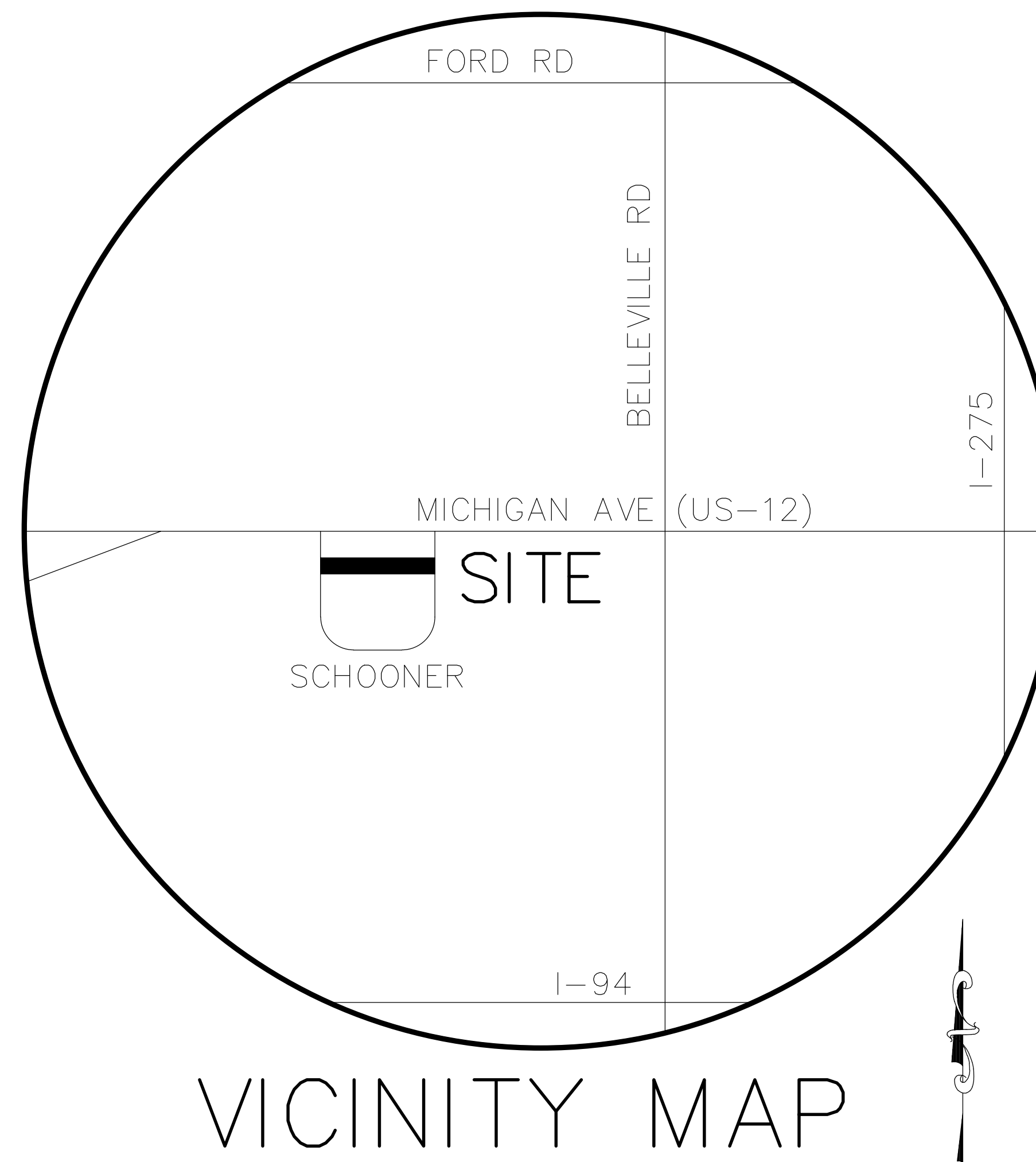
6100 SCHOONER DRIVE  
VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN

## DESIGN ENGINEERS

HARDY CIVIL DESIGN SERVICES LLC  
4996 MOORE  
WAYNE MI 48184  
Ph. (734) 756-2196  
E-MAIL: kbhardy1964@hotmail.com  
CONTACT: KEVIN HARDY

## GENERAL CONTRACTOR

JOE DAVENPORT  
(DAVENPORT BROTHERS CONST.)  
301 INDUSTRIAL PARK DRIVE  
BELLEVILLE, MI 48111  
Ph. (313) 350-0369  
E-MAIL: joe@davenportbrothers.com



VICINITY MAP

## PROPERTY OWNER

SUKHDEV SINGH  
8385 OPAL  
WESTLAND, MI 48185  
Ph. (734) 419-3060  
E-MAIL: suksingh363@gmail.com



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### REQUIRED PERMITS

WAYNE COUNTY (STORM WATER PERMIT)  
VAN BUREN TONWSHIP (SITE DEVELOPMENT PERMIT)

### PROPOSED USE

THE PROPOSED USE OF THE FACILITY IS FOR MAJOR TRUCK REPAIR.

VEHICLES AND THEIR TRAILERS MAY REQUIRE AND RECEIVE REPLACEMENT OR REPAIR TO MAY COMPONENT, SUCH AS ENGINES, EXHAUST SYSTEMS, TRANSMISSIONS, AND OR SUSPENSIONS.

NEW AND USED VEHICLES AND TRAILER COMPONENTS WILL BE REMOVED WITHIN THE PROPOSED BUILDING AND ALL NEW AND USED COMPONENTS WILL BE STORED WITHIN THE PROPOSED BUILDING.

### LEGAL DESCRIPTION

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 32, TOWN 2 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN; THENCE S.87°37'34"W., 61.08 FEET ALONG THE SOUTH LINE OF SAID SECTION 32, ALSO BEING THE NORTH LINE OF SECTION 5, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, M WAYNE COUNTY, MICHIGAN; THENCE ALONG THE WESTERLY LINE OF SCHOONER DRIVE (60' RIGHT OF WAY) THE FOLLOWING TWO COURSES: (1) SOUTHERLY 27.29 FEET ALONG THE ARC OF A 370 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 04°13'31" AND HAVING A CHORD BEARING S.07°20'55"E., 27.28 FEET AND (2) S.05°14'10"E., 476.68 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S.05°14'10"E., 274.00 FEET; THENCE S.85°10'54"W., 1010.75 FEET; THENCE N.04°49'18"W., 216.33 FEET ALONG THE EASTERLY LINE OF SAID SCHOONER DRIVE; THENCE N.88°17'04"E., 217.19 FEET; THENCE N.05°42'41"W., 69.43 FEET; THENCE N.85°10'54"E., 792.98 FEET TO THE POINT OF BEGINNING. BEING A PART OF THE NORTH 1/2 OF SECTION 5, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN.

TAX ID #83-017-99-0014-714

## ZONING & SETBACKS

SUBJECT PROPERTY ZONED M2 (GENERAL INDUSTRIAL)  
PROPOSED USE: SEMI TRUCK/TRAILER REPAIR

ADJACENT PROPERTY ZONING:

NORTH M1 & M2  
EAST M2  
SOUTH M2  
WEST M1

### SCHEDULE OF REGULATIONS FOR M2 ZONING

LOT SIZE NONE  
BUILDING HEIGHT 4 - STORY  
LOT COVERAGE 35%

### SETBACKS

FRONT 60'(o)  
REAR 50'  
SIDES 50'(p), TOTAL 100'

## SETBACK FOOTNOTES

(o) OFF-STREET PARKING FOR VISITORS, OVER AND ABOVE THE NUMBER OF SPACES REQUIRED UNDER SECTION 9.102 MAY BE PERMITTED WITHIN THE REQUIRED FRONT YARD PROVIDED THAT SUCH OFF-STREET PARKING IS NOT LOCATED WITHIN TWENTY (20) FEET OF THE FRONT LINE.

(p) OFF-STREET PARKING SHALL BE PERMITTED IN A REQUIRED SIDE YARD SETBACK.

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COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 32, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN; THENCE S.87°37'34"W., 61.08 FEET ALONG THE SOUTH LINE OF SAID SECTION 32, ALSO BEING THE NORTH LINE OF SECTION 5, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, M WAYNE COUNTY, MICHIGAN; THENCE ALONG THE WESTERLY LINE OF SCHOONER DRIVE (60' RIGHT OF WAY) THE FOLLOWING TWO COURSES: (1) SOUTHERLY 27.29 FEET ALONG THE ARC OF A 370 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 04°13'31" AND HAVING A CHORD BEARING S.07°20'55"E., 27.28 FEET AND (2) S.05°14'10"E., 476.68 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S.05°14'10"E., 274.00 FEET; THENCE S.85°10'54"W., 1010.75 FEET; THENCE N.04°49'18"W., 216.33 FEET ALONG THE EASTERLY LINE OF SAID SCHOONER DRIVE; THENCE N.88°17'04"E., 217.19 FEET; THENCE N.05°42'41"W., 69.43 FEET; THENCE N.85°10'54"E., 792.98 FEET TO THE POINT OF BEGINNING, BEING A PART OF THE NORTH 1/2 OF SECTION 5, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN.

6100 SCHOONER DRIVE  
TAX ID #83-017-99-0014-714

## GENERAL NOTES

- PICK UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
- PHASING OF THE PROJECT IS NOT PROPOSED.
- THERE ARE NO WETLANDS LOCATED ON SUBJECT PROPERTY.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY MAINTAINED IN A CLEARLY VISIBLE CONDITION.

## SITE SPECIFIC NOTES

- PROPOSED SEMI TRUCK REPAIR FACILITY. THERE WILL BE NO LONG TERM PARKING WITHIN THE SUBJECT PROPERTY.
- TRUCKS PARKED ON THIS PROPERTY ARE FUNCTIONAL AND AWAITING REPAIR I.E., NO JUNK TRUCKS FOR PARTS SALVAGE.
- THERE WILL BE NO HAZARDOUS WASTE GENERATED FROM THE SITE.
- OILS, SOLVENTS AND OTHER CHEMICALS WILL BE REMOVED FROM THE SITE BY APPROVED HAULING METHODS.
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP.
- THE APPLICANT IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE APPLICANTS ACTIONS.
- PROPOSED GATE TO BE SUPPLIED A FIRE DEPARTMENT LOCK.
- SITE FENCING IS NOT PROPOSED AS PART OF THIS PLAN.
- THERE IS NO PROPOSED SIGNAGE FOR THE SITE.

## REQUIRED PERMITS

- WAYNE COUNTY STORM MANAGEMENT PERMIT.
- VAN BUREN DEVELOPMENT PERMIT

## REQUIRED PARKING

PER TOWNSHIP ORDINANCE:

5 SPACES + EITHER 1 SPACE PER 550 S.F. GROSS FLOOR AREA OR 1 SPACE PER EACH EMPLOYEE AT PEAK SHIFT, WHICHEVER IS GREATER.

