

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, January 13, 2021 – 7:30 PM
REMOTE MEETING –AGENDA**

To reduce the spread of COVID-19, protect the public health, and provide essential protections to Van Buren Township residents; this Van Buren Township's scheduled regular Planning Commission meeting will be conducted remotely.

- Join by weblink: <https://zoom.us/j/91084345703>
- Or dial in by phone: 1 312 626 6799
- Webinar ID: 910 8434 5703

For instructions on [how to join a Zoom meeting, make a public comment, ADA information, and virtual meeting compliance from the State please click here](#).

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of December 9, 2020.

CORRESPONDENCE:

PUBLIC HEARING:

NEW BUSINESS:

ITEM # 1: CASE 20-022 – YANKEE AIR MUSEUM HANGARS SITE PLAN UPDATE

DESCRIPTION: STAFF WILL PROVIDE AN UPDATE ON AN ADMINISTRATIVELY APPROVED COMPLEX INCLUDING TWO (2) 15,000-SQ. FT. AIRCRAFT HANGARS AND A 12,000-SQ. FT. OFFICE AND SHOP SECTION ALONG WITH RELATED SITE IMPROVEMENTS.

LOCATION: 48075 TYLER ROAD. THE PROPERTY IS LOCATED AT THE END OF TYLER ROAD WEST OF BECK ROAD IN WILLOW RUN AIRPORT OF VAN BUREN TOWNSHIP.

ACTION ITEMS: A. Presentation by Township staff.

B. Planning Commission discussion and questions.

ITEM #2: ADAPTIVE OUTDOOR RETAIL AND DINING – RELAXATION OF CERTAIN REGULATIONS – 2021 EXTENSION

ACTION ITEMS: A. Presentation by Township staff.
 B. Consideration of recommendation by Planning Commission.

GENERAL DISCUSSION AND UPDATES

ITEM # 1: [2020 Planning Commission Annual Report and Development Map](#)

ITEM # 2:

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION - VIRTUAL MEETING ON ZOOM
December 9, 2020
MINUTES - DRAFT**

Prior to the start of the meeting, the public was given instructions on how to take part in the meeting.

Chairperson Thompson called the meeting to order at 7:32 p.m.

ROLL CALL:

Present: Franzoi, Jahr, Cullin, Kelley, Atchinson, Budd and Thompson.

Excused: None.

Staff: Director Power, Director Best and Secretary Harman.

Planning Representatives: McKenna Associate, Vidya Krishnan and Fishbeck Associate, Paul Kammer.

Applicant(s) in Attendance: Allen Dresselhouse and Dennis Schultz of Ashley Crossroads Distribution Center South, Paul Tulikangas, Project Engineer for Camping World and Craig Armstrong and Diane Reynolds of Elevatus Architecture.

Audience: Fifteen (15).

ELECTION OF OFFICERS:

Motion Budd, Jahr second to nominate Carol Thompson as Chairperson, Thompson accepted.

Roll Call:

Yeas: Kelley, Atchinson, Budd, Cullin, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

Motion Franzoi, Atchinson second to nominate Bryon Kelley as Vice Chairperson, Kelley Accepted.

Roll Call:

Yeas: Budd, Atchinson, Kelley, Cullin, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

Motion Budd, Franzoi second to nominate Jeff Jahr as Secretary, Jahr accepted.

Roll Call:

Yeas: Kelley, Atchinson, Budd, Cullin, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

Motion Kelley, Budd second to nominate Medina Atchinson as liaison to the BZA, Atchinson accepted.

Roll Call:

Yeas: Cullin, Kelley, Atchinson, Budd, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

Motion Budd, Kelley second to nominate Jeff Jahr, as an alternate liaison to the BZA, Jahr accepted.

Roll Call:

Yeas: Cullin, Kelley, Atchinson, Budd, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

APPROVAL OF AGENDA:

Motion Kelley, Atchinson second to approve the agenda of December 9, 2020 as presented.

Roll Call:

Yeas: Cullin, Kelley, Atchinson, Budd, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

APPROVAL OF MINUTES:

Motion Jahr, Budd second to approve the regular meeting minutes of November 11, 2020 as presented.

Roll Call:

Yeas: Franzoi, Jahr, Cullin, Kelley, Atchinson, Budd and Thompson.

Nays: None.

Absent: None.

Motion Carried.

NEW BUSINESS:

ITEM #1: 20-006 – ASHLEY CROSSROADS SOUTH TRAILER PARKING/STORAGE – FINAL SITE PLAN REVIEW.

APPLICANT, ASHLEY CROSSROADS DISTRIBUTION CENTER SOUTH LLC, PROPOSES TO CONSTRUCT A TRAILER PARKING LOT WHICH IS AN ACCESSORY

TO AN ADJACENT PRINCIPAL LIGHT INDUSTRIAL USE WHICH HAS FRONTAGE ON ECORSE ROAD.

THE SITE, PARCEL NUMBER 83-041-99-0001-002, IS WITHIN A 4.9-ACRE SITE LOCATED BETWEEN 41775 AND 41873 ECORSE ROAD, AND IS ZONED M-1 LIGHT INDUSTRIAL. THE SITE IS LOCATED ALONG ECORSE ROAD BETWEEN KIRKCRIDGE STREET AND HAGGERTY ROAD.

Allen Dresselhouse of Ashley Crossroads Distribution Center South LLC, gave the presentation. The applicant is requesting to construct a trailer parking lot with eighty-six (86) additional trailer parking spaces. The parking area will be fully paved, landscaped and irrigated all within the requirements set forth by the township. The applicant is seeking final site plan approval to get started on the project in the spring.

Director Power provided a brief overview of the site plan and displayed the existing site plan with the proposed site plan. The Planning Commission has reviewed the site plan, Wayne County Department of Public Services and the Van Buren Township engineering and planning final site plan approvals have been granted and there are no additional requirements from the Fire Department.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 12-2-20. All of the conditions of preliminary site plan approval have been met at this time. Therefore, McKenna Associates recommends the Planning Commission grant final site plan approval for the proposed Ashley Capital trailer parking project.

Paul Kammer of Fishbeck Associates presented his site plan review letter dated 11-13-20, recommending the Planning commission grant the Crossroads South Trailer Staging Project final site plan approval, based on the engineering review of the proposed site, subject to the comments in the review letter and in accordance with the Township's Engineering Standards manual. The applicant will be required to address the comments in the Issued for Construction Plan Set prior to the Preconstruction meeting being scheduled.

No comments from the Commission or the audience.

Motion Kelley, Jahr second to grant the applicant, Ashley Crossroads South Distribution Center LLC, final site plan approval to construct trailer parking and storage lot, located between 41775 and 41873 Ecorse Road, parcel number 83-041-99-0001-002, based on the analysis and subject to the findings in the McKenna review letter dated 12-2-20 and Fishbeck review letter dated 11-13-20.

Roll Call:

Yeas: Cullin, Kelley, Atchinson, Budd, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Letters Attached)

ITEM #2: 19-038 – CAMPING WORLD – FINAL SITE PLAN APPROVAL.

APPLICANT, DERRICK MATTER / CAMPING WORLD, IS SEEKING FINAL SITE PLAN APPROVAL TO DEMOLISH THE EAST WING OF THEIR EXISTING BUILDING AND CREATE NEW R.V. PARKING AND STORAGE ON THE SITE.

THE SITE IS LOCATED AT 43646 NORTH INTERSTATE SERVICE DRIVE (TAX PARCEL NUMBER 83-060-01-0001-001), ON THE NORTH SIDE OF I-94 SERVICE DRIVE, BETWEEN DEWITT AND MORTON TAYLOR ROADS.

Project Engineer, Paul Tulikangas gave the presentation. The project consists of a partial demolition of the eastern portion of the existing building, expansion, repaving and geometrical improvements to existing parking lot and substantial landscaping improvements throughout the site. The reconfigured parking lot includes new RV trailer parking and customer parking.

Director Power provided a brief overview and displayed the landscaping plan for the site. The Commission granted preliminary site plan approval at the June 24, 2020 meeting and recommended special land use to the Township Board of Trustees which was approved at their July 7, 2020 meeting. The applicant underwent review and approval by the Wayne County Department of Public Services and by the Van Buren Township Engineer and Principle Planner.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 11-19-20. All conditions of preliminary plan approval have been met at this time. Therefore, McKenna Associates recommends the Planning Commission grant final site plan approval for Camping World located at 43646 N. I-94 Service Drive.

Paul Kammer of Fishbeck Associates presented his site plan review letter dated 11-19-20, recommending the Planning Commission grant the Camping World project engineering and final site plan approval, based on the engineering review of the proposed site, subject to the comments in the review letter and in accordance with the Township's Engineering Standards manual. The applicant will be required to address the comments in the Issued for Construction Plan Set prior to the Preconstruction meeting being scheduled.

All conditions in the Fire Department review letter dated 2-5-20 are complete.

No comments from the Commission or the audience.

Motion Kelley, Jahr second to grant the applicant, Derrick Matter/Camping World, final site plan approval to demolish the east wing of their existing building and create new R.V. parking and storage on the site, located at 43646 North I-94 Service Drive, tax parcel number 83-060-01-0001-001, based on the analysis and subject to the findings in the McKenna review letter dated 11-19-20, Fishbeck review letter dated 11-19-20 and Fire Department review letter dated 2-5-20.

Roll Call:

Yeas: Budd, Atchinson, Kelley, Cullin, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Letters Attached)

ITEM #3: 20-033 – MEIJER INC. STORE ADDITION – PRELIMINARY AND FINAL SITE PLAN APPROVAL.

APPLICANT, ELEVATUS ARCHITECTURE, ON BEHALF OF OWNER MEIJER, INC. IS SEEKING PRELIMINARY AND FINAL SITE PLAN APPROVAL TO CONSTRUCT A 1,680 SQUARE FOOT ADDITION AND RELATED SITE IMPROVEMENTS.

THE SITE IS LOCATED AT 9701 BELLEVILLE ROAD (TAX PARCEL NUMBER 83-058-99-0006-705), ON THE SOUTH SIDE OF TYLER ROAD AND THE EAST SIDE OF BELLEVILLE ROAD.

Craig Armstrong of Elevatus Architecture gave the presentation. Meijer in response to Covid-19 is rolling out a digital online ordering program in which customers order online and drive to the store for curbside pickup. The 1,680 square foot addition is located on the southern side of the building, there will be a new exterior door facing toward the front parking lot where vehicles will be staged, signage will direct vehicles for pickup coming in along the south drive and heading north to keep traffic far away from the main entrance. There have been modifications to the landscape island to have a net zero impervious area increase and the addition was situated as to not be located over a grease interceptor. Storm drainage for the site will run toward the back of the building to a gutter and downspout system, tying into existing storm system under the building, all lines have been evaluated for the additional storm water and the sizes that are existing are sufficient. The applicant is seeking preliminary and final site plan approval to get the project going as quickly as possible.

Director Power provided a brief overview. Commercial uses exceeding 1,000 square feet in area require site plan review with the Planning Commission. Given the fact that this is a minor addition in the broader context of the large commercial retail site, the proposed use does not require an extensive planning review process. Based on this finding, the Planning Commission may exercise their ability to review the final site plan without first granting a preliminary site plan approval per Section 12.205 (A) (4) of the Zoning Ordinance.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 11-24-20, recommending the Planning Commission approve the preliminary and final site plan under the provisions of Section 12.205 (A) (4), subject to the following conditions:

1. Removal of solid curb line from south cross access drive.
2. Notation of width of the sidewalk connector on the site plan.
3. Addition of a note clarifying how the curbside pick-up will operated to prevent aisle blockage.
4. Replacement for the tree to be removed, if the tree is a regulated tree size.

5. Illumination plan for area around proposed addition and location and cut-sheet detail for proposed light fixtures, if any.
6. Façade renovations to comply with BROD architectural standards at a future date when the main building on the site is upgraded.

Paul Kammer of Fishbeck Associates presented his site plan review letter dated 12-2-20, recommending the Planning Commission grant Meijer, Inc. conditional final site plan approval based on the engineering review of the host site, subject to the applicant submitting an Issued for Construction set of plans that addressed the comments in the review letter and in accordance with the Township's Engineering Standards manual. After submittal of the Issued for Construction plans, the Township will review and issue a Letter of Conformance prior to holding a Preconstruction meeting.

The Fire Department review letter dated 12-3-20, approved the plans as submitted. The review does not include a fire protection or life safety analysis, these reviews will need to be completed at the time of building permit review.

Commissioners inquired if there is a gas meter on the wall of the building where the sidewalk is to the addition and is there any plan for screening. Yes, there is an existing gas meter on the wall, the applicant stayed clear of the meter for the addition. There are no plans for screening as the sidewalk is for employees only. Commissioners expressed concern with the storm sewer system and storm water being pumped back into the pond as there have been issues in the past. Paul Kammer of Fishbeck Associates is aware of the issues in the past and identified that the addition should not increase the amount of runoff to the pond. Mr. Armstrong informed the Commission and the audience that a large tree and brush were blocking one of the outlets to the pond, Meijer remedied this in September by having the tree and brush removed. Meijer will continue to work with the Township in the future if any issues arise. Mr. Armstrong also added that in reference the McKenna review letter, condition number 5 for illumination, there are two (2) existing wall pack lights on the building that should be sufficient to illuminate the sidewalk.

Motion Jahr, Atchinson second to grant preliminary and final site plan approval to the applicant, Elevatus Architecture on behalf of owner Meijer, Inc. to construct a 1,680 square foot addition and related site improvements, located at 9701 Belleville Road, tax parcel number 83-058-99-0006-705, subject to the conditions in the McKenna review letter dated 11-24-20, Fishbeck review letter dated 12-2-20 and Fire Inspector Lenaghan's review letter dated 12-3-20.

Roll Call:

Yeas: Kelley, Atchinson, Budd, Cullin, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Letters Attached)

ITEM #4: 20-030 – AVFLIGHT ADMINISTRATIVE SITE PLAN UPDATE.

STAFF WILL PROVIDE AN UPDATE ON AN ADMINISTRATIVELY APPROVE COMPLEX INCLUDING TWO (2) 14,938 SQUARE FOOT HANGARS, GARAGE AND FIXED BASE OPERATING (FBO) AREAS, AND SITE IMPROVEMENTS.

48193 A STREET. THE PROPERTY IS LOCATED AT THE END OF A STREET WEST OF BECK ROAD AND SOUTH OF ECORSE ROAD IN WILLOW RUN AIRPORT OF VAN BUREN TOWNSHIP.

Director Power gave a brief review of the airport project and explained the review process. The review is similar to public school projects in there are different areas of authority and governing agencies that have the final say over the zoning and civil design aspect of airport projects. The Wayne County Airport Authority (WCAA) is the governing authority for airport projects. In 2017, there was a comprehensive zoning update to form a partnership in collaboration with WCAA. The Township reviews the basics of permitted uses within the zoning district and provides a preliminary zoning review. The zoning review on the Township's end is done by staff and staff will keep the Planning Commission updated. Aflight is a private aviation company that is proposing to build hangars for aircraft and garage areas for the storage of aircraft. Director Power displayed renderings of the building and the civil site plan. There were no representatives available from Avflight for the meeting. Director Power will provide a more comprehensive update on the project next year.

ITEM #5: 2020 PLANNING COMMISSION ANNUAL REPORT AND DEVELOPMENT MAP.

Director Power gave a brief presentation of the 2020 Planning Commission Annual Report and spoke about highlights from the year. There were 9 public hearings, 4 preliminary site plan approvals, 3 final site plan approvals, 4 special land use approvals, 3 site plan amendments, 6 temporary land use approvals, 1 rezoning recommendation, 3 zoning text amendments and the Master Plan amendment. Commissioners were pleased with the report.

ITEM #6: 2021 PLANNING COMMISSION MEETING SCHEDULE.

Director Power presented the 2021 Planning Commission meeting schedule. Meetings are scheduled for the 2nd and 4th Wednesdays of the month at 7:30 p.m., except for the months of November and December which are the 2nd Wednesday only due to holidays. Director Power inquired with meetings being remote, if Commissioners would be interested in possibly changing to an earlier meeting time. The Commissioners have no problem with changing to an earlier meeting time, any changes will be further discussed in 2021.

Motion Jahr, Atchinson second to approve the 2021 Planning Commission meeting schedule.

Roll Call:

Yeas: Cullin, Kelley, Atchinson, Budd, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Meeting Schedule Attached)

GENERAL DISCUSSION:

ITEM #1: RECOGNITION OF COMMISSIONER BOYNTON.

Commissioners recognized Donald Boynton for his great contributions to the Planning Commission and thirteen (13) years of service. The Commission shared memories, kind words and looked forward to working with Trustee Boynton as a Township Board member.

ITEM # 2: MEETING FORMAT REVIEW.

Director Power informed the Commission and the audience that the State of Michigan has enable the continuation of remote public meetings through 2020 and enacted rules governing remote public meetings for the year 2021 via Public Act 228 of 2020, which is an amendment to the State's Open Meetings Act (PA 267 of 1976). These rules will govern remote public meetings held by the Planning Commission in 2021.

ITEM #3: TRAINING UPDATE.

Director Power provided a training update. Members of the Planning Commission should attend a minimum of two (2) Township approved training classes or sessions annually according to the Township's adopted Planning Commission bylaws. Trainings have taken on a new and largely remote format over the course of 2020 and are likely to do so in 2021. Director Power will keep a log of training opportunities and update the Planning Commission regularly of training opportunities in 2021.

ITEM #4: RECOGNITION OF NEW COMMISSIONER CULLIN.

The Planning Commission welcomed new Commissioner, Brian Cullin, to his first meeting. Commissioner Cullin's father served on the Planning Commission for 15-18 years, he's always been interested in serving on the Commission. Commissioner Cullin likes being part of the museum and the community.

ADJOURNMENT:

Motion Jahr, Kelley second to adjourn the meeting at 9:24 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary



MEMO

TO: James Harless and Kevin Walsh – Yankee Air Museum
Jim Rozema – GMB Architecture and Engineering
FROM: Dan Power, AICP – Director of Planning and Economic
Development
RE: Yankee Air Museum Hangars – Willow Run Airport in Van
Buren Township
PLANS DATED: December 17, 2020
DATE: January 8, 2021

The following is a review of the proposal by the Yankee Air Museum, who seeks to build a +/- 42,000-sq. ft. building complex containing two (2) 15,000-sq. ft. aircraft hangars and a 12,000-sq. ft. office and shop section along with a parking lot with 80 parking spaces and +/- 1.7 acres of additional paved surfaces including a concrete foundation for the placement and display of the B-52 bomber (already complete). The proposed land use will occur on property adjacent to the southwest corner of the terminus of Tyler Road at the Willow Run Airport. The exact size of the development site is being negotiated with the Wayne County Airport Authority (WCAA). The scope of what has been presented to Van Buren Township staff is approximately 5.2 acres. The site is zoned AP – Airport District. The applicant has submitted a revised 12-page civil site plan set dated December 17, 2020 and two (2) preliminary architectural sheets dated May 13, 2020 to facilitate this review.

Review process. I have reviewed the site plan request based on Zoning Ordinance standards. The review process described in Section 3.118(D) (*AP, Airport District – Required Conditions of the AP, Airport District*) allows for a modified site plan review procedure for developments located at public airports. This involves reviewing the area, height and placement of the principal use; its parking, loading and access management; environmental performance standards; and screening, landscaping and other Ecorse and Beck Road adjacency requirements. I have also reviewed the applicable administrative review standards of Section 12.203 of the Van Buren Township Zoning Ordinance. I will first make some comments regarding the proposed uses. Then, relevant review standards from Sections 3.118(D) and 12.203 are discussed in the sections on the following pages. Throughout this report, requested conditions are underlined.

Comments regarding proposed uses. The following which are defined in Section 2.102 of the Van Buren Township Zoning Ordinance are permitted uses by right in the AP zoning district:

- *Airports and related facilities.*
- *Airports and commercial service establishments.*

The existing Yankee Air Museum at Willow Run Airport, located at 47884 D Street, is an aviation museum with public programming geared toward educating individuals about American

aeronautic history and aerospace industries. Insofar as it is associated with an *airport* where the takeoff, landing, and maintenance of aircraft occurs, it is an *airport and related facility*. The hangars, repair shops, and administrative office space used at the new facility will serve the same purpose. If any portion of the floor area is devoted to commercial and service establishments catering primarily to persons using the airport, it also meets the definition of *airport commercial and service establishments*. The applicant has provided a narrative description of the use on the site plan – Sheet C2.00 – which that explains it is two (2) 15,000-sq. ft. aircraft hangars, administrative office space and repair shops and concrete foundations for the placement and display of the B-52 bomber.

Requirements per Section 3.118(D)(1)(a)(i) of the Van Buren Township Zoning Ordinance – Required Conditions of the AP, Airport District.

- a. **Area, height, and placement.** Uses located on the airport property owned by a public governmental agency shall meet the area, height, and placement regulations, including setbacks, of the zoning district they are located in.

The proposed site is part of a broader public airport property which has public road frontage on Beck Road. The proposed site meets the required front (100'), side (50' for one / 100' for two), and rear (100') yard setbacks with respect to the proposed buildings' setbacks from the nearest adjacent public road (Beck Road). The minimum area of 250 acres in the AP zoning district is intended to be applied to the airport property at large and does not apply to this specific site. The height of the proposed hangar component of the building is 35.6', as measured halfway between the eave (35') and the peak (38'-1.5") of the roof.

- b. **Parking, loading and access management.** Uses located on the airport property owned by a public governmental agency shall meet the parking and loading requirements of Article 9 in this Zoning Ordinance.

