

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, June 23, 2021 – 7:30 PM
REMOTE MEETING –AGENDA**

To mitigate the spread of COVID-19, protect the public health, and provide essential protections to Van Buren Township residents; this Van Buren Township's Planning Commission meeting will be conducted virtually as permissible under Public Acts of 2020 Act No. 254 and Declaration of a Health Emergency in Wayne County. To participate in the meeting electronically, the public may follow the instructions below.

- Join by weblink: <https://zoom.us/j/98190119669>
- Or dial in by phone: 1 312 626 6799
- Webinar ID: 981 9011 9669

For instructions on [how to join a Zoom meeting, make a public comment, ADA information, and virtual meeting compliance from the State please click here.](#)

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of June 9, 2021.

CORRESPONDENCE

PUBLIC HEARING

OLD BUSINESS

NEW BUSINESS

ITEM # 1 **CASE 21-010- VBTS, LLC / 44145 YOST ROAD – PRELIMINARY AND FINAL SITE PLAN APPROVAL**

TITLE: THE APPLICANT, ROB WAGNER OF MIDWESTERN CONSULTING, ON BEHALF OF OWNER VBTS, LLC, HAS APPLIED TO CONSTRUCT A 5,400 SQUARE FOOT ROOFED STRUCTURE TO BE USED FOR SHELTERING A WASTE TRANSFER AREA, ALONG WITH RELATED SITE IMPROVEMENTS.

LOCATION: 44145 YOST ROAD (PARCEL NUMBER 83 009 99 0004 001). THIS SITE IS ROUGHLY 1.2 ACRES IN AREA AND IS LOCATED ON THE SOUTH SIDE OF YOST ROAD, EAST OF SHELDON ROAD. THE PARCEL IS ZONED M-1 – LIGHT INDUSTRIAL.

ACTION ITEMS:

- A. Presentation from Township Staff
- B. Presentation from Applicant
- C. Planning Commission discussion
- D. Public comment
- E. Planning Commission considers approval

ITEM #1 **CASE 21-022 – NORLIN INVESTMENT, LLC / DEBUCKS CORN MAZE AND PUMPKIN PATCH**

TITLE: APPLICANT SCOTT DEBUCK IS REQUESTING AN EXTENSION TO A PREVIOUS EIGHT-YEAR TEMPORARY LAND USE APPROVAL FOR AGRICULTURAL TOURISM AND RECREATION USES GRANTED BY THE PLANNING COMMISSION ON JUNE 26, 2013.

LOCATION: PARCEL NUMBER 83-121-99-0008-000, ALSO KNOWN AS 50240 MARTZ ROAD AND 83 122 99 0002 000. THE SUBJECT PARCELS ARE LOCATED ON THE NORTH AND SOUTH SIDES OF MARTZ ROAD BETWEEN HOEFT AND RAWSONVILLE ROADS AND ARE ZONED AG – AGRICULTURAL AND ESTATES.

ACTION ITEMS:

- A. Presentation by Township staff
- B. Presentation by the applicant
- C. Planning Commission discussion
- D. Planning Commission considers Action on Temporary Land Use extension

GENERAL DISCUSSION AND UPDATES

- Commissioner introduction
- Trainings
- Meeting format

ADJOURNMENT

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION - VIRTUAL MEETING ON ZOOM
June 9, 2021
MINUTES - DRAFT**

Prior to the start of the meeting, the public was given instructions on how to take part in the meeting.

Chairperson Thompson called the meeting to order at 7:31 p.m.

ROLL CALL:

Present: Atchinson, Budd, Kelley, Cullin and Thompson.

Excused: Jahr.

Staff: Director Power, Director Best and Secretary Harman.

Planning Representatives: McKenna Associate, Vidya Krishnan and Fishbeck Associate, Stephen Clayton.

Applicant(s) in Attendance: Peter Bedder on behalf of Kalitta Air LLC.

Audience: Two (2).

APPROVAL OF AGENDA:

Motion Kelley, Cullin second to approve the agenda of June 9, 2021 as presented.

Roll Call:

Yeas: Budd, Atchinson, Kelley, Cullin and Thompson.

Nays: None.

Absent: Jahr.

Motion Carried.

APPROVAL OF MINUTES:

Motion Budd, Atchinson second to approve the regular meeting minutes of May 26, 2021 as presented.

Roll Call:

Yeas: Cullin, Kelley, Atchinson, Budd and Thompson.

Nays: None.

Absent: Jahr.

Motion Carried.

NEW BUSINESS:

ITEM #1: 19-038 CAMPING WORLD – PRELIMINARY AND FINAL SITE PLAN AMENDMENT APPROVAL.

THE APPLICANT, DERRICK MATTER/CAMPING WORLD, IS SEEKING AMENDED PRELIMINARY AND FINAL SITE PLAN APPROVAL TO AMEND A PREVIOUSLY APPROVED FINAL SITE PLAN BY RENOVATING THEIR EXISTING BUILDING IN

PLACE OF DEMOLISHING A PORTION OF THE BUILDING AND REDUCING THE PROPOSED SIZE OF A REDEVELOPED RV PARKING AND STORAGE AREA ON THE SITE.

LOCATION: THE SITE IS LOCATED AT 43646 N. I-94 SERVICE DRIVE (TAX PARCEL ID #83-060-01-0001-001), ON THE NORTH SIDE OF THE N. I-94 SERVICE DRIVE, BETWEEN DEWITT AND MORTON TAYLOR ROADS.

Director Power gave the presentation and informed the Commission and the audience that the applicant has requested to postpone approval until a later meeting in order to address items in the Fire Departments review. Director Power displayed the site plan, an aerial image of the site and a preliminary color rendering. The request is to consider approval of an amended combined preliminary and final site plan for the Camping World site redevelopment. The redevelopment involves maintaining the roughly 15,633 sq. ft. east wing of their existing building instead of demolishing it, retaining the remainder of the building with an area of 28,139 sq. ft., along with the creation of a new RV parking and sales area on site and related site improvements. Director Power has received recommendations from the Principal Planner and Township Engineer, however, fire safety issues have prompted additional discussion with the Fire Department regarding access and fire suppression needs.

Vidya Krishnan of McKenna Associates presented her staff review letter dated 6-4-21. The applicant's amended plan is significantly in compliance to the originally approved plan with the only major notable change being the retention of the entire building footprint, resulting in the corresponding decrease in outdoor RV storage space and the elimination of the propane tank station. The few remaining items can be easily addressed and therefore, McKenna Associates recommends preliminary and final approval of the amended sit plan, subject to the following conditions:

1. Clarification regarding the areas included in the 2,501 square feet of open space being provided.
2. Review and approval of proposed storm water detention system by the Township Engineer and Wayne County.
3. Submission of a colored rendering of the proposed building.

Stephen Clayton of Fishbeck Associates presented his staff review letter dated 6-4-21 recommending the Planning Commission grant the Camping World project, engineering and final site plan approval, subject to the comments noted in the review letter and in accordance with the Township's Engineering Standards manual.

No comments from the Commission or the audience.

The applicant has asked that no action be taken at this meeting and we'll present for action at a later date.

Director Power will provide a set of complete and updated elevations when they have been presented by the applicant.

ITEM #2: 21-008 – KALITTA AIR LLC

STAFF WILL PROVIDE AN UPDATE ON A PROPOSED SITE PLAN FOR A 25,430 SQUARE FOOT BUILDING WITH THREE (3) FLIGHT SIMULATORS, OFFICE AND TRAINING SPACES, ALONG WITH PARKING AND RELATED SITE IMPROVEMENTS. THE PROPOSED BUILDING WILL BE THREE (3) STORIES AND 44 FEET AND 10 INCHES TALL WITH A TOTAL FLOOR AREA OF 55,241 SQUARE FEET.

LOCATION: 50206 TYLER ROAD EXTENSION (TAX PARCEL ID #83-189-99-0008-000). THE PROPERTY IS LOCATED ON THE NORTH SIDE OF THE TYLER ROAD EXTENSION NEAR THE BORDER WITH YPSILANTI TOWNSHIP.

Director Power presented his staff review dated 6-4-21. Kalitta Air is proposing to pursue two phases of construction, the first of which will involve the construction of a 25,430 sq. ft. office and training building containing flight simulators, along with parking lot improvements including replacement of existing parking areas and the addition of 71 parking spaces and related site and storm water improvements. These improvements are in addition to an existing site which contains roughly 146,830 sq. ft. of combined office, warehouse, simulator and hangar spaces currently used by Kalitta Air, a private flight charter company. The proposed site includes two (2) proposed lease parcels with a combined acreage of 17.57 acres with a location of 843 Willow Run Airport.

The site plan request was reviewed based on Zoning Ordinance standards described in Section 3.118 (D) (AP – Airport District) allowing for a modified site plan review procedure for developments located at public airports. This involves reviewing the area, height and placement of the principle use; its parking, loading and access management; environmental performance standards; and screening, landscaping and other Ecorse and Beck Road adjacency requirements.

Director Power recommends conditional approval of the submitted civil site plan set dated 1-29-21, subject to conditions per the following comments in his staff review letter dated 6-4-21:

- All necessary approvals from the Wayne County Airport Authority (WCAA) and Wayne County Department of Public Services must be obtained prior to construction.
- Staff will provide a final review of the applicant's off-street parking analysis. If accepted, this analysis must be added to the notes on the final "issue for construction" site plan.
- Double striping shall also be shown for all parking spaces.
- The final issued-for-construction civil site plan submittal shall be signed and sealed by a professional Engineer.
- An existing conditions drawing shall be provided or a revision to sheet C-1.1 shall be provided which shows the full extent of the parcel boundaries of the leased parcels used by Kalitta Air.
- The revision date on the final site plan set must be updated for clarity.
- Prior to construction, the applicant shall obtain any necessary permits for connections to Van Buren Township's utilities systems.
- Prior to construction, final engineering review shall be provided by the Van Buren Township Engineer to demonstrate compliance with the Township's engineering

standards. As necessary, a preconstruction meeting shall be scheduled with the Township.

No comments from the Commission.

Resident inquired if there was any way to give the project a Van Buren Township address rather than an Ypsilanti address. Peter Bedder on behalf of Kalitta Air, informed the Commission and the audience that the address was set up through Ypsilanti decades ago. The property is also a leased property with a 20-30 year lease agreement with the airport. Director Power will look into the possibility of the applicant acknowledging and clarifying the property is located in Van Buren Township on the site plan.

GENERAL DISCUSSION:

Director Power informed that the next Planning Commission meeting will be held on June 23, 2021 and there will likely be 1 or 2 temporary land use requests on the agenda.

ADJOURNMENT:

Motion Cullin, Kelley second to adjourn the meeting at 8:06 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

PLANNING & ZONING APPLICATION

Case number _____

Date Submitted _____

APPLICANT INFORMATION

Applicant Midwestern Consulting, Rob Wagner Phone 734-995-0200
Address 3815 Plaza Drive Fax 734-995-0599
City, State Ann Arbor, MI Zip 48108
E:mail rcw@midwesternconsulting.com Cell Phone Number _____
Property Owner VBTS, LLC Phone 734-748-1456
(if different than applicant)
Address 44145 Yost Road Fax _____
City, State Belleville, MI Zip 48111
Billing Contact VBTS, LLC Phone _____
Address 585 W. Ann Arbor Trail Fax _____
City, State Plymouth, MI Zip 48170

SITE/ PROJECT INFORMATION

Name of Project Van Buren Transfer Station
Parcel Id No. V125-83- 009-99-0004-001 Project Address 44145 Yost Rd.

Attach Legal Description of Property

Property Location: On the South Side of Yost Road; Between Sheldon Road
and End of Road. Size of Lot Width _____ Depth _____
Acreage of Site 1.50 Total Acres of Site to Review _____ Current Zoning of Site M-1
Project Description: Construct structure over waste storage area per State of Michigan mandate.

Is a re-zoning of this parcel being requested? No YES (if yes complete next line) NO
Current Zoning of Site M-1 Requested Zoning _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? YES (if yes complete next line) NO
Section of Zoning Ordinance for which you are applying _____
Is there an official Woodland within parcel? No Woodland acreage N/A
List total number of regulated trees outside the Woodland area? N/A Total number of trees _____
Detailed description for cutting trees N/A

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Nicholas Ferrante

Print Property Owners Name

[Signature]

Signature of Property Owner

10-21-2020

Date

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 21st day of October 20 20

[Signature] Notary Public, Wayne County, Michigan My Commission expires 2-6-2025

Rev 1/12/96

Laura M. Roulier
NOTARY PUBLIC - STATE OF MICHIGAN
County of Wayne
My Commission Expires 2/6/2025
Acting in the County of Wayne



MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: SPR 20-026 - 44145 Yost Road Waste Transfer Station –
Preliminary and Final Site Plan Review
DATE: June 18, 2021

The Van Buren Township Planning Commission is requested to consider a request by Applicant, Rob Wagner of Midwestern Consulting, on behalf of owner VBTS, LLC to construct a 5,400 square foot roofed structure to be used for sheltering a waste transfer area, along with related site improvements.

This project was introduced to the Planning Commission at their regular meeting on March 24, 2021, where the Commission provided initial feedback regarding a pending request to the Board of Zoning Appeals for setback variances which are necessary to facilitate the placement of the structure. The need for the structure is driven by a requirement for the business's license by the State of Michigan EGLE. The BZA granted the requested variance at their meeting on April 13, 2021. Minutes of the Planning Commission's and BZA's meetings and documentation from EGLE are included with this packet, along with reports from the Township's Principal Planner, Engineer and Fire Marshall. We recommend conditional approval based on the recommendations of these plan reviewers.

Thank you for the opportunity to assist with this review.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', is written over a light blue horizontal line.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

CC: Vidya Krishnan – Van Buren Charter Township Principal Planner– McKenna Associates
Paul Kammer – Van Buren Charter Township Engineer – Fishbeck
Andrew Lenaghan – Van Buren Charter Township Fire Marshall
Matthew Best, M.S. - Public Services Director, Van Buren Charter Township
Robert C. Wagner – Midwestern Consulting, Inc.
Kevin Ramirez – VBTS, LLC



June 4, 2021

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: VBT-20-026 Yost Waste Transfer Station / 44145 Yost Road; Site Plan Review #3; Revised Site Plans Dated April 26, 2021.

Dear Commissioners:

The applicant, VBTS LLC, proposes to construct a new building addition at 44145 Yost Road. The site is located along Yost Road east of Sheldon Road, and has a tax parcel identification number: V-125-83-009-99-0004-001. The site is zoned M-1 (Light Industrial District), and has a total area of 1.5 acres. We have reviewed the site plan request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

COMMENTS

1. **Zoning and Use.** The site is currently zoned M-1 (Light Industrial District). The site is an existing private solid waste transfer station. As part of its State licensing requirements, the applicant is required to enclose outdoor storage area to comply with State Regulations.

Solid waste facilities are not permitted in the M-1 District. The existing use is a non-conforming use. The applicant's proposal to build an addition to enclose the outdoor storage areas on the south side of the site constitutes an expansion of a non-conforming use. Per Section 14.106, sub-section (D): *Nothing in this Section shall be deemed to prevent the strengthening or restoration to a safe condition of a structure in accordance with an order of a public official who is charged with protecting the public safety and who declares such structure to be unsafe and orders its restoration to a safe condition, provided that such restoration is not otherwise in violation of the various provisions of this Section prohibiting the repair or restoration of partially damaged or destroyed structures or signs.*

Therefore, the proposal will be processed as an expansion of a non-conforming use resulting from the need to comply with State safety regulations.

2. **Required Information.** All of the information required per Section 12.203 of the Zoning Ordinance has been provided at this time with the exception of fire lane delineation. The plan notes that signs will be posted on the building that the area is active for loading/unloading only. This was deemed acceptable by the Fire Department at preliminary discussions.
3. **Dimensional Requirements.** The required front, rear and side yard setbacks for the M-1 District are 50 feet, 40 feet, and 40 feet, respectively. The proposed building addition is located at a side yard setback of 7.89 feet and a rear yard setback of zero feet. The BZA approved the variance for the yard setbacks at its 4/13/21 meeting.



4. **Access and Circulation.**

- a. **Location of Curb Cuts.** The site currently has a 30' access drive that is shared with the site to the east. Copy of the shared driveway easement has been submitted. VBTS is the entity noted as "South Yost" in the shared driveway agreement. The driveway is currently in good condition and will be maintained by VBTS.
- b. **Cross Access.** Cross access exists with the property to the east. Cross access to the west is not applicable to this proposal.
- c. **Sidewalks.** There are no sidewalks along the site's frontage and none in the area. At this time the area is a heavy industrial use area with little to no pedestrian activity. Sidewalks are not being required at this time; however, the applicant must execute an agreement to construct a sidewalk along the site's frontage at a future date when such sidewalks are required as part of a larger redevelopment of the area. The site plan includes a note to this effect on Sheet 3 of the submittal.
- d. **Truck Circulation.** Specific truck circulation movements have been detailed on the site plan.