= 5+(MAX EMPLOYEE "5") = 10 REQUIRED SPACES OR  
= 5+(8320sf/550) = 20 REQUIRED SPACES

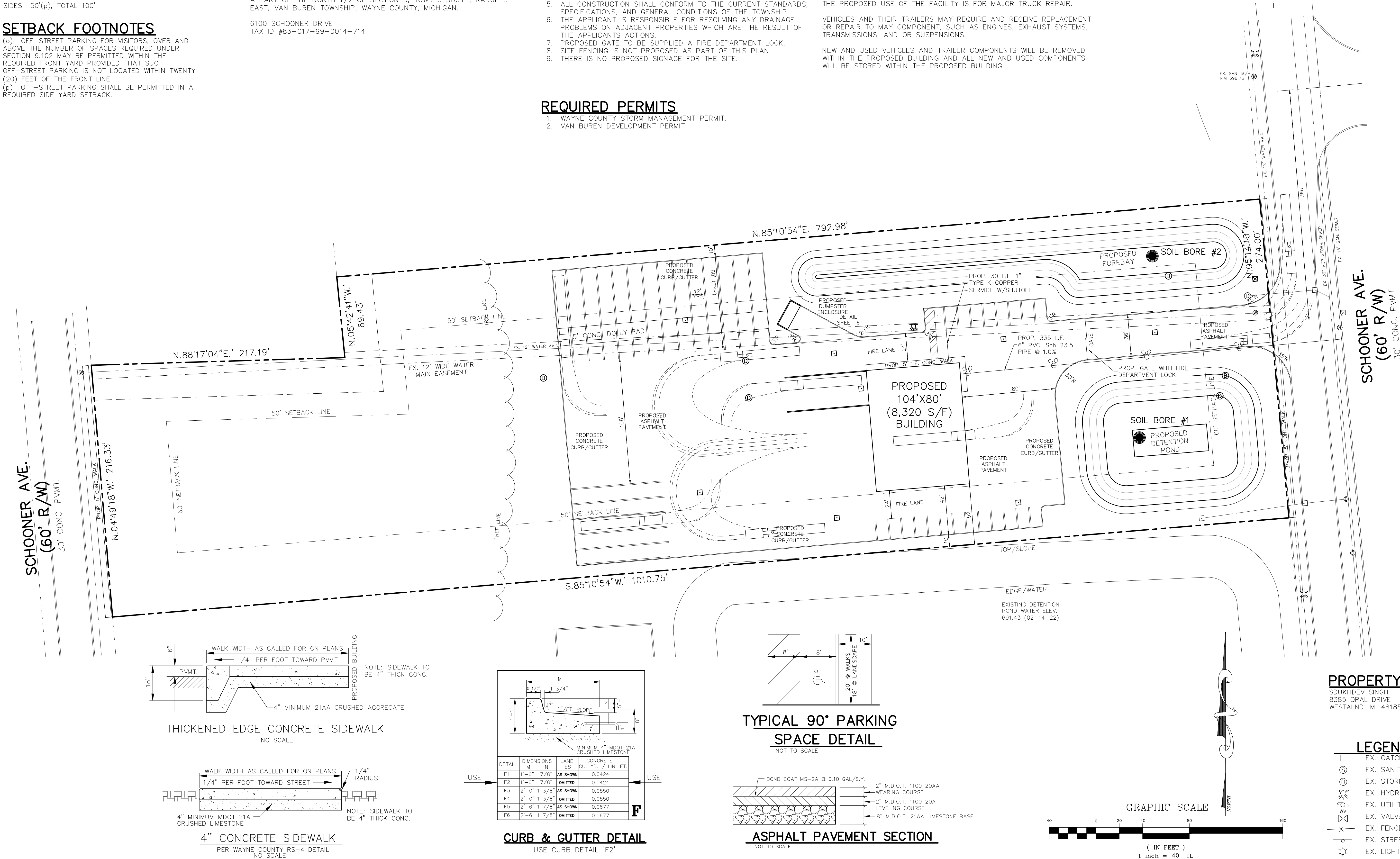
TOTAL SPACES REQUIRED = 20  
PROVIDED REGULAR SPACES 21  
PROVIDED BARRIER FREE SPACES 01  
TOTAL SPACES 22

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SEMI-TRUCK REPAIR FACILITY  
6100 SCHOONER ROAD  
VAN BUREN TWP, MI

SITE PLAN

HARDY

CIVIL DESIGN SERVICES LLC  
4996 MOORE ST. WAYNE, MI 48184  
(734) 756-2196  
E-mail: khardy1964@hotmail.com

SHEET No. 1 OF 1  
JOB No. 2022-01  
DRAWING No. A-  
DATE 01-10-22  
REVISIONS  
02-16-22  
05-06-22  
06-02-22  
06-21-22  
CHECKED BY:  
DRAWN BY:



ZONING & SETBACKS

SUBJECT PROPERTY ZONED M2 (GENERAL INDUSTRIAL)

ADJACENT PROPERTY ZONING:

NORTH M1 & M2  
EAST M2  
SOUTH M2  
WEST M1

SCHEDULE OF REGULATIONS FOR M2 ZONING

LOT SIZE NONE  
BUILDING HEIGHT 4 - STORY  
LOT COVERAGE 35%

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FRONT 60'(o)  
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SIDES 50'(p), TOTAL 100'

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FLOODZONE

THE SUBJECT PROPERTY IS LOCATED IN ZONE "C" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL 26163C0195E, DATED FEBRUARY 02, 2012.

PARCEL SOILS TYPE

Ba BELLEVILLE LOAMY FINE SAND  
TfA TEDROW LOAMY FINE SAND, LOAMY SUBSTRATUM, 0 TO 2 PERCENT SLOPES  
PER USDA SOILD SURVEY OF SOUTHEAST MICHIGAN.

LAND AREA

THE SUBJECT PROPERTY CONTAINS 262,924 S/F - 6.02 AC.

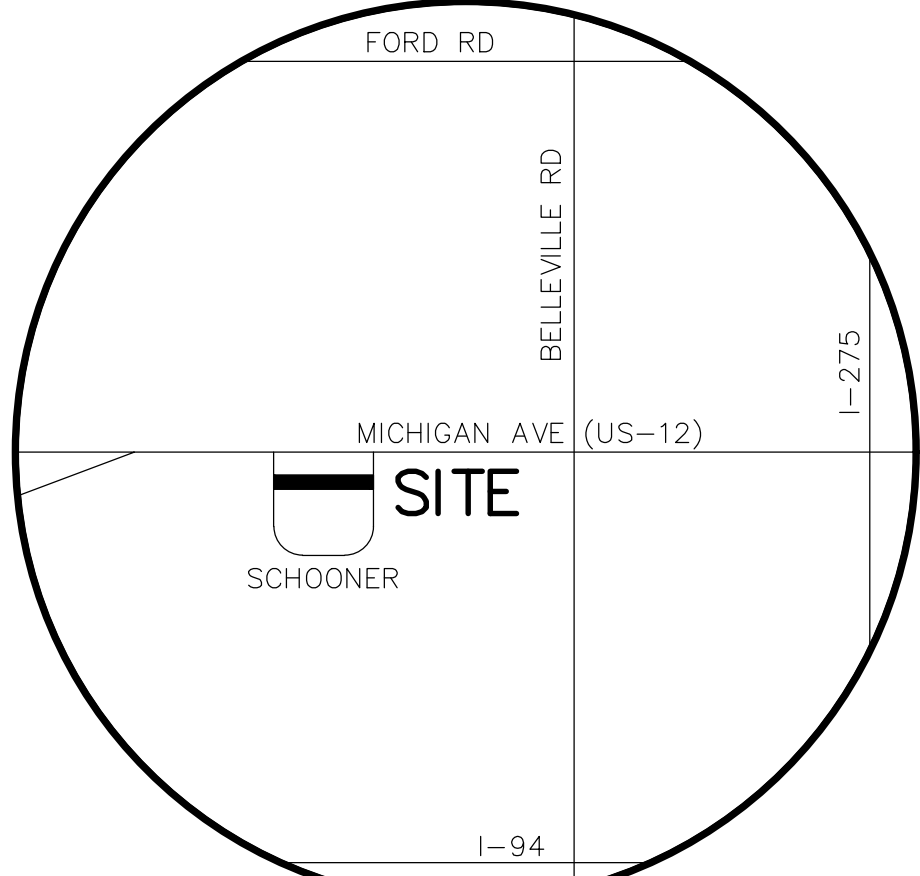
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- CONTRACTOR MUST PICK UP ANY FLOW FROM OFFSITE THAT CONTRIBUTES TO THE SITE.

BENCHMARKS (USGS NAVD29)

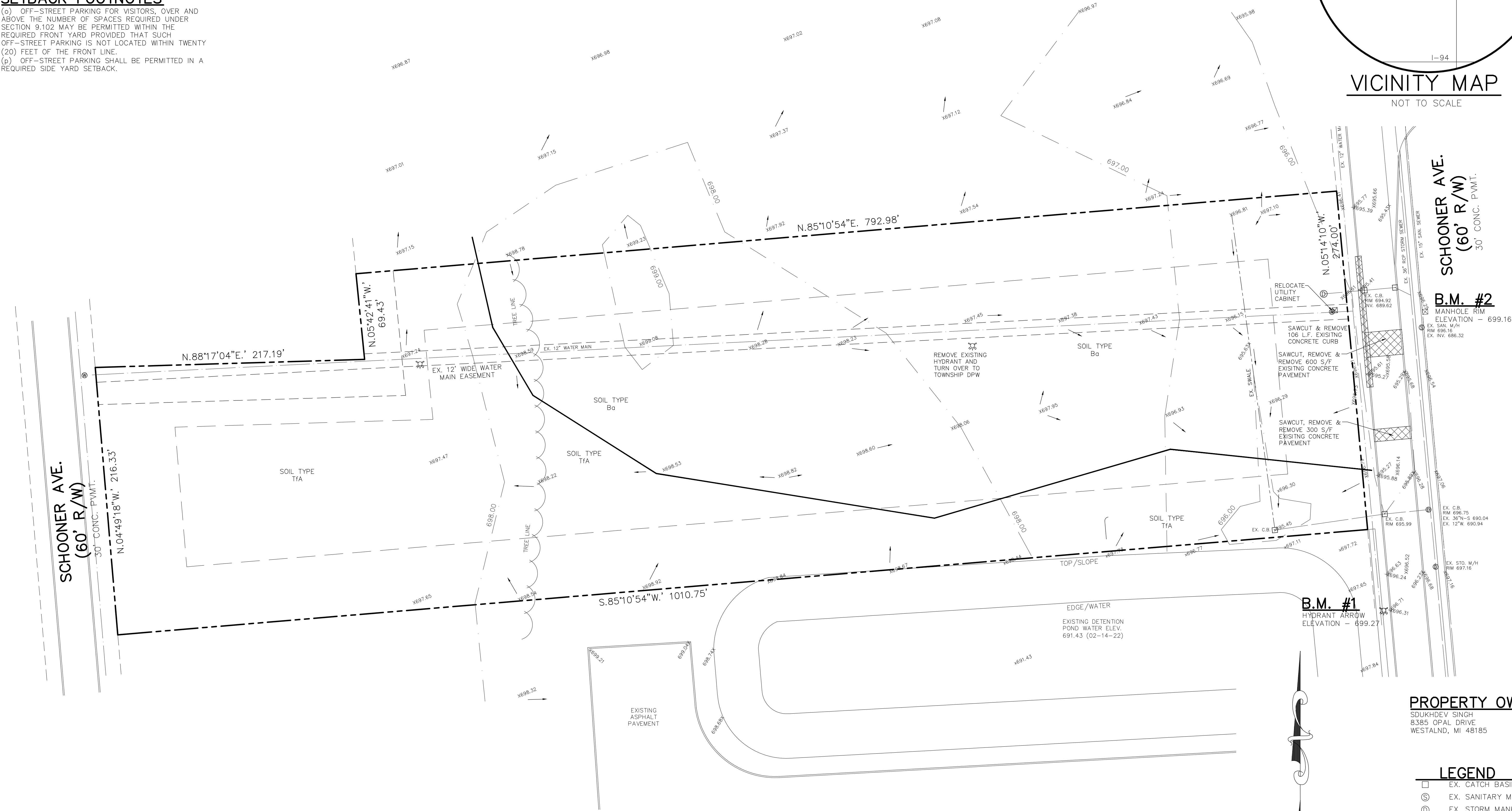
RIM ON EXISTING MANHOLE LOCATED ON THE EAST SIDE OF SCHOONER DRIVE 115' SOUTH OF NORTHERLY PROPERTY LINE OF SUBJECT PARCEL  
ELEVATION - 699.16

ARROW ON HYDRANT LOCATED ON THE WEST SIDE OF SCHOONER DRIVE 65' SOUTH OF SOUTHERLY PROPERTY LINE OF SUBJECT PARCEL...  
ELEVATION - 699.27



VICINITY MAP

NOT TO SCALE



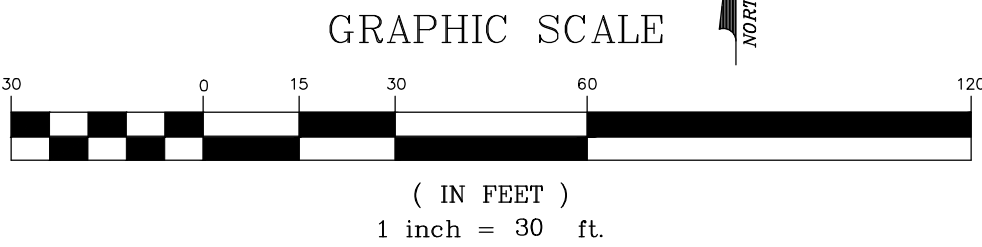
SCHOONER AVE.  
(60' R/W)  
30' CONC. PMT.  
B.M. #2  
MANHOLE RIM  
ELEVATION - 699.16  
EX. SAN. W/H  
RIM 698.16  
EX. INV. 686.32

B.M. #1  
HYDRANT ARROW  
ELEVATION - 699.27

PROPERTY OWNER  
SDUKHDEV SINGH  
8385 OPAL DRIVE  
WESTALND, MI 48185

LEGEND

- EX. CATCH BASIN
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- EX. HYDRANT
- EX. UTILITY POLE
- EX. VALVE WELL
- EX. FENCE
- EX. STREET SIGN
- EX. LIGHT POLE



