CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION AGENDA Wednesday, June 9, 2021 – 7:30 PM REMOTE MEETING –AGENDA

To mitigate the spread of COVID-19, protect the public health, and provide essential protections to Van Buren Township residents; this Van Buren Township's Planning Commission meeting will be conducted virtually as permissible under Public Acts of 2020 Act No. 254 and Declaration of a Health Emergency in Wayne County. To participate in the meeting electronically, the public may follow the instructions below.

Join by weblink: https://zoom.us/j/91025354933

Or dial in by phone: 1 312 626 6799

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Public comment

• Webinar ID: 910 2535 4933

For instructions on how to join a Zoom meeting, make a public comment, ADA information, and virtual meeting compliance from the State please click here.

compliance from the	State please click nere.	
CALL TO ORDER:		
ROLL CALL:		
APPROVAL OF AGEN	DA:	
MINUTES:		
ITEM #1:	Approval of minutes from the regular meeting of May 26, 2021.	
CORRESPONDENCE		
PUBLIC HEARING		
OLD BUSINESS		
NEW BUSINESS		
ITEM # 1:	CASE 19-038 CAMPING WORLD – PRELIMINARY AND FINAL SITE PLAN AMENDMENT APPROVAL	
TITLE:	THE APPLICANT, DERRICK MATTER / CAMPING WORLD IS SEEKING AMENDED PRELIMINARY AND FINAL SITE PLAN APPROVAL TO AMEND A PREVIOUSLY APPROVED FINAL SITE PLAN BY RENOVATING THEIR EXISTING BUILDING IN PLACE OF DEMOLISHING A PORTION OF THE BUILDING, AND REDUCING THE PROPOSED SIZE OF A REDEVELOPED RV PARKING AND STORAGE AREA ON THE SITE.	
LOCATION:	The site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 000: 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.	
ACTION ITEMS:	A. Presentation by the Township Staff.B. Presentation by the applicant.C. Planning Commission discussion.	

Planning Commission considers action on the amended preliminary and final site plan.

ITEM # 1: CASE 21-008 – KALITTA AIR LLC

DESCRIPTION: STAFF WILL PROVIDE AN UPDATE ON A PROPOSED SITE PLAN FOR A 25,430-SQ. FT.

BUILDING WITH THREE (3) FLIGHT SIMULATORS, OFFICE AND TRAINING SPACES, ALONG WITH PARKING AND RELATED SITE IMPROVEMENTS. THE PROPOSED BUILDING WITH BE THREE (3) STORIES AND 44'-10" TALL WITH A TOTAL FLOOR AREA OF 55,241-SQ. FT.

LOCATION: 50206 TYLER ROAD EXTENSION (TAX PARCEL NUMBER 83-189-99-0008-000). THE

PROPERTY IS LOCATED ON THE NORTH SIDE OF THE TYLER ROAD EXTENSION NEAR THE

BORDER WITH YPSILANTI TOWNSHIP.

ACTION ITEMS: A. Presentation by Township staff.

B. Planning Commission discussion and questions.

GENERAL DISCUSSION AND UPDATES

ADJOURNMENT

CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION - VIRTUAL MEETING ON ZOOM May 26, 2021 MINUTES - DRAFT

Prior to the start of the meeting, the public was given instructions on how to take part in the meeting.

Chairperson Thompson called the meeting to order at 7:31 p.m.

ROLL CALL:

Present: Jahr, Cullin, Kelley, Atchinson, Budd and Thompson.

Excused: None.

Staff: Director Power, Director Best and Secretary Harman.

Planning Representatives: None.

Applicant(s) in Attendance: Phillip Kuntzman of Upland Homes, Inc.

Audience: Two (2).

APPROVAL OF AGENDA:

Motion Jahr, Atchinson second to approve the agenda of May 26, 2021 as presented.

Roll Call:

Yeas: Cullin, Kelley, Atchinson, Budd, Jahr and Thompson.

Nays: None. Absent: None. Motion Carried.

APPROVAL OF MINUTES:

Motion Jahr, Budd second to approve the regular meeting minutes of May 12, 2021 as presented.

Roll Call:

Yeas: Atchinson, Budd, Kelley, Cullin, Jahr and Thompson.

Nays: None.
Absent: None.
Motion Carried.

NEW BUSINESS:

ITEM #1: 20-005 – UPLAND HOMES COUNTRY WALK – SITE PLAN AMENDMENT.

THE APPLICANT, UPLAND HOMES, IS REQUESTING AN AMENDMENT TO THE APPROVED COUNTRY WALK SITE PLAN FOR REVISED SINGLE-FAMILY

ARCHITECTURAL ELEVATIONS.

LOCATION: THE UNFINISHED COUNTRY WALK SUBDIVISION IS THE SUBJECT OF THIS

REQUEST. THE DEVELOPMENT IS LOCATED ON THE EAST SIDE OF MARTINSVILLE

ROAD, NORTH OF SAVAGE ROAD.

Director Power gave the presentation and displayed the proposed architectural elevations. The applicant, Upland Homes, is requesting architectural approval for an additional home model titled "2100" with three proposed elevations "A, B and C". The development has a Planned Residential Development (PRD) agreement that was approved in 2002 and amended in 2005 but has since expired. In July of 2015, a Memorandum of Understanding (MOU) was executed between Van Buren Township, the Country Walk Three Homeowners Association and Blue Country Walk, LLC which outlined the responsibilities of the parties with respect to the completion of the development and required compliance with the PRD that had expired. Director Power presented his staff review letter recommending the Planning Commission approve the site plan amendment to the Country Walk development for the addition of the proposed elevations, plans 2100 A, B and C, to be built by Upland Homes based on the following Conditions:

- 1. Township Planning staff shall review each application for a new single-family home in the Country Walk development in order to determine that the new home meets the required setbacks and that the elevation meets the Township's "substantially different" architectural design standards set forth in the PRD agreement.
- 2. Township Planning staff will evaluate all plot plan submittals for these home models to ensure they meet the minimum required 10' side yard setback.

Phillip Kuntzman of Upland Homes, Inc. gave a brief presentation. The applicant wanted to bring in another colonial home elevation to add variation to the remaining 15-16 lots within the development. This colonial home elevation is a little smaller than what currently exists and homes are selling very well in Country Walk.

Commissioner inquired if there were any color changes for the new home elevations. Mr. Kuntzman informed that they have to stay within earth tones according to the master deed. There is a chart and they try to vary colors according to the surround homes. Commissioner recently drove through Country Walk and commented that it was nice to see most of the development filled up.

No comments from the audience.

Motion Kelley, Jahr second to grant the applicant, Upland Homes, Inc., an amendment to the approved Country Walk site plan for revised single-family architectural elevations, based on the analysis and subject to the conditions in the staff review letter dated 5-20-21.

Roll Call:

Yeas: Budd, Atchinson, Kelley, Cullin, Jahr and Thompson.

Nays: None. Absent: None.

Motion Carried. (Letter Attached)

GENERAL DISCUSSION:

Director Power will keep the Commission informed as to the June 9, 2021 agenda.

Director Power displayed the up-to-date version of the planning, zoning and future land use interactive maps on the Township website. The planning map displays the status of different developments within the Township and by clicking on the diamond for each development provides access to the plans. Director Power also provided updates on residential developments within the Township. Victoria Estates Phase III is under construction with a lot of permits already approved, there will be up to 67 housing units. Cobblestone Creek Phase III consists of 69 detached single-family homes and will have a preconstruction meeting within the next few weeks. The property on Huron River Drive that received conditional rezoning is still on hold. The applicant is working on adjusting and refining the plan and there is no formal application at this time.

ADJOURNMENT:

Motion Budd, Cullin second to adjourn the meeting at 8:01 p.m. Motion Carried.

Respectfully submitted,

Christina Harman Recording Secretary

PLANNING & ZONING APPLICATION

Case number_		Date Submitted	
	APPLICANT INF	FORMATION	
Applicant	Derrick Matter, Director of Construction & Faciliti for Camping World	cs Phone(847) 229-6429	
Address	250 Parkway Drive, Suite 270	Fax	
City, State	Lincolnshire, IL	Zip 60069	
E:mail	derrick.matter@ganderoutdoors.com	Cell Phone Number	
Property Owner	Same as Applicant	Phone	
	(if different than applicant)		
Address		Fax	
City, State	Same as Applicant	ZipPhone	
Address	1.	Fax	
City, State		Zip	
	SITE/ PROJECT IX	ACTIVITY OF THE PARTY OF THE PA	
	.300		
Name of Projec	ct Camping World - Belleville	12/1/N X 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
Parcel Id No. V	125-83- 060-01-0001-001	Project Address 43646 N. Interstate 94 Service Drive	
	Attach Legal Description	1000	
		Service Dr. Road; Between Morton Taylor Road Road	
and Belleville	Road Road.	Size of Lot Width 783 feet Depth 490 feet	
-	8.794 acres Total Acres of Site to Review 1		
Project Descript	tion: Partial demolition/removal of existing of buildi	ing with improvements to portion of ex. building that will remain.	
Repaying and exp	pansion of parking lot, with striping modifications an	nd expansion of RV storage areas. Relocation of propane station.	
Installation of san	nitary dump station for RV trailers. Storm drain & sto	ormwater detention improvements. Site lighting & fence upgrades.	
Is a re-zoning of	f this parcel being requested? No	YES (if yes complete next line)NO	
Current Zoning	of Site	Requested Zoning	
MANUAL WOOD	SPECIAL PERMIT	INFORMATION	
Does the Propos	sed Use Require Special Approval?	YES (if yes complete next line)(NO)	
1	ng Ordinance for which you are applying		
	42 50 12 50 12		
	ial Woodland within parcel? No	Woodland acreage N/A	
	er of regulated trees outside the Woodland area?		
Detailed descrip	ntion for cutting trees No trees are currently being	proposed for removal.	
		3	
	Marie Control of the		
If applicable app	plication MUST be accompanied with a Tree Su	urvey or statement of no trees, which incorporates all the	
requirements lis	sted in Section 4.45 of Zoning Ordinance 6-2-92	e, as amended.	
	OWNER'S AI	FFIDAVIT	
-			
Brent Moody, Pres	sident of FreedomRoads Property Company, LLC		767
Print	Property Owners Name		
2 +	MAL		
-12/	10/00	November 4, 2019	
Signa	alure of Property Owner	Pate	
STATE OF MICHIG	AN Illinois	JESSICA L (Official	
		Notary Public - Si	
The undersigned, being respects true and corre	ng amy sworn, deposes and says that the foregoing statements and ect	d answers herein contained and accompanied information and date are in all My Commission Exp	ires Mar 8, 2022
Subscribed and sworm		0.19	
Jessica L. Gorski	Notary Public, Lake Count	y, Mrchison My Commission expires March 8 , 20 22 Rev 1/12/08	



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: Planning Case 19-038: Camping World Partial Demolition and

Site Redevelopment – Amended Preliminary and Final Site Plan

DATE: June 4, 2021

The Van Buren Township Planning Commission is requested to consider approval of an amended combined preliminary and final site plan for the Camping World site redevelopment, which will involve maintaining the roughly 15,633-sq. ft. east wing of their existing building instead of demolishing it; along with retaining the remainder of the building with an area of 28,139 sq. ft.; along with the creation of a new R.V. parking and sales area on site and related site improvements.

The +/- 8.8-acre subject site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

The sale of RV's is considered Outdoor Vehicle Sales and Vehicle Service (minor), which is a special land use in the C-2 (Extensive Highway Business District) Zoning District. The proposed Special Land Use was approved by the Township Board of Trustees on July 7, 2020, following preliminary site plan approval by the Planning Commission on June 24, 2020. The project final site plan was approved by the Township Planning Commission on December 9, 2020, following obtaining approvals by the Township Engineer and the Wayne County Department of Public Services. Construction began on the project in January 2021.

While construction was occurring, on May 5, 2021, the applicant requested changes to their plans which include the following:

- Building/Architectural changes:
 - o The west side of the building has remained as previously planned.
 - The existing body shop on the east side of the building that was previously proposed for demolition will now remain and interior will be remodeled to become body shop repair service bays.
 - The front of the east side of the building will be painted to match the east side of the building. Sides & rear will remain as is for now.
 - A paint booth has been added to the body shop.
 - o The entire building will get new LED lighting throughout.
 - o HVAC will get updated and service bays upgraded to Camping World standards.
- Civil/Site changes:

- Paving/Sidewalk/Grading adjusted to reflect the eastern portion of building will now remain.
- Storm sewer design modified between PT2 and EX5 to reflect revised alignment around S.E. corner of building.
- Previous sanitary dump-station and washout, and propane filling station have been removed from scope (including associated water/sanitary service).

The listed changes will maintain the current building and retaining key aspects of the previously proposed site design in front of the building. Furthermore, the project will reduce the scope of land use (outdoor vehicle sales) that required a special land use approval. An updated special land use approval is therefore not required. However, the significant change in the plans in relation to the scope of the project as recently approved by the Township Planning Commission require a comprehensive review of the amended site plan. The applicant was requested to submit updated civil site plans and a description of the proposed changes to the building's uses including service bays for major vehicle repair. These materials were provided.

To assist in this review, the above materials were provided by the applicant along with other reference materials as listed below:

- A completed application form submitted by the applicant, signed November 4, 2019;
- Amended preliminary and final site plan review letters provided by the Township Principal Planner, Township Engineer, and Fire Marshall;
- Copies of minutes of approval from the Planning Commission meeting held December 9, 2020;
- A written response regarding proposed changes to the building's service bays and major vehicle repair uses; and
- A 33-page set of civil site plans dated May 4, 2021 (distributed separately in hard copy).

Staff supports conditional approval of the amended site plan based on the conditions stated in the reports from the Township Principal Planner, Township Engineer, and Fire Marshall. Notably, the I look forward to assisting the Planning Commission with their review of this request.

Sincerely,

Dan Power, AICP

Planning and Economic Development Director

Public Services Department

Charter Township of Van Buren

46425 Tyler Road, Van Buren Twp, MI 48111

May 18, 2021

Paul Tulikangas, PE Associate / Engineering Manager Nowak & Fraus Engineers 46777 Woodward Avenue Pontiac, Michigan 48342

Re: Planning Project 19-038 / Building Permit PB 19-0760 – Camping World Site Redevelopment – proposed changes

Mr. Tulikangas:

You and Camping World have requested our consideration of the following changes to the Camping World Site Redevelopment project *Issued for Construction* plans dated December 15, 2020 (EK794-Construction-Rev201215.pdf) and building permit issued March 17, 2021 (referred to herein as "original approvals"):

- Building/Architectural (Link to full revised Architectural Plans: CWH Belleville, MI Rev 4 (4-28-21).pdf
 - The west side of the building has remained as previously planned.
 - The existing body shop on the east side of the building that was previously proposed for demolition will now remain and interior will be remodeled to become body shop repair service bays.
 - o For the east side, we are calling for the front to be painted to match the east side of the building. Sides & rear will remain as is for now.
 - o A paint booth has been added to the body shop.
 - o The entire building will get new LED lighting throughout.
 - o HVAC will get updated and service bays upgraded to Camping World standards.
- Civil/Site (Link to full revised civil/landscaping drawings: K794-Rev210504.pdf
 - o Paving/Sidewalk/Grading adjusted to reflect the eastern portion of building will now remain.
 - Storm sewer design modified between PT2 and EX5 to reflect revised alignment around S.E. corner of building.
 - o Previous sanitary dump-station and washout, and propane filling station have been removed from scope (including associated water/sanitary service).

The listed changes will maintain the current building and retaining key aspects of the previously proposed site design in front of the building. However, the changes also encompass major site and building adjustments from the original approvals, including a project with roughly 16,000-sq. ft. of project area designed for outdoor vehicle sales being reverted back into an enclosed building area. This interior area will be used as expanded major vehicle service uses including body work and painting. Additionally, you are describing some minor

changes to storm sewer facilities and outdoor equipment that will require engineering review. The significant change in the plans with respect to the scope of the project as recently approved by the Township Planning Commission, require a comprehensive review of the **amended site plan**. At your earliest ability, please do the following:

- Confirm that your emailed submittals sent on May 5th are the current civil and architectural plans for the project. **If so, please deliver two (2) printed copies of the civil plans to our Township office at your earliest ability.**
- Additionally, provide a single exhibit drawing and/or narrative explanation that explains the changes proposed in the interior of the building, from the existing floor plan to the proposed floor plan:
 - Service bays for major vehicle repair (existing and proposed)
 - o Sales floor area (existing and proposed)
 - Office area (existing and proposed)
 - Storage and other interior areas (existing and proposed)

Our plan reviewers will initiate a full **amended site plan review** for this project. Additional plan review fees may be evaluated and invoiced based on this review. I will coordinate with our reviewers on this and work to review your proposed changes as efficiently as possible. Following staff review, revisions will be requested of your team or recommendations will be made the Planning Commission. If approval is recommended by reviewing staff, the proposed amended site plan will need to be approved at a regular Planning Commission meeting.

To the extent that any construction activity relies on approval of the proposed changes, it will need to be halted until we have completed our review and the Planning Commission has approved on the proposed changes at a regular meeting. Please phase the project construction accordingly.

Thank you for your cooperation and attention.

Sincerely,

Dan Power, AICP - Director of Planning and Economic Development

Public Services Department Van Buren Charter Township

CC: Vidya Krishnan – Van Buren Charter Township Principal Planner, McKenna Associates Paul Kammer, PE – Van Buren Charter Township Engineer, Fishbeck Andrew Lenaghan – Van Buren Charter Township Fire Marshall

MCKENNA



June 4, 2021

Planning Commission Charter Township of Van Buren 46425 Tyler Road Belleville, Michigan 48111

Subject: VBT-19-038 Camping World/ 43646 I-94 N. Service Drive; Amended Site Plan Review #1;

Revised Site Plans Dated April 28, 2021.