Article 9 of the Zoning Ordinance includes various required standards related to the number of parking spaces and the design and configuration of parking areas and driveways. These requirements are evaluated below.

Number of parking spaces. The proposed hangar use requires a floor plan similar to that used for warehousing. Section 9.102 of the Van Buren Township Zoning Ordinance requires off-street parking for warehouse space at a ratio of 5 parking spaces plus 1 space per 1,750-sf of gross floor area, which would require 23 off-street parking spaces if the warehouse-based standard is applied to this proposed use. As the airport hangar use is not specifically defined in the schedule contained in section 9.102 of the Van Buren Township zoning ordinance and it is not a warehouse per se, there may be modification of the numerical requirements for off-street parking based on evidence that another standard would be more reasonable, per Section 9.101(J). The proposed floor plan also includes +/- 320-sq. ft. of retail space, which requires two (2) off-street parking spaces. According to the floor plan presented, there are also the following floor areas to consider when evaluating parking demand:

- +/- 5,400-sq. ft. *shop*

- +/- 278-sq. ft. *office*

79-80 off-street parking spaces including four (4) accessible spaces are proposed by the applicant. Because there will be understood to be additional traffic Applying strict standards for hangar, retail, repair shop / light manufacturing and office floor areas, a significantly lower parking demand is identified for the site under the Zoning Ordinance. However, there is anticipated to be an increased volume of visitor traffic to the site for public education and training purposes that justify additional parking on the site.

- The applicant should clarify whether 79 or 80 parking spaces are proposed, as there is a different number shown on the proposed parking table (79) in comparison with a note on the site plan (80).

Design and configuration of parking areas. Where formal standard 90-degree off-street parking spaces are proposed, per section 9.104(B), 9.5' x 20' spaces with a 24' adjacent maneuvering lane is required. Double-striped spaces are also required. Dimensions demonstrating a maneuvering aisle width of 26' is shown. Double striping is shown for all parking spaces.

Drainage. Per section 9.104(A) of the Zoning Ordinance, off-street parking areas shall be drained so as to dispose of all surface water accumulated in the parking area in such a way as to preclude drainage of water onto adjacent property or toward buildings. I note that a portion of the roughly 1.1-acre paved area to the west of the hangar building covers an existing stormwater drain and the southeast corner of this paved area ties into this drain. The applicant may be required to gain approval from the Wayne County Department Public Services for stormwater design.

Driveways and Access Management. Access is provided to the site from Tyler Road along its northern border. The applicant must secure approval from the Wayne County Airport Authority Fire Marshall for the proposed access configuration.

Loading and truck maneuvering. The applicant has indicated that no loading spaces have been added due to there being no loading of materials. Section 9.105 of the Zoning Ordinance requires loading spaces "on the same premises with every building, structure or part thereof, involving the receipt or distribution of vehicles or materials or merchandise". The applicant should clarify whether there are vehicles, materials or merchandise being delivered to the site. If so, two (2) usable 10' x 50' loading spaces will be required based on the building complex area.

Parking lot landscaping. According to Section 9.104(L) of the Zoning Ordinance, parking areas shall be landscaped and screened pursuant to Article 10. Because the site has no direct public road frontage and is adequately separated from adjacent public roads, relief can be provided from parking lot screening per section 10.103(A) of the Zoning Ordinance. Landscaped areas will be subject to review by the Wayne County Airport Authority (WCAA) and may be subject to limits in order to comply with airport standards, including limiting attractiveness to certain wildlife. If suitable

landscaping can be provided in compliance with these standards, the applicant must comply with Section 10.103(B), including that landscaped areas should be added where necessary to account for a minimum of five percent (5%) of all paved areas. If no landscaping is proposed, the applicant should clarify this and should confirm with WCAA that no landscaping is permitted due to risks related to wildlife or other reasons.

- c. **Environmental Performance Standards.** Uses located on the airport property owned by a public governmental agency shall meet the "Environmental Performance Standards Applicable to Specific Uses and Districts" of Section 8.102 of this Zoning Ordinance.
- d. **Screening, landscaping and other Ecorse and Beck Road adjacency requirements.** If the proposed building/use is adjacent to Ecorse or Beck Roads the site plan shall be required to meet the "Frontage Landscaping" requirements in Section 10.103, the "Mechanical and Utility Equipment Screening" requirements in Section 10.103, the "Exterior Lighting" requirements in Section 8.105, and the "Garbage, Refuse, and Recycling Collection Areas" requirements in Section 7.122 of this Zoning Ordinance. The site is not adjacent to Ecorse or Beck Road and these requirements therefore do not apply.

Administrative Site Plan Review Requirements per Section 12.203 of the Van Buren Township Zoning Ordinance – In General.

1. **Title and date of plan, including the date and nature of all subsequent revisions; North arrow and scale; Design firm information; Dimensions of lot and adjacent property lines; Boundary of tract; Lighting; Signage information; Plan submittal information; and Documentation of changes.** This information is adequately provided.
2. **A description of use** has been provided.
3. **A schedule of parking needs** has been provided.
4. **Traffic and pedestrian circulation design.** A sidewalk is not necessary because the site lacks public street frontage.
5. **Landscape plan and landscape maintenance information.** Regarding these requirements, while landscaping is encouraged, there are no frontage landscaping requirements as the property does not have direct frontage on Beck Road or Ecorse Road, per Section 3.118(D)(1)(a)(i)(d). See the landscaping comments on the previous page.
6. **Hazardous materials.** Storage of any hazardous materials should be labeled on the proposed site plan.
7. **Office and staffing information.** Floor plans are adequately shown on the submitted architectural drawing.

- 8. Other information.** The applicant will need to ensure their utility design is consistent with the Township's Engineering Standards in consultation with the Township Water and Sewer Department.

Recommendation: The following conditions apply to the submitted civil site plan set dated December 17, 2020:

- The applicant should clarify whether 79 or 80 off street parking spaces are proposed.
- The applicant must secure approval from the Wayne County Airport Authority Fire Marshall for the proposed access configuration.
- The applicant should clarify whether there are vehicles, materials or merchandise being delivered to the site. If so, two (2) usable 10' x 50' loading spaces will be required based on the building complex area.
- If no landscaping is proposed, the applicant should clarify this and should confirm with WCAA that no landscaping is permitted due to risks related to wildlife or other reasons.
- The applicant will need to ensure their utility design is consistent with the Township's Engineering Standards in consultation with the Township Water and Sewer Department.

Subject to the above comments being addressed, administrative zoning approval is granted. Documentation of approval by the Wayne County Airport Authority (WCAA) is required prior to the issuance of a full / vertical building permit. If you have any additional questions regarding this review please feel free to contact me at 734-699-8913 or via e-mail at dpower@vanburen-mi.org.

Sincerely,



Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

CC: Matthew Best, M.S. - Public Services Director, Van Buren Charter Township
Vidya Krishnan - Principal Planner, McKenna Associates / Van Buren Charter Township
Paul Kammer, P.E. - Township Engineer, Fishbeck / Van Buren Charter Township
James Taylor - Water and Sewer Director, Van Buren Charter Township
David McNally and Andrew Lenaghan - Van Buren Charter Township Fire Department

HANGAR & SHOPS

EAST SIDE PROJECT NO. 2

YANKEE AIR MUSEUM



48075 TYLER ROAD, BLDG No. 2
VAN BUREN TOWNSHIP, MICHIGAN

VB T APPROVAL & CONSTRUCTION
12.17.2020
GMB Project # 5-5057

CIVIL	
C0.20	SAFETY & SECURITY NOTES AND DETAILS
C1.00	EXISTING CONDITIONS & REMOVAL PLAN
C2.00	SITE PLAN
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C7.00	SOIL EROSION & SEDIMENT CONTROL PLAN
C7.01	SOIL EROSION & SEDIMENT CONTROL DETAILS
C8.00	DETAILS
C8.01	DETAILS
C8.02	DETAILS
C8.03	FENCE DETAILS

WCAA PROJECT SPECIFIC REQUIREMENTS

- SUBMIT "DEVELOPMENT SCHEDULE" TO SHOW THE COMPLETE DESIGN, REVIEW, PERMIT, AND CONSTRUCTION PROCESS. INCLUDE
- TIME REQUIRED FOR SUBMISSION TO VAN BUREN TOWNSHIP. THE CONTRACTOR SHALL SUBMIT A SAFETY PHASING PLAN THAT INCLUDES DELIVERY ROUTES, MATERIAL STORAGE, LOCATION OF TEMPORARY TRAILERS, CONTRACTOR PARKING, TRASH CONTAINERS, CRANE APPLICATIONS, TEMPORARY BATCH PLANT LOCATIONS AND EROSION CONTROL, FOR APPROVAL BY THE WCAA, PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR TO COORDINATE WITH WCAA TO ENSURE THE WORK WITH ALL OTHER AUTHORITY IMPROVEMENTS AS WELL AS COORDINATE WITH ADJACENT TENANT DEVELOPMENTS TAKING PLACE.
- REFER TO MECHANICAL PLANS FOR LOCATIONS AND DETAILS OF ALL UTILITY METERS AS WELL AS BACKFLOW PREVENTERS FOR DOMESTIC AND FIRE SUPPRESSION CONNECTIONS.

WCAA SECURITY REQUIREMENTS GENERAL REQUIREMENTS AND CONTRACTOR RULES

- MUST ABIDE BY YIP FENCE STANDARDS FOR FENCE AND INSPECTIONS.

WCAA GENERAL REQUIREMENTS

- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR GIVING WCAA AIRPORT INSPECTOR A COPY OF THEIR VAN BUREN TOWNSHIP'S PERMIT(S) AT PRECONSTRUCTION MEETING.
- THE FEDERAL AVIATION ADMINISTRATION PRIOR TO THE START OF WORK MUST APPROVE COMPLETE FAA FORM 7460-1.
- PRIOR FAA APPROVAL IN THE FORM OF AN AIRSPACE REVIEW WILL BE REQUIRED FOR ALL CONSTRUCTION EQUIPMENT WHEN HEIGHT OF SAID EQUIPMENT EXCEEDS THAT OF ADJACENT STRUCTURES.
- PERMITS AND USE APPROVAL FOR CRANES MUST BE OBTAINED FROM AIRPORT OPERATIONS PRIOR TO USE. ALL CRANES MUST BE EQUIPPED WITH APPROVED FLAGS AND LIGHTS, AND APPROVAL FROM THE TOWER MUST BE OBTAINED PRIOR TO RAISING THE BOOM DAILY.
- ALL WORK SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING:
 - 2015 MICHIGAN BUILDING CODE
 - 2015 INTERNATIONAL FIRE CODE
 - 2015 MICHIGAN MECHANICAL CODE
 - 2015 MICHIGAN PLUMBING CODE
 - 2014 NATIONAL ELECTRICAL CODE
- ADDITIONALLY, ALL WORK SHALL BE STRICT COMPLIANCE WITH THE FOLLOWING:
 - FEDERAL, STATE AND LOCAL REGULATIONS, LAWS AND ORDINANCES
 - MOST CURRENT EDITION OF NFPA 1 FIRE PREVENTION CODE
 - MOST CURRENT EDITION OF NFPA 416 FOR CONSTRUCTION AND PROTECTION OF AIRPORT TERMINAL BUILDINGS, FUELING RAMP DRAINAGE AND LOADING WALKWAYS
 - MOST CURRENT EDITION OF NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING CODE
 - OTHER REFERENCED NFPA CODES AND STANDARDS AS DIRECTED BY THE A. H. J.
 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
 - FAA AND TSA REQUIREMENTS
 - WCAA SAFETY STANDARDS
 - MICHIGAN DEPARTMENT OF TRANSPORTATION REQUIREMENTS
 - MOST RECENTLY AMENDED ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG)

PERMITS
WCAA PERMIT No.20-005

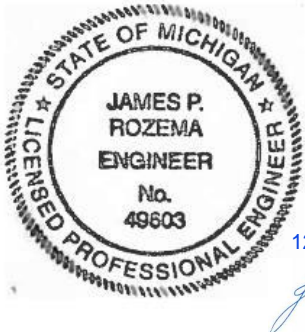
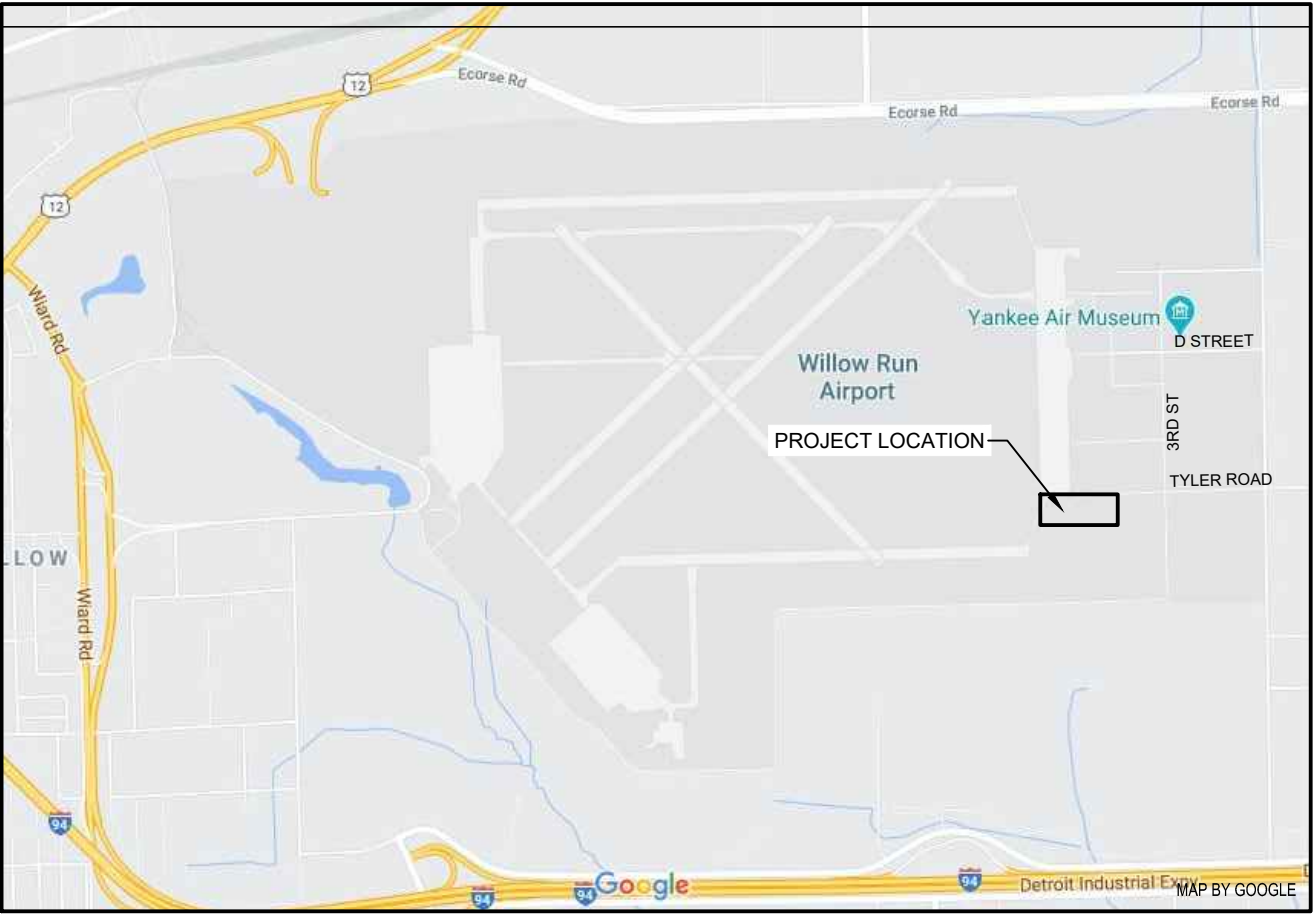
DESCRIPTION FOR AERONAUTICS CENTER LEASE AREA

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 17, T.3S., R.8E., VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN DESCRIBED AS COMMENCING AT THE EAST CORNER OF SECTION 8, T.3S., R.8E., VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN; THENCE ALONG THE EAST LINE OF SAID SECTION 8, SOUTH 01 DEGREES 06 MINUTES 36 SECONDS EAST 2654.66 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 8 AND ALSO THE NORTHEAST CORNER OF SAID SECTION 17; THENCE SOUTH 87 DEGREES 19 MINUTES 47 SECONDS WEST (SOUTH 89 DEGREES 12 MINUTES 00 SECONDS WEST RECORDED) 1374.00 FEET TO A POINT ON THE EAST LINE OF PARCEL NUMBER 83-025-99-0004-000; THENCE ALONG SAID EAST LINE SOUTH 01 DEGREES 52 MINUTES 13 SECONDS EAST (DUE SOUTH RECORDED) 35.00 FEET; SOUTH 87 DEGREES, 19 MINUTES 47 SECONDS WEST (SOUTH 89 DEGREES 12 MINUTES 00 SECONDS WEST RECORDED) 1318.77 FEET; THENCE SOUTH 02 DEGREES 03 MINUTES 16 SECONDS EAST 51.27 FEET TO THE POINT OF BEGINNING; THENCE N87°56'44"E, 230.33; THENCE S02°03'16"E, 13.23; THENCE N87°56'44"E, 240.87; THENCE S02°03'16"E, 165.00; THENCE S87°56'44"W, 30.20; THENCE S02°03'16"E, 146.61; THENCE S87°56'44"W, 298.84; THENCE S02°03'16"E, 35.85; THENCE S87°56'44"W, 21.99; THENCE N02°03'16"W, 40.68; THENCE S87°56'44"W, 119.99; THENCE N02°03'16"E, 320.00' TO THE POINT OF BEGINNING. CONTAINING 145,657.8 SF AND/OR 3.34 ACRES OF LAND, MORE OR LESS.

DESCRIPTION FOR B-52 BOMBER LEASE AREA

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 17, T.3S., R.8E., VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN DESCRIBED AS COMMENCING AT THE EAST CORNER OF SECTION 8, T.3S., R.8E., VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN; THENCE ALONG THE EAST LINE OF SAID SECTION 8, SOUTH 01 DEGREES 06 MINUTES 36 SECONDS EAST 2654.66 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 8 AND ALSO THE NORTHEAST CORNER OF SAID SECTION 17; THENCE SOUTH 87 DEGREES 19 MINUTES 47 SECONDS WEST (SOUTH 89 DEGREES 12 MINUTES 00 SECONDS WEST RECORDED) 1374.00 FEET TO A POINT ON THE EAST LINE OF PARCEL NUMBER 83-025-99-0004-000; THENCE ALONG SAID EAST LINE SOUTH 01 DEGREES 52 MINUTES 13 SECONDS EAST (DUE SOUTH RECORDED) 35.00 FEET; THENCE ALONG THE SOUTH LINE OF SAID PARCEL 83-025-99-0004-000 SOUTH 87 DEGREES, 19 MINUTES 47 SECONDS WEST (SOUTH 89 DEGREES 12 MINUTES 00 SECONDS WEST RECORDED) 847.54 FEET; THENCE SOUTH 02 DEGREES 03 MINUTES 16 SECONDS EAST 69.57 FEET TO THE POINT OF BEGINNING; THENCE NORTH 87 DEGREES 56 MINUTES 44 SECONDS EAST, 180.00 FEET; THENCE SOUTH 02 DEGREES 03 MINUTES 16 SECONDS EAST, 165.00 FEET; THENCE SOUTH 87 DEGREES 56 MINUTES 44 SECONDS WEST, 180.00 FEET; THENCE NORTH 02 DEGREES 03 MINUTES 16 SECONDS WEST, 165.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION. CONTAINING 29,700 SF AND/OR 0.68 ACRES OF LAND, MORE OR LESS.

VICINITY MAP



ARCHITECT + ENGINEER

GMB ARCHITECTURE + ENGINEERING
85 East Eighth Street, Suite 200, Holland, MI 49423
P. 616.796.0200 F. 616.796.0201 www.gmb.com

CONSTRUCTION MANAGER

QUADRANTS DEVELOPMENT, LLC
49410 WIXOM TECH DR., WIXOM, MI 48393
248.960.3900 www.quadrants.com

OWNER

YANKEE AIR MUSEUM
47884 D STREET, BELLEVILLE, MI 48111
www.yankeeairmuseum.org

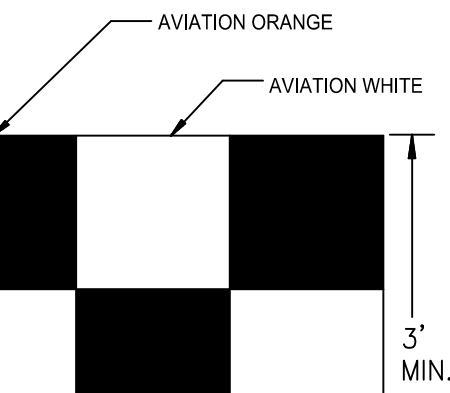


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FAA ORDER	"SAFETY REQUIREMENT ON AIRPORTS DURING AGENCY FUNDED CONSTRUCTION AND MAINTENANCE ACTIVITIES"
150/5200-18	"AIRPORT SAFETY-SELF INSPECTION"
150/5210-5	"PAINTING, MARKING & LIGHTING OF VEHICLES USED ON AIRPORTS"
150/5370-2	"OPERATIONAL SAFETY ON AIRPORTS DURING CONSTRUCTION"

14. CONSTRUCTION DURING THE PROJECT MAY BE HALTED AT ANY TIME BY YIP IF IT IS DETERMINED TO BE IN THE BEST INTEREST OF AIRPORT OPERATIONS OR SAFETY. THE CONTRACTOR MAY BE DIRECTED TO REMOVE EQUIPMENT AND/OR EVACUATE THE SITE IN ORDER TO ENABLE AIRCRAFT OPERATIONS. NECESSARY EXTENSIONS IN CONTRACT TIME WILL BE GRANTED OR A STOP WORK ORDER WILL BE ISSUED DUE TO THESE DELAYS, HOWEVER, THERE WILL BE NO ADJUSTMENTS IN CONTRACT PRICE DUE TO THESE DELAYS.