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TOPOGRAPHIC  
SURVEY

SEMI-TRUCK REPAIR FACILITY  
6100 SCHOONER ROAD  
VAN BUREN TWP, MI

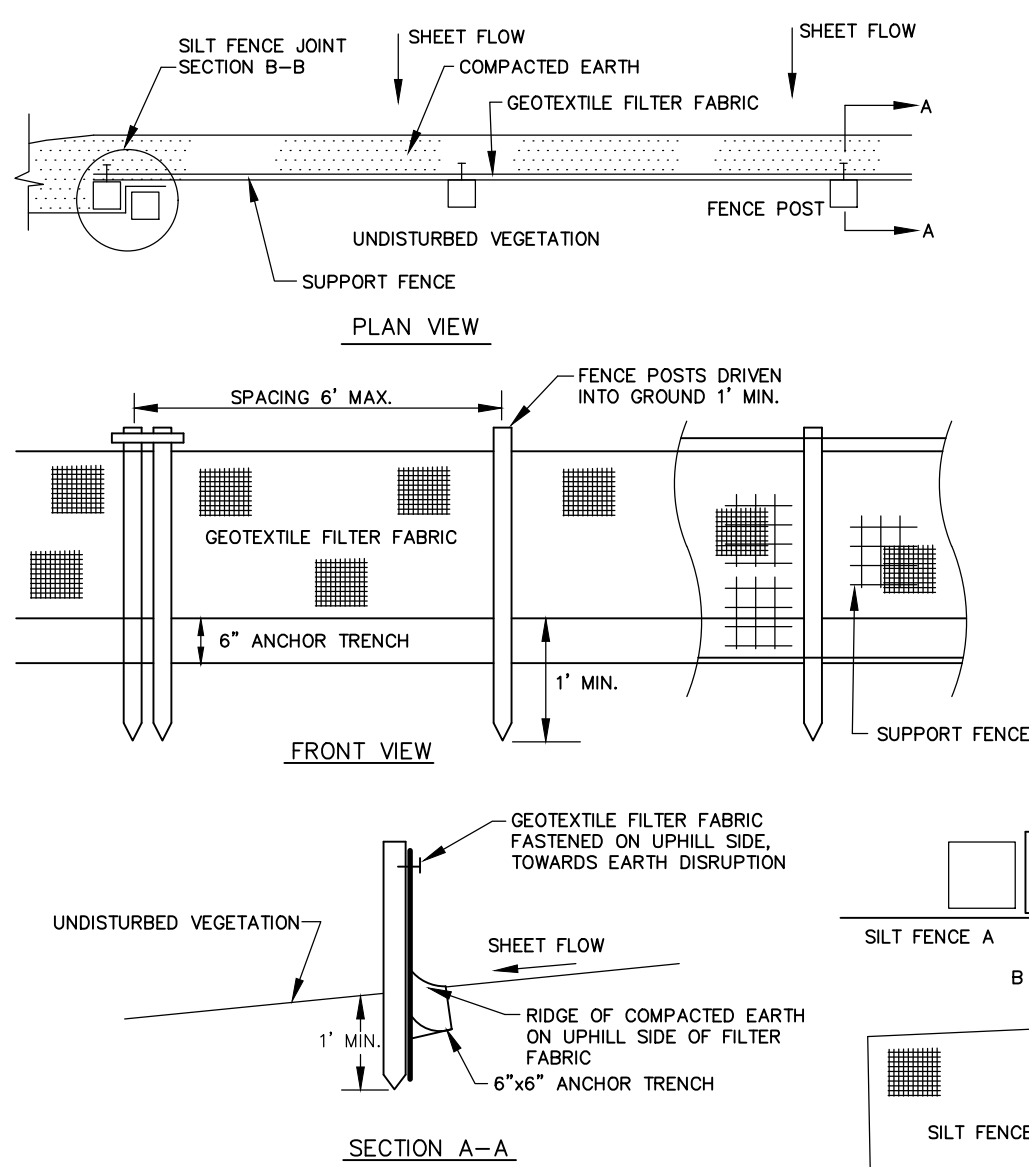
REVISIONS  
02-16-22  
05-06-22  
06-02-22  
06-21-22

DRAWING No.  
A-

JOB No.  
2022-01

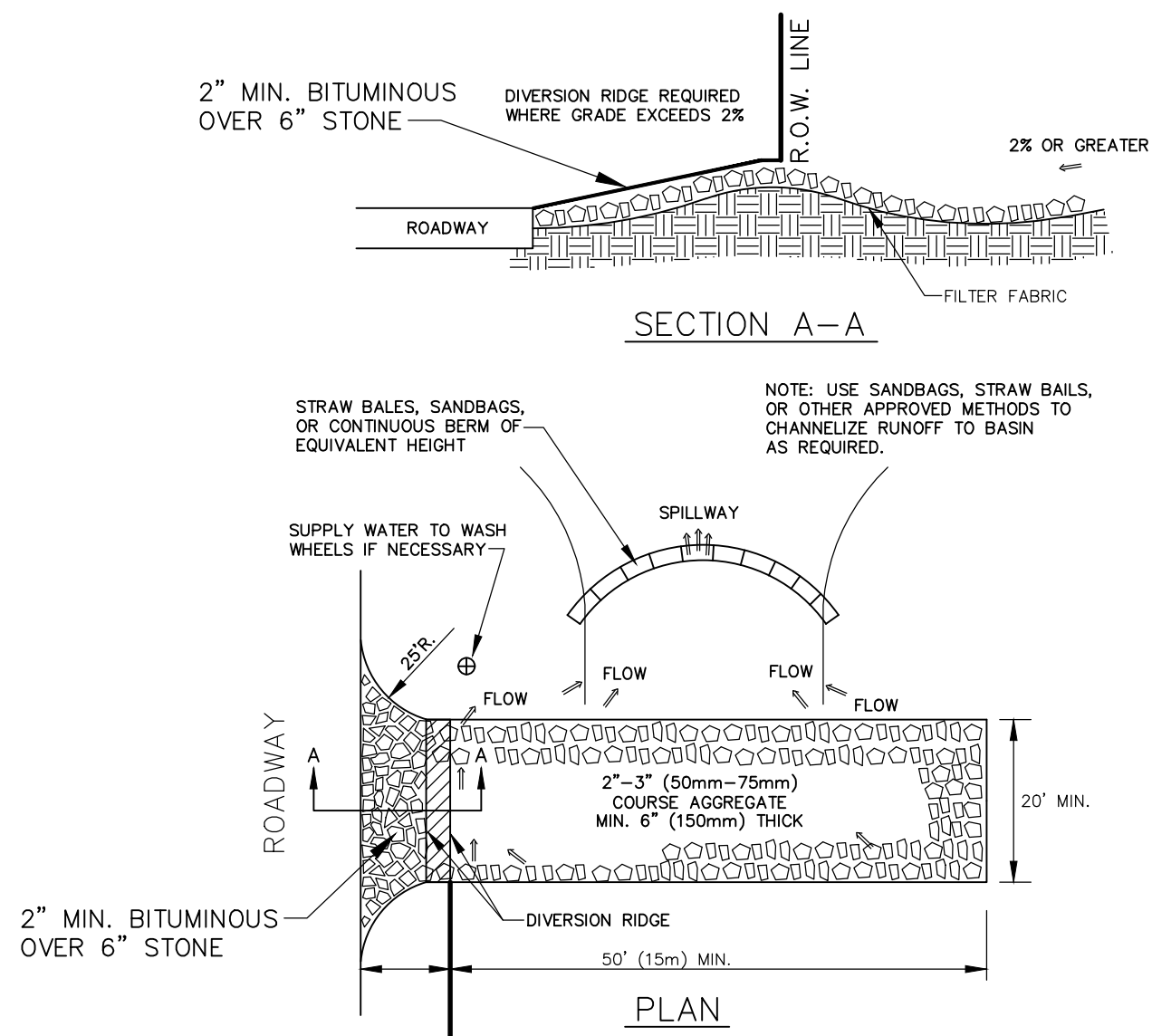
SHEET No.  
2 OF 2

CHECKED BY:  
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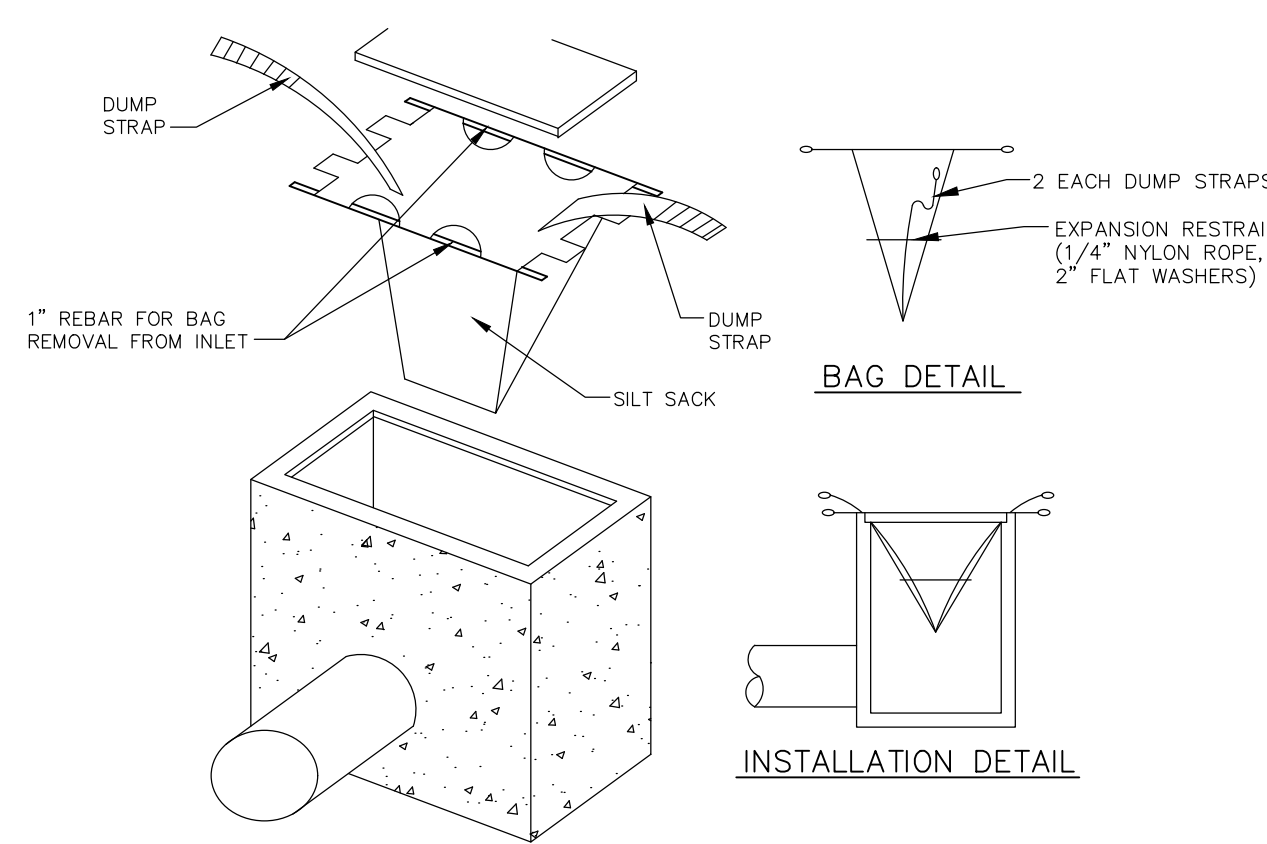
### SILT FENCE