Dear Commissioners:

The applicant, Camping World, received final site plan approval from the Planning Commission on December 9, 2020 to demolish portion of an existing building (east wing -15,633 sq. ft.), retain 28,139 sq. ft. of the existing building and create new R.V. parking and storage area on site.

Subsequently the applicant decided that their needs for the site had changed. At this time the applicant is proposing an amendment to the approved site plan as follows:

- The existing body shop on the east side of the building that was previously proposed for demolition will now remain and interior will be remodeled to become body shop repair service bays.
- A paint booth has been added to the body shop.
- The entire building will get new LED lighting throughout.
- HVAC will get updated and service bays upgraded to Camping World standards.
- Storm sewer design modifications to reflect revised alignment around S.E. corner of building.
- Previous sanitary dump-station and washout, and propane filling station have been removed from scope (including associated water/sanitary service).

Our comments are as follows (items requiring changes or additional information are underlined):

COMMENTS

- 1. Zoning and Use. The site is zoned C-2 (Extensive Highway Business District). Section 3.112 of the Zoning Ordinance permits Outdoor Vehicle Sales and Vehicle Service (minor) as special land uses in the C-2 District. The applicant received special land use approval from the Township Board of Trustees in 2020. The proposed Our comments on the special land use are noted in a letter under separate cover.
- **2. Required Information.** Section 12.203 of the Zoning Ordinance includes requirements for information on a site plan. All of the site plan related details have been noted on the plans.
- Lot. The parcel has a total area of 8.794 acres. The legal description is included with the tax parcel ID number.
- **4. Dimensional Requirements.** There is no required minimum lot size in the C-2 District. The minimum required front, rear, and side yard setbacks per Section 4.102 of the Zoning Ordinance are 35 feet, 20



feet, and 25 feet, respectively. The proposed building complies with the minimum setbacks for the C-2 District. Section 4.103 (N) of the Zoning Ordinance states "Off-street parking shall be permitted to occupy a portion of the required front yard setback provided that there shall be maintained a minimum unobstructed and landscaped setback of ten (10) feet between the nearest point of the off-street parking area, exclusive of access driveways and the nearest right-of-way line." The parking lot setback has been provided and is compliant. Maximum permitted building height in the C-2 District is 4 stories and 40 feet. The existing building has a height of 22' and is within the maximum permissible limit.

5. Access and Circulation.

a. Location of Curb Cuts. The site can be accessed by an existing curb cut off North Service Drive measuring 43.9', which is proposed to be retained. The width is adequate for accommodating RV's entering and exiting the site. Ingress/Egress lanes have been striped and have directional arrow markings shown on the revised plans.

The applicant has provided an Emergency Vehicle Access Plan (Sheet C1A) to reflect changes to the proposed parking layout, curb island modifications, etc. The previous review letters from the Township Engineer and Fire Department do not express any concerns regarding the proposed method of circulation.

b. Cross Access. The site plan does not propose any cross access with the adjacent properties. It is the Township's policy to require cross access wherever feasible. The site abuts a large vacant parcel to the west and north, and an existing commercial use parcel to the east. Per the applicant:

"Cross-access with neighboring properties is not being proposed due to numerous feasibility issues, including the proposed RV inventory storage areas located on the east & west sides of the site, which are intended to be secured areas."

We acknowledge the facility will be gated for security purposes in which case cross access would not be feasible.

c. Sidewalks. The site has an existing sidewalk along its Service Drive frontage. In addition, the plan proposes a new perpendicular sidewalk constructed of pavers to connect the sidewalk along the Service Drive to the sidewalk in front of the building. A crosswalk has been proposed near the access drive that connects two landscape islands. A crosswalk has now also been provided at the north end of the paver walkway to the front of the building.

6. Parking and Loading.

a. Space Dimensions. Customer parking spaces on the site are dimensioned at 9.5 feet wide by 20 feet long and are double striped. The site plan includes nine (9) 12' x 60' RV customer parking spaces in front of the building which are also double striped. The area in the southeast corner and west side of the building are designated for RV parking and storage. A proposed approximate layout for the RV storage areas is also depicted on Sheet C1 along with an emergency vehicle maneuvering diagram depicted on Sheet C1A. All RV inventory striping has been revised to show double-striping per Township standards.



- b. Number of Parking Spaces. The parking requirement is one (1) space per two hundred (200) square feet of gross floor space of interior sales room and two (2) per auto service stall in the service room. With 14,070 sq. ft. of gross floor area and 5 service stalls, 80 parking spaces are required. The site plan proposes a total 82 parking spaces.
- c. Barrier Free Spaces. The plan includes a total of four (4) barrier free spaces, which meets the requirement for parking lots containing 76-100 parking spaces. The proposed dimensions are ADA compliant.
- **d. Loading.** As the commercial building is between 20,001 sq. ft. and 50,000 sq. ft., two (2) usable loading spaces measuring 10' x 50' are required. Two loading areas have been dimensioned on the north side of the building (one "recessed" area and one "at grade" area).
- e. Other. The final site plan includes concrete curbing along the entire periphery of the paved/parking areas.
- 7. Landscaping and Screening. The site is located in the Extensive Highway Business (C-2) district. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others. Our comments on individual landscaping requirements are reflected in the following comments:
 - a. Landscaping Adjacent to the Right-of-Way. Section 10.103(A) requires lot frontage landscaping of 1 deciduous tree/40 lineal feet + 1 ornamental tree/100 lineal feet + 8 shrubs/40 lineal feet. The site has a frontage of 783' on N. Interstate 94 Service Drive, which requires a total of 20 deciduous trees + 8 ornamental trees + 157 shrubs. The landscape plan proposes that 7 existing deciduous trees + 13 new deciduous trees + 8 ornamental trees + 222 shrubs will be provided along the road frontage on the Service Drive.
 - b. Parking Lot Landscaping. Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public or private rights-of-way. Landscaping shall include a landscaped yard at least five (5) feet in width containing an opaque screen of landscaping (evergreen or deciduous hedge) at least three (3) feet in height. A required landscape area is shown and exceeds the minimum requirement. The frontage is shown with a row of 36" tall boxwood shrubs to meet the screening requirement.

Interior parking lot landscaping. Section 10.103(B)(2) requires the provision of landscaping within islands in a parking lot. Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. With 258,239 sq. ft. of total payment area, a total of 12,912 sq. ft. of interior parking lot landscaping is required. The landscape plan provides for 14,403 sq. ft., exceeding the minimum required. The applicant has proposed an island at the west end of the 9 customer RV parking spaces and at south end of the row of parking spaces at the east side of the main entrance. One (1) deciduous tree is required to be planted for each three hundred (300) square feet of interior landscaping. Based on the plan, 43 interior landscape trees are required and 11 new trees are proposed with 33 existing trees added to meet Ordinance standards.



- **c.** Loading Area Landscaping. The existing trees that have been detailed on the Landscape Plan provide screening of the loading areas, compliant with Section 10.103 (C) of the Zoning Ordinance.
- **d. Display Area Buffering.** Section 10.103 (D) requires buffering of display areas at the discretion of the Planning Commission. While existing trees on the site provide some screening, the applicant has proposed new tree plantings to ensure the display area is properly screened.
- e. Greenbelt Buffering. Per Section 10.103 (E), a 10-foot-wide buffer with one (1) tree per thirty (30) linear feet is required between the building and the commercially zoned parcels to the north, east, and south. The plan indicates a greenbelt buffer, around the site, compliant with the 10-foot-wide buffer required. The greenbelt areas have existing trees which are proposed to be preserved and meet the tree count requirement.
- f. Extensive Highway Business (C-2) District Landscaping. Section 10.103 (F) (3) provides landscaping standards for the Extensive Highway Business District and requires contiguous outdoor space, independent of sidewalks, pedestrian circulation areas and required landscaping, in an amount not less than one (1) square foot for each twenty-five (25) square feet of principal building. With the 43,675 square foot building proposal, 1,747 sq. ft. of open space is required to meet this open space landscaping requirement. The applicant has stated 2,501 sq. ft. of open space has been provided. Previously the applicant noted the brick paver walkway area measuring at 1,773 sq. ft. and it's unclear where the additionally nearly 800 sq. ft. of open space is being provided. The applicant should clarify the areas where the 2,501 sq. ft. of open space is being provided. The plan proposes the addition of benches and concrete precast planters in this area as amenities. Detail of a bench and trash container have been provided. The revised landscape plan includes detail for the proposed decorative metal pre-assembled planter with epoxy coating. The planter is attractive in design and is durable.
- g. Detention Pond Landscaping. The site plan notes the provision of an underground detention system. As such, no landscape requirements are necessary. The proposed drainage system is subject to review and approval by the Township Engineer and Wayne County and the applicant has acknowledged these approvals are required for the proposed storm water detention system.
- **8. Tree Removal Permit.** A tree removal permit is required if the applicant proposes to remove any trees 5" caliper or larger. Per the applicant, the proposal does not involve the removal of any trees on-site. Therefore, a tree removal permit is not required.
- **9. Stormwater Pond.** As noted previously, stormwater detention requirements are proposed to be met via installation of an underground detention system. Although the previous proposal received approval from Wayne County and the Township Engineer the new proposal will require new approvals. <u>The detention</u> system is subject to review and approval by the Township Engineer and Wayne County.
- **10. Lighting.** It appears from the lighting schedule that a total of 38 fixtures are proposed which include wall and pole mounted lights. Per Section 8.105 (C), maximum permitted pole height is 25'. The revised photometric plan shows the 25-foot maximum height requirement being met. Detail of the pole material, color and fixture detail have also been provided and meet ordinance requirements.



- 11. Architecture and Building Details. The applicant has submitted elevations for all facades of the building. The structure is constructed of concrete masonry units which are to be patched, repaired and painted. The building was constructed a long time ago and needs some enhancement. The applicant has revised the elevations to include a blue color band on the top of the façade facing the Service Drive. The band extends the entire width of the building. The bollards next to the overhead doors are also to be painted a matching blue. While minimal, the addition of the band provides significant relief to the façade wall and enhances it appearance. We recommend the submission of a colored rendering of the proposed building.
- **12. Dumpster.** The site plan notes that the existing dumpster enclosure on the northeast side of the building will be "repaired". The enclosure is to be constructed of masonry units and provided with steel reinforced wooden gates. Typical details have been noted.
- **13. Fencing.** The site plan notes a 6' tall chain link black vinyl fence within the rear and side yards. The previously proposed 6' tall fence in the front yard has been reduced in height to 2.5' and is proposed to be a custom-made metal fence with vertical railing which meets the intent of the Ordinance.
- **14. Signs.** The site plan identifies location of existing and proposed signage. Per discussions with the Planning Department, the existing signs are allowed to remain as is since the applicant proposes no change to them at this time.

RECOMMENDATION

The applicants amended plan is significantly in compliance to the originally approved plan with the only major notable change being the retention of the entire building footprint, resulting in the corresponding decrease in outdoor RV storage space and elimination of the propane tank station. While there are a few items that remain, these items can be easily addressed. Therefore, we recommend preliminary and final approval of the amended site plan, subject to the following conditions:

- 1. Clarification regarding the areas included in the 2,501 sq. ft. of open space being provided.
- 2. Review and approval of proposed storm water detention system by the Township Engineer and Wayne County.
- 3. Submission of a colored rendering of the proposed building.

Respectfully,

McKENNA

Vidya Krishnan Principal Planner Hunter Whitehill Associate Planner

Hunter Whitehill

c: Matt Best, Van Buren Township Director of Public Services
Dan Power, Director of Planning and Economic Development
David Potter, FTCH, Township Engineers
David McInally, Van Buren Township Fire Marshal





June 4, 2021 Fishbeck Project No. 191629 Township Project No. 19-038

James Taylor Director of Water and Sewer Van Buren Township 46425 Tyler Road Van Buren Township, MI 48311

Camping World - 43646 North I-94 Service Drive Engineering and Final Site Plan Review - Addendum

Dear Director Taylor:

At the request of Van Buren Township (Township), Fishbeck has reviewed the revised Site Plan dated May 4, 2021, submitted to the Township for Engineering and Final Site Plan Addendum review for the proposed Camping World project, which is located at 73646 North Interstate Highway 94 Service Drive. The previously submitted Final Site plans were approved at the December 9, 2020 Planning Commission Meeting. The preconstruction meeting for this project was held on January 7, 2021 and construction has already begun on a portion of the project. The applicant is seeking approval for minor revisions to the Final Site plan that were necessary to accommodate the change or lack thereof to the building footprint limits.

This project entails an interior remodel and reconstruction of the existing Camping World site. The proposed construction includes: reconstruction of the surrounding concrete pavement; modification to the existing concrete walkway; construction of additional building and parking lot lights; construction of two asphalt RV parking lots; reconstruction of the existing storm sewer system including a proposed underground storage facility and pump station; and other various landscaping and site plan improvements.

The addendum plans no longer include the demolition of a portion of the existing building, construction of a propane filling station, construction of a water service and sanitary sewer leads for the dumping and filling station. The addendum plans also show modifications to the existing storm sewer system at the point of connection from the existing on site storm sewer system to the proposed storm sewer system.

Our review comments are as follows:

General

The following items are general requirements established as part of the *Engineering Standards Manual, Charter Township of Van Buren (April 2014)*. The applicant must include the following items as part of the construction plans.

- 1. Callouts for the Sanitary sewer lead and other proposed improvements that are no longer part of the plans should be removed (sheet C3A).
- 2. Site summary information, including building footprint, should be updated on sheet C1.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicate a publicly owned 12-inch ductile iron water main running east-west along the north side of I-94 Service Road and an 8-inch ductile iron water main connecting to a fire hydrant on the north side of the existing building. Per discussions with applicant and Township, this 8-inch water main is privately owned. There are two existing hydrants along the southern side of the property that are to remain in service at their existing locations.

Proposed (Previous Approved Plans – 12/2020): The plans indicate a proposed 0.75-inch, copper water service from the building to the RV parking lot station. The applicant has indicated that the building does not have a fire suppression system. The plans do not indicate any other modifications to the water main.

Addendum Changes (05/2021): The plans no longer include the 0.75-inch copper water service from the building to the proposed RV parking lot filling station.

Comments:

- 1. With the existing building remaining in place, the existing fire hydrant locations are not within the standard distance (250') for coverage of all exterior portions of building. This coverage requirement can be waved with Fire Department approval.
- 2. Depending on Fire Department comments, there may be a need for an access gate to the hydrant in the SE corner of the lot, through the proposed fence.

Sanitary Sewer

Existing: The Township's GIS records indicate there is an 8-inch clay sanitary sewer line that runs north-south along the west property line into the 10-inch public sanitary sewer running east-west along I-94 Service Road. Per discussions with applicant and Township, the Township 8-inch clay sanitary sewer line may have been built with the intention of being privately owned; however, there are no known easements and the line is privately owned. The plans indicate an existing private 8-inch sanitary sewer service lead connecting into this line.

Proposed (Previous Approved Plans – 12/2020): The applicant is proposing to install an additional 4-inch sanitary sewer lead from the RV parking lot with a point of connection to the existing 8-inch public sanitary sewer pipe running along the west property line.

Addendum Changes (05/2021): The plans no longer include the 4-inch sanitary sewer lead connecting the RV parking lot dumping station with the existing 8-inch public sanitary sewer pipe.

Storm Sewer

Existing: The Township's GIS records indicate that the storm runoff from the existing site is collected through a system of roof drains, catch basins, and an existing storm sewer pipe network which outlets into an open roadside ditch along the north side of I-94 Service Road.

Proposed (Previous Approved Plans – 12/2020): The applicant is proposing to modify the existing stormwater system by constructing several additional catch basins and 12-inch private concrete pipes. The proposed additional inlets will capture storm water runoff from the proposed RV parking lots through a system of existing storm sewers into a proposed underground detention facility. The underground system is proposed to outflow through a flow restrictor, into a proposed pump station, and discharge into the existing stormwater open channel on the north side of I-94 Service Road.

Addendum Changes (05/2021): The plans now show revision to the tie-in from the existing on-site system to the proposed system near the southeast corner of the existing building, including maintaining the length of storm sewer south of existing catch basin 5 (previously shown as bulkheaded) and proposing manholes 3 and 4. The existing total square

footage of impervious area will remain the same, as the previously proposed pavement will be replaced with the equally impervious existing roof, and thus the overall stormwater system calculations will remain the same.

Comments:

- 1. Applicant must fix the removal hatching on the existing 24-inch storm sewer shown as being maintained and tying into manhole 4, which is shown as being removed on sheet C2.
- 2. Plans still label a tap into the existing catch basin 4 on the profile on sheet C4B, which should be removed.
- 3. It is understood the applicant has provided information that the plans have been approved by the Wayne County Department of Public Services in a letter dated October 28, 2020, for storm water management. Applicant will need to contact Wayne County to verify whether a permit revision is required and update their maintenance agreement figure for the Wayne County Maintenance Agreement.

Paving and Grading

Addendum Changes (05/2021): The addendum plans include minor revisions to the parking lot in relation to the site plan changes, such as the existing building no longer being demolished and the adjustments necessary to tie into proposed lot.

