

CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, April 27, 2022 – 5:30 PM
Van Buren Township Hall
46425 Tyler Road

Per guidance provided by the Wayne County Local Public Health Department for meetings of governmental bodies held under public act 228 of 2020, effective January 1, 2022, the following Zoom link is provided to enable remote participation in a meeting of the public body by the general public:

When: Apr 27, 2022 05:30 PM Eastern Time (US and Canada)
Topic: 4/27/2022 Van Buren Township Planning Commission Meeting

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/81308522047>

Or One tap mobile :

US: +19294362866,,81308522047# or +13017158592,,81308522047#

Or Telephone: Dial(for higher quality, dial a number based on your current location):

US: +1 929 436 2866 or +1 301 715 8592 or +1 312 626 6799 or +1 669 900 6833 or +1 253

215 8782 or +1 346 248 7799

Webinar ID: 813 0852 2047

See the Van Buren Charter Township website for additional information regarding how to participate in a Zoom public meeting.

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES: Approval of minutes from the regular meeting of April 13, 2022.

CORRESPONDENCE:

PUBLIC HEARING:

OLD BUSINESS:

NEW BUSINESS:

ITEM #1: CASE 19-040 – CLOVER COMMUNITIES FINAL SITE PLAN REVIEW

TITLE: The Applicant, Clover Communities of Van Buren LLC, Is Requesting Final

Site Plan approval for the construction of a proposed senior housing facility with 128 independent senior housing units.

LOCATION: The property, 8470 Belleville Road (Parcel ID number 83 036 99 0002 702), is located on the west side of Belleville Road, between Tyler Road and Robson Road and is zoned C-2 (Extensive Highway Business) District. The parcel is +/- 17.7 acres in area including a +/- 16.16-acre development site and a +/- 1.57 acre out parcel.

ACTION ITEMS:

- A. Presentation by the Township staff.
- B. Presentation by the applicant.
- C. Planning Commission discussion.
- D. Planning Commission considers action on the final site plan.

ITEM # 2 CASE 20-008 – WAYNE COUNTY FAIRGROUNDS RESTROOM BUILDING

TITLE: The Applicant, Wayne County 4H Association, seeks to construct a 1,392 square foot restroom and laundry building on a 2,380 square foot slab at an existing fairground facility, along with seven (7) new asphalt parking spaces and a concrete walkway, and to demolish 7,500 square feet of combined concrete and gravel surfaces.

LOCATION: 10871 Quirk Road (Parcel ID number 83 064 99 0001 000), a 37.5-acre parcel zoned R-1B – Single Family Residential).

ITEM # 3 CASE 22-008 – VAN BUREN CHARTER TOWNSHIP COMMUNITY CENTER RENOVATION AND ADDITION – FINAL SITE PLAN

TITLE: The Applicant, Stephen J. Gedert, On behalf of Owner Van Buren Charter Township, has applied for roughly 13,446 square feet of renovations and a 16,411 Square Foot Gymnasium addition adjacent to the existing municipal building, renovations to the existing building, and the construction of associated pavements and utilities.

LOCATION: 46425 Tyler Road (Parcel ID number 83 061 99 0006 000), a 14.49-acre parcel zoned O-T – Office Technology. the site is located east of Quirk Road and south of Tyler Road.

ACTION ITEMS:

- A. Presentation from Township Staff
- B. Presentation from the applicant
- C. Planning Commission discussion
- D. Public comment
- E. Planning Commission considers approval of the final site plan

ITEM # 4: DISCUSSION: SUMPTER ROAD CORRIDOR PLAN PUBLIC HEARING

The Planning Commission will consider a date of May 25, 2022 to hold a public hearing regarding the draft Sumpter Road Corridor Plan.

ACTION ITEMS:

- A. Presentation from Staff
- B. Planning Commission discussion and consideration of public hearing date.

ITEM #5: DISCUSSION: GASOLINE FILLING AND GASOLINE SERVICE STATION ZONING ORDINANCE TEXT AMENDMENT

Proposed amendments to Article 3 (Zoning Districts and Permitted Uses) regarding the categorization of gasoline filling and service stations.

ACTION ITEMS:

- A. Presentation from Staff
- B. Planning Commission discussion
- C. Public comment
- D. Planning Commission provides recommendation regarding proceeding with ordinance development

GENERAL DISCUSSION AND UPDATES

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
April 13, 2022
MINUTES - DRAFT**

Chairperson Kelley called the meeting to order at 5:31 p.m.

ROLL CALL:

Present: Cullin, Atchinson, Barr, Budd, Jahr and Kelley.

Excused: Garrett.

Staff: Director Power and Secretary Harman.

Planning Representatives: McKenna Associates, Vidya Krishnan.

Applicant(s) in Attendance: Richard Tapper of Phantom Fireworks (remote).

Audience: One (1).

APPROVAL OF AGENDA:

Motion Atchinson, Cullin second to approve the agenda of April 13, 2022 as presented. **Motion Carried.**

APPROVAL OF MINUTES:

Motion Budd, Jahr second to approve the regular meeting minutes of March 23, 2022 as amended, removing Atchinson listed as present under roll call. **Motion Carried.**

NEW BUSINESS:

ITEM #1: 22-013 – PHANTOM FIREWORKS (LAKEWOOD SHOPPING CENTER) – TEMPORARY LAND USE.

THE APPLICANT, PHANTOM FIREWORKS, IS REQUESTING A TEMPORARY LAND USE PERMIT TO CONDUCT A TEMPORARY OUTDOOR FIREWORKS TENT SALE.

2095 RAWSONVILLE ROAD. THIS SITE IS LOCATED IN THE LAKEWOOD SHOPPING PLAZA PARKING LOT ON THE EAST SIDE OF RAWSONVILLE ROAD AND ON THE SOUTH SIDE OF THE I-94 SERVICE DRIVE.

Director Power presented his staff review letter dated 4-8-22. Phantom Fireworks is requesting a temporary land use permit to conduct a temporary outdoor fireworks tent sale in the parking lot of the Lakewood Shopping Plaza from June 22, 2022 through July 4, 2022 with hours of operation from 10:00 a.m. to 10:00 p.m. This will be the tenth (10th) year that Phantom has operated at this location and Director Power is not aware of any complaints or issues that have taken place in previous years. Based on the review dated 4-8-22, Director Power recommends approval of the application subject to the following condition:

1. All application materials shall reference Van Buren Township, MI as the municipality.

Director Power presented the Fire Department review letter dated 3-24-22, finding the application and site plan is in compliance with the Van Buren Township adopted fire code, as well as state regulations for fireworks sales.

The applicant, Richard Tapper, was present via Zoom to answer any questions. Mr. Tapper informed that the tent and storage unit are in the same location and that he has had no problems at this location in previous years.

Commissioners agreed that seeing the applicant has been at this location for 10 years with no problems, they have no issue moving forward. Commissioner thanked the applicant for the nice layout that displays all three (3) fire extinguishers.

No questions or comments from the audience or remote viewers.

Motion Atchinson, Barr second to grant the applicant, Phantom Fireworks, a temporary land use permit to conduct a temporary outdoor fireworks tent sale, located at 2095 Rawsonville Road, also known as the Lakewood Shopping Plaza, based on the analysis and subject to the conditions in Director Power's review letter dated 4-8-22, the Van Buren Fire Department review letter dated 3-24-22 and noting the application is to reference the municipality as Van Buren Township not Belleville.

Roll Call:

Yeas: Budd, Barr, Atchinson, Cullin, Jahr and Kelley.

Nays: None.

Excused: Garrett.

Motion Carried. (Letters Attached)

ITEM #2: 22-017 – PHANTOM FIREWORKS (MENARDS SITE) – TEMPORARY LAND USE.

THE APPLICANT, PHANTOM FIREWORKS, IS REQUESTING A TEMPORARY LAND USE PERMIT TO CONDUCT A TEMPORARY OUTDOOR FIREWORKS TENT SALE.

10010 BELLEVILLE ROAD. THIS SITE IS LOCATED IN THE MENARDS PARKING LOT, WHICH IS ON THE WEST SIDE OF BELLEVILLE ROAD, SOUTH OF TYLER ROAD.

Director Power presented his staff review letter dated 4-8-22. Phantom Fireworks is requesting a temporary land use permit to conduct a temporary outdoor fireworks tent sale in the Menards parking lot from June 22, 2022 through July 4, 2022 with hours of operation from 10:00 a.m. to 10:00 p.m. This will be the third (3rd) year that Phantom has operated at this location and Director Power is not aware of any complaints or issues that have taken place in previous years. Based on the review dated 4-8-22, Director Power recommends approval of the application subject to the following condition:

1. All application materials shall reference Van Buren Township, MI as the municipality.

Director Power presented the Fire Department review letter dated 3-24-22, finding the application and site plan is in compliance with the Van Buren Township adopted fire code, as well as state regulations for fireworks sales.

The applicant, Richard Tapper, was present via Zoom to answer any questions. Mr. Tapper informed that they always make sure that the area is cleaned up after the tent sale and there are no holes in the asphalt of the parking lot area. Mr. Tapper has already obtained the state license and has had no problems in the past two (2) seasons at this location.

No comments from the Commission, audience or remote viewers.

Motion Jahr, Cullin second to grant the applicant, Phantom Fireworks, a temporary land use permit to conduct a temporary fireworks outdoor tent sale, located at 10010 Belleville Road from June 22, 2022 through July 4, 2022 with hours of operation from 10:00 a.m. to 10:00 p.m., based on the analysis and subject to the recommendations in Director Power's review letter dated 4-8-22 and the Fire Department review letter dated 3-24-22.

Roll Call:

Yeas: Barr, Budd, Atchinson, Cullin, Jahr and Kelley.

Nays: None.

Excused: Garrett.

Motion Carried. (Letters Attached)

ITEM #3: DISCUSSION: SUMPTER ROAD MIXED USE ZONING DISTRICT (SRMU) AND SUMPTER ROAD OVERLAY DISTRICT (SROD).

WORK SESSION TO DISCUSS PROPOSED TEXT AMENDMENTS TO THE VAN BUREN TOWNSHIP ZONING ORDINANCE TO CONSIDER THE ADDITION OF SECTION 3.121 (SUMPTER ROAD MIXED USE DISTRICT) AND ARTICLE 6, CHAPTER 4 (SUPPLEMENTAL ZONING DISTRICT STANDARDS – SUMPTER ROAD OVERLAY DISTRICT), AND RELATED AMENDMENTS. THE FIRST WORK SESSION WILL FOCUS ON THE PURPOSE OF THE SRMU DISTRICT PERMITTED USES, BUILDING TYPES AND DIMENSIONAL REQUIREMENTS WITHIN CERTAIN AREAS OF THE PROPOSED DISTRICT.

Director Power thanked everyone for their review and considering the Sumpter Road Mixed Use District (SRMU) zoning ordinance, he has received a lot of good feedback. A full draft of the zoning ordinance update with worksheets and an interactive map was sent to the Commission for review. Director Power also provided a guide for discussion and feedback and Commission members were asked to consider the following questions:

1. Are there any issues with the statement of purpose for the District?
2. Formatting issues? Do you have any suggestions or questions regarding things that are unclear in the way they are written or formatted?
3. Dimension issues? Do you see any problems with the minimum setbacks or height restrictions on the building types in Section 3.121(E)?

4. Permitted and special land uses: Removals? Are there any uses listed in Section 3.121(B) that you would not like to see anywhere in the District?
5. Permitted and special land uses: Additions? Are there any uses not listed in Section 3.121(B) that you would like to see somewhere in the District?
6. Area-specific uses and building types: Do you have any deletions or additions to the building types in the specific lot types? (Anchor lots, Shallow frontage lots, Deep frontage lots, Landlocked lots)

Director Power provided a brief overview of the Sumpter Road Mixed Use (SRMU) zoning ordinance and deferred to the Commission for questions and comments.

Commissioners had the following questions and comments:

- When making the changes, will there be click access to link to different parts of the ordinance. Yes, they will be in place by the time the ordinance is published.
- In Section D, drive-thru and drive-in restaurants are prohibited uses. The next sentence says that bars or standalone taverns that are not affiliated with a restaurant or brew pub are prohibited. If a restaurant is not allowed, how can any of it be there? Director Power explained they want to make sure that the uses are not excluding each other and there is some restrictive language that may not be appropriate. A drive-through is a traffic generating vehicle oriented use and the choice was made to move that out of the district.
- If someone is looking at the new Corridor and not satisfied with how some of the area has been kept up, would we want to prohibit that use from moving down? Director Power informed that the D2 language will be removed and D3 rural industrial language will be revised.
- The Township has had someone who wanted a drive-through coffee shop on Sumpter Road, would this allow for that? Vidya Krishnan informed that the properties do not have the dimensions available to allow for stacking in order to accommodate the traffic.
- Can a clause be added that no stacking is allowed on Sumpter Road, that the lot would have to be deep enough? Vidya Krishnan explained that even with small buildings, the lot must be large in order to meet the parking and stacking requirements. The lots in this area may not be deep enough and we are trying to make this a less traffic intensive district.
- Does a service road help with stacking? The intent is to make this an area that people wouldn't mind walking past.
- SLU categories, if we address for the SRMU they won't be available in the rest of the districts? Evaluate and context? Director Power agreed that it makes sense to evaluate as we may decide that it only works in the SRMU District and not the districts to the north.
- Metal working machine shops, what about a blacksmith? Vidya Krishnan informed that footnote 4 addresses this and they are not intending to exclude small metal working places. Language can be added for further clarification.
- The layout of where the City of Belleville is, noticed that Belleville has an industrial area. Are we going to work with them? Director Power can reach out to the City of Belleville.
- Didn't see anything that discussed the zoning adjacency requirements, has that been addressed yet? Director Power informed that's currently being working on.

No comments from the audience or remote viewers.

Director Power provided an overview of the table of building types and use types and discussed how to review them using the guide. The comments received from Phase 1 of the review will be addressed and the zoning ordinance will be brought back to the Commission for further review. Director Power asked Commission members to continue sending questions and providing feedback.

ITEM #4: DISCUSSION: SUMPTER ROAD CORRIDOR PLAN PUBLIC HEARING.

THE PLANNING COMMISSION WILL CONSIDER A DATE OF MAY 11, 2022 TO HOLD A PUBLIC HEARING REGARDING THE DRAFT SUMPTER ROAD CORRIDOR PLAN.

Director Power informed the Commission that they can schedule the public hearing for the draft Sumpter Road Corridor Plan in a about a month, inviting the public to review the draft plan.

Commissioner inquired if this is the same draft plan that was submitted for a 30-day review by neighboring communities. Director Power confirmed, yes, it is. Commissioner inquired if there will be an addendum to the plan and will the public see the plan with a record of all the changes? Director Power informed that some residents have provided feedback. There is a zoning ordinance clarification for landlocked lots and there may be a more appropriate name for them. Director Power is tracking a list of the changes and they will be available for review.

Commissioners discussed having further review after changes have been made and agreed to wait on scheduling the public hearing until a later meeting.

GENERAL DISCUSSION:

Director Power informed that there will be meetings on April 27th and May 11th and to stay tuned for the agendas.

ADJOURNMENT:

Motion Budd, Cullin second to adjourn the meeting at 6:57 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

PLANNING & ZONING APPLICATION

Case number 19-040

Date Submitted 12-20-19

APPLICANT INFORMATION

Applicant Michael Joseph, Clover Communities Van Buren LLC Phone 716-688-8640
Address 348 Harris Hill Road Fax 716-688-7460
City, State Williamsville, NY Zip 14221
E:mail bernat@clovergroupinc.com Cell Phone Number 734-346-0426
Property Owner William Carr Estate Phone 810-599-1469
(if different than applicant)
Address PO Box 60010 Fax
City, State Corpus Christi, TX Zip 78466
Billing Contact Clover Construction Management West Corp Phone 716-688-8640
Address 348 Harris Hill Road Fax
City, State Williamsville, NY Zip 14221

SITE/PROJECT INFORMATION

Name of Project Clover Communities Van Buren LLC
Parcel Id No. V125-83-036-99-0002-000 **Project Address** 8470 Belleville Road

Attach Legal Description of Property

Property Location: On the west Side of Belleville Road; Between Ecourse Road and Tyler Road. Size of Lot Width 667 Depth 1216

Acreage of Site 18.648 **Total Acres of Site to Review** 10 **Current Zoning of Site** C-1

Project Description: Development of a market rate independent senior living facility. The project would include 125 senior apartments restricted for ages 55 and older. The development is independent living and includes self-contained units with kitchens and laundry facilities. Site development includes on-site garages and in building storage units

Is a re-zoning of this parcel being requested? No YES (if yes complete next line) NO
Current Zoning of Site Requested Zoning

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? Yes YES (if yes complete next line) NO
Section of Zoning Ordinance for which you are applying 5.143 - Senior Housing Developments

Is there an official Woodland within parcel? No Woodland acreage
List total number of regulated trees outside the Woodland area? Total number of trees
Detailed description for cutting trees Survey and plan to be provided with site plan application.

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Frances Carr Tapp, Executrix: Estate of F. Wm. Carr

Print Property Owners Name

Frances Carr Tapp

Signature of Property Owner

STATE OF FLORIDA
COUNTY OF PALEMBACH

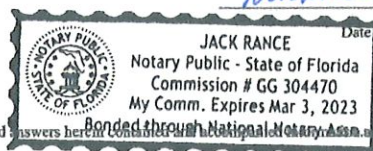
The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained are true and correct to the best of his knowledge and belief and that the date are in all respects true and correct.

Subscribed and sworn before me this 21st day of November 2019.

JR

Notary Public, Palm Beach County, Florida

My Commission expires 03/03/2023



November 21, 2019

Date

JACK RANCE

Notary Public - State of Florida

Commission # GG 304470

My Comm. Expires Mar 3, 2023

Bonded through National Notary Association

2023
Rev 1/12/06

Parcel 1

Tax ID: 83-36-99-0002-000

THE NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 9, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

BEGINNING AS THE EAST ¼ CORNER OF SAID SECTION 9: THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SECTION 9, A DESTANCE OF 660.00 FEET MORE OR LESS: THENCE WESTERLY PARALLEL TO THE EAST AND WEST ¼ LINE OF SAID SECTION 9, A DESTANCE OF 1230.90 FEET MORE OR LESS: THENCE NORTHERLY AND PARALLEL TO THE AST LINE OF SAID SECTION9, A DISTANCE OF 660.00 FEET MORE OR LESS: THENCE EASTERLY ALONG THE EAST AND WEST ¼ LINE OF SAID SECTION 9, A DISTANCE OF 1230.90 FEET MORE OR LESS TO THE POINT OF BEGINNING. EXCEPTING THEREFROM THE EASTERLY 60 FEET OF THE NORTH 12 OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SAID SECTION, AS CONVEYED BY DEED RECORDED AT LIBER 53416, PAGE 329.



MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: SPR 19-040 - Clover Development - Final Site Plan Review for Proposed Senior Housing Facility
DATE: April 22, 2022

Applicant Clover Communities of Van Buren, LLC has applied requesting final site plan approval for the construction of a proposed senior housing facility with 128 independent senior housing units. The property, 8470 Belleville Road (PN 83 036 99 0002 702), is located on the west side of Belleville Road, between Tyler Road and Robson Road and is zoned C-2 (Extensive Highway Business) District. The parcel is +/- 17.7 acres in area including a +/- 16.16-acre development site and a +/- 1.57 acre out parcel. Special Land Use approval is required for this project.

The public hearing for this request was held on September 9, 2020. Preliminary site plan approval and a recommendation for special land use approval were granted by the Van Buren Township Planning Commission on March 24, 2021, and the Board of Trustees granted special land use approval on April 6, 2021. The applicant has now completed review by the Township Engineer and has submitted design plans for review by the Wayne County Department of Public Services (WCDPS). They have also submitted plans to the Township dated March 23, 2022. These plans, along with an updated fire protection plan drawing dated April 19, 2022 are included in the Planning Commissioners' packets. Also included are review reports provided by the Van Buren Township Planning Consultant, Township Engineer, and Fire Marshal.

The final site plan submittal warrants consideration of key road design, stormwater design, and operational aspects of the project, which I will address here. In addition to the comments provided by these reviewers, I offer the following recommended **conditions of final site plan approval**:

- Prior to construction, the applicant shall execute an agreement with the following components:
 - The applicant understands that consistent with the Township's Master Plan Robson Road is anticipated to extend west of Belleville Road in the future.
 - When the 1.6-acre outparcel is developed or if and when the building at 8380 Belleville Road is demolished, the applicant and the other adjoining properties may be subject to the construction of a Robson Road extension through a portion of their property. The applicant and the adjoining property owners will come to an agreement on the suitable location of a future public road right-of-way or private road easement in coordination with Van Buren Township and Wayne County prior to that time.
 - When Robson Road is extended, the applicant agrees to construct a driveway to the

north to connect to the future Robson Road extension and restrict the Belleville Road driveway to a right-in / right-out driveway.

- The terms of the above Future Robson Road Access Agreement will be added to the final issued for construction site plan set.
- At the time of development of the Township-owned property to the west, Clover Development must be available to provide data and engineering support so as to assist in confining, re-routing or expanding the affected stormwater conveyance area on the Township property to meet the Township's needs for the property.
- The applicant must provide a set of lease restrictions prior to construction.

If the Planning Commission grants final site plan approval, the application will move into a preconstruction phase. All permits required from Wayne County will be provided prior to the scheduling of a preconstruction meeting. A preconstruction meeting will be held by the Township Engineer prior to construction, and building permits will be issued by the Building Department prior to construction of the site's buildings.

Thank you for your consideration.

Sincerely,



Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

CC: Vidya Krishnan – Van Buren Charter Township Principal Planner / Planning Consultant – McKenna Associates
Paul Kammer – Van Buren Charter Township Engineer – Fishbeck
Andrew Lenaghan – Fire Marshal, Van Buren Charter Township
Beth Ernat and Matthew Roland – Clover Communities of Van Buren, LLC



April 14, 2022

Planning Commission
Charter Township
of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: VBT-19-040 Clover Communities Senior Housing / 8470 Belleville; Final Site Plan Review #3; Revised Site Plans Dated March 23, 2022.


Dear Commissioners:

The applicant, Michael Joseph a representative of Clover Communities Van Buren LLC, proposes to construct a Senior Housing development named Clover Communities. The proposed 3-story, 45,860 square foot building will comprise of 128 independent living units. The site is located on the west side of Belleville Road, between Ecorse Road and Tyler Road and has a total site area of 17.728 acres and is zoned C-2 (Extensive Highway Business District). The site is also located in the Belleville Road Overlay District (BROD). The applicant received preliminary site plan approval from the Planning Commission on March 24, 2021 subject to several conditions.

We have reviewed the revised site plan for compliance with the conditions of preliminary site plan approval and offer the following comments (any items that require changes or additional information are underlined):

COMMENTS

- 1. Wayne County's approval of detention pond landscaping.** This condition can be met. Per the applicant based on communications with Wayne County, subject to certain minor clarifications, the plans are ready to be approved. A copy of final approval for the site from Wayne County must be submitted.
- 2. Approval of storm water detention calculations by the Township Engineer and Wayne County.** This condition can be met. Per our understanding, the Township Engineer most of the significant engineering concerns have been addressed at this time; however, Wayne County approval letter is required for final approval of the storm water detention plan.
- 3. Submission of a photometric/lighting plan addressing all of the issues noted in Comment 10 from SPR Review #4, dated March 17, 2021.** This condition has been met. Preliminary approval was granted by the Planning Commission subject to reduction in height of some light poles and details to be provided for all fixtures. The revised plan set at this time includes a photometric plan (not listed on the cover sheet) showing 12' tall decorative light poles in 2 styles with different illumination intensity along the main drive aisle off Belleville and within the remaining areas of the site. The plan also notes decorative lantern style fixtures on the wall of the accessory garage buildings.

- 
4. **Revision of garage elevations to break up buildings into smaller sizes as noted in Comment 11 from SPR Review #4 dated March 17, 2021 and clarification regarding building material percentage amounts and addition of brick to the pole supports for the balconies.** This condition has been met. The revised plans shows the garages being broken up into segments with 5 garage units in each. Four smaller accessory building along the north side of the access drive around the main building and 4 other buildings on the west side. Revised elevations submitted show the structures being constructed predominantly of brick with hardi-plank siding and an asphalt shingled roof. The building material colors are to match the primary building. While percentage of materials is not noted, the structures appear to comply with BROD requirements.
 5. **Submission of details for proposed dumpster enclosure.** This condition has been met. The enclosure was previously shown on the northwest corner of the site which would likely be a front yard if and when Robson Road planned for the future, is built. The revised plan shows the dumpster relocated to the southwest corner, a more appropriate location. The dumpster enclosure is to be provided with a 2' brick base with stained block on top of it, to tie it to the rest of the structures on the site.
 6. **Revision of sign design to include monument base.** This condition has been met. Per Section 11.102 (A) (18) a monument sign shall have a solid supporting base equal to or greater than the width of the sign face constructed of a decorative and durable material (e.g., masonry), and shall have no separations between the sign face and the base. The supporting base shall have a minimum 24-inch vertical height. The revised plan includes details of the monument sign with a 2' brick veneer base with stone cap, with an oval sign supported between posts on top of it.
 7. **Relocation of transformer pad.** This condition has been met. The transformer pad has been moved from a location next to the main drive aisle into the site, to the front yard area of the building. While still not ideal, the landscape plan does offer screening with evergreens around the unit.

RECOMMENDATION

All of the conditions of preliminary site plan approval have been met at this time. Therefore, we recommend that the Planning Commission grant final site plan approval to Clover Communities Senior Housing to be located at 8470 Belleville, subject to Wayne County approval of stormwater detention for the site.

Respectfully,
McKENNA



Vidya Krishnan
Senior Principal Planner

c: Dan Power, Director of Planning & Economic Development
Paul Kammer, FTCH, Township Engineers
Andrew Leneghan, Van Buren Township Fire Marshal



April 14, 2022
Fishbeck Project No. 191784
Township Project No. 19-040

Todd Saums
Director of Water and Sewer
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

**Clover Senior Housing
8470 Belleville Road
Engineering and Final Site Plan Review No. 2**

Dear Director Saums:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Site Plan dated March 23, 2022, submitted to the Township for the second Engineering and Final Site Plan review for the proposed Clover Senior Housing project located at 8470 Belleville Road. The previous Engineering Plan set submittal, dated October 18, 2021, was reviewed, and returned without recommendation for approval, as indicated in the Fishbeck letter dated March 11, 2022 (attached). In addition to the revised plan set, the applicant has provided written responses to each of the Engineering comments, which Fishbeck has also considered as part of their review.

This project entails construction of a new 128-unit senior housing center at 8470 Belleville Road south of Ecorse Road. The existing site includes an undeveloped 17.73-acre lot fronting Belleville Road. The proposed project includes: construction of a 45,860-square-foot, three story assisted living building; construction of sidewalk and pavement; construction of a 162-space bituminous pavement parking lot; construction of a water main loop around the proposed building; construction of storm drain improvements including a detention basin; construction of a sanitary sewer system and sewer lead; construction of one driveway with access to Belleville Road; and other various landscaping and Site plan improvements. The plans also indicate a proposed parcel split where 1.57 acres will be left as an 'outparcel.

Our review comments are as follows:

General

The following items are general requirements established as part of the *Engineering Standards Manual, Charter Township of Van Buren (April 2014)*. The applicant must include the following items as part of the Construction Plans:

1. Soil boring information, including the ground water elevations, was provided in the Testing Engineers & Consultants, Inc. (TEC) Geotechnical Report dated November 18, 2019. No soil borings were taken in the current location of the detention pond thus ground water elevation will be assumed based on surrounding areas.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicate a publicly owned 12-inch asbestos cement water main running north-south along the east side of Belleville Road.

Proposed: The applicant's plan indicates a proposed 8-inch water main loop around the proposed building and connecting to the existing water main running north-south along Belleville Road. The plans also indicate a fire protection lead and water service lead at the northeast side of the proposed building from the proposed loop and five proposed fire hydrants.

Comments:

1. The water main connection for the north leg of the loop is indicated as a "cut-in-tee" connection method. The next closest valve along the Belleville Road water main is nearly 1/2-mile north of the connection point at Ecorse Road. Doing a cut-in-tee would require a significant amount of water main draining and downtime for the services along this stretch. Plans should indicate that a live tap shall be implemented, and the approval of a cut-in-tee would need to be approved by the Township. All connections and shutdowns must be approved by the Township.
2. The south leg of the loop connection is also listed as a "cut-in-tee" connection method. The length of water main required for a shutdown is significantly less (<1000 feet) and has far less potential service interruptions. That said, the contractor for the project needs to be prepared to live tap if the shutdown is not allowable by the Township. Our suggestion is that the plans indicate a live tap, telling the contractor that they may request a shutdown for a cut-in-tee, but it will first need approval by the Township. The plans could also indicate the location of the next closest shutdown valve, so the Contractor knows how much of the 12-inch water main they need to drain or handle.
3. All work within the Wayne County (County) right-of-way (ROW) must be approved by the County.
4. The proposed valve being installed between the loop connections can be removed. The location of the existing valve near Robson Road shall provide the isolation that is needed for shutdowns and redundancy for the site.
5. All fire hydrants must be a minimum of 5-foot off the back of curb. Plans should have labels confirming this compliance.
6. Hydrant (H1) is currently too close to the proposed building. The Township Engineering Manual states all hydrants shall be located at least 40 feet from the exterior wall of the building, unless allowed by the Fire Department.
7. Final Water Main Plans must be submitted to Michigan Department of Environment, Great Lakes, and Energy (EGLE) for approval of all public water main design. Upon acceptance of the Engineering Plans, the applicant will be responsible for submitting three sets of full-size paper copies of the plans, in conformance with the requirements from EGLE, as well as the EGLE Permit Application for Drinking Water Systems.

Sanitary Sewer

Existing: The Township's GIS records indicate there is an 8-inch public clay sanitary sewer line that runs north-south along the east side of Belleville Road which connects into a 10-inch public clay sanitary sewer line closer to Tyler Road.

Proposed: The applicant is proposing to install two 6-inch private sanitary sewer leads flowing into two separate proposed private sanitary manholes and 8-inch polyvinyl chloride (PVC) sanitary sewer lines, which converge and tap into a proposed public sanitary manhole. A proposed public 8-inch sanitary sewer then flows east towards Belleville Road, where it crosses the roadway and connects into an existing public manhole on the 8-inch sanitary sewer line running north-south along Belleville Road.

Comments:

1. The proposed 8-inch sanitary sewer shall conform to the Township Engineering Standards Manual. Solid wall PVC for 8-inch pipe shall be SDR 35 pipe. We acknowledge the proposed pipe is a thicker class pipe, however, the Township Water and Sewer Department need to confirm this variance in material thickness.
2. The note located near the sanitary sewer connection on the east side of Belleville Road needs to call out the definitive replacement of the driveway culvert. The property owner shall not have to coordinate, but rather get a new culvert that is equal or better than the current culvert in this location.
3. The easement for the sanitary sewer will now be split between two properties. A sanitary sewer easement from both properties will be required to be executed prior to the start of any work.
4. Final Sanitary Sewer Plans must be submitted to EGLE for approval of all public sanitary sewer design. Upon acceptance of the Engineering Plans, the applicant will be responsible for submitting an electronic version of the plans, in conformance with the requirements from EGLE (Part 41).

Storm Sewer

Existing: The Township's GIS records indicate there is no existing storm sewer system along Belleville Road adjacent to the proposed development. Stormwater runoff along Belleville is conveyed by an open ditch with driveway culverts towards the south/southeast.

Proposed: The applicant is proposing to collect stormwater using a proposed privately-owned storm sewer system and conveyed to an onsite drainage basin. According to the plan's stormwater narrative, the stormwater pond with forebay will be sized to accommodate stormwater from the subject site and future development of the outparcel. The plans indicate a standard detention pond system with a proposed outlet and emergency overflow spillway into a plunge pool at the edge of the property. The proposed plunge pool will discharge westerly on to the adjacent property at the back of the lot (west), towards the Apple Run Drain approximately 1500 feet to the west. There is no direct storm water connection to the Apple Run Drain from the plunge pool, but instead, overland sheet flow towards the drain. At the time of this letter, the County has reviewed these plans and provided comments to the applicant via email and telephone conversations (November 2021). The underlying issue the County would like to see resolved is their preference of a direct connection to the [Apple Run] drain to the west by piping across the township owned property OR an approval through a drainage easement or letter of acknowledgement/approval from the property owner regarding the drainage across the property. The Township, who is the owner of the adjacent property, provided the Applicant with requirements needed prior to them giving approval for the drainage across the property.

Update: As part of the approval process for the Township to accept the discharge onto the adjacent Township owned property, they have requested information from the applicant. The applicant has provided data and an exhibit (attached), indicating the Township Property between the proposed Clover Development and the Apple Run Drain. As previously discussed with all parties, this area of the Township property is known to have existing wetlands. The exhibit also indicates the general layout and existing contours (based on Lidar data) of the property. As suspected, the area is very flat and does indicate an area of flow coming from the east (Clover Development) into the existing wetland. As discussed within meeting with the Township, the additional flow from the Clover Development property may increase the saturated area up to and beyond the wetland and may expand the footprint of the existing wetland.

Comments:

1. Fishbeck understands the review is still ongoing from the County, and thus, any changes or further requirements from them may result in a resubmittal of the plans.
2. An internal discussion is planned to discuss the required submittal information for the drainage across the property.
3. Storm structure R20 is labeled as a catch basin (CB), however, it appears to be located at the back of a curb with grade flowing away from the curb. Confirm and change to manhole if true.

Paving and Grading

1. The applicant shall utilize “northbound (NB)” and “southbound (SB)” designation on the “Belleville Rd” signs to clarify which direction of Belleville Road is being detoured. These signs should be written as “NB Belleville Rd” or “SB Belleville Rd”.

Soil Erosion and Sedimentation Control (SESC)

1. All SESC Plans and implementation must be in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with the County SESC standards.
2. It is our understanding the SESC Plans have been approved and the Permit is ready to be picked up. The Owner/Contractor will be responsible for obtaining the SESC Permit prior to the scheduling of the Preconstruction meeting and prior to any work being done onsite.

Recommendation

We are recommending the Planning Commission grant the Clover Senior Housing Project Engineering and Final Site Plan approval, subject to the comments listed above and the pending County review and approval. If changes occur due to requirements from the County, the Township reserves the right to require the applicant resubmit and reapply for review of the site. Prior to the project continuing to the Preconstruction Phase, the applicant will be required to address all comments in an Issued for Construction Plan set. If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE
Senior Civil Engineer

By email

Attachments

Copy: Dan Power – Township
Brittney Williams – Township
Vidya Krishnan– McKenna

March 11, 2022
Fishbeck Project No. 191784
Township Project No. 19-040

Todd Saums
Director of Water and Sewer
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

**Clover Senior Housing
8470 Belleville Road
Engineering and Final Site Plan Review**

Dear Director Saums:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Site Plan dated October 18, 2022, submitted to the Township for the Engineering and Final Site Plan review for the proposed Clover Senior Housing project located at 8470 Belleville Road.