5. **Parking and Loading.** Parking requirements are as follows:

- a. **Space Dimensions.** The site plan includes an area for employee parking, which delineates 4 parking spaces which are now double stiped and provided with compliant dimensions.
- b. **Number of Parking Spaces.** Parking requirement for the subject site is "*Five (5), plus either one (1) per each 550 square feet gross floor area or one (1) per each employee at peak shift, whichever is greater.*" The applicant has stated the business typically employs two people. With 2,680 sq. ft. of existing gross floor area with a proposed addition of 5,400 sq. ft. of gross floor area, 15 parking spaces are required. The site plan is deficient by 11 parking spaces. Section 9.101 (J) grants the Planning Commission discretionary authority to modify the parking requirement subject to adequate justification and reasoning to be provided by the applicant. The applicant has provided a site-data parking requirements report in this submittal. The report shows no more than 3 employees are ever on the site. We find the shortfall of required parking adequate based on this report and recommend the Planning Commission approve the request for parking modification.
- c. **Loading.** The site plan details multiple loading docks on the site plan. For the proposed building size one 10 ft. x 50 ft. loading space is required, which is shown dimensioned in the rear yard.

6. **Landscaping and Screening.** A landscape plan has been submitted.

- a. **Landscaping Adjacent to Right-of-Way.** Section 10.103(A) requires lot frontage landscaping of 1 deciduous tree/40 lineal feet + 1 ornamental tree/100 lineal feet + 8 shrubs/40 lineal feet. The site has a frontage of 281' on Yost Road excluding the access drive, which requires a total of 7 deciduous trees + 3 ornamental trees + 56 shrubs. The landscape plan shows numerous existing deciduous trees along the Yost Road right-of way. The applicant's response letter dated 4/28/21 states that there are existing understory trees like sumac and dogwood which satisfy the requirement. A view of the aerial images indicates several trees and an existing evergreen hedge along the front greenbelt. The



applicant is proposing the existing hedge row along Yost Road in lieu of the required shrubs. Google imagery of the site confirms an opaque screen of hedges along the Yost Road right-of-way, satisfying the shrub requirement.

- b. **Parking Lot Landscaping.** Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public rights-of-way. It appears the area designated for parking is screened from the Yost Road right of way by a concrete block wall which provides screening for the parking lot from the Yost Road right-of-way.

Interior Parking Lot Landscaping. Section 10.103(B)(2) requires the provision of landscaping within islands in a parking lot. Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. Additionally, one (1) deciduous tree is required to be planted for each three hundred (300) square feet of interior landscaping. The applicant has provided a diagram to indicate the limited areas that were used to determine this amount. Although the site is 1.5 acres and is almost entirely consisted of paved areas, including parking and loading spaces, driveways, it is shared with the abutting business to the east. The plan includes a proposed 265 sq. ft. raised planting bed island with 3 shrubs when the minimum required size of interior landscape islands is 360 sq. ft., with a minimum of one tree. Per the applicant, a tree is less likely to survive given the use of the site and the extensive paved areas surrounding the island itself. The applicant is seeking a modification from the Planning Commission to allow for the substitution of the tree with the proposed shrubs.

- c. **Loading Area Landscaping.** The existing vegetation along the frontage and along the rear lot line abutting the railroad line is sufficient to screen the loading area per Section 10.103(C) of the Zoning Ordinance.

- d. **Greenbelt Buffering.** A ten (10) foot wide buffer, with one (1) tree per thirty (30) lineal feet is required to the north and west. A ten (10) foot wide buffer has been provided along the north lot line. The plan notes a 7.89-foot buffer along the west property line, since the existing building is located at this setback. This is an existing non-conformity that cannot be altered; therefore, it is acceptable provided the greenbelt area is well landscaped. The site has an existing concrete wall that continues with the west wall of the existing building and an aerial image shows a reasonably dense vegetative cover along the west property line which satisfies this requirement. A twenty (20) foot wide buffer, with one (1) tree per twenty (20) linear feet (minimum of 50% evergreen trees) is required along the south lot line, which abuts a railroad right-of-way. With a zero-foot proposed setback, there is no room for a greenbelt. The plan notes the presence of an existing concrete wall and fence line along the south property line. The Planning Commission has the discretion to accept the existing wall as satisfactory to meeting the Ordinance intent. A photograph of the existing greenbelt area has been provided on the landscape plan depicting the mature landscaping and solid hedge.
7. **Tree Removal Permit.** The plan does not propose the removal of any trees; therefore, this requirement is not applicable.
8. **Stormwater Pond.** The site plan does not include a detention pond. It appears that detention is to be provided using an underground detention system. The detention system is subject to review and approval by the Township Engineer and Wayne County.



9. **Lighting.** The applicant has submitted photographs of existing wall mounted light fixtures that provide adequate illumination to the site. No new fixtures are proposed at this time. From the images, it is unclear if the fixtures are shielded since the LED light is on in the images. The lighting fixtures are now proposed to be replaced to provide the required shielding. The proposed fixtures are noted on sheet 3.
10. **Architecture.** In lieu of traditional elevations, the applicant has provided manufacturer's cut sheet details for proposed metal building systems. It appears the addition is to be constructed of metal panels designed to match the existing structure; however, the applicant needs to identify which of the images included represents the actual addition proposed. A detailed color palette has been included, but it is unclear which of the colors shown are to be used on the subject site. It is important to include the existing building in the elevations to identify how the proposed addition will be integrated with the existing structure.
11. **Dumpster.** The site plan does not include any dumpster enclosure. Per the applicant *"Since the purpose of this site is to handle refuse, there is no separate dumpster proposed. The office will generate a small amount of typical office trash that will have a standard 40-gallon trash can. This trash will then be emptied as needed to the storage bins in the proposed building loading area."* This is acceptable.
12. **Signs.** The site plan notes an existing identification sign located on the entry gate. No new signs are proposed at this time.
13. **Other.** On the previous submittal, sheet S-1 of the site plan submittal showed two (2) 8.5'x 3.33' roll-out storage containers. The containers appeared to be located in the area of the proposed loading space and truck circulation path. The applicant has clarified the roll-off containers will be located within the new building structure. The drawing has been revised and does not show the storage outside of the building.

RECOMMENDATION

The applicant has been working with the Township for the past several months to address issues related to variances and site design elements. While there are a few items remaining to be addressed, these can be addressed as a condition of approval provided the Planning Commission is satisfied with the explanations provided at its meeting. Therefore, we recommend preliminary and final site plan approval of the site plan for the proposed Yost Waste Transfer Station addition to be located at 44145 Yost Road, subject to the following:

1. Planning Commission approval of modified parking requirement based on the justification and reasoning provided by the applicant.
2. Planning Commission approval of modifications to the landscape plan including acceptance of existing vegetation along Yost Road frontage, smaller landscape island size and substitution of a tree for 3 shrubs within the island.
3. Planning Commission approval of the existing concrete wall and fence line along the south property line to satisfy screening intent of the Ordinance.
4. Approval for proposed storm water detention system by the Township Engineer and Wayne County.
5. Clarification regarding proposed addition elevations, materials and colors and its integration into the existing structure, to be presented at the PC meeting.



Respectfully,
McKENNA

Vidya Krishnan
Principal Planner

Hunter Whitehill
Associate Planner

c: Matt Best, Van Buren Township Director of Public Services
Dan Power, Director of Planning and Economic Development
David Potter, FTCH, Township Engineers
David McNally, Van Buren Township Fire Chief

June 15, 2021
Fishbeck Project No. 201394
Township Project Number 20-026

Carol Thompson
Planning Commission Chairperson
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

44145 Yost Road Transfer Station Site Plan Preliminary and Final Site Plan Review

Dear Chairperson Thompson:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Preliminary Site Plan submitted to the Township April 26, 2021, submitted to the Township for Preliminary and Final Site Plan approval for the proposed Yost Road Transfer Station Site Plan located at 44145 Yost Road. The applicant has also submitted a response letter dated April 19, 2021, in response to the Staff Review Letter dated March 9, 2021.

This project entails construction of a 30-foot high, covered facility with two storage containers at the existing waste collection station. According to the applicant, the proposed 5,400 square foot covered structure will be constructed on top of the existing concrete pavement, so that the only earth disturbance will be for the structure foundations.

Our review comments are as follows:

General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. The applicant has indicated the only easement that exists onsite is a shared access easement noted on the plans (title sheet, Site Access notes).
2. Soil boring information, as it is gathered during construction, shall be presented to the on-site inspector. Modifications to the foundation must be made if unfavorable soil conditions are found during excavation.
3. It is understood the applicant has submitted and obtained an Michigan Department of Environment, Great Lakes, and Energy (EGLE) license for the Solid Waste Disposal Area Operating License, and that the applicant must also submit the engineering plans to EGLE for the building improvements.
4. The Issued for Construction plan set should not include the employee schedule or the applicant's response letters.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicates there are no public water mains adjacent to or within the area of development.

Proposed: The applicant's plan does not indicate a proposed water main or water main connection.

Sanitary Sewer

Existing: The Township's GIS records indicates there are no public sanitary sewer lines adjacent to or within the area of the development.

Proposed: The applicant's plan does not indicate a proposed sanitary sewer main or service connection.

Storm Sewer

Existing: The applicant's plan indicates existing catch basins within the site but do not indicate any underground facilities.

Proposed: The applicant's plan indicates runoff from the proposed structure will be collected via a roof drain and directed to the nearest catch basin in the loading dock near the southeast corner of the proposed building as indicated by a note on the plans. The applicant has also indicated there will be no increase in impervious surface due to the proposed improvements.

Soil Erosion and Sedimentation Control (SESC)

1. Regardless of the requirement for a SESC permit, SESC measures must still be included in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. The applicant has responded that a note requiring catch basin inlet filters has been added to the plans.

Recommendation

We are recommending the Planning Commission grant the Yost Road Transfer Station Preliminary and Final Site Plan approval, based on the engineering review of the proposed site, subject to the comments listed above and in accordance to the Township's Engineering Standards manual. The applicant will be required to address the comments in the Issued for Construction Plan Set prior to the Preconstruction meeting being scheduled. If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE
Senior Civil Engineer



Stephen C. Clayton, PE
Civil Engineer

By email

Copy: Matthew Best – Township
Dan Power – Township
Vidya Krishnan – McKenna
Dave Potter – Fishbeck

David C. McNally II
Fire Marshal
O: 734-699-8900 ext. 9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp. MI 48111



March 3, 2021

Department Building and Planning
46425 Tyler Road
Belleville, MI 48111

Van Buren Transfer Station
44145 Yost Rd.
Van Buren Township, MI

I have reviewed a set of plans dated 10/27/20. The plans call for an addition to an existing building located at 44145 Yost Rd. Van Buren Township Michigan 48111.

Project Overview:

The proposal is to build an addition of 5400 sqft. to the existing building that is currently 2680 sqft. The facility is a state licensed waste transfer station that is open to the public. It is further understood that this facility collects non-hazardous household and construction debris, which is then trucked off site and disposed of at a landfill. The closest fire hydrant to the facility is approximately 600 feet away, the building has no fire suppression system in place.

The required fire flow is not being met by a fire hydrant located more than 500 feet from the building.
NFPA 1 Table 18.4.5.2.1 and table 18.5.4.3

The AHJ shall be authorized to establish conditions on fire flow reductions approved in accordance with 18.4.3.1.1 including, but not limited to, fire sprinkler protection, **type of construction of the building**, occupancy, development density, building size and setbacks. **NFPA 1 18.4.3.1.2**

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

The plans are approved with the following exceptions:

1. The building is constructed with non-combustible materials.
2. The facility does not take in any type of waste that would be considered a fire or environmental hazard.

3/3/2021

There are no new Fire Department concerns with these amended plans.

If you have any questions about this plan review report, please feel free to contact me

Respectfully submitted,

Andrew Lenaghan
Van Buren Fire Department

LOCATION: 44145 YOST ROAD (PARCEL NUMBER 83-009-99-0004-001). THIS SITE IS LOCATED ON THE NORTH SIDE OF YOST ROAD, EAST OF SHELDON ROAD.

Director Power gave the presentation and displayed the site of Yost Road Waste Transfer. The site includes some covered building area and open storage area. The State of Michigan Department of Environment, Great Lakes and Energy (EGLE) as part of the issuance of a license, requires that some of the open storage area has to be covered by a roof. The proposed shelter is 5,400 square feet in area. The applicant is requesting two variances, 0.5 feet from the rear yard and 7.89 feet from the side yard. If the requested variances are approved by the BZA, the proposed structure will be considered by the Planning Commission as part of a formal site plan review.

Robert Wagner of Midwest Consulting spoke on behalf of the owner. The site is 1.5 acres and they are proposing to construct a 5,400 square foot roof structure, 3-sided wind breaker to shield the waste transfer area. The property has changed ownership in the past year, the waste transfer station has been operating since the 1970's. The variances are being requested to bring the existing structure into compliance with the State of Michigan.

Commissioners had the following questions and comments:

1. Is the railroad subject to notification? Yes, the railroad will be notified prior to the BZA meeting.
2. How long ago was the structure permitted but never built? The owner will find that information and bring back to Township staff.
3. When did the ownership of the property change? Approximately 2 years ago.
4. Does Township staff know the dimensions of the easement? Director Power will confirm the dimensions and provide the information to the Commission.

No comments from the audience.

Commissioners agreed they are supportive of the variance as long as the applicant meets all other recommendations required and feel it's in the best interest to bring the site into compliance with the state mandate.

Director Power asked Commissioners to email him any additional comments they would like to share with the BZA.

ITEM #2: 20-035 – 44605 HULL ROAD AND VICINITY IRRIGATION PONDS.

THE APPLICANT, KW LAND DEVELOPMENT, ON BEHALF OF OWNER, WILKIN FARM PROPERTIES, SEEKS TO CONSTRUCT TWO (2) FIVE ACRE IRRIGATION PONDS FOR AGRICULTURAL PURPOSES PURSUANT TO CHAPTER 42, ARTICLE IV OF THE VAN BUREN TOWNSHIP CODE OF ORDINANCES.

**CHARTER TOWNSHIP OF VAN BUREN
BOARD OF ZONING APPEALS
Tuesday April 13, 2021
DRAFT MINUTES**

Yeas (5): Herman, Haase, Atchinson, Martin, Grissett

Nays (0): None

Absent (2): Larocque, Sellers

Motion Carried

2. Case Number: 21-010 – Rob Wagner of Midwestern Consulting on behalf of owner South Yost, LLC

Location: 44145 Yost Road (tax parcel ID 83 009 99 0004 001), zoned M-1 – Light Industrial:

Request: Applicant Rob Wagner of Midwest Consulting on behalf of owner South Yost, LLC is requesting two (2) variances from the following section of the Charter Township of Van Buren Zoning Ordinance:

Side yard setback and rear yard setback requirements of Section 4.102 (Schedule of Regulations) of the Zoning Ordinance, which requires certain setbacks for buildings or structures in the M-1 Zoning District:

- **Required:** The side yard setback shall be a minimum of 40' and the rear yard setback shall be a minimum of 40'.
- **Proposed:** 7.89' side yard setback and 0' rear yard setback

Ms. Krishnan presented her letter dated April 05, 2021. She reiterated the subject site is a 1.5-acre parcel located in an M-1 Light Industrial District. South Yost, LLC is proposing additions to the existing facility which necessitates a variance from the side yard and rear yard setbacks.

The current Zoning Ordinance has a side yard setback of 40.00 feet. The existing and proposed set back is 7.89 feet, requesting a variance of 32.11 feet. The rear set back requirement is 40.00 feet. The existing setback is 59.32 feet, with a proposed set back of 0.00 feet, requesting a variance of 40.00 feet.

Ms. Krishnan's recommendation to approve the variance, based on the following 11 findings of fact.

1. Strict compliance with setbacks would prevent the owner from using the property for a permitted purpose and would render the conformity unnecessarily burdensome.
2. The requested variance would provide substantial justice to the applicant and is not averse to the interests of the other property owners.
3. The subject site is occupied by an existing legal nonconforming use.
4. The need for the State mandated outdoor storage area is not self-created.
5. The proposed variance is related to the valid exercise of police power.
6. Approving the variance is not likely to impair adequate supply of light and air to the adjacent properties
7. Approval of the variances is not likely to increase the hazard of fire.
8. Approval of the variances is not likely to diminish or impair established property values within the surrounding areas.
9. Approval of the variances is not likely to impair the public health, safety, comfort, morals, or welfare of the inhabitants of the Township.
10. Approval of the variances is not likely to alter the essential character of the neighborhood.

**CHARTER TOWNSHIP OF VAN BUREN
BOARD OF ZONING APPEALS
Tuesday April 13, 2021
DRAFT MINUTES**

11. Approval of the variance does not alter the use of the land

Director Power stated that because the scope of what is being proposed, is an addition on an industrially zoned site, it is required to go thru site plan review with the Planning Commission, if the variance is granted, as a practice the Planning Commissioners take an informal look at the request first. The comments from the March 24, 2021 PC Meeting, are on page 55 of the packet.

South Yost LLC Representatives: Rob Wagner, Civil Engineer, with Midwestern Consulting and Kevin Ramirez with South Yost LLC

Mr. Wagner reiterated what was mentioned in the McKenna report that this addition is being required by EGLE because of the change in ownership. The building is currently non-compliant, the proposal is to tie the structure into the existing structures foundation, and there really is no other place for the structure to go. It has been functioning since the 1970's. The site to the west is also located in the setback. The Planning Commission questioned if the railroad was subject to notification and Mr. Wagner stated they would be notified, and the easement in question is the right of way for the railroad.