15. THE CONTRACTOR SHALL NOT STOCKPILE MATERIAL, OR PARK VEHICLES/EQUIPMENT NOT IN USE WITHIN THE LIMITS OF OBJECT FREE AREAS.



3 CONSTRUCTION SAFETY FLAG

C020 SCALE: N.T.S.

2 LOW PROFILE BARRICADE
C020 SCALE: N.T.S.

GENERAL NOTES:

- DO NOT BURY ANY DEBRIS, ROOTS, TOPSOIL OR OTHER MATERIALS.
- ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OR THE LOCAL CODE, ORDINANCES AND ACCIDENT/FIRE PREVENTION REGULATIONS.
- PROTECT THE SITE, ADJACENT PROPERTY AND UTILITY SERVICES FROM DAMAGE OR DISRUPTION OF SERVICE/ACCESS. DAMAGE TO EXISTING STRUCTURE, SITE OR UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL TREES TO REMAIN SHALL BE CAREFULLY PROTECTED. DO NOT DRIVE HEAVY EQUIPMENT WITHIN 12 FT OF TREE TRUNKS. BRANCHES WHICH ARE DAMAGED DURING DEMOLITION OF STRUCTURES AND/OR SURFACES SHALL BE CUT OUT AS DIRECTED BY THE ARCHITECT/ENGINEER. ANY ROOTS OF TREES BEING SAVED WHICH ARE EXPOSED DUE TO DEMOLITION/REMOVAL SHALL BE COVERED WITHIN 6 HOURS WITH SOIL. DAMAGED TREES MAY BE REPLACED AT THE DISCRETION OF THE ARCHITECT/ENGINEER AT THE EXPENSE OF THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR WORK IN ROW AND ON ANY UTILITY CONNECTIONS OR ABANDONMENT PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTORS TO REVIEW ALL SHEETS FOR RELATED INFORMATION.
- LIST OF STANDARD ABBREVIATIONS -

"A.F.F." = ABOVE FINISHED FLOOR
"C/L" = CENTER LINE
"F.F.E." = FINISH FLOOR ELEVATION
"U.N.O." = UNLESS NOTED OTHERWISE

EX. UTILITY NOTES:
RECORD LOCATION OF UTILITIES SHOWN
HEREON OBTAINED FROM RSH RECORD
PLAN
FILENAME: YIP ERP PLANNING MANAGEMENT -
YAM BUILDING SITING_4-6-2020.PDF

REMOVAL NOTES

- ALL EXISTING SITE FEATURES ABOVE THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO PAVEMENT, SIGNAGE, LANDSCAPING AND FENCING WITHIN THE REMOVAL BOUNDARY ARE TO BE REMOVED ENTIRELY AND DISPOSED OF UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE OWNER.
- ALL EXISTING SITE FEATURES BELOW THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, UTILITIES, AND UTILITY STRUCTURES, WITHIN THE REMOVAL BOUNDARY SHALL BE REMOVED UNLESS NOTED ON THE PLANS FOR REMOVAL OR AS DIRECTED BY THE OWNER.
- SALVAGE ALL SUITABLE SANITARY, STORM SEWER AND OTHER UTILITY CASTINGS FOR REUSE.
- IF ANY ADDITIONAL REMOVALS ARE REQUIRED OUTSIDE THE REMOVAL BOUNDARY FOR UTILITY CONNECTIONS OR DRIVEWAYS, THEY SHALL BE REMOVED AND REPLACED WITH IDENTICAL MATERIALS AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING BELOW GROUND UTILITIES TO REMAIN SHALL BE LOCATED BY THE CONTRACTOR, INCLUDING HAND EXCAVATION AND OTHER MEANS NECESSARY, PRIOR TO CONSTRUCTION.
- ALL UTILITY STRUCTURES WITHIN REMOVAL BOUNDARY TO REMAIN SHALL BE RAISED OR LOWERED TO MATCH FINISHED GRADE. THIS INCLUDES, BUT IS NOT LIMITED TO, SANITARY, STORM, WATER, ELECTRICAL, TELECOM STRUCTURES, GATE VALVE BOXES, & HAND HOLES.
- ALL ELECTRICAL & TELECOM UTILITIES SERVICING ITEMS TO REMAIN SHALL BE FIELD VERIFIED & RELOCATED, AS NECESSARY, PRIOR TO DEMOLITION SUCH THAT THE OWNER DOES NOT EXPERIENCE ANY "OUTAGES" OR "FAILURES" WITH THEIR INTERNAL ELECTRICAL, TELEPHONE, SECURITY OR COMPUTER SYSTEMS. DAMAGE TO ANY OF THESE UNDERGROUND UTILITIES OR ELECTRICAL SYSTEMS SHALL RESULT IN THE CONTRACTOR HAVING TO MAKE THE NECESSARY REPAIRS TO THE OWNER'S SATISFACTION & AT NO COST TO THE OWNER.
- COORDINATE ALL ELECTRICAL, GAS, AND TELECOM UTILITY REMOVAL/RELOCATION WITH APPROPRIATE UTILITY COMPANY.
- UNDERGROUND SERVICE UTILITIES SHOWN TO BE REMOVED SHALL BE DONE SO ENTIRELY WITH THE REMAINING PORTIONS TO BE CAPPED/BULK-HEADED (WHEN APPLICABLE) PER CITY/MUNICIPAL/UTILITY COMPANY STANDARDS.
- ALL CONCRETE & BITUMINOUS PAVEMENT AREAS SHOWN TO BE REMOVED SHALL BE DONE SO TO FULL DEPTH & SHALL BE SAWCUT ALONG THE REMOVAL BOUNDARY UNLESS OTHERWISE NOTED.
- EXISTING TRAFFIC SIGNS ARE NOT TO BE REMOVED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF WCAA AND VAN BUREN TOWNSHIP. ANY SIGNS DAMAGED DURING CONSTRUCTION ACTIVITY SHALL BE REPLACED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED SOIL EROSION PERMITS INCLUDING ALL INSPECTIONS BEFORE, DURING, AND AFTER CLEARING OF THE SITE.
- PROJECT SITE CONSTRUCTION FENCE IS TO BE PROVIDED
- CONTRACTOR SHALL PROVIDE REMOVALS AS REQUIRED WITHIN THE REMOVAL BOUNDARY.
- TEMPORARY CONSTRUCTION FENCE SHALL BE ERECTED TO MAINTAIN SECURE PERIMETER AROUND THE AIRPORT OPERATING AREA (AOA). TEMPORARY FENCE SHALL BE INSTALLED AND APPROVED BY WCAA PRIOR TO REMOVAL OF EXISTING FENCE. COORDINATE WITH WCAA AND VAN BUREN TOWNSHIP.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES, PEDESTRIAN DETOUR SIGNAGE AND OTHER REMOVALS AS IDENTIFIED.
- NO STOPPING, PARKING OR STORING CONSTRUCTION MATERIALS IN THE PUBLIC STREETS OR ANY DRIVEWAY OR ON THE EXISTING RUNWAY SYSTEM OF WCAA.

ISSUANCES

11.09.2020 PERMITS
12.17.2020 VBT APPROVAL &
CONSTRUCTION

DRAWN JPR

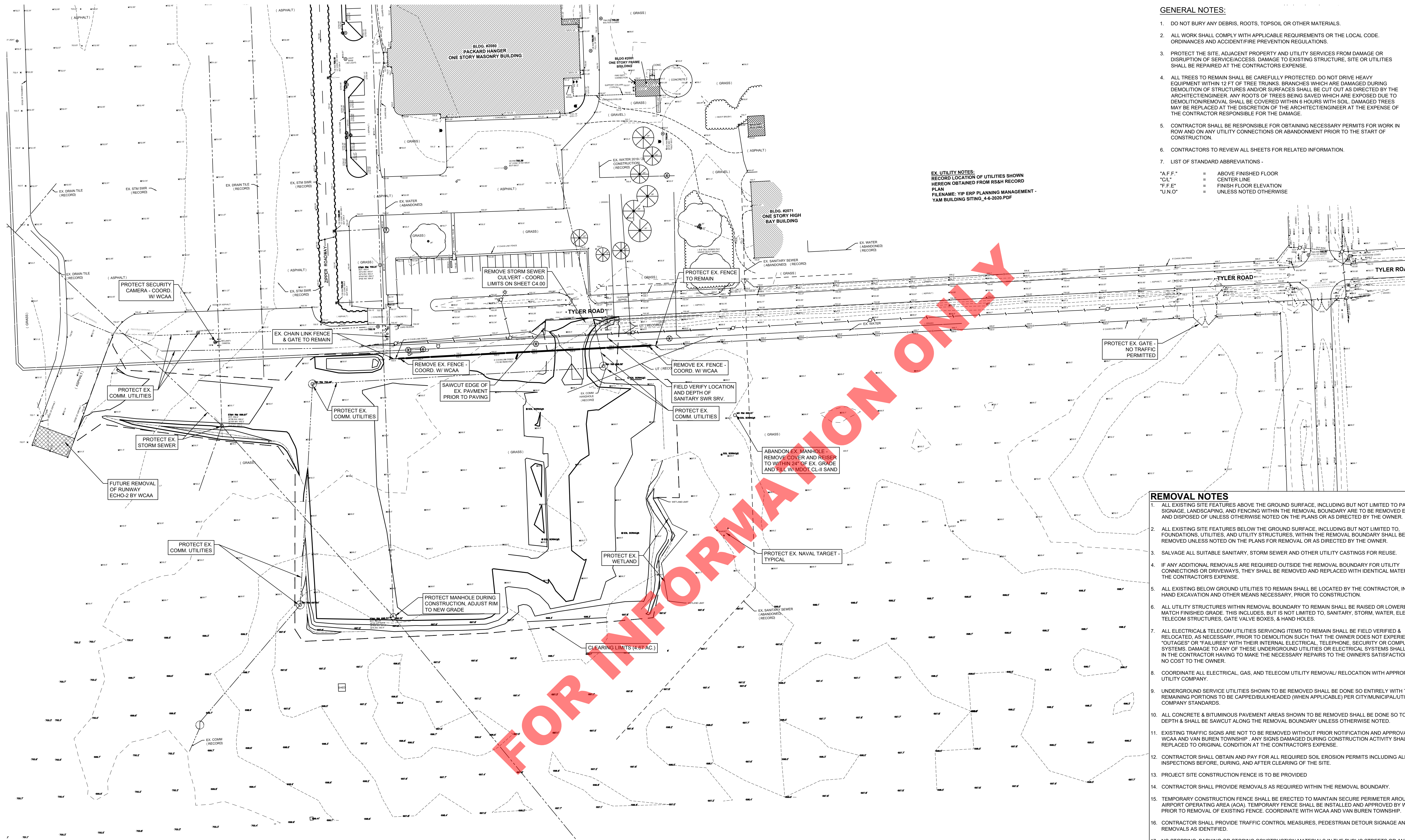
REVIEWED MEF

PROJECT NO. 5-5057

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REMOVAL PLAN

C1.00



EXISTING CONDITIONS & REMOVAL PLAN

SCALE 1" = 60'-0"

Know what's below.
Call before you dig.

2 - 15,000 S.F. AIRCRAFT HANGARS, ADMINISTRATIVE OFFICE SPACE AND REPAIR SHOPS
AND CONCRETE FOUNDATIONS FOR THE PLACEMENT AND DISPLAY OF THE B-52 BOMBER






THE SIZE OF THE PARCEL REQUIRED FOR THE PROJECT IS BEING NEGOTIATED WITH THE WAYNE COUNTY AIRPORT AUTHORITY. PARCEL INFORMATION WILL BE PROVIDED ONCE THE NEGOTIATIONS ARE COMPLETE.

100%

N/A

THE PROJECT DOES NOT PROPOSE TO INSTALL ANY NEW VEGETATION DUE TO THE NEED TO LIMIT DISTURBANCE TO NEARBY NAVAL TARGETS

1. PHASE 1 ACTIVITIES WILL INCLUDE THE INSTALLATION OF CONCRETE FOUNDATIONS TO ALLOW FOR IMMEDIATE RELOCATION OF THE B-52 BOMBER. WORK IS SCHEDULED TO TAKE PLACE IN JULY, 2020
2. PHASE 2 CONSTRUCTION ACTIVITIES WILL INCLUDE ALL OTHER IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO CONSTRUCTION OF 2 NEW 15,000 S.F. AIRCRAFT HANGARS, MAINTENANCE SHOPS, CONCRETE RAMP, ASPHALT TAXI LANE, AND ASPHALT PARKING AND DRIVES AND ESSENTIAL UTILITIES.

	LIGHT DUTY PAVEMENT
	MEDIUM DUTY PAVEMENT
	TAXI LANE & CONCRETE APRON
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALKS

PAVEMENT
ALL PAVED PARKING LOTS TO HAVE 3-FOOT WIDE GRAVEL EDGE SHOULDER. REFER TO DETAILS
ENTRANCE TO BE CONSTRUCTED WITH MDOT B-2 CONCRETE CURB & GUTTER

PROPOSED PAVEMENT SECTIONS MUST CONFORM TO THE GEOTECHNICAL REPORT FOR THIS PROJECT AND IN
ACCORDANCE WITH MDOT SPECIFICATIONS.

3.5" HMA
10" 21AA LIMESTONE AGG, BASE
10" MDOT CL-II SAND SUBBASE OR SUITABLE NATURAL MATERIALS MEETING MDOT CL-II GRADATION

4.5" HMA (2 LIFTS)
10" 21AA LIMESTONE AGG, BASE
10" MDOT CL-II SAND SUBBASE OR SUITABLE NATIVE MATERIALS MEETING MDOT CL-II GRADATION

RAMP AND TAXI LANE PAVEMENT SECTIONS TO BE CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED IN GEOTECHNICAL REPORT. REFER TO PAVEMENT SECTION DETAILS AND REPORT FOR ADDITIONAL INFORMATION

ALL CONCRETE WALKWAYS TO BE 5" MIN. THICKNESS (4,000 PSI) OR AS SHOWN ON DETAILS.

HEAVY DUTY CONCRETE TO BE 10" THICK (4,500 PSI) OR AS SHOWN ON DETAIL.

BUILDING SHALL HAVE A STONE MAINTENANCE STRIP AS SHOWN ON DETAIL.

LIGHTING

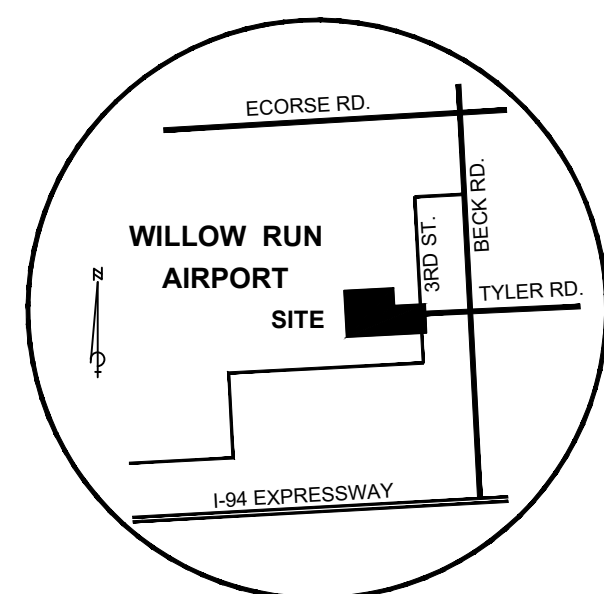
SITE LIGHTING WILL BE PROVIDED TO ACHIEVE SAFE LIGHT LEVELS ALONG DRIVES, PARKING LOTS AND ADJACENT TO BUILDING. REFER TO UTILITY PLAN FOR ADDITIONAL INFORMATION.

1. REFER TO SHEET C4.00 FOR LAYOUT OF PROPOSED UTILITIES
2. PRIOR TO PROCEEDING WITH UTILITY CONSTRUCTION, CONTRACTOR SHALL UNCOVER ALL EXISTING UTILITIES TO REMAIN AND REPORT TOP OF PIPE ELEVATION TO OWNER AND ENGINEER.
3. CONTRACTOR SHALL ADJUST ALL UNDERGROUND STRUCTURES AND CORRESPONDING SURFACE FEATURES TO PROPOSED GRADES IN ACCORDANCE WITH THE SPECIFICATIONS.
4. COMMUNICATIONS & ELECTRICAL CONDUITS, PLACEMENT OF ELECTRICAL LIGHT POLES, AND LOCATION OF COMMUNICATION & ELECTRICAL SURFACE FEATURES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE THESE UTILITIES WITH ELECTRICAL DRAWINGS.
5. CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL ELECTRICAL/ COMMUNICATION AND IRRIGATION CONDUITS UNDER PAVEMENT AS SHOWN ON ELECTRICAL AND IRRIGATION DRAWINGS.
6. CONTRACTOR SHALL REFER TO PLUMBING DRAWINGS FOR BUILDING CONNECTIONS.
7. ALL STORM SEWER SHALL BE ASTM C-74 CL-III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE PLANS.
8. ALL STORM SEWER PIPE SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
9. ALL SOLID HDPE STORM PIPE AS CALLED OUT ON THE PLANS SHALL BE ADS N-12 PIPE WITH "WATER-TIGHT" JOINTS PER ASTM D 3212, OR APPROVED EQUAL.
10. ALL PERFORATED STORM PIPE AS CALLED OUT ON THE PLANS SHALL ADS N-12, DUAL WALL PIPE WITH A 3/8" SPIGOT END AND CLASS II PERFORATIONS OR APPROVED EQUAL AND UTILIZE SILT-TIGHT JOINT CONNECTIONS (F477).
11. ALL HDPE STORM SEWER PIPE JOINTS SHALL HAVE FLEXIBLE WATERTIGHT ELASTOMERIC SEALS CONFORMING TO ASTM-D3212

12. ALL CONCRETE STORM SEWER PIPE JOINTS AND MANHOLE STRUCTURE SECTION JOINTS SHALL HAVE FLEXIBLE WATERTIGHT ELASTOMERIC SEALS CONFORMING TO ASTM- C443.
13. ALL MANHOLE STRUCTURE JOINTS WITH PIPES SHALL HAVE MANHOLE WATERSTOP CONSISTING OF A KOR-AN-SEAL BOOT OR APPROVED EQUIVALENT CONFORMING TO ASTM C923.
14. ALL BUILDING FOOTING UNDERDRAINS SHALL BE 6" Ø RIGID, PERFORATED PIPE.
15. ALL STORM SEWER STRUCTURES ARE 4' DIAMETER, UNLESS OTHERWISE NOTED ON PLANS.
16. ALL PUBLIC AND PRIVATE CATCH BASINS SHALL HAVE AN OUTLET PIPE COVER ("HOOD").
17. STORM MANHOLE CASTINGS SHALL BE EAST JORDAN IRON WORKS
18. WATERMAIN VALVES ARE TO BE PROVIDED ON EACH HYDRANT LEAD AND ALONG THE MAIN SUCH THAT NO MORE THAN 2 HYDRANTS WILL BE OUT OF SERVICE IN THE EVENT OF BREAK IN THE MAIN.
19. WATERMAIN TEES AND VALVES WILL BE INSTALLED AS PART OF THE WCAA EAST SIDE UTILITIES PROJECT.
20. 10" DUCTILE IRON WATERMAIN WILL BE INSTALLED TO THE NORTH LEASE LINE AT THE APPROXIMATE LOCATION SHOWN ON PLAN SHEET C4.00 CHLORINATED AND AND TESTED.
21. CONTRACTOR TO INSTALL 10" WATERMAIN ON EAST SIDE OF PROPOSED BUILDING AND PERFORM ALL NECESSARY TESTING TO PREPARE THE SYSTEM TO BE PLACED IN SERVICE. UPON COMPLETION OF PRESSURE AND BACTERIOLOGICAL TESTING IN ACCORDANCE WITH VAN BUREN TOWNSHIP REQUIREMENTS, THE CONTRACTOR SHALL MAKE CONNECTION TO THE EXISTING 10" MAIN INSTALLED BY WCAA. ALL CONNECTIONS, SLEEVES AND FITTINGS ARE TO BE SWABBED WITH CHLORINATED SOLUTION AS REQUIRED BY VAN BUREN TOWNSHIP PRIOR TO INSTALLATION.
22. CONTRACTOR SHALL COORDINATE SHUT-DOWN OF EXISTING WATER MAIN WITH WCAA AND VANBUREN TOWNSHIP.
23. ALL SANITARY SEWER PIPE SHALL BE SDR-26 PVC PIPE
24. ALL SANITARY MANHOLES SHALL HAVE WATERPROOFING SEALANT APPLIED TO THE EXTERIOR OF THE MANHOLE UPON ARRIVAL TO THE SITE.