This project entails construction of a new 128-unit senior housing center at 8470 Belleville Road south of Ecorse Road. The existing site includes an undeveloped 17.73-acre lot fronting Belleville Road. The proposed project includes: construction of a 45,860-square-foot, three story assisted living building; construction of sidewalk and pavement; construction of a 162-space bituminous pavement parking lot; construction of a water main loop around the proposed building; construction of storm drain improvements including a detention basin; construction of a sanitary sewer system and sewer lead; construction of one driveway with access to Belleville Road; and other various landscaping and site plan improvements. The plans also indicate a proposed parcel split where 1.57 acres will be left as an 'outparcel.'

Our review comments are as follows:

General

The following items are general requirements established as part of the *Engineering Standards Manual, Charter Township of Van Buren (April 2014)*. The applicant must include the following items as part of the construction plans:

1. Soil boring information, including the ground water elevations, was provided in the TEC Geotechnical Report dated November 18, 2019. No soil borings were taken in the current location of the detention pond thus ground water elevation will be assumed based on surrounding areas.
2. The clearance between utilities should be shown on the utility crossing table.
3. Plans must include the applicable Standard Detail Drawings as found in Appendix A of the Township *Engineering Standards Manual*. The Township can provide full size sheets of multiple details upon request.
4. All elevation points on the grading plans should distinguish between a proposed ground grade or top of water valve.

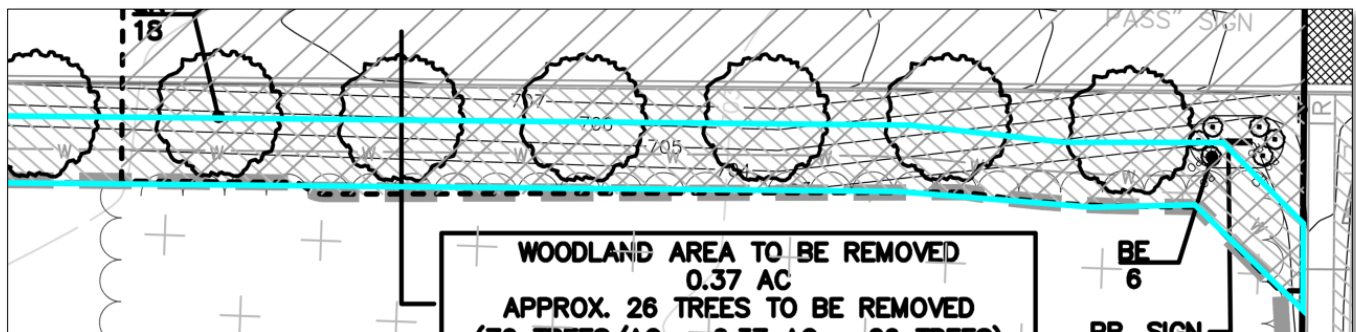
Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicate a publicly owned 12-inch asbestos cement water main running north-south along the east side of Belleville Road.

Proposed: The applicant's plan indicates a proposed 8-inch water main loop around the proposed building and connecting to the existing water main running north-south along Belleville Road. The plans also indicate a fire lead and water service lead to the south side of the proposed building from the proposed loop and five proposed fire hydrants.

Comments:

1. It appears there is some places along the south side of the building where minimum separation between utilities is still not being met. Adjust and label distances to indicate compliance for all areas of water main. The minimum of ten feet of horizontal separation shall be provided between water mains and sanitary sewer lines, storm sewer lines, or other water mains. This is measured from outside of pipe to outside of pipe and should be indicated on the plans. Michigan Department of Environment, Great Lakes, and Energy (EGLE) will require this as part of their submission, so anywhere that indicates storm or sanitary running parallel, please specify the distance
2. Water main depth must be 6 feet everywhere unless within the influence of any roadway or paved surface, in which case the depth shall be 7 feet. Township DPS has had issues with 6 foot depth of water main under paved areas and is now requiring 7 feet. Label all profiles to confirm this depth is met. Water main depth shall also be calculated based on the surrounding natural grade of the land or from the centerline elevation of an adjacent roadway (i.e. can't measure depth under a landscape berm).
3. Water main and easement must be clear of proposed landscaping trees, signs, and other elements. The following location of water main should be adjusted to provide a clear area for future maintenance and repair:
 - a. The alignment along the south side of the driveway. This water main and easement sit directly below or just slightly offset from the landscape row of trees and the complex sign. Future maintenance and repair will be very difficult and could impact the water main. This water main alignment should shift to the south, out of the influence of the trees, out of the footprint of the sign. Indicate a cleared 12-foot easement on the south side of the landscaping. The current location does not allow for room for future maintenance. Centerline of the water main lies within 6 feet of the center of the trunks of the trees. Any excavation of the water main will require removal of any tree within the area.



4. Engineering plans must include all proposed and existing information on how the water main is planned on being connected at the existing water main at both locations. It is now noted that the water main will be installed open cut, with a full road closure, however, there is no indication of the tapping method. Cut-in-tee methodology must be worked through with the Township to show isolation and potential disruptions to service. All shutdowns must be approved by the Township. All work within the Wayne County ROW must be approved by the County.
5. The proposed valve being installed between the loop connections shall be labeled gate valve and well, and also shifted to the north. The current location is directly next to a sanitary sewer manhole. Limit the disturbance around the existing utilities and leave room for future manhole maintenance.

6. Water service lead is now less than 100 feet in length, however, the fire suppression is PROHIBITED to be tapped from a non-looped water main lead to a hydrant. Reconfigure the service and fire suppression lead. Potential to tap the northern leg of the loop for both service and fire protection.
7. All fire hydrants must be a minimum of 5' off the back of curb. Label for compliance.
8. Final Water Main plans must be submitted to EGLE for approval of all public water main design. Upon acceptance of the Engineering Plans, the applicant will be responsible for submitting three sets of full size paper copies of the plans, in conformance with the requirements from EGLE, as well as the EGLE Permit Application for Drinking Water Systems.

Sanitary Sewer

Existing: The Township's GIS records indicate there is an 8-inch public clay sanitary sewer line that runs north-south along the east side of Belleville Road which connects into a 10-inch public clay sanitary sewer line closer to Tyler Road.

Proposed: The applicant is proposing to install two 6-inch private sanitary sewer leads flowing into two separate proposed private sanitary manholes and 8-inch PVC sanitary sewer lines, which converge and tap into a proposed public sanitary manhole. A proposed public 8-inch sanitary sewer then flows east towards Belleville Road, where it crosses the roadway and connects into an existing public manhole on the 8-inch sanitary sewer line running north-south along Belleville Road.

Comments:

1. Existing sanitary sewer manhole on the profile shows what looks to be a sump. Adjust for clarity.
2. The easement for the sanitary sewer will now be split between 2 properties. A sanitary sewer easement from both properties will be required to be executed prior to the start of any work.
3. Final Sanitary Sewer plans must be submitted to EGLE for approval of all public sanitary sewer design. Upon acceptance of the Engineering Plans, the applicant will be responsible for submitting an electronic version of the plans, in conformance with the requirements from EGLE (Part 41).

Storm Sewer

Existing: The Township's GIS records indicate there is no existing storm sewer system along Belleville Road adjacent to the proposed development. Stormwater runoff along Belleville is conveyed by an open ditch with driveway culverts towards the south/southeast.

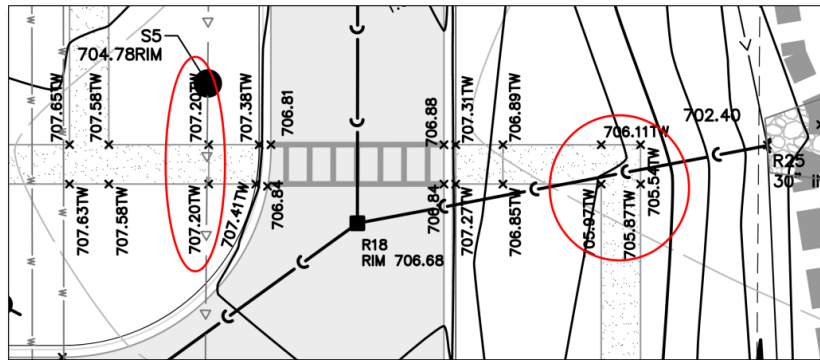
Proposed: The applicant is proposing to collect stormwater using a proposed privately-owned storm sewer system and conveyed to an onsite drainage basin. According to the plan's stormwater narrative, the stormwater pond with forebay will be sized to accommodate stormwater from the subject site and future development of the outparcel. The plans indicate a standard detention pond system with a proposed outlet and emergency overflow spillway into a plunge pool at the edge of the property. The proposed plunge pool will discharge westerly on to the adjacent property at the back of the lot (west), towards the Apple Run Drain approximately 1500 feet to the west. There is no direct storm water connection to the Apple Run Drain from the plunge pool, but instead, overland sheet flow towards the drain. At the time of this letter, Wayne County has reviewed these plans and provided comments to the applicant via email and telephone conversations (Nov 2021). The underlying issue that the County would like to see resolved is their preference of a direct connection to the [Apple] drain to the west by piping across the Twp owned property OR an approval through a drainage easement or letter of acknowledgement/approval from the property owner regarding the drainage across the property. Van Buren Township, who is the owner of the adjacent property, provided the Applicant with requirements needed prior to them giving approval for the drainage across the property.

Comments:

1. Fishbeck understands the review is still ongoing from Wayne County, and thus, any changes or further requirements from them may result in a resubmittal of the plans.

Paving and Grading

1. As part of the Engineering review process, the applicant will be required to provide more detailed grading plans that indicate detailed parking lot grades, Americans with Disabilities Act 2010 (ADA) ramp grades, and all other paved areas. Slopes shall be provided to easily determine minimum and maximum grades are being met. Two areas to spot check on the east side of the building. 1) Low Point with no outlet (707.20) 2) Corner/Turn has a low corner giving a 11% grade. Applicant to double check grades along the driveway curve. Some grades show a cross slope greater than 2%.



2. The applicant shall add language to the detour plan to ensure local traffic is maintained. There are multiple houses located within the full road closure as shown on the detour plans.
3. The applicant shall utilize "NB" and "SB" designation on the "Belleville Rd" signs in order to clarify which direction of Belleville Road is being detoured.

Soil Erosion and Sedimentation Control (SESC)

1. All SESC Plans and implementation must be in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards.
2. It is our understanding that the SESC Plans have been approved and the Permit is ready to be picked up. The Owner/Contractor will be responsible for obtaining the SESC Permit prior to the scheduling of the Preconstruction meeting and prior to any work being done on the site.

Recommendation

We are NOT recommending the Planning Commission grant the Clover Senior Housing Project Engineering and Final Site Plan approval at this time due to the ongoing Wayne County stormwater management review and the comments listed above. The applicant may continue to coordinate with the Township and Fishbeck to iron out any of the above listed comments while working through the final requirements for Wayne County. If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,

Paul J. Kammer, PE
Senior Civil Engineer

By email




Copy: Dan Power – Township
Vidya Krishnan – McKenna
Dave Potter, PE – Fishbeck


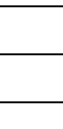


	C	AREA	CA	TC	I	Q
EXISTING WEST DRAINAGE AREA	0.30	8.79	2.64	20 MIN	5.45 IN/HR	14.37 CFS
UNDEVELOPED WEST AREA	0.30	3.66	1.10	20 MIN.	5.45 IN/HR	5.98 CFS
DEVELOPED RESTRICTED	0.72	8.50	6.12	(@ 0.10 CFS/ACRE)		0.85 CFS

PEAK RAINFALL INTENSITY (IN/HR) 100-YEAR STORM ($I = 101 / (12.33 + T)^{0.84}$) (PER WAYNE COUNTY STANDARDS)

LEGEND

	PROPERTY LINE
	TOPOGRAPHIC SURVEY EX. CONTOUR
	GIS EXISTING CONTOUR
	DRAINAGE ARROW

	
<h1 style="margin: 0;">811</h1> <p style="font-size: small; margin: 0;">Know what's below. Call before you dig.</p>	
<p><small>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDICATIVELY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</small></p>	
<p>NOTICE: <small>CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTORS. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.</small></p>	
<p><small>COPYRIGHT © 2018 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.</small></p>	
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: x-large;">CLOVER DEVELOPMENT GROUP</div> <div style="text-align: left;"> <h1 style="margin: 0;">ATWELL</h1> <p style="margin: 0;">866.850.4200 www.atwell.com</p> <p style="margin: 0;">TWO TOWNE SQUARE, SUITE 700 SOUTHFIELD, MI 48076 48244-2000</p> </div> </div>	
<p style="text-align: center;">SECTION 9</p> <p style="text-align: center;">TOWN 3 SOUTH, RANGE 8 EAST</p> <p style="text-align: center;">VAN BUREN TOWNSHIP</p> <p style="text-align: center;">WAYNE COUNTY, MICHIGAN</p>	<p style="text-align: center;">OFF-SITE DRAINAGE EXHIBIT</p>
<p style="text-align: center;">CLOVER SENIOR HOUSING FINAL SITE PLANS</p>	
<p>DATE: MARCH 15, 2022</p> <p>REVISIONS/SUBMITTALS</p> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>	
<div style="text-align: center;">  <p>SCALE: 1" = 50'</p> </div>	
<p>DRAWN BY: KS</p> <p>CHECKED BY: JK</p> <p>PROJECT MANAGER: J. KIME</p> <p>JOB #: 19003407</p> <p>FILE CODE: FSP</p> <p>SHEET NO. EX-01</p>	

Andrew Lenaghan
Deputy Chief/Fire Marshal
O: 734-699-8900 ext. 9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp, MI 48111



March 29, 2022

Department Building and Planning
46425 Tyler Road
Belleville, MI 48111

Re: Clover Senior Housing
8470 Belleville Road
Van Buren Township, Michigan 48111

To whom it may concern:

I have reviewed the site plan for the proposed Clover Communities to be located at 8470 Belleville Rd.

The plan set was reviewed for fire department access and water supply using the Township adopted fire code NFPA 1 2018 edition.

Water Supply

~~Fire hydrants shall be provided for buildings other than detached one- and two-family dwellings in~~
~~accordance with both of the following:~~ **NFPA 1**
18.5.3

- ~~(1) The maximum distance to a fire hydrant from the closest point on the building shall not exceed 400 feet.~~
- ~~(2) The maximum distance between fire hydrants shall not exceed 500~~

On sheet 08 the distance from the fire hydrant on the North side of the complex to the west side hydrant is 600 feet. The south side hydrant is approximately 510 feet front the west side hydrant.

~~The hydrant shown on the west side of the building needs to be moved to the Southwest corner, and an additional hydrant needs to be added to the Northwest corner. The hydrant spacing issue was noted in the last site plan review dated March 8th 2021~~

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

Fire Department Access

The turning radius of a fire department access road shall be approved by the AHJ.

NFPA 1 18.2.5.3.1

The turning radiuses shown on sheet 20 are not wide enough to accommodate ladder truck specs submitted.

An emergency vehicle access plan showing vehicle movement and the turning radiuses of the access road using the following dimensions will need to be verified.

Ladder Truck Length- 48 Feet

Width- 10 feet

Height- 12 feet

No parking fire lane signage is required along the entire length of the access road.

Where required by the AHJ, approved signs, approved roadway surface markings, or other approved notices shall be provided and maintained to identify fire department access roads or to prohibit the obstruction thereof of both.

NFPA 1 18.2.3.6.1

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Respectfully submitted,

Andrew Lenaghan
Deputy Fire Chief/Fire Marshal
Van Buren Fire Department

in definitions referencing porticos and solar panels was removed as it was unnecessarily confusing the issue by adding more limitations, language has been added to clarify that the 10% coverage allowable up to 20,000 square feet is beyond the 35% lot coverage that is already allowed and the language clearly specifies that the amendment is for the industrial districts only.

Commissioners like the updates to the text amendment and the simplifying of the language. No comments from the audience.

Director Power explained the process moving forward is a motion of recommendation from the Planning Commission to the Township Board of Trustees to adopt the zoning ordinance text amendment. The Township Board will have two subsequent meetings in which the amendment will be reviewed prior to adoption.

Motion Kelley, Jahr second to recommend the Township Board of Trustees adopt the proposed zoning ordinance text amendment regarding lot coverage.

Roll Call:

Yeas: Cullin, Kelley, Budd, Jahr and Thompson.

Nays: None.

Absent: Atchinson and Franzoi.

Motion Carried.

ITEM #2: 19-040 – CLOVER COMMUNITIES SPECIAL LAND USE REVIEW.

THE APPLICANT, CLOVER COMMUNITIES OF VAN BUREN LLC, IS REQUESTING SPECIAL LAND USE APPROVAL FOR THE CONSTRUCTION OF A PROPOSED SENIOR HOUSING FACILITY WITH 128 INDEPENDENT SENIOR HOUSING UNITS.

LOCATION: THE PROPERTY, 8470 BELLEVILLE ROAD (PN 83-036-99-0002-702), IS LOCATED ON THE WEST SIDE OF BELLEVILLE ROAD, BETWEEN TYLER ROAD AND ROBSON ROAD AND IS ZONED C-2 (EXTENSIVE HIGHWAY BUSINESS) DISTRICT. THE PARCEL IS A +/- 17.7 ACRES IN AREA INCLUDING A +/- 16.16 ACRE DEVELOPMENT SITE AND A +/- 1.57 ACRE OUT PARCEL.

Director Power gave the presentation. Senior housing was accepted into the zoning ordinance as a special land use in 2019, there are special standards that apply to a senior housing use. This project has had a series of review steps and on September 9th a public hearing was held along with the initial consideration of special land use and preliminary site plan approval. The Planning Commission decided to postpone consideration of preliminary site plan approval for a couple items to be addressed. The minimum dwelling unit size for the senior housing project along with the relocation of the driveway to the south of Robson Road, where staff and the applicant agreed it would be more conducive to safety. Notices and reminders were sent to the neighboring properties, there is no additional formal public hearing. Director Power identified that his staff review letter has comments on the possible future road connection to Robson Road to the west, there is room for that road to be placed in the future. If there is a connection made to Robson

Road on the west, the driveway to the south may potentially be restricted with the main access to the senior housing facility redirected through Robson Road at that time.

Vidya Krishnan of McKenna Associates presented her review letter dated 3-17-21, identifying that the applicant has worked with the Township over the past several months to address several of the outstanding concerns. At this time, McKenna Associates, finds that the proposed senior housing development meets the criteria for special land use approval, subject to conditions. Therefore, recommending the Planning Commission recommend special land use approval to the Township Board of Trustees, subject to the following conditions:

1. Approval of the utility plan and storm water detention plan by the Township Engineer and Wayne County.
2. Revisions to architectural elevations and approval of architectural elevations by the Planning Commission.
3. That all of the conditions of site plan approval are met.

The applicant will provide a presentation under the preliminary site plan review.

No comments from the Commission or the audience.

Motion Kelley, Jahr second to recommend the Township Board of Trustees grant special land use approval to the applicant, Clover Communities of Van Buren LLC, for the construction of a proposed senior housing facility, located at 8470 Belleville Road, based on the analysis and subject to the recommendations in the McKenna Associates review letter dated 3-17-21.

Roll Call:

Yeas: Cullin, Kelley, Budd, Jahr and Thompson.

Nays: None.

Absent: Atchinson and Franzoi.

Motion Carried. (Letter Attached)

ITEM #3: 19-040 – CLOVER COMMUNITIES PRELIMINARY SITE PLAN.

THE APPLICANT, CLOVER COMMUNITIES OF VAN BUREN LLC, IS REQUESTING PRELIMINARY SITE PLAN APPROVAL FOR THE CONSTRUCTION OF A PROPOSED SENIOR HOUSING FACILITY WITH 128 INDEPENDENT SENIOR HOUSING UNITS.

LOCATION: THE PROPERTY, 8470 BELLEVILLE ROAD (PN 83-036-99-0002-702), IS LOCATED ON THE WEST SIDE OF BELLEVILLE ROAD, BETWEEN TYLER ROAD AND ROBSON ROAD AND IS ZONED C-2 (EXTENSIVE HIGHWAY BUSINESS) DISTRICT. THE PARCEL IS A +/- 17.7 ACRES IN AREA INCLUDING A +/- 16.16 ACRE DEVELOPMENT SITE AND A +/- 1.57 ACRE OUT PARCEL.

Director Power displayed the preliminary site plan and handed the discussion to Vidya Krishnan of McKenna Associates to present her review.

Vidya Krishnan of McKenna Associates presented her review letter dated 3-17-21, there are a few items that remain to be addressed and these items can be modified or corrected prior to final plan approval. Therefore, McKenna Associates recommends that the Planning Commission grant preliminary site plan approval for Clover Communities senior housing to be located at 8470 Belleville Road, subject to the following conditions being address on a revised plan submitted for final site plan approval:

1. Wayne County's approval of detention pond landscaping.
2. Approval of storm water detention calculations by the Township Engineer and Wayne County.
3. Submission of a photometric/lighting plan addressing all of the issues noted.
4. Revision of garage elevations to break up buildings into smaller sizes.
5. Submission of details for proposed dumpster enclosure.
6. Revision of sign design to include monument base.
7. Relocation of transformer pad.

Paul Kammer of Fishbeck Associates presented his review letter dated 3-17-21, recommending the Planning Commission grant the Clover Senior Housing Project preliminary site plan approval for engineering feasibility, subject to the comments listed in the review letter and in accordance with the Township's Engineering Standards Manual. Fishbeck is particularly concerned with the review and comments from Wayne County regarding the storm water management system, as well as the Belleville Road ROW construction. These items must be discussed with the County prior to the Township accepting the applicant for engineering review.

The Van Buren Fire Marshal's review letter dated 3-8-21 identified the NFPA fire codes to be addressed.

Beth Ernat of Clover Communities provided a PowerPoint presentation which displayed the following: unit layouts (1 and 2 bedroom), coffee bar, game room, community room, outdoor patio area (with community grills), the shift of the front entry driveway location, the floor plan showing the mix of units and a rendering of a similar Clover Communities project in Canton Township.

Engineer, Jared Kime for Clover Communities informed the Commission that he has reached out to Wayne County regarding storm water retention, the applicant will submit a new photometric/lighting plan and provide the dumpster enclosure information. Mr. Kime displayed a sample of the monument sign in which the base is brick. The applicant would prefer not to separate the garages as they will have to build 8 additional walls and include a 15-foot gap between the buildings.

Commissioners had the following questions and concerns:

1. Is the brick wrap for the columns to go up 3 stories or only cover the base? Vidya Krishnan of McKenna Associates responded all the way to the top (3 stories) or the same height as the brick on the exterior façade. The applicant is willing to take the brick wrap up to the brick height on the exterior façade.

2. In Director Power's memo, there is a recommendation about new construction and landscaping being limited or removed within 30 feet of the north property line. The language was added to make sure that this project does not put itself in a situation if/when Robson Road is connected to the west side of Belleville Road. The landscaping trees can be shifted to accommodate for the road.
3. In the traffic study, with their being 128 units and residents needing to make left hand turns into the entry, is that going to cause traffic backup? Beth Ernat of Clover Communities informed that the residents are not peak traffic time users, with the maximum peak traffic time users as 3-5 residents. The possible future expansion of Robson Road will help to minimize the movements at the entry.
4. Will the monument sign be lit? Yes, the applicant confirmed there will be up lighting at the monument sign.
5. Commissioners agree breaking up of the garage into two units is more aesthetically appealing and is a good recommendation to consider. The applicant is willing to split the garages.
6. Commissioners thanked Beth Ernat of Clover Communities for her hard work and look forward to having Clover Communities as part of the Township.

No comments from the audience.

Motion Kelley, Jahr second to grant the applicant, Clover Communities of Van Buren LLC, preliminary site plan approval for the construction of a proposed senior housing facility with 128 independent senior housing units, located at 8470 Belleville Road, based on the analysis and subject to the conditions detailed in the McKenna Associates review letter dated 3-17-21, Fishbeck Associates review letter dated 3-17-21, Fire Department review letter dated 3-8-21, along with specific references to the concerns and clarifications raised by Director Power and Commissioner Jahr regarding landscaping, setbacks and brick wrap.

Roll Call:

Yeas: Budd, Kelley, Cullin, Jahr and Thompson.

Nays: None.

Absent: Atchinson and Franzoi.

Motion Carried. (Letters Attached)

NEW BUSINESS:

ITEM #1: 21-010 – 44145 YOST ROAD – PRELIMINARY VARIANCE DISCUSSION.

THE APPLICANT, ROB WAGNER OF MIDWESTERN CONSULTING, HAS APPLIED FOR A DISCUSSION OF A POTENTIAL SETBACK VARIANCE TO ALLOW THE CONSTRUCTION OF A 5,400 SQUARE FOOT ROOFED STRUCTURE TO BE USED FOR SHELTERING A WASTE TRANSFER AREA TO ENCROACH TO WITHIN 0.5' OF THE SIDE YARD LOT LINE, CONTRARY TO SECTION 4.102 OF THE ZONING ORDINANCE, WHICH REQUIRES A 40' SETBACK IN THE M-1 LIGHT INDUSTRIAL ZONING DISTRICT.



LEGEND - EXTERIOR MATERIALS	
1	HORIZONTAL LAF SIDING
2	BRICK: RED BAYVIEW CEDAR COLOR TO BE DETERMINED
3	HORIZONTAL SIDING
4	BRICK: EARTH TONE
5	ASPHALT SHINGLES OVER 5/8\"/>
6	SHUTTERS - 1\"/>
LEGEND - LIGHT FIXTURES	
1	FIGURE 15 - HAMPTON BAY RETRO-OL, OUTDOOR LIGHT COLOR: BLACK
2	FIGURE 16 - HAMPTON BAY RETRO-OL, OUTDOOR LIGHT COLOR: BLACK
3	FIGURE 17 - HAMPTON BAY RETRO-OL, OUTDOOR LIGHT COLOR: BLACK
4	FIGURE 18 - HAMPTON BAY RETRO-OL, OUTDOOR LIGHT COLOR: BLACK

Material Percentage Breakdown	
TOTAL FACADE AREA: 10,000 SQ. FT.	
BRICK: 4,000 SQ. FT. (40%)	
HORIZONTAL SIDING: 4,000 SQ. FT. (40%)	
ASPHALT SHINGLES: 2,000 SQ. FT. (20%)	
SHUTTERS: 1,000 SQ. FT. (10%)	



VAN BUREN TOWNSHIP SENIOR HOUSING

VAN BUREN TOWNSHIP, MICHIGAN

#219094
12/18/19

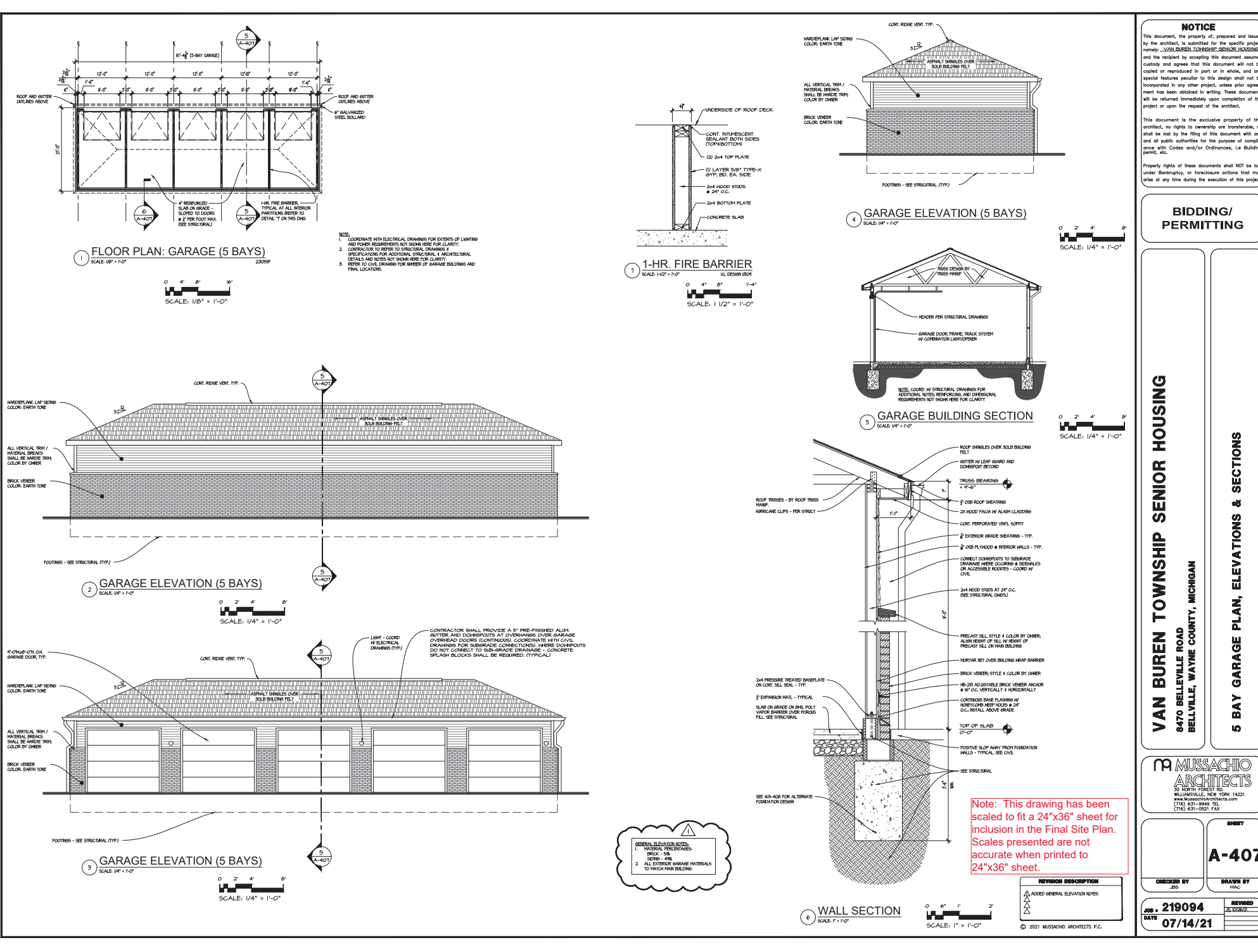


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WILLIAMSVILLE, NEW YORK 14221
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Property rights of these documents shall NOT be lost under Bankruptcy, or foreclosure actions that may arise at any time during the execution of this project.

BIDDING/ PERMITTING

VAN BUREN TOWNSHIP SENIOR HOUSING
8470 BELLEVILLE ROAD
BELLVILLE, WAYNE COUNTY, MICHIGAN

5 BAY GARAGE PLAN, ELEVATIONS & SECTIONS

MUSSACHIO ARCHITECTS
30 NORTH FERRY RD.
WILLIAMSVILLE, NEW YORK 14221
www.mussachioarchitects.com
(716) 631-9949 TEL
(716) 631-0527 FAX

PROJECT
A-407

CHECKED BY JBS
DRAWN BY MAC
DATE 07/14/21
REVISION 1A 10/09/21

REVISION DESCRIPTION

1	ADDED GENERAL ELEVATION NOTES
---	-------------------------------

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Note: This drawing has been scaled to fit a 24"x36" sheet for inclusion in the Final Site Plan. Scales presented are not accurate when printed to 24"x36" sheet.