THE PROPOSED SILT FENCE REPRESENTS THE LIMITS OF CONSTRUCTION



1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

### TEMPORARY CONSTRUCTION ACCESS DRIVE



### SOIL EROSION SEQUENCE OF CONSTRUCTION

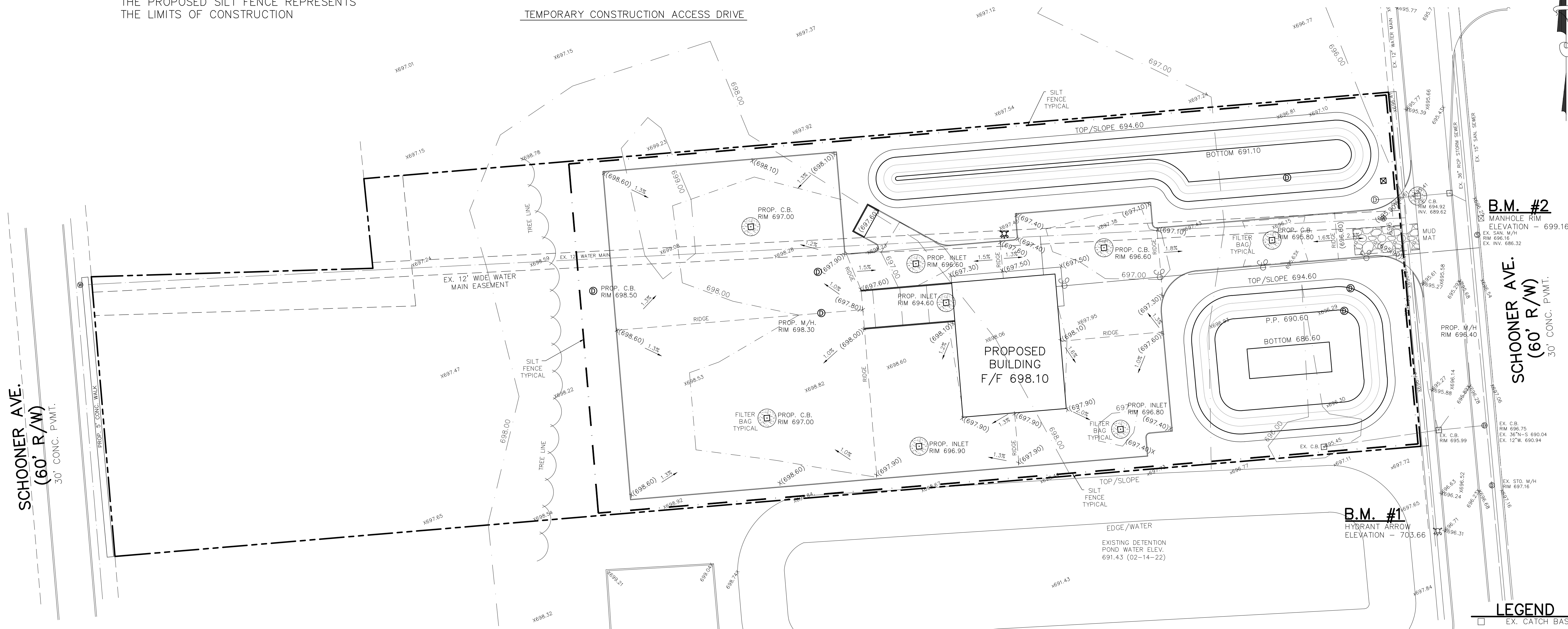
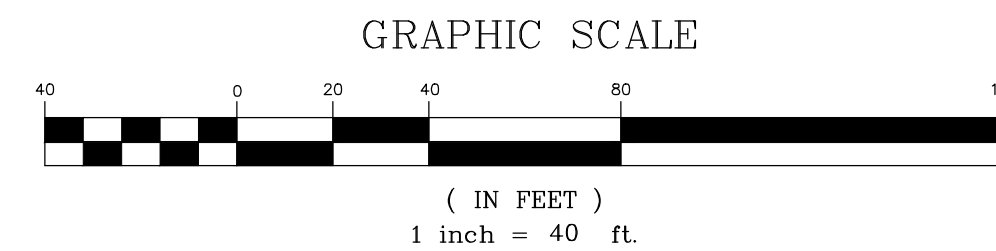
- (1) INSTALL SILT FENCE AS SHOWN HERE ON.
- (2) COMPLETE MASS GRADING AND UNDERGROUND UTILITIES.
- (3) COMPLETE BIOSWALE INSTALLATION
- (4) CONSTRUCT PARKING AREA.
- (5) RESTORE ALL DISTURBED AREAS WITH SOD OR TOPSOIL, SEED AND MULCH.
- (6) REMOVE SILT FROM FROM BEHIND SILT FENCE AND REMOVE SILT FENCE.

### SOIL EROSION SEQUENCE OF CONSTRUCTION

START DAY	END DAY
8-14	11-30
8-14	11-30
8-14	8-18
8-14	9-02
8-21	9-02
9-05	9-16
8-01	11-30
9-19	10-06
10-09	10-13
10-16	
11-01	
11-01	
11-30	

1. STONE TRACKING PAD ATOP GEOTEXTILE LINER (MUD-MAT).
2. INSTALL SILT FENCING AND PROTECTIVE FENCING.
3. STRIP AND STOCKPILE TOPSOIL.
4. GRADE AND BALANCE AS REQUIRED. STABILIZE DITCHES, SWALES, COMMON AREAS AND SLOPES PER PLAN WITHIN 5 DAYS OF GRADE.
5. EXCAVATE DETENTION BASIN, INSTALL APPROVED OUTLET, STABILIZE BEFORE PAVING IS STARTED.
6. INSTALL UNDERGROUND UTILITIES (I.E. SANITARY, STORM AND WATER MAIN).
7. PLACE INLET FILTERS.
8. INSTALL PAVEMENT COMPLETE.
9. INSTALL ALL PUBLIC UTILITIES COMPLETE (ELECTRIC, TELEPHONE, AND CABLE T.V.).
10. ESTABLISH VEGETATION FOR ALL DISTURBED AREAS AND ROAD / R.O.W.s.
11. CLEAN OUT STORM SEWERS SYSTEM.
12. CLEAN OUT AND RESTORE SEDIMENT FOREBAY AND DETENTION POND TO DESIGN SPECIFICATIONS.
13. REMOVE SILT FENCE FOLLOWING W.C.D.O.E. APPROVAL.

	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
SCRAPE STREETS		X	X	X	X	X	X
SWEEP STREETS				X			



### SOIL EROSION QUANTITIES:

1800 L.F. SILT FENCING  
1 EA. MUD MAT  
10 EA. SEDIMENTATION FILTER

### SOIL EROSION LEGEND

SILT FENCING  
SEDIMENTATION FILTER

### BENCHMARKS (USGS NAVD29)

RIM ON EXISTING MANHOLE LOCATED ON THE EAST SIDE OF SCHOONER DRIVE 115' SOUTH OF NORTHERLY PROPERTY LINE OF SUBJECT PARCEL  
ELEVATION - 699.16

ARROW ON HYDRANT LOCATED ON THE WEST SIDE OF SCHOONER DRIVE 65' SOUTH OF SOUTHERLY PROPERTY LINE OF SUBJECT PARCEL  
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### PROPERTY OWNER

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8385 OPAL DRIVE  
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### LEGEND

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SEMI-TRUCK REPAIR FACILITY  
6100 SCHOONER ROAD  
VAN BUREN TWP., MI

GRADING PLAN

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SHEET No.	JOB No.	DRAWING No.	DATE	REVISIONS
3	2022-01	A-	01-10-22	02-16-22
				05-06-22
				06-02-22
				06-21-22



# LAND USE SUMMARY

## Land Characteristic

Existing	Proposed
Total Development Area (ac)	6.03
Impervious Area (ac)	0
Total Pervious Area (ac)	0

## Pervious Area Breakdown by Cover Type

Non-cultivated	0
Impervious Area (ac)	N/A

## Improved area (grass/landscape)

Predominant NRCS Soil Type	type B
Wooded Area (ac)	0
Predominant NRCS Soil Type	N/A

## Calculated CPVC Volume (cf)=

CPVC	12,505
CPRC	23,760

## CALCULATE RUNOFF COEFFICIENT

$$C=(A^*)CII/A$$

## TIME of CONCENTRATION CALCULATIONS

V (sheet flow)=	0.48	1	%slope
Flow time=	4.3	125	flow length
V (shallow flow)=	1.37	1.3	%slope
Flow time=	9.1	750	flow length
V (sewer flow)=	3.00	fps	
Flow time=	8.3	750	flow length

## concentration time=

if site is less than 2 acres, use

## CALCULATE 100-YEAR PEAK INTENSITY

$$I_{100}=5.2 \ln/hr$$

## CHANNEL PROTECTION VOLUME CONTROL (CPVC)

$$V_{cpvc}=12,680 \text{ cf}$$

## CHANNEL PROTECTION RATE CONTROL (CPRC)

$$V_{cpvc}=24,091 \text{ cf}$$

## GENERAL NOTES

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- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY MAINTAINED IN A CLEARLY VISIBLE CONDITION.

## UTILITY CROSSING SCHEDULE

No.	INFO.	ELEVATION	ACTION
1	BOTTOM EX. 36"	689.70±	
2	BOTTOM EX. W.M.	690.70±	
3	BOT. PROP. 24"	690.25	
4	BOT. PROP 12"	692.25	
5	TOP EX. W.M.	690.50±	(LOWER W.M. to 689.20)
6	TOP EX. W.M.	690.50±	(LOWER W.M. to 689.50)
7	TOP EX. W.M.	690.80±	(LOWER W.M. to 688.70)

## STRUCTURE SCHEDULE

No.	INFO.
1	INV. 24" DIA. INLET RIM 695.80
2	INV. 24" DIA. INLET RIM 695.80
3	INV. 24" DIA. INLET RIM 695.80
4	INV. 24" DIA. INLET RIM 695.80
5	INV. 24" DIA. INLET RIM 695.80

No.	INFO.
6	4" DIA. MANHOLE INV. 18" N. 692.29
7	4" DIA. C.B. RIM 696.60
8	2" DIA. INLET RIM 696.90
9	2" DIA. INLET RIM 697.00
10	4" DIA. C.B. RIM 698.50

No.	INFO.
11	2" DIA. INLET RIM 696.80
12	INV. 12" SW. 691.10
13	2" DIA. INLET RIM 697.00
14	2" DIA. INLET RIM 697.00
15	2" DIA. INLET RIM 697.00

## 100-YEAR FLOOD CONTROL VOLUME CALCS

Qallow=	1.11
Q=	5.883
Q=	18.6
V=	65.111
(Vr/Vs)=	0.457
100-year (req)	29,755

## SITE DESIGN MUST ACCOMMODATE THE FOLLOWING VOLUMES:

CPVC=	12,505
CPRC=	23,760
flood control=	17,250

## REQ. DETENTION VOL. DETERMINATION

CPVC	12,505
CPRC	23,760

$$req \text{ storage vol.} = 23,760 \text{ cf}$$

## FOREBAY DESIGN

### Required Volume 12505

ELEV.	AREA	VOLUME	CUM. VOL.	DEPTH
691.10	3,705.00	0.00	0.00	0.00
692.00	5,914.00	4,285.70	4,285.70	0.90
693.00	10,504.00	8,091.79	12,377.49	1.00
693.60	15,319.00	7,693.91	20,071.40	0.60
693.60	3,475.00	-6,026.06	-6,005.95	-0.60
692.00		0.00	-6,005.95	0.00

## ZIT= LOWER EL. + (UPPER EL. - LOWER EL.)

REQ. VOL. CUM. VOL. LOWER EL. - (CUM. VOL. UPPER EL. - CUM. VOL. LOWER EL.)	693.00	693.60	12,377.49	20,071.40
ZIT=	693.00	693.60	692.00	

## Forebay Outlet Design

### Riser Outlet Pipe & Orifice Sizing

$$Q_{avg} = 24\text{-hour average allowable outflow rate (cfs) of forebay - restrictor}$$

$$= Vt / 86400 = 0.145 \text{ cfs}$$

$$V_{avg} = 0.667 * Q_{avg} * Z_{out}$$

$$Z_{out} = \text{upstream crown elevation of riser outlet pipe}$$

$$Z_{out} = \text{assumed 4" pipe} = 0.00$$

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## DETENTION BASIN DESIGN

### Bankfull Flood Storage & Total Storage Volume Requirements

$$Vt \text{ bf} = 5160 * A * C = 17776.2$$

$$Q_{avg} \text{ bf} = 40\text{-hour average allowable outflow rate (cfs) of bank full storage - restrictor}$$