Recommendation

We are recommending the Planning Commission grant the Camping World Project Engineering and Final Site Plan Addendum approval, subject to the comments listed above and in accordance with the Township's Engineering Standards manual. If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,

Paul J. Kammer, PE

Senior Civil Engineer

Stephen C. Clayton, PECivil Engineer

By email

Copy: Matthew Best – Township

Dan Power – Township Vidya Krishnan– McKenna David L. Potter, PE – Fishbeck Andrew Lenaghan Fire Marshal O: 734-699-8900 ext. 9416 Van Buren Fire Department 46425 Tyler Rd Van Buren Twp, MI 48111



6/3/2021

Department Building and Planning 46425 Tyler Road Van Buren Township, MI 48111

Camping World 43646 N. Service Drive Van Buren Township, MI. 48111

19-038

To whom it may concern:

I have reviewed a set of plans dated May 4th 2021 and received May 26th 2021. This review is a preliminary site plan of the facility. The focus of this review be fire department access, available water supply, and required fire flow. Items identified in subsequent reviews have been addressed in fire notes (sheet C-1)

Fire Department Access

The vehicle legend used in the site plan is smaller than the Van Buren Township ladder truck. An updated emergency vehicle access plan showing the turning radius using the following dimensions will need to be verified.

Ladder Truck Length- 48 Feet Width- 10 feet Height- 12 feet Ground Clearance- 1 foot Distance between tires- 23 feet 8 inches.

The turning radius of a fire department access road shall be as approved by the AHJ

NFPA 1 2018 18.2.3.5.3.1

Entrances to fire department access roads that have been closed with gates and barriers shall not be obstructed by parked vehicles.

NFPA 1 2018 18.2.4.1.4

Water Supply/Fire Flow

The maximum distance to a fire hydrant from the closet point on the building shall not exceed 400 feet.

NFPA 1 2018 18.5.3 (1)

The following information is required before an assessment of the required fire flow for manual firefighting operations and the need for building fire suppression can be determined:

- 1. Square footage of the building
- 2. Type of construction
- 3. Occupancy type(s)
- 4. Are the occupancies separated by a fire rated wall.
- 5. The minimum water pressure at the end of a dead end main shall be 20 psi (residual) with a minimum flow of 1500 GPM. Calculations must be provided to verify adequate pressure and flow. The private hydrant on the north end of the building will need a flow test.

If you have any questions about this plan review report, or require more information, please feel free to contact me

Respectfully submitted,

Andrew Lenaghan Fire Marshal Van Buren Fire Department ITEM #2: 19-038 – CAMPING WORLD – FINAL SITE PLAN APPROVAL.

APPLICANT, DERRICK MATTER / CAMPING WORLD, IS SEEKING FINAL SITE PLAN APPROVAL TO DEMOLISH THE EAST WING OF THEIR EXISTING BUILDING AND CREATE NEW R.V. PARKING AND STORAGE ON THE SITE.

THE SITE IS LOCATED AT 43646 NORTH INTERSTATE SERVICE DRIVE (TAX PARCEL NUMBER 83-060-01-0001-001), ON THE NORTH SIDE OF I-94 SERVICE DRIVE, BETWEEN DEWITT AND MORTON TAYLOR ROADS.

Project Engineer, Paul Tulikangas gave the presentation. The project consists of a partial demolition of the eastern portion of the existing building, expansion, repaving and geometrical improvements to existing parking lot and substantial landscaping improvements throughout the site. The reconfigured parking lot includes new RV trailer parking and customer parking.

Director Power provided a brief overview and displayed the landscaping plan for the site. The Commission granted preliminary site plan approval at the June 24, 2020 meeting and recommended special land use to the Township Board of Trustees which was approved at their July 7, 2020 meeting. The applicant underwent review and approval by the Wayne County Department of Public Services and by the Van Buren Township Engineer and Principle Planner.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 11-19-20. All conditions of preliminary plan approval have been met at this time. Therefore, McKenna Associates recommends the Planning Commission grant final site plan approval for Camping World located at 43646 N. I-94 Service Drive.

Paul Kammer of Fishbeck Associates presented his site plan review letter dated 11-19-20, recommending the Planning Commission grant the Camping World project engineering and final site plan approval, based on the engineering review of the proposed site, subject to the comments in the review letter and in accordance with the Township's Engineering Standards manual. The applicant will be required to address the comments in the Issued for Construction Plan Set prior to the Preconstruction meeting being scheduled.

All conditions in the Fire Department review letter dated 2-5-20 are complete.

No comments from the Commission or the audience.

Motion Kelley, Jahr second to grant the applicant, Derrick Matter/Camping World, final site plan approval to demolish the east wing of their existing building and create new R.V. parking and storage on the site, located at 43646 North I-94 Service Drive, tax parcel number 83-060-01-0001-001, based on the analysis and subject to the findings in the McKenna review letter dated 11-19-20, Fishbeck review letter dated 11-19-20 and Fire Department review letter dated 2-5-20.

Power, Dan

Subject:

FW: Camping World (VBT 19-038-SPR & SLU) - Building/Site Modifications

From: Paul Tulikangas <ptulikangas@nfe-engr.com>

Sent: Friday, May 21, 2021 11:34 AM

To: Power, Dan <dpower@vanburen-mi.org>

Subject: RE: Camping World (VBT 19-038-SPR & SLU) - Building/Site Modifications

Dan,

Below are links to the final civil and architectural drawing sets:

Civil: K794-Rev210521.pdf

Architectural: CWH - Belleville, MI - Rev 4 Permit Set (05-21-21).pdf

The only change to the civil from the link I sent on 5/5 was updating the cover sheet to reflect sheet index changes. Per Amanda at Core States; below is a summary narrative of the architectural updates based on your initial list:

- Service bays for major vehicle repair (existing and proposed)
 - East Service Area (portion of building previous being removed) Now reflected throughout plan set as remining. Interior wall to be removed. Updating interior equipment components to current CW standards. Added paint booth. Maintenance replacement of existing O.H. doors on rear elevation.
 - West Service Area added interior equipment components to meet current CW standards.
- Sales floor area (existing and proposed)
 - Updates to HVAC (RTU on roof) Replace in kind existing unit that is non-functional.
- Office area (existing and proposed)
 - No updates.
- Storage and other interior areas (existing and proposed)
 - No updates.
- o GENERAL LED lighting updates for entire building.

The requested civil hard sets will be delivered to your attention today. Please complete your update review and let us know if anything further is needed.

Thanks!

Paul Tulikangas, PE

Associate / Engineering Manager

Nowak & Fraus Engineers

46777 Woodward Avenue Pontiac, Michigan 48342

T: 248.332.7931



MEMO

TO: Peter Bedder, Construction Manager – Bedder Consulting

Services, Inc.

Heath Nicholl - Kalitta Air, Inc.

FROM: Dan Power, AICP – Director of Planning and Economic

Development

RE: Avflight Willow Run Site Plan – Willow Run Airport of Van

Buren Township

PLANS DATED: January 29, 2021

DATE: June 4, 2021

Kalitta Air proposes to pursue two phases of construction, the first of which will involve the construction of a 25,430-square foot (sq. ft.) office and training building containing flight simulators, along with parking lot improvements including replacement of existing parking areas and the addition of 71 parking spaces, and related site and stormwater improvements. These improvements are in addition to an existing site which contains roughly 146,830-sq. ft. of combined office, warehouse, simulator, and hangar spaces currently used by Kalitta Air, a private charter flight company. The proposed site includes two (2) proposed lease parcels with a combined acreage of 17.57 acres with a location of 843 Willow Run Airport (parcel ID number 83 189 99 0008 000). The site is zoned AP – Airport District. The following is a report on the proposed site plan's compliance with the Van Buren Charter Township Zoning Ordinance.

Review process. I have reviewed the site plan request based on Zoning Ordinance standards. The review process described in Section 3.118(D) (*AP, Airport District – Required Conditions of the AP, Airport District)* allows for a modified site plan review procedure for developments located at public airports. This involves reviewing the area, height and placement of the principal use; its parking, loading and access management; environmental performance standards; and screening, landscaping and other Ecorse and Beck Road adjacency requirements. I have also reviewed the applicable administrative review standards of Section 12.203 of the Van Buren Township Zoning Ordinance. I will first make some comments regarding the proposed use. Then, relevant review standards from Sections 3.118(D) and 12.203 are discussed in the sections on the following pages. Throughout this report, requested conditions are underlined.

Comments regarding proposed uses. The following which are defined in Section 2.102 of the Van Buren Township Zoning Ordinance are permitted uses by right in the AP zoning district:

- Airports and related facilities.

A description of the proposed use and the amount of floor area allocated to each proposed use in the proposed new building should be described on sheet C-3.0.

Requirements per Section 3.118(D)(1)(a)(i) of the Van Buren Township Zoning Ordinance – Required Conditions of the AP, Airport District.

a. **Area, height, and placement.** Uses located on the airport property owned by a public governmental agency shall meet the area, height, and placement regulations, including setbacks, of the zoning district they are located in.

The proposed site is part of a broader public airport property which has public road frontage on Beck Road and Ecorse Road. The proposed site meets the required front (100'), side (50' for one / 100' for two), and rear (100') yard setbacks with respect to the proposed buildings' setbacks from the nearest adjacent public roads and parcels. The property line of the nearest adjacent non-airport parcel is roughly 120' to the south of the proposed lease parcels for this site. The minimum area of 250 acres in the AP zoning district is intended to be applied to the airport property at large and does not apply to this specific site. According to separately submitted architectural drawings dated February 1, 2021, the height of the proposed hangar component of the building is 44'10", as measured halfway between the eave (44') and the peak (45'8") of the roof.

b. **Parking, loading and access management.** Uses located on the airport property owned by a public governmental agency shall meet the parking and loading requirements of Article 9 in this Zoning Ordinance.

Article 9 of the Zoning Ordinance includes various required standards related to the number of parking spaces and the design and configuration of parking areas and driveways. These requirements are evaluated below.

Number of parking spaces. The proposed uses include a mix of laboratory, office, and warehousing type uses. The total listed existing parking on the site is 31 spaces and the total proposed parking is listed as 68 spaces, for a net gain of 37 spaces. The applicant has been requested to provide a breakdown of use types on sheet C-3.0 by floor area as previously mentioned. The applicant also shall provide a description of the uses in the existing +/- 146,830-sq. ft of building area on the site, broken down by floor area. The applicant has also been requested to provide a table of total existing and total proposed parking spaces. In response, the applicant has provided a narrative submittal detailing the uses of the proposed building as including three (3) Flight Simulators, two (2) briefing rooms for each flight simulator (total of 6), six (6) classrooms, a computer room, three (3) small offices, and two (2) large office areas. The applicant has estimated that at peak staffing, the proposed building will require no more than 62 parking spaces. The applicant has also provided information about the adjacent buildings used by Kalitta and their parking needs. Staff will provide a final review of the applicant's off-street parking analysis. If accepted, this analysis must be added to the notes on the final "issued for construction" site plan.

Design and configuration of parking areas. Where formal standard 90-degree off-street parking spaces are proposed, per section 9.104(B), 9.5' x 20' spaces with a 24' adjacent maneuvering lane is required. <u>Double striping shall also</u> be shown for all parking spaces.

Drainage. Per section 9.104(A) of the Zoning Ordinance, off-street parking areas shall be drained so as to dispose of all surface water accumulated in the parking area in such a way as to preclude drainage of water onto adjacent property or toward buildings. The applicant may be required to gain approval from the Wayne County Department Public Services for stormwater design.

Driveways and Access Management. Access is provided to the site from an existing private Tyler Road Extension at the site's southern. The applicant is advised to seek advisory review from the Van Buren Township Fire Department and shall secure approval from the Willow Run Airport Authority Fire Marshall for the proposed access design.

Loading and truck maneuvering. No loading spaces are proposed. Section 9.105 of the Zoning Ordinance requires loading spaces "on the same premises with every building, structure or part thereof, involving the receipt or distribution of vehicles or materials or merchandise". The applicant shall clarify whether there are vehicles, materials or merchandise being delivered to the site. If so, two (2) usable 10' x 50' loading spaces will be required based on the currently proposed building area being between 20,001-50,000-sq. ft. of commercial or industrial space.

Parking lot landscaping. According to Section 9.104(L) of the Zoning Ordinance, parking areas shall be landscaped and screened pursuant to Article 10. Because the site has no direct public road frontage and is adequately separated from adjacent public roads, relief can be provided from parking lot screening per section 10.103(A) of the Zoning Ordinance. Landscaped areas will be subject to review by the Wayne County Airport Authority (WCAA) and may be subject to limits in order to comply with airport standards, including limiting attractiveness to certain wildlife. If suitable landscaping can be provided in compliance with these standards, the applicant shall comply with Section 10.103(B), including that landscaped areas should be added where necessary to account for a minimum of five percent (5%) of all paved areas. The applicant has provided a landscape plan on sheet L-1.0.

- c. **Environmental Performance Standards.** Uses located on the airport property owned by a public governmental agency shall meet the "Environmental Performance Standards Applicable to Specific Uses and Districts" of Section 8.102 of this Zoning Ordinance.
- d. Screening, landscaping and other Ecorse and Beck Road adjacency requirements. If the proposed building/use is adjacent to Ecorse or Beck Roads the site plan shall be required to meet the "Frontage Landscaping" requirements in Section 10.103, the "Mechanical and Utility Equipment Screening" requirements in Section 10.103, the "Exterior Lighting" requirements in Section 8.105, and the "Garbage, Refuse, and Recycling Collection Areas" requirements in Section 7.122 of this Zoning Ordinance. The site is not adjacent to Ecorse or Beck Road and these requirements therefore do not apply.

Township Zoning Ordinance - In General.

- 1. Title and date of plan, including the date and nature of all subsequent revisions; North arrow and scale; Design firm information; Dimensions of lot and adjacent property lines; Boundary of tract; Lighting; Signage information; Plan submittal information; and Documentation of changes. The final issued-for-construction civil site plan submittal shall be signed and sealed by a professional Engineer. An existing conditions drawing shall be provided or a revision to sheet C-1.1 shall be provided which shows the full extent of the parcel boundaries of the leased parcels used by Kalitta Air.
- **2. Description of use.** This has been provided.
- 3. A schedule of parking needs has been provided.
- **4. Traffic and pedestrian circulation design.** A sidewalk is not necessary because the site lacks public street frontage.
- **5.** Landscape plan and landscape maintenance information. Regarding these requirements, there are no frontage landscaping requirements as the property does not have direct frontage on Beck Road or Ecorse Road, per Section 3.118(D)(1)(a)(i)(d). See the landscaping comments on the previous page.
- **6. Hazardous materials.** Storage of any hazardous materials should be labeled on the proposed site plan.
- **7. Office and staffing information.** A floor plan showing the proposed office layout has been provided in a separate architectural submittal dated February 1, 2021. <u>Information regarding maximum staffing at peak shift shall be provided.</u>
- **8. Other information.** Any other information as required by the Planning Commission or Director of Planning which will assist in evaluation of the proposed use. Additional miscellaneous requirements related to signs and utility design are noted at the end of this report.

Recommendation: I recommend conditional approval of the submitted civil site plan set dated January 29, 2021, subject to conditions per the underlined comments in this report:

- All necessary approvals from the Wayne County Airport Authority (WCAA) and Wayne County Department of Public Services must be obtained prior to construction.
- Staff will provide a final review of the applicant's off-street parking analysis. If accepted, this analysis must be added to the notes on the final "issued for construction" site plan.
- Double striping shall also be shown for all parking spaces.
- The final issued-for-construction civil site plan submittal shall be signed and sealed by a professional Engineer.
- An existing conditions drawing shall be provided or a revision to sheet C-1.1 shall be provided which shows the full extent of the parcel boundaries of the leased parcels used by Kalitta Air.

- The revision date on the final site plan set must be updated for clarity.
- Prior to construction, the applicant shall obtain any necessary permits for connections to Van Buren Township's utilities systems.
- Prior to construction, final engineering review shall be provided by the Van Buren Township Engineer to demonstrate compliance with the Township's engineering standards. As necessary, a preconstruction meeting shall be scheduled with the Township.

Please do not hesitate to reach out if you have further questions.

Sincerely,

Dan Power, AICP

Planning and Economic Development Director

Public Services Department Charter Township of Van Buren

CC: Matthew Best, M.S. - Public Services Director, Van Buren Charter Township

James Taylor - Water and Sewer Director, Van Buren Charter Township

Paul Kammer, PE – Van Buren Township Engineer, Fishbeck

David McInally and Andrew Lenaghan- Van Buren Charter Township Fire Department

CONSTRUCTION PLANS

KALITTA AIR SIMULATOR FACILITY

818 WILLOW RUN AIRPORT YPSILANTI, MI 48198

PERMIT / APPROVAL SUMMARY DATE SUBMITTED DATE APPROVED PERMIT / APPROVAL

LEGAL DESCRIPTION (Per METCO SERVICES INC.) Land in Washtenaw County, Michigan, described as follows:

Beginning at the southeast corner of Building #2613; Thence N02°06'09"W along the face of said Building #2613, a distance of 106.13 feet;

Thence N87°55'13"E 630.00 feet;

Thence S01°55'46"E 670.84 feet; Thence S88°40'32"W 630.90 feet to the southeasterly extension of the westerly

Thence N01°30'59"W along the westerly face and southeasterly extension thereof, of said Building #2607, a distance of 249.19 feet to the northwesterly corner of said building; Thence NO1°59'20"W 308.53 feet to the POINT OF BEGINNING.

Containing 8.127 Acres (354,017.128 sq.ft) more or less. Subject to any and all easements and rights of way of record or otherwise.

LEASE PARCEL 2

Beginning at the southeast corner of Building #2613; Thence S01°59'20"E 308.53 feet to the northwesterly corner of Building #2607;

Thence S01°30'59"E along the westerly face of said Building #2607 and the southeasterly extension thereof, 249.19 feet;

Thence S88°40'32"W 96.82 feet to a point of curvature;
Thence along said curve, to the right, having a radius of 300.00 feet, an arc length of 260.33 feet a chord bearing of N66°27'52"W and a chord distance of 252.24 feet;

Thence N41°36'17"W 537.96 feet;

Thence N49°26'03"E 383.32 feet; Thence N87°55'13"E 900.38 feet;

Thence S01°55'46"E 100.00 feet;

Thence S87°55'13"W 530.00 feet to a point on the easterly face of said Building #2613; Thence S02°05'09"E along the easterly face of said Building #2613, a distance of 106.13 feet to the POINT OF BEGINNING.