BOARD DISCUSSION:

Commissioners stated the request seems very straightforward, there is no other place to go, and there isn't anything around the site besides industrial complexes and railroads. The applicant did not create the problem, it was mandated by the state.

Director Power clarified, that even though it was mandated by EGLE, they did give deference to the Township, and the State has allowed the Township to work with applicant to take it thru the local process, but to the extent that the requirement to build an addition is required to get their license.

Atchinson motioned, Herman seconded, to grant approval for the variance request to Midwest Consulting and South Yost, LLC, based on the McKenna Letter dated April 5, 2021, and subject to the permits and requirements of the Township.

ROLL CALL:

Yeas (5): Herman, Haase, Atchinson, Martin, Grissett

Nays (0): None

Absent (2): Larocque, Sellers

Motion Carried

Director Power reported that there are no applications on the agenda for the May BZA Meeting.

Herman motioned, Haase seconded to adjourn meeting 8:52pm

ROLL CALL:

Yeas (5): Herman, Haase, Atchinson, Martin, Grissett

Nays (0): None

Absent (2): Larocque, Sellers

**CHARTER TOWNSHIP OF VAN BUREN
BOARD OF ZONING APPEALS
Tuesday April 13, 2021
DRAFT MINUTES**

Motion Carried

Respectfully submitted,

Tammy Dohring, Recording Secretary



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY
LANSING



LIESL EICHLER CLARK
DIRECTOR

May 19, 2020

Mr. Kevin Ramirez, Facility Manager
VBTS, LLC
Van Buren Transfer Station
44141 Yost Road
Belleville, Michigan 48111

Dear Mr. Ramirez:

SUBJECT: Application for Solid Waste Disposal Area Operating License; Van Buren
Transfer Station; Waste Data System Number 395927; License
Number 9604

Staff of the Department of Environment, Great Lakes, and Energy (EGLE), Materials Management Division (MMD), has reviewed your application for a solid waste transfer facility, known as Van Buren Transfer Station located at 44141 Yost Road, Belleville, Van Buren Township, Wayne County, Michigan. This review was conducted under the provisions of Part 115, Solid Waste Management, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended.

Based upon our review of your application, your operating license is hereby granted. Enclosed is your license with operating stipulations.

Should you require further information, please contact Ms. Tracy Kecskemeti, Warren District Supervisor, MMD, at 586-753-3840; kecskemetit@michigan.gov; or EGLE, 27700 Donald Court, Warren, Michigan 48092.

Sincerely,

Rhonda S. Oyer, Manager
Solid Waste Section
Materials Management Division
517-897-1395

Enclosure

cc: Wayne County Department of Public Services
City of Belleville Clerk
Ms. Tracy Kecskemeti/Mr. Greg Morrow, EGLE-Warren
Facility File



Michigan Department of Environment, Great Lakes, and Energy
Materials Management Division

SOLID WASTE DISPOSAL AREA OPERATING LICENSE

Effective April 22, 2019, the Michigan Department of Environmental Quality, by Executive Order Number 2019-06, became the Michigan Department of Environment, Great Lakes, and Energy (EGLE). Effective April 22, 2019, the Waste Management and Radiological Protection Division became the Materials Management Division (MMD).

This license is issued under the provisions of Part 115, Solid Waste Management of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, MCL 324.11501 et seq., and authorizes the operation of this solid waste disposal area (Facility) in the state of Michigan. This license does not obviate the need to obtain other authorizations as may be required by state law.

FACILITY NAME: Van Buren Transfer Station

LICENSEE/OPERATOR: VBTS, LLC

FACILITY OWNER: South Yost, LLC

PROPERTY OWNER: South Yost, LLC

FACILITY TYPE(S): Solid Waste Transfer Facility

FACILITY ID NUMBER: 395927

COUNTY: Wayne

LICENSE NUMBER: 9604

ISSUE DATE: May 19, 2020

EXPIRATION DATE: May 19, 2025

FACILITY DESCRIPTION: The Van Buren Transfer Station, a Solid Waste Transfer Facility, consists of 1.69 acres located at 44145 Yost Road, Van Buren Township, Wayne County, Michigan, as identified in Attachment A and fully described in this license.

AREA AUTHORIZED FOR DISPOSAL OF SOLID WASTE: Area described in Attachment A and in the documents referenced in Item 5 of this license.

RESPONSIBLE PARTY: Mr. Kevin Ramirez, Facility Manager
VBTS, LLC
500 Woodward Avenue, Suite 2500
Detroit, Michigan 48226
734-748-6829

FIRST OPERATING LICENSE: This License Number 9604 is the first operating license issued for this Facility to this licensee.

This license is subject to revocation by the Director of the Michigan Department of Environment, Great Lakes, and Energy (Director) if the Director finds that this Facility is not being constructed or operated in accordance with the approved plans, the conditions of a permit or license, Part 115, or the rules promulgated under Part 115. Failure to comply with the terms and provisions of this license may result in legal action leading to civil and/or criminal penalties pursuant to Part 115. This license shall be available through the licensee during its term and remains the property of the Director.

THIS LICENSE IS NOT TRANSFERABLE.

Rhonda S. Oyer, Manager, Solid Waste Section
Materials Management Division

Licensee: VBTS, LLC
Facility Name: Van Buren Transfer Station
Operating License Number: 9604
Issue Date: May 19, 2020

The licensee shall comply with all terms of this license and the provisions of Part 115 and its administrative rules. This license includes the license application and any attachments to this license.

1. The licensee shall operate the Facility in a manner that will prevent violations of any state or federal law.
2. The attached map (Attachment A) shows the Facility, the area permitted for construction and/or placement and acceptance of waste, and the following, if applicable: monitoring points, leachate storage units, site roads, other disposal areas, and related appurtenances.
3. Issuance of this license is conditioned on the accuracy of the information submitted by the Operator/Applicant in the Application for License to Operate a Solid Waste Disposal Area (Application) received by EGLE on February 25, 2020, and any subsequent amendments. Any material or intentional inaccuracies found in that information is grounds for the revocation or modification of this license and may be grounds for enforcement action. The licensee shall inform EGLE's MMD Warren District Supervisor of any inaccuracies in the information in the Application upon discovery.
4. This license is issued based on EGLE's review of the Application, submitted by VBTS, LLC, for the Van Buren Transfer Station, dated February 25, 2020. The Application consists of the following:
 - a. Application Form EQP 5507.
 - b. Application fee in the amount of \$500.00.
 - c. Certification of construction by NA.
 - d. Financial Assurance.

Financial Assurance Required:

The amount of financial assurance required for this Facility was calculated based on the requirements of Section 11523(1)(c), is indicated on the form EQP 5507A entitled, "Form A Financial Assurance Required," and is \$4,000.00.

The Facility has provided financial assurance totaling \$4,000.00, based on the requirements of Section 11523 of Part 115. The financial assurance mechanism used by the Facility is summarized below.

The following financial assurance has been received from the licensee to meet the amount of financial assurance required:

Cash Bond	\$4,000.00
Total Amount Received:	\$4,000.00

5. This previously "grandfathered" facility did not have a construction permit, it was licensed initially pursuant to the repealed Garbage and Refuse Act, 1965 PA 87, as amended, with the issuance of Solid Waste Disposal Area License No. 3509 on May 12, 1975. The following documents are incorporated in this license by reference:
 - a. Engineering Plan titled, "American Waste Recycling & Cardboard Recovery System Co.," dated March 18, 1975.
 - b. Engineering Plan titled, "Roof Cover for Non-Hazardous Industrial Contaminated Soils & Conditioning Materials," dated August 19, 1991, last revision dated September 5, 1991, Sheet S-1.
 - c. Topographic Survey for American Waste Oil, Inc. dated December 4, 1991, Sheet 1.

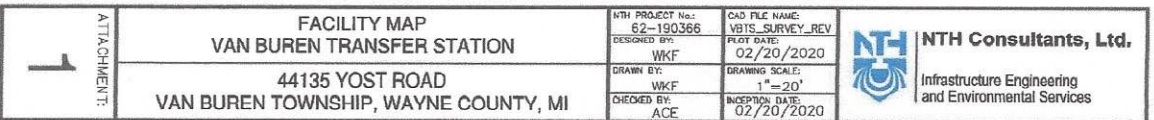
Licensee: VBTS, LLC
Facility Name: Van Buren Transfer Station
Operating License Number: 9604
Issue Date: May 19, 2020

6. The following additional documents, approved since the issuance of the construction permit(s) referenced in Item 5, are incorporated in this license by reference: N/A.
7. Consent Order/Judgment Number: N/A
8. The licensee shall conduct hydrogeological monitoring in accordance with the approved hydrogeological monitoring plan, dated N/A. The sampling analytical results shall be submitted to EGLE's MMD Warren District Office.
9. Modifications to approved engineering plans that constitute an upgrading, as defined in R 299.4106a(e), may be approved, in writing, by the EGLE's MMD Warren District Supervisor.

10. SPECIAL CONDITIONS:

- a. Within 60 days of the date of issuance of this license, the Licensee shall submit to EGLE for review and approval final engineering design plans for the building improvements depicted in Attachment A. The design shall allow for all solid waste unloading, handling, and loading to occur within the improved transfer station building, but shall not allow for an expansion of the waste transfer capacity of the Facility.
 - b. Within one year after EGLE approval of the engineering plans described in Item 10a. of this license, the Licensee shall complete construction of the approved transfer station building improvements and submit to EGLE as-built drawings and certification by a registered professional engineer that the Facility improvements were constructed in accordance with the approved engineering plans. An extension to the one-year timeline may be approved by EGLE if warranted due to circumstances beyond the control of the Licensee. The Licensee shall document such circumstances and provide them to EGLE if an extension is requested.
 - c. If EGLE or the licensee documents non-compliance with the Part 115 administrative rules related to restricted access or litter control along the eastern property boundary, or if the adjoining property/business to the east changes ownership or substantially alters their structures, appurtenances, or operations such that access can no longer be reliably controlled, then the licensee shall install adequate fencing along the eastern property boundary of the transfer station property within 120 days. In addition, upon request from the Department, licensee shall obtain and provide documentation from the owner/operator of the adjoining property to the east indicating that they find the open/unfenced shared property line and shared access gate(s) to be an acceptable arrangement.
11. **TERM:** This license shall remain in effect until its expiration date, unless revoked or continued in effect, as provided by the Administrative Procedures Act, 1969 PA 306, as amended, or unless superseded by the issuance of a subsequent license.

END OF LICENSE



44145 YOST ROAD BUILDING EXPANSION

VAN BUREN TOWNSHIP, WAYNE CO., MICHIGAN

PRELIMINARY AND FINAL SITE PLAN

OWNER/APPLICANT

VBTS LLC
44145 YOST ROAD
VAN BUREN TOWNSHIP, MI 48111
CONTACT: KEVIN RAMIREZ, FACILITY MANAGER
734-748-1456

ENGINEER/SURVEYOR

MIDWESTERN CONSULTING, LLC
3815 PLAZA DR.
ANN ARBOR, MI 48108
CONTACT: ROBERT WAGNER, PE
734-995-0200

ARCHITECT

NUCOR BUILDING SYSTEMS GROUP
305 INDUSTRIAL PKWY
WATERLOO, IN 46793
CONTACT: CHRISTOPHER MULLEN
260-837-7384

LEGAL DESCRIPTION

SEE SURVEY PLAN, SHEET 2

PROJECT NARRATIVE

Description of property use-

The subject parcel is utilized as a State licensed waste transfer station. The site is open to the public as a waste collection station where non-hazardous household and construction debris can be dropped off typically by smaller construction truck and trailer. The waste is collected and consolidated and then loaded into larger 80 cubic yard rolloff dumpster and then trucked offsite and disposed of properly at a landfill. The existing use of the site is a non-conforming use and as such this proposal is for an expansion of a non-conforming use resulting from the need to comply with State safety regulations.

Reason for Site Plan-

During the license renewal process the State of Michigan has required the temporary storage of waste be housed in a covered facility. The license renewal was issued conditional to this new structure be completed and it is that requirement that drives VBTS to pursue this site plan approval. The new building will house two - 80 CY storage containers. No changes to the business operation are proposed and it will continue to operate as it has for many years. There is an existing loading dock at the southwest corner of the site that will remain in place and be covered by the proposed structure.

No earth disturbance is proposed except what is needed to install new structure foundations.

Site Access-

The parcel has a shared driveway with the neighboring parcel to the east and the entry is located at the common property line. A shared driveway agreement for ingress/egress has been established and recorded.

Parking-

The business typically employs two people. Employee parking is provided in the northeast corner of the site with the office located nearby on the north property line. Four new parking spaces have been proposed at the northwest corner of the site. Customers/users of the facility are routed through traffic control signs and cones to a queue near the office to check in. They are then directed to the location to drop off their materials. Parking for Customers/users is not needed as they are not permitted to leave vehicles unattended.

Site Lighting-

Normal operating hours for the facility are Monday through Friday, 7am to 4pm. Building mounted led lighting has been installed for site lighting purposes.

Fire Safety-

The onsite buildings are steel construction so the risk of fire to the buildings themselves is low. There is an existing bin for sand storage should it be needed for any fire to storage material. Fire extinguishers are available onsite as well.

Other Site Information-

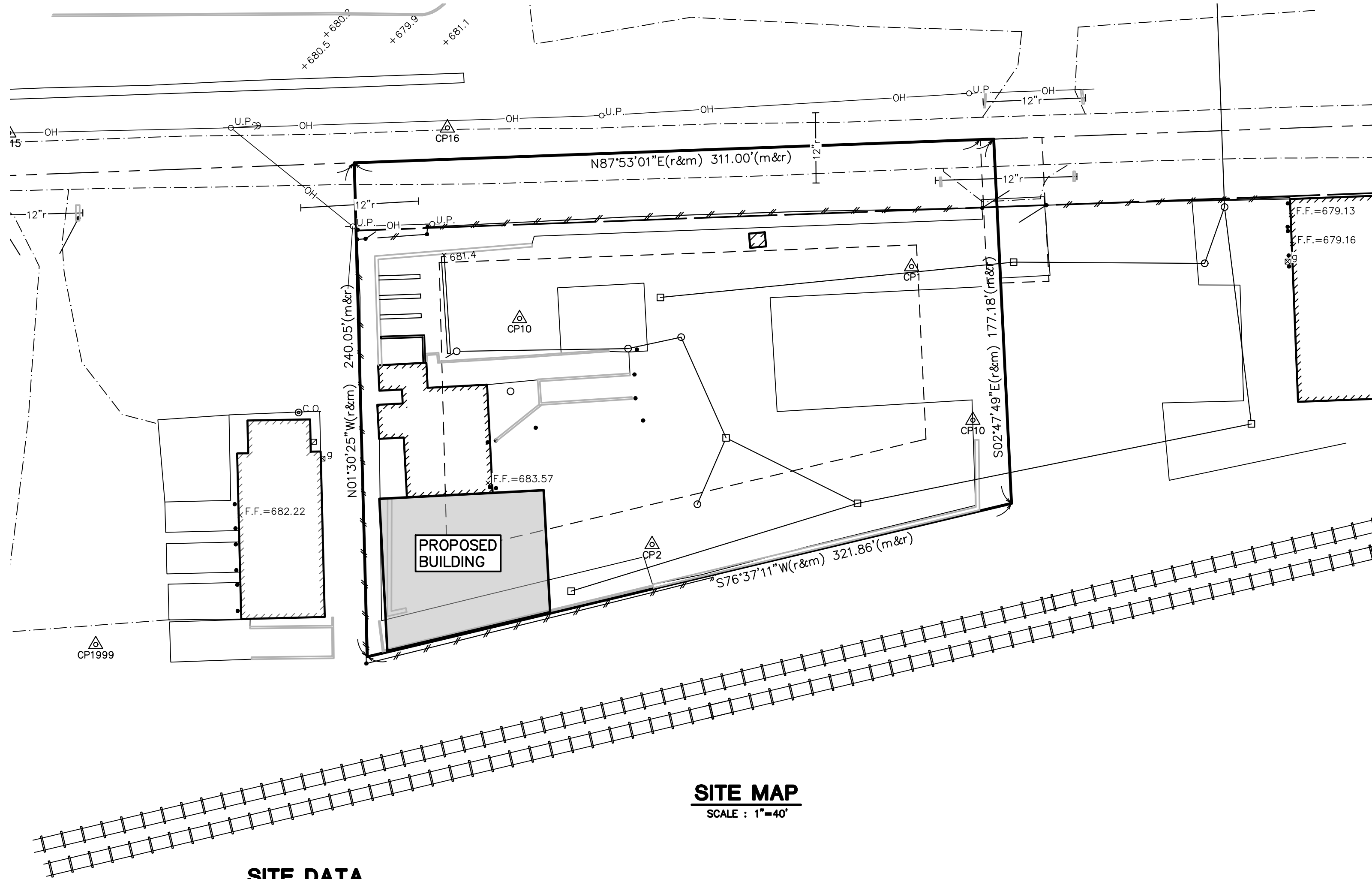
Two above ground fuel storage tank are located onsite. One for off road fuel to operate loaders for onsite use only. The second tank is for on road trucks used for transferring full bins to the landfill. The facility does not handle any hazardous materials.

The existing is predominantly impervious surfaces. There is no increase in impervious surface proposed under this site plan. The area of the proposed structure is currently concrete surface.