$$= Vt \text{ bf} / 144000 = 0.12 \text{ cfs}$$

$$REQ. DETENTION VOL. DETERMINATION$$

$$\text{Is the site utilizing Bioretention Y/N}$$

$$\text{Required detention volume} = 29,755$$

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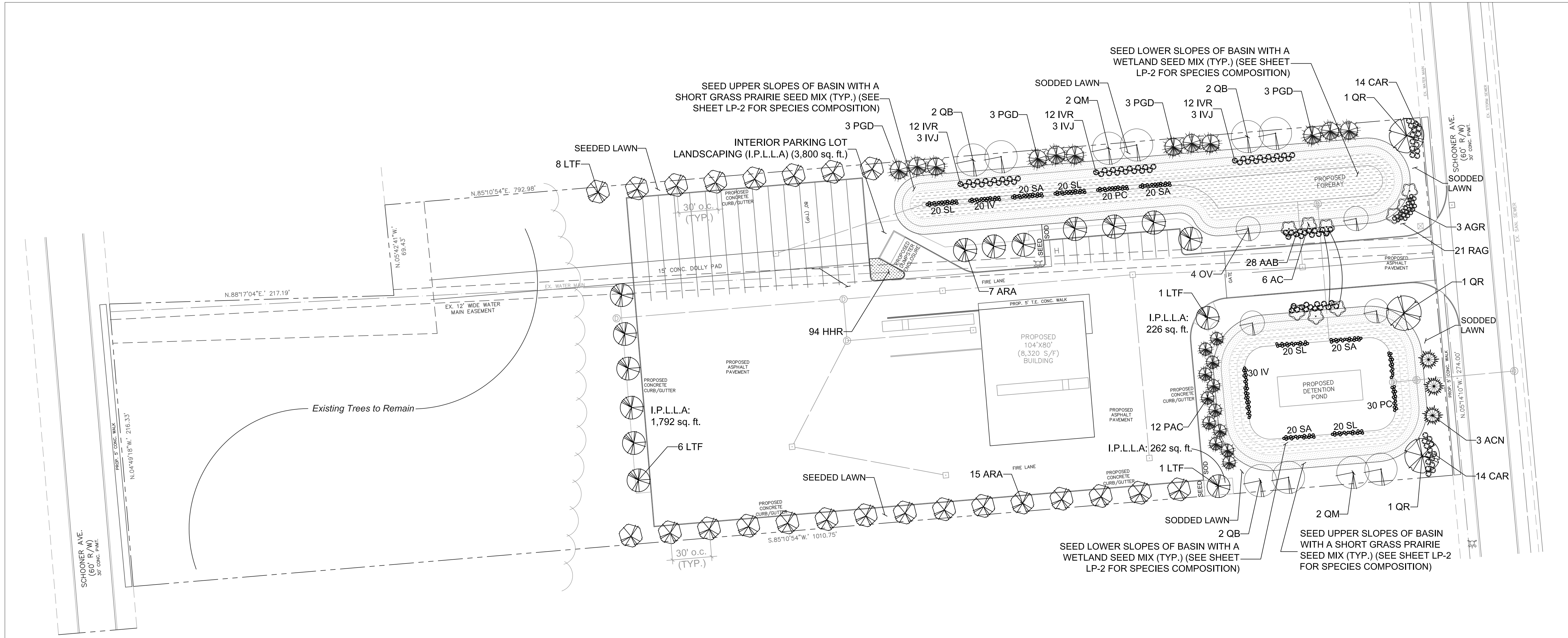
## Detention Outlet Design

### Bank Full Flood Flow Restrictor Sizing

$$Q_{avg} \text{ bf} = Vt \text{ bf} / (40 * 3600) = 0.1234 \text{ cfs}$$

$$H_{avg} = 0.66666667 * (Z_{bf} - Z_{out}) = 1.213 \text{ ft}$$

$$A_o = Q_{bf} / (0.62 * \sqrt{2 * g * H_{avg}}) = 0.0225$$



LANDSCAPE PLANTING PLAN

scale: 1" = 40'

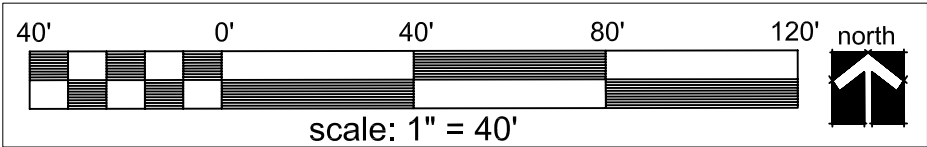
PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
FRONTAGE LANDSCAPING - Schooner Avenue				
ACN	3	<i>Abies concolor</i>	Concolor Fir	8' ht. B&B
AGR	3	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Apple Serviceberry	2" cal. B&B
CAR	28	<i>Clethra alnifolia</i> 'Ruby Spice'	Ruby Spice Summersweet	30" ht., 5 gal. pot
QR	3	<i>Quercus rubra</i>	Red Oak	3" cal. B&B
RAG	21	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
INTERIOR PARKING LOT LANDSCAPING				
ARA	7	<i>Acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Red Maple	3" cal. B&B
LTF	8	<i>Liriodendron tulipifera</i> 'Fastigiata'	Fastigiate Tuliptree	3" cal. B&B
HHR	94	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 36" o.c.
LOADING AREA LANDSCAPING				
PAC	12	<i>Picea abies</i> 'Cupressina'	Cupressina Norway Spruce	8' ht. B&B
OPEN SPACE LANDSCAPING				
PGD	12	<i>Picea glauca</i> 'Black Hills'	Black Hills White Spruce	8' ht. B&B
STORMWATER BASIN LANDSCAPING				
AAB	28	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliantissima Red Chokeberry	36" ht., 5 gal. pot
AC	6	<i>Amelanchier canadensis</i>	Clump Serviceberry	8' - 10' ht. B&B
IVJ	9	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Michigan Holly	30" ht., 5 gal. pot
IVR	36	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Michigan Holly	30" ht., 5 gal. pot
OV	4	<i>Ostrya virginiana</i>	American Hophornbeam	2" cal. B&B
QB	4	<i>Quercus bicolor</i>	Swamp White Oak	3" cal. B&B
QM	2	<i>Quercus macrocarpa</i>	Bur Oak	3" cal. B&B
Emergent Plantings				
IV	50	<i>Iris virginica</i>	Blue Flag Iris	Bare Root
PC	50	<i>Pontederia cordata</i>	Pickeral Weed	Bare Root
SA	80	<i>Scirpus acutus</i>	Hard-Stemmed Bulrush	Bare Root
SL	70	<i>Sagittaria latifolia</i>	Broad-Leaf Arrowhead	Bare Root
GREENBELT BUFFER LANDSCAPING				
ARA	15	<i>Acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Red Maple	3" cal. B&B
LTF	8	<i>Liriodendron tulipifera</i> 'Fastigiata'	Fastigiate Tuliptree	3" cal. B&B

LANDSCAPE CALCULATIONS

FRONTAGE LANDSCAPING - Schooner Avenue (240 l.f.)  
\* One (1) deciduous or evergreen tree / 40 l.f. = 6 trees  
\* One (1) ornamental tree / 100 l.f. = 2.4 trees = 3 trees  
\* Eight (8) shrubs / 40 l.f. = 48 shrubs  
PARKING LOT LANDSCAPING (88,352 sq. ft. of parking area)  
\* Interior landscaping shall account for a minimum of five percent of all paved parking areas  
\* 88,352 times .05 equals 4,418 sq. ft.  
\* One (1) deciduous tree shall be planted for each three hundred (300) sq. ft. or fraction thereof of interior landscaped area  
\* 4,418 divided by 300 = 14.73 trees = 15 trees  
\* Interior parking lot landscape provided equals 6,014 sq. ft.  
LOADING AREA LANDSCAPING  
\* Loading areas shall be screened from a perpendicular view from any public street rights-of-way  
\* Evergreen trees at least eight feet (8') in height and planted in staggered double row spaced fifteen feet (15') on center  
OPEN SPACE LANDSCAPING (20,644 sq. ft.)  
\* One (1) deciduous or evergreen tree shall be planted per 3,000 sq. ft. of open area  
\* 20,644 divided by 3,000 equals 6.88 trees = 7 trees  
STORMWATER BASIN LANDSCAPING  
\* The landscape treatment for the side slopes and bottom of the basin shall be planted with native plants consisting of a native seed mix and plugs  
\* Trees and shrubs shall be planted around the perimeter of the basin  
GREENBELT BUFFER LANDSCAPING  
\* One (1) deciduous or evergreen tree shall be planted per 30 l.f. of required buffer

NOTE:  
\* See Sheet LP-2 for landscape planting details, landscape development notes, parking lot island detail, detention pond planting notes, and seed mix compositions.



date: March 2, 2022  
revised:  
05-16-2022      Revise for Township review ltr.  
dated April 14, 2022.



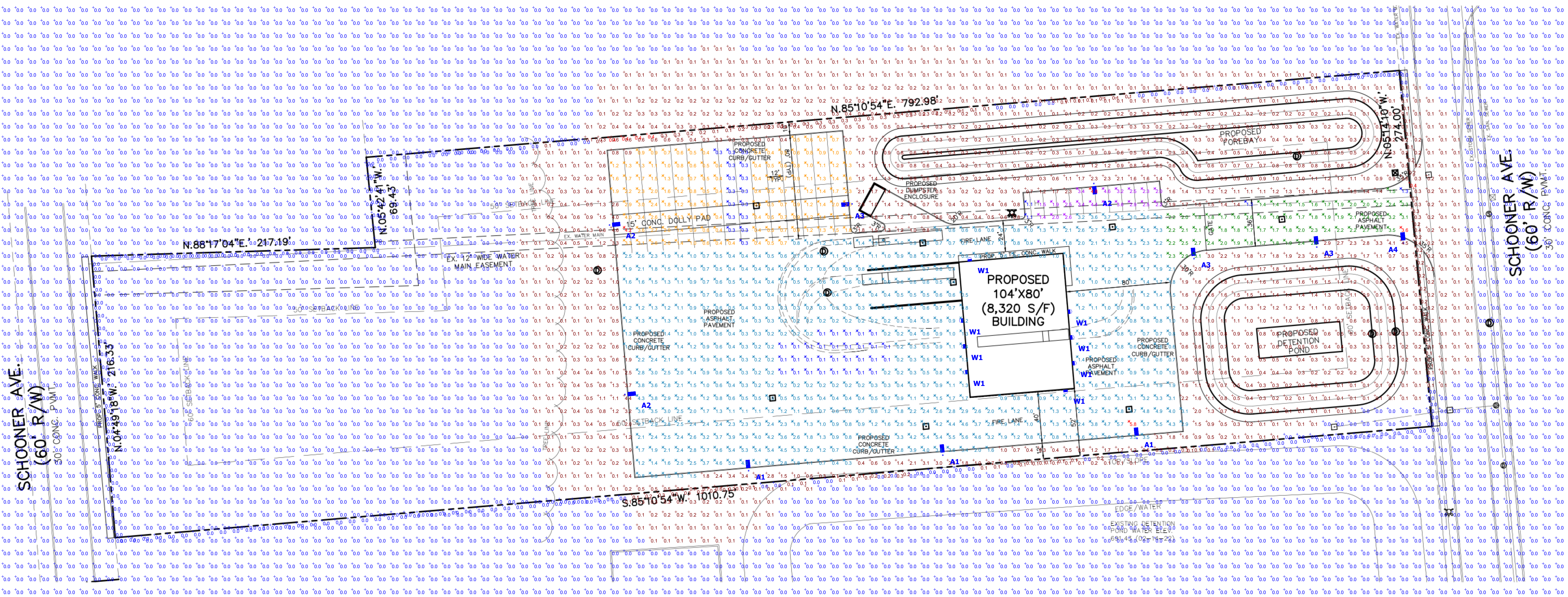
LANDSCAPE PLAN FOR:  
Davenport Brothers Construction  
301 Industrial Park Drive  
Belleville, Michigan 48111  
(734) 697-2994

PROJECT LOCATION:  
Proposed Trucking Facility  
Schooner Avenue  
Van Buren Township,  
Michigan


LANDSCAPE PLAN BY:  
Nagy Devlin Land Design, L.L.C.  
31736 West Chicago Ave.  
Livonia, Michigan 48150  
(734) 634-9208







Plan View  
Scale - 1" = 40ft



**D-Series Size 1**  
LED Wall Luminaire

DLG  
DALI  
USA  
Bully American

**Specifications**

**Luminaire**

Width: 13-3/4" (349mm)  
Depth: 4-1/2" (114mm)  
Height: 6-3/8" (162mm)

**Back Box (BBW, E20WC)**

Width: 13-3/4" (349mm)  
Depth: 4-1/2" (114mm)  
Height: 6-3/8" (162mm)

**Introduction**

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.


**Ordering Information**

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBBTXD

Series	LED	Color	Power	Temp	Beam	Mount	Control
DSXW1	LED	40K	1000W	T3M	MVOLT	DBBTXD	

**Accessories**

DLG  
DALI  
USA  
Bully American



**D-Series Size 1**  
LED Area Luminaire

DLG  
DALI  
USA  
Bully American

**Specifications**

Length: 22-1/2" (571mm)  
Width: 13-3/4" (349mm)  
Height H1: 7-1/2" (191mm)  
Height H2: 3-1/2" (89mm)  
Weight (max): 27.8 lbs (12.6kg)

**Introduction**

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

**Ordering Information**

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DBBTD

Series	LED	Color	Power	Temp	Mount	Control
DSX1	LED	40K	1000W	T3M	MVOLT	DBBTD

**Accessories**

DLG  
DALI  
USA  
Bully American

**General Note**

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
- PROPERTY LINE CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 5' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT [ASG@GASSERBUSH.COM](mailto:ASG@GASSERBUSH.COM) OR 734-266-6705.