PAVEMENT LEGEND

- SITE LOCATION MAP -



- SITE LOCATION MAP -



**Know what's below.
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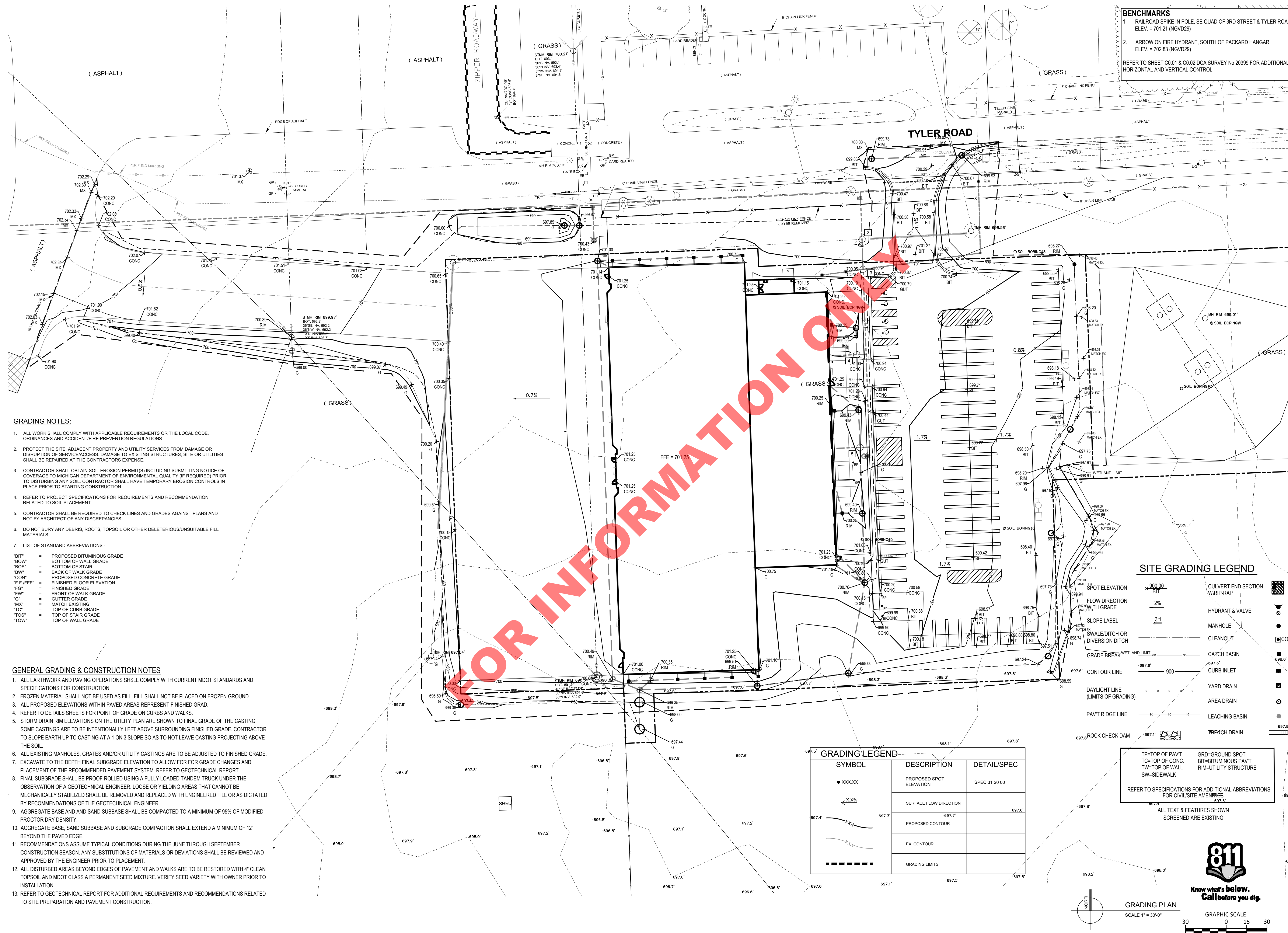
SITE PLAN
SCALE 1" = 60'-0"

SCALE 1" = 60'-0"

60 0 30

60 0 30

SITE PLAN



ISSUANCES

11.09.20	PERMITS
12.17.2020	VBT APPROVAL & CONSTRUCTION

DRAWN	JPR
REVIEWED	MEF

PROJECT NO. 5-5057

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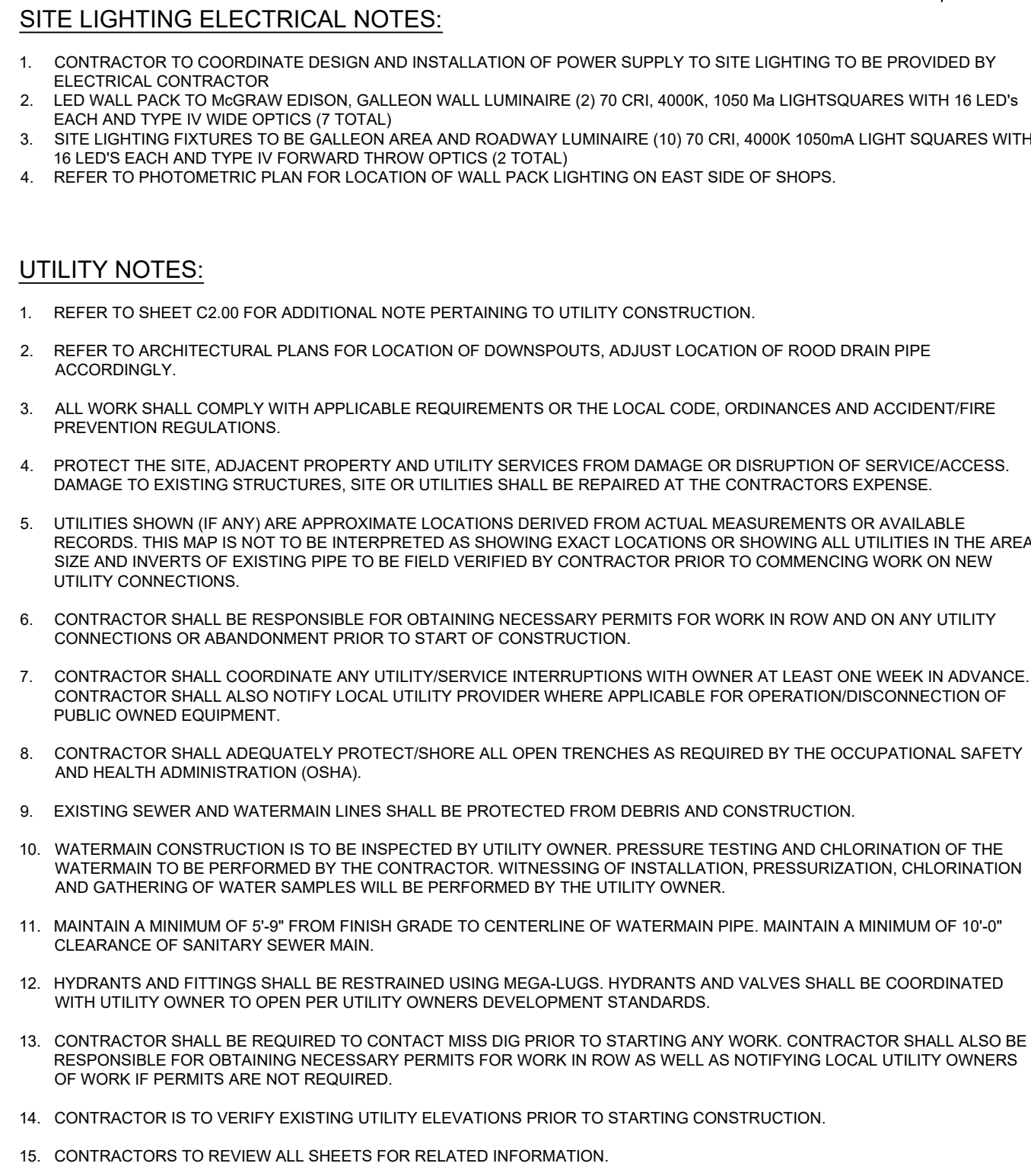
GRADING PLAN

EXISTING UTILITY ELEVATIONS ARE CALCULATED FROM THE EXISTING GRADES AT THE POINT OF CROSSING WITH THE FOLLOWING ASSUMED DEPTH OF COVER:
COMMUNICATIONS CONDUIT @ 2.5 FEET BELOW GRADE

* - LOWER WATER MAIN TO MAINTAIN MINIMUM SEPARATION REQUIRED

** - CONCRETE ENCASEMENT REQUIRED

CONTRACTOR SHALL VERIFY THE DEPTHS OF PIPE AT ALL EXISTING UTILITY PIPE CROSSINGS PRIOR TO COMMENCING WITH PIPE INSTALLATION. TOP OF EXISTING PIPE ELEVATIONS ARE TO BE REPORTED TO OWNER AND ENGINEER.

[illegible]

HANGAR & SHOPS
EAST SIDE PROJECT NO. 2
YANKEE AIR MUSEUM
VAN BUREN TOWNSHIP, MICHIGAN

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UTILITY PLAN

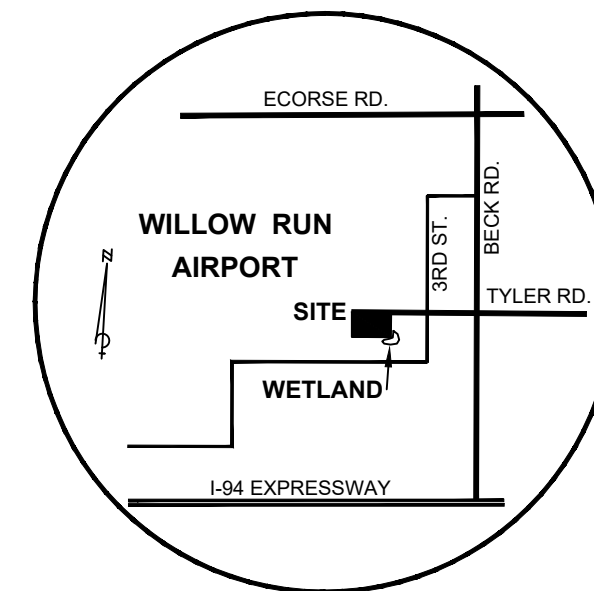
C4.00

SOIL EROSION AND
SEDIMENTATION CONTROL NOTES:

1. EROSION AND SEDIMENTATION CONTROL ITEMS ARE SHOWN IN LINE DRAWINGS TO SUGGEST GENERAL CONCEPTS. ACTUAL CONSTRUCTION MAY BE VARIED TO REFLECT MATERIALS USED AND SPECIFIC SITE PROBLEMS SUBJECT TO THE APPROVAL OF THE OAKLAND COUNTY WATER RESOURCES COMMISSION.
2. COLLECTED SILT AND SEDIMENT SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE EFFECTIVENESS OF THE SEDIMENTATION BASIN.
3. TEMPORARY EROSION AND POLLUTION CONTROL PROVISIONS SHALL BE COORDINATED WITH THE PERMANENT CONTROL FEATURES TO ASSURE EFFECTIVE CONTROL OF WATER POLLUTION DURING CONSTRUCTION.
4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF CONSTRUCTION UNLESS ORDERED BY THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, LAND RESOURCE MANAGEMENT DIVISION TO BE LEFT IN PLACE.
5. SOIL AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE BEFORE ON SITE CONSTRUCTION BEGINS.
6. REFER TO SOILS REPORT AND SPECIFICATION FOR ADDITIONAL INFORMATION.
7. REFER TO SOIL EROSION CONTROL KEY FOR ADDITIONAL INFORMATION.
8. CONTRACTOR RESPONSIBLE FOR OBTAINING SOIL EROSION CONTROL PERMITS FROM LOCAL SOIL EROSION CONTROL AGENCY (ORION TOWNSHIP) AND/OR APPLYING FOR PERMITS FROM MDEQ FOR SOIL EROSION PRIOR TO START OF ANY EARTH WORK.
9. CONTRACTOR SHALL PROVIDE A STORMWATER OPERATOR FOR THE SITE - PER NPDES PERMIT REQUIREMENTS.
10. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.
11. MAINTENANCE OF PERMANENT SESC MEASURES SHALL BE THE RESPONSIBILITY OF THE YANKEE AIR MUSEUM AND SHALL INCLUDE:
 - 11.1. ROUTINE MOWING OF LAWN
 - 11.2. ANNUAL INSPECTION OF OF STORM SEWER CATCH BASIN SUMPS
 - 11.3. REMOVAL OF SEDIMENT AND DEBRIS WHEN LEVEL IS WITHIN 6" OF PIPE INVERT.
 - 11.4. PAVEMENT MAINTENANCE INCLUDING SWEEPING, SEAL COATING AND CRACK SEALING TO MAXIMIZE LIFE SPAN OF PAVEMENT SYSTEM.
12. SOIL TYPE - ON SITE SOIL IS LOAMY SAND (THERFORD, WASEPI & GILFORD). SEE GEOTECHNICAL REPORT FOR MORE INFORMATION ON SOIL PROFILE ON SITE.
13. CONTRACTOR TO PROVIDE MINIMUM 12' WIDE, 50' LONG STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF MDOT 1x3 CRUSHED LIMESTONE AT ALL POINTS OF ACCESS TO THE SITE FROM A PAVED ROADWAY TO AIDE IN THE REDUCTION OF MUD FROM BEING TRACKED ON THE PUBLIC STREET.
14. ALL SLOPES ARE TO BE TRACKED PERPENDICULAR TO THE DIRECTION OF GRADE
15. TEMPORARY SEED IS TO BE PLACED ON ALL DISTURBED AREAS WITHIN 15 DAYS OF COMPLETION OF MASS GRADING OPERATIONS. ANY AREAS THAT ARE BROUGHT TO FINAL GRADE ARE TO BE TOPSOILED, SEEDED AND STABILIZED WITH EROSION CONTROL BLANKETS IN ACCORDANCE WITH THE SPECIFICATIONS.
16. ALL SLOPES 3(H):1(V) OR STEEPER ARE TO BE STABILIZED WITH EROSION CONTROL BLANKETS PER SPECIFICATIONS.
17. DISTURBANCE AREA - THE APPROXIMATE AREA OF DISTURBANCE FOR THE SITE, AS SHOWN, IS 4.6 ACRES. THE TOTAL SITE ACREAGE IS APPROXIMATELY 14.67 ACRES.

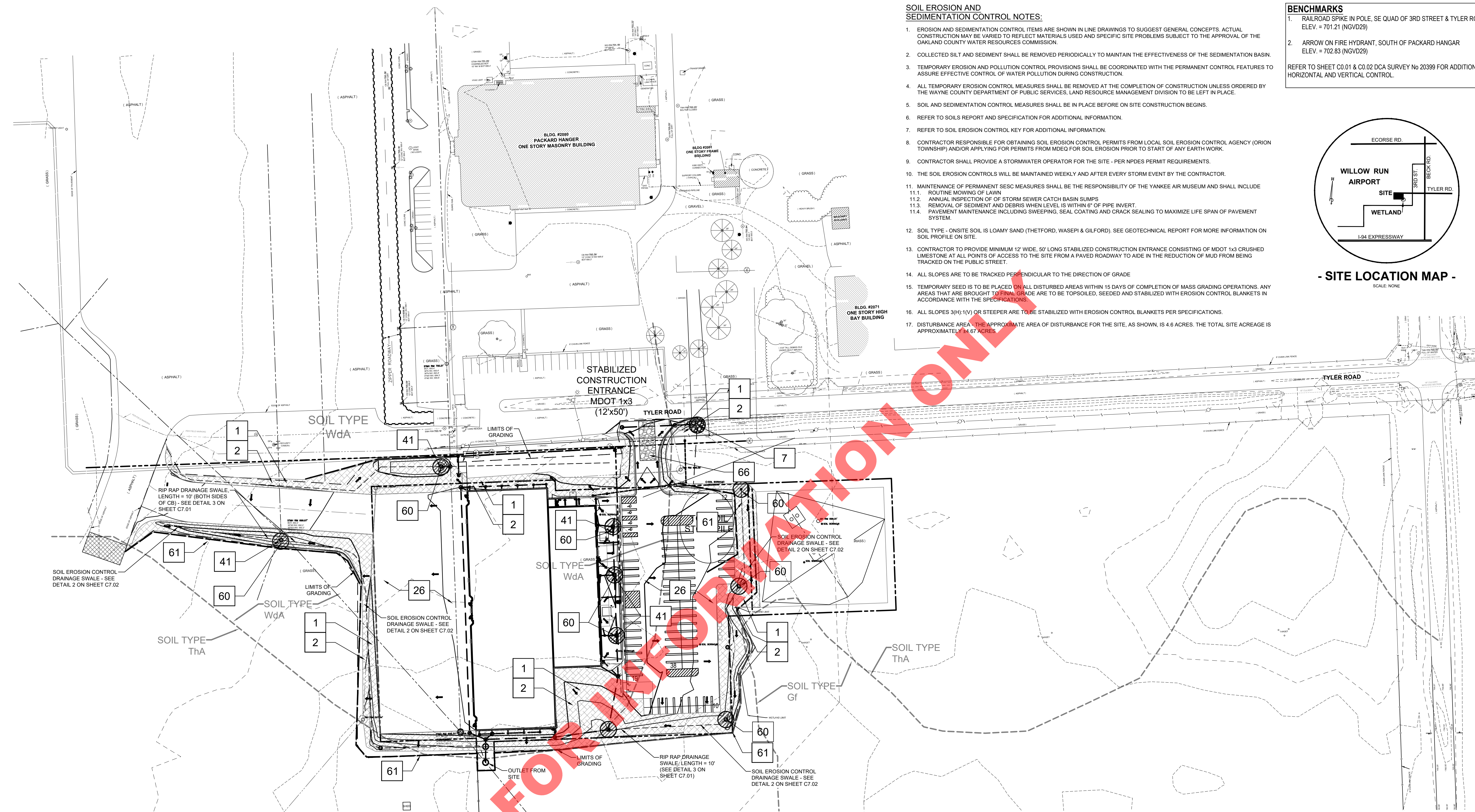
BENCHMARKS

1. RAILROAD SPIKE IN POLE, SE QUAD OF 3RD STREET & TYLER ROAD
ELEV. = 701.21 (NGVD29)
2. ARROW ON FIRE HYDRANT, SOUTH OF PACKARD HANGAR
ELEV. = 702.83 (NGVD29)

REFER TO SHEET C0.01 & C0.02 DCA SURVEY No 20399 FOR ADDITIONAL
HORIZONTAL AND VERTICAL CONTROL.

- SITE LOCATION MAP -

SCALE: NONE



MAINTENANCE REQUIREMENTS:

1. SOIL IS TO BE REMOVED FROM THE STREET ON A DAILY BASIS
2. ADJACENT STREETS THAT HAVE SOIL AND SEDIMENT TRACKED ONTO THEM ARE TO BE SWEEP WEEKLY.
3. STRUCTURAL SEDIMENT CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS. MAINTENANCE ACTIVITIES ARE TO BE RECORDED IN A DAILY LOG OF MAINTENANCE ACTIVITIES.
4. SEDIMENT BASIN AND WATER QUALITY FOREBAY ARE TO BE CLEANED OUT ANNUALLY

FINAL INSPECTION

- PRIOR TO FINAL INSPECTION ALL DISTURBED EARTH:
- A. SHALL BE STABILIZED WITH VEGETATION OR HARD SURFACING
 - B. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE ENTIRE STORM SEWER SYSTEM AND WATER QUALITY FOREBAY
 - C. WATER QUALITY FOREBAY IS TO BE RESTORED TO PROVIDE THE REQUIRED STORAGE VOLUMEN AND STABILIZED.
- TEMPORARY EROSION CONTROL ARE NOT TO BE REMOVED UNTIL APPROVAL HAS BEEN GRANTED BY THE WAYNE COUNTY SOIL EROSION INSPECTOR.

SEQUENCE OF CONSTRUCTION

- FALL 2020
- DAY 1: STONE TRACKING MAT ATOP GEOTEXTILE LINER (MUD-MAT).
- DAY 2: STRIP AND STOCKPILE TOPSOIL.
- DAY 4: GRADE AND BALANCE AS REQUIRED. STABILIZE DITCHES, SWALES, COMMON AREAS AND SLOPES PER PLAN WITHIN 5 DAYS OF GRADE.
- DAY 8: EXCAVATE DETENTION BASIN, INSTALL APPROVED OUTLET, STABILIZE BASIN WITHIN 5 DAYS OF ACHIEVING GRADE.
- DAY 12: STRIP FOR FOOTINGS AND FOUNDATIONS
- DAY 15: STABILIZE SITE WITH TEMPORARY BLANKET AND SEED WITHIN 15 DAYS OF EARTH DISTURBANCE.