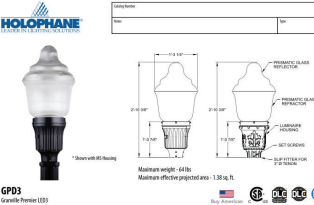
GENERAL ELEVATION NOTES

1. MATERIALS: BRICK - S/S, SINK - 4/8
2. ALL EXTERIOR GARAGE MATERIALS TO MATCH MAIN BUILDING.

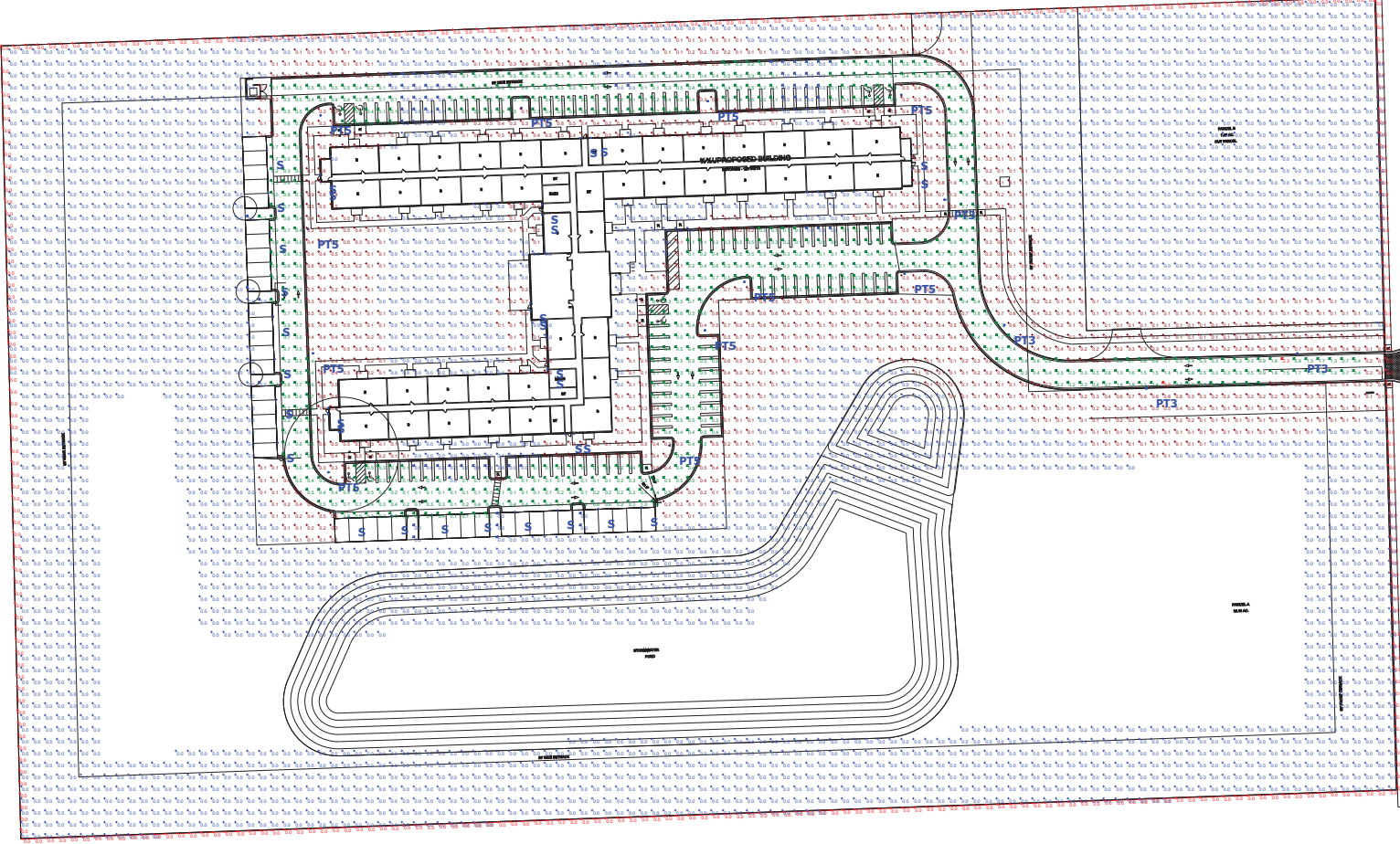
GABLE



SPECIFICATIONS	
1. WATTAGE	2. COLOR TEMPERATURE
3. ANGLE OF BEAM	4. ANGLE OF BEAM
5. MOUNTING HOLE	6. MOUNTING HOLE
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Plan View
Scale = 1/8" = 1'-0"

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING AND DRIVES	X	0.4 fc	2.3 fc	0.0 fc	N/A	N/A	0.2:1
PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
SITE	+	0.1 fc	2.3 fc	0.0 fc	N/A	N/A	0.0:1

Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Lumens per Lamp	LLF	Wattage	Number Lamps	MH	Wattage
	S	32	Brownlee Lighting	7322-C13-40K	Grey steel frame, frosted plastic lens	LED	672	0.9	12.26	1	6'	12.26
	PT3	4	Holophane	GVD3 P30 40K XXXX GL3	GranVille Gen3, P30 Performance Package, 4000K CCT, 70CRI, Type 3 distribution, no trim	LED	8409	0.9	61	1	12'	61
	PT5	11	Holophane	GVD3 P20 40K XXXX GL5	GranVille Gen3, P20 Performance Package, 4000K CCT, 70CRI, Type 5 distribution, no trim	LED	5494	0.9	39	1	12'	39

- General Note
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOT CANDLES AT: 0' - 0", PROPERTY LINE AT 5' - 0" ABOVE GRADE
 - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



CLOVER SENIOR HOUSING
PHOTOMETRIC SITE PLAN
PREPARED BY
GASSER RUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
TDK/BN/AE
Date
2/28/2020
rev. 6/3/2021
Scale
Not to Scale
Drawing No.
#20-47876-V4
2 of 2

FINAL SITE PLANS



DEVELOPER
CLOVER DEVELOPMENT
348 HARRIS HILL RD,
WILLIAMSVILLE, NY 14221
CONTACT: BETH ERNAT
PHONE: 734-346-0246
EMAIL: bernat@clovergroupinc.com

ATWELL, LLC
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
CONTACT: JARED KIME, P.E.
PHONE: (248) 447-2000
EMAIL: jkime@atwell-group.com

SCHEDULE A EXHIBIT "A" LEGAL DESCRIPTION PER ALTA
COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL
TITLE INSURANCE COMPANY, COMMITMENT NO.: A0743131,
COMMITMENT DATE: AUGUST 13, 2019:

LAND SITUATED IN THE TOWNSHIP OF VAN BUREN, COUNTY OF
WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THIS SOUTHEAST 1/4 OF SECTION 9, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN, DESCRIBED AS, BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 9, THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 660 FEET MORE OR LESS, THENCE WESTERLY PARALLEL TO THE EAST AND WEST 1/4 LINE OF SAID SECTION 9, A DISTANCE OF 1230.90 FEET MORE OR LESS, THENCE NORTHERLY AND PARALLEL TO THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 660 FEET, MORE OR LESS, THENCE EASTERLY ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION 9, A DISTANCE OF 1230.90 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE EASTERLY 60 FEET OF THE NORTH 1/2
OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION, AS
CONVEYED BY DEED RECORDED AT LIBER 53416, PAGE 329.

PLANNING

**VAN BUREN TOWNSHIP PLANNING &
ECONOMIC DEVELOPMENT**
46425 TYLER RD
VAN BUREN TWP, MI 48111
CONTACT: MATT BEST
PHONE: 734-699-9600
EMAIL: mbest@vanburen-mi.org

WAYNE COUNTY DPS
CONSTRUCTION PERMITS OFFICE
33809 MICHIGAN AVENUE
WAYNE, MI 48184
CONTACT: HIKMAT KASSEM
PHONE: (734) 595-6504
EMAIL: hkassem@co.wayne.mi.us

VAN BUREN TOWNSHIP PUBLIC SERVICES
46425 TYLER ROAD
VAN BUREN TWP., MI 48111
PHONE: 734-699-8900

AT&T
CONTACT: LINDA DENNISUK
PHONE: 248-456-8256
EMAIL: ld2154@att.com

WAYNE COUNTY DPS
CONSTRUCTION PERMITS OFFICE
33809 MICHIGAN AVENUE
WAYNE, MI 48184
CONTACT: HIKMAT KASSEM
PHONE: (734) 595-6504
EMAIL: hkassem@co.wayne.mi.us

DTE ENERGY
1 ENERGY PLAZA
DETROIT, MI 48226
PHONE: 800-477-4747

WAYNE COUNTY LRM
3600 COMMERCE COURT, BLDG. E
WAYNE, MI 48184
PHONE: 734-326-4421

PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAP (MAP NO. 26163C0351E, AN UNPRINTED PANEL DATED 02-02-2012, THE SITE LIES WITHIN ZONE X WHICH ARE AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PER THE NATIONAL WETLANDS INVENTORY WETLANDS MAPPER, NO REGULATED WETLANDS ARE
LOCATED ON-SITE

TYPE	ISSUED BY	STATUS	NOTES
SITE CONSTRUCTION	TOWNSHIP	SUBMITTED	
ROW CONSTRUCTION PERMIT	WAYNE CO. DPS	SUBMITTED	
WATER MAIN	EGL		
SANITARY SEWER	EGL		
STORM WATER	WAYNE CO. DPS AND VAN BUREN TOWNSHIP	SUBMITTED	
SOIL EROSION PERMIT	WAYNE COUNTY LRM	SUBMITTED	

VERTICAL DATUM IS BASED ON NAVD 88,
CONVERSION FACTOR TO NGVD 29 SHALL BE 0.436, NGVD 29= NAVD 88 + 0.436

WATER	Quantity	Units
8" D.I. CL 54 Water Main	2,352	L.F.
6" D.I. CL 54 Water Main	124	L.F.
Connect to Existing Concrete 12" Water Main	2	E.A.
8" Gate Valve and Box	7	E.A.
12" Gate Valve and Box	1	E.A.
Hydrant Assembly	5	E.A.
4" Water Service Lead	64	L.F.
6" Fire Protection Lead	64	L.F.
STORM	Quantity	Units
8" HDPE Storm Sewer	1,874	L.F.
10" HDPE Storm Sewer	10	L.F.
12" C-76 RCP Storm Sewer	863	L.F.
15" C-76 RCP Storm Sewer	259	L.F.
18" C-76 RCP Storm Sewer	178	L.F.
24" C-76 RCP Storm Sewer	558	L.F.
30" C-76 RCP Storm Sewer	546	L.F.
4" Catch Basin/Manhole	14	E.A.
5" Dia. Catch Basin/Manhole	5	E.A.
6" Dia. Catch Basin/Manhole	2	E.A.
Nyoplast Storm Basins	48	E.A.
12" RCP End Section	5	E.A.
24" RCP End Section	1	E.A.
30" RCP End Section	2	E.A.
Outlet Control Structure	3	E.A.
SANITARY	Quantity	Units
8" Sanitary SDR 26	467	L.F.
6" Sanitary Lead SDR 23.5	377	L.F.
4" Dia. Manhole (10'-10")	4	E.A.
Connect to Existing	1	E.A.



SH. #	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	LAYOUT PLAN
4	OVERALL GRADING & SOIL EROSION CONTROL PLAN
5	SOIL EROSION & SEDIMENTATION CONTROL DETAILS
6	GRADING PLAN-EAST
7	GRADING PLAN-WEST
8	OVERALL UTILITY PLAN
9	WATER PROFILES - 1
10	WATER PROFILES - 2
11	SANITARY PROFILES
12	STORM PROFILES - 1
13	STORM PROFILES - 2
14	STORM PROFILES - 3
15	DETAILED STORM SEWER PLAN
16	STORMWATER MANAGEMENT PLAN
17	STORMWATER MANAGEMENT CALCULATIONS
18	BELLVILLE IMPROVEMENTS PLAN
19	BELLVILLE RD. DETOUR PLAN
20	FIRE PROTECTION PLAN
21	EXISTING TREE SURVEY AND REMOVAL PLAN
22	TREE LIST
23	TREE LIST
24	LANDSCAPE PLAN
25	LANDSCAPE DETAILS
26	STANDARD DETAILS
27	WCDS DETAILS
28	WCDS DETAILS
29	SANITARY SEWER STANDARD DETAILS - 1
30	SANITARY SEWER STANDARD DETAILS - 2
31	STORM SEWER STANDARD DETAILS
32	WATER MAIN STANDARD DETAILS - 1
33	WATER MAIN STANDARD DETAILS - 2
34	SIDEWALK STANDARD DETAILS
35	MISCELLANEOUS STANDARD DETAILS

ALTA SURVEY
EAST / WEST ELEVATION
NORTH ELEVATION
SOUTH ELEVATION
GARAGE ELEVATION
PHOTOMETRIC SITE PLAN

WOODLAND AREA SUMMARY

THE WOODLAND AREA EXHIBITS A MEDIUM TO HIGH DENSITY OF CANOPY TREES WITH AN AVERAGE SPACING OF 15'-20'. DENSITY OF REGULATED TREES IS APPROXIMATELY 70 PER ACRE FOR A TOTAL OF APPROXIMATELY 1.38 ACRES WOODLAND AREA. TREES IN THE CANOPY LAYER ARE GENERALLY IN GOOD HEALTH WITH LIMITED DEAD SNAGS PRESENT. DOMINANT SPECIES INCLUDE SILVER MAPLE (*ACER SACCHARINUM*), WITH ADDITIONAL SPECIES INCLUDING PIN OAK (*QUERCUS PALESTIS*), AMERICAN ELM (*ULMUS AMERICANA*), BLACK CHERRY (*PRUNUS SEROTINA*) AND BOX ELDER (*ACER NEGUNDO*). THE UNDERSTORY CONTAINS JUVENILE SPECIMENS OF THESE SPECIES ALONG WITH COMMON BUCKTHORN (*RHAMNUS CATHARTICA*).

LEGEND

- PROPERTY LINE
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- WOODLAND AREA

- SOIL LIMITS
- OaB
- SOIL TYPE LABEL
- FLOW ARROW
- EX. DRAINAGE BREAK

SOIL TYPES

- OaB GRANTY LOAMY FINE SAND
- OaB OAKVILLE FINE SAND, 0 TO 6 PERCENT SLOPES
- SpB SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- ThA THETFORD LOAMY SAND, 0 TO 2 PERCENT SLOPES



Know what's below.

Call before you dig.
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THIS MAP. ANY UTILITIES NOT SHOWN ON THIS MAP ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DAMAGE TO UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION.



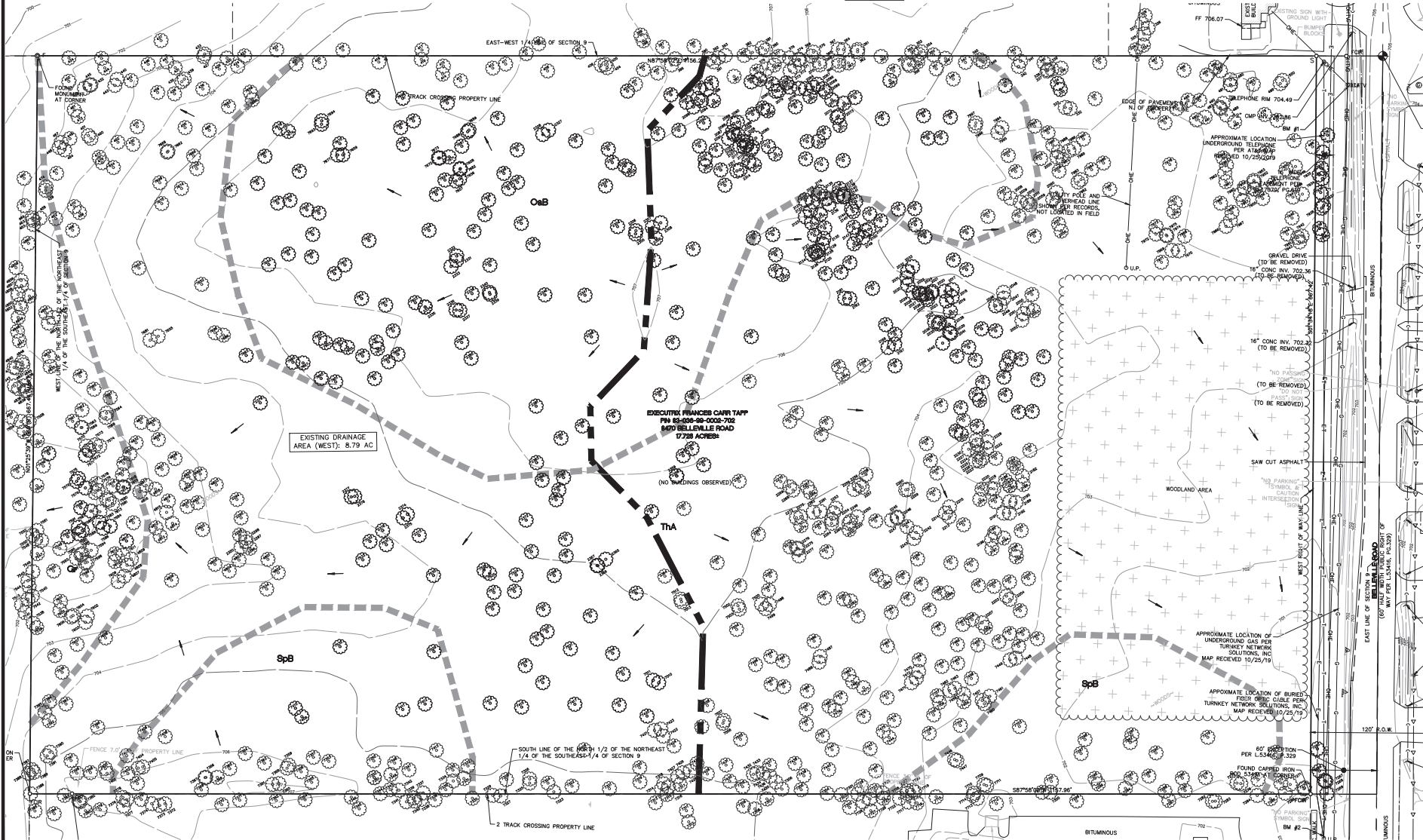
SECTION 9
TOWN 3 SOUTH, RANGE 8 EAST
VAN BUREN TOWNSHIP
WAYNE COUNTY, MICHIGAN

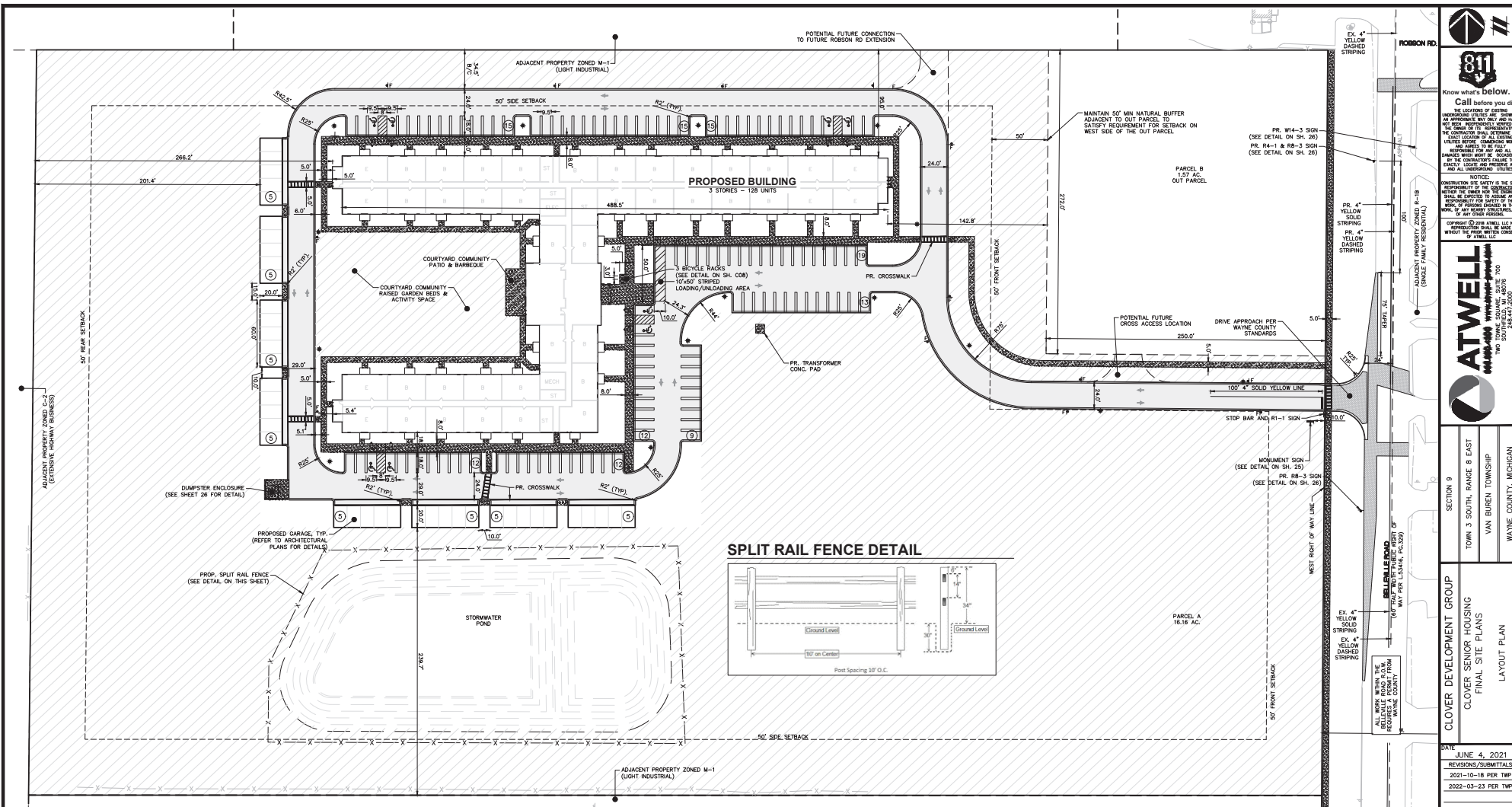
CLOVER DEVELOPMENT GROUP
CLOVER SENIOR HOUSING
FINAL SITE PLANS
EXISTING CONDITIONS
AND DEMOLITION PLAN

DATE: JUNE 4, 2021
REVISIONS/SUBMITTALS
2021-10-18 PER TWP
2022-03-23 PER TWP

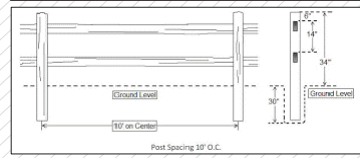
SCALE: 1"=40'
DRAWN BY: JK
CHECKED BY: JK
PROJECT MANAGER: JK
JOB #: 19003407
FILE CODE: FSP
SHEET NO. 2

CAD FILE: 19003407.DWG
ESTIMATE: SEE PLAN 19003407-001-02





SPLIT RAIL FENCE DETAIL



NOTES

1. REFERENCE THE ALTA/ACSM LAND TITLE SURVEY FOR ADDITIONAL EXISTING TOPOGRAPHY AND BOUNDARY INFORMATION.
2. ALL DIMENSIONS ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL PLANS FOR FLOOR PLANS, ELEVATIONS, AND SITE RENDERINGS.
4. ALL ITEMS NOT IDENTIFIED AS "EXISTING" SHALL BE PROPOSED.
5. CONTRACTOR TO PICK UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
6. PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPING AND MARKINGS SHALL MAINTAINED IN A CLEARLY VISIBLE CONDITION.
7. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP.

SITE BENCHMARKS

BENCHMARK 1
SET MAG NAIL ON NORTH SIDE OF POWER POLE 68'±
WEST AND 16'± SOUTH OF SOUTHEAST PROPERTY IRON
ELEVATION = 744.57 NAVD83

LEGEND

- PROPERTY LINE
- PROPOSED 6" CONCRETE CURB & OUTTER
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED DRIVEWAY PER WAYNE COUNTY STANDARD
- PROPOSED ASPHALT PAVEMENT
- PROPOSED OPEN SPACE
- SIDEWALK RAMP
- PROPOSED LIGHT POLE
- PROPOSED NO PARKING FIRE LANE SIGN

- PAINTED STOP BAR W/ STOP SIGN
- TRAFFIC FLOW ARROWS
- PROPOSED SIGN
- PROPOSED FIRE LANE SIGN
- PARKING ROW COUNT
- ADA PARKING SPACE

NOTES

1. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
2. ALL DIMENSIONS ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
3. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL AND FOUNDATION PLAN.
4. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
5. ALL ITEMS NOT IDENTIFIED AS "EXISTING" SHALL BE PROPOSED.
6. ALL ON-SITE PAVEMENT NOT IDENTIFIED AS HEAVY DUTY ASPHALT OR CONCRETE PAVEMENT SHALL BE STANDARD DUTY ASPHALT PAVEMENT.

SITE DATA

PARCEL SUMMARY			GROSS AREA
PARCEL ID#			
OVERALL PARCEL			17.73 ACRES
PARCEL A - CLOVER DEVELOPMENT PARCEL			16.16 ACRES
PARCEL B - OUT PARCEL (TO BE SPLIT)			1.57 ACRES
EXISTING ZONING: C-2 (BELLEVILLE RD. OVERLAY DISTRICT)			
SETBACK DATA			
	REQUIRED	PROVIDED	
FRONT	10 FT	50 FT	
SIDES	10 FT EACH	50 FT	
REAR	10 FT	50 FT	
BUILDING DATA			
HEIGHT	# OF UNITS	FLOOR AREA	
3 STORIES	128	45,860 SQ. FT. (1ST FLOOR)	
33 FEET			
REQUIRED LOT AREA: 5,500 SQ. FT./UNIT x 128 UNITS = 704,000 SQ. FT. (16.16 AC.)			
ACCESSORY STRUCTURES DATA			TOTAL FLOOR AREA
HEIGHT	# OF STRUCTURES		
1 STORY	4		9,600 SQ. FT.

LOT COVERAGE	
MAIN BUILDING	45,860 SF/704,012 SF x 100% = 6.5%
ACCESSORY STRUCTURES	(9,600 SF/704,012 SF) x 100% = 1.4%
TOTAL LOT COVERAGE	7.9%
FLOOR AREA RATIO (FAR)	
MAIN BUILDING	(45,860 SF x 3 FLOORS)/704,012 SF x 100% = 19.5%
ACCESSORY STRUCTURES	(9,600 SF/704,012 SF) x 100% = 1.4%
TOTAL FAR	20.9%
TYPICAL UNIT AREAS	
1 BED - 1 BATH = 682-776 SF	
2 BED - 1/1.5 BATH = 776-890 SF	
COMMUNITY SPACE = 13,156 SF / 128 UNITS = 102 SF PER UNIT	

STANDARD PARKING DATA		
TYPE	PROPOSED	REQUIRED
GARAGE	40 SPACES	
STANDARD	122 SPACES	
TOTAL:	162 SPACES	162 SPACES
FORMULA: UNITS + 1.25 + 2 SPACE/EMPLOYEE		
EMPLOYEES = 2		
ACCESSIBLE PARKING DATA		
PROPOSED	REQUIRED	FORMULA
8 SPACES	6 SPACES	151-200 TOTAL SPACES
OPEN SPACE DATA		
PROPOSED	REQUIRED	
9.54 AC. (59%)	4.04 AC (25%)	

Know where's below.

Call before you dig.

811

ATWELL

SECTION 9

TOWN 3 SOUTH, RANGE 8 EAST

VAN BUREN TOWNSHIP

WAYNE COUNTY, MICHIGAN

SECTION 9

TOWN 3 SOUTH, RANGE 8 EAST

VAN BUREN TOWNSHIP

WAYNE COUNTY, MICHIGAN

DATE: JUNE 4, 2021

REVISIONS/SUBMITTALS

2021-10-18 PER TWP

2022-03-23 PER TWP

0' 20' 40'

SCALE: 1"=40'

DRAWN BY: KS

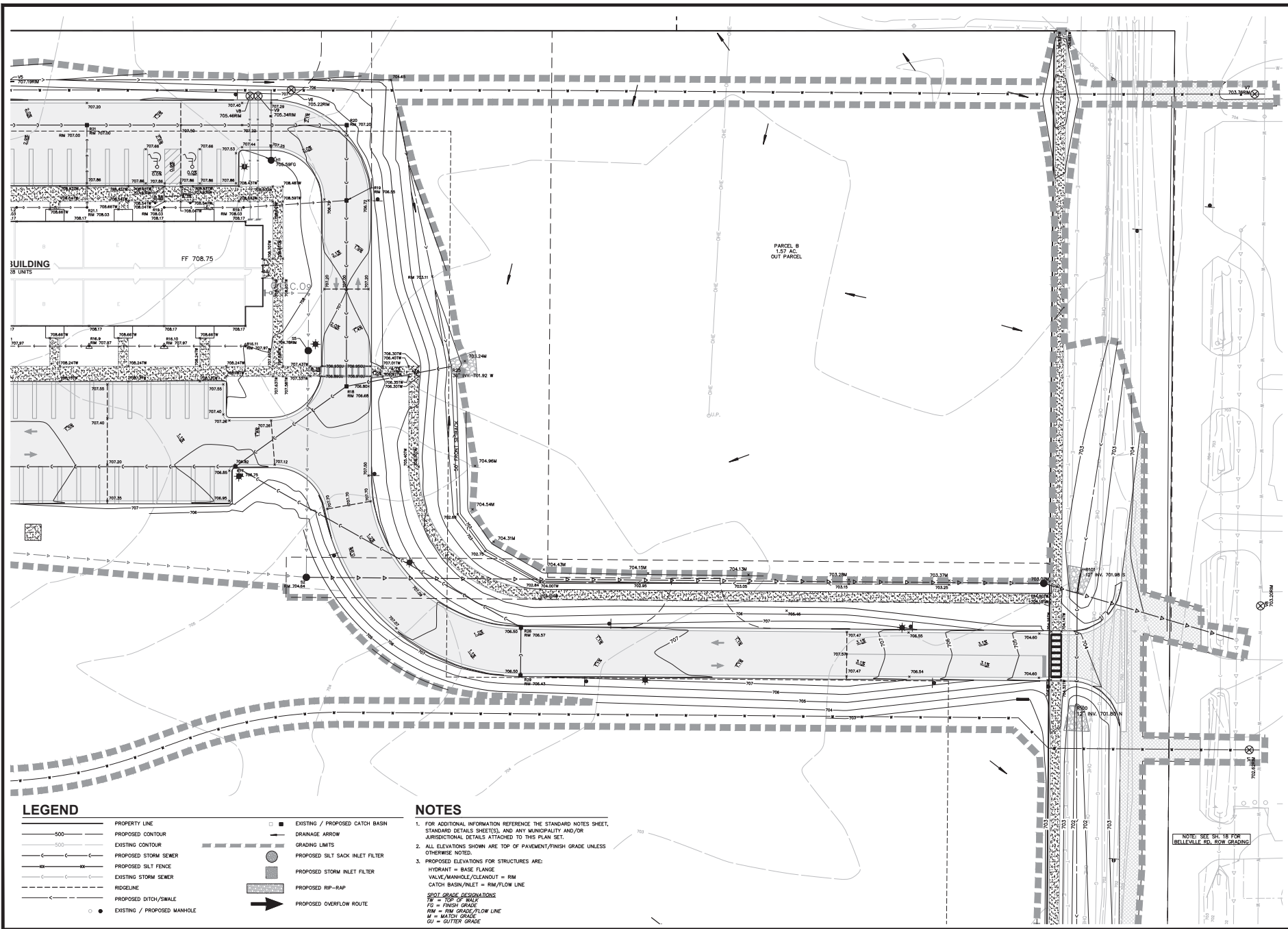
CHECKED BY: JK

PROJECT MANAGER: JK

JOB #: 19003407

FILE CODE: FSP

SHEET NO. 3



LEGEND

—	PROPERTY LINE	—	EXISTING / PROPOSED CATCH BASIN
—	PROPOSED CONTOUR	—	DRAINAGE ARROW
—	EXISTING CONTOUR	—	PROPOSED SILT SACK INLET FILTER
—	PROPOSED STORM SEWER	—	PROPOSED STORM INLET FILTER
—	PROPOSED SILT FENCE	—	PROPOSED RIP-RAP
—	PROPOSED STORM SEWER	—	PROPOSED OVERFLOW ROUTE
—	RIDGELINE		
—	PROPOSED DITCH/SWALE		
○	EXISTING / PROPOSED MANHOLE		

NOTES

1. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
2. ALL ELEVATIONS SHOWN ARE TOP OF PAVEMENT/FINISH GRADE UNLESS OTHERWISE NOTED.
3. PROPOSED ELEVATIONS FOR STRUCTURES ARE:
HYDRANT = BASE FLANGE
VALVE/MANHOLE/CLEANOUT = RM
CATCH BASIN/INLET = RM/FLOW LINE
SPOT GRADE DESIGNATIONS
FM = TOP OF FLOOR
FG = FINISH GRADE
RM = RM GRADE/FLOW LINE
M = MATCH GRADE
GU = GUTTER GRADE

Know where's below.
Call before you dig.

NOTICE: THE LOCATION OF EXISTING AND PROPOSED UTILITIES ARE SHOWN AS BEST KNOWN INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES.

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ATWELL
INCORPORATED
248.417.2000
248.417.2000

SECTION 9

TOWN 3 SOUTH, RANGE 8 EAST

VAN BUREN TOWNSHIP

WAYNE COUNTY, MICHIGAN

COVER DEVELOPMENT GROUP

CLOVER SENIOR HOUSING

FINAL SITE PLANS

GRADING PLAN-EAST

DATE: JUNE 4, 2021

REVISIONS/SUBMITTALS

2021-10-18 PER TWP

2022-03-23 PER TWP

SCALE: 1"=20'

DRAWN BY: KS

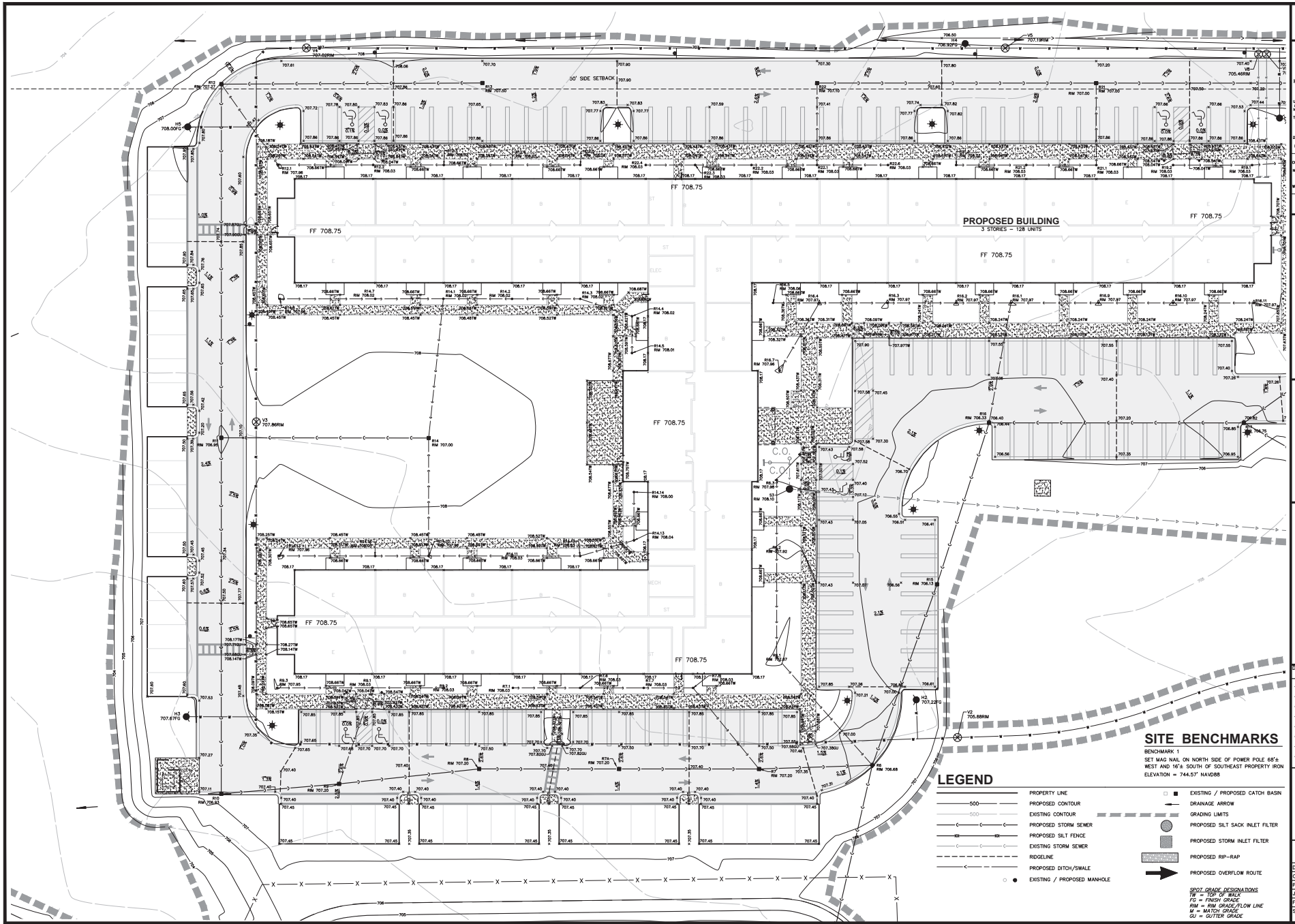
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PROJECT MANAGER: JK

JOB #: 19003407

FILE CODE: FSP

SHEET NO. 6



ATWELL
LANDSCAPE ARCHITECTS

248.417.2000
1000 SOUTH BAYVIEW AVE. SUITE 200
TROY, MI 48064

Know what's below.
Call before you dig.