Containing 9.444 Acres (411,379.555 sq.ft.) more or less. Subject to any and all easements and rights of way of record or otherwise.

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER **CIVIL ENGINEER**

KALITTA AIR, LLC PEA GROUP 818 WILLOW RUN AIRPORT 7927 NEMCO WAY, STE. 115 YPSILANTI, MI 48198 BRIGHTON, MI 48116 CONTACT: PETER W. BEDDER CONTACT: THOM DUMOND, PLA, LEED AP PHONE: 734.637.0016 PHONE: 844.813.2949

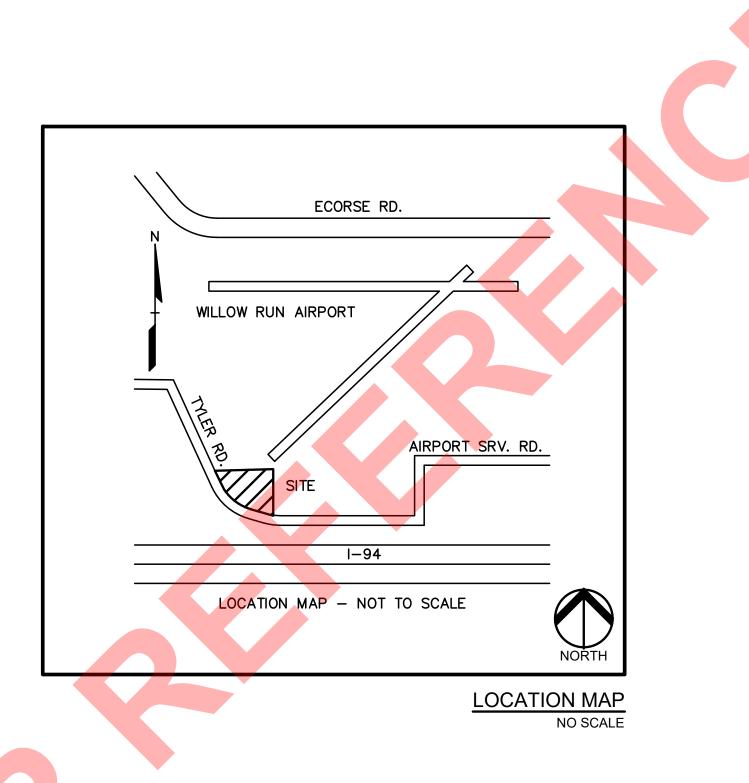
EMAIL: PETERB@BEDDERCONSULTING.COM EMAIL: TDUMOND@PEAGROUP.COM

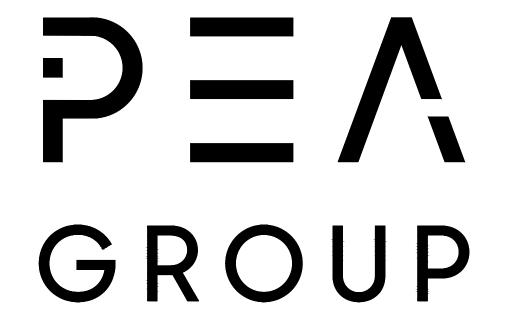
LANDSCAPE ARCHITECT CONSTRUCTION MANAGER

PEA GROUP BEDDER CONSULTING SERVICES, INC. 7927 NEMCO WAY, STE. 115 32579 GATEWAY DRIVE ROMULUS, MI 48174 BRIGHTON, MI 48116 CONTACT: JAMES GOFF, PLA CONTACT: PETER W. BEDDER PHONE: 734.637.0016 PHONE: 844.813.2949 EMAIL: PETERB@BEDDERCONSULTING.COM EMAIL: JGOFF@PEAGROUP.COM

ARCHITECT

SMITH + SCHURMAN ASSOCIATES, INC. P.O. BOX 1607 SOUTHGATE, MI 48195 CONTACT: JUSTIN NOVAK, R.A. PHONE: 248.227.9660 EMAIL: JNOVAK@SMITHSCHURMAN.COM





INDEX OF DRAWINGS NUMBER TITLE **COVER SHEET TOPOGRAPHIC SURVEY** STAGING PLAN **DEMOLITION PLAN** DIMENSION AND PAVING PLAN **GRADING PLAN EROSION CONTROL PLAN** UTILITY PLAN STORM AND SANITARY **PROFILES** WATER MAIN PROFILE DRAINAGE MAP NOTES AND DETAILS DETAILS WADE TRIM STANDARD STORM DETAILS LANDSCAPE PLAN LANDSCAPE SPECIFICATIONS LANDSCAPE SPECIFICATIONS YCUA STANDARD DETAILS

STANDARD SANITARY SEWER DETAILS STANDARD SANITARY SEWER DETAILS

STANDARD WATER MAIN DETAILS

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STANDARD WATER MAIN DETAILS

REVISIONS DESCRIPTION DATE ORIGINAL ISSUE DATE

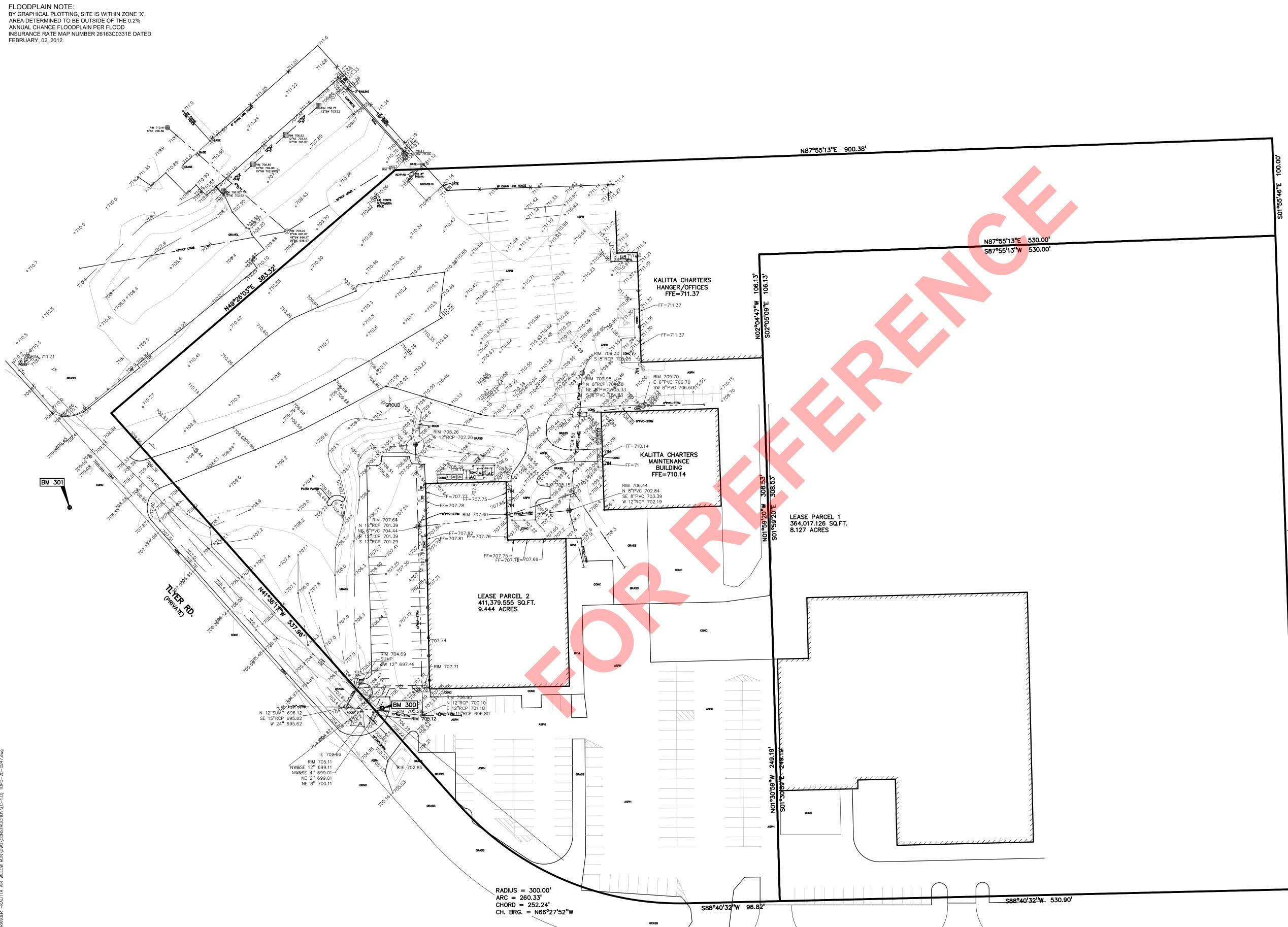


BM #300 A CHISELED "X" MARK IN EAST FLANGE BOLT OF HYDRANT LEFT OF "A" IN ALBERT. LOCATED 60' SOUTHWEST OF SOUTHWEST OF BUILDING CORNER, BUILDING "2609" AND 45' NORTHEAST OF CENTERLINE OF TYLER RD.

ELEV: 707.25

TIP OF RAILROAD SPIKE IN NORTHEAST FACE OF POWER POLE LOCATED 50' FROM CENTER LINE OF TYLER RD. AND 120' SOUTHEAST OF EAST BUILDING CORNER-BUILDING "2605"

ANNUAL CHANCE FLOODPLAIN PER FLOOD



LEGEND

IRON FOUND MAIL FOUND

BRASS PLUG SET MONUMENT FOUND MONUMENT SET

R RECORDED

SEC. CORNER FOUND M MEASURED C CALCULATED

-OH-ELEC-W-O- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -⊠-UG-PHONE-Ū--- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE -UG-ELEC-E-E-E-E-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE GAS MAIN, VALVE & GAS LINE MARKER

WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE

Ø NAIL & CAP SET

S—SANITARY SEWER, CLEANOUT & MANHOLE — - STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF M T MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE

UNIDENTIFIED STRUCTURE SPOT ELEVATION -----670 ------ CONTOUR LINE **-X---X-** FENCE ☆ STREET LIGHT ── SIGN

✓ ASPH. 🗾

GRAVEL SHOULDER ∕-GRAVEL-

ngr ngr MELTAND

REFERENCE DRAWINGS

VAN BUREN TOWNSHIP EMAILED RECEIVED 07/13/2020 WATER MAIN VAN BUREN TOWNSHIP EMAILED RECEIVED 07/13/2020
VAN BUREN TOWNSHIP EMAILED RECEIVED 07/13/2020
VAN BUREN TOWNSHIP EMAILED RECEIVED 07/13/2020
DETROIT EDISON EMIAL RECEIVED 07/30/2020
ATAT EMAIL RECEIVED 07/13/2020
DTE GAS EMAIL RECEIVED 07/17/2020 SANITARY SEWER STORM SEWER ELECTRIC TELEPHONE

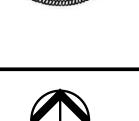
CATV COMCAST EMAIL RECEIVED 07/17/2020
OLD CONSTRUCTION PLANS - DIETRICH, BAIEY AND ASSOCIATES, P.C. DATED APRIL 28, 2001
LURENCE J. FICHTER, P.E. L.L.C. DATED 02/20/2006

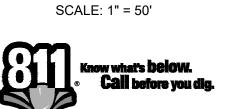
GROUP

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CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

KALITTA AIR, LLC 818 WILLOW RUN AIRPORT YPSILANTI, MI 48198

PROJECT TITLE

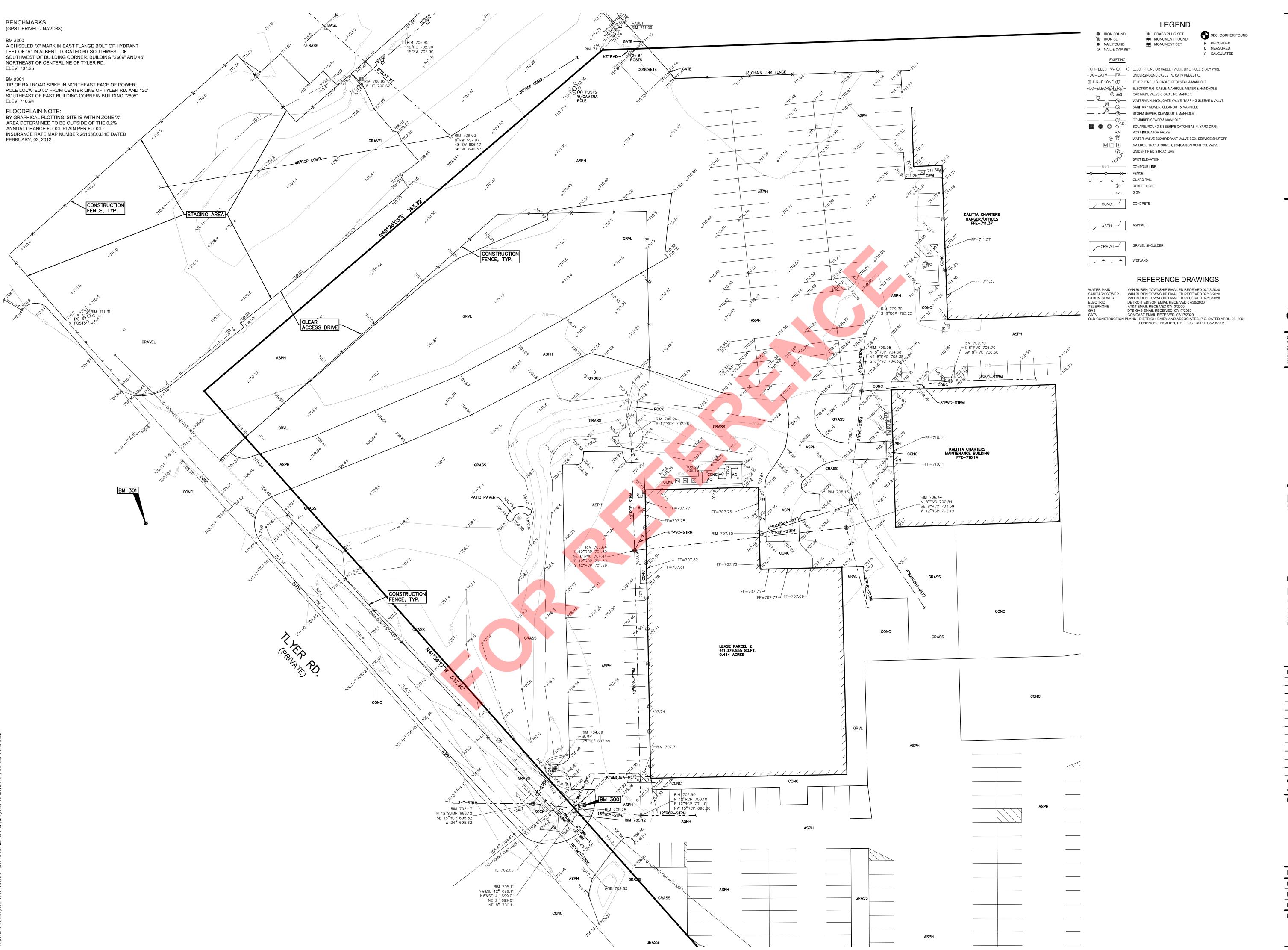
BEDDER CONSULTING SERVICES, INC 32579 GATEWAY DRIVE ROMULUS, MI 48174

REVISIONS

ORIGINAL ISSUE DATE: JANUARY 29, 2021 DRAWING TITLE

TOPOGRAPHIC SURVEY

PEA JOB NO. 2020-0247 THD VBC DES. TJL DRAWING NUMBER:



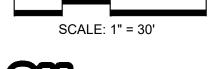
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CLIENT