- SPRING 2021
- DAY 1: INSTALL UNDERGROUND UTILITIES (I.E. SANITARY, STORM, AND WATER MAIN.)
- DAY 10: PLACE INLET FILTERS.
- DAY 12: INSTALL ALL PUBLIC UTILITIES COMPLETE (ELECTRIC, TELEPHONE, AND CABLE T.V.)
- DAY 30: INSTALLATION OF PAVEMENT COMPLETE.
- DAY 32: ESTABLISH VEGETATION FOR ALL DISTURBED AREAS AND ROADWAY.
- DAY 36: STABILIZATION TO OCCUR WITHIN 5 DAYS OF ACHIEVING FINAL GRADE.
- DAY 38: CLEAN OUT STORM SEWER SYSTEM.
- DAY 39: REMOVE SILT FENCE AND RESTORE SEGMENT FOREBAY AND DETENTION POND TO DESIGN SPECIFICATIONS.
- DAY 40: REMOVE SILT FENCE AND CATCH BASIN FILTERS FOLLOWING WC-OPS APPROVAL (CALL FOR FINAL INSPECTION)

KEY	SESC MEASURE	SYMBOL	WHERE USED	PERMANENT / TEMPORARY
1	SEEDING		WHEN BARE SOIL IS EXPOSED, TEMPORARILY OR PERMANENTLY, TO EROSION FORCES FROM WIND AND OR WATER ON FLAT AREAS, MILD SLOPES, GRASSED WATERWAY AND SPILLWAYS, DIVERSION DITCHES AND DIKES, BORROW AND STOCKPILE AREAS, AND SPOIL PILES.	PERMANENT
2	MULCH		ON FLAT AREAS, MILD SLOPES, GRASSED WATERWAYS AND SPILLWAYS, DIVERSION DITCHES AND DIKES, BORROW AND STOCKPILE AREAS, AND SPOIL PILES WHEN AREAS ARE SUBJECT TO RAINDROP IMPACT, AND EROSION FORCES FROM WIND OR WATER.	PERMANENT
7	RIPRAP		ALONG DRAIN BANKS, SHORELINES OR WHERE CONCENTRATED FLOW OCCURS. SLOWS VELOCITY, REDUCES EROSION AND SEDIMENT LOAD.	PERMANENT
26	DUST CONTROL		AS A TEMPORARY MEASURE ON EXPOSED AND UNSTABLE AREAS THAT MUST BE PROTECTED FROM WIND OR WATER EROSION.	TEMPORARY
41	CATCH BASIN		WHEN SURFACE WATER ACCUMULATES AND NEEDS AN OUTLET OR AN OPEN DRAIN DISCHARGES TO A STREAM OR DRAIN AT EROSION VELOCITIES. WITHIN AN ENCLOSED DRAIN SYSTEM TO PROVIDE AN INLET AND A SUMP.	PERMANENT
60	STORM DRAIN INLET PROTECTION		AROUND THE ENTRANCE TO A NEWLY CONSTRUCTED CATCH BASIN OR AN INLET THAT WILL CAPTURE RUNOFF FROM AN EARTH CHANGE ACTIVITY.	TEMPORARY
61	SILT FENCE		AS A TEMPORARY MEASURE USED TO CAPTURE SEDIMENT FROM SHEET FLOW. MAY ALSO DIVERT SMALL VOLUMES OF SHEET FLOW TO PROTECTED OUTLETS.	TEMPORARY
62	SEDIMENT BASIN		WHEN WORKING IN THE DRAIN, OR DRAIN EASEMENT, IN STREAMS OR DRAINS WHERE SEDIMENT SUMPS ARE INADEQUATE.	TEMPORARY
66	STABILIZED CONSTRUCTION ACCESS		AT LOCATIONS WHERE CONSTRUCTION EQUIPMENT WILL ENTER AND EXIT THE DRAIN EASEMENT AND TRACKING OF SOIL IS ANTICIPATED. MINIMUM DIMENSIONS OF STONE SHALL BE 12" x 50'.	TEMPORARY

EAST HANGAR & SHOPS - PRELIMINARY SITEWORK SCHEDULE		9/20	10/20	11/20	12/20	1/21	2/21	3/21	4/21	5/21	6/21	7/21	8/21	9/21
Mobilize / SESC MEASURES / ADDITIONS	1 WEEK													
MAINTAIN SESC MEASURES														
INSTALL TEMP. STABILIZATION MEASURES	1 WEEK													
STRIP & STOCKPILE TOPSOIL	1 WEEK													
FOOTINGS & FOUNDATIONS	3 WKS													
ERECT HANGAR BUILDING	12 WEEKS													
MASS GRADING	6 WEEKS													
INSTALL SITE UTILITY	4 WEEKS													
INSTALL CONCRETE (WALKS & CURBING)	2 WEEKS													
INSTALL HMA PAVING	1 WEEK													
COMPLETE EARTHWORK	1 WEEK													
COMPLETE SEEDING	1 WEEK													
REMOVE TEMP. SESC MEASURES	1 WEEK													

PROPOSEDDESCRIPTION:

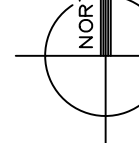
AERONAUTICS CENTER LEASE AREA

COMMENCING AT THE NW CORNER OF THE SUBJECT LEASE AREA, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N87°56'44"E, 120.00' THENCE TO A POINT THAT IS MORE OR LESS 10.00 FEET NORTH OF THE NORTHWEST CORNER OF THE HANGAR, THENCE CONTINUING N87°56'44"E, 110.33' THENCE S02°03'16"E, 13.23' THENCE N87°56'44"E, 240.87' TO A POINT ALSO DESCRIBED AS THE POINT OF BEGINNING OF THE B-52 BOMBER PARCEL; THENCE S02°03'16"E, 165.00' THENCE S87°56'44"W, 30.00' THENCE S02°03'16"E, 146.09' THENCE S87°56'44"W, 299.84' THENCE S02°03'16"E, 35.85' THENCE S87°56'44"W, 22.00' THENCE N07°03'16"W, 40.68' THENCE S87°56'44"W, 119.99' THENCE N02°03'16"E, 320.00' TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

SEQUENCE OF CONSTRUCTION

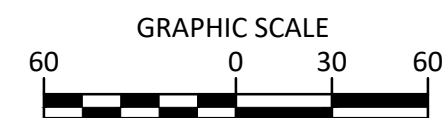
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SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE 1" = 60'-0"

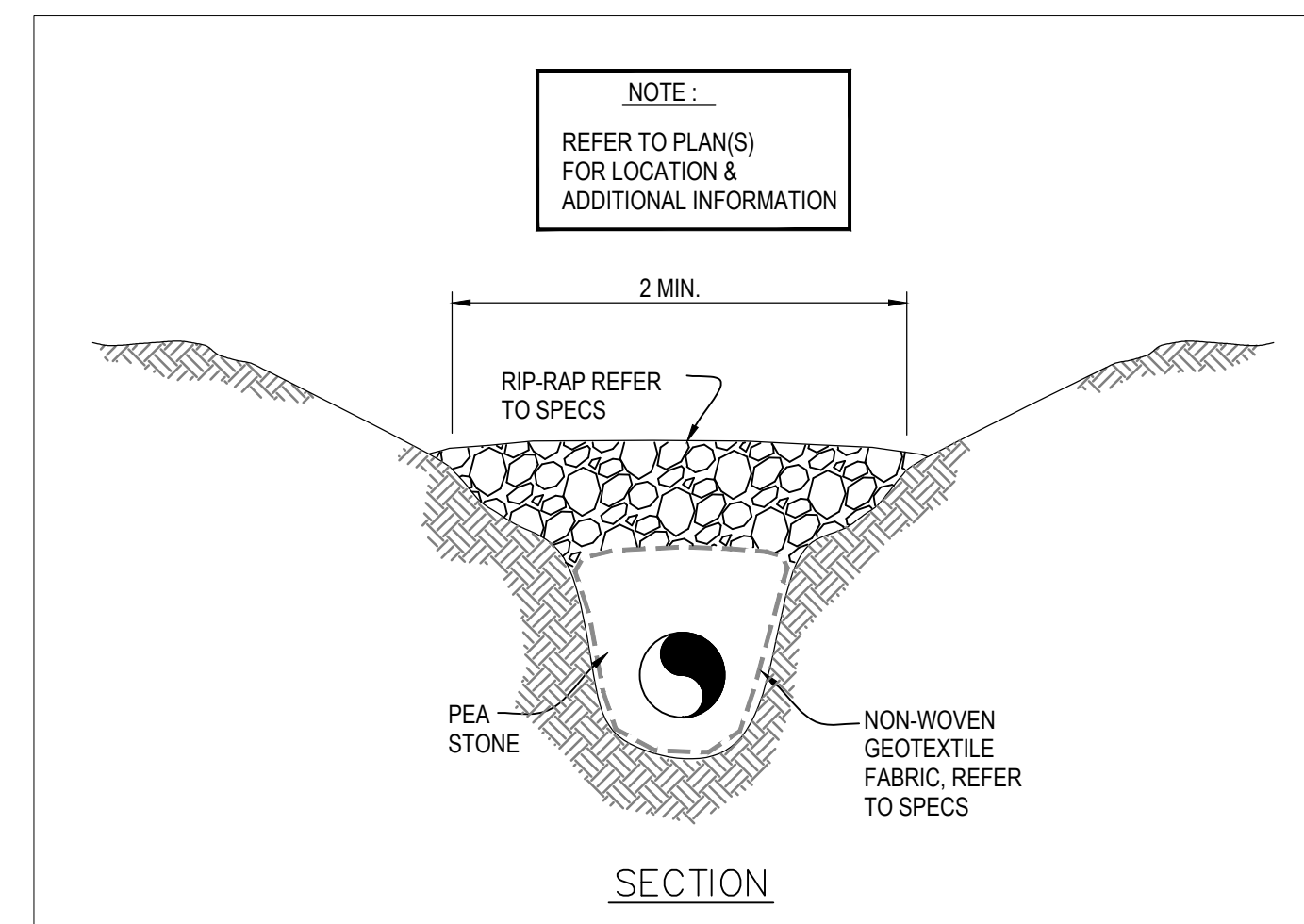
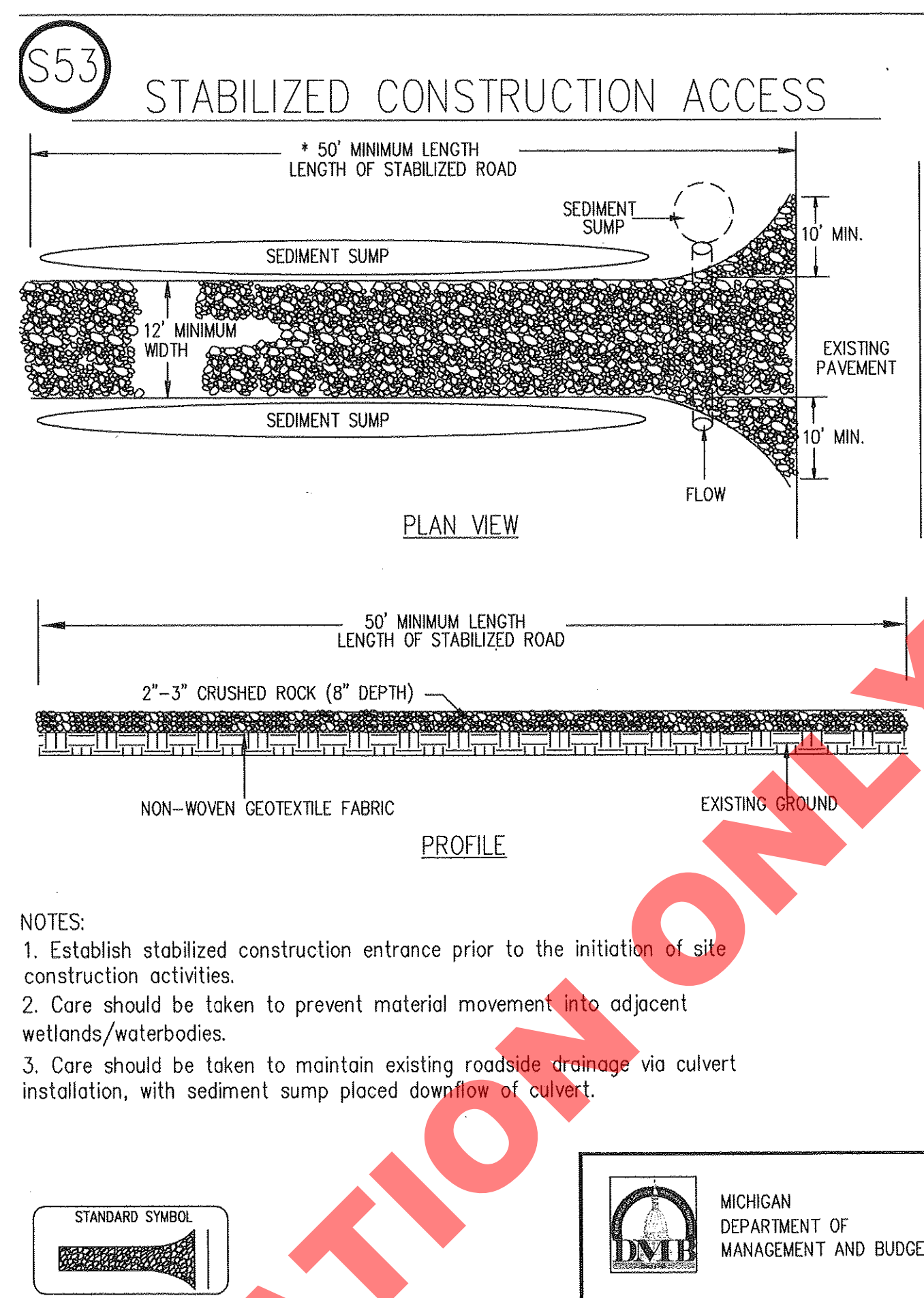
DRAWN JPR
REVIEWED MEF

PROJECT NO. 5-5057

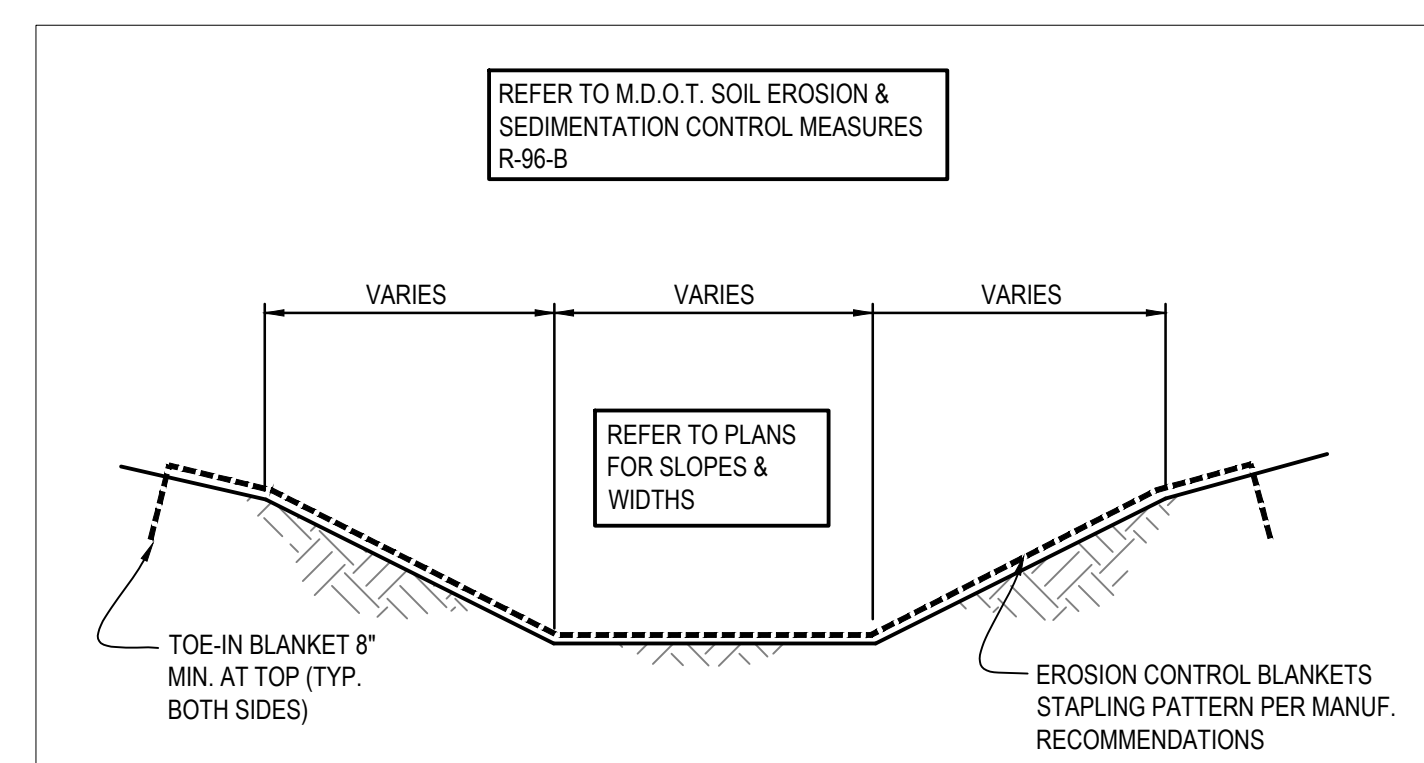
No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior written permission of

GMB Copyright © 2020
All Rights ReservedSOIL EROSION &
SEDIMENT CONTROL PLAN

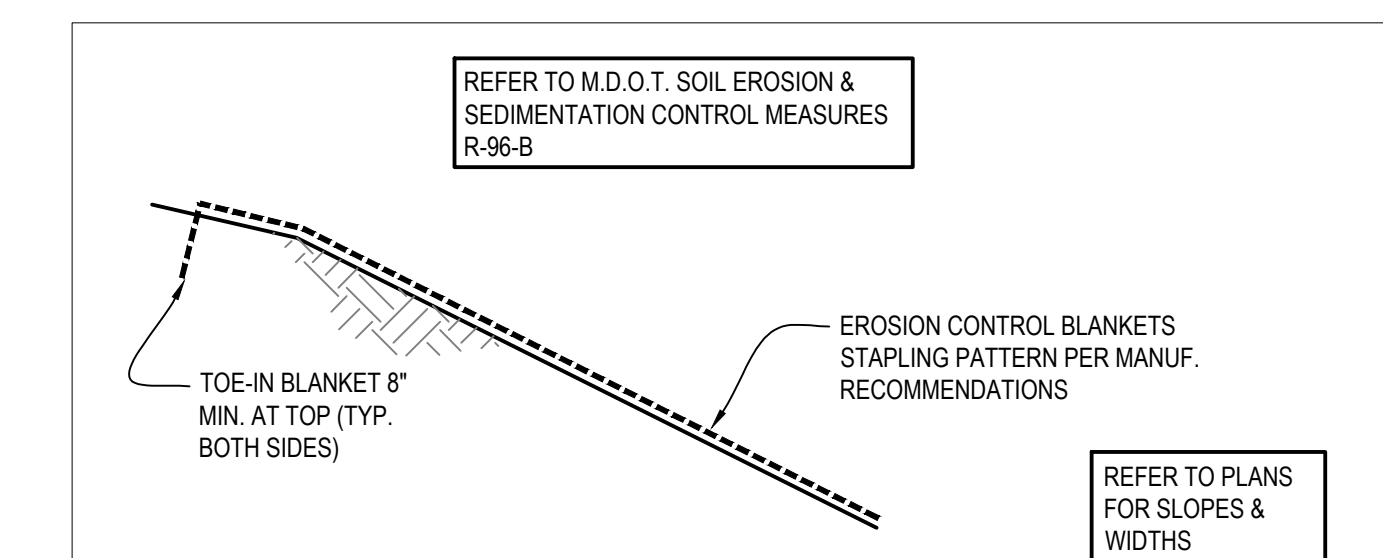
C7.00



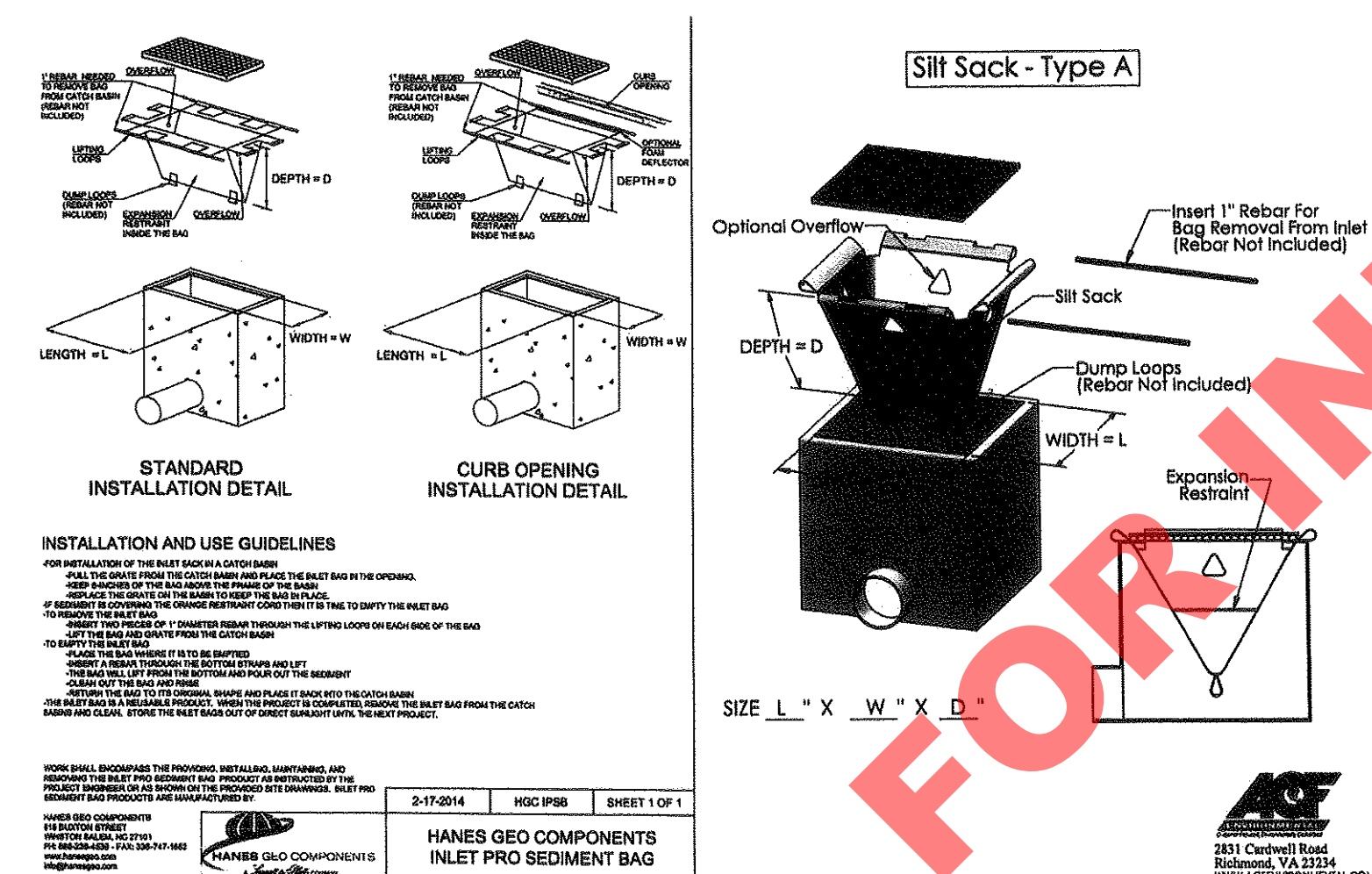
3 RIP RAP DRAINAGE SWALE
C7.01 NOT TO SCALE