THE LOCATION OF EXISTING AND PROPOSED UTILITIES AND DEPT. OF PUBLIC WORKS SHALL BE RESPONSIBLY ADVISED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL SAFETY PRECAUTIONS ARE TAKEN TO PROTECT THE PUBLIC AND THE WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL SAFETY PRECAUTIONS ARE TAKEN TO PROTECT THE PUBLIC AND THE WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL SAFETY PRECAUTIONS ARE TAKEN TO PROTECT THE PUBLIC AND THE WORKERS.

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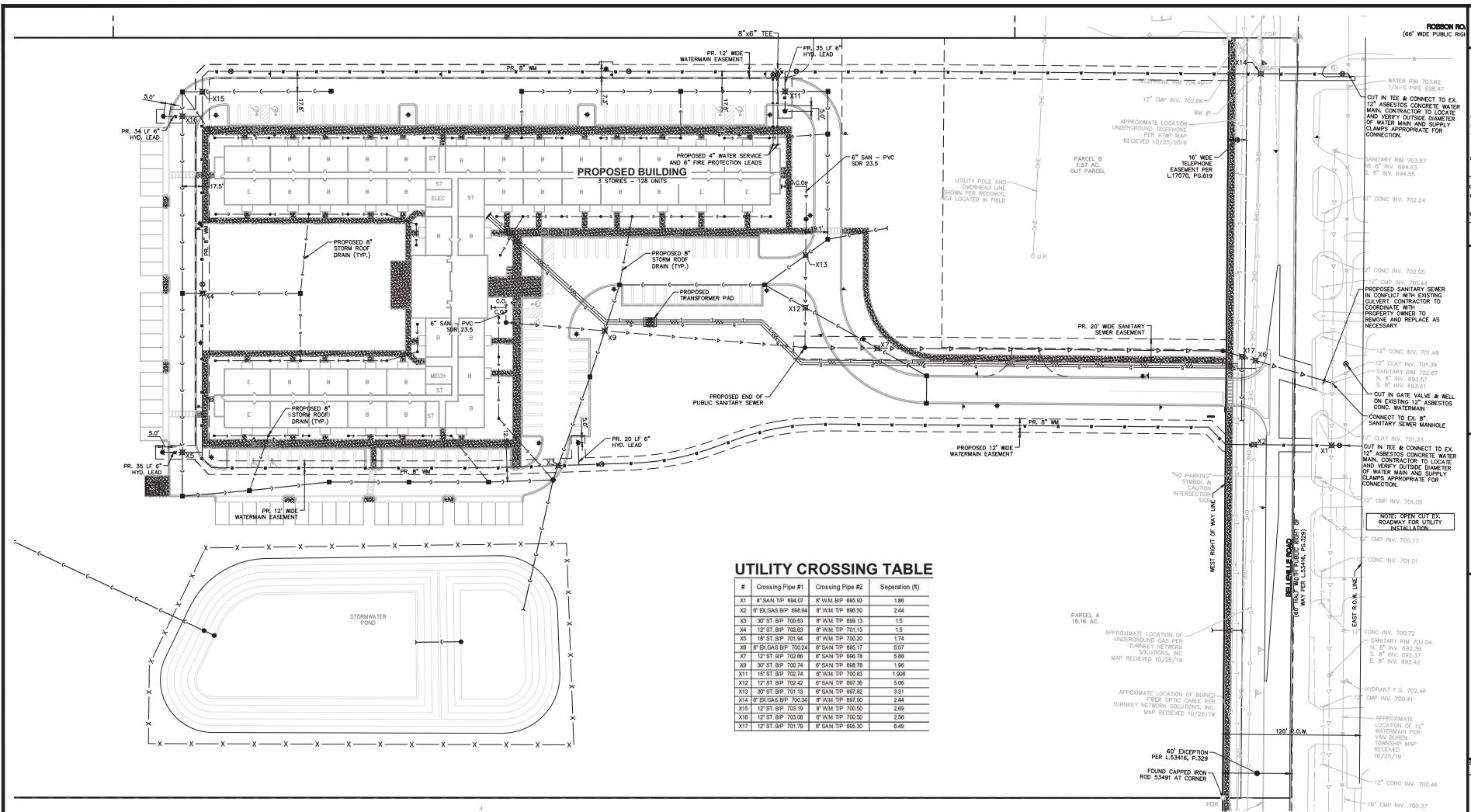
SECTION 9
TOWN 3 SOUTH, RANGE 8 EAST
VAN BUREN TOWNSHIP
WAYNE COUNTY, MICHIGAN

CLOVER DEVELOPMENT GROUP
CLOVER SENIOR HOUSING
FINAL SITE PLANS
GRADING PLAN-WEST

DATE: JUNE 4, 2021
 REVISIONS/REVISIONS:
 2021-06-18 PER TWP
 2022-03-23 PER TWP

DRAWN BY: KS
 CHECKED BY: JK
 PROJECT MANAGER: JK
 JOB #: 19003407
 FILE CODE: FSP
 SHEET NO. 7

CAD FILE: S:\19003407\19003407\19003407 SITE PLAN\19003407-003-1.dwg



GENERAL UTILITY NOTES:

- ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF VAN BUREN TOWNSHIP.
- ALL WORK WITHIN THE WAYNE COUNTY ROAD RIGHT-OF-WAY (ROW) AND DRAIN EASEMENT SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS, INCLUDING SOIL EROSION AND SEDIMENTATION CONTROL, OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, AND MOST 2013 SPECIFICATIONS FOR CONSTRUCTION.
- TRENCH "A" BACKFILL MATERIAL USED MUST BE FREE OF LARGE LUMPS OF CLAY, DEBRIS, AND ROCKS. EXISTING SEWER INVERTS HAVE BEEN FIELD MEASURED.
- CONTRACTOR SHALL NOTIFY WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, ENGINEERING DIVISION, PERMIT OFFICE, 48 HOURS PRIOR TO START OF CONSTRUCTION AT 734-565-8504 + 2009. IF THE CONSTRUCTION IS WITHIN A WAYNE COUNTY RIGHT-OF-WAY.
- HORIZONTAL SEPARATION OF 10 FEET AND VERTICAL SEPARATION OF 1.5 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SANITARY/STORM SEWERS.
- ANY EX. TELEPHONE LINES TO BE RELOCATED MUST BE RELOCATED WITH UNDERGROUND LINE.
- CALL MGS 62 72 HOURS IN ADVANCE OF ANY CONSTRUCTION.

SITE BENCHMARKS

BENCHMARK 1
SET MAG NAIL ON NORTH SIDE OF POWER POLE 68"
WEST AND 10' SOUTH OF SOUTHEAST PROPERTY IRON
ELEVATION = 744.57' NAVD83

CLOVER SENIOR HOUSING SANITARY SEWER BASIS OF DESIGN								
PROJECT NUMBER: 19003407 PROJECT LOCATION: VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN DATE: JAN. 21, 2020								
OVERALL DEVELOPMENT	Usage	Unit Factors	Unit	REU	POPULATION	AVERAGE FLOW (MGD)	AVERAGE FLOW (CFS)	PEAK FLOW (CFS)
Senior Housing Development		1.0 per unit	128	128	288	0.027	0.542	0.170
ASSUMPTIONS:								
Population = 2.1 people per unit								4.10
Average Usage = 150 gallons per person per day							ESTIMATED MAXIMUM PEAK FLOW:	0.17 CFS
$\text{Peaking Factor} = \frac{1.8 + \sqrt{\frac{\text{population}}{4 + \sqrt{\frac{\text{population}}{\text{thousands}}}}}}{\text{thousands}} =$								
CAPACITY ANALYSIS:								
Capacity of a	8 pipe @		0.40%	=	0.766 CFS		>	0.17
Capacity of a	10 pipe @		0.30%	=	1.283 CFS		>	0.17

WATER SYSTEM NARRATIVE

AN EXISTING 12" ASBESTOS CEMENT WATERMAIN (PER TOWNSHIP GIS RECORDS) IS LOCATED NEAR THE PROPERTY ON THE EAST SIDE OF BELLEVILLE ROAD WHICH WILL BE TAPPED AND A NEW WATERMAIN WILL BE CONSTRUCTED WITHIN AN EASEMENT. THE NEW 8" D.I. CL. 54 WATER MAIN WILL BE PROPOSED AS APPROPRIATE TO PROVIDE HYDRANT COVERAGE TO THE PROPOSED BUILDING AND ADJACENT LOT.

SANITARY SEWER NARRATIVE

AN EXISTING 8-INCH PUBLIC SANITARY SEWER IS LOCATED NEAR THE PROPERTY ON THE EAST SIDE OF BELLEVILLE ROAD. A 6" PVC MAIN WILL BE CONSTRUCTED WITHIN AN EASEMENT FROM THE PUBLIC SEWER TO SERVE THE PROPOSED BUILDINGS AND ADJACENT LOT.

LEGEND

	PROPERTY LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING GATE VALVE & WELL
	PROPOSED GATE VALVE & WELL
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING OVERHEAD LINES
	EXISTING UNDERGROUND ELECTRIC
	EXISTING GAS
	PROPOSED WATER SERVICE LEAD
	PROPOSED SANITARY SEWER LEAD

Know where's below.

Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THIS MAP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

ATWELL

SECTION 9

TOWN 3 SOUTH, RANGE 8 EAST

VAN BUREN TOWNSHIP

WAYNE COUNTY, MICHIGAN

CLOVER DEVELOPMENT GROUP

CLOVER SENIOR HOUSING

FINAL SITE PLANS

OVERALL UTILITY PLAN

DATE: JUNE 4, 2021

REVISIONS/SUBMITTALS

2021-10-18 PER TWP

2022-03-23 PER TWP

DRAWN BY: KS

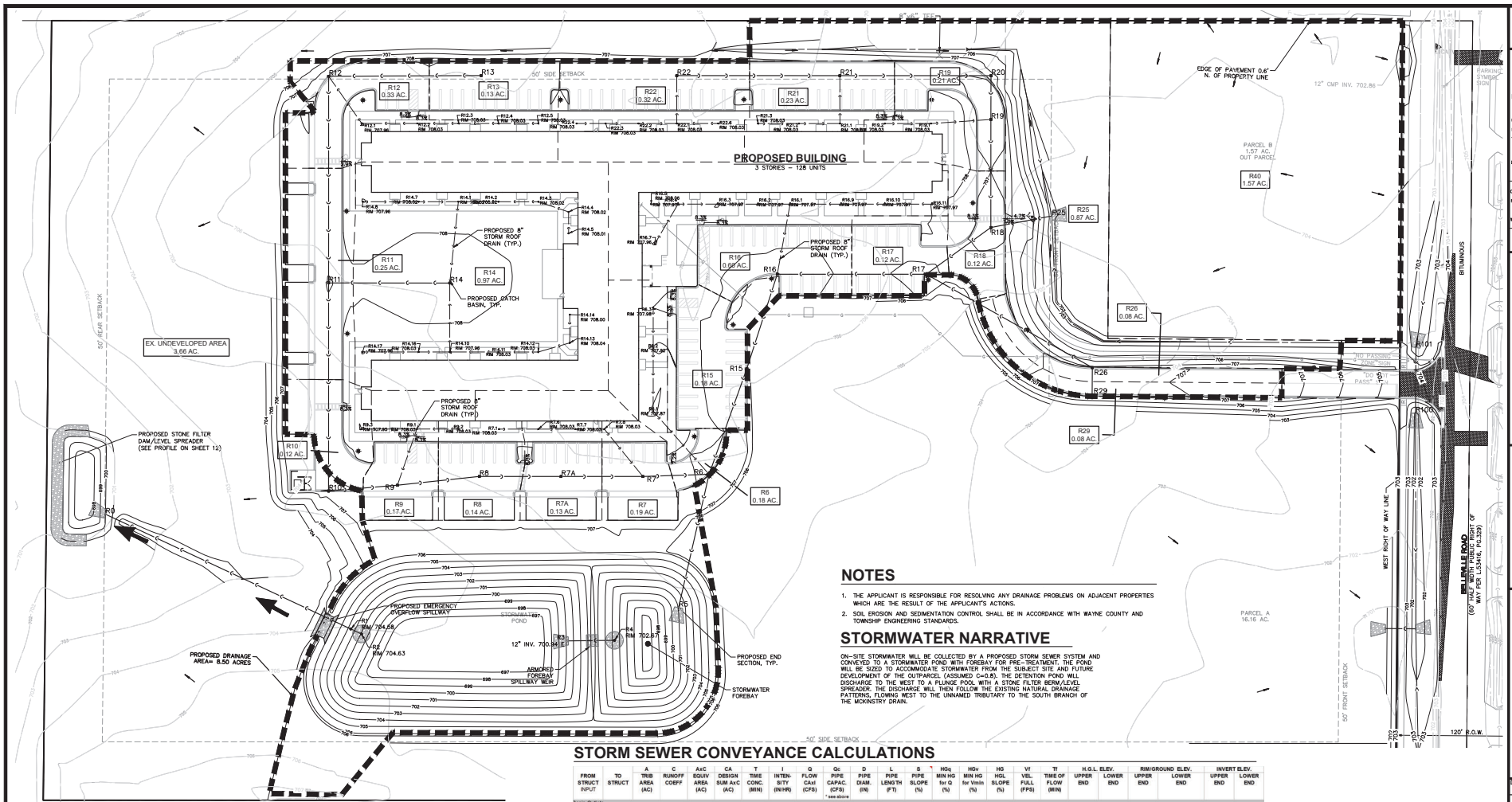
CHECKED BY: JK

PROJECT MANAGER: JK

JOB #: 19003407

FILE CODE: FSP

SHEET NO. 8



C-FACTORS

AREA	IMPERV	LAWN	C
R6	4952	3350	0.58
R10	4154	984	0.82
R11	8501	1184	0.89
R12	11307	1115	0.81
R13	5045	561	0.89
R14	12765	2016	0.50
R15	5843	1448	0.79
R16	15553	7628	0.75
R17	3670	1650	0.75
R18	2558	1212	0.75
R21	6082	2266	0.64
R22	10487	1466	0.79
R25	1300	30258	0.33
R26	1438	0	0.95
R29	2630	0	0.95
R30	10000	10000	0.95
UND-R29	64800	15100	0.64
R7	7167	381	0.92
R7A	1253	540	0.89
R8	5422	690	0.88
R9	6662	274	0.90

DRAINAGE SUMMARY

	C	AREA	CA	TC	I	Q
EXISTING WEST DRAINAGE AREA	0.30	8.79	2.64	20 MIN	5.45 IN/HR	14.37 CFS
UNDEVELOPED WEST AREA	0.30	3.66	1.10	20 MIN	5.45 IN/HR	5.98 CFS
DEVELOPED RESTRICTED	0.72	8.50	6.12	(@ 0.10 CFS/ACRE)		0.85 CFS
TOTAL POST DEVELOPMENT FLOW TO THE WEST: 0.85 CFS+5.98 CFS = 6.83 CFS						
CA COMPARISON: 7.22 (DEVELOPED) / 2.64 (EXISTING) x 100% = 273%						
1-HOUR PEAK RAINFALL INTENSITY (IN/HR) 100-YEAR STORM (10=10/(12.35-1)^(1/4)) (PER WAYNE COUNTY STANDARDS)						

SITE BENCHMARKS

BENCHMARK 1
SET MAG NAIL ON NORTH SIDE OF POWER POLE 68'±
WEST AND 16'± SOUTH OF SOUTHEAST PROPERTY IRON
ELEVATION = 744.57' NAVD83

NOTES

- THE APPLICANT IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE APPLICANT'S ACTIONS.
- SOIL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH WAYNE COUNTY AND TOWNSHIP ENGINEERING STANDARDS.

STORMWATER NARRATIVE

ON-SITE STORMWATER WILL BE COLLECTED BY A PROPOSED STORM SEWER SYSTEM AND CONVEYED TO A STORMWATER POND WITH FOREBAY FOR PRE-TREATMENT. THE POND WILL BE SIZED TO ACCOMMODATE STORMWATER FROM THE SUBJECT SITE AND FUTURE DEVELOPMENT OF THE OUTPARCEL (ASSUMED C=0.8). THE DETENTION POND WILL DISCHARGE TO THE WEST TO A PLUNGE POOL WITH A STONE FILTER BOW-LEVEL SPREADER. THE DISCHARGE WILL THEN FOLLOW THE EXISTING NATURAL DRAINAGE PATTERNS, FLOWING WEST TO THE UNNAMED TRIBUTARY TO THE SOUTH BRANCH OF THE MOCKINNEY DRAIN.

STORM SEWER CONVEYANCE CALCULATIONS

FROM STRUCT	TO STRUCT	A RUMF (AC)	C CORR	AC/C (AC)	DESIGN RUM A/C (AC)	T TIME (MIN)	I INTEN- RTY (IN/HR)	Q FLOW CAP (CFS)	Q PIPE CAPAC. (CFS)	P PIPE DIA. (IN)	L PIPE LENGTH (FT)	B PIPE SLOPE (%)	MIN HD IN INCH (IN)	HDV MIN HD IN INCH (IN)	HDV MAX HD IN INCH (IN)	VEL FULL (FPS)	T TIME OF FLOW (MIN)	H.O.L. ELEV. UPPER END	UPPER END	RUM/GROUND ELEV. UPPER END	LOWER END	INVERT ELEV. UPPER END	LOWER END	
West Endway																								
R1	R1	0.00	0.00	0.00	0.00	15.0	4.35	0.39	0.78	10	12	0.12	0.03	0.30	0.30	1.4	0.1	702.77	702.73	704.63	704.58	704.74	704.73	
R1	R0	0.00	0.00	0.00	0.00	15.1	4.34	0.39	7.84	24	232	0.12	0.00	0.12	0.12	2.5	1.5	702.73	702.45	704.58	702.95	704.73	704.45	
East Endway																								
R4	R3	0.00	0.00	0.00	0.00	15.0	4.35	0.39	1.38	12	39	0.15	0.01	0.30	0.30	1.8	0.4	702.06	701.94	702.67	701.99	701.00	701.94	
R13	R12	0.13	0.89	0.11	0.11	15.0	4.35	0.48	2.02	12	131	0.32	0.02	0.30	0.30	2.6	0.8	704.56	704.17	707.50	707.27	703.74	703.32	
R12	R11	0.33	0.81	0.37	0.38	15.8	4.25	1.62	2.02	12	177	0.32	0.05	0.30	0.30	2.6	1.1	704.17	704.08	707.27	706.95	703.32	702.75	
R11	R10	0.23	0.88	0.22	1.09	16.9	4.13	4.50	4.70	18	178	0.30	0.18	0.18	0.18	2.7	1.1	704.08	703.75	706.95	706.63	702.45	702.10	
R10	R9	0.12	0.82	0.10	1.19	18.0	4.01	4.77	7.84	24	39	0.12	0.04	0.12	0.04	2.5	0.4	703.75	703.63	707.03	707.20	701.70	701.63	
R9	R8	0.17	0.90	0.15	1.34	18.4	3.96	5.31	7.84	24	70	0.12	0.06	0.12	0.06	2.5	0.5	703.63	703.68	707.20	707.20	701.63	701.54	
R8	ROTA	0.14	0.88	0.12	1.48	18.9	3.91	5.71	7.84	24	70	0.12	0.06	0.12	0.06	2.5	0.5	703.69	703.64	707.20	707.20	701.54	701.48	
R7A	R7	0.13	0.89	0.12	1.58	19.4	3.86	6.10	7.84	24	70	0.12	0.07	0.12	0.07	2.5	0.5	703.64	703.59	707.20	707.20	701.48	701.37	
R7	R6	0.10	0.82	0.17	1.75	19.9	3.81	6.67	7.84	24	67	0.12	0.09	0.12	0.09	2.5	0.4	703.59	703.49	707.20	706.68	701.37	701.31	
R6	RS	0.16	0.68	0.12	4.95	20.3	3.78	18.69	16.89	168	1	117	0.09	0.21	0.09	0.21	2.5	0.8	703.54	703.50	706.68	703.63	701.00	700.80
R14	R11	0.97	0.50	0.49	0.49	15.0	4.35	2.13	2.14	12	104	0.36	0.36	0.36	0.36	2.7	0.6	704.45	704.08	707.07	706.95	703.13	702.75	
R22	R21	0.32	0.79	0.25	0.25	15.0	4.35	1.09	2.02	12	149	0.32	0.05	0.30	0.30	2.6	0.8	704.24	704.17	707.10	707.00	703.81	703.37	
R21	R20	0.23	0.91	0.21	0.46	15.9	4.24	1.95	5.18	18	128	0.34	0.05	0.33	0.33	2.6	0.8	704.07	704.00	707.00	707.00	703.13	702.88	
R20	R19	0.02	0.02	0.00	0.46	16.7	4.15	1.95	5.18	18	69	0.34	0.05	0.33	0.33	2.6	0.2	704.00	703.98	707.00	706.95	702.76	702.67	
R19	R18	0.21	0.84	0.13	0.59	16.9	4.13	2.43	3.16	15	82	0.24	0.14	0.23	0.14	2.6	0.6	703.88	703.85	706.95	706.68	702.67	702.44	
R18	R17	0.12	0.75	0.09	2.34	17.5	4.06	8.09	12.30	30	68	0.09	0.05	0.09	0.05	2.5	0.5	703.85	703.82	706.68	706.68	702.44	701.38	
R17	R16	0.12	0.75	0.08	2.48	18.0	4.01	8.83	12.30	30	127	0.09	0.08	0.09	0.08	2.5	0.8	703.82	703.70	706.75	706.75	701.28	701.17	
R16	R15	0.00	0.76	0.46	2.44	18.8	3.92	11.93	12.30	30	96	0.09	0.08	0.09	0.08	2.5	0.6	703.70	703.63	706.83	706.83	701.07	700.99	
R15	R8	0.16	0.79	0.14	3.08	19.4	3.86	11.90	12.30	30	96	0.09	0.08	0.09	0.08	2.5	0.6	703.63	703.54	706.54	706.68	700.99	700.91	
R25	R18	2.44	0.64	1.56	1.56	15.0	4.35	6.79	38.91	30	53	0.30	0.03	0.30	0.30	2.9	7.9	0.1	703.85	704.45	706.68	701.92	701.44	
R26	R26	0.08	0.95	0.08	0.08	15.0	4.35	0.35	2.02	12	24	0.32	0.01	0.30	0.30	2.6	0.2	704.39	704.31	706.43	706.57	703.18	702.10	
R26	R17	0.08	0.95	0.07	0.15	15.2	4.32	0.65	2.02	12	163	0.32	0.03	0.30	0.30	2.6	1.1	704.31	703.92	706.57	706.75	703.00	702.48	
Culverts																								
R101	R100	0.00	0.00	0.00	0.00	15.0	4.35	0.00	2.02	12	56	0.32	0.00	0.30	0.30	2.6	0.4	702.97	702.80	703.23	703.05	701.98	701.80	
R103	R102	0.00	0.00	0.00	0.00	15.0	4.35	0.00	5.43	12	26	2.32	0.00	0.30	0.30	6.9	0.1	701.75	701.67	702.94	702.94	701.27	700.67	

LEGEND

- PROPERTY LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- RODLINE
- PROPOSED DITCH/SWALE
- EXISTING / PROPOSED MANHOLE
- EXISTING / PROPOSED CATCH BASIN
- DRAINAGE ARROW
- GRADING LIMITS
- PROPOSED SILT SACK INLET FILTER
- PROPOSED STORM INLET FILTER
- PROPOSED RIP-RAP
- PROPOSED OVERFLOW ROUTE

Know where's below.
Call before you dig.
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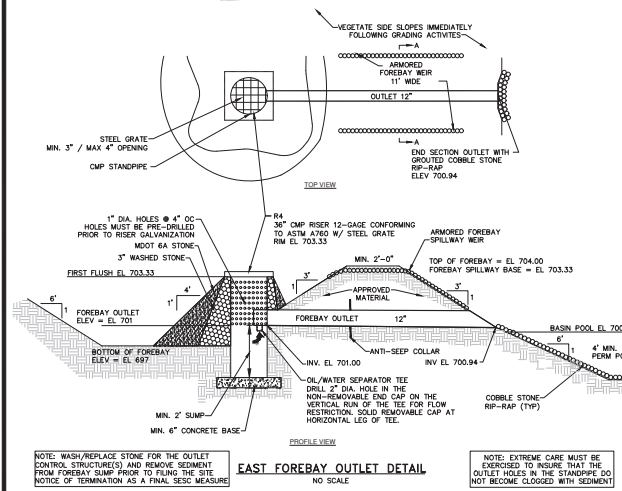
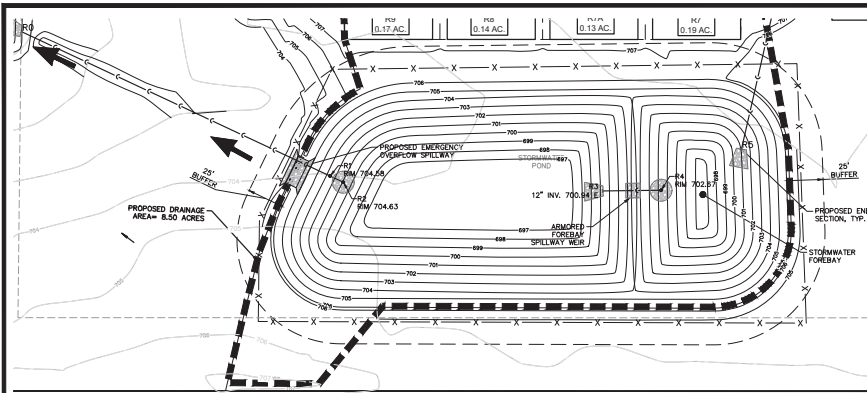
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TOWNSHIP 3 SOUTH, RANGE 8 EAST
VAN BUREN TOWNSHIP
WAYNE COUNTY, MICHIGAN

SECTION 9
TOWN 3 SOUTH, RANGE 8 EAST
VAN BUREN TOWNSHIP
WAYNE COUNTY, MICHIGAN

CLOVER DEVELOPMENT GROUP
CLOVER SENIOR HOUSING
FINAL SITE PLANS
STORMWATER MANAGEMENT PLAN

DATE: JUNE 4, 2021
REVISIONS/REMARKS
2021-10-18 PER TWP
2022-03-23 PER TWP

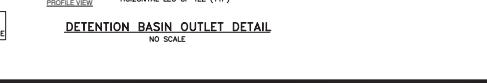
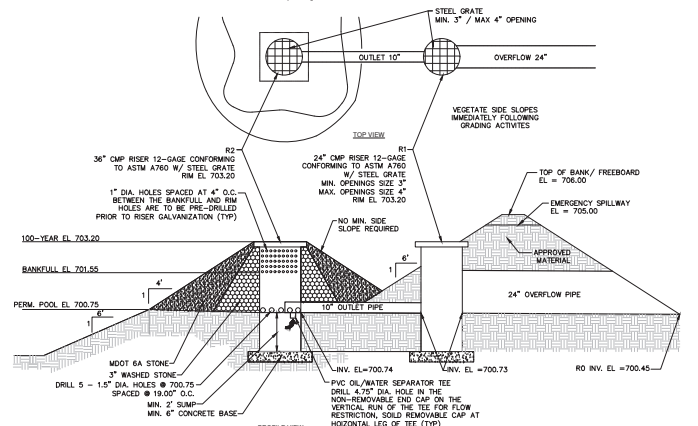
SCALE: 1"=40'
DRAWN BY: KS
CHECKED BY: JK
PROJECT MANAGER: JK
JOB #: 19003407
FILE CODE: FSP
SHEET NO. 16



STORM WATER MANAGEMENT CALCULATIONS

I. Total Volume of Detention Area - 100 Year storm				
1) Developed area contributing runoff (a)			8.50 acres	
Land Cover Surface	Acres	°C	GA	
Water Surfaces	0.588	1.00	0.59	
Roofs	1.053	0.95	1.00	
Asphalt or concrete pavements	2.551	0.95	2.42	
Fallen tree area	1.667	0.80	1.25	
Semi-permeous lawns & parks	2.738	0.30	0.82	
	8.50		6.88	Sum of CA
Developed Runoff Coefficient, C = Sum of CA / Acres			0.72	
Maximum Allowable Runoff, $Q_p = a \times 0.10 \text{ cfs/ac}$			0.85 cfs	
Calculate max. outflow per acre impervious, $Q_p = Q_p / (a \times c)$			0.139 cfs/acre imperv.	
Max. Storage Time, $T_{100} = 45 \text{ sec} / (16845 Q_p)$			332.85 minutes	
Max. Storage Required, $V_{100} = ((17648 T_{100}) / (T_{100} - 45)) - 40 Q_p \times T_{100}$			13,896.448 cf / acre imperv.	
Total Storage Required, $V_{100} = V_{100} \times a \times c$			83,922 cf	
Total Adjusted Storage, $V_{100} = V_{100} - V_{100}$			72,714 cf	
II. Storage volume to detain "first flush" runoff				
Volume of 0.5 inch rain over entire watershed.				
$V_{100} = 1815 \times \text{acreage} \times \text{relative imperv. factor (c)}$			11,108 cf	
III. Storage volume to control "bankfull" flood (1.5 year storm/24 hr. event)				
$V_{100} = 5160 \times \text{acreage} \times \text{relative imperv. factor (c)}$			31,579 cf	
Adjusted Storage, $V_{100} = V_{100}$			20,471 cf	
IV. Basin volume provided				
Tributary Area	8.50 Acres	100.00%	$V_{100} = 11,108$	
Storage Provided - Forebay				
Contour Elev.	Contour Area	Avg. Area	Inc. Depth	Incremental Volume
700.75	2,750			0
702.0	4,300	3525	1.00	3,525
703.0	6,100	5200	1.00	5,200
704.0	8,150	7125	1.00	7,125
				15,850
			$V_{100} = 15,850$ cf	$Z_p = 703.33$
Storage Provided - Entire Basin, excluding forebay volume below ZF				
Contour Elev.	Contour Area	Avg. Area	Inc. Depth	Incremental Volume
700.75	16,025			0
701.0	23,625	20825	0.25	5,206
702.0	30,000	27813	1.00	27,813
703.0	34,800	32500	1.00	32,500
704.0	39,425	37013	1.00	37,013
705.0	44,475	41950	1.00	41,950
706.0	49,750	47113	1.00	47,113
				191,395
Design Elevations				
			$Z_p = 700.75$ (Pool EL)	
			$Z_{50} = 701.55$	
			$Z_{100} = 703.20$	
			Freeboard = 2.80 ft @ EL 706	
V. Forebay Outlet Design				
Forebay				
$Q_{out} = V_{100} / T_{100} \times 24 \text{ hrs} / 3600 \text{ sec}$			$Q_{out} = 0.129$ cfs	
$Z_{out} = \text{pipe dia. for } h_{out}$			$h_{out} = 12.00$ in	
$Z_{out} = Z_p + h_{out}$			$Z_{out} = 702.00$ ft	
$h_{out} = 2.0 \times (Z_p - Z_{out})$			$h_{out} = 0.89$ ft	
$A_{out} = Q_{out} / (0.62 \times (2 \times g \times h_{out})^{1/2})$			$A_{out} = 0.0275$ ft ²	
			$d_{out} = 0.187$ ft	
Maximum orifice diameter			2.24 in	
Orifice diameter to be drilled in the end cap on the vertical run of the outlet tee:			$d_o = 2.00$ in	
			$d_o = 2.00$ in	
Actual Release Rate:			$Q_{out} = 0.82 \times A_o \times (2 \times g \times h_{out})^{1/2}$	
			$Q_{out} = 0.102$ cfs < 0.94 cfs ... OK	
Actual Holding Time:			$T_H = 30.3$ hrs > 24 hrs ... OK	
			$T_H = 30.3 \text{ hrs} > 24 \text{ hrs} \dots \text{OK}$	

VI. Forebay Outlet Design				
$R = (Q_{out} / 2) / 4$			$R = 0.250$ ft	
Min. Slope = $(Q_{out} / 2) \times (0.012) \times (1.486 \times A_{out} \times R^{2/3})^{1/4}$			Slope = 0.0007 % use n=0.012	
Proposed Pipe Slope:			0.15 %	
Outlet Pipe Length:			40 ft	
Velocity Check:			$V = Q_{out} / A_{out}$	
Forebay outlet invert elevation			700.84	
Design Basin Pool Elevation			700.75	
Forebay Weir Sizing				
Incoming Flows to Forebay (from Storm Sewer Calcs)			$Q_{in} = 19.20$ cfs	
Weir Coefficient			C = 3.4	
Weir Flow Depth, H - 1' below Top of Bank			H = 1.0 ft	
Required bottom width of weir, L, using the weir equation:			L = 5.6 ft	
VII. Detention Pond Outlet Design - Bankfull				
$Q_{out} = V_{100} / 144,000$			$Q_{out} = 0.219$ cfs	
$h_{out} = 0.67 \times (Z_p - Z_o)$			$h_{out} = 0.53$ ft	
$A_o = Q_{out} / (0.62 \times (2 \times g \times h_{out})^{1/2})$			$A_o = 0.060$ ft ²	
Orifice hole diameter			$d_o = 1.50$ in	
Required number of holes			$d_o = 5$ holes	
Hole Spacing (30" max)			$d_o = 19.22$ cfs	
Actual Average Release Rate			$Q_{out} = 0.62 \times \# \text{ of Holes} \times A_o \times (2 \times g \times h_{out})^{1/2}$	
$Q_{out} = 0.62 \times \# \text{ of Holes} \times A_o \times (2 \times g \times h_{out})^{1/2}$			$Q_{out} = 0.222$ cfs	
Actual Holding Time			$T_H = 30.3$ hrs	
$T_H = V_{100} / (Q_{out} \times 3,600)$, approximately 40 hrs			$T_H = 39.5$ hrs	
VIII. Check of Forebay Design Assumptions				
$h = (Q_{out} / (0.62 \times A_o))^{1/2} \times (2 \times g)$			$h = 0.11$ ft	
$\text{elev } h = Z_p - Z_o$			$h = 700.86$	
Forebay Outlet Pipe Crown Elevation (Downstream)			$h = 701.94 > 700.86$	
IX. Riser Outlet Pipe and Orifice Restrictor Sizing - 100 Year				
$Q_{out} = Q_p$			$Q_{out} = 0.85$ cfs	
Outlet Pipe Diameter			$d_{out} = 10.00$ in	
$Z_{out} = (Z_p + h_{out})$			$Z_{out} = 0.83$ ft	
$Z_{out} = (Z_p - Z_{out})$			$Z_{out} = 0.5454$ ft ²	
$h_{out} = (Z_p - Z_{out})$			$h_{out} = 1.60$ ft	
$A_{out} = Q_{out} / (0.62 \times (2 \times g \times h_{out})^{1/2})$			$A_{out} = 0.135$ ft ²	
			$A_{out} = 0.41$ ft ²	
			$A_{out} = 4.9$ in	
Orifice diameter in end cap on the vertical run of the outlet tee:			$d_o = 4.750$ in orifice	
			$A_{d_o} = 0.1231$ ft ²	
Actual Maximum Release Rate			$Q_{out} = 0.82 \times A_o \times (2 \times g \times h_{out})^{1/2}$	
$Q_{out} = 0.82 \times A_o \times (2 \times g \times h_{out})^{1/2}$			$Q_{out} = 0.77$ cfs < 0.85 cfs & within 10%	
Riser Outlet & Overflow Pipe Slope				
Minimum Slope for selected pipe diameter			$R, d_{out} / 4 = 0.0275$ ft	
Proposed Pipe Slope			$\eta / Q_{out} 1486 A_o / (20)^{2/3} = 0.012$ for PVC	
Velocity Check:			$V = Q_{out} / A_{out}$	
Restricted Outlet Pipe Length			$V = 1.56$ ft/s < 8 ft/s ... OK	
Invert at Overflow Structure			10 ft	
Minimum Invert at Outfall			700.75	
Overflow Outlet Pipe Length			700.45	
Available slope from Overflow Structure to Outfall			232 ft	
Selected overflow pipe dia			$d_{out} = 24.00$ in	
Ten-Year inflow to basin (from above)			$Q_{out} = 2.00$ cfs	
			$Q_{out} = 3.1416$ ft ²	
			19.20 cfs	
Size of Overflow Manhole				
% of MH that can be used as a weir			$= 4$ ft	
Calculate length of weir			$= 75$ %	
Drainage Area, A =			$= 9.42$	
C-Factor (C) =			$= 6.5$ ac	
Longest Tc from Pipe Calcs			$= 0.72$	
Sum of all flow into Basin			$= 25$ min	
Volume of Basin			$= 19.20$ cfs	
Storage Elevation			$= 144,282$ cf	
Freeboard Elevation			$= 703.20$ ft	
Time to fill basin			$= 700.00$ ft	
$Q_{out} = 3.33 \times 10^3$ ft ³ therefore H			$= 125.24$ mm	
Water elevation while overflowing			$= 6.13$ ft	
			$= 703.33$	
Outlet Pipe Sizing				
Size of Pipe			$= 24$ inch	
Area			$= 3.14159$ ft ²	
Invert of pipe			$= 700.75$ ft	
Springline			$= 701.75$ ft	
h (TOS-Springline)			$= 4.25$ ft	
capacity			$= 32.2$ cfs	
Emergency Weir Sizing				
Incoming flows to basin (from above)			Weir equation: $Q_p = CLH^{3/2}$	
Weir Coefficient			$Q_p = 19.2$ cfs	
Weir Flow Depth, H - 1' below Top of Bank			C = 3.4	
Required bottom width of Weir, L, using the weir equation:			H = 1.0 ft	
			L = 5.6 ft	



Know what's below.