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
ENTRANCE	✕	2.1 fc	3.6 fc	1.3 fc	2.8:1	1.6:1	0.6:1
PARKING	✕	2.7 fc	4.8 fc	1.1 fc	4.4:1	2.5:1	0.6:1
PROPERTY LINE	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A	0.3:1
SEMI STAGING	✕	1.1 fc	4.2 fc	0.3 fc	14.0:1	3.7:1	0.3:1
SITE CIRCULATION	✕	1.4 fc	5.8 fc	0.1 fc	58.0:1	14.0:1	0.2:1

Schedule						
Symbol	Label	Quantity	Manufacturer	Description	Lamp	Mounting Height
✕	A1	3	Lithonia Lighting	DSX1 LED AREA LIGHT, 4000K	LED	25'-0"
✕	A2	3	Lithonia Lighting	DSX1 LED AREA LIGHT, 4000K	LED	25'-0"
✕	A3	3	Lithonia Lighting	DSX1 LED AREA LIGHT, 4000K	LED	25'-0"
+	W1	8	Lithonia Lighting	DSXW1 LED WALL LUMINAIRE, 4000K	LED	15'-0"
✕	A4	1	Lithonia Lighting	DSX0 LED AREA LIGHT, 4000K	LED	15'-0"

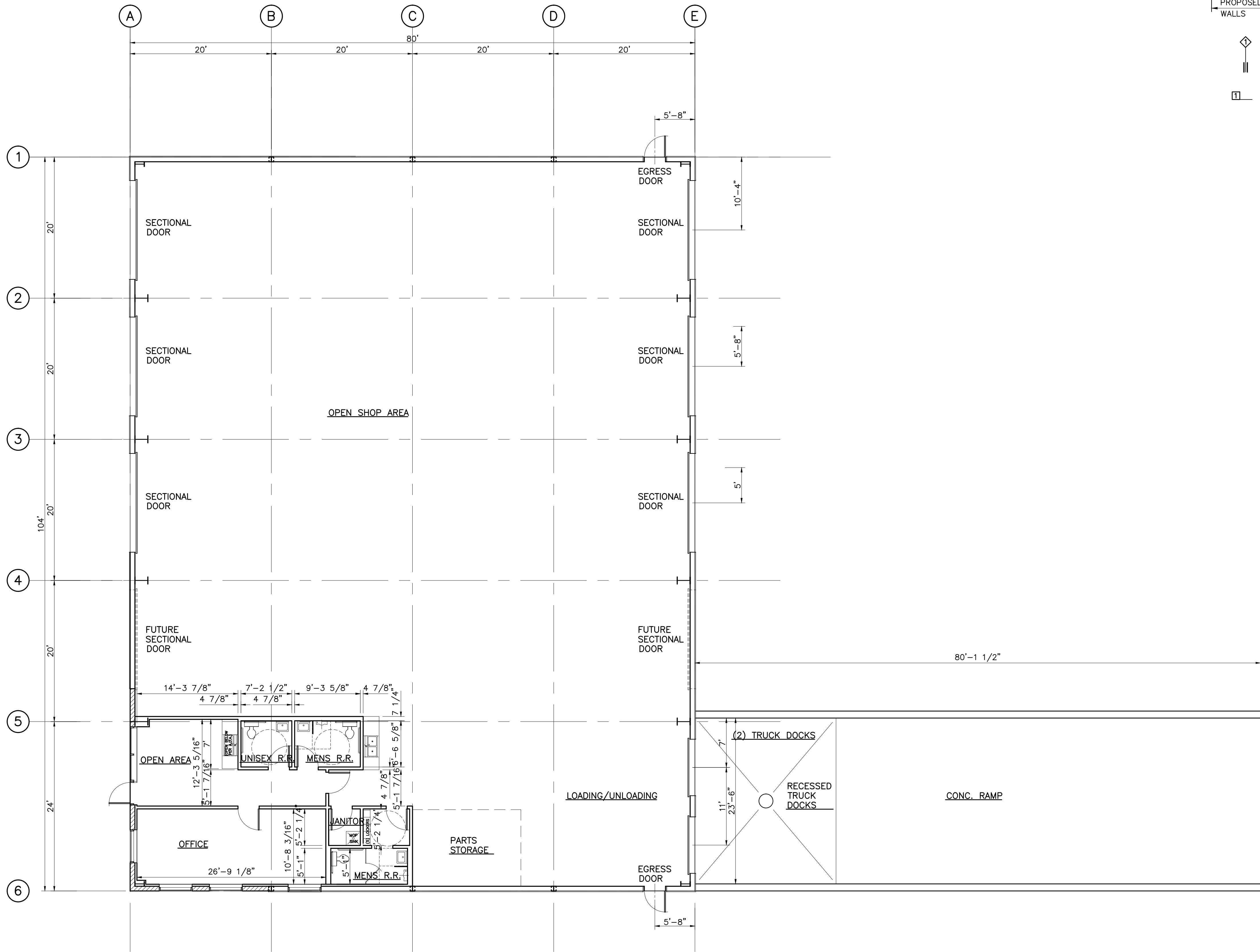
Semi-Truck Repair Facility - Schooner Road  
PHOTOMETRIC SITE PLAN  
PREPARED FOR: GRAYBAR  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

Designer  
MW/KB  
Date  
03/02/2022  
rev. 5/17/2022  
Scale  
Not to Scale  
Drawing No.  
#22-72793-V2  
SITE  
1 of 1



*Small Car*  
**PERFORMANCE**

1403



**FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**PLAN LEGEND**

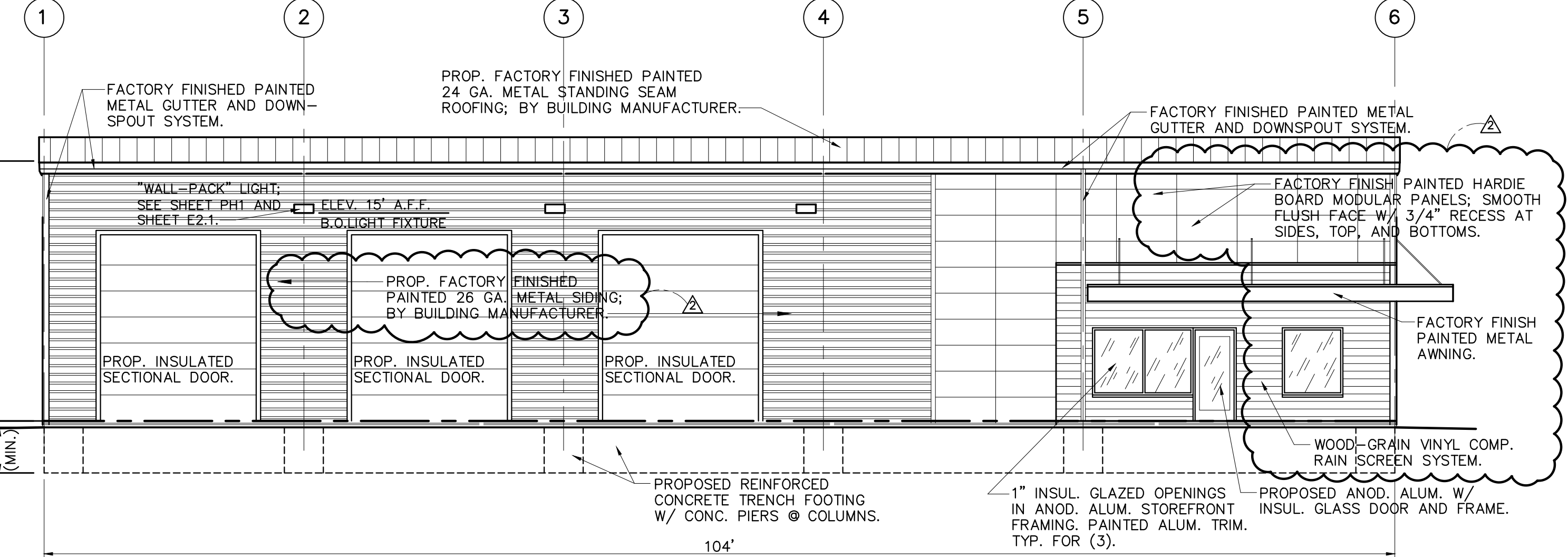
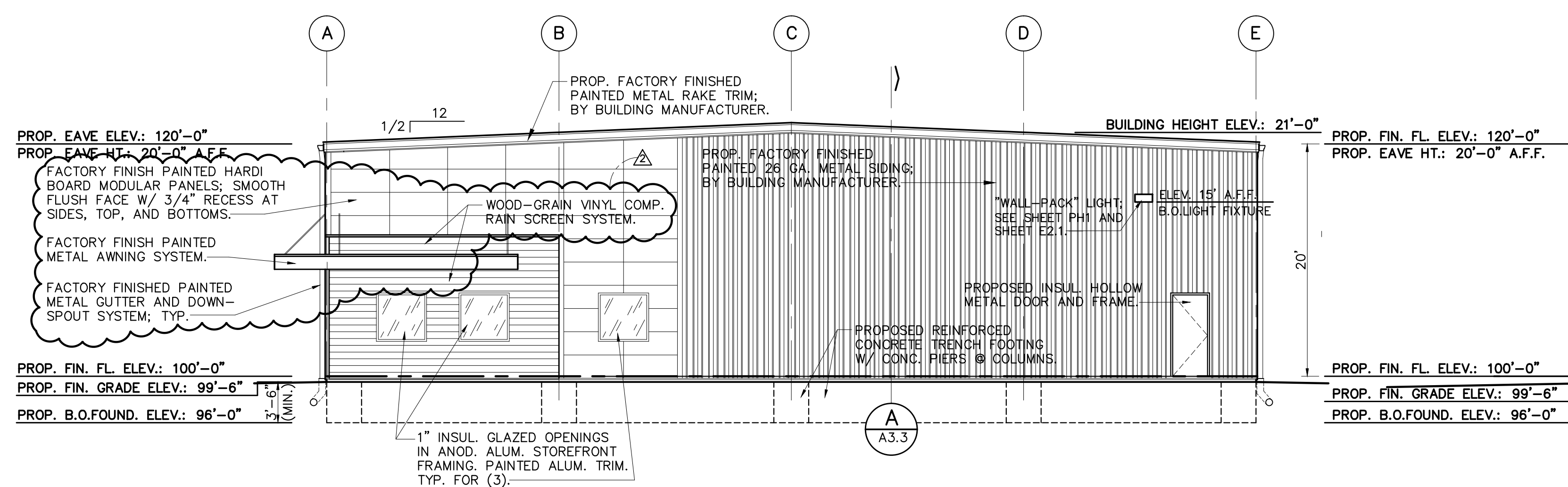
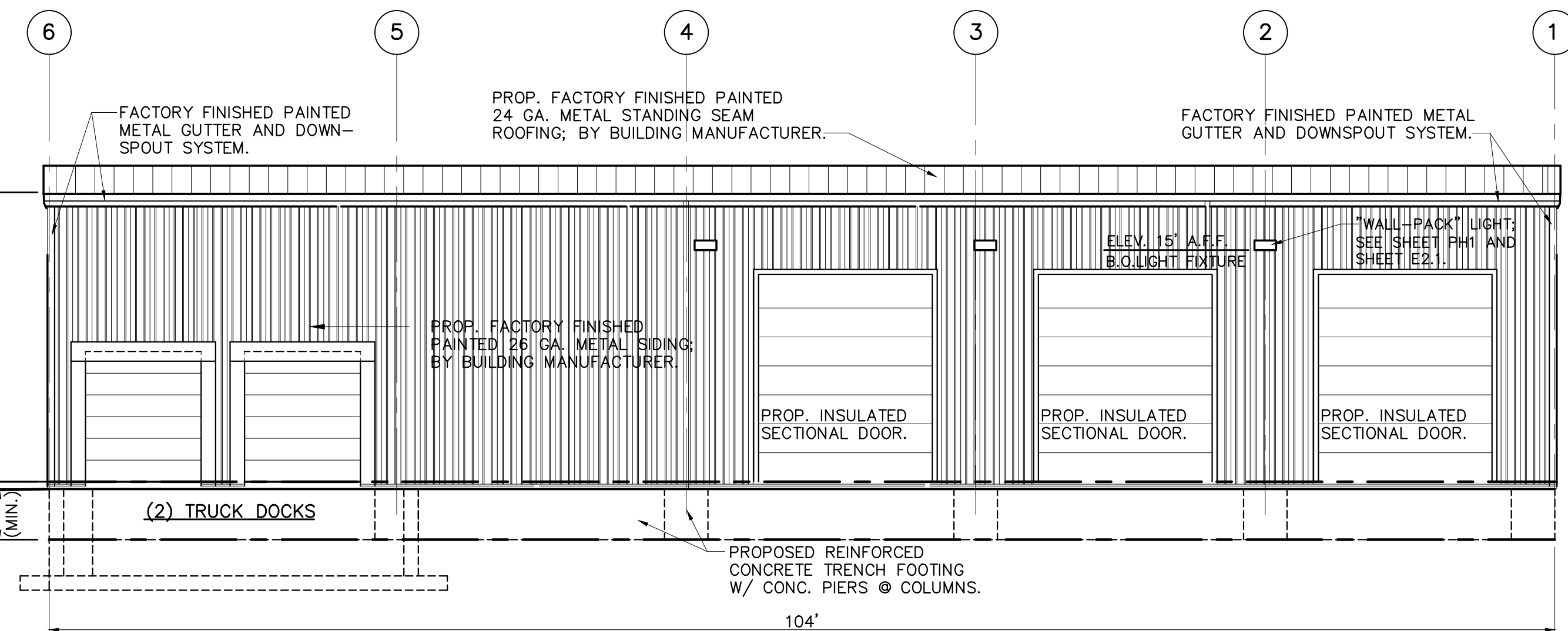
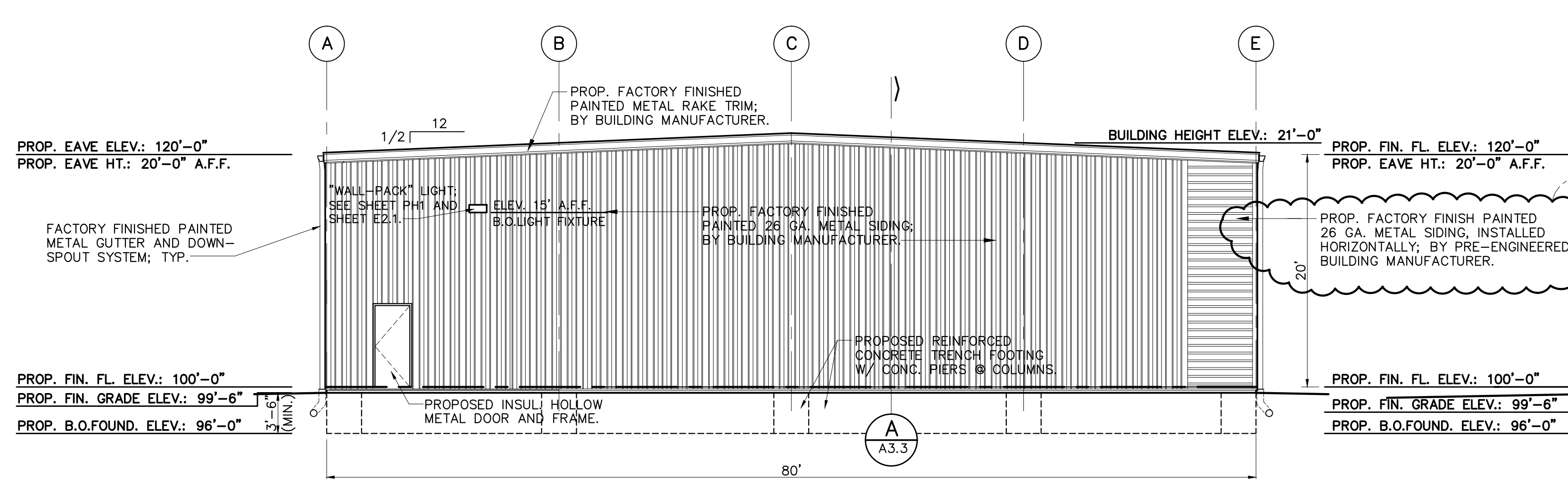
- ROOM NAME**  
(A1-->) ROOM NAME AND NUMBER;  
SEE ROOM FINISH SCHEDULE  
ON SHEET A5.0.
- ##** FENESTRATION NUMBER, BOTH  
NEW AND EXISTING; SEE DOOR  
SCHEDULE ON SHEET A5.0.
- PROPOSED WALLS** PROPOSED WALLS;  
SEE THE WALL TYPES DESCRIPTIONS  
ON THIS SHEET.
- WALL PARTITION TYPE** WALL PARTITION TYPE;  
SEE THE WALL TYPES DESCRIPTIONS  
ON THIS SHEET.
- CONSTRUCTION NOTE** CONSTRUCTION NOTE;  
SEE THE CONSTRUCTION NOTES  
KEY ON THIS SHEET.