2 SOIL EROSION CONTROL DRAINAGE SWALE
C7.01 NOT TO SCALE



1 SOIL EROSION CONTROL BLANKETS
C7.01 NOT TO SCALE

**CSI Geoturf®**

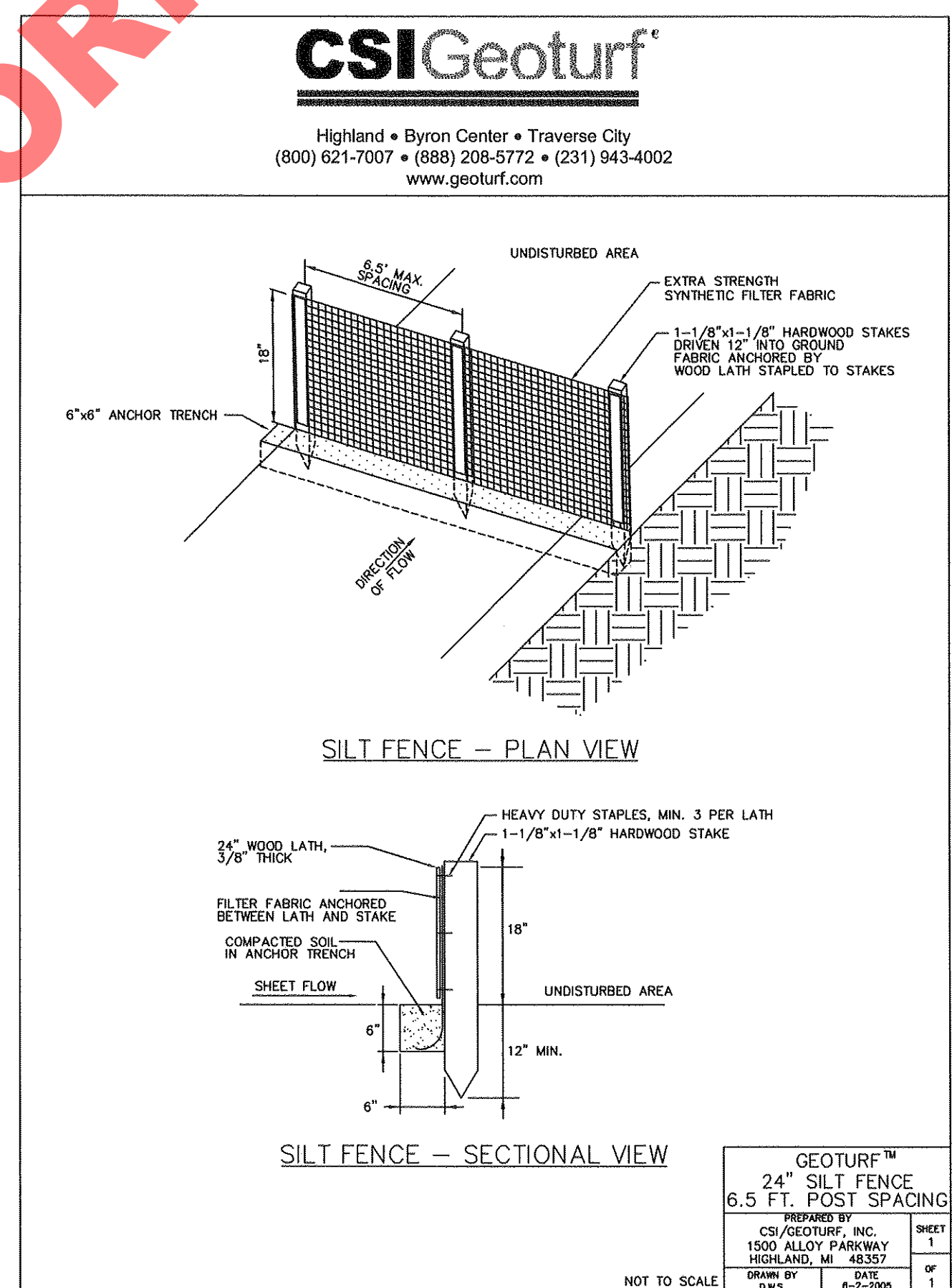
Down to Earth Solutions
Professional Construction, Turf, and Landscape Supplies
▪ CIVIL SITE IMPROVEMENTS ▪ EROSION & SEDIMENT CONTROL ▪ STORMWATER MANAGEMENT ▪ LANDSCAPE ENHANCEMENTS

Geoturf® Filter Bag

Whenever accumulated water on a construction site must be pumped, utilize filter bags to ensure the water is properly filtered of silt and sediment prior to discharge into receiving bodies. Filter bags are constructed of strong, high quality nonwoven geotextile filter fabric with a fill port to accommodate a pump discharge hose. The filter bags permit a controlled outflow of water, while retaining harmful pollutants.

Size	15' x 20' x 8"
Snout Size	8"
Holding Capacity	15 Cubic Yds

**Meets the requirements of MDOT Item 208
Erosion Control Filter Bag**

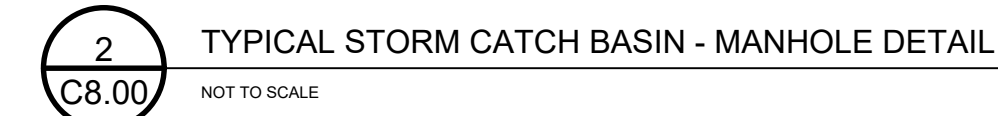
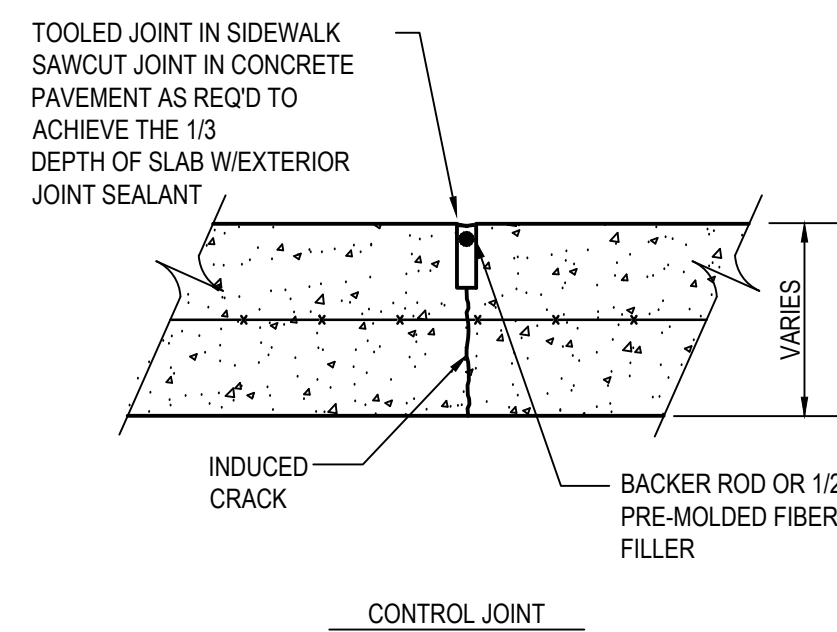
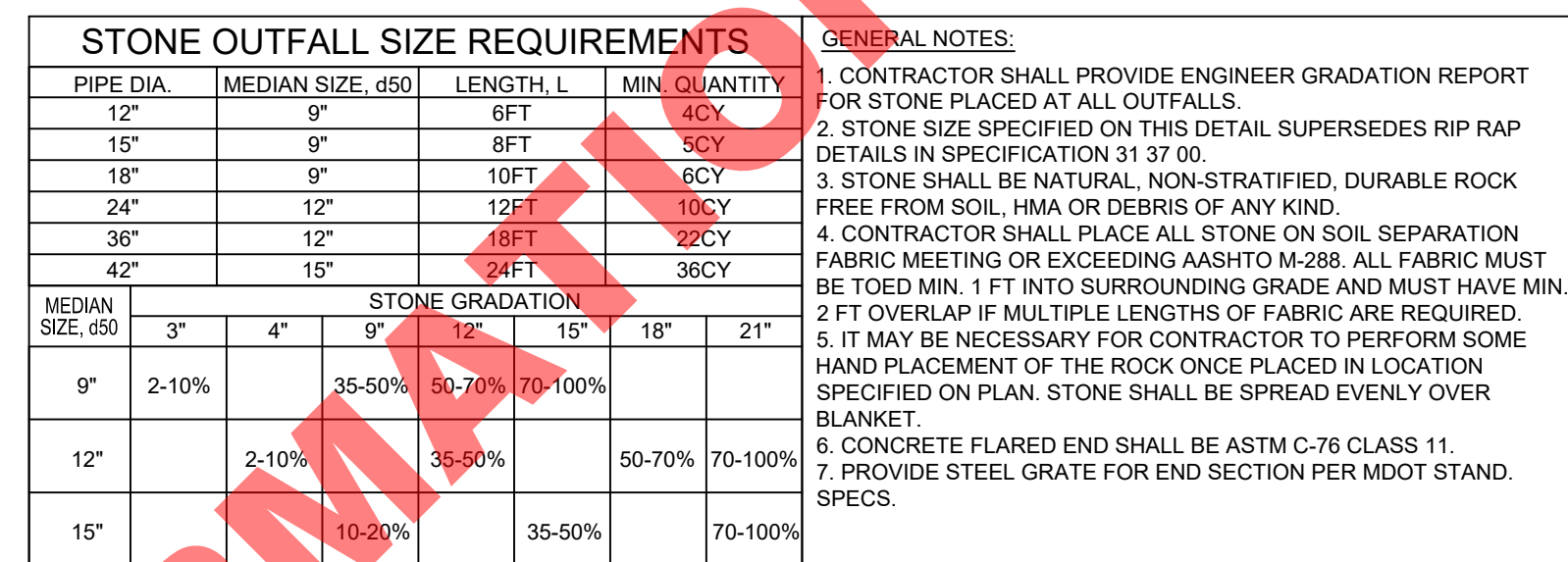
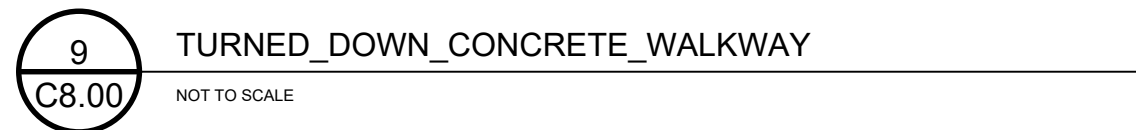