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NOTICE: CONSTRUCTION OF THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND FOR PROTECTING ANY EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND FOR PROTECTING ANY EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND FOR PROTECTING ANY EXISTING UTILITIES AND STRUCTURES.

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SECTION 9

TOWN 3 SOUTH, RANGE 8 EAST

VAN BUREN TOWNSHIP

WAYNE COUNTY, MICHIGAN

COVER DEVELOPMENT GROUP

COVER SENIOR HOUSING

FINAL SITE PLANS

STORMWATER MANAGEMENT CALCULATIONS

DATE: JUNE 4, 2021

REVISIONS/SUBMITTALS

2021-10-18 PER TWP

2022-03-23 PER TWP

DRAWN BY: KS

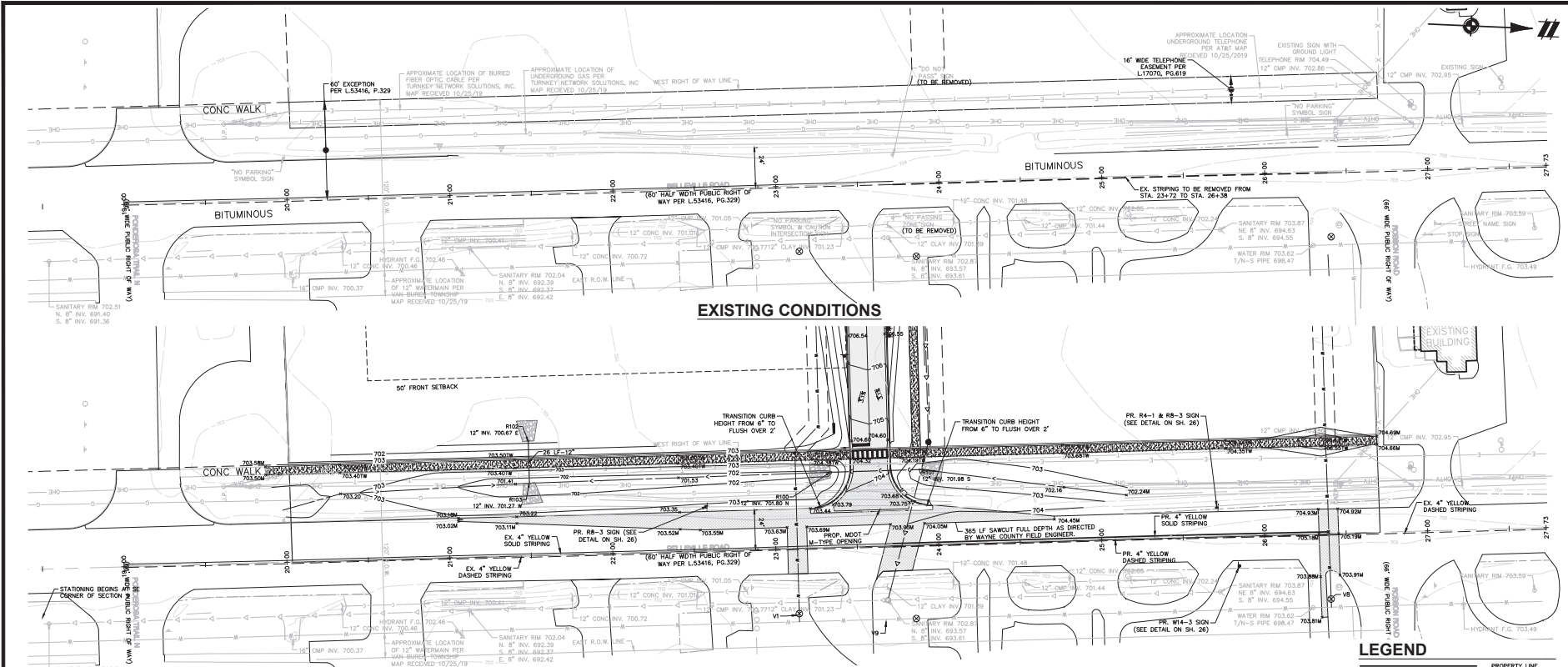
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PROJECT MANAGER: JK

JOB #: 19003407

FILE CODE: FSP

SHEET NO. 17



EXISTING CONDITIONS

PROPOSED BELLEVILLE APPROACH

LEGEND

— 500 —	PROPERTY LINE
— 500 —	EX. CONTOUR
— 500 —	EX. STORM SEWER
— 500 —	EX. STORM SEWER
— 500 —	SAWTOOTH
— 500 —	PR. DITCH/SEWER
— 500 —	EX. / PR. MANHOLE
— 500 —	EX. / PR. CATCH BASIN

CONSTRUCTION NOTES

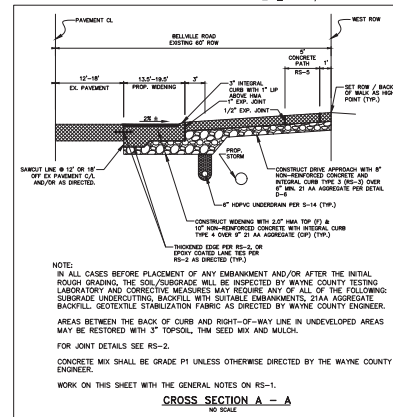
1. CONSTRUCT THE DRIVE APPROACH WITH 8" NON-REINFORCED CONCRETE P1 MIX AND INTEGRAL STRAIGHT CURB TYPE 3 AS PER WAYNE COUNTY STANDARDS DETAIL "R3-3" OR AS DIRECTED BY WAYNE COUNTY ENGINEER.
2. CONTRACTOR MUST MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES.
3. ALL PROPOSED WORK WITHIN THE ROW OF BELLEVILLE ROAD MUST BE OBSERVED AND AS DIRECTED DURING CONSTRUCTION BY A WAYNE COUNTY PERMIT ENGINEER. CONTRACTOR MUST CONTACT THE PERMIT OFFICE AT (734)595-6504 X 2009 AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION TO SCHEDULE INSPECTION DURING CONSTRUCTION.
4. PLACE CURB AND CURB DROP AS PER WAYNE COUNTY STANDARDS DETAIL "D-7" OR AS DIRECTED BY WAYNE COUNTY ENGINEER.
5. PLACE A MINIMUM OF 6" OF 21AA AGGREGATE BASE COURSE COMPACTED IN PLACE TO 95% OF ITS UNIT WEIGHT DENSITY OR AS DIRECTED BY WAYNE COUNTY ENGINEER.
6. PLACE A 1" EXPANSION JOINT BEHIND THE CURB THROUGHOUT THE DRIVE APPROACHES OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
7. ANY STRUCTURES ADJUSTMENTS NEEDED WITHIN BELLEVILLE ROAD RIGHT-OF-WAY SHALL BE PERFORMED AS DIRECTED BY THE WAYNE COUNTY ENGINEER.

WAYNE COUNTY NOTES

1. ALL WORK WITHIN THE WAYNE COUNTY ROAD RIGHT-OF-WAY (ROW) AND SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS, INCLUDING SOIL EROSION AND SEDIMENTATION CONTROL, OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES AND MOST 2013 SPECIFICATIONS FOR CONSTRUCTION.
2. THESE PLANS ARE NOT VALID WITHOUT ATTACHMENT OF THE WAYNE COUNTY PERMIT SPECIFICATIONS FOR CONSTRUCTION WITHIN THE ROAD RIGHT-OF-WAY, PARKS, DRAIN EASEMENT OR SANITARY SEWER UNDER THE JURISDICTION OF WAYNE COUNTY (07/01/2013) REVISED 12/15/2014.
3. CONTRACTOR SHALL CONDUCT A PRELIMINARY FIELD SURVEY TO IDENTIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT THE PROPOSED CONSTRUCTION AREAS PRIOR TO START OF CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES, AND RESOLVE ANY CONFLICT BETWEEN THE PROPOSED WORK AND THE EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES.
4. CONTRACTOR SHALL MAINTAIN 18' MINIMUM VERTICAL CLEARANCE AND 3 FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN THE PROPOSED AND EXISTING UTILITIES. ANY PROPOSED UTILITY PERMITTED TO CROSS UNDER THE ROAD OR DRAIN MUST BE PLACED A MINIMUM OF 7 FEET BELOW THE LOWEST POINT OF THE ROAD OF 8 FEET BELOW THE DRAIN BOTTOM. OVERHEAD WIRES/CABLES MUST BE INSTALLED 18 FEET MINIMUM ABOVE THE ROAD CENTERLINE, TO RELOCATE ANY UTILITY WITHIN THE ROAD ROW, THE CONTRACTOR SHALL COORDINATE THE RELOCATION WITH THE UTILITY COMPANY AND AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
5. ALL SURVEY MONUMENTS / CORNERS AND BENCH MARKS LOCATED WITHIN THE CONSTRUCTION AREA MUST BE PRESERVED IN ACCORDANCE WITH PUBLIC ACT 74 AS AMENDED (INCLUDING ACT 34, P.A. 2000) AND AS PER WAYNE COUNTY PERMIT RULE 1.5. THEIR PERMIT HOLDER AND CONTRACTOR SHALL COORDINATE THE WORK WITH A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF MICHIGAN DURING CONSTRUCTION ACTIVITIES FOR THE PURPOSE OF WITNESSING, PRESERVING OR REPLACING SURVEY MONUMENTS AND MONUMENT BONES.
6. EXPOSURE OF ANY UTILITIES UNDER THE PAVEMENT WILL NOT BE PERMITTED, UNLESS APPROVED BY THE WAYNE COUNTY ENGINEER. PAVEMENT REMOVAL AND REPLACEMENT SHALL BE PERFORMED PER APPROVED WAYNE COUNTY STANDARD DETAILS AND AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
7. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITHIN THE COUNTY ROAD RIGHT-OF-WAY WITH 3" TOPSOIL, THIN SEED MIX AND MULCH. SLOPES STEEPER THAN 1:3 SHALL BE RESTORED BY PLACING 500 2" TOPSOIL.
8. ALL BACKFILLS UNDER OR WITHIN 3 FEET OF THE PROPOSED OR EXISTING PAVEMENT, CURB OR SIDEWALK SHALL CONFORM TO THE WAYNE COUNTY TRENCH & BACKFILL REQUIREMENTS. TRENCH & BACKFILL MAY BE USED WITHIN THE ROAD ROW AREAS UNDER CONDITIONS OTHER THAN THOSE SPECIFIED FOR TRENCH & BACKFILL.
9. CONTRACTOR IS RESPONSIBLE FOR RESTORING OR REPLACING ALL DISTURBED LANDSCAPED AREAS, SPRINKLER SYSTEMS, FENCES, SIGNS, MAILBOXES, ETC. WITHIN THE WAYNE COUNTY ROAD ROW IN AND/OR AS DIRECTED BY THE COUNTY ENGINEER.
10. CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. OTHERWISE DETOURING TRAFFIC MUST BE PER APPROVED PLANS. ALL SIGNING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL.
11. MAINTAIN A SAFE AND ADEQUATE TRAVEL ROUTE FOR PEDESTRIANS AT ALL TIMES THROUGHOUT THE PROJECT DURATION.
12. TRAILING, BLOWING AND JACKING OPERATIONS SHALL BE IN ACCORDANCE WITH THE WAYNE COUNTY SPECIFICATIONS AND DETAILS. BORE PITS SHALL BE PLACED A MINIMUM OF 10 FEET FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
13. REMOVE ALL ABANDONED CONDUITS FROM THE COUNTY ROAD ROW OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
14. CONTRACTOR SHALL PROVIDE COLD WEATHER PROTECTION FOR ALL PROPOSED CONCRETE WORK (PAVEMENTS, SIDEWALKS, DRIVE APPROACHES, ETC.) AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
15. OVERNIGHT VEHICLE PARKING AND STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENT ARE NOT PERMITTED WITHIN THE WAYNE COUNTY ROADS RIGHTS-OF-WAYS.
16. CONTRACTOR SHOULD OBTAIN SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE WAYNE COUNTY DOW. CONTACT 734.326.5585.
17. CONTRACTOR SHALL NOTIFY THE WAYNE COUNTY TRAFFIC SIGNAL SHOP AT 734.955.254 AT LEAST 72 HOURS PRIOR TO START OF WORK AT OR NEARBY ANY SIGNALIZED INTERSECTIONS.
18. CONTRACTOR SHALL NOTIFY WAYNE COUNTY 72 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE PERMIT OFFICE AT 734.595-6504 EXTENSION 2009.
19. SEE SHEETS 27 AND 28 FOR WAYNE COUNTY STANDARD DETAILS.
20. CLEAR THE ROW OF TREES, TREE LIMBS, AND SHRUB AND BRUSH SOUTH AND NORTH OF THE PROPOSED DRIVE TO ACHIEVE THE MINIMUM ASHOTO INTERSECTION SIGHT DISTANCE (500' FOR THIS SITE).
21. SAWCUT FULL DEPTH OF THE EXISTING PAVEMENT AT 12" FROM BACK OF CURB. REMOVE CURB, CURB DROP, PAVEMENT AND SIDEWALK OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
22. RELOCATE ANY EXISTING UTILITY THAT IS IN CONFLICT WITH THE PROPOSED WORK AS DIRECTED BY THE COUNTY ENGINEER AND UTILITY COMPANY REPRESENTATIVE.

SITE BENCHMARKS

BENCHMARK 1
SET MAG NAIL ON NORTH SIDE OF POWER POLE 68'±
WEST AND 16'± SOUTH OF SOUTHEAST PROPERTY IRON
ELEVATION = 744.57' NAVD83



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SECTION 9
TOWN 3 SOUTH, RANGE 8 EAST
VAN BUREN TOWNSHIP
WAYNE COUNTY, MICHIGAN

COVER DEVELOPMENT GROUP
COVER SENIOR HOUSING
FINAL SITE PLANS
BELLEVILLE IMPROVEMENTS PLAN

DATE: JUNE 4, 2021
REVISIONS/REVISIONS
2021-18 PER TWP
2022-03 PER TWP

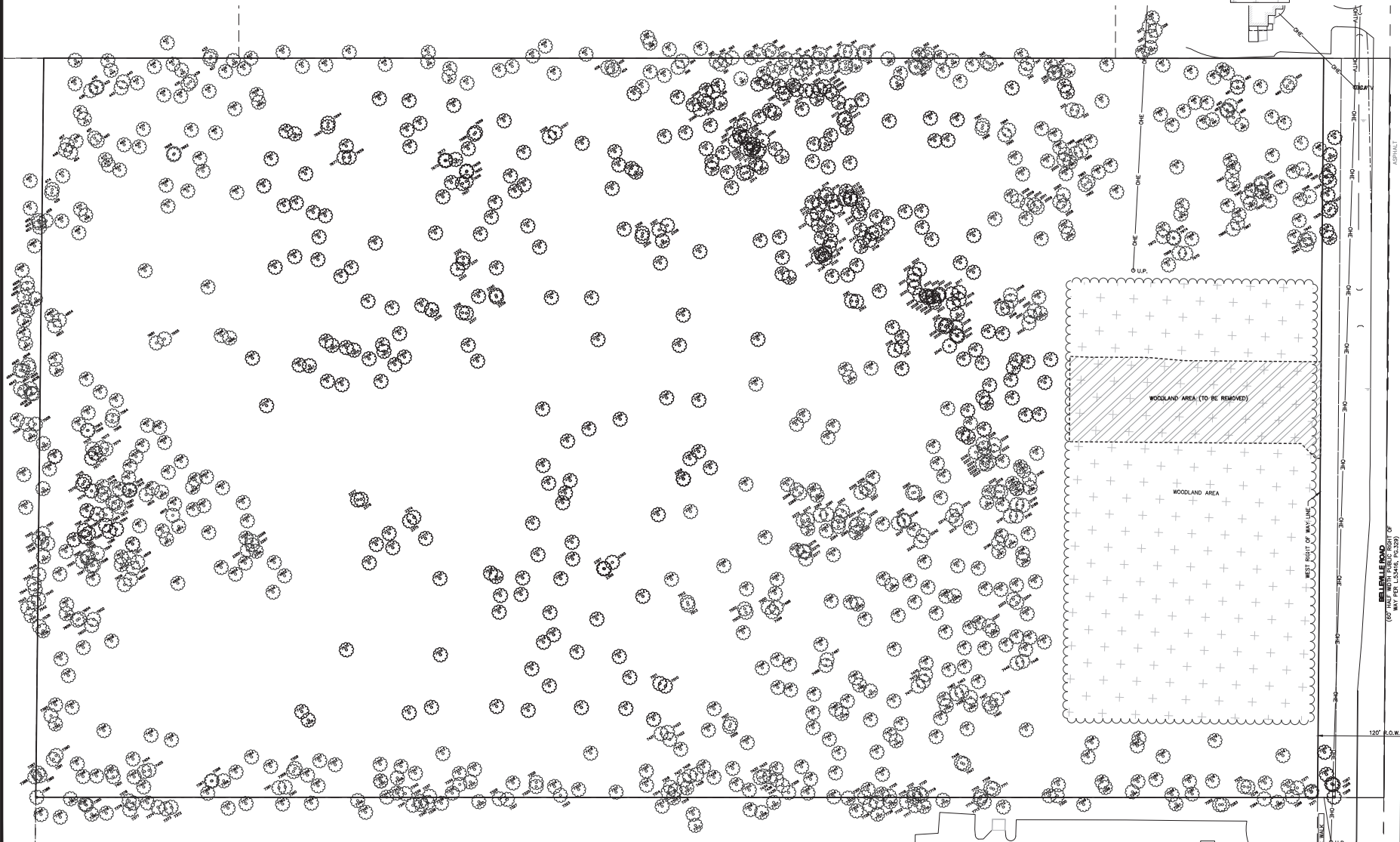
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PROJECT MANAGER: JK
JOB #: 19003407
FILE CODE: FSP
SHEET NO. 18

THE WOODLAND AREA EXHIBITS A MEDIUM TO HIGH DENSITY OF CANOPY TREES WITH AN AVERAGE SPACING OF 15'-20'. DENSITY OF REGULATED TREES IS APPROXIMATELY 70 PER ACRE FOR A TOTAL OF APPROXIMATELY 130 WITHIN THE 1.98 ACRE WOODLAND AREA. TREES IN THE CANOPY LAYER ARE GENERALLY IN GOOD HEALTH WITH LIMITED DEAD SNAGS PRESENT. DOMINANT SPECIES INCLUDE SILVER MAPLE (ACER SACHARINUM), WITH ADDITIONAL SPECIES INCLUDING PIN OAK (QUERCUS PALUSTRIS), AMERICAN ELM (ULMUS AMERICANA) BLACK CHERRY (PRUNUS SEROTINA) AND BOX ELDER (ACER NEGUNDO). THE UNDERSTORY CONTAINS JUVENILE SPECIMENS OF THESE SPECIES ALONG WITH COMMON BUCKTHORN (RHAMNUS CATHARTICA).

PROPERTY LINE

EXISTING TREE

EXISTING TREE TO BE REMOVED








ATWELL
TWO TORRIS SQUARE, SUITE 700
DALLAS, TEXAS 75201
214-766-1000

SECTION 9
TOWN 3 SOUTH, RANGE 8 EAST
VAN BUREN TOWNSHIP
WAYNE COUNTY, MICHIGAN

ST	CLOVER DEVELOPMENT	ULTA/NSPS LAND TITLE SURVEY	LOCATED IN
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DATE 10/28/2019




REVISIONS			
SCALE	0	25	50
			
1" = 50 FEET			
DR.	JR	CH.	ME
P.M. M. EMBREE			
BOOK		NA	
JOB		19003407	
SHEET NO.			
1 OF 2			



	C	AREA	CA	TC	I	Q
EXISTING WEST DRAINAGE AREA	0.30	8.79	2.64	20 MIN	5.45 IN/HR	14.37 CFS
UNDEVELOPED WEST AREA	0.30	3.66	1.10	20 MIN.	5.45 IN/HR	5.98 CFS
DEVELOPED RESTRICTED	0.72	8.50	6.12	(@ 0.10 CFS/ACRE)		0.85 CFS

PEAK RAINFALL INTENSITY (IN/HR) 100-YEAR STORM ($I = 101 / (12.33 + T)^{0.84}$) (PER WAYNE COUNTY STANDARDS)

LEGEND

	PROPERTY LINE
	TOPOGRAPHIC SURVEY EX. CONTOUR
	GIS EXISTING CONTOUR
	DRAINAGE ARROW

[illegible]



VAN BUREN CHARTER TOWNSHIP

DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

46425 TYLER ROAD, VAN BUREN TOWNSHIP, MI 48111

PHONE (734) 699-8913 FAX (734) 699-8958

PLANNING & ZONING APPLICATION

CASE INFORMATION

CASE NUMBER:	DATE SUBMITTED: 4-22-2022
--------------	---------------------------

APPLICANT INFORMATION

NAME: Wayne County Fair Assn	PHONE: 734 697 7002
ADDRESS: 10871 Quirk Rd	CELL PHONE: 734 777 1082
CITY, STATE & ZIP: Belleville MI 48111	FAX:
EMAIL: Rvfairgrounds@gmail.com & Dschalte54@yahoo.com	

PROPERTY OWNER INFORMATION (If different than the applicant)

NAME:	PHONE:
ADDRESS:	CELL PHONE:
CITY, STATE & ZIP:	FAX:
EMAIL:	

BILLING CONTACT

NAME: Deborah Schalte	PHONE: 734 777 1082
ADDRESS: 10871 Quirk Rd	CELL PHONE:
CITY, STATE & ZIP: Belleville MI 48111	FAX:
EMAIL: Rvfairgrounds@gmail.com - Dschalte54@yahoo.com	

SITE/PROJECT INFORMATION

NAME OF PROJECT: New Bathroom-Laundry Facility			
PARCEL ID NO: V125-83-83 664 99 0001 000		PROJECT ADDRESS: 10871 Quirk Rd	
*APPLICANT MUST ATTACH LEGAL DESCRIPTION OF PROPERTY			
PROPERTY LOCATION: On the East Side of Quirk Road; Between N. 5th Drive Road and McBride Road.			
SIZE OF LOT WIDTH:	SIZE OF LOT DEPTH:	ACREAGE OF SITE: 37.5	TOTAL ACRES OF SITE TO REVIEW: less than 1 acre
CURRENT ZONING: R1B	IS A REZONING OF THIS PARCEL BEING REQUESTED? Y/N		REQUESTED ZONING:
PROJECT DESCRIPTION: To erect New Restroom & Laundry Facility			

SPECIAL PERMIT INFORMATIONDOES THE PROPOSED USE REQUIRE SPECIAL APPROVAL? Y (N)

IF YES, SECTION OF ZONING ORDINANCE FOR WHICH YOU ARE APPLYING FOR SPECIAL APPROVAL:

IS THERE AN OFFICIAL WOODLAND WITHIN THE PARCEL? Y (N)

IF YES, WOODLAND ACREAGE:

TOTAL NUMBER OF REGULATED TREES OUTSIDE THE WOODLAND AREA:

TOTAL NUMBER OF TREES:

DETAILED DESCRIPTION FOR CUTTING TREES:

NA

IF APPLICABLE, APPLICATION MUST BE ACCOMPANIED WITH A TREE SURVEY OR STATEMENT OF NO TREES, WHICH INCORPORATES ALL THE REQUIREMENTS LISTED IN SECTION 4.45 OF THE TOWNSHIP'S ZONING ORDINANCE 6-2-92, AS AMENDED.

OWNER'S AFFIDAVITWAYNE County Fair Assn

PRINT PROPERTY OWNER'S NAME

Deborah SCHALTE - TREASURERDeborah Schalte Treasurer

SIGNATURE OF PROPERTY OWNER

DATE

4-22-2022STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this _____ day of _____, 20____.

_____, Notary Public, _____ County, Michigan My Commission expires _____, 20____.

10871 QUIRK RD VAN BUREN TOWNSHIP, MI 48111 (Property Address)

Parcel Number: 83 064 99 0001 000 Location ID: Quir-010871-0000-01



Property Owner: WAYNE COUNTY 4H FAIR ASSN

Summary Information

- > Assessed Value: \$0 | Taxable Value: \$0
- > 62 Building Department records found
- > Property Tax information found
- > Utility Billing information found

Item 1 of 2

1 Image / 1 Sketch

Owner and Taxpayer Information

Owner

WAYNE COUNTY 4H FAIR ASSN Taxpayer
PO BOX 308
VAN BUREN TOWNSHIP, MI
48111

SEE OWNER INFORMATION

General Information for Tax Year 2022

Property Class	101 AGRICULTURAL-IMPROVED Unit	83 VAN BUREN TOWNSHIP
School District	VAN BUREN PUB SCHOOLS	Assessed Value \$0
MAP #	No Data to Display	Taxable Value \$0
TEMP CODE	0	State Equalized Value \$0
USE CODES	Not Available	Date of Last Name Change 08/02/2021
USER ALPHA 3	Not Available	Notes Not Available
Historical District	Not Available	Census Block Group Not Available
STATUS CODE	Not Available	Exemption No Data to Display

Principal Residence Exemption Information

Homestead Date 09/02/2021

Qualified Agricultural	June 1st	Final
2021	0.0000 %	0.0000 %

Previous Year Information

Year	MBOR Assessed	Final SEV	Final Taxable
2021	\$0	\$0	\$0
2020	\$0	\$0	\$0
2019	\$0	\$0	\$0

Land Information

Zoning Code	R1B	Total Acres	37.500
Land Value	\$150,000	Land Improvements	\$0
Renaissance Zone	No	Renaissance Zone Expiration Date	No Data to Display
ECF Neighborhood	Not Available	Mortgage Code	No Data to Display
Lot Dimensions/Comments	No Data to Display	Neighborhood Enterprise Zone	No

Lot(s)	Frontage	Depth
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No lots found.

Total Frontage: 0.00 ft

Average Depth: 0.00 ft

Legal Description

16E1A1 PART OF THE SE 1/4 OF SEC 16 BEG AT CEN 1/4 COR OF SEC 16 TH N88DEG 31M 30S E 1309.32FT TH S0DEG 27M 54S W 1324.65FT TH S88DEG 48M 08S W 1250.14FT N AND S 1/4 LINE OF SEC 16 TH N2DEG 05M 56S W 1317.86FT POB EXC W 43FT 37.50 AC

Land Division Act Information

Date of Last Split/Combine	<i>No Data to Display</i>	Number of Splits Left	0
Date Form Filed	<i>No Data to Display</i>	Unallocated Div.s of Parent	0
Date Created	01/01/0001	Unallocated Div.s Transferred	0
Acreage of Parent	0.00	Rights Were Transferred	<i>Not Available</i>
Split Number	0	Courtesy Split	<i>Not Available</i>
Parent Parcel	<i>No Data to Display</i>		

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page
No sales history found.						

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MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power – Director of Planning and Economic Development

RE: Site Plan Review #20-008 – Wayne County Fairgrounds Restroom Building

DATE: April 22, 2022

Project Summary

Applicant, Wayne County 4H Association, seeks site plan approval to construct a 1,392 square foot restroom and laundry building on a 2,380 square foot slab at an existing fairground facility, along with seven (7) new asphalt parking spaces and a concrete walkway, and to demolish 7,500 square feet of combined concrete and gravel surfaces. The proposed restroom and laundry building is proposed to include six (6) washing and six (6) drying machines along with eight (8) toilets, eight (8) showers and eight (8) sinks. The subject parcel is located at 10871 Quirk Road (Parcel ID number 83 064 99 0001 000), a 37.5-acre parcel zoned R-1B – Single Family Residential. To assist with the Planning Commission's review, I have included an illustrative map of the Fairgrounds, an explanatory letter from Deb Schalte of the Wayne County Fair Association, and site plan drawings.

Zoning, Use, and Review Process

The proposed use is a long-standing fairground which is currently owned by the Wayne County 4H Association. It has historically been the site of carnivals, races and rodeos, and miscellaneous events, along with a campground. According to the applicant, the Fairgrounds site at the subject property was established in 1946. The site has also historically hosted camping. According to the applicant, in the early 1980s, the camping activities expanded from youth and adult exhibitors being at the site during fair week to a more complete campground for the public which now encompasses roughly seven (7) acres near the north end of the site. There is currently a roughly 750 square foot building that house restrooms and laundry facilities for the campground site. The proposed larger restroom and laundry facility will be used to serve the needs of the campground.

If the entire fairgrounds site were proposed today, the park aspect of the use would require a special land use approval. Additionally, the campground is considered lawful nonconforming use, because though campgrounds are relegated only to the Township's AG – Agricultural and Estates zoning district as a special land use, it was lawfully in place prior to the Township's adoption of a Zoning Ordinance.

The applicant began seeking to build the restroom and laundry building in 2019. When reviewing the scope of this project, the previous Planning Director interpreted and I agree that the Planning Commission would be required to review the project, however, the scope of planning review would be limited to review to the areas adjacent to the new bathroom building, including adjacent vehicle

parking and maneuvering and the relationship between the proposed building and other buildings, campsites, and internal access drives. The entire fairgrounds site would be exempted from the review and a special land use permit addition would not be required from the Township Board to facilitate that review. Additionally, the Township Engineer and Township Fire Marshal would need to review the plan for preliminary approval. These reviews would cover any comments pertaining to water and sanitary utilities, fire department access and any fire suppression review, and surface drainage. The format of my review in this report will be to summarize the review completed on these major points regarding setbacks, building architecture, vehicle parking and maneuvering, access, water and sewer utilities, and surface drainage.

Setbacks. The proposed building meets the R-1B zoning ordinance setback requirements including a 30' required front, 25' combined required side, and 35' required rear yard setback.

Building Architecture. The elevation drawing provided by the applicant demonstrates that the proposed building façade will be concrete block walls, and the building will have a hip roof with residential-style asphalt shingles. A color rendering shall be provided to demonstrate that the building's color is compatible with other buildings around the fairgrounds site.

Vehicle Parking and Maneuvering. The applicant proposes seven (7) off-street parking spaces on an asphalt surface. This is adequate to meet the needs of the building's proposed laundry facilities, including one (1) space for every two (2) washing and drying machines. The off-street parking spaces must be double-striped in accordance with the Van Buren Township Zoning Ordinance, must be 20' deep and 9.5' wide, and must have an adjacent maneuvering lane that is at least 24' wide. The site's existing gravel-surfaced access drive will be used up to the point of the building.

Access. The building will be accessed from both Quirk Street to the west and McBride Avenue to the north. Based on direction from the Fire Marshal to ensure there is a direct route to a fire hydrant on McBride Avenue, the applicant has installed a new driveway approach from McBride Avenue to the north. Prior to final inspection, the applicant must walk the site with Township staff to ensure that adequate access to the building is provided from both the west and the north, and that all access drives are in good repair.

Water and Sewer Utilities. The site will use existing sanitary sewer facilities. The Township Engineer and Fire Marshal required the applicant to provide data to support that the site is adequately served by area water flow. Flow rates were measured by Brown Drilling, the applicant's contractor, on November 6, 2020. Based on remaining concerns that the flows would be adequate to serve fire suppression needs for the site, the Township Fire Marshal required the applicant to install a driveway approach to McBride Avenue so as to provide a direct route for the Fire Department to access the fire hydrant there in the event of an emergency. The Fire Marshal has indicated that all previous water supply and fire department access concerns have been addressed with his latest letter dated March 18, 2022.

Stormwater Drainage. The applicant provides data on their current plans to indicate that the proposed construction will reduce the total volume of runoff on the site and use existing stormwater

facilities. Downspouts must be installed on the proposed building which adequately discharge roof stormwater to the surface stormwater facilities in accordance with the Township's Engineering Standards.

Recommendation

The applicant has worked hard over the past several years to develop this project. I recommend that the Planning Commission grant **preliminary and final site plan approval**, subject to the following conditions being met:

- : A color rendering shall be provided to demonstrate that the building's color is compatible with other buildings around the fairgrounds site.
- : The off-street parking spaces must be double-striped in accordance with the Van Buren Township Zoning Ordinance, must be 20' deep and 9.5' wide, and must have an adjacent maneuvering lane that is at least 24' wide.
- : Prior to final inspection, the applicant must walk the site with Township staff to ensure that adequate access to the building is provided from both the west and the north, and that all access drives are in good repair.
- : Downspouts must be installed on the proposed building which adequately discharge roof stormwater to the surface stormwater facilities in accordance with the Township's Engineering Standards.