**FACILITY USE STATEMENT**  
THE PROPOSED USE OF THE FACILITY IS FOR MAJOR TRUCK REPAIR.  
VEHICLES AND THEIR TRAILERS MAY REQUIRE AND RECEIVE REPLACEMENT  
OR REPAIR TO MANY COMPONENTS, SUCH AS ENGINES, EXHAUST SYSTEMS,  
TRANSMISSIONS, AND OR SUSPENSIONS.  
NEW AND USED VEHICLE AND TRAILER COMPONENTS WILL BE REMOVED  
WITHIN THE PROPOSED BUILDING, AND ALL NEW AND USED COMPONENTS  
WILL BE STORED WITHIN THE PROPOSED BUILDING.

NO.	REVISIONS	BY	DATE
1	REVIEW ONLY		12/20/21
2	REVISED PER WARDEN 5/21/22 REVIEW LETTER COMMENTS		6/14/22
3			
4			

SEMI-TRUCK REPAIR FACILITY	
VAN BUREN TWP., MICHIGAN	
FLOOR PLAN	

DESIGNED BY LDW	DATE DEC. 2021
DRAWN BY LDW	DATE DEC. 2021
CHECKED BY LDW	DATE DEC. 2021
EDIT	FILE
SCALE VARIES	
DRAWING	
PLOT	
PROJECT 211220	
A1.0	
SHEET NO.	



NO.	REVISIONS	BY	DATE
1	REVIEW ONLY	L.D.W.	12/30/21
2	REVISED PER MCKENNA 5/1/22 REVIEW COMMENT LETTER	L.D.W.	6/14/22
3		-	-
4		-	-





**MCKENNA**

August 4 2022

Planning Commission  
Charter Township of Van Buren  
46425 Tyler Road  
Belleville, Michigan 48111

**Subject: Building Separations Standards and Side Entry Garages**

Dear Commissioners:

The Planning Commission at its meeting held on July 27, 2022 discussed the issue relating to building separation requirements in the PRD Ordinances and side entry garage requirements mandated for single family detached dwellings in the Township.

The issue has come up in recent discussions with prospective developers regarding completion of long-incomplete residential PRD's and new proposals. The Township's PRD Ordinance was written a long time ago and no PRD projects have been reviewed in the past decade. Home building and residential development patterns have gone through various market driven changes in this duration. As a result, some of the current regulations make proposed new attainable housing projects located on smaller lots

We reviewed zoning ordinances in other municipalities to see what regulations are in place with regard to these two requirements. We looked in the Ordinances of Canton Township, Ypsilanti Township, Lyon Township, Plymouth Township, Pittsfield Township and the City of Novi. In all the Ordinances we compared, side entry garages were a desirable option but not a mandate. Ypsilanti Township ordinance offered a creative alternative of side entry or recessed garage placement. Building separation requirements varied significantly, with a majority have a separation requirement of only 10 feet or allowing for Planning Commission and Board of Trustees to reduce that distance based on preservation of natural features or other factors.

Based on the feedback received from the Planning Commission we have prepared a draft text amendment of the changes to Section 6.207. of the PRD Ordinance's Design requirements which include building separation standards, and also changes to Section 5.115 addressing garage orientation. The item is on the Planning Commission's agenda for discussion at this time and scheduling of a public hearing if the PC is comfortable with the changes proposed. We will be present at the Planning Commission meeting to answer any questions and concerns.

Respectfully,  
**McKENNA**

Vidya Krishnan  
Senior Principal Planner

Cc: Dan Power, Director of Planning and Economic Development

**HEADQUARTERS**

235 East Main Street  
Suite 105  
Northville, Michigan 48167

○ 248.596.0920  
F 248.596.0930  
**MCKA.COM**

**Communities for real life.**

## Section 6.207. Design

A PRD shall comply with the following standards:

(B) **Building Setbacks.** Buildings in a PRD shall comply with the following building setback requirements:

- (3) Notwithstanding Section 6.207(B)(1) and Section 6.207(B)(2) above, the minimum side and rear yards for all buildings in a PRD shall be the same as in the zoning district in which the PRD is located. The Township Board, upon recommendation from the Planning Commission, may modify the minimum side and rear yard setback requirements based on sound planning and design principles, taking into account the degree of compatibility between adjoining uses, sensitivity to the characteristics of the site, the need for free access for emergency vehicles, the need for adequate amounts of light and air between buildings and the need for proper amounts of open space for the exclusive use of residents of the PRD. ~~However, the minimum building separation requirements of Section 6.207(C) may not be modified.~~

(C) **Building Separation.** Buildings in a PRD shall comply with the following building separation requirements:

- (1) Any detached single-family principal or accessory structure in a PRD shall be located at least five (5) feet from any side lot line. ~~and Any detached single-family principal or accessory structure in a PRD shall be located at least twenty (20) feet from any other detached single-family principal or accessory structure, except that The Township Board, upon recommendation from the Planning Commission, may modify the this requirement based on sound planning and design principles, taking into account the degree of compatibility between adjoining uses, sensitivity to the characteristics of the site, the need for free access for emergency vehicles, the need for adequate amounts of light and air between buildings, and securing the following commitments as part of the PRD Agreement and PRD Plan approval:~~
  - (a) All structures including fences will be prohibited between two single-family principal structures that are separated by less than twenty (20) feet and there will be no less than ten (10) feet of unobstructed access (including permitted projections) adjacent to a principal structure or between two single-family principal structures.
  - (b) Between two single-family principal structures separated by less than twenty (20) feet, a swale must be constructed along the property line and positive drainage to the front or rear yard toward a designated stormwater drain or drainage course must be established, and all grading must be performed consistent with the Township's most current adopted Engineering Standards. Grading between two such buildings separated by less than twenty (20) feet must be validated by the submittal of a final grading certification prior to building occupancy.
  - (c) Prior to any construction in side or rear yards of two separately owned single-family principal structures which are separated by less than twenty (20) feet, a construction easement which contains terms for complete site restoration must be executed between the affected property owners.

- (2) Any building in a PRD containing more than one (1) dwelling unit (i.e., apartments, townhouses, attached dwellings) shall be located at least ten (10) feet from any side lot line and at least twenty (20) feet from any other similar structure, as well as at least thirty (30) feet from any detached single-family principal or accessory structure, except that The Township Board, upon recommendation from the Planning Commission, may modify the this requirement based on sound planning and design principles, taking into account the degree of compatibility between adjoining uses, sensitivity to the characteristics of the site, the need for free access for emergency vehicles, the need for adequate amounts of light and air between buildings, and securing the following commitments as part of the PRD Agreement and PRD Plan approval:
- (a) All structures including fences will be prohibited between two buildings containing more than one (1) dwelling unit that are separated by less than twenty (20) feet and there will be no less than ten (10) feet of unobstructed access (including permitted projections) adjacent to one such building or between two such buildings.
  - (b) Between two buildings containing more than one (1) dwelling unit separated by less than twenty (20) feet, a swale must be constructed along the property line and positive drainage to the front or rear yard toward a designated stormwater drain or drainage course must be established between two such buildings, and all grading must be performed consistent with the Township's most current adopted Engineering Standards. Grading between two such buildings separated by less than twenty (20) feet must be validated by the submittal of a final grading certification prior to building occupancy.
  - (c) Prior to any construction in side or rear yards of two separately owned buildings containing more than one (1) dwelling unit which are separated by less than twenty (20) feet, a construction easement which contains terms for complete site restoration must be executed between the affected property owners.

## **Section 5.115 Dwelling, Single-Family Residential (All Site Condominiums and Subdivisions)**

### **(B) Application of standards.**

#### **(6) Definitions.**

- (b) **“Substantially different”** means that a structure, when compared to another structure, differs from that structure as measured by ~~three (3)~~ four (4) or more of the following ~~five (5)~~ six (6) criteria:
  - (i) Roof style. Roof style is determined by location and orientation of the principal ridge line and adjacent sloping sections. Different roof styles include but are not limited to gable, reverse gable, Cape Cod, gambrel, hip, mansard and flat, etc.
  - (ii) Roof pitch. Roof pitch is determined by measuring the ratio of vertical to horizontal units in the sloping segments of the principal section of the roof of a structure. Different roof pitches are three (3) or more vertical units in twelve (12) from each other including, for example, 6:12 and 9:12 or 8:12 and 11:12, etc.
  - (iii) Exterior Material. Exterior material describes the material present area of structure. Different exterior materials include but are not limited to horizontal siding, vertical siding, shingles/shakes, brick, stone and stucco, etc.