The site has a 40 gallon dumpster near the existing office area that is used for trash removal on the site.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

THE PROPERTY DESCRIBED HEREON LIES WITHIN "ZONE X", AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAP #26163C0215E, EFFECTIVE FEBRUARY 2, 2012.



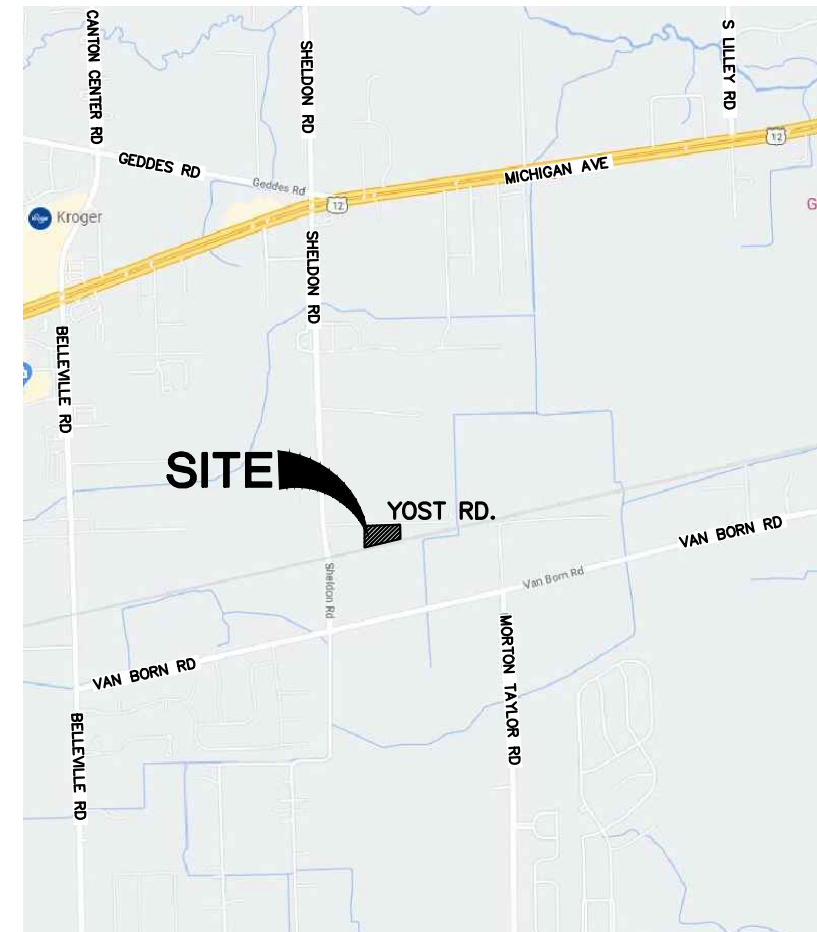
SITE MAP
SCALE : 1"=40'

SITE DATA

SITE ANALYSIS

ZONING:	M-1 Light Industrial Zoning Requirements
LOT AREA:	1.50 Acres
BUILDING AREA:	EXISTING- 2,680 SF PROPOSED- 5,400 SF
SETBACKS:	FRONT - 50 feet SIDE - 40 feet REAR - 40 feet <ul style="list-style-type: none">A VARIANCE IS BEING REQUESTED FOR BUILDING CONSTRUCTION IN THE SIDE AND REAR SETBACKS.
HEIGHT AND FLOOR SPACE AREA RESTRICTIONS:	MAX. BUILDING HEIGHT - 30 FEET MAX. BUILDING HEIGHT (STORIES) - 2.5
NO MINIMUM LOT AREA, FLOOR AREA, WIDTH, OR DEPTH RESTRICTIONS.	
PARKING REQUIREMENTS:	PER (E)(1) - "INDUSTRIAL ESTABLISHMENTS" OF SCHEDULE CONTAINED IN SECTION 9.102 OF THE CHARTER TOWNSHIP OF VAN BUREN ZONING ORDINANCE, EFFECTIVE JUNE 2, 2017: FIVE (5), PLUS EITHER ONE (1) PER EACH \$50 SQUARE FEET GROSS FLOOR AREA OR ONE (1) PER EACH EMPLOYEE AT PEAK SHIFT, WHICHEVER IS GREATER. THE PROPOSED BUILDING IS NOT A TYPICAL INDUSTRIAL USE. ONLY ONE EMPLOYEE ONSITE IS TYPICAL WITH TWO BEING THE MAXIMUM AT A TIME. SPACE FOR 4 EMPLOYEE PARKING SPACES ARE INDICATED ON SHEET 3.

PERMITS REQUIRED:	PERMIT #	DATE
VAN BUREN TOWNSHIP BUILDING DEPARTMENT	PENDING	PENDING
VAN BUREN TOWNSHIP SOIL EROSION CONTROL	PENDING	PENDING
STATE OF MICHIGAN OPERATING LICENSE	395927-9604	5/19/20



VICINITY MAP
SCALE : 1"=2000'

Sheet List Table

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING SITE CONDITIONS AND SURVEY PLAN
3	PROPOSED SITE PLAN
4	PROPOSED LANDSCAPE PLAN

VAN BUREN TRANSFER STATION

JOB No. 18274	DATE: 10/27/20	1
REVISIONS:	SHEET 1 OF 4	
PER TOWNSHIP REVIEW	REV. DATE: 02/15/21	
PER TOWNSHIP REVIEW	CADD: 04/26/21	
	ENG: JCA	
	PM: RCW	
	TECH: /18274CV1	



MIDWESTERN
CONSULTING

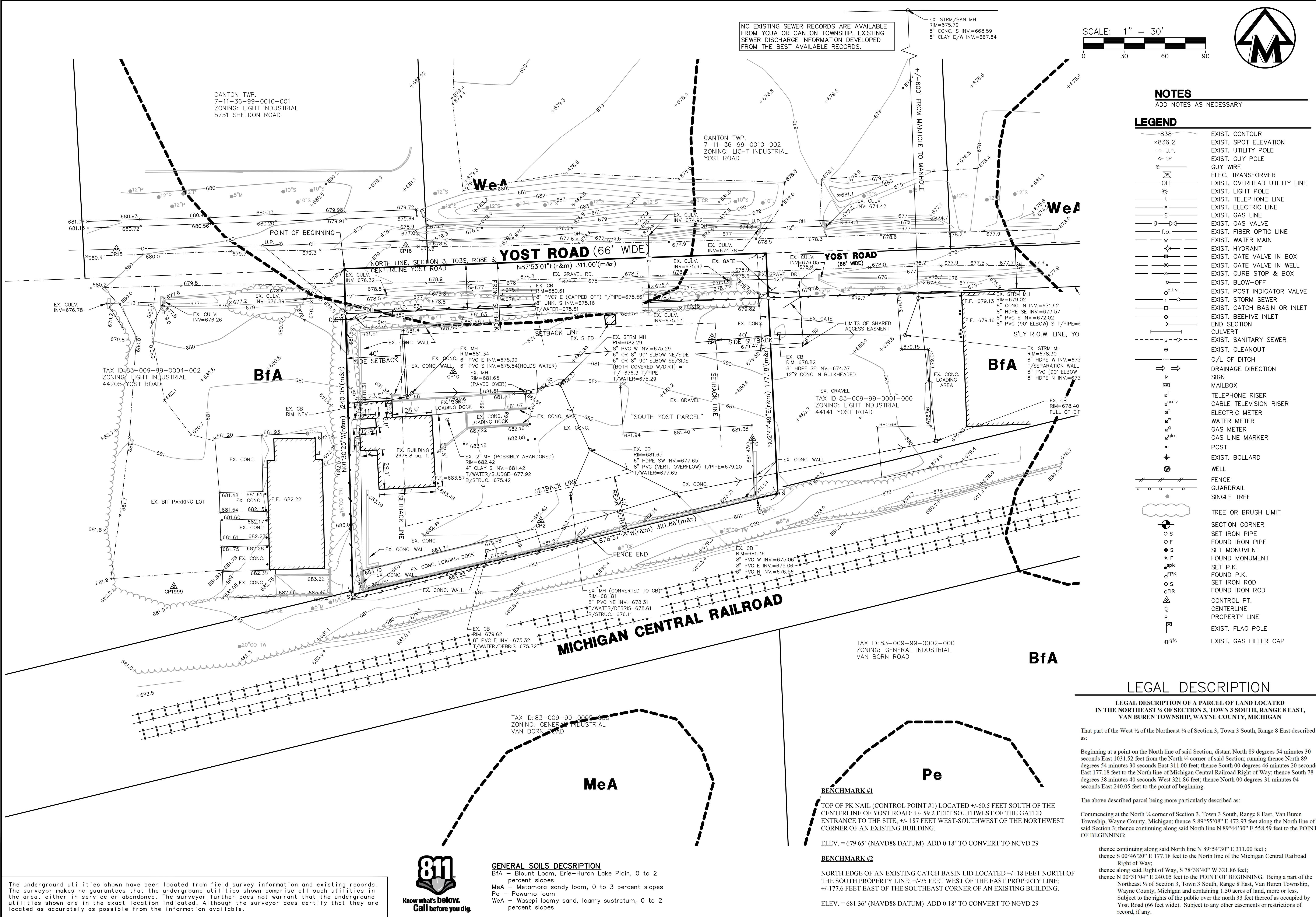
3815 Plaza Drive Ann Arbor, Michigan 48108
(734) 995-0200 • www.midwesternconsulting.com
Land Development • Land Survey • Institutional • Municipal
Wireless Communications • Transportation • Landfill Services

RELEASED FOR:

DATE

P.E. #

Mc:\civil\3d_Plan\18274\Site Plan\18274E1.dwg, 5/21/2021 2:49 PM, Jim Ahern, EX1, MLLC PDF, .pc3
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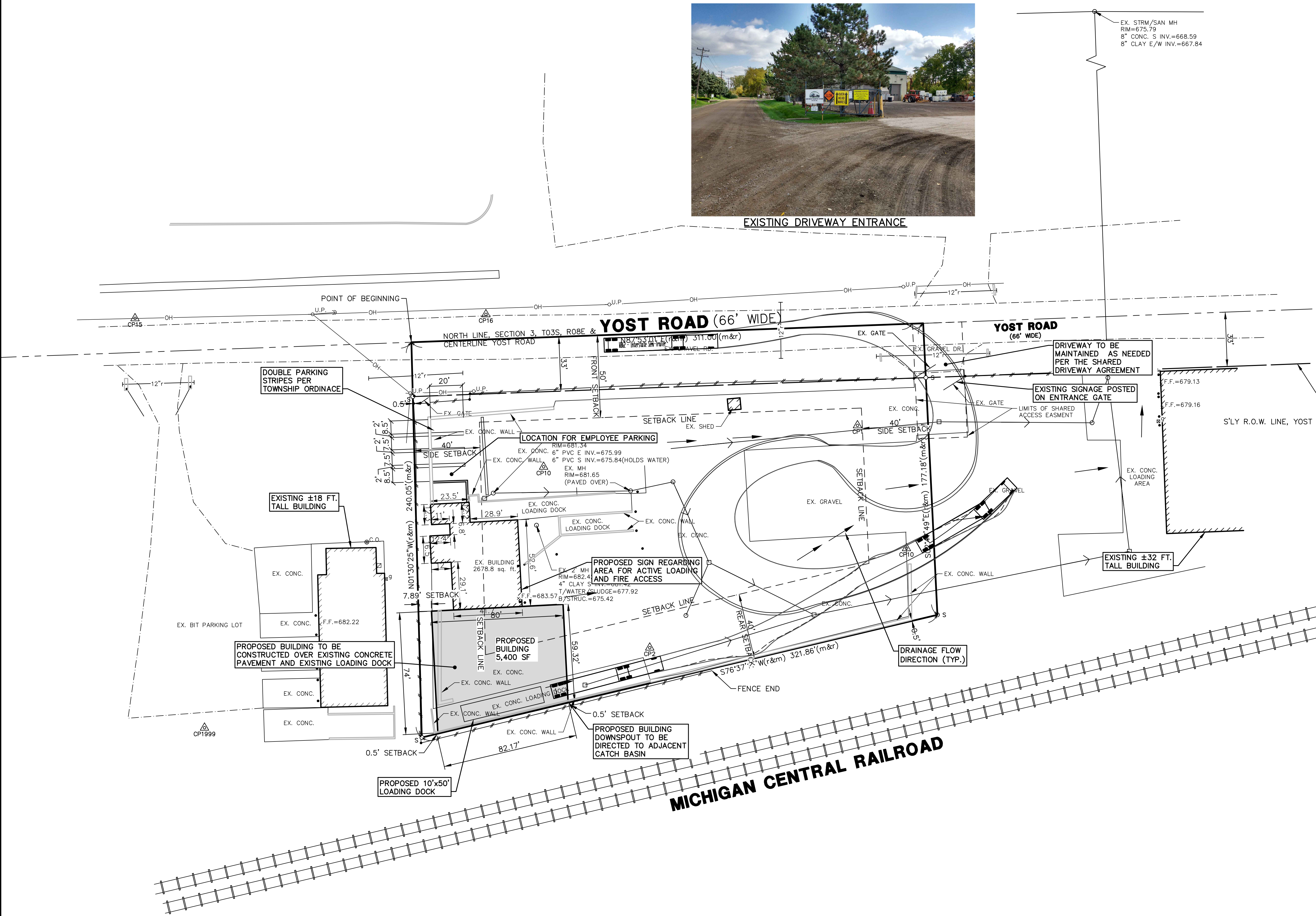
CLIENT
VBS LLC
44145 YOST ROAD
VAN BUREN TOWNSHIP, MI 48111
KEVIN RAMIREZ
734-748-1456

VAN BUREN TRANSFER STATION
VAN BUREN TRANSFER STATION BUILDING ADDITION
EXISTING SITE CONDITIONS AND SURVEY PLAN

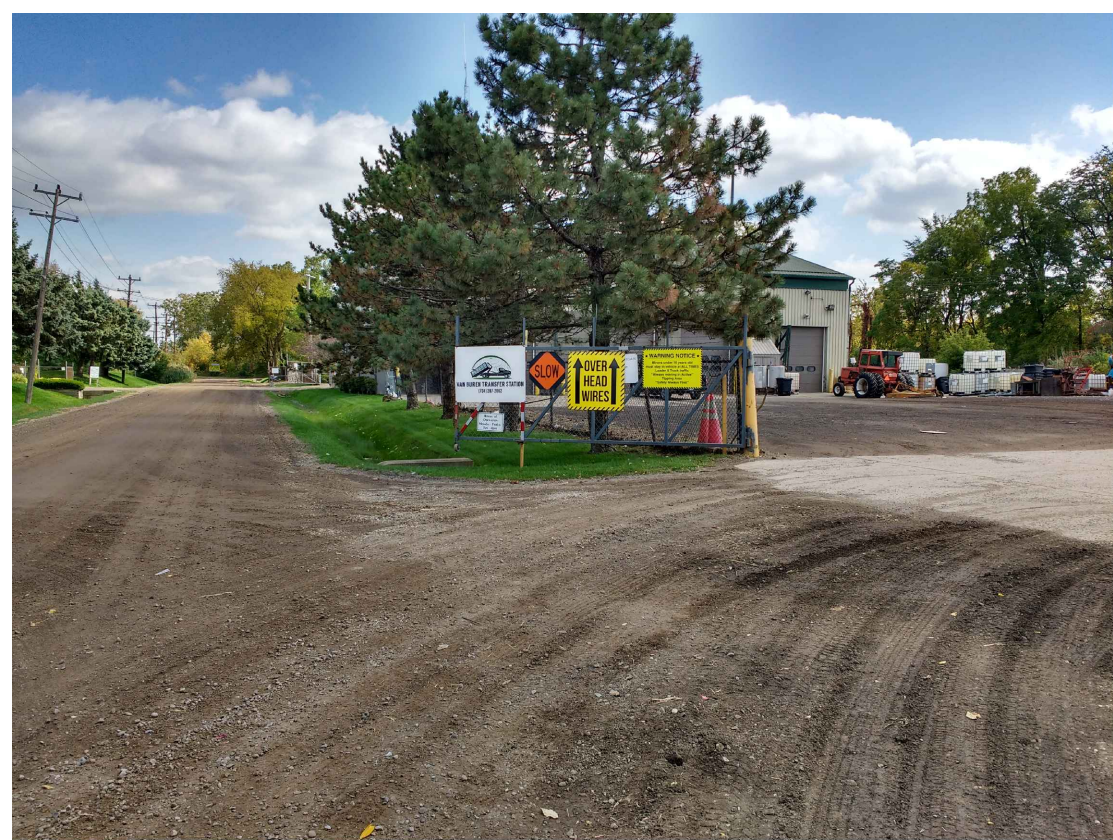
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18274

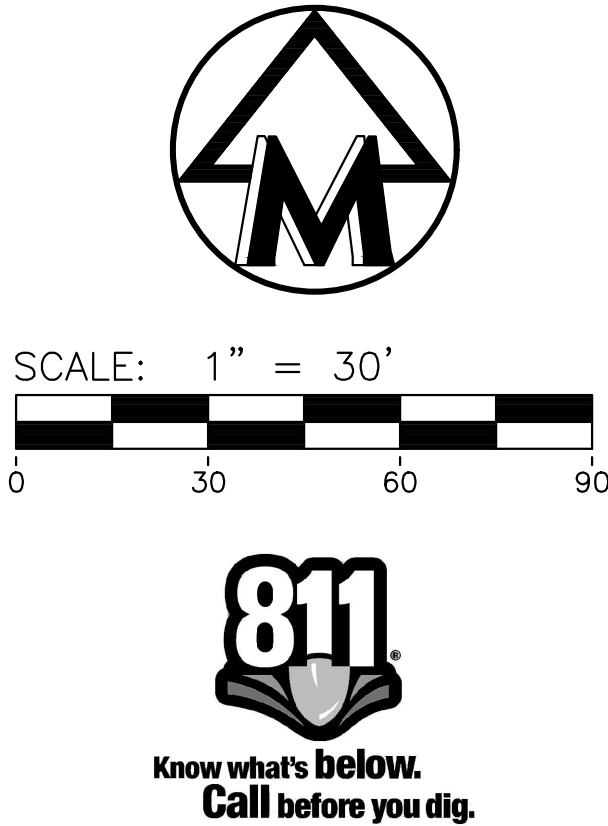
JOB No.	DATE: 10/27/20	SHEET 2 OF 4
REV. DATE	REV. DATE	REV. DATE
PER TOWNSHIP REVIEW	02/15/21	CADD: JCA
PER TOWNSHIP REVIEW	04/26/21	ENG: JCA
PER TOWNSHIP REVIEW		FIN: RCW
PER TOWNSHIP REVIEW		TECH: JCA
PER TOWNSHIP REVIEW		7/18/21



The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.