Thank you for allowing me to assist with this review.

Sincerely,



Dan Power

Director of Planning and Economic Development, Van Buren Charter Township

CC: Deb Schalte, Wayne County Fairgrounds Association
Paul Kammer, PE, Van Buren Township Engineering Consultant – Fishbeck
Andrew Lenaghan, Van Buren Township Fire Marshal
Todd Saums, Van Buren Township Water and Sewer Director

Andrew Lenaghan
Deputy Fire Chief/ Fire Marshal
O: 734-699-8900 Ext. 9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp., MI 48111



March 18, 2022

Director of Planning and Economic Development
46425 Tyler Road
Van Buren Township, MI 48111

Re: Proposed New Restroom and Laundry building
Wayne County Fairgrounds and RV Park
10871 Quirk Rd.
Van Buren Township, MI 48111

I have completed the review of the site plan submitted for the restrooms and laundry room at the Wayne County Fairgrounds.

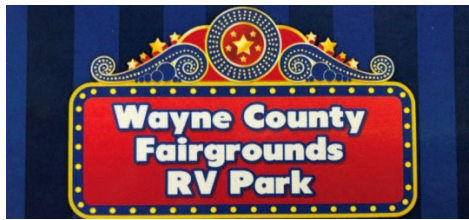
All previous water supply and fire department access concerns have been corrected.

If you have any questions regarding this review, feel free to contact me (734) 699-8900 Ext. 9416 or alenaghan@vanburen-mi.org

Andrew Lenaghan

Deputy Fire Chief/ Fire Marshal
Van Buren Township

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.



10871 Quirk Road, Belleville, MI 48111

Office: 734-697-7002; Fax: 734-699-7180

rvfairgrounds@gmail.com

www.WayneCountyFairgrounds.net

Dan Powers
Van Buren Township
Planning Commission

Re: Bathroom & Laundry Project
Wayne County Fair Association

Wayne County Fair Grounds was established in 1946 at 10871 Quirk Road, Belleville, Michigan. In the beginning camping at our facility was for the youth and adult exhibitors in tents during the week of fair. Wayne County Fair Association is a non-profit entity with no support from any local or government agency. In the early 80's a campground for the public was established to help generate income to sustain the fair so the youth of Wayne County would have a County Fair.

The old bath house that we are looking to replace was built in the late 70's. The new facility we are proposing would not only enhance the campground but could potentially generate more revenue from the campers that need those facilities while camping on the grounds.

Our campground not only brings revenue for our organization so we are able to host a County Fair every year and promote agricultural education to the Wayne County youth, but also serves the community by generating revenue for the local restaurants, gas stations, and grocery stores.

Sincerely,

Deb Schalte
Wayne County Fair Association



Home	Camping	Banquet Hall Fair Forms	Storage Board/Membership	Events	Fairgrounds Map Our Services	Wayne County Fair
----------------------	-------------------------	--	---	------------------------	---	-----------------------------------

Wayne County Fairgrounds

10871 Quirk Rd. Belleville, MI 48111

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[Contact Us / Find Us](#)

[Site Design ©2018 eBuymedia](#)



FM CLARK PLUMBING, INC.

6577 HIVON RD
CARLETON, MI 48117

Estimate

Date	Estimate #
5/10/2021	15315-51-230

Name / Address
WAYNE COUNTY

			Project
			NEW GANG BATH...
Description	Qty	Rate	Total
WAYNE COUNTY WATER FLOW WE HAVE 56 GPM AT BUILDING EXISTING BATHROOMS NOW HAVE 7 SINKS AT 2 GPM / 12 2 URINALS AT 1 GPM / 2 HAVE 8 TOILETS 3 GPM / 24 6 SHOWERS AT 3.5 GPM / 21 2 LAUNDRY 6.5 GPM / 13 TOTAL FOR EXISTING BATHROOM IS 72 NEW BATHROOM THERE ARE INDIVIDUAL STALLS (1 PERSON) 8 NEW BATHROOMS AT 4 GPM / 32 6 LAUNDRY 3 GPM / 18 TOTAL FOR NEW BATHROOM IS 50 GPM		0.00	0.00
		Total	\$0.00

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado & other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. PROPOSAL IS GOOD FOR 30 DAYS.

Due to the current economic climate & increasing number of liens and/or claims being placed on jobs, there will be a \$500.00 fee billed to any customers' account for each job that requires any legal action to recover all costs in the filing & discharge processes.

IT IS THE OWNERS RESPONSIBILITY TO CALL MISS DIG & PROVIDE FMCP WITH THE MISS DIG TICKET NUMBER. THE ABOVE PRICES, SPECIFICATIONS & CONDITIONS ARE SATISFACTORY & ARE HEREBY ACCEPTED.



7215 Highland Road (M-59)
Howell, Michigan 48843
(517) 546-0600
FAX (517) 546-3974

Established 1927

November 6, 2020

Wayne County Fair Grounds
10871 Quirk Road
Belleville, MI 48111

SENT VIA EMAIL: rvfairgrounds@gmail.com

Attn: Mary Zellner

Re: Testing City Water Flow at Yard Hydrant

Mary,

On November 6, 2020, Brown Drilling Co., Inc, Service Technician, Mike Rich, traveled to the Wayne County Fairgrounds, in Belleville, Michigan to determine the water flow rate at an onsite yard hydrant. The hydrant is supplied with City water.

Mike attached a valve, pressure gauge and meter to the hydrant, before conducting the test. Results for the test are presented below.

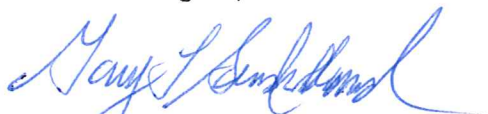
Maximum pressure at hydrant was found to be 50 PSI.

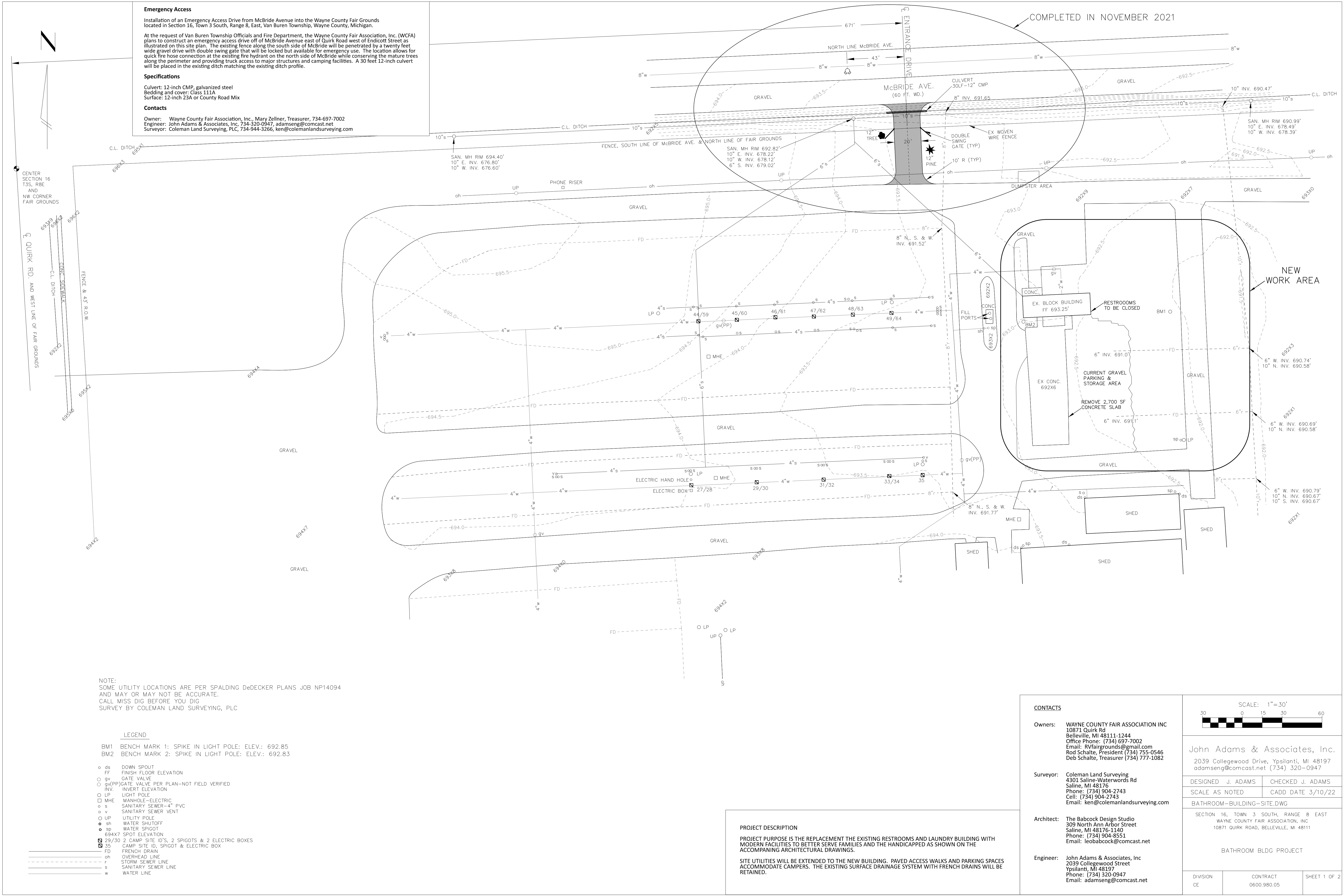
<u>PSI</u>	<u>GPM</u>
40	12
30	20
20	25
Open Discharge	30

We appreciate the opportunity to provide our services. If you have and questions, please contact us at 517-546-0600.

Thank you,

Brown Drilling Co., Inc.


Gary L. Sunderland



Emergency Access

Installation of an Emergency Access Drive from McBride Avenue into the Wayne County Fair Grounds located in Section 16, Town 3 South, Range 8, East, Van Buren Township, Wayne County, Michigan.

At the request of Van Buren Township Officials and Fire Department, the Wayne County Fair Association, Inc. (WCFA) plans to construct an emergency access drive off of McBride Avenue east of Quirk Road west of Endicott Street as illustrated on this site plan. The existing fence along the south side of McBride will be penetrated by a twenty feet wide gravel drive with double swing gate that will be locked but available for emergency use. The location allows for quick fire hose connection at the existing fire hydrant on the north side of McBride while conserving the mature trees along the perimeter and providing truck access to major structures and camping facilities. A 30 feet 12-inch culvert will be placed in the existing ditch matching the existing ditch profile.

Specifications

Culvert: 12-inch CMP, galvanized steel
Bedding and cover: Class 111A
Surface: 12-inch 23A or County Road Mix

Contacts

Owner: Wayne County Fair Association, Inc., Mary Zellner, Treasurer, 734-697-7002
Engineer: John Adams & Associates, Inc, 734-320-0947, adamseng@comcast.net
Surveyor: Coleman Land Surveying, PLC, 734-944-3266, ken@colemanlandsurveying.com

NOTE:
SOME UTILITY LOCATIONS ARE PER SPALDING DeDECKER PLANS JOB NP14094
AND MAY OR MAY NOT BE ACCURATE.
CALL MISS DIG BEFORE YOU DIG
SURVEY BY COLEMAN LAND SURVEYING, PLC

LEGEND

- BM1 BENCH MARK 1: SPIKE IN LIGHT POLE; ELEV.: 692.85
- BM2 BENCH MARK 2: SPIKE IN LIGHT POLE; ELEV.: 692.83
- ds DOWN SPOUT
- FF FINISH FLOOR ELEVATION
- gv GATE VALVE
- gv(pp) GATE VALVE PER PLAN—NOT FIELD VERIFIED
- INV. INVERT ELEVATION
- LP LIGHT POLE
- MHE MANHOLE—ELECTRIC
- s SANITARY SEWER—4" PVC
- v SANITARY SEWER VENT
- UP UTILITY POLE
- sh WATER SHUTOFF
- sp WATER SPOUT
- 694x7 SPOT ELEVATION
- 29/30 2 CAMP SITE ID'S, 2 SPIGOTS & 2 ELECTRIC BOXES
- 55 CAMP SITE ID, SPIGOT & ELECTRIC BOX
- FD FRENCH DRAIN
- oh OVERHEAD LINE
- r STORM SEWER LINE
- s SANITARY SEWER LINE
- w WATER LINE

PROJECT DESCRIPTION

PROJECT PURPOSE IS THE REPLACEMENT THE EXISTING RESTROOMS AND LAUNDRY BUILDING WITH MODERN FACILITIES TO BETTER SERVE FAMILIES AND THE HANDICAPPED AS SHOWN ON THE ACCOMPANYING ARCHITECTURAL DRAWINGS.

SITE UTILITIES WILL BE EXTENDED TO THE NEW BUILDING. PAVED ACCESS WALKS AND PARKING SPACES ACCOMMODATE CAMPER. THE EXISTING SURFACE DRAINAGE SYSTEM WITH FRENCH DRAINS WILL BE RETAINED.

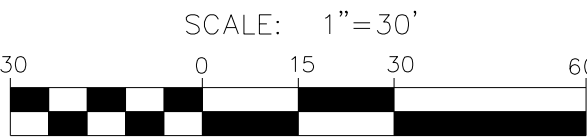
CONTACTS

Owners: WAYNE COUNTY FAIR ASSOCIATION INC
10871 Quirk Rd
Belleville, MI 48111-1244
Office Phone: (734) 697-7002
Email: RVfairgrounds@gmail.com
Rod Schalte, President (734) 755-0546
Deb Schalte, Treasurer (734) 777-1082

Surveyor: Coleman Land Surveying
4301 Saline-Waterwords Rd
Saline, MI 48176
Phone: (734) 904-2743
Cell: (734) 904-2743
Email: ken@colemanlandsurveying.com

Architect: The Babcock Design Studio
309 North Ann Arbor Street
Saline, MI 48176-1140
Phone: (734) 904-8551
Email: leobabcock@comcast.net

Engineer: John Adams & Associates, Inc
2039 Collegewood Street
Ypsilanti, MI 48197
Phone: (734) 320-0947
Email: adamseng@comcast.net



John Adams & Associates, Inc.

2039 Collegewood Drive, Ypsilanti, MI 48197
adamseng@comcast.net (734) 320-0947

DESIGNED J. ADAMS CHECKED J. ADAMS

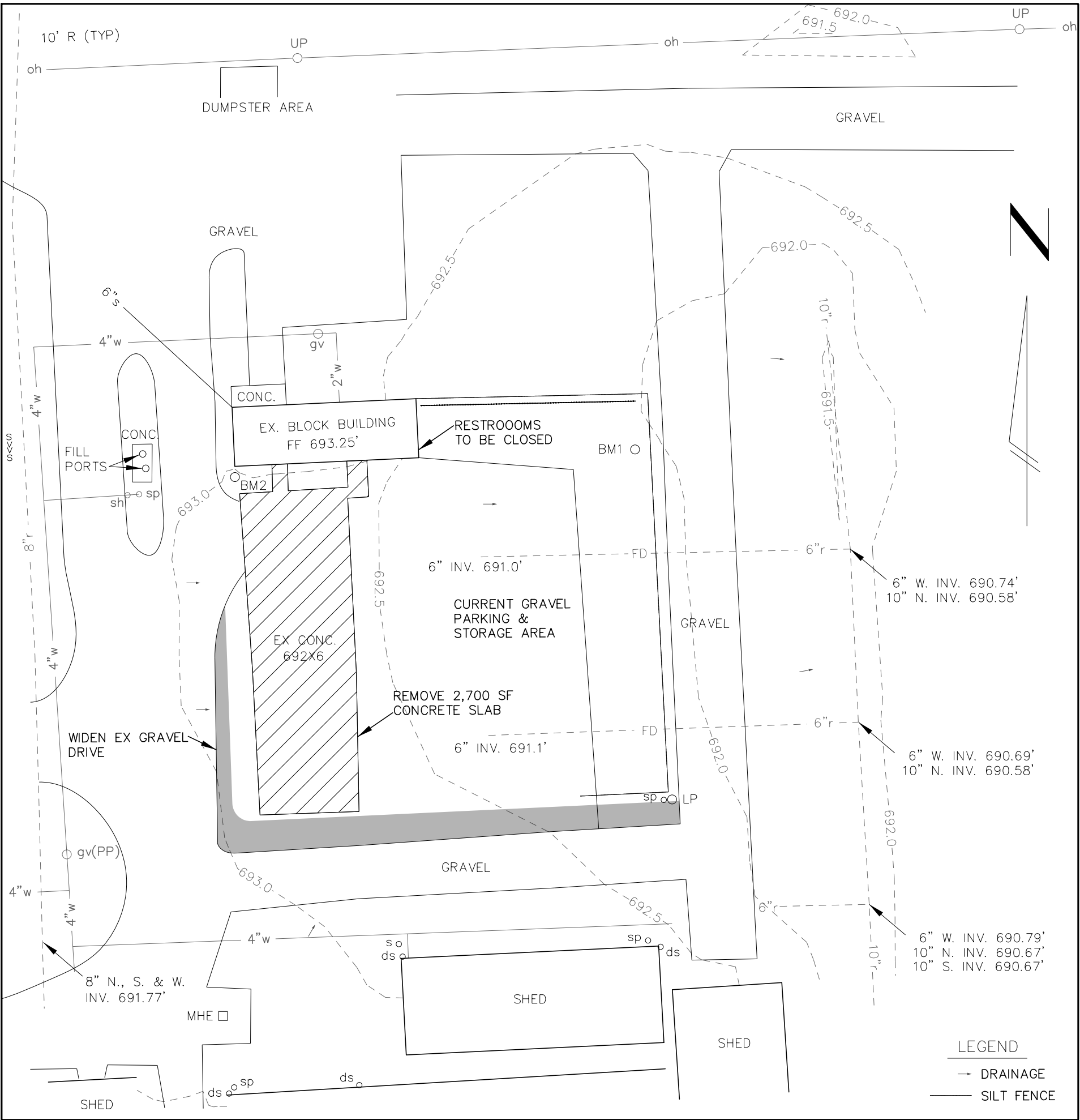
SCALE AS NOTED CADD DATE 3/10/22

BATHROOM—BUILDING—SITE.DWG

SECTION 16, TOWN 3 SOUTH, RANGE 8 EAST
WAYNE COUNTY FAIR ASSOCIATION, INC
10871 QUIRK ROAD, BELLEVILLE, MI 48111

BATHROOM BLDG PROJECT

DIVISION CE CONTRACT 0600.980.05 SHEET 1 OF 2



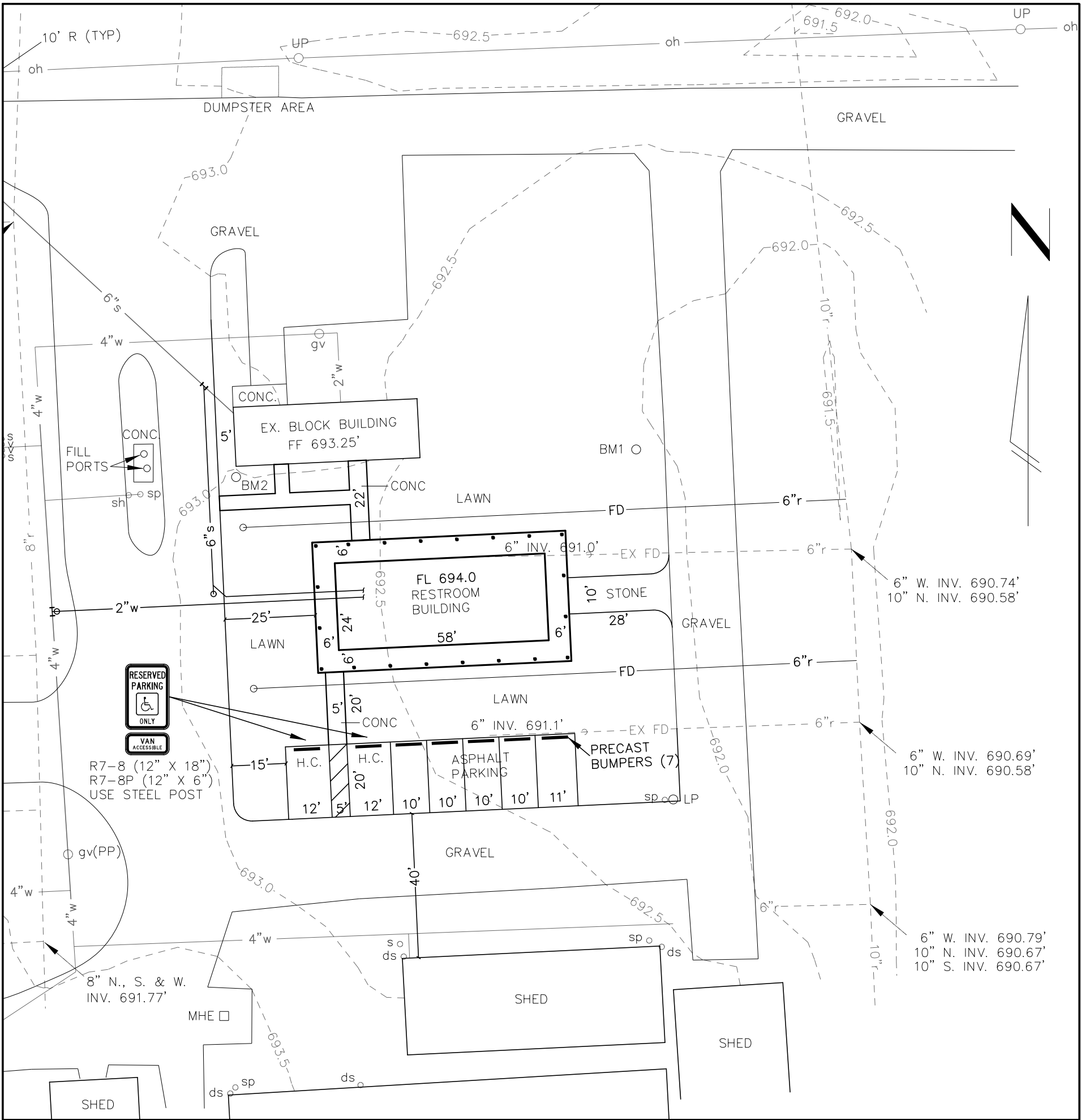
DEMOLITION

WCA Site Demolition

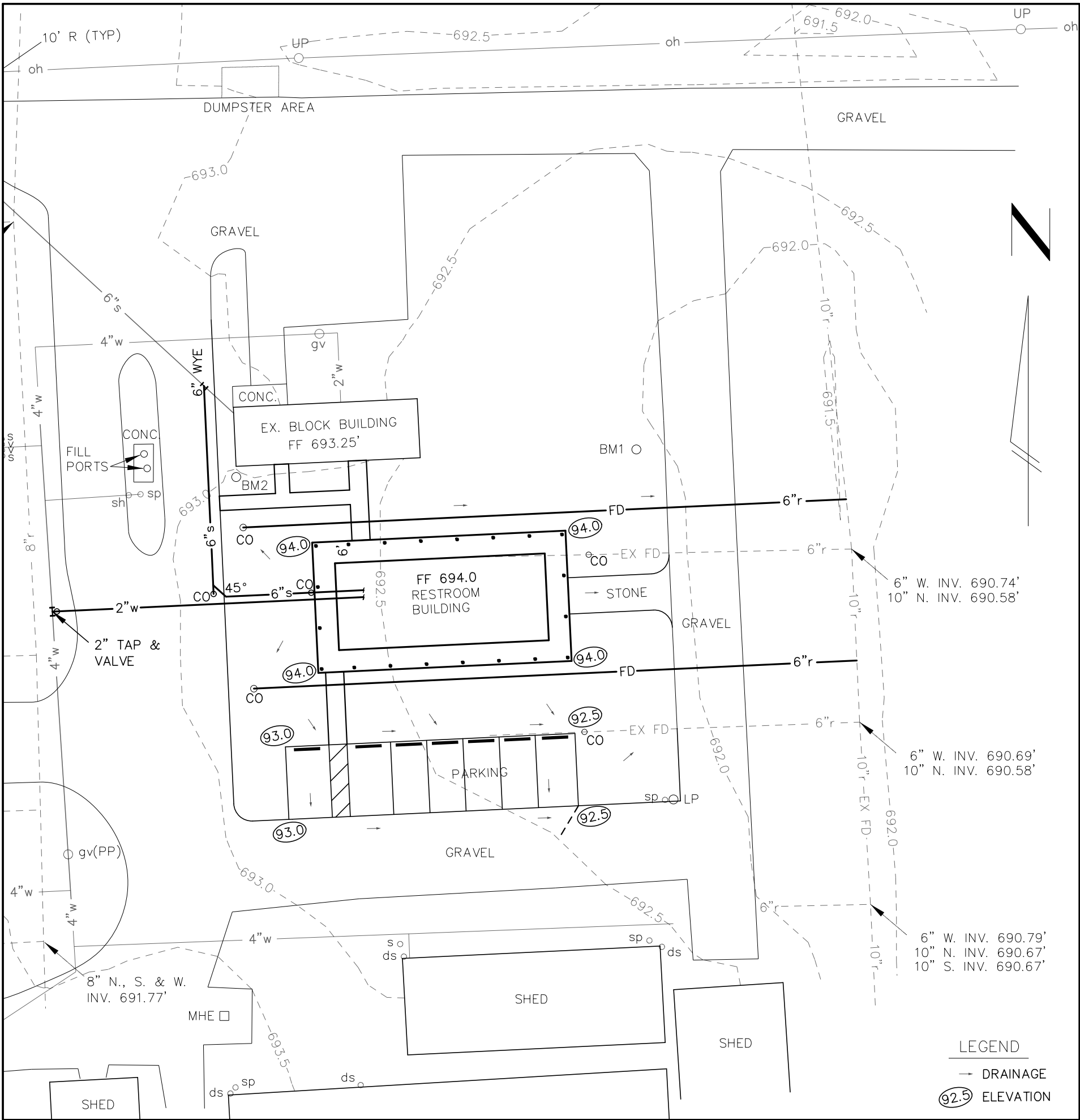
1. Remove existing concrete slabs, 2700 sf
2. Eliminate gravel parking area, 4800 sf
3. Maintain existing French drain system
4. Maintain existing drainage pattern

RUNOFF COMPARISON				
		A	Runoff, C	Composite coefficient
Existing Conditions	Area, SF	Acres	Coefficient	K
1 Concrete pavement	2700	0.062	95%	0.059
2 Gravel parking & Storage Yard	4800	0.11	85%	0.093
Total Area and Composite Coefficient	7500	0.172	0.89%	0.152
Proposed Conditions				
1 New Building	2520	0.058	95%	0.055
2 Concrete walks	420	0.01	95%	0.009
3 Paved Parking	1600	0.039	95%	0.035
4 Lawn: Prior parking & Storage yard	2960	0.068	35%	0.038
Total Area and Composite Coefficient	7500	0.175	85%	0.137

Conclusion: New building and paved areas will not increase runoff.



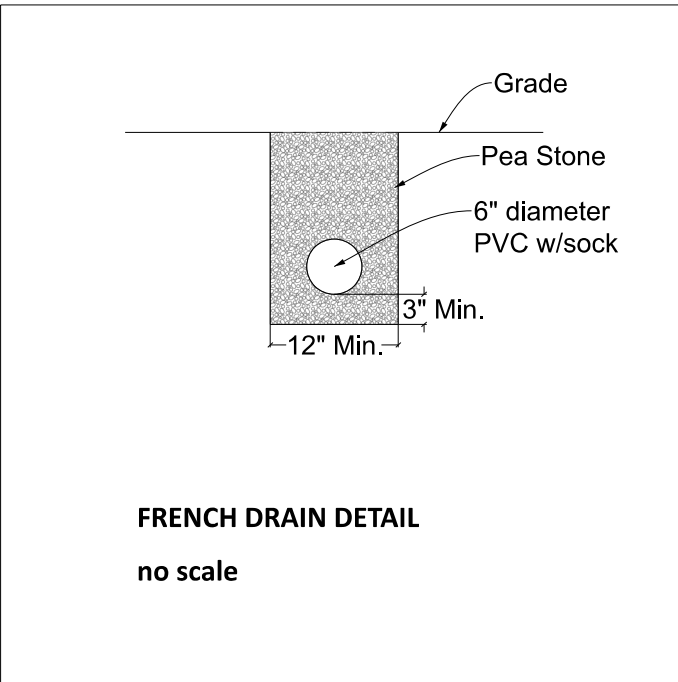
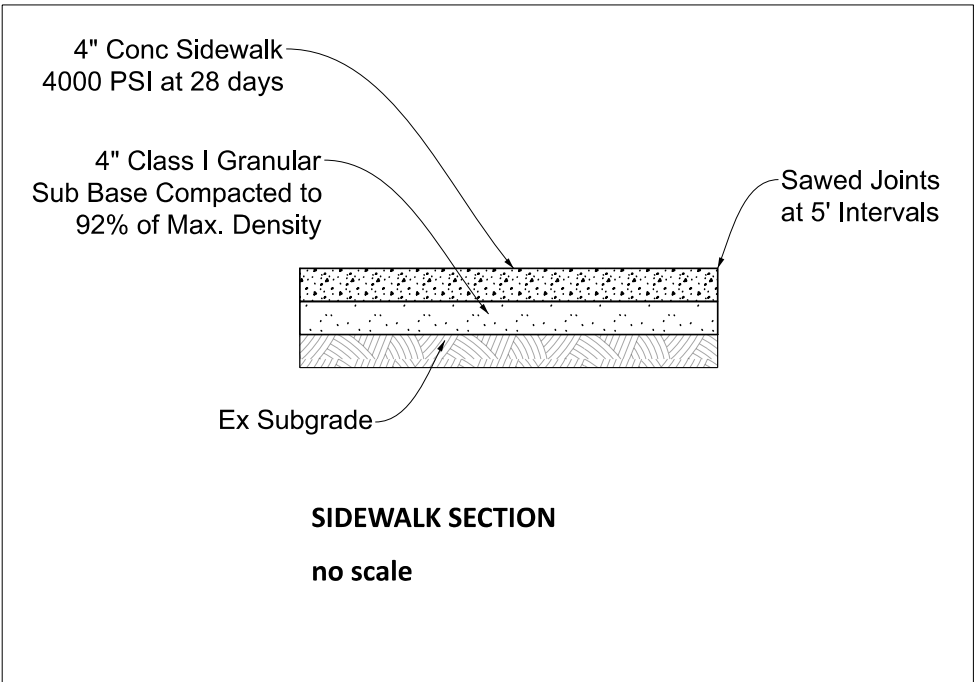
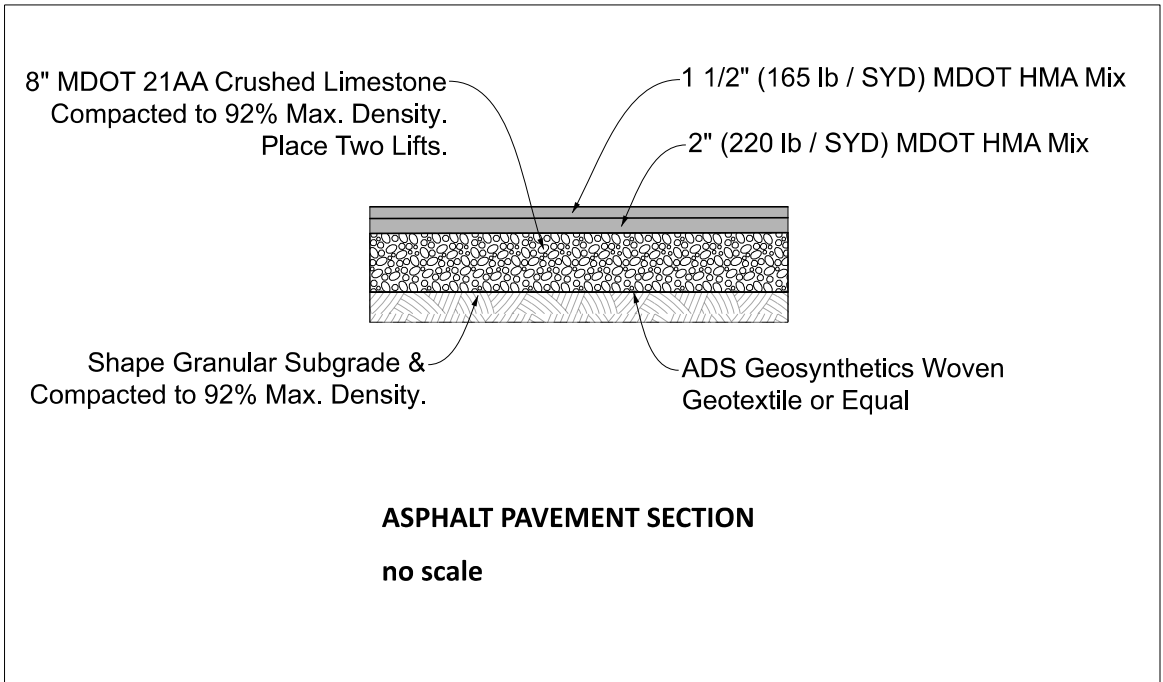
SITE LAYOUT



UTILITIES, GRADING
& DRAINAGE PLAN

UTILITIES, GRADING AND DRAINAGE PLAN

- (All materials shall match existing)
- SANITARY SEWER: 6-INCH SCH. 40 PVC, (INSTALL WITH 0.5% GRADE)
- WATER SUPPLY: 2-INCH COPPER
- FRENCH DRAINS: 6-INCH PERFERATED PVC WITH SACK AND PEA STONE
- GRADING: The existing easterly drainage pattern shall be maintained.
- (Additional french drains shall be connected to the existing 10-inch FD header.)



SCALE: 1"=30'

30

0

15

30

60

John Adams & Associates, Inc.