KALITTA AIR, LLC 818 WILLOW RUN AIRPORT YPSILANTI, MI 48198

PROJECT TITLE

BEDDER CONSULTING SERVICES, INC 32579 GATEWAY DRIVE ROMULUS, MI 48174

REVISIONS

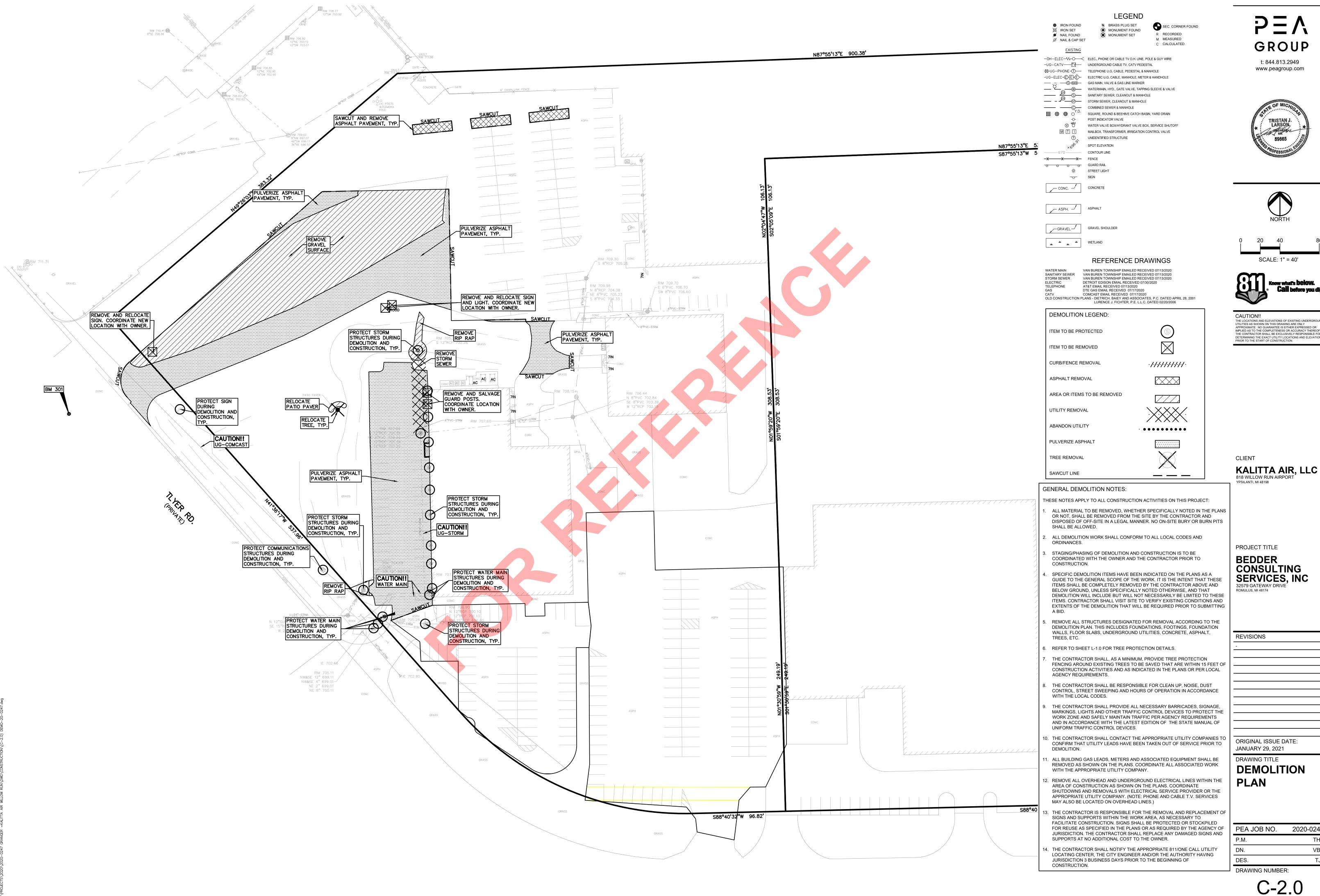
ORIGINAL ISSUE DATE: JANUARY 29, 2021

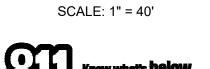
DRAWING TITLE

STAGING PLAN

PEA JOB NO.	2020-0247
P.M.	THD
DN.	VBC
DES.	TJL
DRAWING NUMBER:	

C-1 2

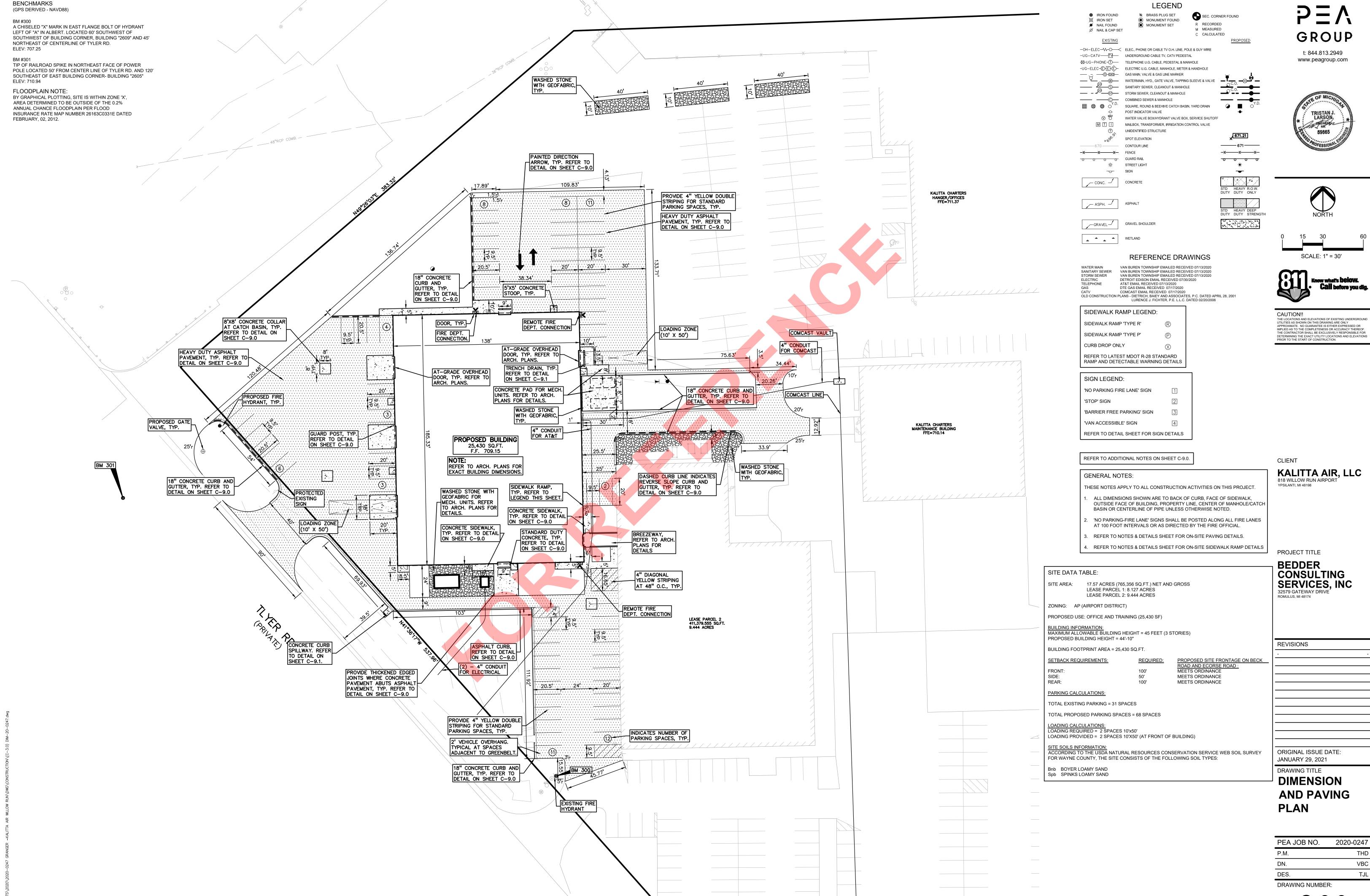




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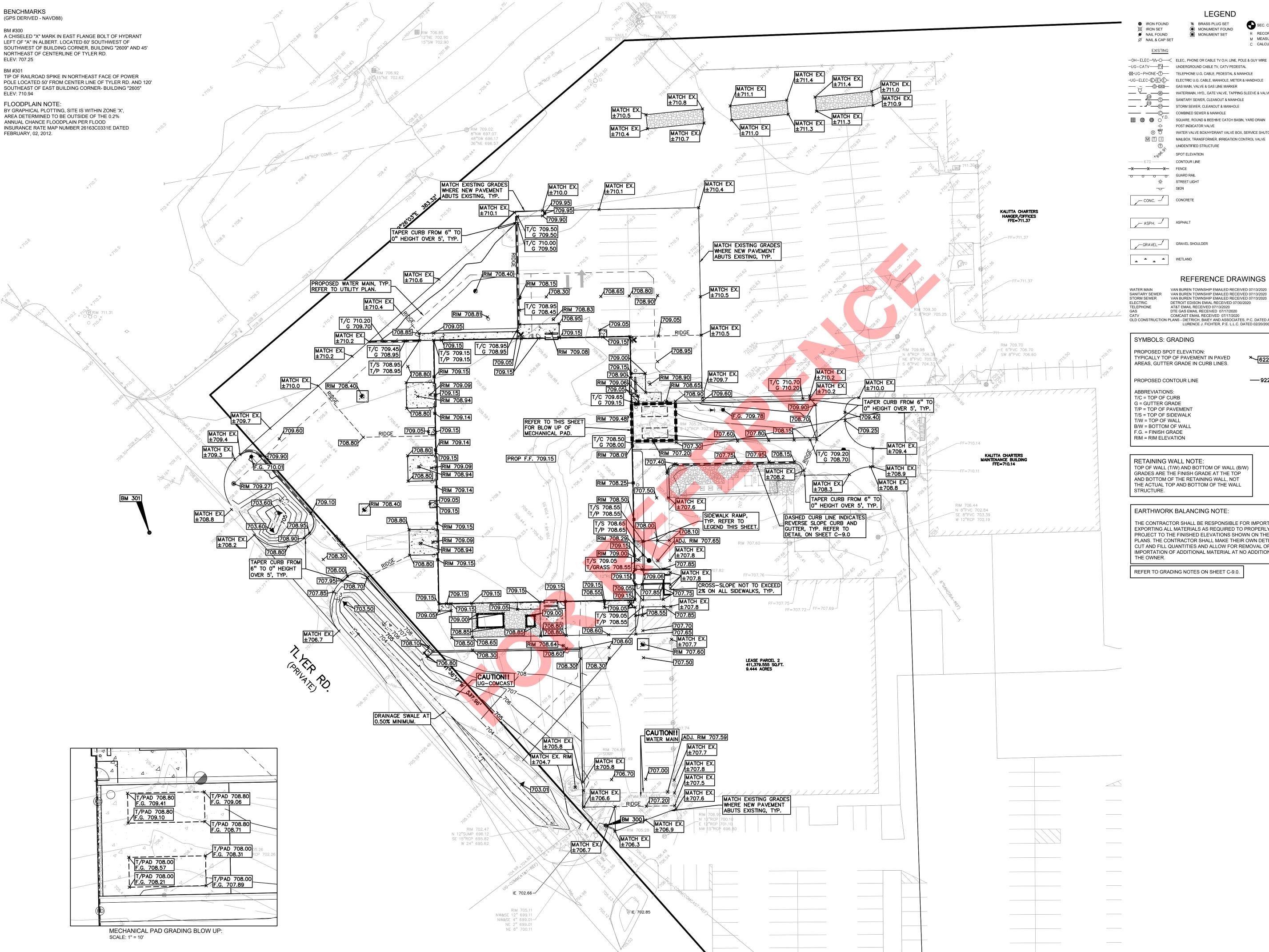
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2020-0247 THD VBC TJL





2020-0247 THD VBC TJL



LEGEND

BRASS PLUG SET MONUMENT FOUND MONUMENT SET

SEC. CORNER FOUND R RECORDED M MEASURED C CALCULATED

671

-x----x---x-0 0 0

GAS MAIN, VALVE & GAS LINE MARKER WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE

COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE

UNIDENTIFIED STRUCTURE SPOT ELEVATION

GRAVEL SHOULDER

REFERENCE DRAWINGS

VAN BUREN TOWNSHIP EMAILED RECEIVED 07/13/2020 VAN BUREN TOWNSHIP EMAILED RECEIVED 07/13/2020 VAN BUREN TOWNSHIP EMAILED RECEIVED 07/13/2020 DETROIT EDISON EMIAL RECEIVED 07/30/2020 AT&T EMAIL RECEIVED 07/13/2020 DTE GAS EMAIL RECEIVED 07/17/2020

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OLD CONSTRUCTION PLANS - DIETRICH, BAIEY AND ASSOCIATES, P.C. DATED APRIL 28, 2001 LURENCE J. FICHTER, P.E. L.L.C. DATED 02/20/2006

TYPICALLY TOP OF PAVEMENT IN PAVED ×_622.50 AREAS, GUTTER GRADE IN CURB LINES.

----922 ----

TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT THE ACTUAL TOP AND BOTTOM OF THE WALL

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO

REFER TO GRADING NOTES ON SHEET C-9.0.

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CLIENT

KALITTA AIR, LLC 818 WILLOW RUN AIRPORT YPSILANTI, MI 48198

PROJECT TITLE

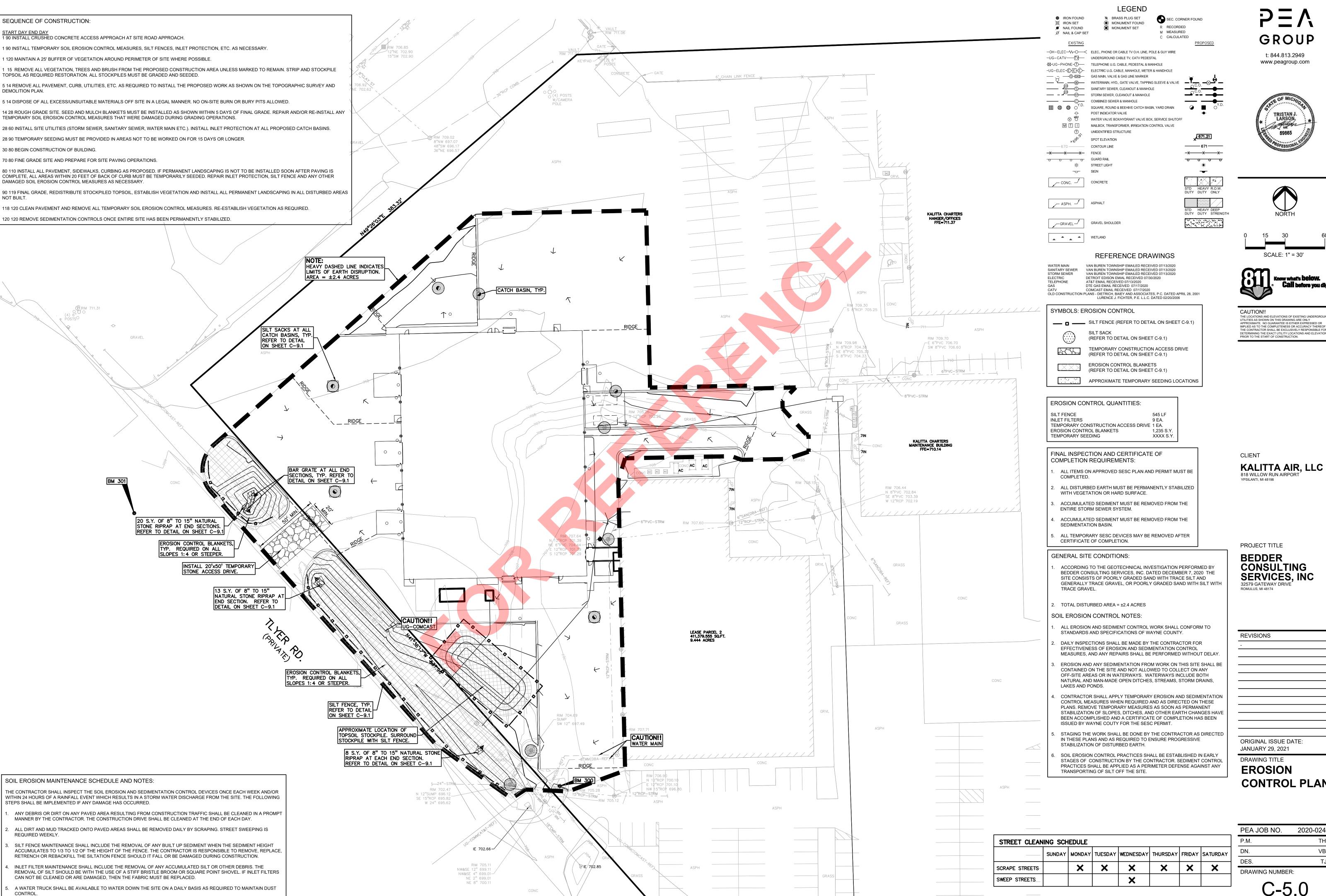
BEDDER CONSULTING **SERVICES, INC** 32579 GATEWAY DRIVE ROMULUS, MI 48174

REVISIONS

ORIGINAL ISSUE DATE: JANUARY 29, 2021

DRAWING TITLE **GRADING PLAN**

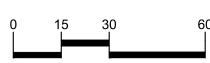
PEA JOB NO.	2020-0247
P.M.	THD
DN.	VBC
DES.	TJL
DRAWING NUMBER	