EXISTING DRIVEWAY ENTRANCE



- NOTES**
1. THE PROPOSED BUILDING TO BE CONSTRUCTED IS THE ONLY SITE IMPROVEMENT. NO OTHER SITE MODIFICATIONS ARE PROPOSED.
 2. THE PROPOSED BUILDING ADDITION FALLS WITHIN THE REQUIRED SIDE YARD AND REAR YARD SETBACK. THIS WILL REQUIRE VARIANCES FROM THE BOARD OF ZONING APPEALS.
 3. THE APPLICANT MUST EXECUTE AN AGREEMENT TO CONSTRUCT A SIDEWALK ALONG THE SITE'S FRONTAGE AT A FUTURE DATE WHEN SUCH SIDEWALKS ARE REQUIRED AS PART OF A LARGER REDEVELOPMENT OF THE AREA.
 4. INLET FILTERS TO BE PLACED IN CATCH BASINS FOR SOIL EROSION CONTROL.
 5. THE SITE IS CURRENTLY NOT SERVED BY SANITARY SEWER OR WATER MAIN. NO IMPROVEMENTS ARE PROPOSED TO EXTEND PUBLIC WATER OR SEWER. EXISTING PRIVATE STORM SEWER EXISTS ON THE SITE THAT PROVIDES ADEQUATE DRAINAGE TO THE SITE. NO STORM DRAINAGE IMPROVEMENTS ARE PROPOSED AS PART OF THIS PROJECT.
 6. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP.
 7. THERE ARE NO KNOWN DRAINAGE PROBLEMS REGARDING ADJACENT PROPERTIES. THE APPLICANT WILL RESOLVE ANY DRAINAGE PROBLEMS PRESENTED ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE APPLICANT'S ACTIONS.

PROPOSED LIGHT FIXTURES
TO REPLACE EXISTING FIXTURES IN SAME LOCATIONS

HYPERLITE LED Pole Light with Dusk to Dawn Photocell 200W 27,000Lm (135lm/w) 5000K UL DLC Certified IP65 Shoebox Light for Street Area Pole Lighting Trunnion Mount Single Installation
Visit our HYPERLITE Store
★★★★★ - 42 ratings - 15 answered questions
Price: \$169.99

200.0 Watts
5000K

Color	Transition Mount
Brand	HYPERLITE
Material	Aluminum
Style	Modern
Shade Material	Aluminum

- Bright LED Area Light & Energy Saving—This 200W led parking lot lighting with photocell sensor use high-efficiency chips to provide 135lm/w of bright area pole lighting to make your parking lot, driveway, sport court, backyard and other places as bright as daylight, saving hundreds of dollars every year. Type3 distribution provides wider illumination coverage. Equipped with black shorting cap for daily use, and use blue photocell to achieve automatic lighting from dusk to dawn .
- Time-saving and Easy Single Installation – This 200W led parking lot pole light is equipped with a trunnion U-bracket and is separated from the light, which can be easily installed by a single person. Just need two steps, first fix the U bracket on the wall, tighten the screws, then install the parking lot lighting.
- Heavy Duty & Sturdy Shell – 200W Led shoebox pole light is designed with curved lines for a more harmonious and beautiful look. The use of aluminum material provides strong protection and durability for the heat while ensuring heat dissipation. The radiator adopts a hollow design to increase the heat dissipation surface, accelerate the air flow, take away more heat, protect the chip, and provide you with 50,000+ hours of long-lasting lighting service.
- UL/DLC Certification & Easy to Get Rebate—Led shoebox pole lighting is all UL/DLC certified, making it easy to get rebate from state energy companies. Simply purchase this parking lot led pole light and get the corresponding DLC model to apply for rebate. IP65 protection level and the driver built-in 120kv lightning protection device, fully suitable for outdoor places such as squares, parking lots, driveways, sports fields.
- Reliable 5-year Warranty & Professional Service - HYPERLITE promises that all led parking lot lights are returned free of charge within 30 days, and provides 5 years reliable warranty. Hyperlite insists on putting products and customers first! If you have any questions about lamp selection, lighting layout, after-sales, etc. For example, DIALux lighting layout service, just click "contact us" to send a message to us, we will make the lighting layout for you according to your requirements.

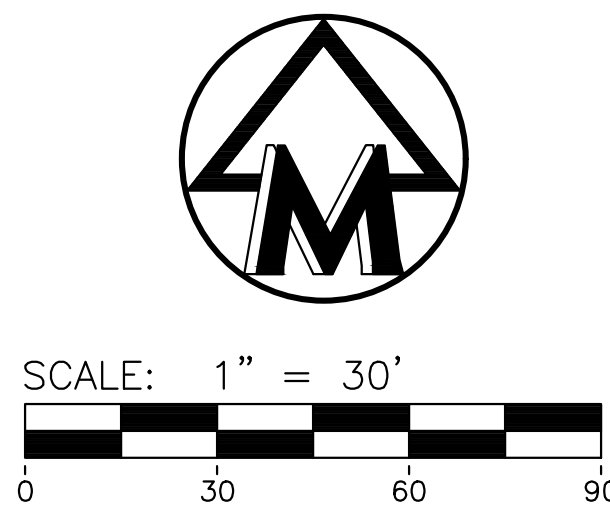
MIDWESTERN CONSULTING
3845 Plaza Drive Ann Arbor, Michigan 48108
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VAN BUREN TRANSFER STATION
44145 YOST ROAD
VAN BUREN TOWNSHIP, MI 48111
KEVIN RAMIREZ
734-748-1456

18274

JOB No.	18274
REV. DATE	02/15/21
PER TOWNSHIP REVIEW	ENG. JCA
PER TOWNSHIP REVIEW	FIN. RCW
TECH.	7/18/21SP1

3

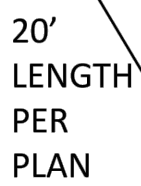


NOTES

1. EXISTING TREES IDENTIFIED ON SITE TO BE USED TOWARD LANDSCAPE REQUIREMENTS:
 - 6" LOCUST
 - 6" LOCUST
 - 7" LOCUST
 - 7" LOCUST
 - 6" CEDAR
 - 5" ELM
 - 8" LOCUST
2. EXISTING UNDERSTORY TREES TO BE USED TO SATISFY ORNAMENTAL TREE REQUIREMENT (NOT LOCATED):
 - CORNUS SPP.
 - SUMAC
3. EXISTING VEGETATION WITHIN HEDGE R.O.W. TO BE USED TO SATISFY SHRUB REQUIREMENT (NOT LOCATED):
 - CHOKE CHERRY
 - CORNUS SPP.
 - VIBURNUM

PLANT LIST					
3 RF	Rhamnus frangula	Fine Line Buckthorn	3-4' hgt	B&B	

ROW	Required	Proposed
Yost Road frontage = 281'	1 Deciduous tree per 40 lf = 7 trees 1 Ornamental tree per 100 lf = 3 trees 8 shrubs per 40 lf = 56 shrubs	7 Existing trees identified on site 3+ existing ornamental trees Existing hedge row in lieu of proposed shrubs See landscape plan for locations
PARKING LOT	Landscaping, berm or masonry wall or combination of within 10' of parking lot pavement adjacent to sidewalks, ROW or streets.	Combination of existing dense vegetation and 7' tall existing concrete block wall See photograph this sheet
INTERIOR PARKING LOT		
	Landscaped islands equal to 5% of area of paved parking, loading, driveways and aisles = 260 sf 1 tree per 300sf of area = 1 tree	265 sf provided in raised planting bed with 3 Fine Line Buckthorn which requires a landscape modification from 360 sf min. size island to 265 sf and 3 upright tree like shrubs in lieu of 1 tree due to existing surface conditions and configuration of parking area.
LOADING AREA		
	All loading areas (including, but not limited to, truck docks, overhead doors, or trailer staging areas) not screened by an intervening building shall be screened from a perpendicular view from any public street rights-of-way or adjacent residential zoning district for the entire length except for necessary access.	Existing vegetation along the property frontage is thick enough to screen the loading areas from perpendicular views along Yost Road.
GREENBELT BUFFER		
	A ten (10) foot wide buffer, with one (1) tree per thirty (30) lineal feet is required to the north and west. A twenty (20) foot wide buffer, with one (1) tree per twenty (20) lineal feet (minimum of 50% evergreen trees) is required along the south lot line. A six (6) foot high masonry wall or opaque fence may be installed in lieu of the required trees.	North - 10' buffer and existing vegetative buffer West - 7.89' buffer, existing 7' concrete block wall and existing vegetative buffer. Modification required for 7.89' which is less than the 20' required buffer due to location of existing building, and use of existing vegetation. South - Existing 7' concrete block wall
TREE REMOVAL		No tree removal proposed



NOTE:
PLANTER SHALL BE LINED WITH GEO-TEXTILE FABRIC
AND FILLED TO 3" BELOW TOP WITH PLANTING MIX.
AFTER PLANTING PROVIDE 3" OF SHREDDED CEDAR
MULCH COVERING. WATER PLANTS REGULARLY.

RAISED PLANTING BED

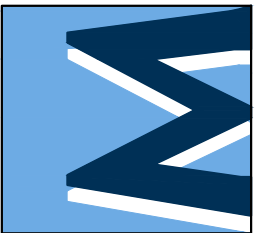
NOT TO SCALE



Mc:\civil\3d_Proj\1827A\Site Plan\1827A\PL.dwg, 5/21/2021 2:40 PM, Jim Ahnert, 4 PROPOSED LANDSCAPE PLAN, MCLLC.PDF.pc3

M I D W E S T E R N
C O N S U L T I N G

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CLIENT
VBTS LLC
44145 YOST ROAD
VAN BUREN TOWNSHIP, MI 48111
KEVIN RAMIREZ
734-748-1456

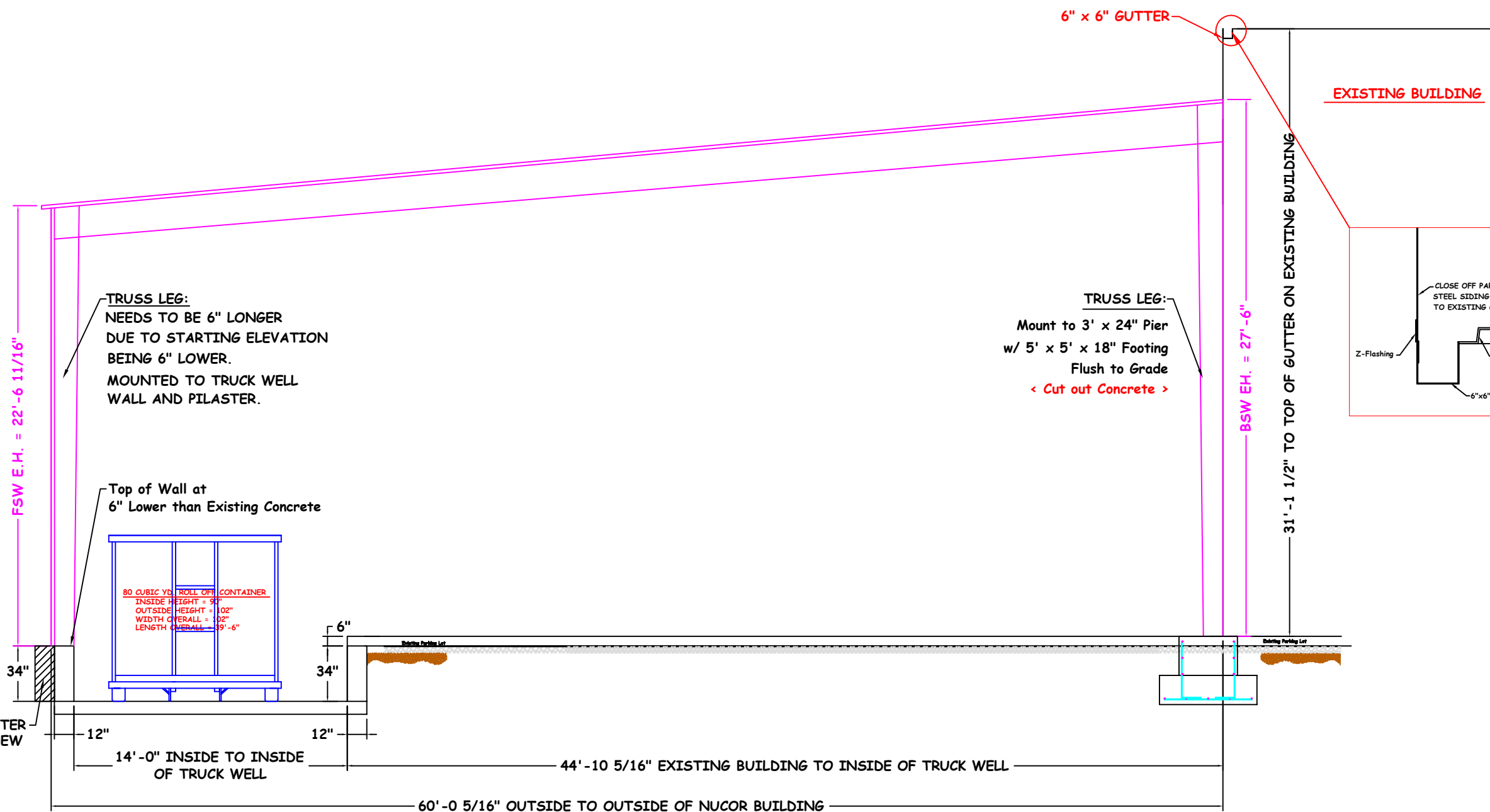
VAN BUREN TRANSFER STATION

VAN BUREN TRANSFER STATION BUILDING ADDITION
PROPOSED LANDSCAPE PLAN

4


JOB No. **18274**
 REVISIONS:
 PER TOWNSHIP REVIEW
 PER TOWNSHIP REVIEW

	REV.	DATE	SHEET	OF	DATE:
CADD: JBB	02/15/21		4	OF	10/15/20
ENG: RLA, KEB	04/26/21				
PM: ROW					
TECH:					
/18274LP1					



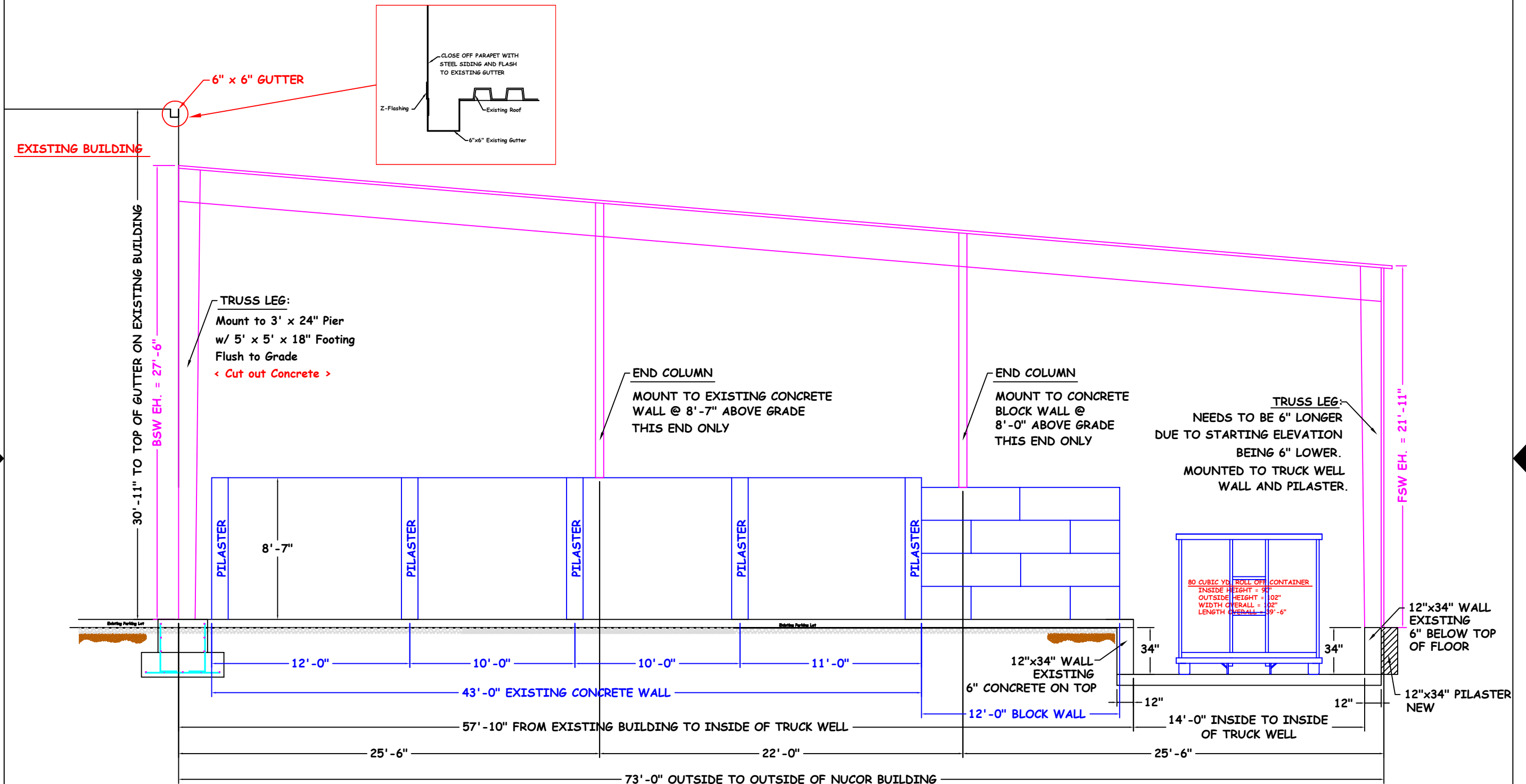
EAST END WALL

	A	RELEASE FOR QUOTE	5/4/20	Knight
ZONE	REV	DESCRIPTION	DATE	APPROVED




Clear Heights Construction LLC
800-787-1862
3375 92nd St S.W.
Byron Center, MI 49315