2039 Collegewood Drive, Ypsilanti, MI 48197

DESIGNED J. ADAMS

CHECKED J. ADAMS

SCALE AS NOTED

CADD DATE 3/10/22

BATHROOM—BUILDING—SITE.DWG

SECTION 16, TOWN 3 SOUTH, RANGE 8 EAST

WAYNE COUNTY FAIR ASSOCIATION, INC

10871 QUIRK ROAD, BELLEVILLE, MI 48111

BATHROOM BLDG PROJECT

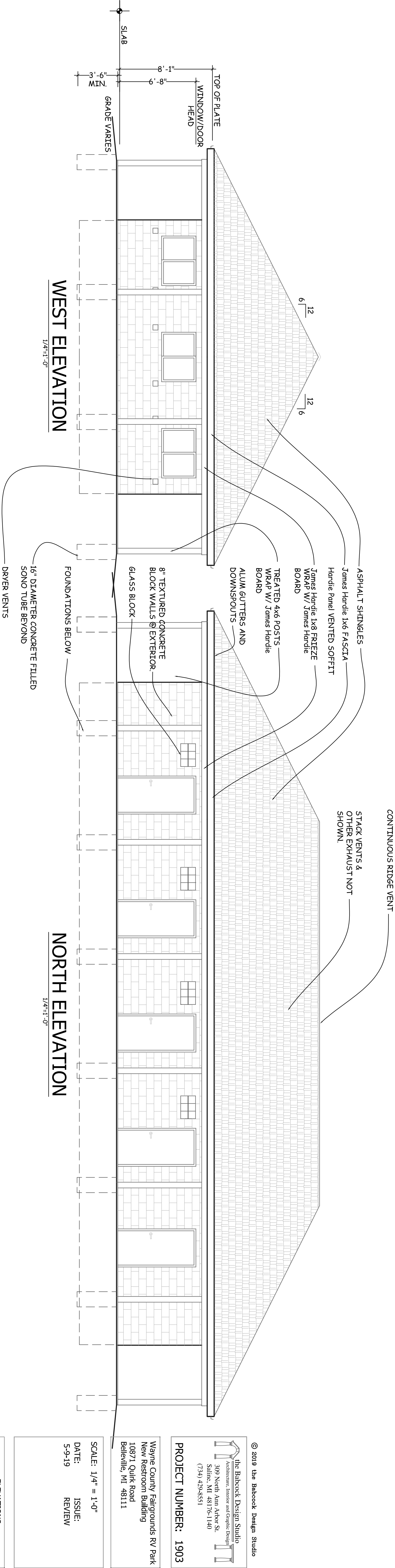
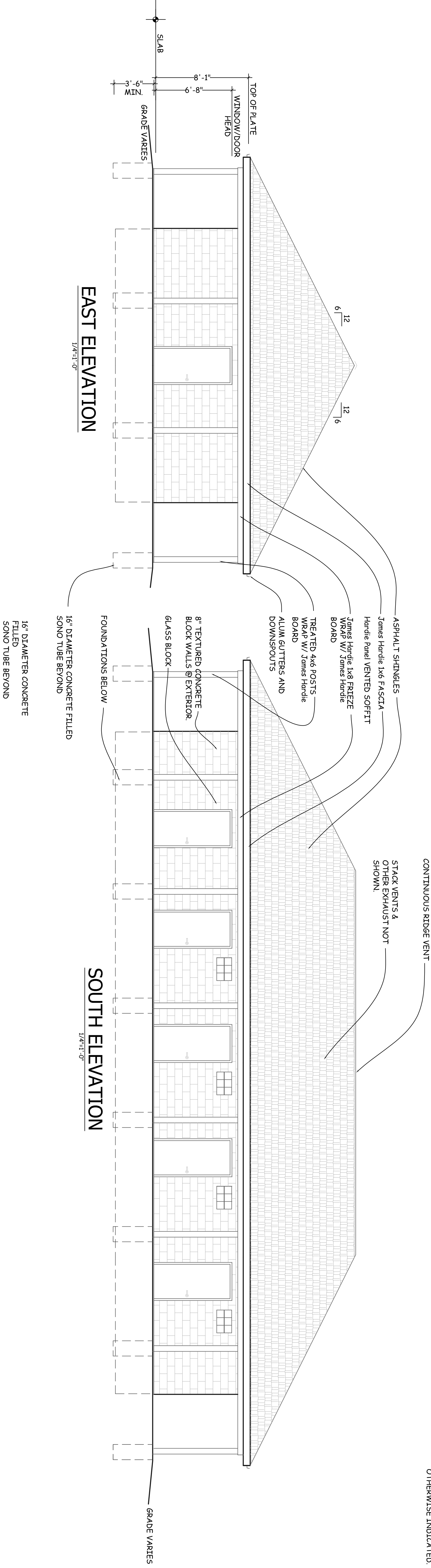
DIVISION

CONTRACT

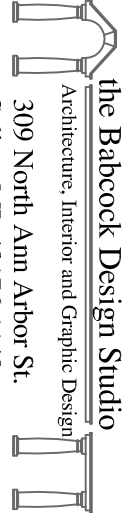
SHEET 2 OF 2

NOTES:

1. NOTES AND DIMENSIONS SHOWN ON THIS SHEET ARE TYPICAL FOR ALL ELEVATIONS UNLESS OTHERWISE INDICATED.



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309 North Ann Arbor St.
Saline, MI 48176-1140
(734) 429-8551

PROJECT NUMBER: 1903

Wayne County Fairgrounds RV Park
New Restroom Building
10871 Quirk Road
Belleville, MI 48111

SCALE: 1/4" = 1'-0"

DATE: 5-9-19

ISSUE: REVIEW

ELEVATIONS

A-4

RECEIVED



VAN BUREN CHARTER TOWNSHIP

FEB 7 2022

Initial: _____

DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

46425 TYLER ROAD, VAN BUREN TOWNSHIP, MI 48111

PHONE (734) 699-8913 FAX (734) 699-8958

PLANNING & ZONING APPLICATION

CASE INFORMATION

CASE NUMBER:	DATE SUBMITTED:
--------------	-----------------

APPLICANT INFORMATION

NAME: Stephen J. Gedert, AIA	PHONE: 248.352.8310
ADDRESS: 400 Galleria Officentre, Suite 555	CELL PHONE: 248.514.7866
CITY, STATE & ZIP: Southfield, MI 48034	FAX: None
EMAIL: sgedert@neumannsmith.com Representing Neumann/Smith Architecture	

PROPERTY OWNER INFORMATION (If different than the applicant)

NAME: Van Buren Charter Township	PHONE:
ADDRESS: 46425 Tyler Road	CELL PHONE:
CITY, STATE & ZIP: Van Buren, Township, MI 48111	FAX:
EMAIL:	

BILLING CONTACT

NAME: Elizabeth Renaud	PHONE: 734.787.0542
ADDRESS: 46425 Tyler Road	CELL PHONE:
CITY, STATE & ZIP: Van Buren, Township, MI 48111	FAX:
EMAIL: erenaud@vanburen-mi.org	

SITE/PROJECT INFORMATION

NAME OF PROJECT: Van Buren Charter Township Community Center Addition and Renovation			
PARCEL ID NO: V125-83- V125-83-061-99-0006-000		PROJECT ADDRESS: 46425 Tyler Road	
* APPLICANT MUST ATTACH LEGAL DESCRIPTION OF PROPERTY			
PROPERTY LOCATION: On the South Side of Tyler Road; Between Quirk Road and Sage Circle Road.			
SIZE OF LOT WIDTH: Varies	SIZE OF LOT DEPTH: Varies	ACREAGE OF SITE: 14.49	TOTAL ACRES OF SITE TO REVIEW: 3.85
CURRENT ZONING: O-T	IS A REZONING OF THIS PARCEL BEING REQUESTED? Y / (N)		REQUESTED ZONING:
PROJECT DESCRIPTION: Addition and renovation to the existing community center. Refer to project description on the architectural site plan and on the accompanying 8.5x11 document.			

SPECIAL PERMIT INFORMATION

DOES THE PROPOSED USE REQUIRE SPECIAL APPROVAL? Y / <u>N</u>	
IF YES, SECTION OF ZONING ORDINANCE FOR WHICH YOU ARE APPLYING FOR SPECIAL APPROVAL:	
IS THERE AN OFFICIAL WOODLAND WITHIN THE PARCEL? Y / <u>N</u>	IF YES, WOODLAND ACREAGE:
TOTAL NUMBER OF REGULATED TREES OUTSIDE THE WOODLAND AREA:	TOTAL NUMBER OF TREES:
DETAILED DESCRIPTION FOR CUTTING TREES:	
IF APPLICABLE, APPLICATION MUST BE ACCOMPANIED WITH A TREE SURVEY OR STATEMENT OF NO TREES, WHICH INCORPORATES ALL THE REQUIREMENTS LISTED IN SECTION 4.45 OF THE TOWNSHIP'S ZONING ORDINANCE 6-2-92, AS AMENDED.	

OWNER'S AFFIDAVIT

Kevin McManara
PRINT PROPERTY OWNER'S NAME

[Signature]
SIGNATURE OF PROPERTY OWNER

2/1/2022
DATE

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 1st day of February, 2022.

[Signature] Notary Public, Wayne County, Michigan My Commission expires 02/08/26, 2026.

HANNAH RODRIGUEZ
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES Feb 8, 2028
ACTING IN COUNTY OF Wayne



NEUMANN/SMITH ARCHITECTURE
400 Galleria Officentre / Suite 555
Southfield, Michigan 48034
P 248.352.8310
1500 Woodward Avenue / Suite 300
Detroit, Michigan 48226
P 313.782.4800
neumannsmith.com

**Van Buren Charter Township
Community Center Addition and Renovation**

N/S Project Number 2019074
February 2, 2022

Project Location

Van Buren Charter Township Hall
46425 Tyler Road
Van Buren Township, MI 48111

Legal Description of Property

16A1A2C A1A2D B1A2 PT OF THE N 1/2 SEC 16 T3S R8E BEG AT THE N 1/4 COR SEC 16 TH N89DEG 07M 10S E
391.44FT TH S10DEG 47M 00S E 929.30FT TH S82DEG 00M 30S W 673.37FT TH N10DEG 47M 00S W 1013.58FT TH
N89DEG 03M 00S E 291.25FT POB 14.49 AC



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power – Director of Planning and Economic Development

RE: Final Site Plan Review #22-008 – Van Buren Township Community Center

DATE: April 22, 2022

Project Summary

This report contains review comments for **final site plan review** a proposed 13,448 square foot renovation and a building addition totaling 21,763 square feet (16,411 square foot first floor addition, 5,352 square foot mezzanine addition) for purposes of providing a Community Center and site upgrades at the Van Buren Township administrative campus. In addition to extensive indoor programming explained in a project narrative and in the submitted floor plans, the improvements will include exterior improvements including a performance plaza, a fitness patio (as an alternate item), additional parking, walkways and landscaping. The proposed building addition will be 34'-8" in height. The subject site is located at 46425 Tyler Road (parcel ID number 83 061 99 0006 000). The site is zoned O-T – Office Technology. The lot is approximately 14.5 acres in area. The Planning Commission granted preliminary site plan approval on March 9, 2022. The submittal being provided to the Planning Commission includes an abridged set of civil / site and architectural plans provided by the applicant dated April 5, 2022. For reference, the changes made by the project design team following initial staff review comments are outlined with "revision cloud" outlines in the plans. Throughout this report, recommended conditions or requests for revisions are underlined.

Zoning and Use

As previously discussed, the proposed use is as a publicly-owned recreational facility, which is a permitted use by right in the O-T zoning district. The use also includes outdoor components including a new performance plaza. A detailed use description is provided at the top of the Architectural Site Plan sheet. A detailed description of all proposed uses appears on Sheet AS102.

Required Information and Overall Formatting Comments

A master plan sheet index is provided on the cover sheet of the submitted plan set. Existing conditions are shown on sheets C2.1 – C2.3 which show the existing footprint of the Township municipal building and topographical survey data for the main affected portion of the site.

Dimensional Requirements. The proposed addition meets all applicable height and setback requirements. The property's required front yard setbacks are each 50', its required rear yard setback is 30', and its required side yard setback adjacent to the residential property to the east is 50'. Some references to the east lot line on the plans indicate this is an "approximate" boundary

line. The property line should be verified if there is any new proposed construction within 10' of the "approximate" boundary line.

Access, Circulation and Traffic Impacts

- **Overall traffic and circulation.** The most significant impact of the proposed site plan on circulation is the closure of access to public safety and general personnel parking. The applicant previously provided a Traffic Impact Statement in their narrative submittal. Importantly, the narrative states that the building's several functions (Township Hall, Police Department, Senior Center, and Community Center) will have staggered times of usage. A letter with written justification for the need to provide separate access, dated April 12, 2022, was provided by the Van Buren Township Police Chief.
- **Location of Curb Cuts and Cross Access.** There are no proposed changes to curb cuts or new cross access between the subject site and neighboring properties. The proposed site plan does provide a new connection to the Quirk Park property to the south.
- **Sidewalks.** No new public sidewalks are proposed. The site plan contains a sufficient network of internal sidewalks with one exception. A new internal sidewalk network alongside parking and public open space is shown in the proposed Plan.

Parking and Loading

- **Space Dimensions.** Minimum parking space dimensions (20' deep, 9.5' wide) and access aisle minimum dimensions (24' wide) are adequately conveyed on the Plan.
- **Number of Parking Spaces.** The applicant lists 357 total parking spaces as being required based on the summation of 119 spaces being required for the existing public safety and Township Hall offices (one space per 300-sf at 35,477-sf), 181 spaces being required for the Community Center and Senior Center (one space per 200-sf at 36,105-sf), seven spaces being required for the recreation center (one space per 300-sf of office at 2,069-sf), and 50 spaces being required for the theater (one space per 3 seats at 150 seats). 400 parking spaces are provided.
- **Barrier Free Spaces.** Under Section 8.103, eight (8) barrier free spaces are required on site and ten (10) barrier free spaces are provided.
- **Loading.** No loading is shown beyond existing loading in the current employee parking lot.
- **Snow Storage.** The Township Public Services Director and Building and Grounds Superintendent will identify adequate snow storage locations within the proposed parking lot.

Landscaping and Screening. The applicant shows all proposed landscaping in sheets L-1 – L-5 and an irrigation plan in sheet IR-1. An extensive landscaping plan is provided for the area surrounding the proposed renovation and addition. The site plan is exempt from a tree removal permit and tree inventory requirement as a public property, in accordance with Section 8.106(C) of the Van Buren Township Zoning Ordinance. In 2020-2021, the Township completed significant campus-wide landscaping. The comments in this report will focus on landscaping standards of Article 10 of the Township Zoning Ordinance as it pertains to the area that did not previously have

landscaping performed and where new improvements are proposed ("Affected Area"). Many conditions placed on landscaping based on the preliminary site plan submittal have been addressed.

Applicable landscaping standards and required additional information on the landscaping plan related to these standards is listed below.

- **Overall formatting comments.** The applicant has provided a plant list and a "Landscape Tabulation Schedule for the Affected Area. This schedule is based on the relevant sections from Article 10 of the Van Buren Township Zoning Ordinance, as listed below in items 10.103(A)-(G).
- **10.103(A). Frontage Landscaping.** No new frontage landscaping is required as no portion of the site's frontage which has not recently had landscaping done is part of this project.
- **10.103(B).**
 - **Parking Lot Screening.** The required 10' of open space buffer surrounding the parking lots along the site's frontage remains in place.
 - **Interior Parking Lot Landscaping.** 5% of interior parking lot area must be provided as interior parking lot landscaping. Each separate interior landscaped area shall be a minimum of three hundred sixty (360) square feet in area and shall have a minimum width of ten (10) feet. Each interior landscape area shall contain at least one (1) deciduous tree. One (1) deciduous tree shall be planted for each three hundred (300) square feet of interior landscaping. All required interior parking lot landscaping shall be planted within the landscaped islands or in landscaped areas within twenty (20) feet of the perimeter of the parking lot, provided that such landscaping is not also counted toward other landscape or screening requirements. The applicant demonstrates that there is 3,203-sq. ft. of overall interior parking lot landscaping required based on the affected parking lot area being 64,060 square feet. 3,462 square feet of landscaping is provided for this requirement, distributed as 15 trees. The interior parking lot landscaping requirement is met.
- **10.103(C). Loading Area Landscaping.** Not applicable.
- **10.103(D). Display Area Buffering.** Not applicable.
- **10.103(E). Greenbelt Buffering.** The Affected Area borders on a residential zoning district. This requires the application of a "Type B" greenbelt. The Type B Greenbelt requires a 20' wide green space with one tree every 20', or installation of a 6' high masonry wall. The site's type "B" greenbelt perimeter includes area adjacent to the site's existing east parking lot. As part of preliminary site plan approval, the Planning Commission modified the required 20' wide "Type B" greenbelt to reduce it to 4'9" on the east lot line. Required planting volumes based on the Type B greenbelt requirement must be provided. The total length of Type Greenbelt perimeter is listed as 595' on Sheet L-1. This would typically require 30 trees. Based on a modification granted by the Planning Commission during preliminary site plan review, the applicant may use three (3) shrubs in place of every one (1) tree that is required. This requires a total of 90 shrubs. The applicant proposes 98 shrubs. This requirement is met.

- **10.103(F). Office Technology (O-T) District Landscaping.** In the O-T zoning district, perimeter landscaping around a building is required at a rate of one (1) deciduous or evergreen tree per 100', one (1) ornamental tree per 40', and one (1) shrub per 10'. Based on the building perimeter area of 630', 16 deciduous or evergreen trees, seven (7) ornamental trees, and 63 shrubs are required. Seven (7) deciduous or evergreen ("large") trees, 16 ornamental trees, and 152 shrubs are proposed. The requirements for foundation plantings in the O-T zoning district are met.
- **10.103(G). Open Space Landscaping.** With the final site plan submittal, the applicant has calculated that there is a total affected open space area of 140,168 square feet. At a rate of one (1) required tree per 3,000 square feet of open space, 47 trees are required. 47 trees are proposed.
- **Detention Pond Landscaping** does not require any additions on the **schedule of required landscaping**. The proposed storm drainage basin is designed as a dry pond without a permanent pool of water at the bottom. The storm basin should be designed and located to function as an amenity feature of the site, per Section 3.114(F) of the Zoning Ordinance. The Township's Engineering Standards Manual would currently require a pond with a permanent pool ("wet pond"), however, deviations from this standard may be requested with substantial justification. The applicant has been advised to provide an explanation of how a wet pond would inhibit the safe and reasonable use of the site, how the dry pond will not deviate from water quality standards, and how the pond will be designed so as to be safe. I will defer to the recommendations of the Township Engineer as to whether this justification has been substantially provided and the dry pond is acceptable. The final pond design shall be coordinated between the applicant and the Township Department of Public Services to ensure the basin meets all aesthetic, operational, and stormwater design needs.

Lighting. Lighting on the site will either be existing or relocated existing lighting. If any new light poles are proposed in the Affected Area of the site in the future, the photometric plan must comply with Section 8.105 of the Zoning Ordinance.

Dumpster. There are no proposed changes to the existing dumpster.

Fencing. New security fencing and a gate is proposed to provide only secure access for employee parking at the entrance to the site on Tyler Road. The proposed fence is a 5' tall black aluminum fence. A fencing and gate detail has been provided on sheet L-5 and meets the standards of the Van Buren Township Zoning Ordinance. Detail 1 / L-1 shall be edited in the final for-construction plans to clarify whether the fence will be 5' tall or 6' tall.

Architecture and Building Details. A series of flat roofs in this site as designed with a series of tiered features will provide consistency with the architecture of the existing building and will provide some visual interest. Staff supports the proposed building architecture, subject to Planning Commission approval. The Planning Commission previously recommended the approval of the building's architecture. Based on elevation drawings provided, rooftop HVAC equipment will be adequately screened from the neighboring properties and public rights-of-way.

Signs. The applicant indicates that signage will be limited to wall mounted lettering and Township logo as shown in the attached elevations. The Township will file a permit for signage separately from the requested site plan review.

Topographic and Grading Information. The proposed grading is relatively flat. In the proposed renovated east parking lot, stormwater drains to central catch basins on the inside of the parking lot. It is unclear in some areas whether a curb is proposed adjacent to new proposed landscaping areas. The image on title sheet A001 appears to show an at-grade sidewalk adjacent to the proposed parking area.

Other Specific O-T District Requirements. The proposed building's site amenities are consistent with the Premiere Community Amenity Plan adopted by the Township in 2000, per Section 3.114(F) of the Zoning Ordinance.

Miscellaneous Site Plan Clarifications

- The existing fuel station is listed as "to be removed." This will be relocated as part of a separate project. The site's emergency generator will also be relocated.
- According to the applicant, the existing plaza will be demolished and removed from the site. There are no plans at this time to save or repurpose any of the existing amenities. The Township may opt to save some of these items before the demolition begins

Additional **Stormwater Management** comments will be provided by the Township Engineer.

Recommendation

Most preliminary site plan comments have been addressed. I recommend conditional approval of the Plan dated 4-5-2022, subject to the following conditions being addressed prior to the time of a preconstruction meeting with Township staff:

- The final pond design shall be coordinated between the applicant and the Township Department of Public Services to ensure the basin meets all aesthetic, operational, and stormwater design needs.
- Detail 1 / L-1 shall be edited in the final for-construction plans to clarify whether the fence will be 5' tall or 6' tall.
- Final site plan approval is subject to a recommendation for approval from the Van Buren Township Engineer.
- Final site plan approval is subject to a recommendation for approval from the Van Buren Township Fire Marshal.

Thank you for allowing me to assist with this review.

Sincerely,



Dan Power

Director of Planning and Economic Development, Van Buren Charter Township

CC: Elizabeth Renaud and Tammy Dohring, Van Buren Township Department of
Community Services
Stephen J. Gedert, AIA – Neumann Smith
Paul Kammer, PE, Van Buren Township Engineering Consultant – Fishbeck
Andrew Lenaghan, Van Buren Township Fire Marshal
Todd Saums, Van Buren Township Water and Sewer Director
Lawrence Luckett, Van Buren Township Director of Public Services



04/12/2022

TO: Director Dan Powers

FROM: Chief Jason Wright

SUBJECT: **Secure Township Employee Parking**

Director Powers,

With our upcoming demolition, renovation and the addition of our new future Community Center, we evaluated the traffic flow patterns, parking and overall parking lot security for all Township employees. The police department's employee parking lot and all other Township employee parking lots are currently open to the public, including the area where we park and store our on-duty and off-duty patrol cars, DPW trucks and equipment.

While I agree that the Township needs to be open to the public and inviting, there are areas that must be designated for township employees only to promote a safe and secure environment. I have recommended that a fence for security purposes be erected around the police department's employee parking lot along with a mechanical gate across the Quirk Road parking lot entrance/exit. This will provide a visual deterrent as well as a proper barrier to stop unnecessary general public access to where all township employees park their personal vehicles. It will also provide better security for our marked patrol vehicles, DPW trucks and equipment that is stored and utilized within this area.

This practice is common at many municipal facilities, especially those that are law enforcement. If you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

Jason Wright

No comments from the audience or remote viewers.

Motion Jahr, Budd second to grant the applicant, Sam Patel on behalf of JSB Builders, LLC final site plan approval to construct a 16,280 square foot multi-tenant light industrial building with truck well and related site improvements at the site location to the south of 6032 Schooner Drive, parcel number 83-018-99-0003-708, based on the analysis and subject to the comments in the McKenna Associates review letter dated 2-9-22, Fishbeck Associates review letter dated 2-22-22, Fire Department review letter dated 2-16-22 and Director Power's staff memo dated 3-4-22 with the added condition that a performance bond shall be attached to the landscaping requirement.

Roll Call:

Yeas: Barr, Budd, Jahr and Kelley.

Nays: None.

Excused: Atchinson, Cullin and Garrett.

Motion Carried. (Letters Attached)

ITEM #3: 22-008 – VAN BUREN CHARTER TOWNSHIP COMMUNITY CENTER RENOVATION AND ADDITION – PRELIMINARY SITE PLAN.

THE APPLICANT, STEPHEN J. GEDERT, ON BEHALF OF OWNER VAN BUREN CHARTER TOWNSHIP, HAS APPLIED FOR ROUGHLY 13,446 SQUARE FEET OF RENOVATIONS AND A 16,411 SQUARE FOOT GYMNASIUM ADDITION ADJACENT TO THE EXISTING MUNICIPAL BUILDING, RENOVATIONS TO THE EXISTING BUILDING AND THE CONSTRUCTION OF ASSOCIATED PAVEMENT AND UTILITIES.

46425 TYLER ROAD (PARCEL ID NUMBER 83-061-99-0006-000). THE SITE IS LOCATED EAST OF QUIRK ROAD AND SOUTH OF TYLER ROAD.

Director Power presented his staff review letter dated 3-7-22. The site plan review is for a proposed 13,446 square foot renovation and building addition totaling 21,763 square feet (16,411 square foot first floor addition and 5,352 square foot mezzanine addition) for the purpose of providing a Community Center and site upgrades at the Van Buren Township Hall administrative campus. In addition to extensive programming (indoor and outdoor activities), the improvements will include a performance plaza, a fitness patio, additional parking, walkways and landscaping. The site is zoned OT, Office Technology and the lot is approximately 14.5 acres in area. Director Power displayed color renderings of the building addition and parking area, the exterior façade consists of metal panel, brick and glass. The items included in Director Power's staff review letter are minor in nature and can be addressed with final site plan adjustments as the project proceeds through engineering and final site plan review and through the creation of "Issued for Construction" drawings. Director Power recommends conditional approval of the plan dated 2-25-22, subject to the following conditions:

- A written statement regarding a public safety need should be provided to justify the closure of access between the site's visitor and employee (public safety and general municipal employee) parking must be provided.

- I recommend the Planning Commission to approve the site's access configuration based on the presented site programming data and on the condition of receiving this written public safety justification.
- A designated snow storage area must be provided in coordination with the Township Department of Building and Grounds.
- The Planning Commission should modify the greenbelt along the east lot line from 20' to approximately 4' 9" as noted.
- The length of Type B perimeter in the Affected Area must be listed.
- The Planning Commission should modify the standard requirement of Section 10.103 (E)(b) to enable three shrubs per tree in place of trees along the required Type B greenbelt perimeter.
- The required number of deciduous or evergreen ("large") trees and ornamental trees related to building foundation landscaping must be reversed to show sixteen (16) required evergreen and deciduous trees and seven (7) ornamental trees and the species must be reflected in the final plant list.
- Staff should be enabled to work with the applicant to provide appropriate landscaping credit for trees which do not meet the minimum standards for plant materials.
- A detail of the proposed gate must be shown.
- I recommend that the Planning Commission should review the plans for consistency with the requirements of Section 3.114(F) of the Van Buren Township Zoning Ordinance as it pertains to building architecture and approve the plans as presented.

David Potter of Fishbeck Associates presented his review letter dated 3-3-22, highlighting Storm Sewer comment number 2:

- Calculations for the design of the storm sewer system must be provided in accordance with the Township Design Standard Manual as part of the Engineering Plan. The maximum allowable discharge in the Township for detention basins is 0.1 cubic feet per second (cfs)/acre.

Fishbeck Associates recommends the applicant move forward in the Township approval process, subject to the applicant determining the proper course of action for the comments in the review letter.

Director Power presented the Fire Department review letter dated 3-1-22. The parking lot on the eastern side of the complex that leads to the baseball diamond has a dead end that exceeds 150 feet. Dead-end fire department access roads in excess of 150 feet in length shall be provided with approved provisions for the fire apparatus to turn around. Director Power informed that the Fire Chief and Fire Marshal are willing to modify.

Applicant, Stephen Gedert provided a PowerPoint presentation providing an overview of the design of the Community Center. Mr. Gedert displayed the overall site plan overlaid on a Google map to display the area of the renovation with the new gymnasium and fitness addition. On the outside there will be a performance plaza for outdoor concerts, movies and other events. The applicant is proposing an outdoor fitness patio to be used by staff for outdoor yoga and exercise classes. A new entrance for the Community Center has been designed for the east side of the

building. The parking area and side walk will be extended to Quirk Park. The Police and Employee parking lot area is closed off to the public, with access along Quirk Road, a 5 foot high decorative fence with a security gate entrance to the parking area. The renovated area of the building will have a new lobby, control desk, community center offices and Black Box Theater. Across from the administrative offices are restrooms and locker rooms, a multi-purpose party room and renovated senior area. Also included in the renovation/addition are new seating areas, a play room, an additional multi-purpose party room, fitness area/exercise room, new gymnasium with a high school sized basketball court or 2 junior high sized courts with pickle ball and volleyball layouts. The gymnasium will have a stair access to the mezzanine floor which has a walking track. Mr. Gedert displayed color renderings of the exterior of the building, a sample of the brick for the exterior façade and was available to answer any questions.

Commissioners had the following questions and comments:

- Very nice-looking addition to the building. With regard to Section 3.114(F) flat roofs being discouraged, since this is an addition to the building with an existing flat roof, feel it is an acceptable look.
- Commissioner thanked Director Renaud, Executive Assistant Dohring and the architects for their hard work.
- What is the Black Box Theater? It is a theater room that can be used for any type of performance, it does not have a fixed stage and can hold seating for up to 150 people. The room will have bleacher type seating that comes out from the wall.
- In reducing the greenbelt buffering, do we have the ability to make the modification if the intent is keeping the buffering with screening? Yes.
- Commissioner agrees with screening, the flat roof and loves the design of the building.
- Commissioner inquired about the written statement for public safety. Director Power informed that if the Planning Commission needs more information, they can reach out to the department.
- Commissioners agreed to the fence around the public safety and employee parking areas.

No comments from the audience or remote viewers.

Motion Jahr, Barr second to grant the applicant, Stephen J. Gedert on behalf of owner Van Buren Charter Township preliminary site plan approval for 13,446 square feet of renovations and a 16,411 square foot gymnasium addition adjacent to the existing municipal building, renovations to the existing building and the construction of associated pavements and utilities, based on the analysis and subject to the conditions in the Fishbeck Associates review letter dated 3-3-22, Fire Department review letter dated 3-1-22 and Director Power's revised staff review letter dated 3-7-22.

Roll Call:

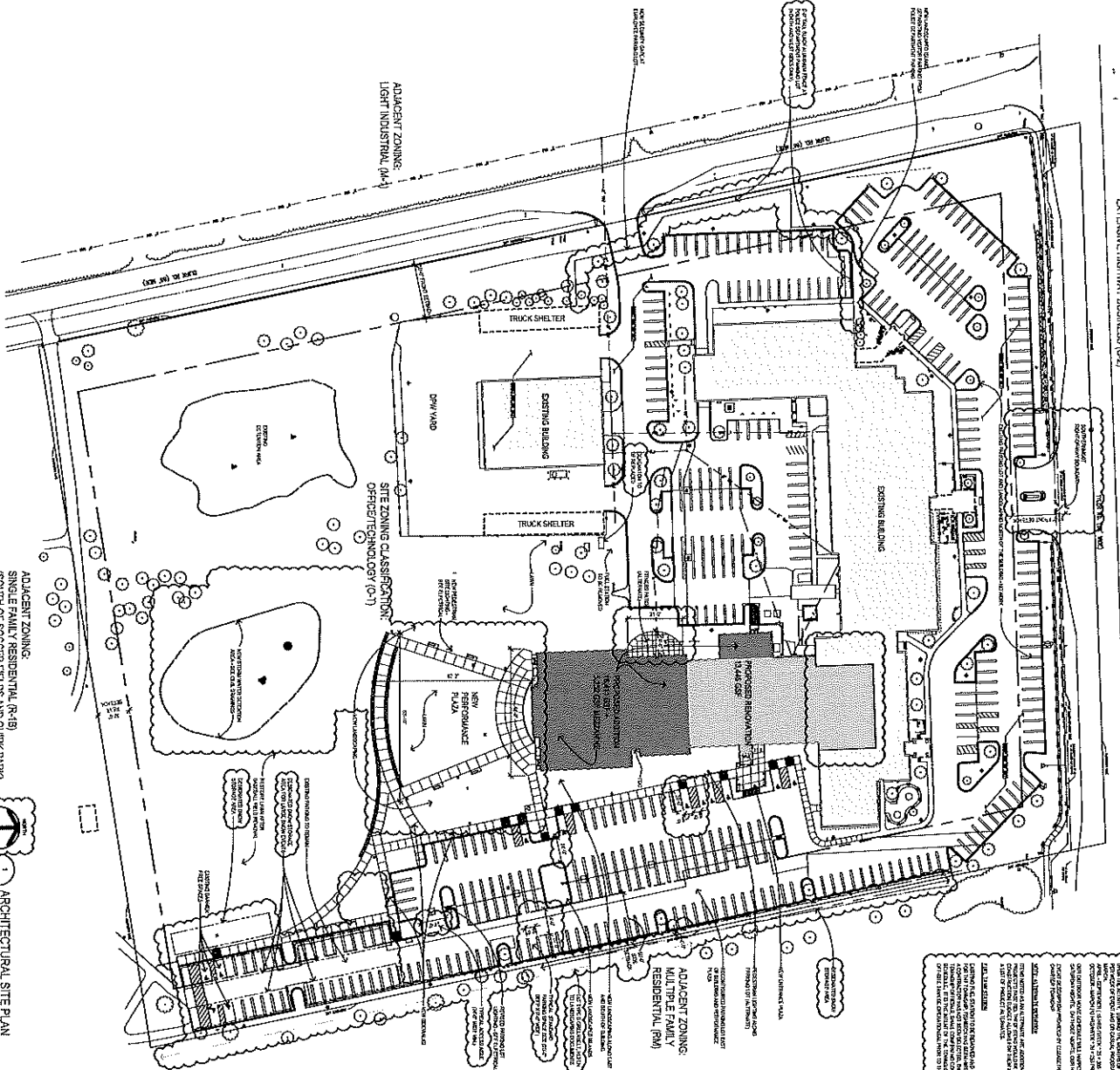
Yeas: Budd, Barr, Jahr and Kelley.

Nays: None.

Excused: Atchinson, Cullin and Garrett.