SILT FENCE – PLAN VIEW

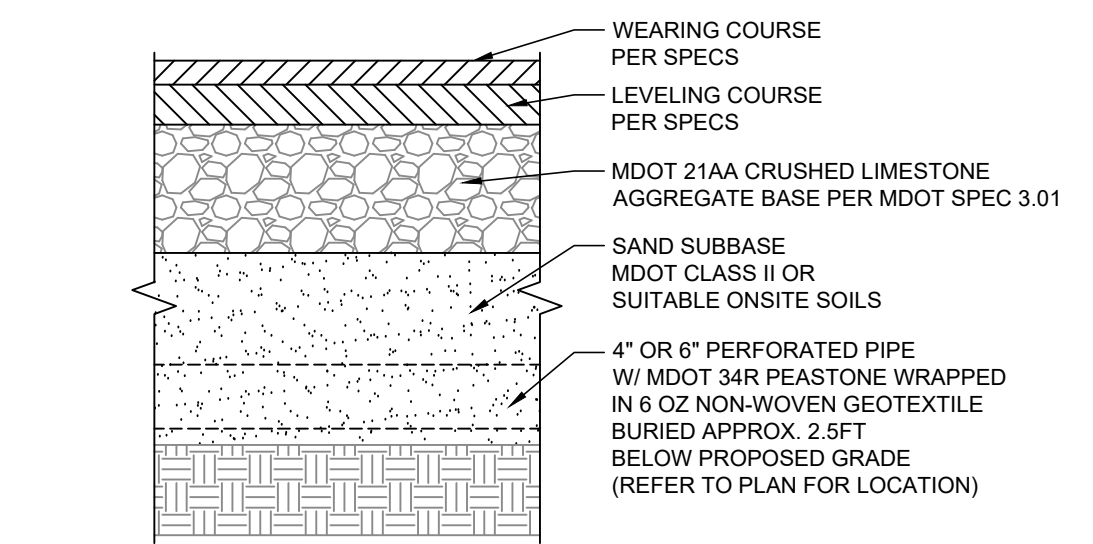
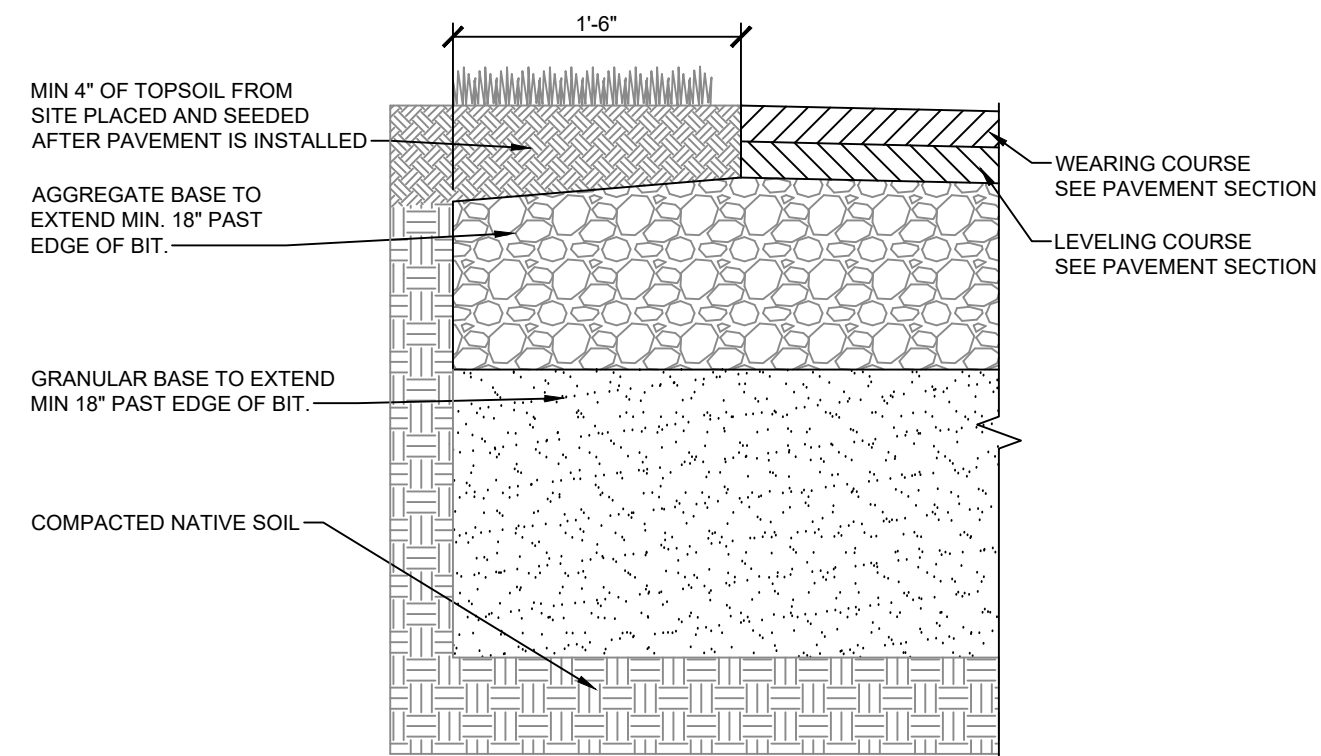
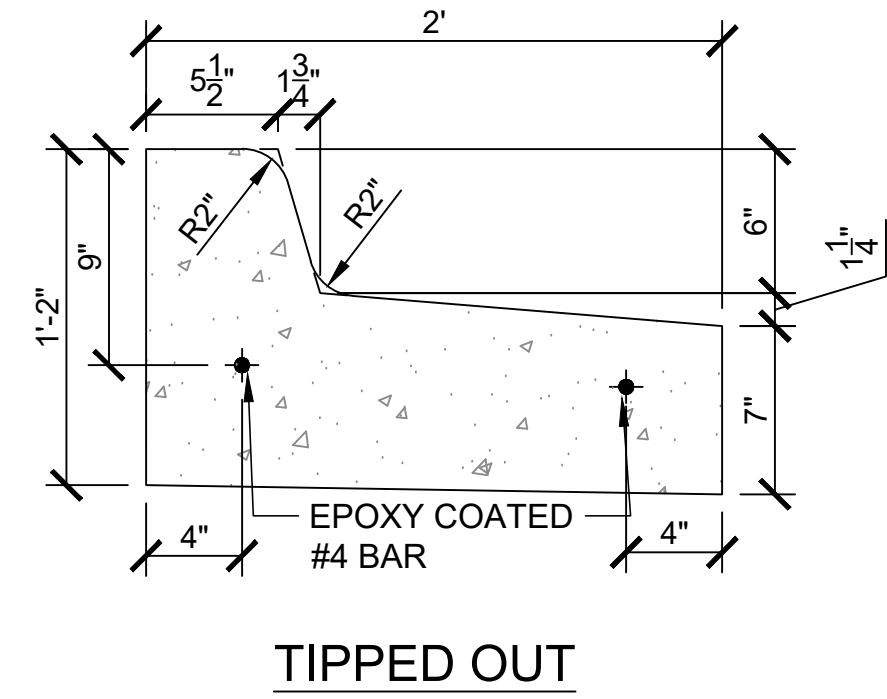
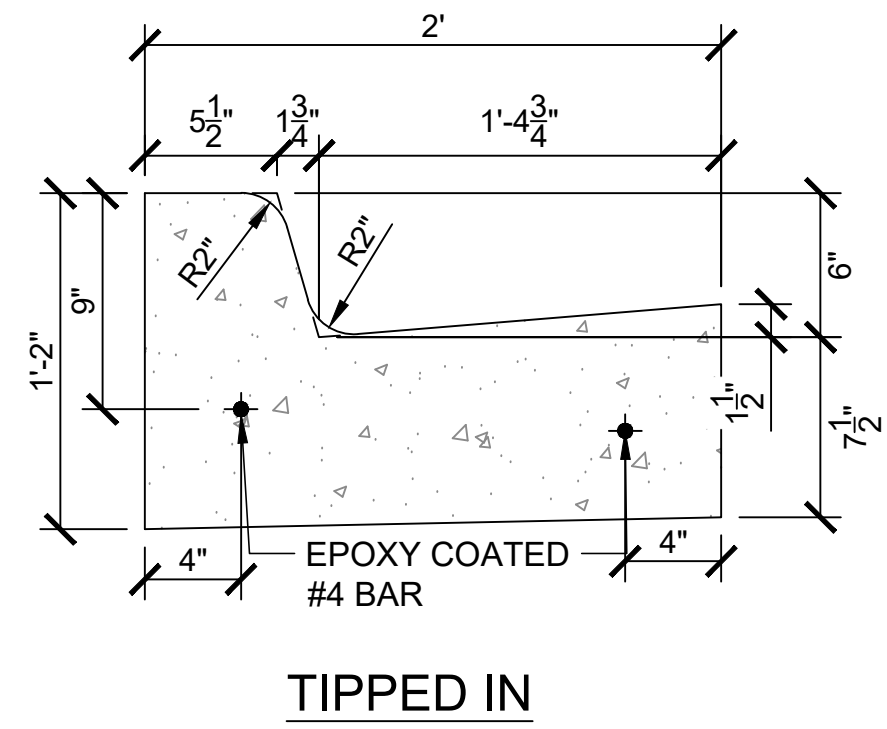
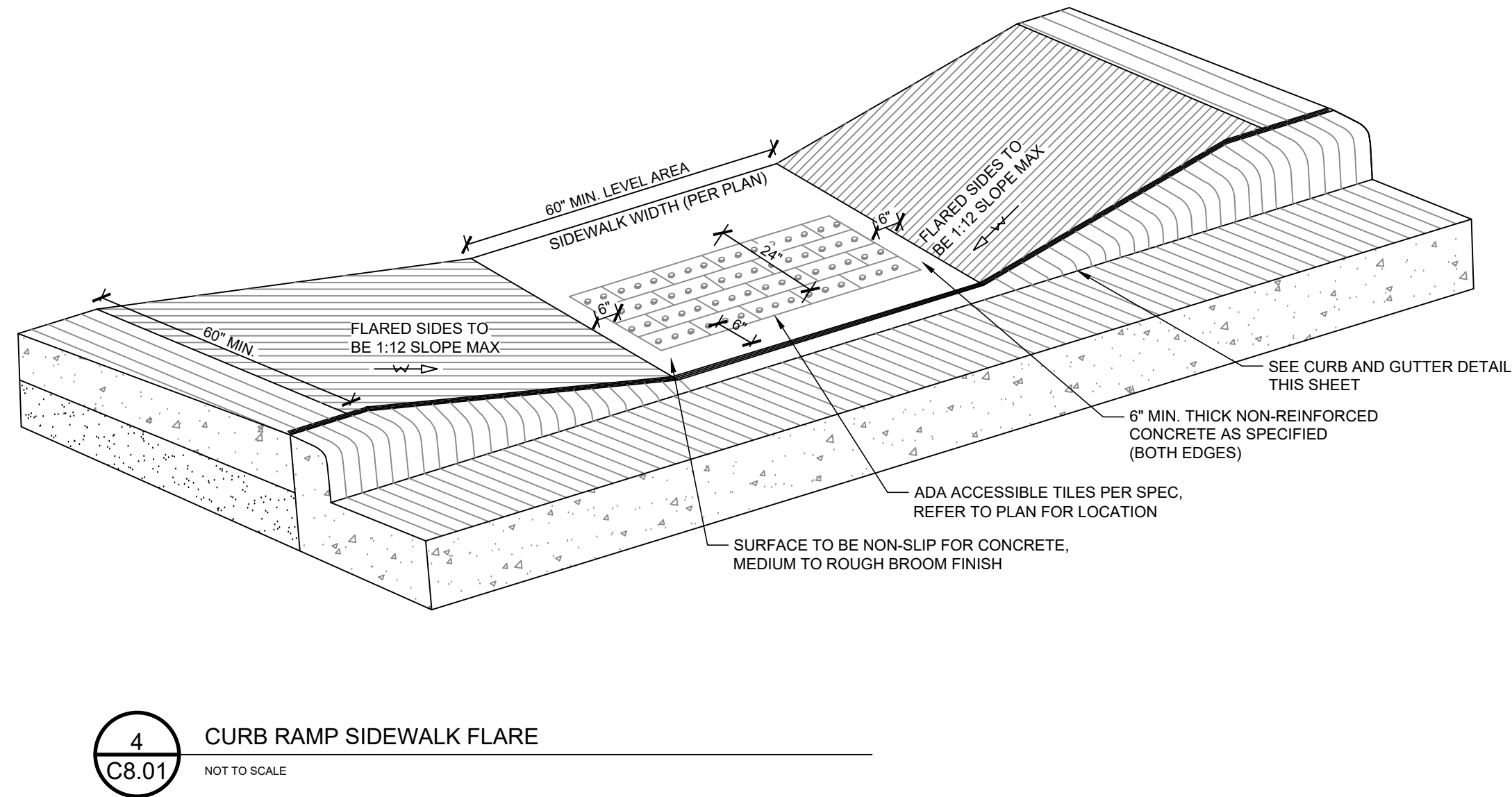
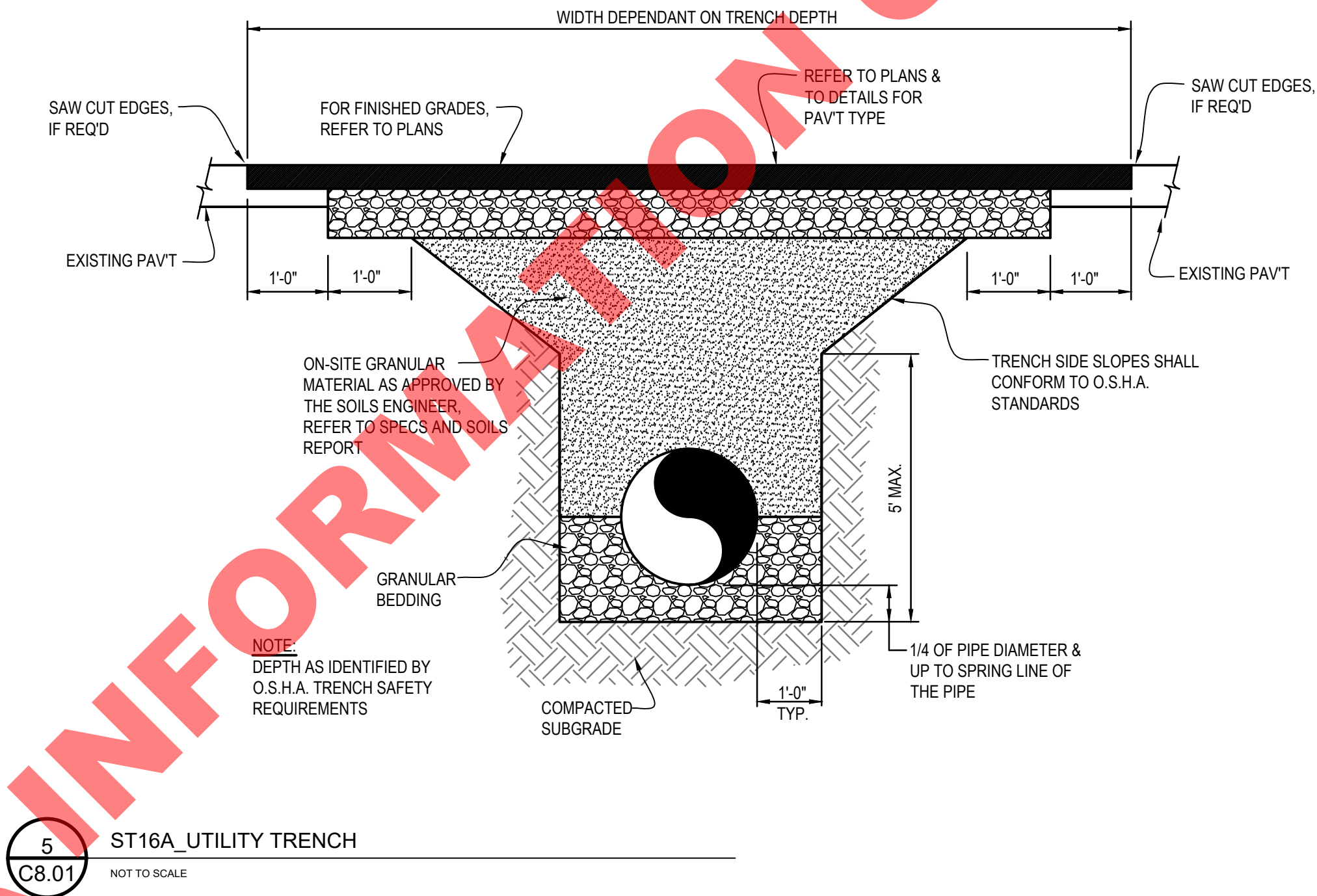
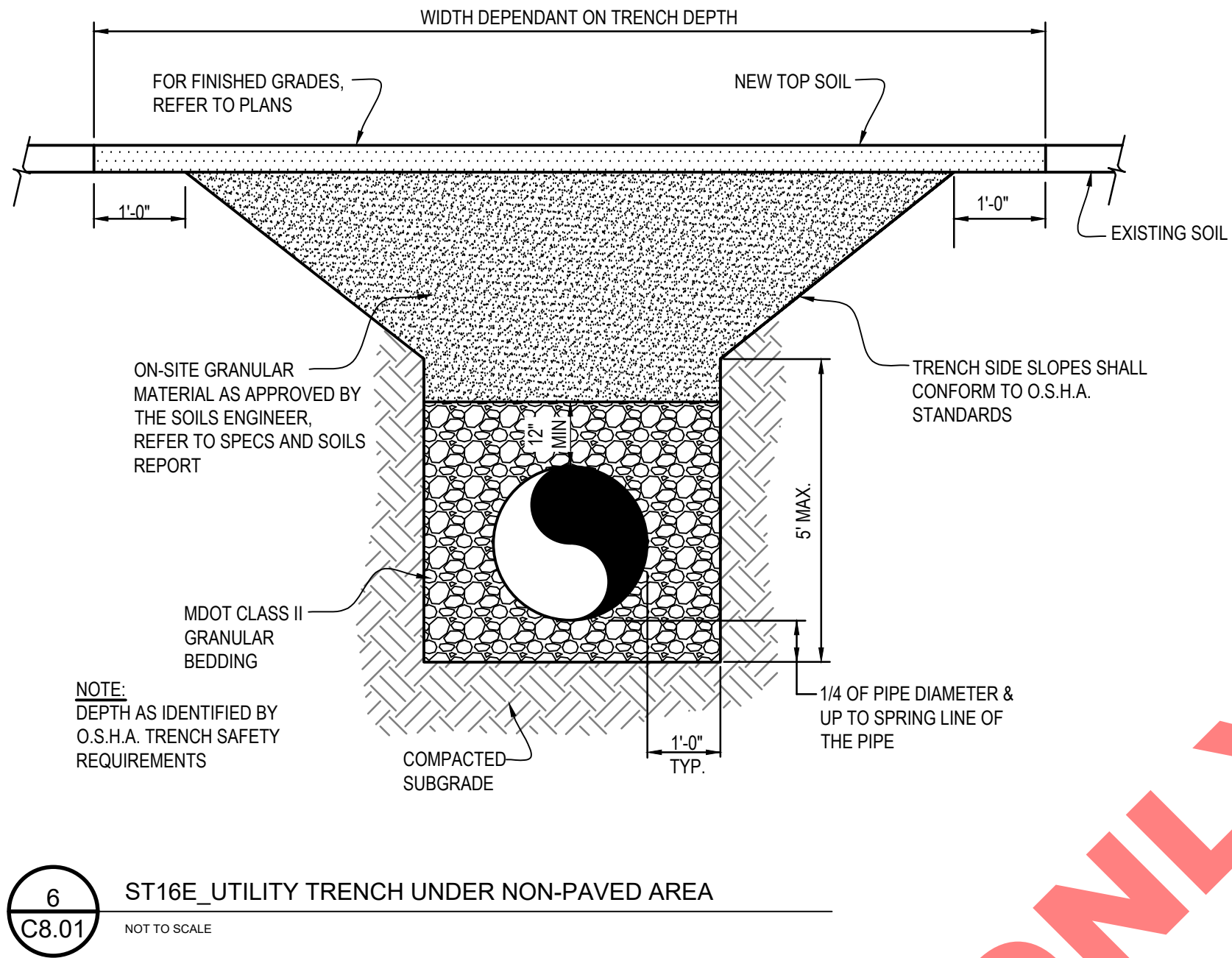
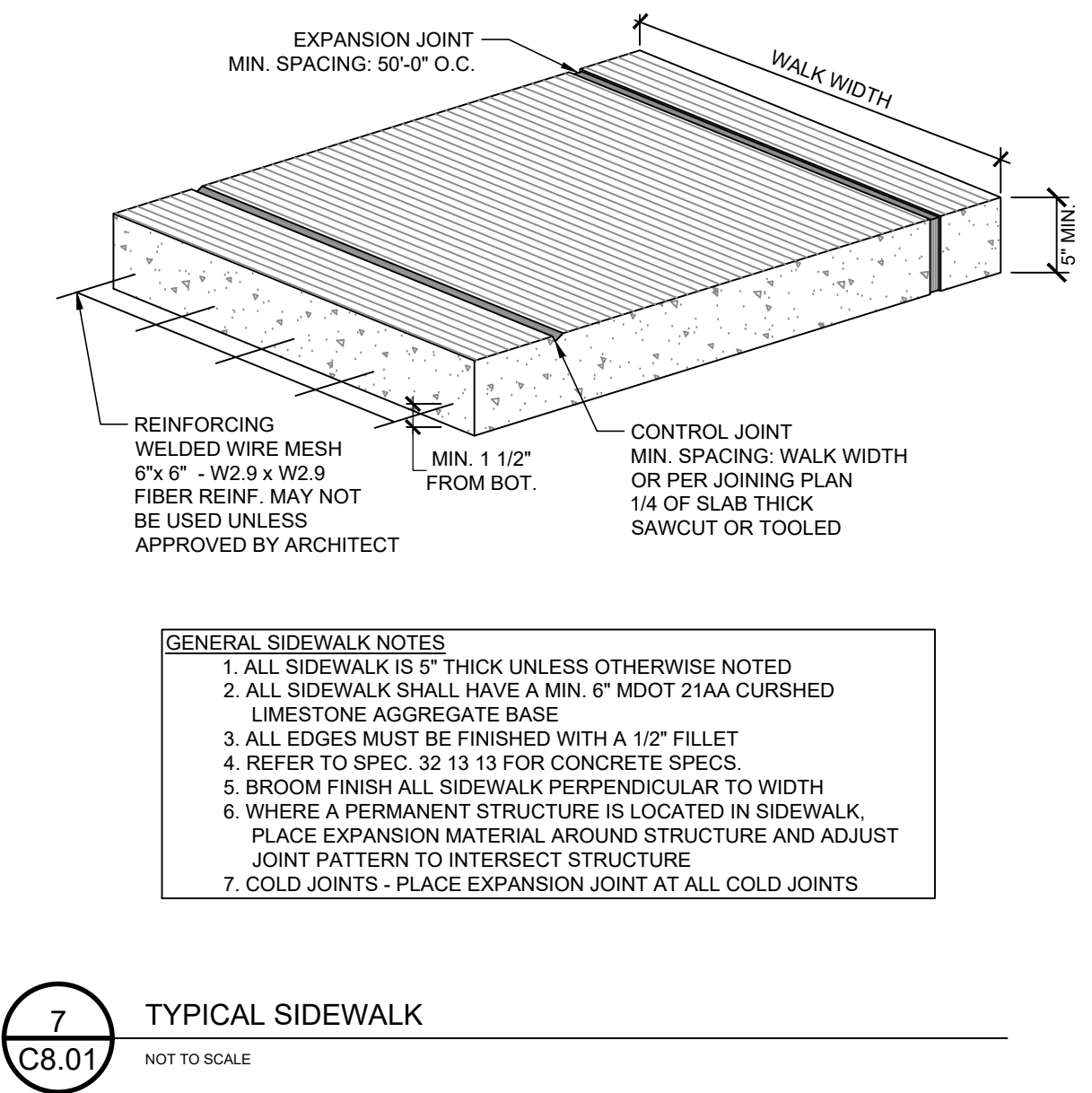
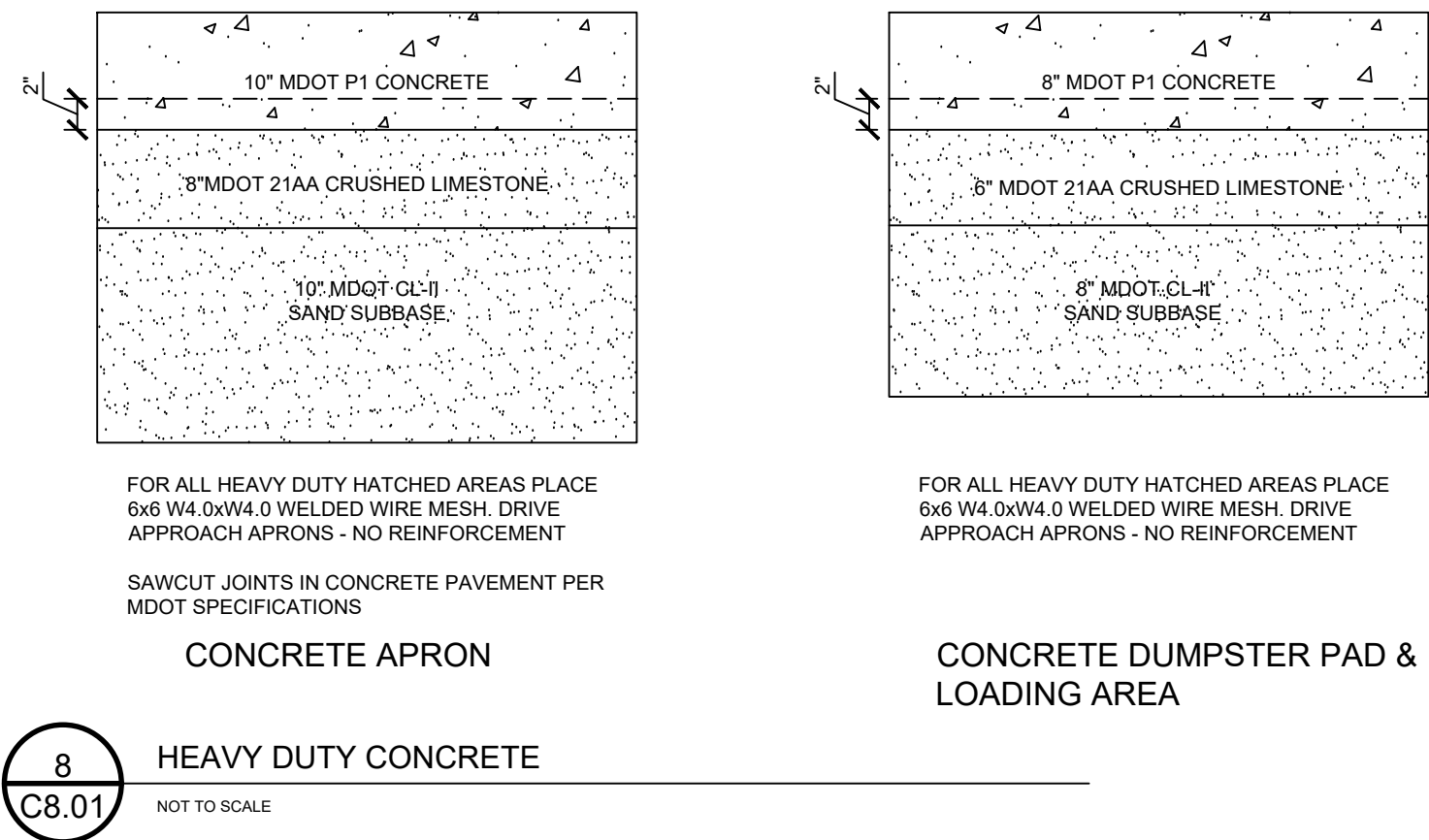
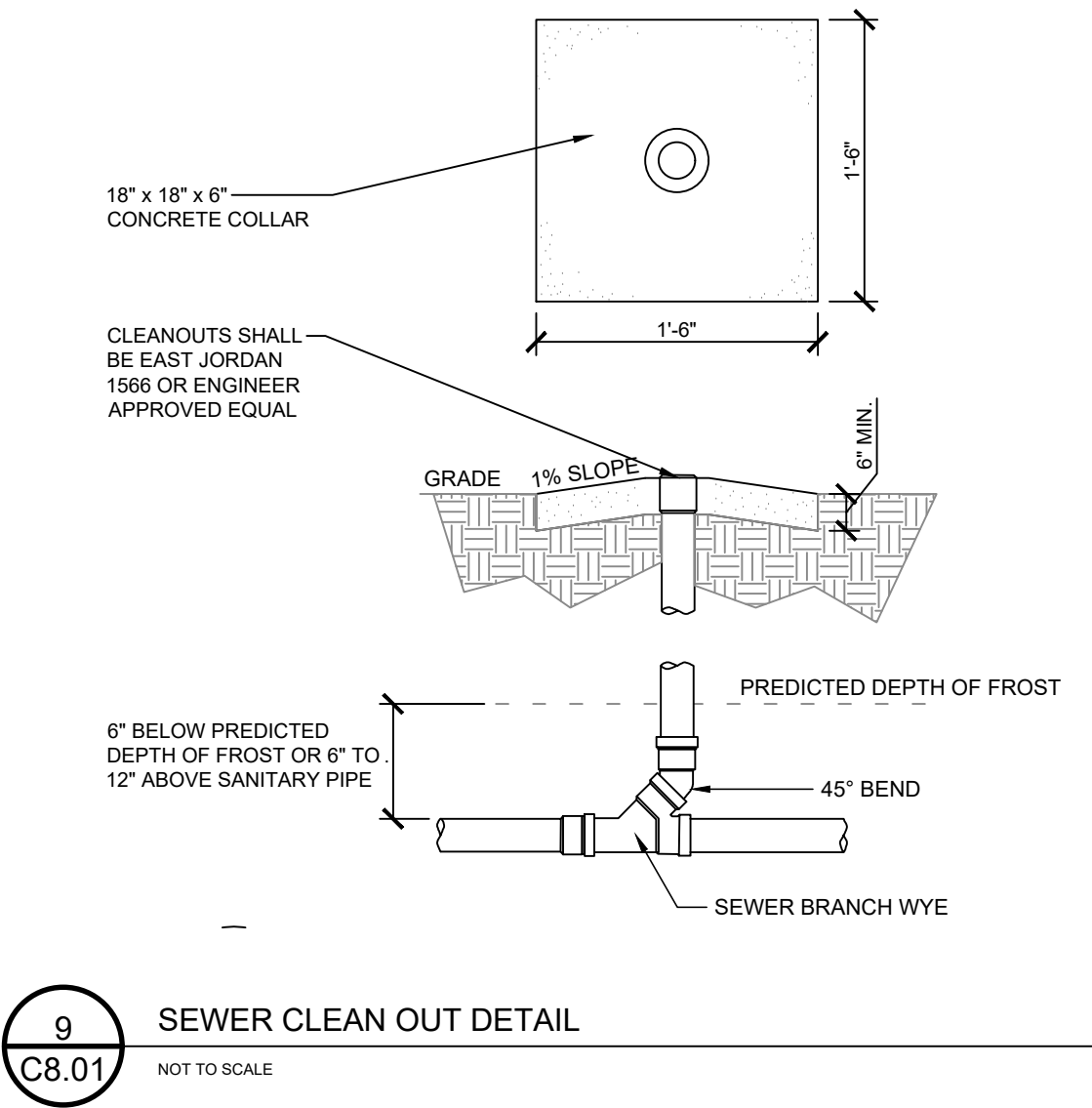
SILT FENCE — SECTIONAL VIEW