TITLE		Phase # 1 Nucor Building	
PROJECT		VBTS, LLC	
SIZE	FSCM NO.	DWG NO.	REV
B		19-T-0063	A
VIEW	EAST End Wall Profile		SHEET S-2



ZONE	REV	A	RELEASE FOR QUOTE	5/4/20	Knight
			DESCRIPTION	DATE	APPROVED

 Clear Heights Construction LLC 800-787-1862 3375 92nd St S.W. Byron Center, MI 49315		TITLE Phase # 1 Nucor Building PROJECT VBTS, LLC	
SIZE	B	FSCM NO.	DWG NO.
VIEW	WEST End Wall Profile	SHEET	19-T-0063
REV	A		S-3

Day of Week	Date	Employee 1	Employee 2	Owner	Total On Site
Thursday	10/1/2020	On Site	On Site	On Site	3
Friday	10/2/2020	On Site	On Site		2
Saturday	10/3/2020	Closed	Closed	Closed	0
Sunday	10/4/2020	Closed	Closed	Closed	0
Monday	10/5/2020	On Site	On Site	On Site	3
Tuesday	10/6/2020	On Site	On Site		2
Wednesday	10/7/2020	On Site	On Site	On Site	3
Thursday	10/8/2020	On Site	On Site		2
Friday	10/9/2020	On Site	On Site	On Site	3
Saturday	10/10/2020	Closed	Closed	Closed	0
Sunday	10/11/2020	Closed	Closed	Closed	0
Monday	10/12/2020	On Site	On Site	On Site	3
Tuesday	10/13/2020	On Site	On Site		2
Wednesday	10/14/2020	On Site	On Site	On Site	3
Thursday	10/15/2020	On Site	On Site	On Site	3
Friday	10/16/2020	On Site	On Site		2
Saturday	10/17/2020	Closed	Closed	Closed	0
Sunday	10/18/2020	Closed	Closed	Closed	0
Monday	10/19/2020	On Site	On Site	On Site	3
Tuesday	10/20/2020	On Site	On Site		2
Wednesday	10/21/2020	On Site	On Site	On Site	3
Thursday	10/22/2020	On Site	On Site	On Site	3
Friday	10/23/2020	On Site	On Site		2
Saturday	10/24/2020	Closed	Closed	Closed	0
Sunday	10/25/2020	Closed	Closed	Closed	0
Monday	10/26/2020	On Site	On Site	On Site	3
Tuesday	10/27/2020	On Site	On Site		2
Wednesday	10/28/2020	On Site	On Site	On Site	3
Thursday	10/29/2020	On Site	On Site	On Site	3
Friday	10/30/2020	On Site	On Site		2
Saturday	10/31/2020	Closed	Closed	Closed	0
Sunday	11/1/2020	Closed	Closed	Closed	0
Monday	11/2/2020	On Site	On Site	On Site	3
Tuesday	11/3/2020	On Site	On Site	On Site	3
Wednesday	11/4/2020	On Site	On Site		2
Thursday	11/5/2020	On Site	On Site	On Site	3
Friday	11/6/2020	On Site	On Site		2
Saturday	11/7/2020	Closed	Closed	Closed	0
Sunday	11/8/2020	Closed	Closed	Closed	0
Monday	11/9/2020	On Site	On Site	On Site	3
Tuesday	11/10/2020	On Site	On Site		2
Wednesday	11/11/2020	On Site	On Site	On Site	3
Thursday	11/12/2020	On Site	On Site	On Site	3
Friday	11/13/2020	On Site	On Site		2
Saturday	11/14/2020	Closed	Closed	Closed	0

Sunday	11/15/2020	Closed	Closed	Closed	0
Monday	11/16/2020	On Site	On Site		2
Tuesday	11/17/2020	On Site	On Site		2
Wednesday	11/18/2020	On Site	On Site	On Site	3
Thursday	11/19/2020	On Site	On Site		2
Friday	11/20/2020	On Site	On Site		2
Saturday	11/21/2020	Closed	Closed	Closed	0
Sunday	11/22/2020	Closed	Closed	Closed	0
Monday	11/23/2020	On Site	On Site	On Site	3
Tuesday	11/24/2020	On Site	On Site	On Site	3
Wednesday	11/25/2020	On Site	On Site		2
Thursday	11/26/2020	Closed	Closed	Closed	0
Friday	11/27/2020	On Site	On Site		2
Saturday	11/28/2020	Closed	Closed	Closed	0
Sunday	11/29/2020	Closed	Closed	Closed	0
Monday	11/30/2020	On Site	On Site		2
Tuesday	12/1/2020	On Site	On Site	On Site	3
Wednesday	12/2/2020	On Site	On Site		2
Thursday	12/3/2020	On Site	On Site	On Site	3
Friday	12/4/2020	On Site	On Site		2
Saturday	12/5/2020	Closed	Closed	Closed	0
Sunday	12/6/2020	Closed	Closed	Closed	0
Monday	12/7/2020	On Site	On Site	On Site	3
Tuesday	12/8/2020	On Site	On Site	On Site	3
Wednesday	12/9/2020	On Site	On Site	On Site	3
Thursday	12/10/2020	On Site	On Site		2
Friday	12/11/2020	On Site	On Site		2
Saturday	12/12/2020	Closed	Closed	Closed	0
Sunday	12/13/2020	Closed	Closed	Closed	0
Monday	12/14/2020	On Site	On Site	On Site	3
Tuesday	12/15/2020	On Site	On Site		2
Wednesday	12/16/2020	On Site	On Site	On Site	3
Thursday	12/17/2020	On Site	On Site		2
Friday	12/18/2020	On Site	On Site		2
Saturday	12/19/2020	Closed	Closed	Closed	0
Sunday	12/20/2020	Closed	Closed	Closed	0
Monday	12/21/2020	PTO	On Site	On Site	2
Tuesday	12/22/2020	PTO	On Site	On Site	2
Wednesday	12/23/2020	PTO	On Site	On Site	2
Thursday	12/24/2020	Closed	Closed	Closed	0
Friday	12/25/2020	Closed	Closed	Closed	0
Saturday	12/26/2020	Closed	Closed	Closed	0
Sunday	12/27/2020	Closed	Closed	Closed	0
Monday	12/28/2020	On Site	PTO	On Site	2
Tuesday	12/29/2020	On Site	PTO	On Site	2
Wednesday	12/30/2020	On Site	PTO	On Site	2
Thursday	12/31/2020	On Site	PTO	On Site	2

Friday	1/1/2021	On Site	PTO	On Site	2
Saturday	1/2/2021	Closed	Closed	Closed	0
Sunday	1/3/2021	Closed	Closed	Closed	0
Monday	1/4/2021	On Site	On Site		2
Tuesday	1/5/2021	On Site	On Site		2
Wednesday	1/6/2021	On Site	On Site		2
Thursday	1/7/2021	On Site	On Site		2
Friday	1/8/2021	On Site	On Site	On Site	3
Saturday	1/9/2021	Closed	Closed	Closed	0
Sunday	1/10/2021	Closed	Closed	Closed	0
Monday	1/11/2021	On Site	On Site	On Site	3
Tuesday	1/12/2021	On Site	On Site		2
Wednesday	1/13/2021	On Site	On Site		2
Thursday	1/14/2021	On Site	On Site	On Site	3
Friday	1/15/2021	On Site	On Site		2
Saturday	1/16/2021	Closed	Closed	Closed	0
Sunday	1/17/2021	Closed	Closed	Closed	0
Monday	1/18/2021	On Site	On Site	On Site	3
Tuesday	1/19/2021	On Site	On Site		2
Wednesday	1/20/2021	On Site	On Site		2
Thursday	1/21/2021	On Site	On Site		2
Friday	1/22/2021	On Site	On Site	On Site	3
Saturday	1/23/2021	Closed	Closed	Closed	0
Sunday	1/24/2021	Closed	Closed	Closed	0
Monday	1/25/2021	On Site	On Site	On Site	3
Tuesday	1/26/2021	On Site	On Site		2
Wednesday	1/27/2021	On Site	On Site	On Site	3
Thursday	1/28/2021	On Site	On Site		2
Friday	1/29/2021	On Site	On Site	On Site	3
Saturday	1/30/2021	Closed	Closed	Closed	0
Sunday	1/31/2021	Closed	Closed	Closed	0
Monday	2/1/2021	On Site	On Site	On Site	3
Tuesday	2/2/2021	On Site	On Site		2
Wednesday	2/3/2021	On Site	On Site		2
Thursday	2/4/2021	PTO	On Site	On Site	2
Friday	2/5/2021	PTO	On Site	On Site	2
Saturday	2/6/2021	Closed	Closed	Closed	0
Sunday	2/7/2021	Closed	Closed	Closed	0
Monday	2/8/2021	On Site	On Site	On Site	3
Tuesday	2/9/2021	On Site	On Site		2
Wednesday	2/10/2021	On Site	On Site	On Site	3
Thursday	2/11/2021	On Site	On Site		2
Friday	2/12/2021	On Site	On Site		2
Saturday	2/13/2021	Closed	Closed	Closed	0
Sunday	2/14/2021	Closed	Closed	Closed	0
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Tuesday	2/16/2021	On Site	PTO	On Site	2

Wednesday	2/17/2021	On Site	PTO	On Site	2
Thursday	2/18/2021	On Site	PTO	On Site	2
Friday	2/19/2021	On Site	PTO	On Site	2
Saturday	2/20/2021	Closed	Closed	Closed	0
Sunday	2/21/2021	Closed	Closed	Closed	0
Monday	2/22/2021	On Site	PTO	On Site	2
Tuesday	2/23/2021	On Site	PTO	On Site	2
Wednesday	2/24/2021	On Site	PTO	On Site	2
Thursday	2/25/2021	On Site	PTO	On Site	2
Friday	2/26/2021	On Site	On Site		2
Saturday	2/27/2021	Closed	Closed	Closed	0
Sunday	2/28/2021	Closed	Closed	Closed	0
Monday	3/1/2021	On Site	On Site	On Site	3
Tuesday	3/2/2021	On Site	On Site	On Site	3
Wednesday	3/3/2021	PTO	On Site	On Site	2
Thursday	3/4/2021	PTO	On Site	On Site	2
Friday	3/5/2021	PTO	On Site	On Site	2
Saturday	3/6/2021	Closed	Closed	Closed	0
Sunday	3/7/2021	Closed	Closed	Closed	0
Monday	3/8/2021	On Site	On Site	On Site	3
Tuesday	3/9/2021	On Site	On Site		2
Wednesday	3/10/2021	On Site	On Site	On Site	3
Thursday	3/11/2021	On Site	On Site		2
Friday	3/12/2021	On Site	On Site		2
Saturday	3/13/2021	Closed	Closed	Closed	0
Sunday	3/14/2021	Closed	Closed	Closed	0
Monday	3/15/2021	On Site	On Site	On Site	3
Tuesday	3/16/2021	On Site	On Site	On Site	3
Wednesday	3/17/2021	On Site	On Site	On Site	3
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Friday	3/19/2021	On Site	On Site	On Site	3
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Monday	3/22/2021	On Site	On Site	On Site	3
Tuesday	3/23/2021	On Site	On Site	On Site	3
Wednesday	3/24/2021	On Site	On Site	On Site	3
Thursday	3/25/2021	On Site	On Site	On Site	3
Friday	3/26/2021	On Site	On Site	On Site	3
Saturday	3/27/2021	Closed	Closed	Closed	0
Sunday	3/28/2021	Closed	Closed	Closed	0
Monday	3/29/2021	On Site	On Site	On Site	3
Tuesday	3/30/2021	On Site	On Site	On Site	3
Wednesday	3/31/2021	On Site	On Site		2

Days On Site	119	114	77
Days Open	127	127	127

SP Cool Coatings

This cool silicone-polyester paint system utilizes a two-coat system that offers superior quality and durability.



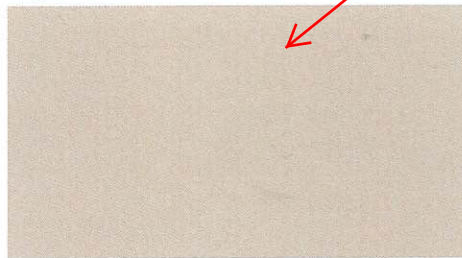
a NUCOR company

Proposed Color



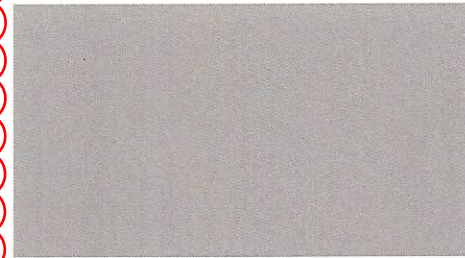
Polar White [†]

IR .67 SRI 81



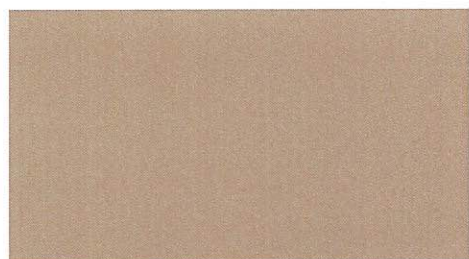
Sandstone [†]

IR .59 SRI 69



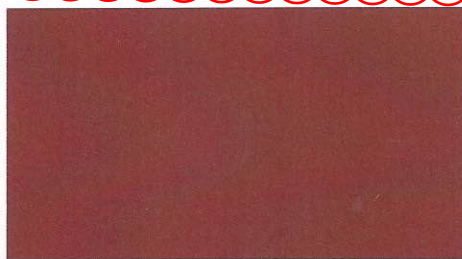
Fox Gray [†]

IR .51 SRI 58



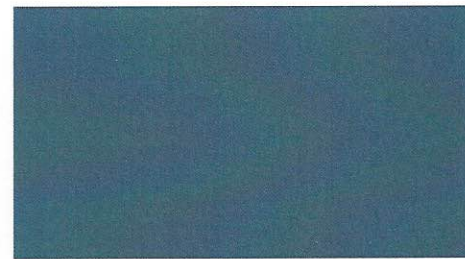
Sagebrush Tan [†]

IR .51 SRI 59



Brick Red [†]

IR .38 SRI 40



Aztec Blue [†]

IR .27 SRI 26



Forest Green [†]

IR .27 SRI 25



Burnished Slate [†]

IR .32 SRI 32



Galvalume ^{★†}

IR .77 SRI 72

*Non-Stock Color: Extended lead times may apply. *The Galvalume coating process is likely to result in variances in spangle (size, number, and reflection) from coil to coil which may result in noticeable shade variations. Galvalume is also subject to variable weathering and may appear to have different shades due to weathering characteristics. These shade variations are not cause for rejection. [†] ENERGY STAR[®] Qualified Color. All SP colors have a 25-year finish warranty. Colors shown closely approximate actual coating colors. These colors utilize Cool Coating Technology. The term "TBS" on the Order Document refers to "To Be Selected" from standard SP colors as shown on this chart.