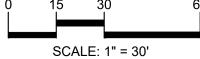


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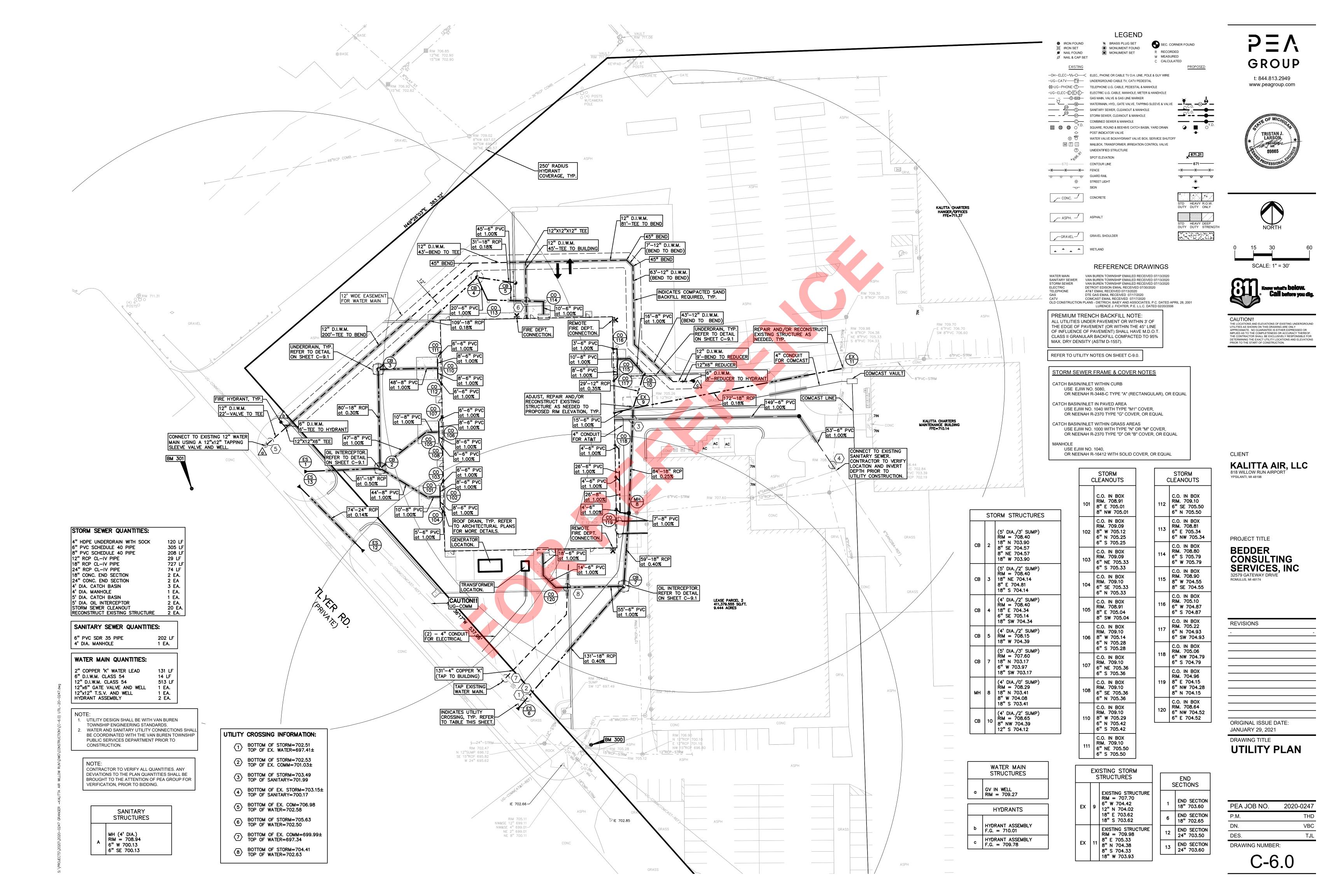


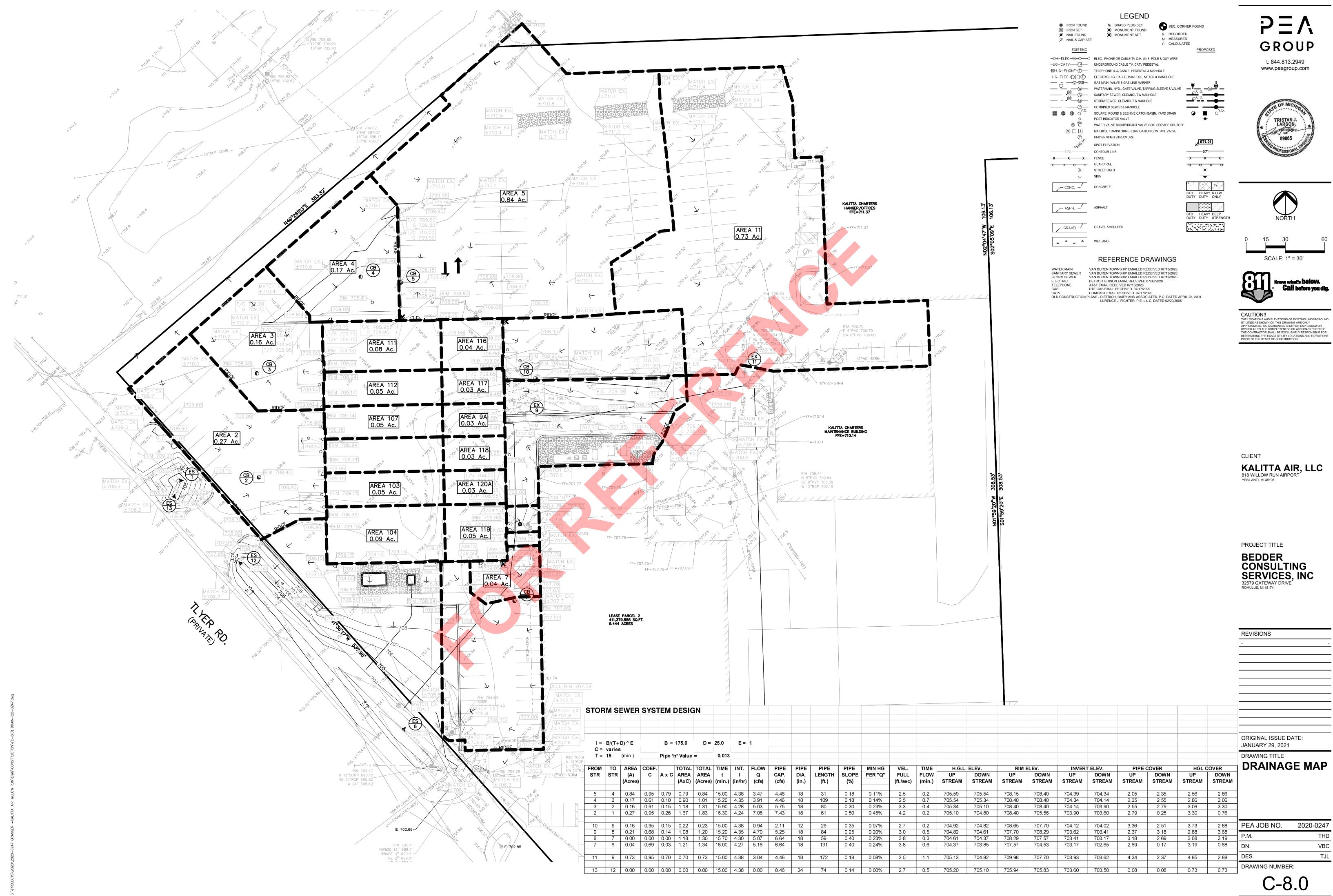
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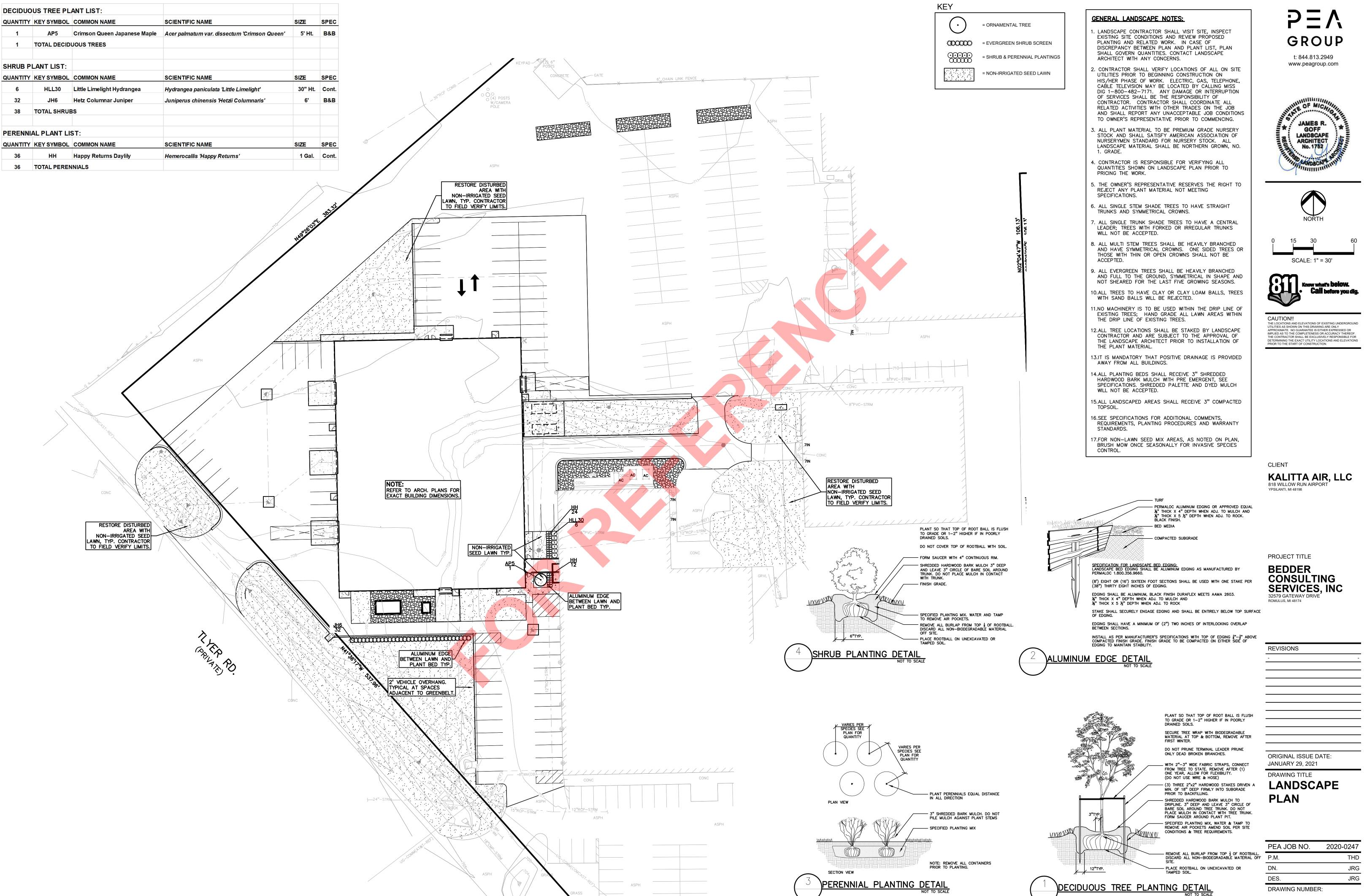
JANUARY 29, 2021

EROSION CONTROL PLAN

2020-0247 PEA JOB NO. TJL DRAWING NUMBER:

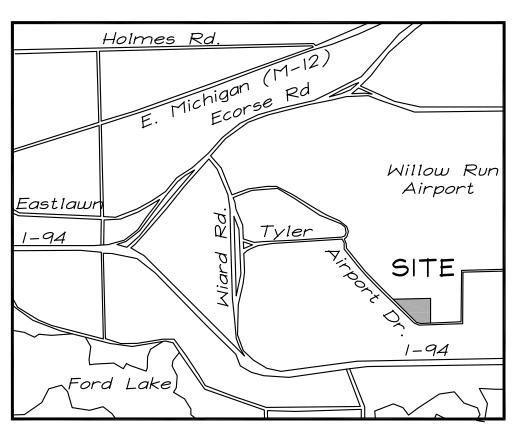






PEA JOB NO.	2020-0247
P.M.	THD
DN.	JRG
DES.	JRG
DRAWING NUMBER	R:

L-1.0





DEFERRED SUBMITTALS

DEFERRED SUBMITTALS NOTE:

THE FOLLOWING ITEMS SHALL BE SUBMITTED (WITH APPROVAL OF THE BUILDING OFFICIAL) TO THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR DESIGN CONFORMANCE PRIOR TO BEING SUBMITTED TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL:

. FIRE SPRINKLER SYSTEM: (SHOP DRAWINGS & LIFE SAFETY PLANS) CONTRACTOR TO BE DETERMINED

2. FIRE ALARM SYSTEM: (SHOP DRAWINGS) CONTRACTOR TO BE DETERMINED

B. BUILDING MATERIALS & ASSEMBLIES: PRODUCT INFORMATION TO BE SUBMITTED BY APPLICABLE CONTRACTOR(S) (INCLUDING BUT NOT LIMITED TO; UL DESIGNS/ FIRE-RESISTIVE ASSEMBLIES AND/OR PENETRATIONS, FOAM PLASTICS, FINISHES, ETC.) FOR APPROVAL PRIOR TO INSTALLATION AS REQUIRED BY BUILDING OFFICIAL(S), WHERE NOT ALREADY PROVIDED BY THE DESIGN DRAWINGS.

CODE COMPLIANCE:

INTERPRETIVE CODES:

- Building: 2015 Michigan Building Code (MBC 2015)

- ICC/ANSI A117.1-2009 & Michigan Barrier Free Design Law of

Public Act 1 of 1966 as amended.

- Energy: 2015 Michigan Building Code, Chapter 13 & 2015 Michigan Energy Code, Chapter 4 & Michigan Energy Code, Part 10a Rules (ANSI/ASHRAE 90.1-2013)

- Electrical: Michigan Electrical Code based on 2017 NEC with

Part 8 State Amendments

- Plumbing: 2015 Michigan Plumbing Code
- Mechanical: 2015 Michigan Mechanical Code (MMC 2015)
- Fuel gas: 2015 International Fuel Gas Code (IFGC 2015)
- Fire Code: 2015 International Fire Code (IFC 2015)

Fire Suppression System:

Fire Suppression System shall be installed in accordance with NFPA 13. Fire Suppression Contractor shall submit plans for approval prior to fabrication and installation.

Fire Alarm System:

Fire Alarm System shall be installed in accordance with NFPA 72. Fire Alarm Contractor shall submit plans for approval prior to modification. **Building Use Group:** B (Business)

Construction Type: IIB (Non-combustible, Non-protected per Table 601 in 2015 Michigan Building Code).

FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS: Required: None

Provided: None DESIGN LIVE LOADS: 250 pounds per Sq. Ft. (per Table 1607.1)

EGRESS DISTANCES:

Length of exit access travel: Complies with Table 1017.2 (300 Feet). Common Path of Travel = 100 Feet per Table 1006.2.1

Egress separation (1007.1.1 Exception 2) between worst case scenario of 2 Training rooms (occupant load exceeds 49 persons combined, least door separation = 26'-0" / max diagonal distance of 56'-4"=

26.0/56.33 = 0.46) complies with greater than $\frac{1}{3}$ (0.33) Egress Capacity: 0.20 inches per person (doors) per Section 1005 (1005.3.2)

(2) STAIRS x 48" clear opening = 320 persons 3rd Floor: 0.30 per person (2) DOORS x 34" clear opening = 340 persons

0.20 per person (4) STAIRS x 48" clear opening = 640 persons 2nd Floor: 0.30 per person

> (4) DOORS x 34" clear opening = 680 persons 0.20 per person (4) DOORS* x 34" clear opening = 680* persons

* 1st Floor Doors are given as minimum provided for each of 3 major areas; Office/Training, Mechanical, and Simulators (see plans)

ALLOWABLE BUILDING AREA:

MAXIMUM STORIES/HEIGHT ABOVE GRADE: WITH SUPPRESSION (TABLES 504.3 & 504.4 - B Use)

ACTUAL PROPOSED HEIGHT ABOVE GRADE:

TABULAR AREA: MULTI-STORY W/ SUPPRESSION (per TABLE 506.2 - B Use) **ACTUAL AREA(S) - FIRST FLOOR:** SECOND FLOOR:

THIRD FLOOR:

TOTAL AREA:

69.000 SQ. FT. 25,701 S.F. (COMPLIES)

46 FEET/ 3 STORIES (COMPLIES)

15,366 S.F. (COMPLIES) 14,174 S.F. (COMPLIES) 55,241 S.F. (COMPLIES)

75 FEET/ 4 STORIES

EGRESS DESIGN OCCUPANT LOAD

(2015 MBC Table 1004.1.2) Egress Distance information is given under Code Compliance on this sheet

Note: Occupant loads given in parenthesis next to each area

Area Use(s)	1st Floor**	2nd Floor	3rd Floor**	Total
Office/Business (1/100 GSF):	3,076 S.F.(31)	4,106 S.F. (41)	6,463 S.F.(65)	14,393 S.F.(137)
Assembly Areas (1/15 NSF):	1,084 S.F.(72)	1,156 S.F. (77)	718 S.F.(48)	2,598 S.F.(197
Training, Vocational (1/50 NSF):	3,448 S.F.(69)	N/A	N/A	3,448 S.F. (69)
Training, Classroom (1/20 NSF):	N/A	2,774 S.F.(139)	N/A	2,774 S.F.(139
Storage/Mechanical (1/300 GSF)	:18,093 S.F.(60)	7,330 S.F. (25)	6,993 S.F.(23)	32,028 S.F.(108
Totals Areas:	25,701 S.F.(232)	15,366 S.F.(282)	14,174 S.F.(136)	55,241 S.F.(650

** Note 1st Fir. includes connecting breezeway. 3rd Floor Office/Assembly is speculative (10% conference)

PLUMBING FIXTURE REQUIREMENTS

Employees and clients are approximately 60% male / 40% female

FLOOR		1st Floor (Business) 2nd Floor (Business)		3rd Floor (Business)		TOTAL			
OCCUPANTS		232 (139/9	3)	282 (169/1 <mark>13</mark>)		136 (82/54)		632 (316/316)	
		REQUIR'D	PROVID'D	REQUIR'D	PROVID'D	REQUIR'D	PROVID'D	REQ'D	PROVID'D
	W.C.	3.78	2	4.38	2	2.64	2	10.8	6
MEN	URINALS	-	3	•	3	-	3	•	9
	LAVATORIES	2.74	3	3.12	3	2.03	3	7.89	9
WOMEN	W.C.	2.86	3	3.26	3	2.08	3	8.20	9
VVOIVILIN	LAVATORIES	2.17	3	2.42	3	1.35	3	5.94	9
	E.W.C.	2.32	3	2.82	2	1.36	2	6.50	6*
	SERV. SINK	-	2	1	1	-	1	1	4

* OWNER SHALL PROVIDE AT LEAST ONE (1) WATER BOTTLE DISPENSER IN THE BUILDING IN ADDITION TO THE SIX (6) DRINKING FOUNTAINS SHOWN

DEMOLITION NOTES ((ONLY CONCERNING CONNECTION TO EXISTING BUILDING)

- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS S UNLESS INDICATED OTHERWISE, ALL ITEMS & NOTIFY ARCHITECT IMMEDIATELY IF WHAT EXISTS DIFFERS FROM WHAT IS SHOWN.
- ALL WORK TO COMPLY WITH FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES.
- PROTECT EXISTING CONSTRUCTION TO REMAIN AS REQUIRED DURING DEMOLITION.
- CONTRACTOR TO COORDINATE THE TIMING OF ALL WORK, BUILDING ACCESS, AND USE OF THE FACILITIES WITH THE OWNER'S REPRESENTATIVE AND THE LOCAL BUILDING OFFICIAL.
- AND MATERIALS DESIGNATED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL SUCH MATERIALS SHALL BE REMOVED FROM THE SITE AND TRANSPORTED/DISPOSED OF IN A LAWFUL MANNER. CONTRACTOR TO PLACE ANY ITEMS OR MATERIALS TO BE RETAINED AS DIRECTED BY OWNER.
- 6 EACH TRADE IS TO REPAIR THEIR OWN DEMOLITION WORK IN AREAS OF EXISTING CONSTRUCTION (i.e. PATCH HOLES, ETC.)