NOT TO SCALE

GEOTURF™ 24" SILT FENCE 6.5 FT. POST SPACING	
PREPARED BY CSI/GEOTURF, INC. 1500 ALLOY PARKWAY HIGHLAND, MI 48357	SHEET 1
DRAWN BY DWS	DATE 8-2-2006

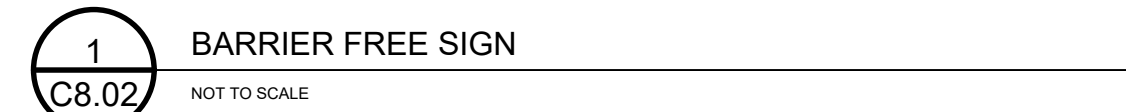
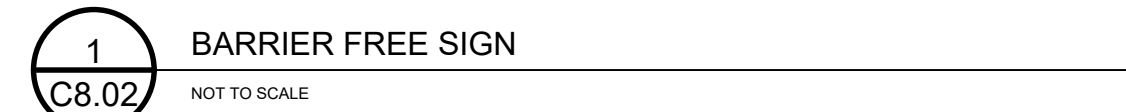
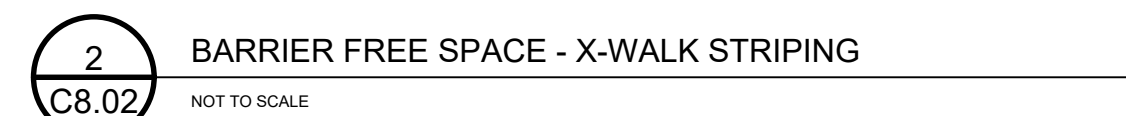


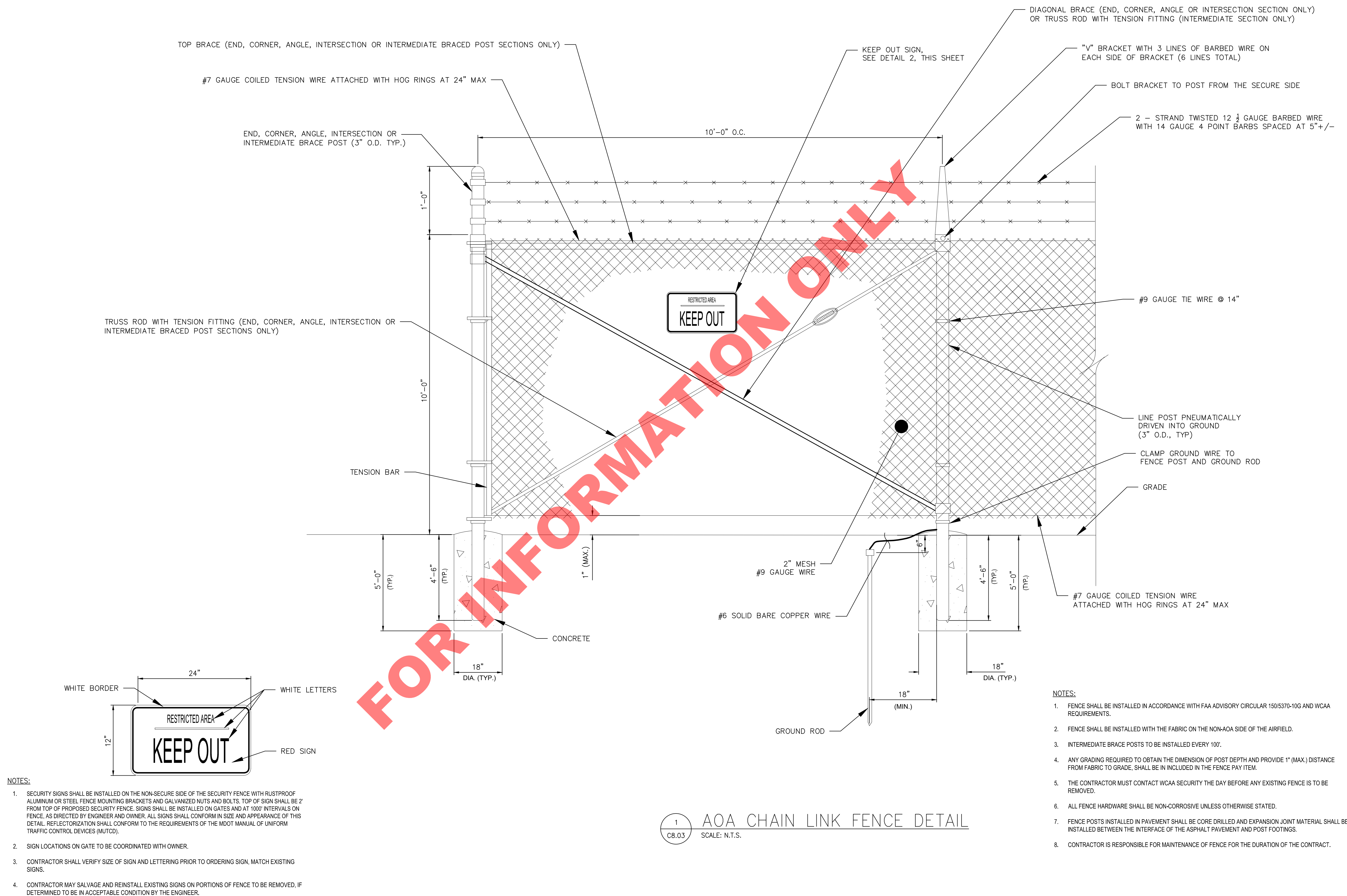
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12/17/2020 8:12:17 AM



HOT MIX ASPHALT PAVEMENT SECTION				
LOCATION	WEARING	LEVELING	AGG. BASE	SAND BASE
LIGHT DUTY	1.5" MDOT 5E1	2.0 MDOT LVSP	10" MDOT 21AA LIMESTONE	10" MDOT CL-II
MEDIUM DUTY	2.0" MDOT 5E1	2.5" MDOT LVSP	10" MDOT 21AA LIMESTONE	10" MDOT CL-II

NOTES:
1. REFER TO GEOTECH REPORT FOR ADDITIONAL PAVING REQUIREMENTS OF ASPHALT MIX & SITE PREPARATION.
2. REFER TO PLANS FOR LOCATION OF UNDERDRAIN PLACEMENT.
3. REFER TO PLANS FOR PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS TO BE PAINTED YELLOW (2 COATS) EXCEPT FOR BARRIER FREE PARKING, WHICH SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.



1 AOA CHAIN LINK FENCE DETAIL
SCALE: N.T.S.2 KEEP OUT SIGN DETAIL
SCALE: N.T.S.

WARNING - THIS RECORD CONTAINS SENSITIVE SECURITY INFORMATION THAT IS CONTROLLED IN 49 CFR PART 1520. NO PART OF THIS RECORD MAY BE DISCLOSED TO PERSONS WITHOUT A "NEED TO KNOW", AS DIRECTED IN 49 CFR PART 1520, EXCEPT WITH THE WRITTEN PERMISSION OF THE ADMINISTRATOR, THE TRANSPORTATION SECURITY ADMINISTRATION, OR THE SECRETARY OF TRANSPORTATION. UNAUTHORIZED RELEASE MAY RESULT IN CIVIL PENALTY OR OTHER ACTION. FOR US GOVERNMENT AGENCIES, PUBLIC DISCLOSURE IS GOVERNED BY 5 U.S.C. 552 AND 49 CFR PART 1520.

ISSUANCES

11.09.2020	PERMITS
12.17.2020	VBT APPROVAL & CONSTRUCTION

DRAWN	JPR
REVIEWED	MEF

PROJECT NO. 5-5057

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FENCE DETAILS



Memo

TO: Van Buren Charter Township Planning Commission
RE: Adaptive Outdoor Retail and Dining – Relaxation of Certain Regulations – extended for 2021
DATE: January 8, 2021

In July 2020, following a recommendation from the Planning Commission, the Township Board of Trustees, adopted a resolution to maximize seating and retail space outdoors while limits on indoor occupancy remain in place due to restrictions on business's capacity under COVID-19. Under normal circumstances, the Van Buren Township Planning Commission reviews temporary land use applications for sales or dining events at commercial sites, such as outdoor tent sales, that extend beyond two weeks. These applications also typically require the submittal of an administrative fee.

I am asking the Planning Commission to discuss and consider forwarding a *new* recommendation to temporarily relax the requirement of Planning Commission review for temporary land uses, specifically for businesses to use outdoor dining and retail space due to COVID-19, through December 31, 2021. The Planning Commission may pass a simple motion to do so. In turn, the Township Planning and Economic Development Director will review site plans and applications for these adaptive temporary outdoor dining and retail operations with input as necessary from the Department of Public Safety, DDA, and Department of Public Services.

If the Planning Commission concurs, I will ask the Township Board of Trustees for action on this matter at their regular meeting on January 19, 2021. Thank you for your consideration.

Thank you,

Dan Power, AICP – Director of Planning and Economic Development, Van Buren Charter Township

CC: Vidya Krishnan – Van Buren Charter Township Planning Consultant, McKenna and Associates, Inc.
Matthew Best, M.S. – Director of Public Services, Van Buren Charter Township

THE CHARTER TOWNSHIP OF VAN BUREN
WAYNE COUNTY, MICHIGAN

RESOLUTION REGARDING THE AUTHORIZATION OF ADMINISTRATIVE APPROVAL
AND FEE WAIVER FOR TEMPORARY ADAPTIVE OUTDOOR FOOD AND BEVERAGE
SERVICE AND RETAIL LAND USES

RESOLUTION NO. 2021-01-19

DATED: JANUARY 19, 2021

WHEREAS, on March 10, 2020, the Governor issued Executive Order 2020-4, declaring a State of Emergency across the State of Michigan relating to the novel Coronavirus 19 (COVID-19); and

WHEREAS, on March 16, 2020, the Governor issued Executive Order 2020-9, which resulted in the closure of restaurants, cafes, bars and like businesses throughout the State of Michigan, effective March 16, 2020, at 3:00 p.m.; and

WHEREAS, on March 23, 2020, the Governor issued the first “Stay at Home” Order, Executive Order 2020-21, which ordered non-essential businesses, including retail businesses in the Township, to close to the public; and

WHEREAS; the Governor issued Executive Order 2020-110 on June 1, 2020 that contemplated the slow or partial reopening of certain businesses in various parts of the State, including allowing certain retailers to resume operations on June 4, subject to safety guidance to mitigate the risk of infection, and allowing restaurants, cafes, bars, and like places to open in the Region 1 area which includes the Township beginning on June 8, subject to the capacity constraints and workplace standards described in Executive Order 2020-97 or any order that may follow from it; and

WHEREAS; Governor’s Executive Orders and orders from the Michigan Department of Health and Human Services since the release of Executive Order 2020-97 have continued to monitor COVID-19 data and release orders which limit the use of indoor spaces for various business functions in order to reduce the spread of COVID-19, and are anticipated to continue doing so for the foreseeable future;

WHEREAS; the Township Board understands and expects that businesses will be subject to limitations on occupancy and requirements for social distancing, including that they will be unable to operate at full capacity with available indoor space to accommodate necessary social distancing; and

WHEREAS; while businesses may seek relief from those regulations by submitting an administrative review fee and application for temporary events lasting longer than seven (7) consecutive days or two consecutive weekends to the Township Planning Commission as a

temporary land use, or as a permanent land use subject to site plan review, these procedures may require the use of substantial time and resources by the applicant and the Township; and

WHEREAS; the Township finds that the most appropriate way to act swiftly to assist local retailers and food and beverage service businesses in their economic recovery and to be responsive to the public health demands of the COVID-19 pandemic in a manner that is consistent with the overall purpose and goals of the Township's existing ordinances is to authorize a process without fees that enables Township staff to quickly administer the review of the expansion of certain permitted uses into outdoor spaces for a defined period of time, because of—and only because of—the occupancy limitations and social distancing requirements necessary to respond to the COVID-19 pandemic, and for no other purpose or duration; and

WHEREAS; the Township's resolution 2020-07-07 (1), which gave temporary administrative relief to business in the form of the expansion stated above through October 31, 2020;

NOW, THEREFORE, IT IS THEREFORE RESOLVED:

1. Township Board finds that a new temporary relaxation of certain administrative regulations with respect to the operation of certain businesses is an appropriate response to these current unprecedented conditions within the Township Board, state, and country, and further finds that such temporary relaxation, if properly administered, will not adversely affect the public health, safety, and welfare and will in fact benefit both the businesses and the members of the public affected given COVID-19's wide-ranging effects.
2. The Township Board hereby determines that it is appropriate to establish, and it hereby does establish, allowance of applications for temporary outdoor food and beverage service and retail uses which exceed seven (7) consecutive days or two (2) consecutive weekends without cost which can be reviewed administratively and do not require review by the Planning Commission, subject to the following requirements:
 - a. The provisions of this Resolution and the Permit Authorization are limited to retail and food and beverage service businesses that can meet the requirements of Section 7.120 of the Township Zoning Ordinance (Temporary Land Uses, Buildings, and Structures) and this resolution;
 - b. The Township Department of Planning and Economic Development in conjunction with the Department of Public Safety and Downtown Development Authority (DDA) will finalize written standards and procedures for receiving and reviewing applications for temporary outdoor food and beverage service and retail uses in response to COVID-19 which include the following:
 - A complete description of proposed activities including dining, food and/or beverage service, and retail;
 - A display of the dimensions of a perimeter area in which outdoor service and retail activities are proposed to occur;
 - A label indicating the number of current existing parking spaces on the site, including barrier free and standard parking spaces;
 - A description of the existing parking spaces that will be temporarily removed due to the proposed temporary land use;

- Verification that the use will retain adequate parking, including the required unhindered barrier free parking spaces;
 - Proposed hours of outdoor operation;
 - Proposed lighting;
 - Setbacks from adjacent lot lines;
 - Method of trash disposal and site clean-up;
 - A description of sanitary facilities;
 - A description of outdoor signage, including locations and details;
 - A description of other licenses or permits required, including those administered by the Michigan Liquor Control Commission (MLCC);
 - A description of fire lanes, fire protection and security;
 - A circulation plan showing how traffic will be routed through the site and between this site and adjacent sites and roadways;
 - Any drawings showing the size, height and type of construction of proposed temporary buildings and structures;
 - Any available commitment to a performance guarantee or insurance to ensure prompt termination and removal of the use, clean up or compensation for impacts of the temporary use; and
 - Any other information that aids with the description of the project.
3. The application for temporary outdoor food and beverage service and retail in response to COVID-19 will be subject to administrative approval by the Township Director of Planning and Economic Development.
 4. The authorizations set forth in this Resolution are effective beginning January 20, 2021 and shall expire on December 31, 2020, unless extended by the Township Board due to extended occupancy limitations based on the Governor's Executive Orders.
 5. If a conflict arises between this resolution and any resulting administratively approved retail and dining temporary land use permit and any Executive Order from the State of Michigan Governor, the Executive Order shall prevail.
 6. If the Township adopts an ordinance or ordinances relating to the subject matter of this resolution, this Resolution shall be considered revoked upon the effective date thereof.
 7. The Township Board of Trustees may revoke or amend this Resolution at any time, and such revocation or amendment shall be effective immediately.
 8. Violation of the requirements of this Resolution and/or any permit authorized hereunder shall be considered violations of the Township Board;
 9. All resolutions in conflict herewith are repealed; and
 10. This resolution is effective immediately upon adoption and shall remain in full force and effect until repealed by the Township Board.

This RESOLUTION was offered by Board member _____ supported by Board member _____ at a meeting on _____, 20____. The members of the Township Board voted as follows:

The TOWNSHIP SUPERVISOR declared the RESOLUTION duly adopted.

Leon Wright, Township Clerk

CERTIFICATE

I hereby certify that the foregoing constitutes a true and complete copy of a resolution adopted at a regular meeting of the Township Board held on_____, 20_ ; that the meeting was conducted and public notice of the meeting was given pursuant to and in compliance with the Michigan Open Meetings Act; that a quorum of the Board was present and voted in favor of the resolution; and that the minutes of the meeting will be or have been made available as required by the Open Meetings Act.

Leon Wright Clerk
Township of Van Buren
Wayne County, Michigan

DRAFT



DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

46425 TYLER ROAD, VAN BUREN TOWNSHIP, MI 48111

PHONE (734) 699-8913 FAX (734) 699-8958

**TEMPORARY ADAPTIVE OUTDOOR DINING AND RETAIL PERMIT
APPLICATION**

No application fee required

DATE OF APPLICATION:	
CONTACT PERSON:	PHONE:
BUSINESS NAME:	ADDRESS OF LOCATION:
PROPERTY OWNER REPRESENTATIVE:	PHONE:
WHAT ACTIVITY ARE YOU REQUESTING TO MOVE OUTDOORS (E.G., OUTDOOR DINING AND BEVERAGE SERVICE, OUTDOOR RETAIL)?	
IS A LICENSE FOR ALCOHOL SALES OR SERVICE REQUESTED FROM THE MICHIGAN LIQUOR CONTROL COMMISSION (MLCC)? (YES/NO) . IF YES, WHAT TYPE OF MLCC LICENSE IS REQUESTED?	
OTHER:	
PLEASE ALSO SUBMIT A SIMPLE SITE PLAN (SEE SITE PLAN TEMPLATE AND CHECKLIST ON PAGES 2-3)	

Please submit all documents to the Van Buren Charter Township Planning and Economic Development Department. This can be done via mail, in-person drop off, or emailed to dpower@vanburen-mi.org. Please allow three (3) business days for review of your completed application. Upon written or verbal confirmation from the Township Planning and Economic Development Department that your application has been approved, you may begin installation. If the proposal involves new structures, electrical connections, or other items requiring inspection, please contact 734-699-8913 prior to commencing the activity to coordinate your inspection.

As the duly authorized individual or agent of the applicant/business, I hereby apply for approval of this temporary outdoor dining and retail use, affirm the above information, and agree that I (or the sponsoring organization) will comply with applicable Township requirements, ordinances, and other laws which apply to this temporary use.

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF OWNER, IF DIFFERENT FROM APPLICANT

DATE

APPROVED BY

DATE

A full-page view of a blank sheet of graph paper. The page is covered by a uniform grid of thin gray lines forming small squares. A thicker gray border runs along the top and left edges of the page.

See a checklist of site plan items on the following page.

Contact:

Phone #:

Sq. Footage:

Address:

Site Plan Information – please provide the following if it applies to your proposed use:

- ☐ **Perimeter.** A description of the perimeter surrounding the outdoor dining or retail space including length, width, and the material being used to define the perimeter (fencing, planters, etc.).
- ☐ **Parking spaces impacted** by or removed due to be occupied by the outdoor use.
- ☐ **Barrier free space protection.** Verification that existing barrier free parking spaces will be unhindered or will be replaced.
- ☐ **Drive aisles or fire lanes** affected by the outdoor use.
- ☐ **Crossings** designed to guide patrons to the outdoor use area.
- ☐ **Arrows demonstrating vehicle circulation**, if any of the site's drive aisles will be impacted.
- ☐ **Setbacks** between the temporary use and adjacent lot lines.
- ☐ **Additional notes or separate submittals** to provide, if applicable:
 - o Description of the proposed outdoor activities.
 - o Any proposed additional lighting.
 - o Method of trash disposal and site clean-up.
 - o Estimated schedule for trash pickup and deliveries to the primary business.
 - o Proposed hours of outdoor operation.
 - o A description of MLCC licenses or other licenses required.
 - o Notes describing monitoring and security of any outdoor alcohol service areas.
 - o Any available specification drawings showing the size, height and type of construction of proposed temporary buildings / structures to serve the use.
 - o Any other information aiding with the description of your project.

Additional informational notes:

1. This temporary outdoor land use authorization shall expire on October 31, 2020, unless extended by the Township Board.
2. If a conflict arises between this use and any Executive Order from the State of Michigan Governor, the Executive Order shall prevail.
3. Extensions or new applications related to this temporary outdoor use may be subject to new ordinances or policies adopted by the Van Buren Township Board.
4. If a license from MLCC for outdoor service is requested, this must be attached to areas in which alcohol will be served. A copy of the MLCC Outdoor Service permit must be submitted to the Township prior to commencing with the outdoor service of alcoholic beverages. See https://www.michigan.gov/lara/0,4601,7-154-89334_10570---.00.html.
5. If Wayne County Health Department (WCHD) approvals for outdoor food service are required, a copy of the WCHD approval will be required prior to the Township issuing an approval (see application and instructions here: <https://www.waynecounty.com/departments/hhvs/wellness/foodservice-licensing.aspx>)

FOR OFFICE USE ONLY

Date Submitted _____ Layout Drawing _____

Landowner Approval _____ Approval Date _____

Application Approved: _____