Motion Carried. (Letters Attached)

ADJACENT ZONING:
OFFICE/TECHNOLOGY (O-1) &
EXTENSIVE HIGHWAY BUSINESS (C-2)

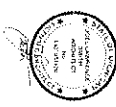


NOTES:
1. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
2. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
3. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
4. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
5. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
6. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
7. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
8. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
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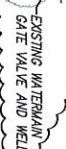
Van Buren Charter Township -
Community Recreation Center Addition and Renovation
Van Buren Charter Township, Michigan



SPA Revision 1 04-05-22
DD Revision 1 02-25-22
Site Plan Approval 03-03-22
Design Development 02-03-22
BHJ
EJH
JLS
2018074
2018074
ARCHITECTURAL
SITE PLAN

Sheet
AST01





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**Van Buren Charter
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Center Addition and
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905 South Blvd. E.
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SPALDING
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905 South Blvd. East
Rochester Hills, MI 48307
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SPA Revision 1	04-05-2022
Site Plan Approval (R1)	02-25-2022
Design Development	02-02-2022
Site Plan Approval	02-02-2022
SD Estimate	11-04-2021
Schematic Design	10-05-2021

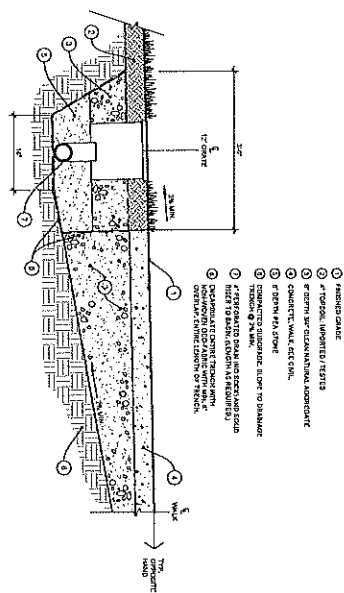
Design ☒ Preliminary ☐ Construction
 JS ☐ Construction ☐ Record
 Checked ☐ Record
 TS
 Approved
 TS
 Do not scale
 Use figured
 dimensions only
 Backup Number

2019074 SD Job No. NP21-092
Title
GENERAL PAVING AND
LAYOUT PLAN

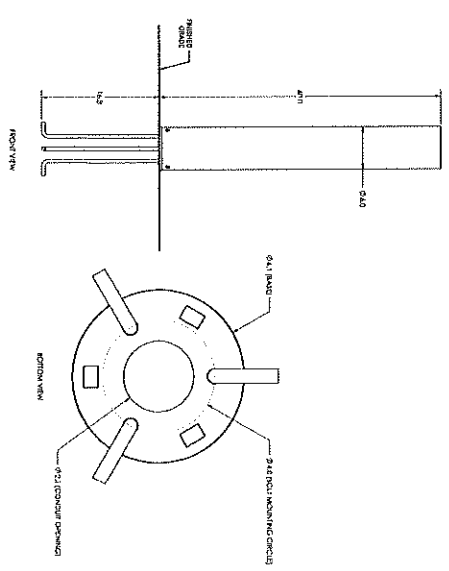
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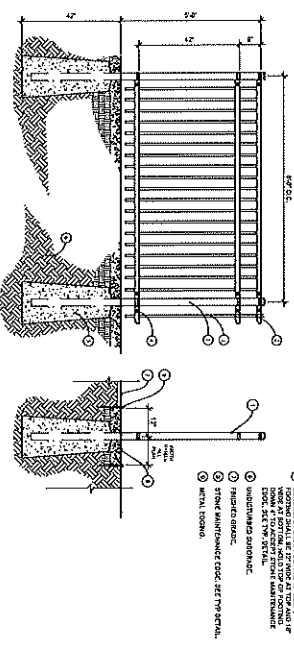
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4 STORM UNDERDRAIN CROSS SECTION
SCALE: 1" = 1'-0"



2 BOLLARD
SCALE: 1/8" = 1'-0"



1 6' TALL FENCE WITH MAJESTIC TOP
SCALE: 1/8" = 1'-0"

WET TO MESIC MIX:

ITEM	DESCRIPTION	QUANTITY
1	6" x 12" x 1/2" Plywood	100
2	4" x 8" x 1/2" Plywood	50
3	2" x 4" x 1/2" Plywood	20
4	1" x 6" x 1/2" Plywood	10
5	1/2" x 8" x 1/2" Plywood	5
6	1/4" x 12" x 1/2" Plywood	2
7	1/8" x 12" x 1/2" Plywood	1
8	1/4" x 8" x 1/2" Plywood	1
9	1/8" x 8" x 1/2" Plywood	1
10	1/4" x 4" x 1/2" Plywood	1
11	1/8" x 4" x 1/2" Plywood	1
12	1/4" x 2" x 1/2" Plywood	1
13	1/8" x 2" x 1/2" Plywood	1
14	1/4" x 1" x 1/2" Plywood	1
15	1/8" x 1" x 1/2" Plywood	1
16	1/4" x 1/2" x 1/2" Plywood	1
17	1/8" x 1/2" x 1/2" Plywood	1
18	1/4" x 1/4" x 1/2" Plywood	1
19	1/8" x 1/4" x 1/2" Plywood	1
20	1/4" x 1/8" x 1/2" Plywood	1
21	1/8" x 1/8" x 1/2" Plywood	1
22	1/4" x 1/16" x 1/2" Plywood	1
23	1/8" x 1/16" x 1/2" Plywood	1
24	1/4" x 1/32" x 1/2" Plywood	1
25	1/8" x 1/32" x 1/2" Plywood	1
26	1/4" x 1/64" x 1/2" Plywood	1
27	1/8" x 1/64" x 1/2" Plywood	1
28	1/4" x 1/128" x 1/2" Plywood	1
29	1/8" x 1/128" x 1/2" Plywood	1
30	1/4" x 1/256" x 1/2" Plywood	1
31	1/8" x 1/256" x 1/2" Plywood	1
32	1/4" x 1/512" x 1/2" Plywood	1
33	1/8" x 1/512" x 1/2" Plywood	1
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35	1/8" x 1/1024" x 1/2" Plywood	1
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37	1/8" x 1/2048" x 1/2" Plywood	1
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39	1/8" x 1/4096" x 1/2" Plywood	1
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43	1/8" x 1/16384" x 1/2" Plywood	1
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45	1/8" x 1/32768" x 1/2" Plywood	1
46	1/4" x 1/65536" x 1/2" Plywood	1
47	1/8" x 1/65536" x 1/2" Plywood	1
48	1/4" x 1/131072" x 1/2" Plywood	1
49	1/8" x 1/131072" x 1/2" Plywood	1
50	1/4" x 1/262144" x 1/2" Plywood	1
51	1/8" x 1/262144" x 1/2" Plywood	1
52	1/4" x 1/524288" x 1/2" Plywood	1
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54	1/4" x 1/1048576" x 1/2" Plywood	1
55	1/8" x 1/1048576" x 1/2" Plywood	1
56	1/4" x 1/2097152" x 1/2" Plywood	1
57	1/8" x 1/2097152" x 1/2" Plywood	1
58	1/4" x 1/4194304" x 1/2" Plywood	1
59	1/8" x 1/4194304" x 1/2" Plywood	1
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61	1/8" x 1/8388608" x 1/2" Plywood	1
62	1/4" x 1/16777216" x 1/2" Plywood	1
63	1/8" x 1/16777216" x 1/2" Plywood	1
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66	1/4" x 1/67108864" x 1/2" Plywood	1
67	1/8" x 1/67108864" x 1/2" Plywood	1
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70	1/4" x 1/268435456" x 1/2" Plywood	1
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207	1/8" x 1/79228162514264337593543950336" x 1/2" Plywood	1
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223	1/8" x 1/20282409603651670423947251286016" x 1/2" Plywood	1
224	1/4" x 1/40564819207303340847894502572032" x 1/2" Plywood	1
225	1/8" x 1/40564819207303340847894502572032" x 1/2" Plywood	1
226	1/4" x 1/811296	

NOTES:
1. See page 10 for standard over-sight area as shown in the landscape plan. Guard to be covered with
2. See page 10 for standard over-sight area as shown in the landscape plan. Guard to be covered with
3. See page 10 for standard over-sight area as shown in the landscape plan. Guard to be covered with



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Berkeley, CA 94704

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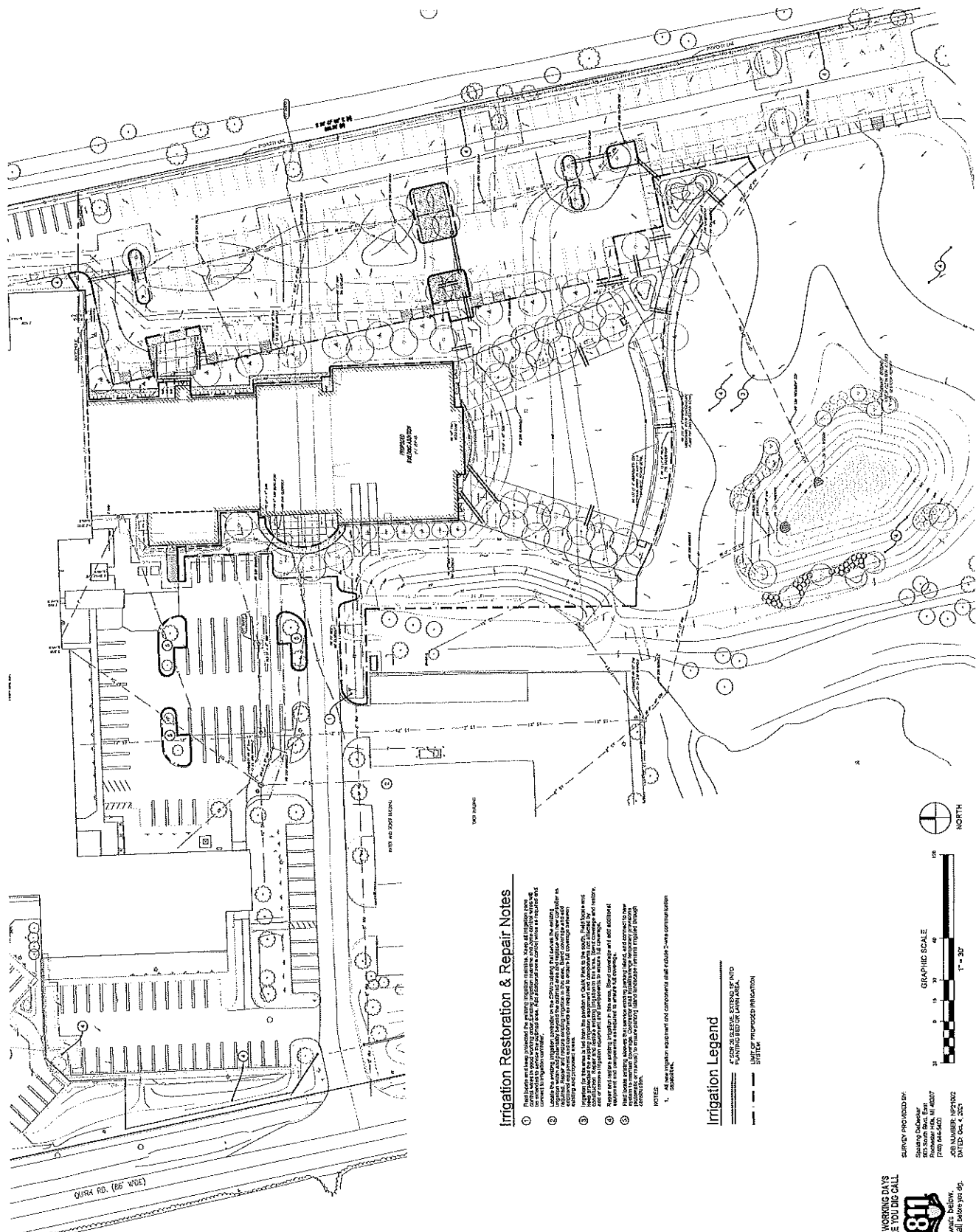
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Irrigation Restoration & Repair Notes

1. Field notes were taken during the existing irrigation system. Scope of irrigation work was determined by field notes and site inspection. All irrigation work was completed on or before the date of the final report. All irrigation work was completed on or before the date of the final report.
2. Locate the existing irrigation system in the center of the building. The existing irrigation system was located by field notes and site inspection. All irrigation work was completed on or before the date of the final report. All irrigation work was completed on or before the date of the final report.
3. Irrigation for the area is to be done in the center of the building. The existing irrigation system was located by field notes and site inspection. All irrigation work was completed on or before the date of the final report. All irrigation work was completed on or before the date of the final report.
4. Repair and replace existing irrigation in this area. Street coverage and all additional irrigation components are included in this area. Street coverage and all additional irrigation components are included in this area. Street coverage and all additional irrigation components are included in this area.
5. Repair and replace existing irrigation in this area. Street coverage and all additional irrigation components are included in this area. Street coverage and all additional irrigation components are included in this area. Street coverage and all additional irrigation components are included in this area.

NOTES:
1. All new irrigation equipment and components shall include 2-way communication capability.

Irrigation Legend

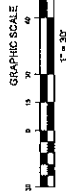
- EXISTING IRRIGATION SYSTEM
- NEW IRRIGATION SYSTEM
- LIMIT OF PROPOSED IRRIGATION SYSTEM

811 WORKING DAYS BEFORE YOU DIG CALL



Now what? Below. Call before you dig.

SURVEY PROVIDED BY:
Squire & Squire
300 South Main, East
Ann Arbor, MI 48107
PH: 616-444-4400
FAX: 616-444-4400
DATED: Oct. 4, 2021



RUSSELL DESIGN
LANDSCAPE ARCHITECTURE
DESIGN • PLANNING
1100 North Main Street • Ann Arbor, MI 48107 • 734.763.1111

Continuum Recreation Center
1100 North Main Street, Ann Arbor, MI 48107

MASSIMO S. S. ARCHITECTURE
400 Columbia, Columbus, Ohio, 43081
Sculpture, MI 48014

11.4.21 FOR SD ESTIMATE
11.15.21 REV. P. 1.1.1
11.15.21 DESIGN DEVELOPMENT
11.15.21 SITE PLAN APPROVAL
11.15.21 SITE PLAN APPROVAL
11.15.21 SITE PLAN APPROVAL

Overall Irrigation Concept
11.15.21

IR-1

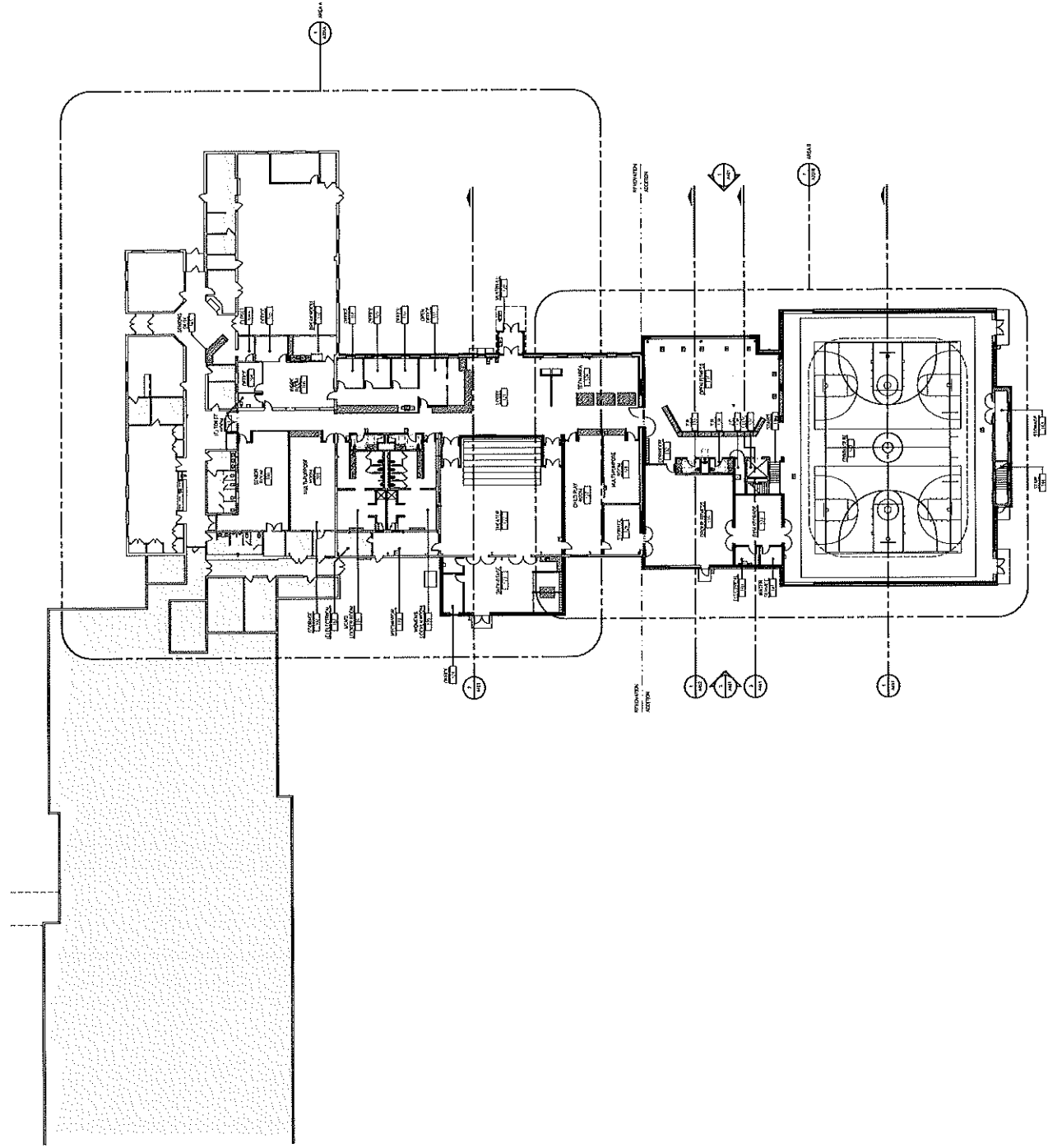
FLOOR PLAN LEGEND

GENERAL NOTES:

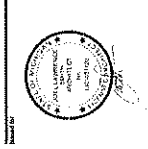
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2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN MECHANICAL, ELECTRICAL, AND PLUMBING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN FIRE, SAFETY, AND LIFE SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN ENERGY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN ACCESSIBILITY CODE AND ALL APPLICABLE LOCAL ORDINANCES.

SYMBOL LEGEND:

EXISTING WALL	NEW WALL	EXISTING DOOR	NEW DOOR	EXISTING WINDOW	NEW WINDOW
EXISTING FLOOR	NEW FLOOR	EXISTING CEILING	NEW CEILING	EXISTING ROOF	NEW ROOF
EXISTING MECHANICAL	NEW MECHANICAL	EXISTING ELECTRICAL	NEW ELECTRICAL	EXISTING PLUMBING	NEW PLUMBING
EXISTING FIRE	NEW FIRE	EXISTING SAFETY	NEW SAFETY	EXISTING LIFE SAFETY	NEW LIFE SAFETY
EXISTING ENERGY	NEW ENERGY	EXISTING ACCESSIBILITY	NEW ACCESSIBILITY	EXISTING OTHER	NEW OTHER



COMPOSITE FIRST FLOOR PLAN
1. SCALE 1/8" = 1'-0"
2. SCALE 1/4" = 1'-0"
3. SCALE 1/2" = 1'-0"
4. SCALE 3/4" = 1'-0"
5. SCALE 1" = 1'-0"



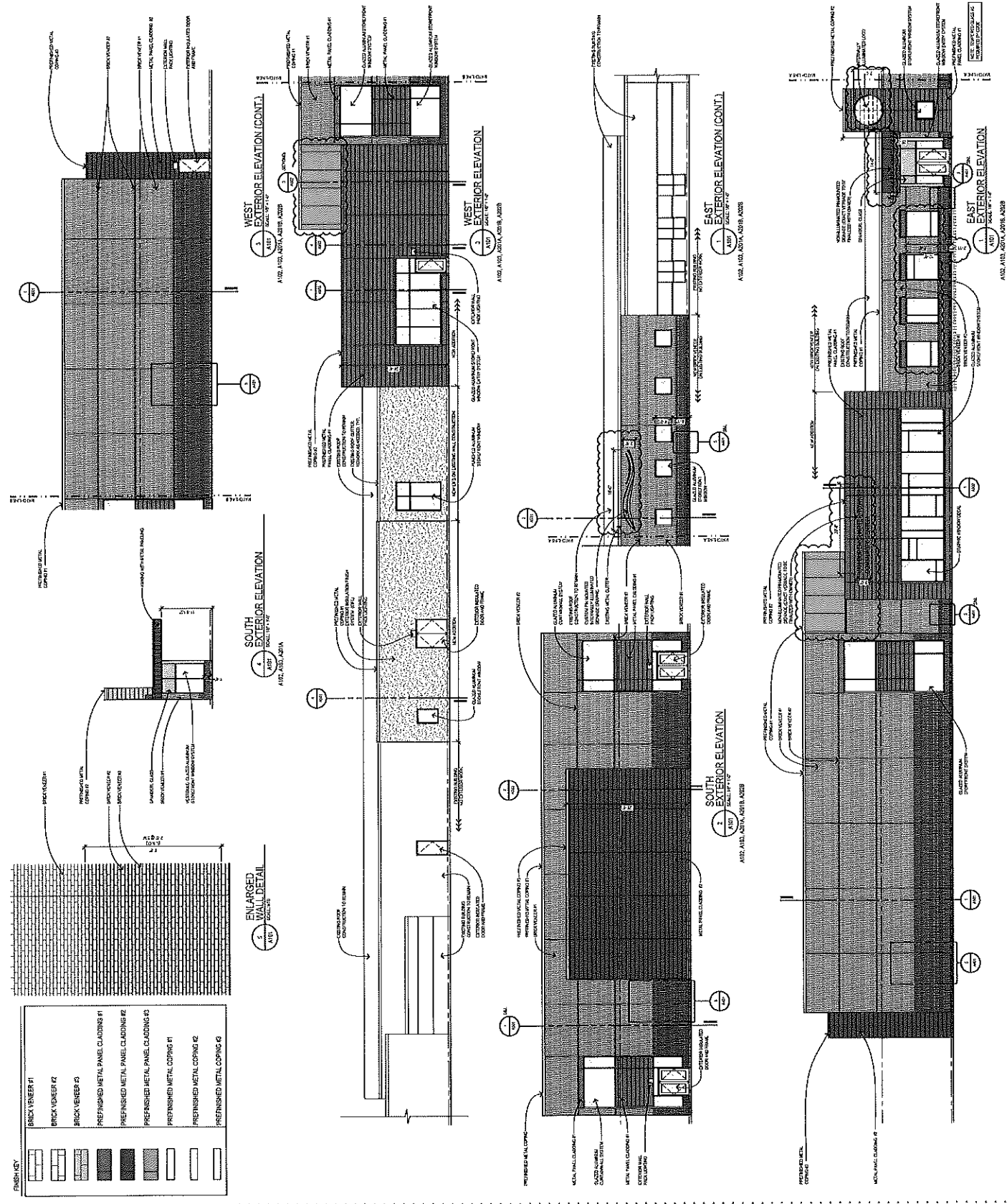
SPA Revision 1 04-05-22
DO Revision 1 02-05-22
Site Plan Approval 02-02-22
Design Development 02-02-22
Schematic Design 10-05-2021

Owner: Charter Township of Van Buren
Architect: Neumann Smith
S.D.O.: [blank]
Approved: [blank]
Date: [blank]
Scale: [blank]
Sheet: [blank]

2019074
COMPOSITE FIRST FLOOR PLAN

Sheet A-101

FLOOR PLAN LEGEND	
GENERAL EXPLANATORY NOTE:	
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.	
2. ALL WALLS ARE TO BE CONSTRUCTED WITH 8" CMU UNLESS NOTED OTHERWISE.	
3. ALL ROOFING IS TO BE AS SHOWN UNLESS NOTED OTHERWISE.	
4. ALL WALLS ARE TO BE FINISHED WITH 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.	
SYMBOL LEGEND:	
	8" CMU WALL
	4" CMU WALL
	2" CMU WALL
	1" CMU WALL
	1/2" CMU WALL
	1/4" CMU WALL
	1/8" CMU WALL
	1/16" CMU WALL
	1/32" CMU WALL
	1/64" CMU WALL
	1/128" CMU WALL
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MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Consideration of Public Hearing date for Sumpter Road Corridor Plan
DATE: April 22, 2022

Planning Commissioners:

A full draft of the Sumpter Road Corridor Plan ("the Plan") dated February 4, 2022 is currently under a 42-day public review period required under State law. The Plan is the basis for Zoning Ordinance amendments being drafted to implement the Plan's policies. The set of Zoning Ordinance amendments spurred by the Plan will have an ongoing review process through work sessions with the Planning Commission and will have its own separate public hearing. The draft Plan lays a broad foundation for the vision for the Sumpter Road Corridor and its future land use. At the regular meeting on April 13, 2022, the Planning Commission postponed setting a public hearing date while Zoning Ordinance changes are ongoing.

To date, the proposed changes to the Plan document being considered are minor in nature and do not fundamentally alter the future land use recommendations. For the Planning Commission's benefit, I am attaching a tracking list of possible changes to the overall draft of the Sumpter Road Corridor Plan dated February 4, 2022. At the discretion of the Planning Commission, the public hearing date for the draft Sumpter Road Corridor Plan can be set as early as May 25th. Minor changes may be made to the Plan following the public hearing and prior to a recommendation for Plan adoption. The Plan must be adopted prior to the adoption of the Sumpter Road Zoning Ordinance amendments. The Planning Commission may also choose to postpone the public hearing for the Plan to a later date.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written over a light blue horizontal line.

Dan Power, AICP
Planning and Economic Development Director
Charter Township of Van Buren Public Services Department

CC: Vidya Krishnan, McKenna Associates – Van Buren Township Planning Consultant

Draft Sumpter Road Corridor Plan – Revised February 4, 2022

Pending Revisions at time of Draft Release (April 22, 2022)

- Font consistency throughout document's body text.
- Throughout, references to "Primary" lots. These are called "Frontage" lots.
- Page 5: This image is of Fire Station 1, not 2
- Page 19: Remove reference to Cultivate Coffee and Tap House (business is closed)
- Renderings on pages 22-25 to be updated. Consider use of a different location as a basis for the image in page 24 rendering, as the current reference location is Belle Park Plaza in the City of Belleville.
- Page 23: Workshop to also be identified as special land use
- Page 30: Use dashed lines for "potential" road extensions
- Page 31: Remove "rural settlement" as a type of lot in the Regulating Plan map.
- Other minor corrections pending feedback during review period.
- Re-label all "Landlocked" lots as "Secondary" or "Rear" lots.



MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Discussion of Zoning Ordinance Text Amendments: Gasoline Filling and Service Stations
DATE: April 22, 2022

Planning Commissioners:

The Van Buren Township Zoning Ordinance currently permits the following uses in a variety of zoning districts as uses permitted by right:

- **GASOLINE FILLING STATION:** A place for the dispensing, sale, or offering for sale of motor fuels directly to users of motor vehicles, together with the retail sale of minor accessories, but not including any automotive service repair. **Permitted by right in C-1, C-2, and FS districts.**
- **GASOLINE SERVICE STATION:** A place for the dispensing, sale, or offering for sale of motor fuels directly to users of motor vehicles, together with the retail sale of minor accessories and Minor Vehicle Service, but not Major Vehicle Services. (see also definitions of "Vehicle Service, Major" and "Vehicle Service, Minor") **Permitted by right in FS district.**

At the regular meeting on February 9, 2022, we asked the Planning Commission to consider allowing the exploration of proposed amendments to Article 3 (Zoning Districts and Permitted Uses) regarding the categorization of gasoline filling and service stations. The Planning Commission advised staff to explore a potential amendment to the Zoning Ordinance to regulate gasoline filling and service stations as special land uses and also to explore possible applications for electric vehicle (EV) charging stations. Based on this feedback, the Planning Consultant has provided draft Zoning Ordinance amendment language in her letter dated March 11, 2022. We will look forward to continuing the discussion of this potential Zoning Ordinance amendment.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written over a light blue horizontal line.

Dan Power, AICP
Planning and Economic Development Director

Charter Township of Van Buren Public Services Department

CC: Vidya Krishnan, McKenna Associates – Van Buren Township Planning Consultant



MCKENNA

March 11, 2022

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: Automobile filling stations

Dear Commissioners:

A few weeks ago Township Staff discussed with the Planning Commission, uses permitted in the various commercial and industrial zoning districts, specifically a question regarding how gasoline filling stations were classified by the township Zoning Ordinance.

The ordinance currently allows the use as a principal permitted use in the C-1 (Local Business), C-2 (Extensive Highway Business) and FS (Freeway service) districts. There are no specific site design standards governing the use either. Per your request, we reviewed zoning ordinances in other municipalities to see how the use is classified. The municipalities chosen were based on their location with a major arterial, freeway or trunkline traversing through it such as I-275, I-94, I-96, US-24, US-23, US-12 etc., which are generally seen with a lot of filling stations. Based on our review, Van Buren Township is the only municipality that permits gas stations as a principal use, with the exception in the City of Novi. Gasoline fillings stations are considered as a use that requires placement consideration because of concerns related to access, circulation, fire hazard, odor, hours of operation etc.

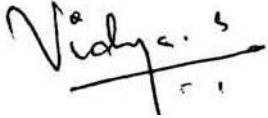
The Planning Commission unanimously directed the Township Staff to prepare and amendment to re-classify the use appropriately. Based on Planning Commission feedback, we have revised the zoning Ordinance as follows:

ZONING ORDINANCE CHANGES

1. §3.111. C-1, General Business District, sub-section (B) Permitted Uses; move *gasoline filling stations* to sub-section (C) Special Land Uses.
2. §3.111. C-2, Extensive Highway Business District, making change to C-1 district will automatically move gasoline filling stations from sub-section (B) Permitted Uses to sub-section (C) Special Land Uses.
3. §3.113. FS, Freeway Service District, sub-section (B) Permitted Uses; move *gasoline filling stations* to sub-section (C) Special Land Uses.
4. Create new Section 5.144. Gasoline or Automobile Filling Stations under Article 5. Development Standards for Specific Uses.
5. Include EV (electric vehicle) charging stations.

The item is on the Planning Commission's agenda for discussion. If satisfied, the Planning Commission can schedule a public hearing for the ordinance and make any changes, prior to making a recommendation to Township Board of Trustees. We will be present at the Planning Commission meeting to answer any questions and concerns.

Respectfully,
McKENNA

A handwritten signature in black ink, appearing to read "Vidya Krishnan", with a horizontal line drawn across the middle of the signature.

Vidya Krishnan
Senior Principal Planner

Cc: Dan Power, Director of Planning and Economic Development

Section 5.144 Gasoline or Automobile Filling Stations

- (1) **Minimum lot area and width:** There is no minimum lot area and width requirement; however, sites are required to comply with all setback, landscaping greenbelt and parking requirements as established in the Ordinance.
- (2) **Front yard setback** measured from any right-of-way line:
Canopy: 40 feet.
Pump and/or pump island: 50 feet.
Building: 85 feet.
- (3) **Side or rear yard setback:**
Canopy: 30 feet.
Pump and/or pump island: 40 feet.
Building: 30 feet.
- (4) **Side or rear yard setback abutting residential zoned property:**
Canopy: 40 feet.
Pump and/or pump island: 50 feet.
Building: 40 feet.
- (5) **Ingress and egress.** The following requirements shall be applicable for ingress and egress:
 - (a) Ingress and egress drives shall be a minimum of 30 feet and a maximum of 36 feet in width. Curb radii shall be adequate to accommodate the turning radii of delivery trucks. There shall be a clear unobstructed driveway area provided to the loading area which is not in conflict with other vehicular patterns on the site.
 - (b) No more than one such drive or curb opening shall be permitted for every 75 feet of frontage (or fraction thereof) along any street. The nearest edge of any such drive shall be located at least 25 feet from the nearest point of any property zoned or used for residential purposes.
 - (c) Ingress and egress for drives shall be designated and located in a manner that does not create a safety hazard or traffic nuisance because of its location in relation to other ingress and egress drives, its location in relation to the traffic generated by other buildings or uses, its location near a vehicular or pedestrian entrances or crossings, or similar concerns.
 - (d) Driveway design and placement must be in harmony with internal circulation and parking design such that the entrance can absorb the maximum rate of inbound traffic during a normal peak traffic period.
 - (e) There must be sufficient on-site storage to accommodate at least two queued vehicles waiting to enter or exit without using a portion of the public right-of-way obstructing existing vehicle sight distance, or otherwise interfering with street traffic.
 - (f) Provisions for circulation between adjacent parcels are required when possible through coordinated or joint parking systems.

- (g) Driveways shall be designed to accommodate all vehicle types having occasion to enter and exit the site, including delivery and refueling vehicles. There shall be clear delineation and/or separation, where appropriate, of entry and exit lanes within driveways.
- (h) Loading and unloading and refueling activities shall not hinder vehicle ingress or egress.
- (6) **Driveway spacing.** Driveway spacing will be determined as a function of operating speeds of the adjacent public road. Spacing will be determined according to the following minimum standards or to standards adopted by the appropriate governing road jurisdiction, whichever is more stringent:

Speed Limits (mph)	Minimum Spacing (feet)
25	105
30	125
35	150
40	185
45	230

Spacing is based on average vehicle acceleration and deceleration rates and is considered necessary to maintain safe traffic operation. Spacing will be measured from the midpoint of each driveway. In the event that a particular parcel or parcels lack sufficient road frontage to maintain adequate spacing, the applicant shall have one of two options:

- (a) A modification from minimum spacing can be sought from the planning commission, but in no case can the variance be greater than that which is necessary to provide safe and efficient access to the site.
- (b) The adjacent landowners may agree to establish a common driveway. In such cases, the driveway midpoint shall be the property line between the two parcels and shall meet standard specifications. The township may require maintenance agreements between owners of a common driveway to cover such issues as snow plowing, resurfacing liability, etc.
- (7) **Number of driveways:** A maximum of one two-way driveway opening or a pair of one-way driveway openings shall be permitted to a particular site from each adjacent public road. Based on the recommendation of the appropriate governing road jurisdiction and/or the township engineer, that an additional driveway is in the interest of good traffic operation, the planning commission may permit one additional driveway entrance along a continuous site with frontage in excess of 300 feet or two additional driveway entrances along a continuous site with frontage in excess of 600 feet. Common driveways shall be considered to be one driveway.
- (8) **Pumps.** All gasoline pumps shall be arranged so that motor vehicles do not park on or extend over abutting landscaped areas, sidewalks, streets, buildings, or adjoining property while being served.

- (9) **Off-street parking and loading.** Required off-street parking for automobile filling multiuse stations offering additional services shall be provided in accordance with the standards set forth in section 9.102 and shall be computed on the basis of each separate use as set forth in the schedule of off-street parking.
- (10) **Canopy structure.** Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building and the overlay district in which it is located in, if any. Support columns of any proposed canopy structure shall be covered with brick to match the principal building. Required fire protection devices under the canopy shall be architecturally screened so that the tanks are not directly visible from the street. The screens shall be compatible with the design and color of the canopy.
- (12) **Fueling operations.** Fueling operations designed to accommodate tractor trailer trucks shall be prohibited except on sites adjacent to an interstate freeway.
- (13) **Pedestrian circulation.**
- (a) Automobile filling/mixed use stations shall be designed in a manner which promotes pedestrian and vehicular safety.
 - (b) The parking and circulation system within each development shall accommodate the safe movement of vehicles, bicycles, pedestrians and refueling activities throughout the proposed development and to and from surrounding areas in a safe and convenient manner.
 - (c) Pedestrian walkway patterns shall be considered as an integral component of site design and shall be located to connect areas or points of pedestrian origin and destination. Where it is necessary for the pedestrian access to cross drive aisles, crossings shall emphasize and place priority on pedestrian access and safety. The pedestrian crossings must be well-marked and clearly visible, using pavement treatments, signs, striping, signals, and lighting.
 - (d) Clear identification and delineation between the drive-thru facility and parking lot shall be provided. Drive-thru facilities shall be designed in a manner which promotes pedestrian and vehicular safety, and do not interfere with access to parking and maneuvering lanes.
- (14) **Signs.** All signage installed on the site, including the canopy and pumps shall comply with the regulations set forth in Article 11 of this ordinance.
- (15) **EV Stations.** Electric Vehicle (EV) charging stations shall not be separately regulated. EV charging spaces can be accommodated in any regular parking spaces provided such charging station does not obstruct pedestrian or vehicular circulation on the site.