Architectural Drawings for: KALITTA AIR SIMULATOR FACILITY

842 WILLOW RUN AIRPORT YPSILANTI, MICHIGAN 48198

MICHIGAN PLUMBING CODE (2015)

ABBREVIATIONS:

ADA	AMERICANS WITH DISABILITIES ACT	MECH.	MECHANICAL
A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL
ANOD.	ANODIZED	MIN.	MINIMUM
ANSI		M.O.	MASONRY OPENING
ALUM.	ALUMINUM	NEC	NATIONAL ELECTRICAL CODE (2014)
CJ	CONTROL JOINT	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CL	CENTERLINE	M.O. NEC NFPA O.C. O.H.	ON CENTER (CENTER TO CENTER)
CMU	CONCRETE MASONRY UNIT	O.H.	OVERHEAD ^
CL CMU COL.	COLUMN	PEMB PLAM.	PRE-ENGINEERED BUILDING MANUFACTURER
CONC.	CONCRETE	PLAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
D.F.	DRINKING FOUNTAIN	REIN.	REINFORCING/REINFORCEMENT
DIA.	DIAMETER	REQ.	REQUIRED
DIA. D.S. DWG.	DOWNSPOUT (ALUM. BY PEMB)	REIN. REQ. RTU RWC SAN.	ROOFTOP UNIT
DWG.	DRAWING	RWC	RAINWATER CONDUCTOR
ELEC.	ELECTRICAL	SAN.	SANITARY
ELEV.	ELEVATION	SCHED.	SCHEDULE
EXT. EWC FD	EXTERIOR	SS	STAINLESS STEEL OR SERVICE SINK
EWC	ELECTRICAL WATER COOLER	STL.	
FD	FLOOR DRAIN	STRUCT.	STRUCTURAL
F.F.	FINISHED FLOOR	SUSP.	
FACT.	FACTORY	THRESH.	THRESHOLD
FIN.	FINISH	TLT	
FIXT.	FIX TURE	1.O.F.	TOP OF FOOTING
FRT	FIRE RESISTANCE TREATED	1.O.M.	TOP OF MASONRY
FTG.	FOOTING CYPSUM BOARD	T.O.S.	
HB	GYPSUM BOARD HOSE BIB	TYP. UL	
	LOW METAL	U.N.O.	
HORIZ.		USMD	UNDERSIDE OF METAL DECK
ICC	INTERNATIONAL CODE COUNCIL	VCT	
INSUL.		VERT.	VERTICAL
IAV	LAVATORY	V.I.F.	VERIFY IN FIELD
LAV. LVT MAX.	LUXURY VINYL TILE	W/	
MAX.	MAXIMUM	W/O	
MBC	MICHIGAN BUILDING CODE (2015)	W.C.	WATER CLOSET
MMC	MICHIGAN MECHANICAL CODE (2015)	W.C. WD.	WOOD
141141 0	WHOTHER WILDITARIONE CODE (2010)	110.	11000

GENERAL NOTES

DO NOT SCALE DRAWINGS. USE DIMENSIONS GIVEN OR FIELD VERIFY IF

ONLY DOCUMENTS INDICATED AS "BIDDING" OR "CONSTRUCTION" ARE TO BE USED FOR BIDDING OR CONSTRUCTION.

THE REQUIREMENTS OF ICC/ANSI A117.1 AND THE AMERICANS WITH DISABILITIES ACT (ADA) ARE TO BE FULLY SATISFIED. ALL WORK SHALL MEET THE MOST STRINGENT REQUIREMENTS OF BOTH INCLUDING, BUT NOT LIMITED TO CLEARANCES, LIMITATIONS, ACCESSORIES, ETC. THESE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE LIMITED SERVICES FOR WHICH THE ARCHITECT WAS CONTRACTED. THE ARCHITECT MAKES NO REPRESENTATION THAT THE INTERPRETATION OF THESE DOCUMENTS WILL

4 ANY GLASS SHALL CONFORM TO FS DD-G-451. SAFETY GLASS SHALL CONFORM TO U.S. CONSUMERS PRODUCT SAFETY COMMISSION STANDARD 16 CFR 1201.

RESULT IN COMPLETE COMPLIANCE WITH THE ADA.

- ALL DOORS REQUIRED TO BE LABELED SHALL BE SET IN LABELED FRAMES AND IDENTIFIED WITH UL LABEL AND PROVIDED WITH APPROVED SELF-CLOSING DEVICES AND POSITIVE LATCHING HARDWARE.
- ALL DESIGNATED EXIT DOORS SHALL BE EQUIPPED WITH NON-LOCKING AGAINST EGRESS HARDWARE.
- PLASTIC PIPING, INSULATION AND OTHER COMBUSTIBLE MATERIALS SHALL BE RESTRICTED TO USE WHERE PERMITTED BY CODE AND IN NON-COMBUSTIBLE WALLS AND CEILING SPACES THAT DO NOT CONNECT DIRECTLY TO OCCUPIED ROOMS OR VENTILATING AIR DUCTS OR SPACES, IN ACCORDANCE WITH THE MICHIGAN STATE FIRE MARSHAL REGULATIONS. DO NOT PENETRATE FIRE-RATED ASSEMBLIES (STAIRWELL & ELEVATOR SHAFT WALLS, FLOOR DECKS AND/OR ANY STRUCTURAL MEMBERS & ASSEMBELIES). NOTIFY ARCHITECT IMMEDIATELY FOR APPROPRIATE SOLUTIONS IF THESE RATED ASSEMBLIES ARE PENETRATED. RATED SHAFT

WALLS SHALL BE DESIGNATED AS SUCH IN ACCORDANCE WITH 2015

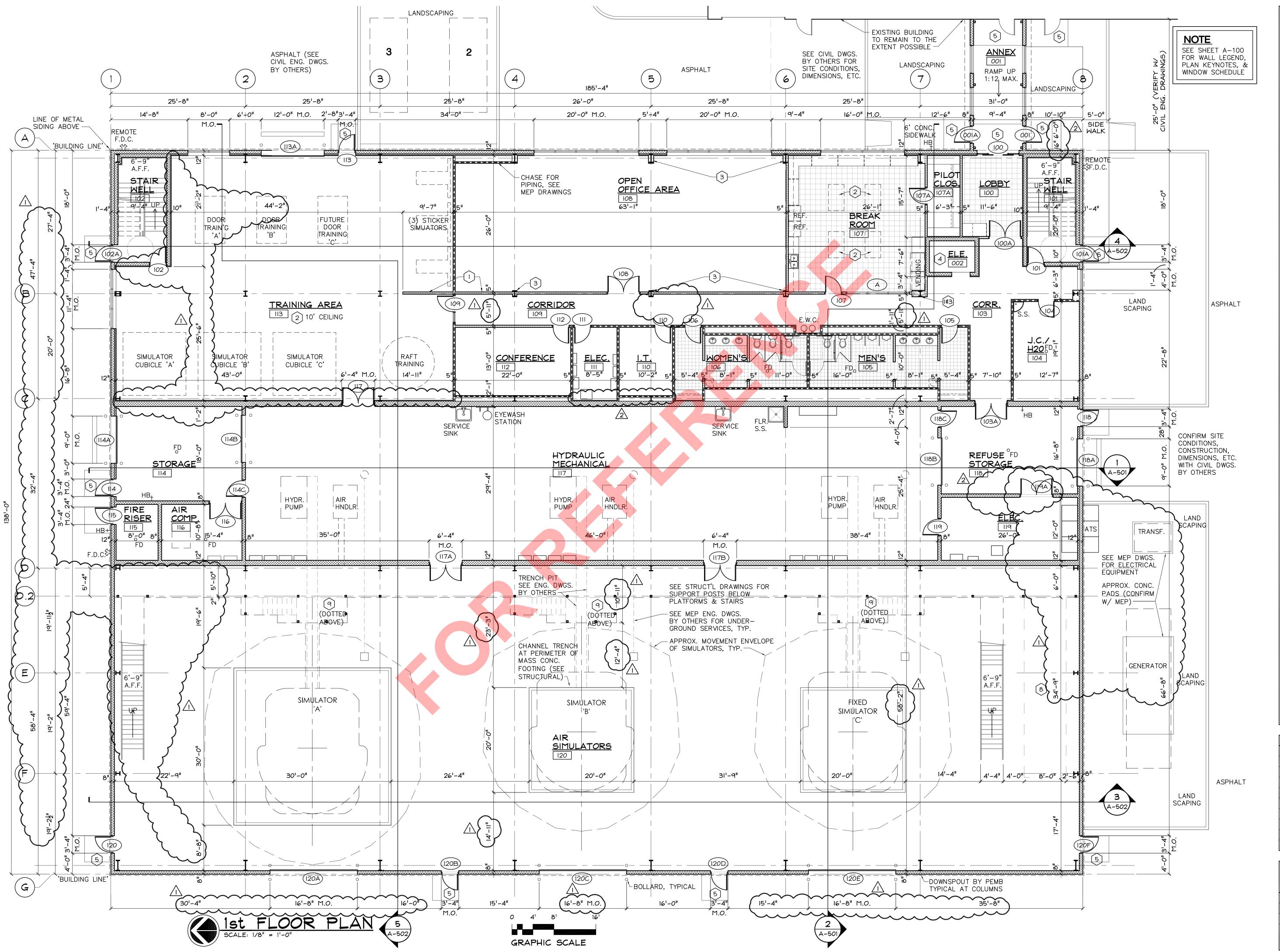
MICHIGAN BUILDING CODE SECTION 703.7.

- ALL SIGNAGE THAT PROVIDES EMERGENCY INFORMATION OR GENERAL CIRCULATION DIRECTIONS OR SPACE IDENTIFICATION SHALL COMPLY WITH THE MOST STRINGENT OF ANSI A117.1 AND THE AMERICANS WITH DISABILITIES ACT.
- UNLESS NOTED OTHERWISE, PRODUCTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR TO PROVIDE ALL PRODUCT WARRANTIES AND INFORMATION TO PROPERTY MANAGER UPON COMPLETION OF CONSTRUCTION.
- 10 PORTABLE FIRE EXTINGUISHERS SHALL BE FURNISHED BY THE CONTRACTOR AND INSTALLED IN ACCORDANCE WITH NFPA 10 AND/OR AS DIRECTED BY THE LOCAL FIRE MARSHAL.
- 11 ANY FINISH LUMBER SHALL HAVE A MOISTURE CONTENT OF 9% OR LESS.
- 12 PROVIDE FIRE RETARDANT TREATED (FRT) WOOD BLOCKING WHERE REQUIRED TO SUPPORT ITEMS MOUNTED TO PARTITIONS, AROUND ALL DOOR OPENINGS, ETC. ALL LUMBER REQUIRED TO BE FIRE TREATED SHALL BEAR THE UL FR-S LABEL.
- 13 ALL INTERIOR FINISHES SHALL MEET THE FLAME SPREAD AND SMOKE DEVELOPED REQUIREMENTS OF MBC 2015, CHAPTER 8 "INTERIOR FINISHES".
- 14 ALL INTERIOR METAL STUD PARTITIONS ARE TO BE DESIGNED TO WITHSTAND A UNIFORM LATERAL LOAD OF 5 P.S.F. BRACE WALLS TO THE STRUCTURE AS REQUIRED. SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- 15 ANY M/E ITEMS SHOWN ON ARCHITECTURAL SHEETS ARE FOR GENERAL REFERENCE ONLY, CONFIRM WITH APPROPRIATE MECHANICAL AND/OR ELECTRICAL DRAWINGS BY OTHERS.

NO.	DESCRIPTION
_	COVER SHEET, CODE INFORMATION & NOTES
A-100	ROOF PLAN & PLAN LEGENDS
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-200	1st FLOOR ENLARGED PLAN
A-201	1st FLOOR ENLARGED PLANS
A-202	2nd FLOOR ENLARGED PLANS
A-301	FIRST FLOOR REFLECTED CEILING
A-302	SECOND FLOOR REFLECTED CEILING
A-303	THIRD FLOOR REFLECTED CEILING
A-401	BUILDING ELEVATIONS
A-402	BUILDING ELEVATIONS
A-501	BUILDING SECTIONS
A-502	BUILDING SECTIONS
A-601	WALL SECTIONS & DETAILS
A-602	WALL SECTIONS & DETAILS
A-603	STAIR SECTIONS
A-604	STAIR SECTIONS
A-701	DOOR SCHEDULE & ELEVATIONS
A-702	DOOR HARDWARE & DETAILS
A-801	ROOM FINISHES & INTERIOR ELEVATIONS
A-901	ACCESSIBILITY DETAILS

PROFESSIONAL SEALS:	DESIGNATION:	
Architect's and Engineers' seals/signatures only applies to scheduled	CONSTRUCTION	
sheets with each respective discipline's Prefix (A- for Architect, S- for	DATE:	
Structural, etc.) with the date and designation shown below.	04-08-21	
OWNER/APPLICANT KALITTA AIR, LLC 818 WILLOW RUN AIRPORT YPSILANTI, MICHIGAN 48198 (800) 521-1590	NOTE: SEE NEXT SHEET A-100 FOR	
CONSTRUCTION MANAGER BEDDER CONSULTING SERVICES, INC. 32579 GATEWAY DRIVE ROMULUS, MICHIGAN 48174 (734) 637-0016	ADDITIONAL CONTACTS	
ARCHITECT: SMITH + SCHURMAN ASSOCIATES, INC. P.O. BOX 1607 SOUTHGATE, MICHIGAN 48195 (248) 227-9660	STATE OF MICHIGATION DAVID TE NOVAK IN DAVID TE	
STRUCTURAL ENGINEER: PARADIS ASSOCIATES 418 S. MAIN STREET ROCHESTER, MICHIGAN 48307 (248) 650-4905		
PRE-ENGINEERED BUILDING MANUFACTURER: VULCAN STEEL STRUCTURES, INC. 500 VULCAN PARKWAY ADEL, GEORGIA 31620 (800) 256-3369		

DESIGNATION:



ciates,

1st FLOOR PLAN
PROPOSED BUILDING FOR:
KALITTA AIR SIMULATOR FACILITY

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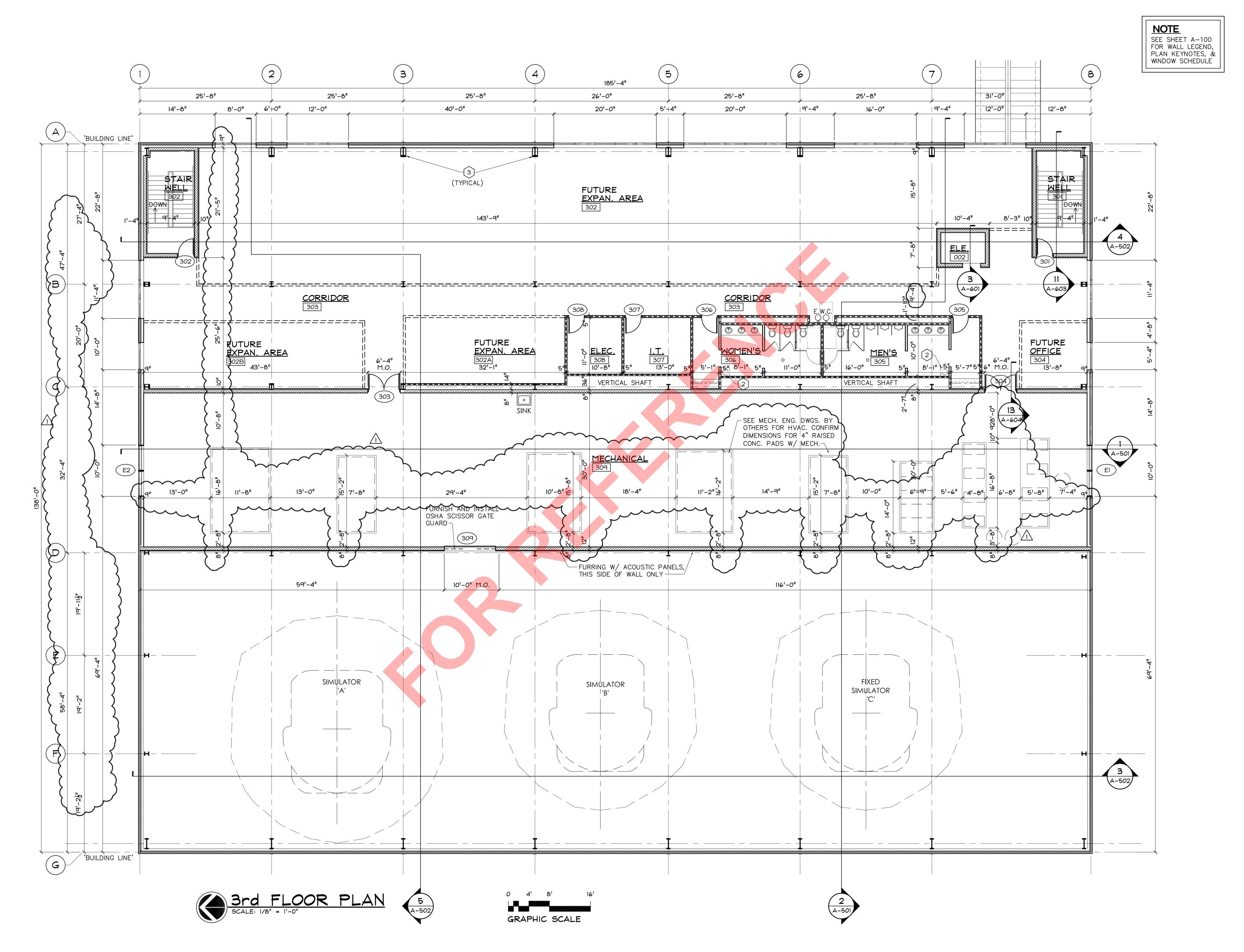
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SCHEME Aug. 17, 2020 REVISED Sep. 15, 2020 REVISED Oct. 20, 2020 REVISED Dec. 09, 2020 REVISED Jan. 04, 2021 PERMIT Feb. 01, 2021 Construction 04-08-21