SP Cool Coatings

Product Specifications



a NUCOR company

Solar Reflectance, Thermal Emittance and Solar Reflectance Index (SRI)

Solar Reflectance

To be considered "cool," products must have a Solar Reflectance of at least .25. Solar Reflectance is the fraction of the total solar energy that is reflected away from a surface.

Thermal Emittance

Thermal Emittance is the measure of a panel's ability to release heat that it has absorbed.

Solar Reflectance Index (SRI)

Put Solar Reflectance and Thermal Emittance together and you get the Solar Reflectance Index (SRI). SRI is calculated by using the values of solar reflectance, thermal emittance and a medium wind coefficient. The higher the SRI value, the lower its surface temperature and consequently, the heat gain into the building. Metal roofs coated with SP Cool Coatings achieve an SRI of 25-81, depending on the color.

Conventional roof surfaces have low reflectance (0.05 to 0.25) and high thermal emittance (typically over .85). Roof panels with both high reflectance and high emittance can reduce the surface temperature by as much as 30-50% based on color and geographic location, which will result in a reduced heat gain to the building, therefore reducing the energy demand.

GALVALUME® is a registered trademark of BIEC International Inc., and some of its licensed producers.

SP COOL PANEL COLORS

SP Cool Color	Initial Solar Reflectance (IR)	Initial Thermal Emittance	Solar Reflectance Index (SRI)
Polar White	.67	0.83	81
Sandstone	.59	0.84	69
Fox Gray	.51	0.85	58
Sagebrush Tan	.51	0.85	59
Brick Red	.38	0.85	40
Aztec Blue	.27	0.85	26
Forest Green	.27	0.83	25
Burnished Slate	.32	0.85	32
Galvalume®	.77	0.08	72

SP COOL TECHNICAL INFORMATION

Test	Test Methods	Performance
Dry Film Thickness	ASTM D1005	0.15 - 0.30 mil primer 0.70 - 0.90 mil topcoat
Gloss	ASTM D523 @ 60°	10 - 80+
Solar Reflectance	ASTM E903, ASTM E1918 Using portable reflectometer	0.25 (25%) min.
Emissivity	ASTM C1371, ASTM E408	0.80 (80%) min.
Pencil Hardness	ASTM D3363	F min.
Flexibility	T-Bend, ASTM D4145	2 T-bend, No pick off
Adhesion	ASTM D3359	1.5 x metal thickness, No adhesion loss
Reverse Impact	ASTM D2794	2 x gauge or 80 lbs.
Abrasion, Falling Sand	ASTM D968	25 - 40 l/mil
Mortar Resistance	ASTM C267	No effect
Detergent Resistance	ASTM D2248 3% detergent @ 100°F (72 hrs.)	No effect
Acid Resistance	ASTM D1308 10% muriatic acid - 15 min. 20% sulfuric acid - 24 hrs.	No effect No effect
Acid Rain Test	Kesternich SO2, DIN 50018	10 cycles min. No objectionable color change
Alkali Resistance	ASTM D1308 10% , 20% NaOH, 1 hr.	No effect
Salt Spray Resistance	ASTM B117 5% salt fog @ 95°F	Passes 1000 hrs.
Humidity Resistance	ASTM D714, ASTM D2247 100% relative humidity @ 95°F	Passes 1000 hrs. No blisters, cracks or peeling
Exterior Exposure	ASTM D2244, ASTM D4214 10 yrs. @ 45°F, South Florida	Max. 5 fade Max. 8 chalk

VBTS, LLC
UNLOADING BUILDING
44141 YOST ROAD
BELLEVILLE, MI 48111
WAYNE COUNTY

PROJECT NUMBER: CLH.19.013
FOUNDATION DRAWINGS FOR
NUCOR METAL BUILDING
74' WIDE X 80' LONG; 5,920 SF

ISSUED FRO CONSTRUCTION
22 JUNE 2020

INDEX OF DRAWINGS
C-1 COVER SHEET, DESIGN LOADS & SPECS.
C-2 BUILDING LOCATION
S-1 FOUNDATION PLAN
S-2 ANCHOR PLAN
S-3 PIER & FOOTING DETAILS
S-4 ANCHOR & MISC. DETAILS

NUCOR REF. DWGS:
SHEETS C1, C2, C3, F1 & F2

A. STRUCTURAL DESIGN CRITERIA
Michigan Building Code; IBC 2015;
ASCE 7-10;
Building Frame is per Nucor Metal Buildings
Use Group S-2 Low Hazard
Construction Type IIIB
Risk Category II
Fully Enclosed Building
Roof Dead Load - 3 psf;
Roof Live Load - 20 psf;
Wind Speed (Vult) - 115 mph, Exposure C
Wind Pressure 22.6 psf, Kz=0.94
Ground Snow Load (Pg) - 25 psf
Flat Roof Snow (Pf) 21 psf
Snow Importance Factor Is = 1.0
Thermal Coeff Ct=1.2
Seismic Class D; Seismic Design Category B;
Ce = 1.0; Ss=0.127g (12.7%g); S1=0.046 (4.6%g)
Sds=0.135g (13.5%g); Sd1=0.074g (7.4%g)
Frame Loading-per reactions provided herein.
Wind is reducible by 0.6 in load combinations.

B. GENERAL REQUIREMENTS:
1. All work shall be done per OSHA standards and regulations.
2. Obtain prior approval from Owner when substituting materials or equipment.
3. Work shall conform to all governing codes.

C. EARTHWORK AND DRAINAGE
1. All site work and paving is by Owner. Design of floor to support block weight and bulk material storage is by Owner.
2. If site requires drainage, provide drain pipe to divert storm water and roof drainage away from foundation.
3. Provide final grading, topsoil, gavel, and compaction and as necessary within affected area of building.
4. Provide clean granular backfill 2' min. around perimeter of building.

D. ANCHOR BOLTS
1. Building Columns: Cast-in Place Anchors. F1554 GR. 55 ksi rods with leveling nuts & embedded nut. Threaded 3" each end. Galvanized. See chart on S-4 for sizes.
2. Provide grout under base plates as detailed.
3. Anchors on walls to have drill-in adhesive anchors.
a. Type: Galvanized Hilti HIT-Z or HAS rods using Hilti Safe Set Technology. or approved equal.
b. HY 200 epoxy installed with one of the following contractor chosen methods:
1) HIT-Z anchors with no hole cleaning required when air temperature or base material temperature is greater than 41 degrees F.
2) HAS rods installed by the 2x2x2 method from hole cleaning as described in Hilti manual.
3) HAS rods using hollow drill bit-hole cleaning.

E. FDN. DESIGN BEARING CAPACITY & SOIL BORINGS
1. Design Bearing Capacity = 1500 psf.
2. Geotechnical Report or Soil Borings are not available.

F. STRUCTURAL STEEL
1. Structural angle, channel, and base plates: ASTM A36
2. Structural Bolts: ASTM A325 OR GR5 GALV.
3. Welds E70XX electrodes, AWS D1.1
4. Minimum of 2 bolt connections unless otherwise detailed.
5. All steel to be post fabricated, galvanized ASTM A123


G. FOUNDATION REACTIONS AT TOP OF PIERS
Building reactions are per the Building Manufacturer.
Frame Lines 1/5
Up: 1.2 kips
Down: 12 kips
Horizontal: 6 kips

Frame Lines 2-4
Up: 1.8 kips
Down: 30 kips
Horizontal: 10 kips

Building @ top of walls:
Up: 1.8 kips
Down: 30 kips
Horizontal: 10 kips

H. BOLLARDS
1. Truck impact bollards by Owner.
2. Servinsky Engineering, PLLC is not responsible for vehicle impact to building.

These specifications & drawings are for the existing foundation walls with new pilasters and base anchors.

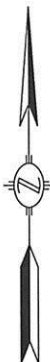
REVISIONS					 <div>SERVINSKY ENGINEERING PLLC Consulting Structural Engineers marks@servinskyeng.com</div> <div>280 Douglas Ave Holland, MI 49424-6515 (616) 738-1281 Fax (616) 738-6281</div>
BY	REV	DESCRIPTION	DATE	APPROVED	
FES	0	ISSUED FOR CONSTRUCTION	6/22/2020	MSS	

CLEAR HEIGHTS CONSTRUCTION, LLC
3375 92ND ST SW
BYRON CENTER, MI 49315

COVER SHEET, DESIGN LOADS & SPECS.			
74'x80' NUCOR METAL BLDG.		BELLEVILLE, MI 48111	
SHEET SIZE B		DWG NO. CLH.19.013	SHEET NO. C-1



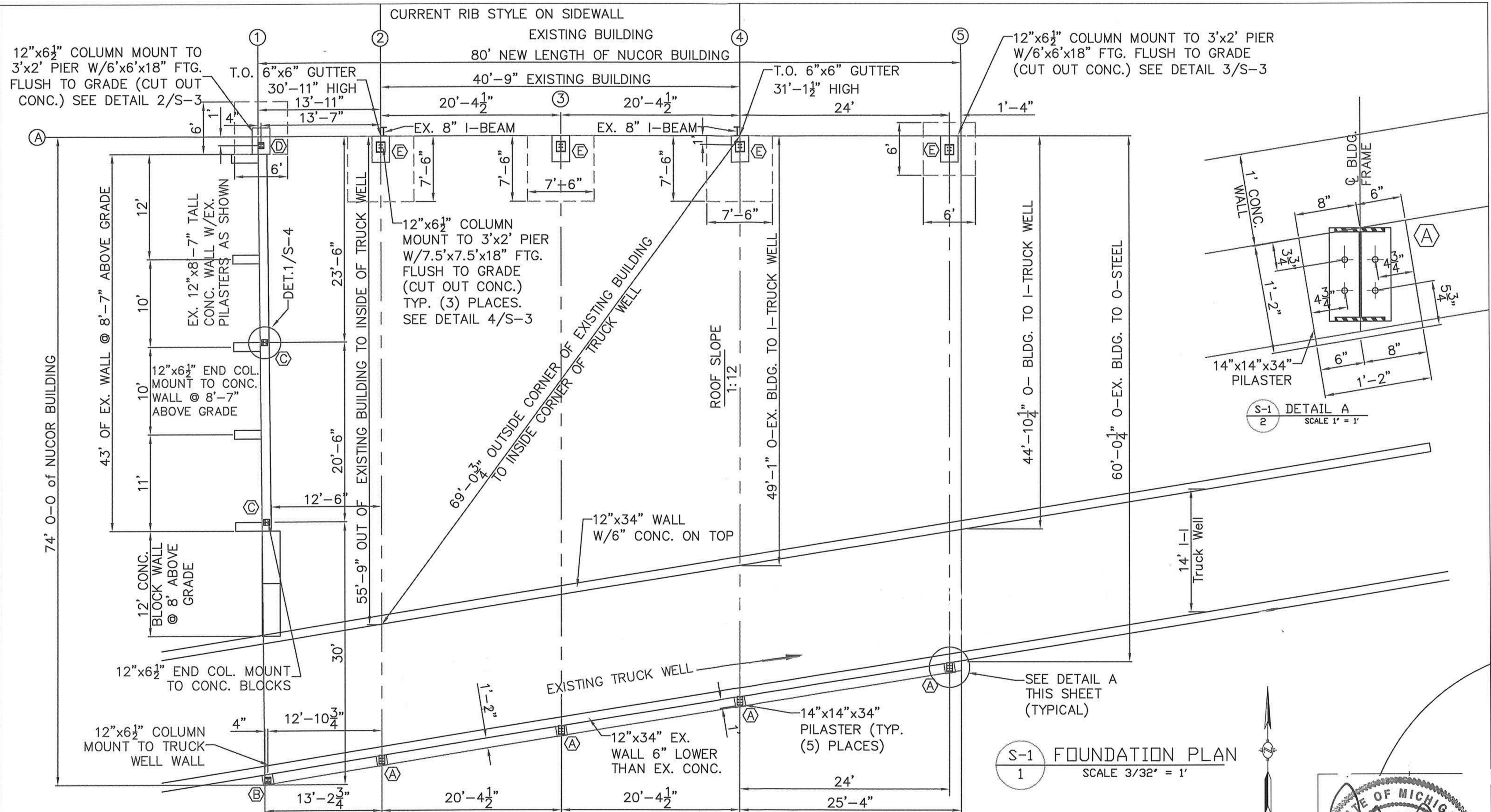
SES



ISSUED
A3
REFERENCE

6/3/2020

SES



REVISIONS				
BY	REV	DESCRIPTION	DATE	APPROVED
FES	0	ISSUED FOR CONSTRUCTION	6/22/2020	MSS



SERVINSKY ENGINEERING PLLC
Consulting Structural Engineers
marks@servinskyeng.com

280 Douglas Ave
Holland, MI 49424-6515
(616) 738-1281
Fax (616) 738-6281

FOUNDATION PLAN

74'x80' NUCOR METAL BLDG.

BELLEVILLE, MI 48111

SHEET SIZE	B
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SCALE: AS NOTED

DWG NO	CLH.19.013
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SHEET NO.	S-1
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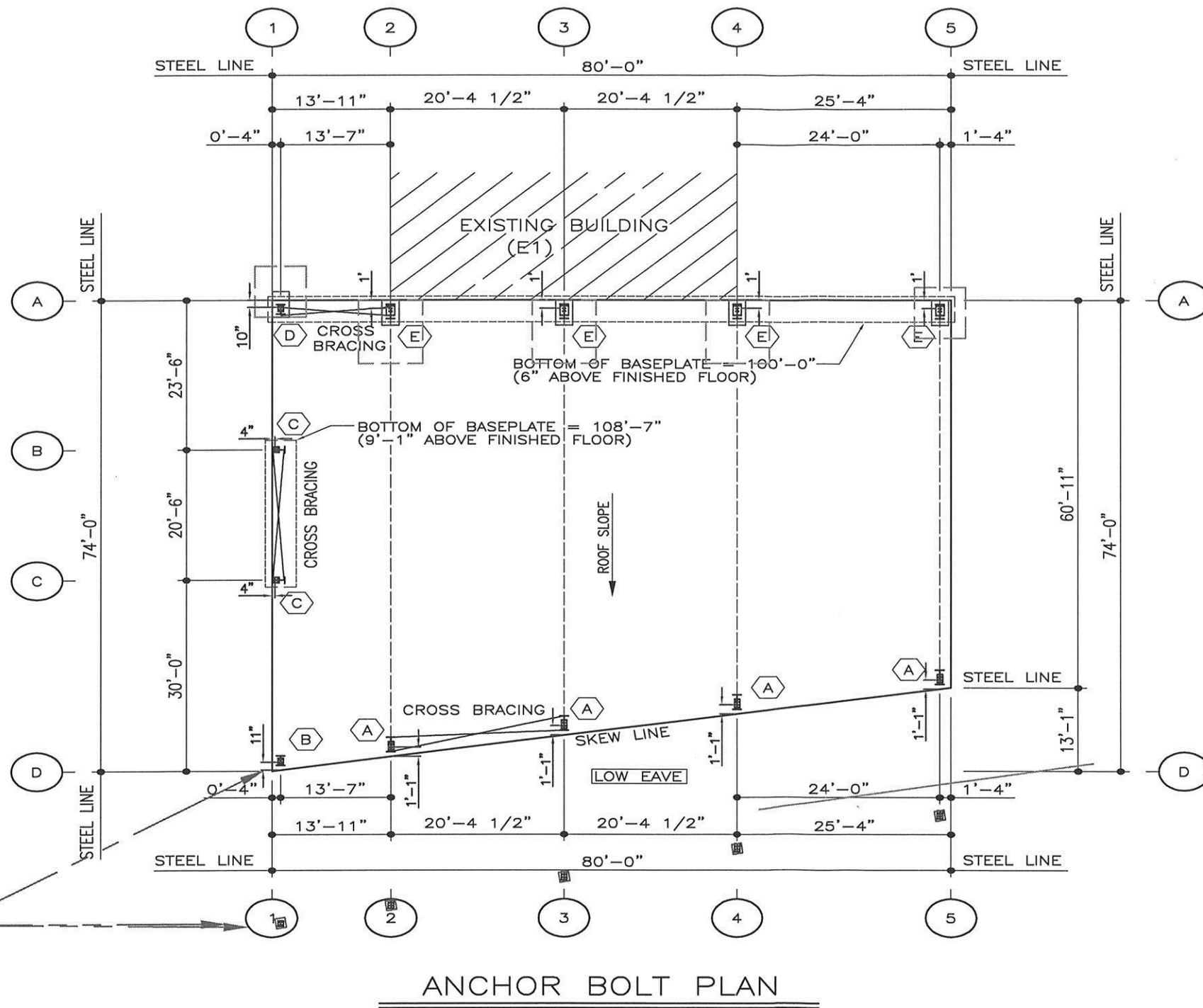


CLH.19.013

6/3/2020

FES

aseplated
location?



ANCHOR BOLT SETTING NOTE

THE ANCHOR BOLT SETTINGS SHOWN ON THESE DRAWINGS NOT ONLY INDICATE WHERE THE ANCHOR BOLTS ARE TO BE PLACED, BUT ALSO THE FOOTPRINT OF THE METAL BUILDING. IT IS ESSENTIAL THAT THESE BOLT PATTERNS BE FOLLOWED. IN THE EVENT THAT THESE SETTINGS DIFFER FROM THE ARCHITECTURAL FOUNDATION PLANS, THE METAL BUILDING MANUFACTURER MUST BE CONTACTED IMMEDIATELY, BEFORE CONCRETE IS PLACED.