- (iv) Location of Major Design Features Relative to Main Mass. Major design features include but are not limited to attached garages, porches, porticos, breeze-ways, gables, dormers and/or similar major features. Different locations of major design features relative to the main mass of a structure include but are not limited to in front of, beside, on top of, and/or in some other location relative to the main mass of the structure.
  - (v) Location of Windows Doors Relative to Main Mass. Windows and doors on a structure can take on various configurations. Different location of windows and doors relative to the main mass of a structure include but are not limited to center door, off-center door and no door, with windows on either or both sides of and/or above the door.
  - (vi) **Garage door orientation.** The garage door on a principal dwelling which is oriented toward the side, rear, or front of the lot, in contrast to the garage door's orientation on the neighboring property.
- (8) **Garage Door Orientation.** In addition to the requirement that a structure be found to be substantially different as defined herein, at least thirty percent (30%) of all structures within a proposed residential plat or site condominium project shall have the garage door oriented other than to the front of the lot (i.e., oriented to the side or rear of the lot). A deviation from the 30% requirement can be granted by the Board upon recommendation from the Planning Commission if the negative impacts of front garage door orientation are offset by recessing the garage door a minimum of five (5) feet from the front face of the dwelling, use of architectural enhanced garage doors, expanded brick on the front façade, or other enhancements deemed acceptable by the Planning Commission.

August 3<sup>rd</sup>, 2022

Mr. Dan Power  
Director of Planning and Economic Development  
Van Buren Township  
46425 Tyler Road  
Van Buren Township, MI 48311

**Re: Van Buren Township Community Center Addition and Renovation Site Plan  
Proposed Stormwater Management**

Dear Mr. Power:

In response to your request for *“a descriptive letter from SDA describing how the pond works, what kind of maintenance is required, and what the maximum depth of standing water is likely to be after a 100 year rain event and for how long it will be present”* on July 22<sup>nd</sup>, 2022, for the proposed construction at the Van Buren Township Community Center, we offering the following response:

Stormwater Narrative

The existing stormwater system uses a variation of catch basins, culverts, and swales that collects most of the properties drainage from the east and south of the community center building that ultimately flows to an existing storm pump station. Currently the exact capacity and functionality are unknown of the pump station and the interaction it has with the existing open detention system. Furthermore, the existing storm sewer system is deeper than the bottom of the existing detention system because of the high-water table (water table found to be at an elevation of 693) for the area of which this property is located. With the current system in place and uncertainty of the relationship of the existing storm pump station and open detention, as heavy rainfall events occur, drainage often does not flow back up into the basin, but into the existing parking lot.

The proposed stormwater system looks to eliminate the current concerns and issues the existing stormwater system presents.

The proposed stormwater system will capture and retain drainage for the same area using a variation of catch basins, closed conduit, stormwater treatment, and outlet control structures with expanding the existing open detention system. The existing detention will be deepened to the height of the water table to maximum depth and expanded further to the east to allow for capacity of a 100-year rainfall event. The proposed stormwater system will flow to the west where it will connect into an existing manhole and combine with the remainder of the drainage for this system. At this point all drainage from existing and proposed systems will flow west through a stormwater treatment chamber that will capture and filter the drainage. Once filtered through the stormwater treatment chamber, the drainage will continue flowing west where it will reach a restrictor manhole. Here the drainage will be released at an allowable flow rate calculated for the maximum 100-year volume of the open detention system. With heavier rainfall events, drainage will back up at this restrictor manhole to the south into the open detention system. The open detention system is sized to hold drainage for a 100-year rainfall event, which would be at an elevation of 696.60 and if full



would hold 3.60 feet of water. At maximum capacity and with the restricted flow rate the volume of drainage would take just over 13 hours to dissipate. If the open detention system reaches capacity at the elevation of 696.60 and continues to fill up, the new overflow standpipe will allow bypass for the drainage.

#### Long-Term Maintenance Plan

##### A. Physical Limits of the Storm Water Management System

The Storm Water Management System (SWMS) subject to this long-term maintenance plan (LTMP) is depicted on the civil construction plan set for the project “Van Buren Charter Township Community Center Addition and Renovation” and includes without limitation the storm sewers, manholes, catch basins, underdrains, open detention basin and outlet control structures that convey flow from the open detention basin to an existing pump station before outletting to a county storm structure in the R.O.W.

For purposes of this SWMS, this Storm Water Management System and all of its components as shown on the civil construction plan set is referred to as the “System”.

##### B. Time Frame for Long-Term Maintenance Responsibility

The proprietor is responsible for maintaining the system, including complying with applicable requirements of Van Buren Charter Township. Long-term maintenance responsibility for the system commences when defined by the maintenance permit issued by the Township. Long-term maintenance continues in perpetuity.

The operation of the SWMS shall be monitored to verify that the system is performing as intended and will be repaired or modified as required to ensure that the system operates as intended and as required. All jetted sediment is to be vactored and removed from the on-site system prior to entry into the Township’s storm system.

Maintenance of storm water collection system consists of the following items, which are to be done at least twice per year as follows:

1. Clean the cover of all catch basins and inlets.
2. Check the depth of accumulated sediment in each storm structure. Remove the sediment if it is 12 or more inches deep.
3. If while checking the sediment in the storm structures, it becomes apparent that the sediment has entered the connecting pipes, the pipes shall be jetted to remove the sediment.
4. If any settling around the storm structures or along the route of the pipes is evident, the structures and the pipes shall be checked for open joints and cracks which, if found, shall be repaired.



Maintenance of the open detention basin, outlet control structures and outlet pipes must be performed at least twice per year as follows:

1. The open detention basin is to be inspected and cleaned of any accumulated debris and sediment when sediment depth reaches 6 inches.
2. The open detention basin must be cleaned if its volume is reduced by more than 10% due to the accumulation of silt and sediment.
3. The outlet control structures, and outlet pipes shall be maintained in accordance with maintenance schedule for the collection system as mentioned above.

C. Long-Term Maintenance Plan and Schedule

Table 1 identifies the maintenance activities to be performed, organized by category (monitoring/inspections, preventative maintenance, and remedial sections). Table 1 also identifies site-specific work needed to ensure that the storm water management system functions properly as designed.

D. Stormwater Pre-Treatment Devices

1. KSI Series 2500 HDPE Chamber: Refer to the attached maintenance guideline from the manufacturer for all inspection and maintenance requirements for the pre-treatment structure.

Attachments

1. Table 1 – Stormwater Management System Long-Term Maintenance Schedule System Component
2. KSI Series 2500 HDPE Chamber Manufacture Maintenance Guide

Should you have any questions or need additional information please don't hesitate to contact me at (248) 844-5400.

Sincerely,

**SPALDING DEDECKER**



Thomas Sovel, PE  
Senior Project Manager

**TABLE 1**  
**STORM WATER MANAGEMENT SYSTEM LONG-TERM MAINTENANCE SCHEDULE SYSTEM COMPONENT**

Maintenance Activities	Open Detention System	Manufactured Treatment System	Flow Restrictors, Overflow Structures & Outlet Pipes	Catch Basins, Inlets & Storm Sewers	Inlets to Detention/retention Systems	Underdrain	Other	Frequency
Monitoring/Inspection								
Inspect for sediment accumulation**/clogging of stone filter	X	X	X	X	X	X		Annually
Inspect for floatables, dead vegetation and debris	X	X	X	X	X	X		Annually and after major events
Inspect all components during wet weather and compare to as-built plans	X	X	X	X	X	X		Annually
Ensure means of access for maintenance remain clear/open	X	X	X	X	X	X		Annually
Preventative Maintenance								
Remove accumulated sediment	X	X	X	X		X		As needed
Remove floatables, dead vegetation and debris	X	X		X	X	X		As needed
Sweeping of paved surfaces (streets and parking lots)							X	2 times per year
Provide increase inspection frequency and additional cleaning			X					
Mow	X							
Other - (Recommended By Manufacture)		X						
Remedial Actions								
Repair/stabilize areas of erosion	X			X	X	X		As needed
Structural repairs	X	X	X	X	X	X		As needed
Make adjustments/repairs to ensure proper functioning	X	X	X	X	X	X		As needed

\*Manufactured treatment system to be cleaned according to manufacture recommendations: at a minimum, whenever sediment accumulates to a depth of 6-12 inches or if sediment resuspension is observed.

**NOTE:**  
CHEMICALS SHALL NOT BE APPLIED TO DETENTION AREA , BUFFER STRIPS AND VEGETATED SWALES OR WATERCOURSES.



# STORM WATER TREATMENT CHAMBER INSTALLATION AND MAINTENANCE GUIDELINES

## INSTALLATION GUIDELINES

1. EXCAVATE AREA FOR KSI SWTC AND PREPARE TRENCH BOTTOM PER ASTM D2321, SECTIONS 6 & 7.
2. THE KSI SWTC SHALL BE INSTALLED ON A BED OF NO LESS THAN 12" MDOT 6A CRUSHED STONE MATERIALS COMPACTED TO 95% PROCTOR DENSITY. COMPACTED TO 95% (90% MIN. FOR MDOT 6A CRUSHED STONE MATERIAL) OF THE BACKFILL MATERIAL'S MAXIMUM WEIGHT AT A MOISTURE CONTENT NOT GREATER THAN THE OPTIMUM.
3. INSTALL KSI SWTC UNIT, HIGH FLOW BYPASS LINE (IF APPLICABLE), DIVERSION STRUCTURE AND EXITING STRUCTURE AT ELEVATIONS INDICATED ON SITE PLAN. COUPLE INLET AND OUTLET HDPE SPLIT COUPLERS TO CONVEYANCE PIPE.
4. BACKFILL UNIT WITH MDOT 6A CRUSHED STONE MATERIALS PER ASTM D2321. BACKFILL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
5. THE HDPE ACCESS RISERS SHALL BE FIELD CUT TO FINISH GRADE BY THE CONTRACTOR. SEE RISER INSTALLATION OPTIONS PAGE.
6. KSI RECOMMENDS FILLING THE UNIT WITH WATER UPON COMPLETION OF INSTALLATION UP TO THE BAFFLE HEIGHT.
7. ONCE THE UNIT IS INSTALLED, PLACE A ORANGE SAFETY FENCE 4-5 FT HIGH WITH TEE POST, AROUND THE SYSTEM. PLACE FENCE 5 FT BEYOND GRID FOOTPRINT. ANY DAMAGE TO THE SYSTEM AS A RESULT OF NOT FOLLOWING THESE INSTRUCTIONS AND THE BLUEPRINT DETAILS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR THE SYSTEM TO KSI'S SATISFACTION. IF GIVEN IN WRITING, A 3-4 DAY LEAD TIME, KSI WILL HAVE A REPRESENTATIVE AVAILABLE ON SITE DURING THE INSTALLATION.

## MAINTENANCE GUIDELINES


1. ALL STORM WATER TREATMENT CHAMBERS WILL REQUIRE PERIODIC MAINTENANCE DEPENDING ON SPECIFIC SITE CONDITIONS.
2. KSI RECOMMENDS CLEANING THE SWTC QUARTERLY AND AFTER HEAVY RAIN STORMS. SEDIMENT IS EASIER TO REMOVE WHEN IT IS REMOVED ON A REGULAR BASIS.
3. DISPOSAL OF MATERIAL FROM THE KSI SWTC ARE SIMILAR TO THAT OF ANY OTHER BEST MANAGEMENT PRACTICES (BMP). LOCAL GUIDELINES SHOULD BE CONSULTED PRIOR TO DISPOSAL OF THE SWTC CONTENTS. PETROLEUM WASTE PRODUCTS SHOULD BE REMOVED BY A LICENSED WASTE MANAGEMENT COMPANY.
4. IF A HYDROCARBON REMOVAL SYSTEM WAS INSTALLED - REPLACE IT WHEN IT TURNS BLACK. UNIT CAN BE DISPOSED OF VIA NORMAL REFUSE REMOVAL. SPENT UNIT DOES NOT LEACH CAPTURED CONTAMINATES.

WHITE = NEW

GRAY = WORKING

BLACK = SPENT - NEEDS REPLACEMENT - CONTACT KSI FOR REPLACEMENT PARTS

5. AFTER CLEANING THE UNIT - KSI RECOMMENDS REFILLING THE UNIT WITH WATER.

DESIGN BY: <b>AG / RK</b>	REV: 4-1-22 DATE: 10-10-08	1 OF 1	 <b>KSI</b> KENNEDY SOLUTIONS, INC. 2111 Sage Lake Road Prescott, MI 48756 Ph: 800-699-4046
MANUF. APPROVAL BY: .	SCALE: <b>NTS</b>	SHEET NO.	
DRAWING NO. <b>SWTC INSTALL &amp; MAINT.</b>			