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OB NO: 20-9172 SHEET NUMBER: A-102



3rd FLOOR PLAN

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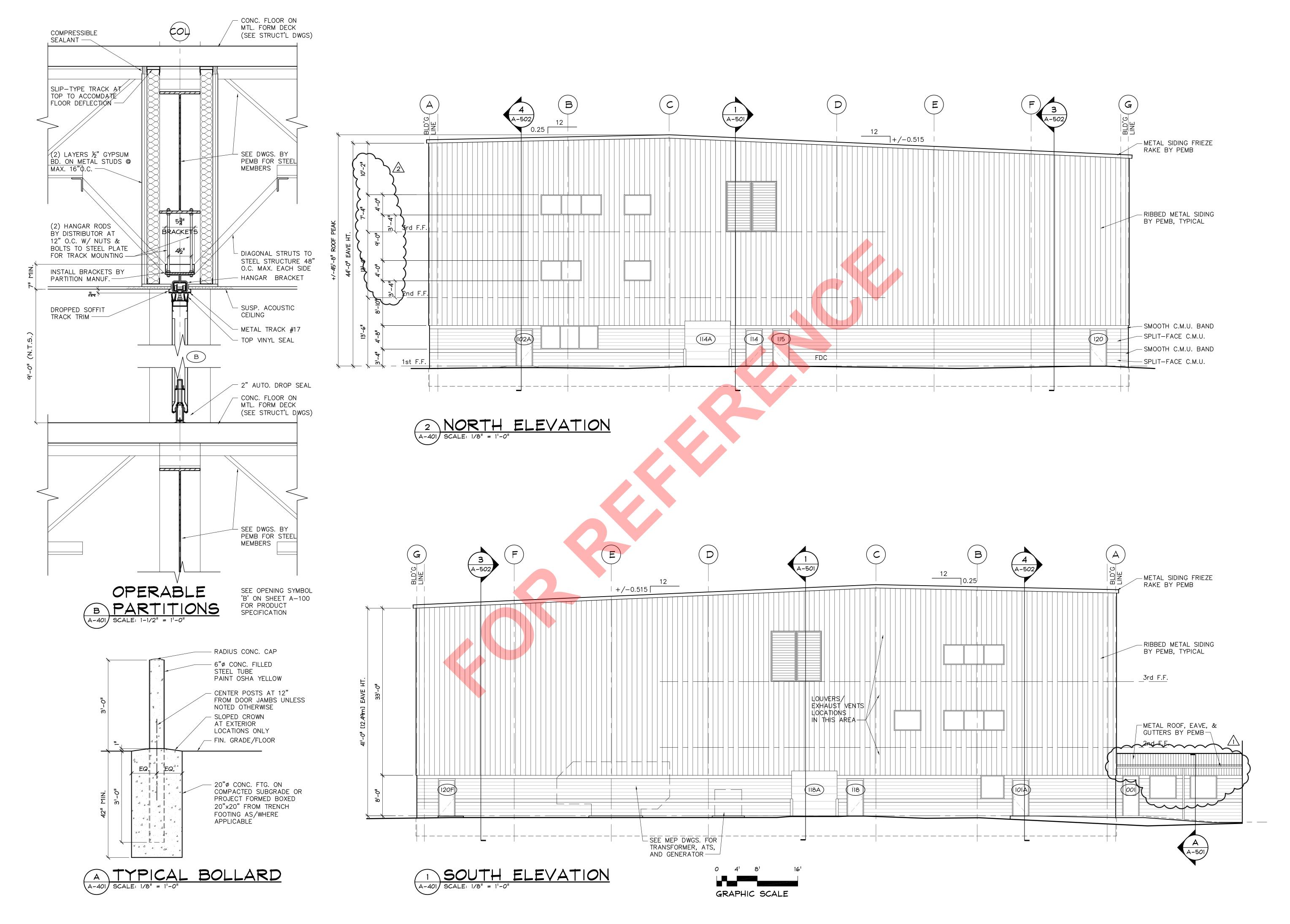
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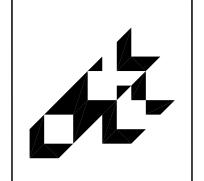
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JOB NO: 20-9172

SHEET NUMBER:

A-103





smith + schurman associates,

BUILDING ELEVATIONS
PROPOSED BUILDING FOR:
KALITTA AIR SIMULATOR FACILITY

ISSUE DATE

SCHEME Aug. 17, 2020

REVISED Sep. 15, 2020

REVISED Oct. 20, 2020

REVISED Dec. 09, 2020

REVISED Jan. 04, 2021

PERMIT Feb. 01, 2021

REV. ⚠ Feb. 16, 2021

REV. ⚠ Feb. 16, 2021

Construction 04-08-21

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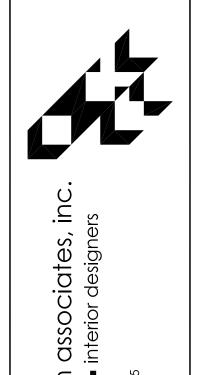
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JOB NO: 20-9172

SHEET NUMBER:

A-401



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BUILDING ELEVATIONS
PROPOSED BUILDING FOR:
KALITTA AIR SIMULATOR FACILITY

SCHEME Aug. 17, 2020
REVISED Sep. 15, 2020
REVISED Oct. 20, 2020
REVISED Dec. 09, 2020
REVISED Jan. 04, 2021
PERMIT Feb. 01, 2021
REV. ⚠ Feb. 16, 2021
REV. ⚠ Mar. 26, 2021
Construction 04-08-21

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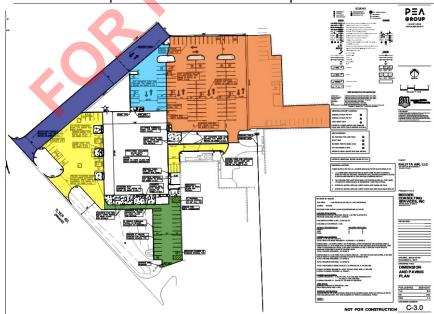
JOB NO: 20-9172
SHEET NUMBER:

Bedder Consulting Services Inc.

Kalitta Air LLC New Flight Simulator Facility Project Scope Description

Site Development:

- Pulverize and reuse the existing asphalt parking lot material as base for the new designated asphalt parking areas
- Re-grade the open grass field re-using the top soil on site
- Re-grade the existing parking areas and install new storm water system with catch basins as shown on PEA Group documents
- Install new underground storm water system with all roof gutters draining directly into system
- Install landscaping in newly formed landscape areas as shown on PEA Group Drawing then re-grade and hydro seed all other areas affected by the new construction
- Install required erosion fencing as per Wayne County Erosion Control Department
- Install new asphalt paving with new curbing, sidewalks and catch basin concrete aprons as per drawings. Stripe entire site parking lots as per PEA Group drawing
- Install all required utilities Gas, Electric, sewer, domestic water, cable / telephone and fire suppression services. This work will be as per PEA Group drawings.
- During construction a temporary construction barrier will be installed defining the area under construction.
- Temporary trailers will be set-up during the project as required.
- WCAA has granted access to the gravel area to the north of our Parcel # 2 for use as construction personnel parking.
- Two new fire hydrants will be installed on the north side of our parcel # 2 as shown on the PEA Group drawings. These locations were as per WCAA Fire Marshal request.



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Bedder Consulting Services Inc.



Building Construction:

- Excavation and installation of new concrete foundations as per both Structural & Architectural drawings.
- Fabricate & install a new Pre-engineered building w/ three floors of offices on the east side of the building.
- The Pre-Engineered building will utilize a 2" insulated exterior panel with 4" of additional insulation within the interior.
- The first 8'-0" of elevation will be split-face block painted to match the adjacent building
- There will be a connecting Breezeway between the existing simulator facility and the new simulator building.
- The entry lobby will consist of a small seating area with a sign in counter.
- The interior offices will be constructed of metal stud & drywall with required insulation.
- Each floor will have toilet room facilities as shown on the drawings.
- The passenger elevator will be 2,500 lb. servicing the three floors as shown on the drawings.
- The elevator shaft and two stair towers will be total enclosed with 8" masonry block as shown on the drawings.
- There will be a staff lounge and breakroom with just vending machines, refrigerators, microwaves & coffee machines
- There will be two conference rooms, five training rooms, and six pilot briefing rooms
- There will be one central computer room on the second floor for each of the three flight simulators.
- The first floor hydraulic bay is for the flight simulator equipment / machines with associated support items.
- The entire building will be fully covered by a designed fire suppression system including FM-200 in the computer room. Drawings will be submitted by selected licensed subcontractor.
- The steel walkway, platforms and exit stairs in the simulator bay will be designed by the structural engineer.
- There will be a 2-ton overhead crane in the simulator bay designed to be supported by the pre-engineered building.
- All exterior overhead doors will be insulated type and motorized painted to match the building trim.
- All interior roll-up overhead doors will be motorized
- The third floor center area will house the entire building mechanical equipment as per drawings prepared by EAM Engineering

A description of the proposed use and the amount of floor area allocated to each proposed use in the proposed new building should be described...

- The new addition to the Kalitta Air Training Center (new building) that is being proposed will be primarily used for the training of all flight crews (both initial new hire and recurrent training).
- The new 55,241 square foot building will house the following...
 - 3 Flight Simulators
 - o 2 briefing rooms for each flight simulator (total of 6)
 - o 6 classrooms that will be primarily used for ground school training
 - o A computer room used to house the required equipment to run the flight simulators
 - 3 small offices
 - 1 large office
 - o 1 large open office space on the 3rd floor

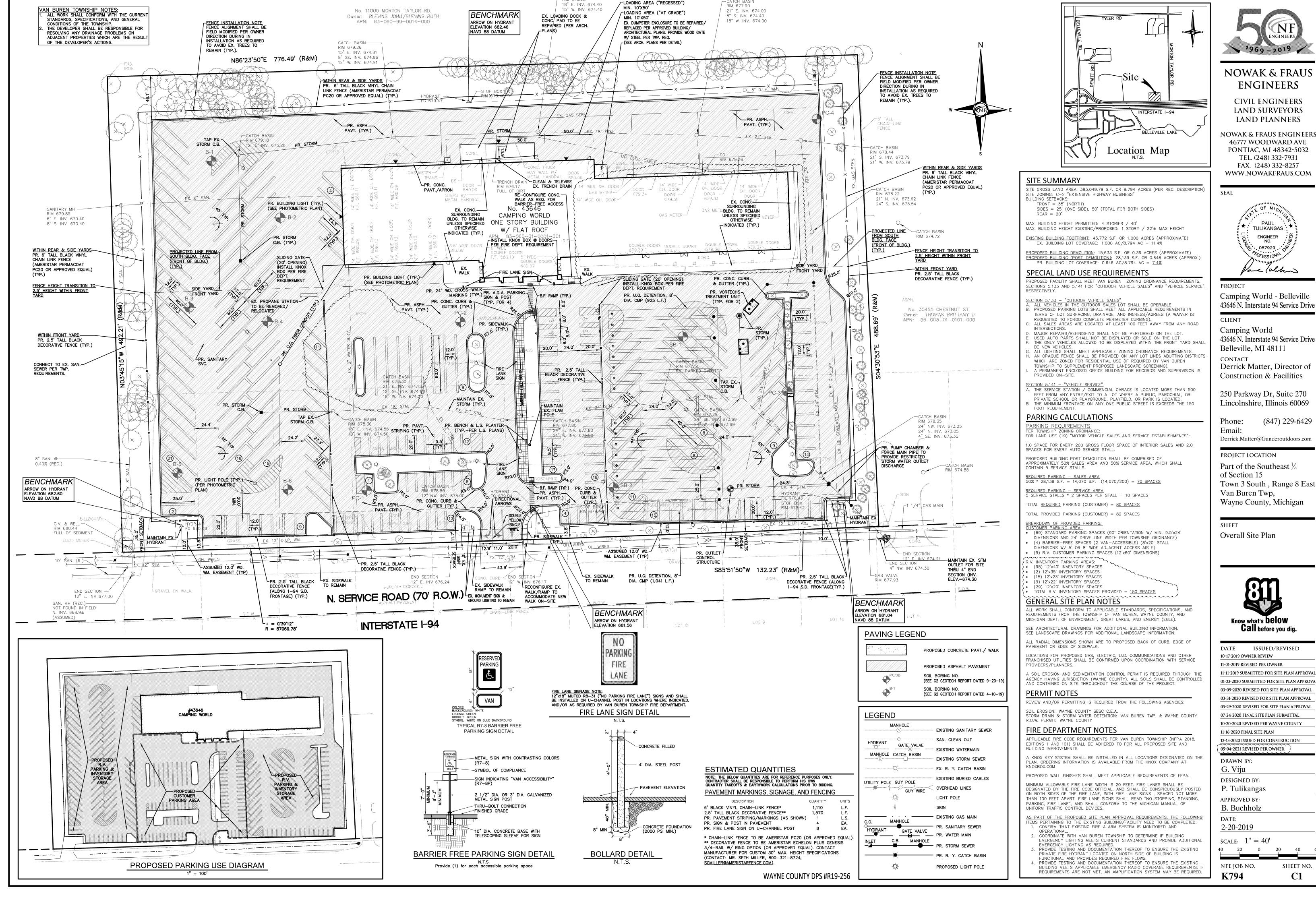
Information regarding maximum staffing at peak shift...

- Full time Personnel (Ground Instructors/Administrative) There are currently 8 employees.
 There will not be any additional full time staffing added with the addition of the new building.
- Sim MX There are currently 3 Simulator Maintenance personnel working during the week during peak hours. 2 Simulator Maintenance personnel will be added for the new training center.
- Flight Training There will be 3 additional flight instructors added with the addition of the new simulators added. These individuals are already employed however, they are currently working at an outside training center.
- Flight Crews Training is conducted continually throughout the day in 6 hour increments. Instructors and flight crews stay at local hotels and are transported to the training center via hotel transportation or an instructor assigned company vehicle. Once the new building is in use, the highest capacity there will be at peak hours during the week (0600-1800) will be approximately 65 employees.
- Administrative- Third floor will consist of airline administrative personnel, with an estimate of 35, whom would work peak hours during the week (0600-1800).
- During peak staffing, estimated vehicles needed would be approximately 62.
 - NOTE: This is if all devices (current and new) are in use at the same time.

The applicant shall provide a description of the uses in the existing +/- 146,830 square foot of building area on the site, broken down by floor area...

- The existing approximately 30,775 square foot Training Center currently has the following...
 - 2 Full Flight Simulators
 - 1 Flight Training Device
 - 1 Procedures Trainer
 - 2 Door Trainers
 - Simulator Maintenance room which contains the necessary computer equipment to run the 2 Full Flight Simulators
 - o 6 classrooms
 - 4 Simulator Briefing rooms

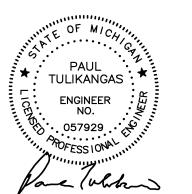
- 2 Office areas
- A total of 5 simulator maintenance personnel will be on the premises during peak shift throughout both buildings.
- The first floor has Human Resources, Technical Publications and Payroll /Accounting administrative offices. A total of 41 persons occupy this area.
- The main headquarters building consists mainly of administrative offices and is 81,868 sq. ft.
 - The 1st floor consists of senior management in the front offices and aircraft records in the back offices. The majority of the first floor sq. footage consists of hangar area and ground power areas.
 - o The 2nd floor consists of maintenance control and airline operations and is staffed 24/7
 - o The 3rd floor consists of 2 small office areas and has no more than 300 sq. feet.
- Kalitta Charters facilities consists of the following;
 - Hangar Building No.2613 approx. 30,000 sq. ft. used primarily for parts storage.
 - Garage Building No. 2612 approx. 2,400 sq. used for storage.
 - o Engine Run-Up Building No. 2610 approx. 2,210 sq. used as an engine run up test cell.





NOWAK & FRAUS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032



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Town 3 South, Range 8 East

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