TYPICAL BASEPLATE ELEVATION

FINISHED FLOOR = 99'-6"

BOTTOM OF BASEPLATE
ELEVATION = 99'-6"

(AT FINISHED FLOOR U.N.O.)

ANCHOR BOLT SCHEDULE
SEE SHEET S-4

ANCHOR BOLTS

QUANTITY	SIZE	PROJECTION
48	3/4"	3" FROM BOTTOM OF BASE PLATE

ANCHOR BOLT PLAN

ANCHOR PLAN

REVISIONS				
BY	REV	DESCRIPTION	DATE	APPROVED
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CLEAR HEIGHTS CONSTRUCTION, LLC
3375 92ND ST SW
BYRON CENTER, MI 49315

74'x80' NUCOR METAL BLDG.

BELLEVILLE, MI 48111

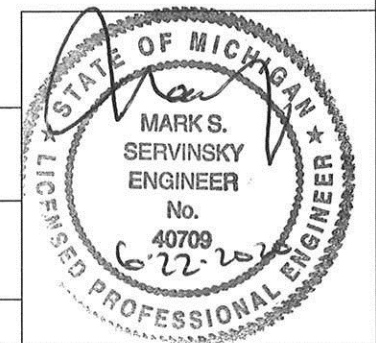
SHEET
SIZE B

SCALE: 1/16"=1'-0"

DWG
NO. CLH.19.013

SHEET
NO.

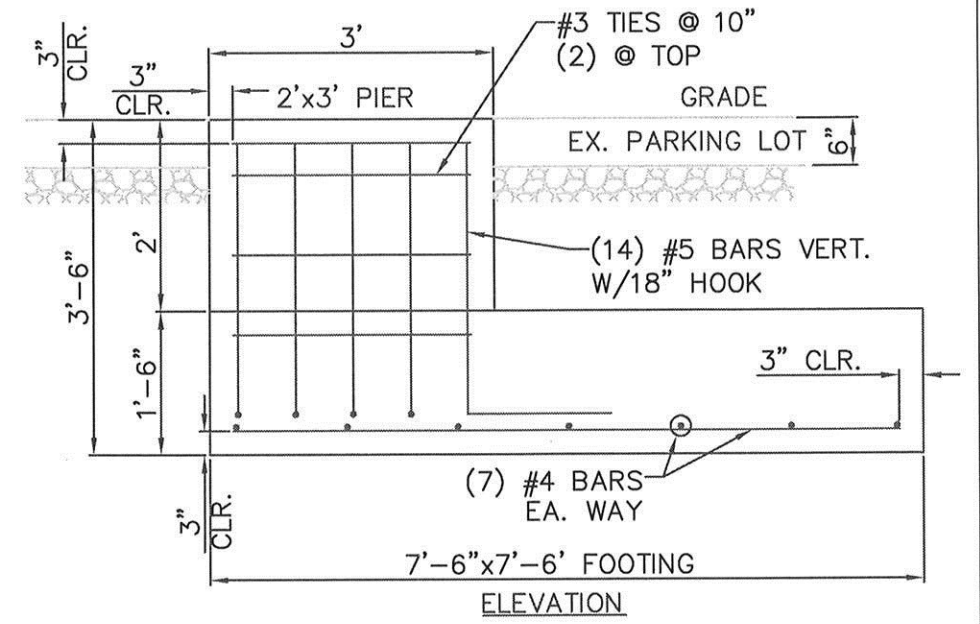
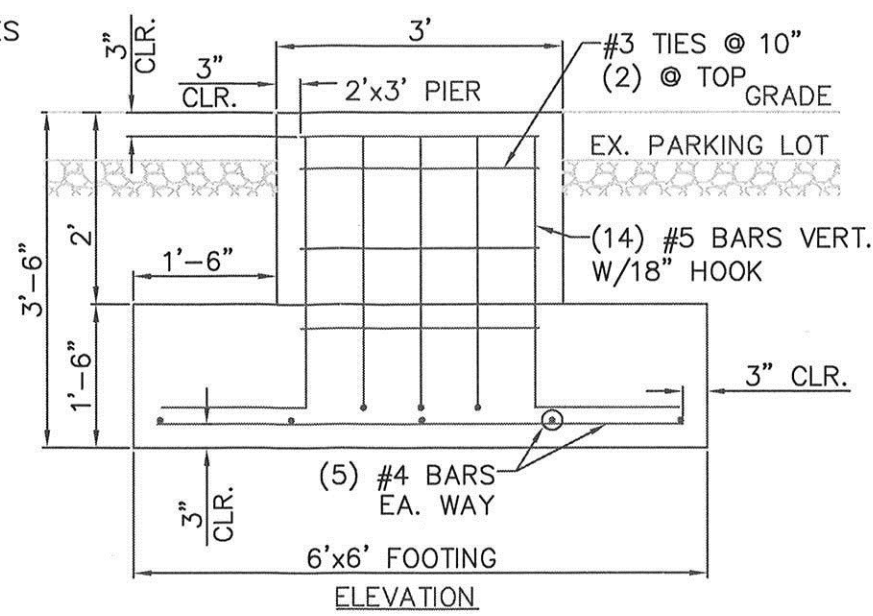
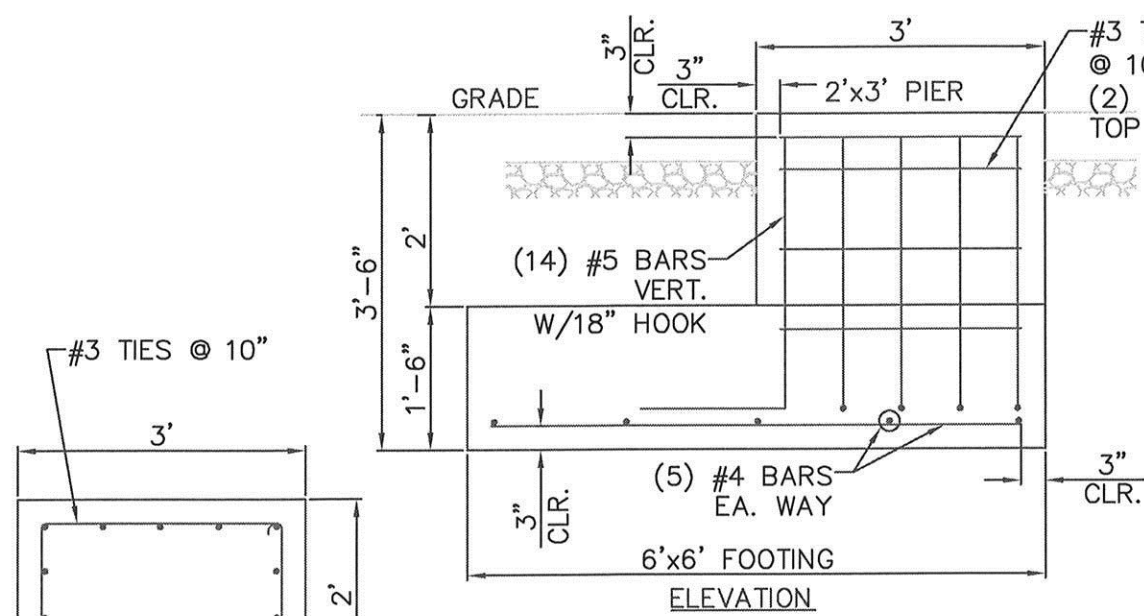
S-2



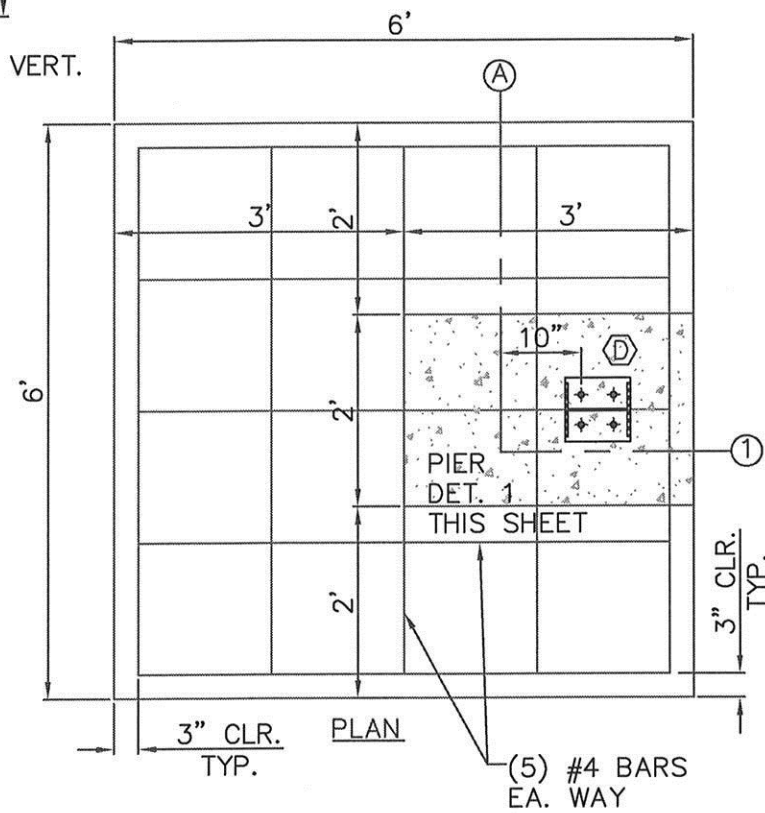
CLH.19.013

6/3/2020

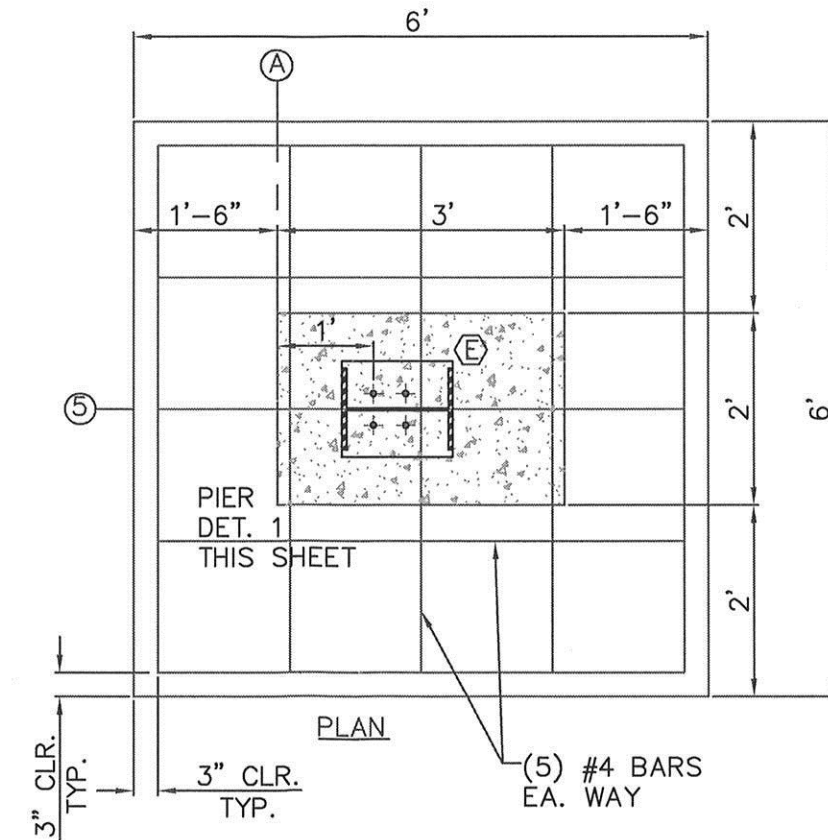
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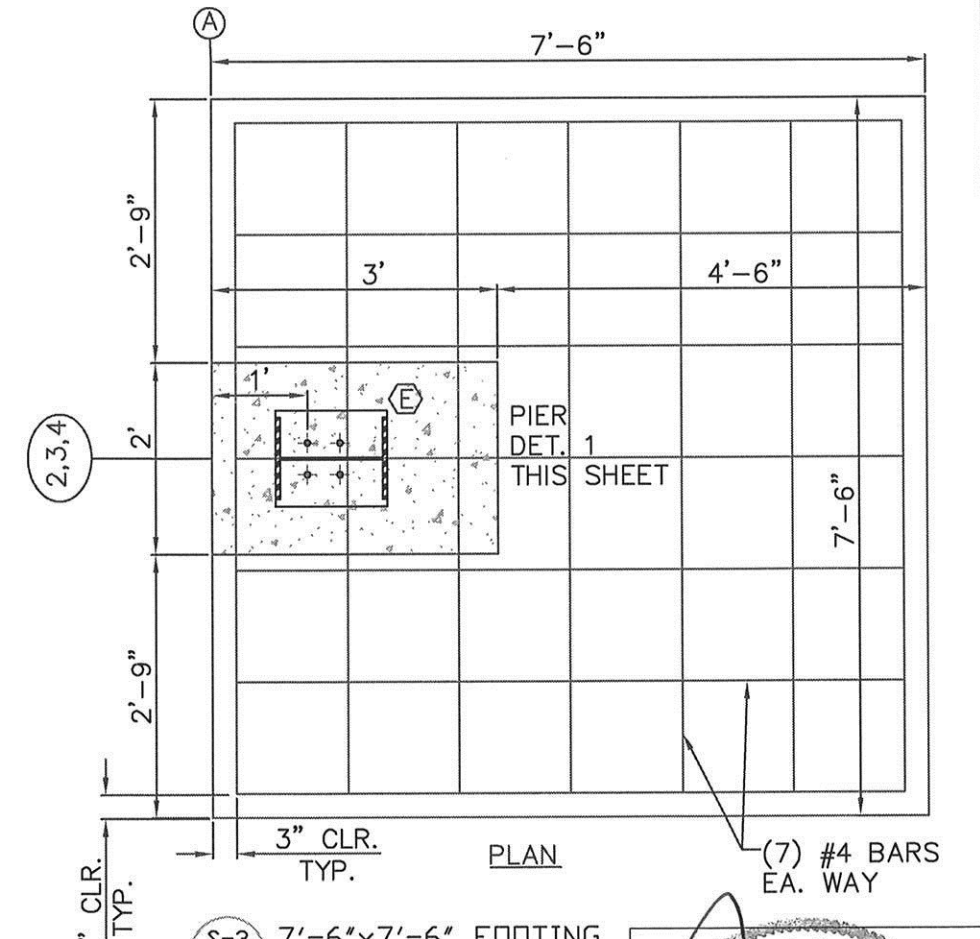
S-3
1
2'x3' PIER
SCALE: 1/2"=1'-0"



S-3
2
6'x6' FOOTING
SCALE: 1/2"=1'-0"



S-3
3
6'x6' FOOTING
SCALE: 1/2"=1'-0"



S-3
4
7'-6"x7'-6" FOOTING
SCALE: 1/2"=1'-0"

REVISIONS				
BY	REV	DESCRIPTION	DATE	APPROVED
FES	0	ISSUED FOR CONSTRUCTION	6/22/2020	MSS



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Consulting Structural Engineers
marks@servinskyeng.com

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CLEAR HEIGHTS CONSTRUCTION, LLC
3375 92ND ST SW
BYRON CENTER, MI 49315

PIER & FOOTING DETAILS

74'x80' NUCOR METAL BLDG.

BELLEVILLE, MI 48111

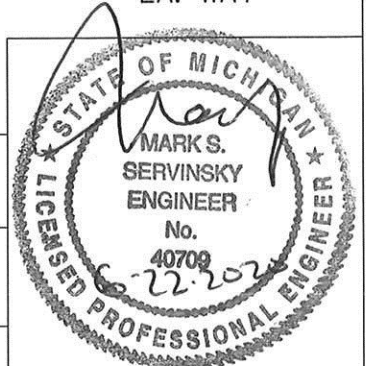
SHEET
SIZE B

SCALE: 1/2"=1'-0"

DWG
NO. CLH.19.013

SHEET
NO.

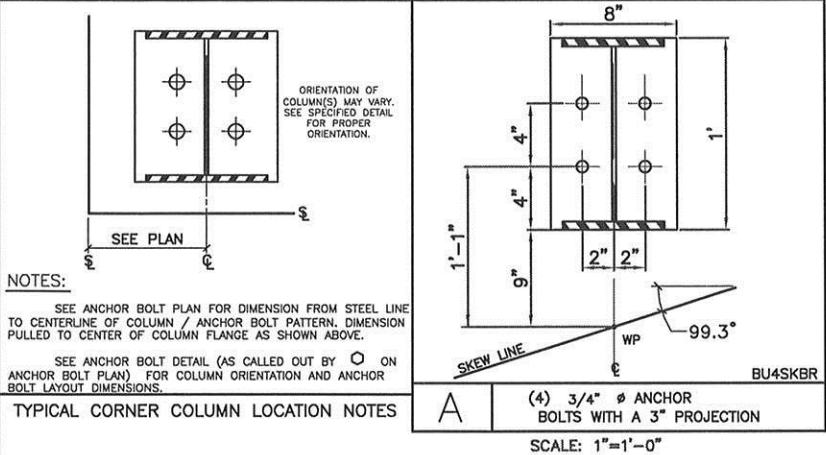
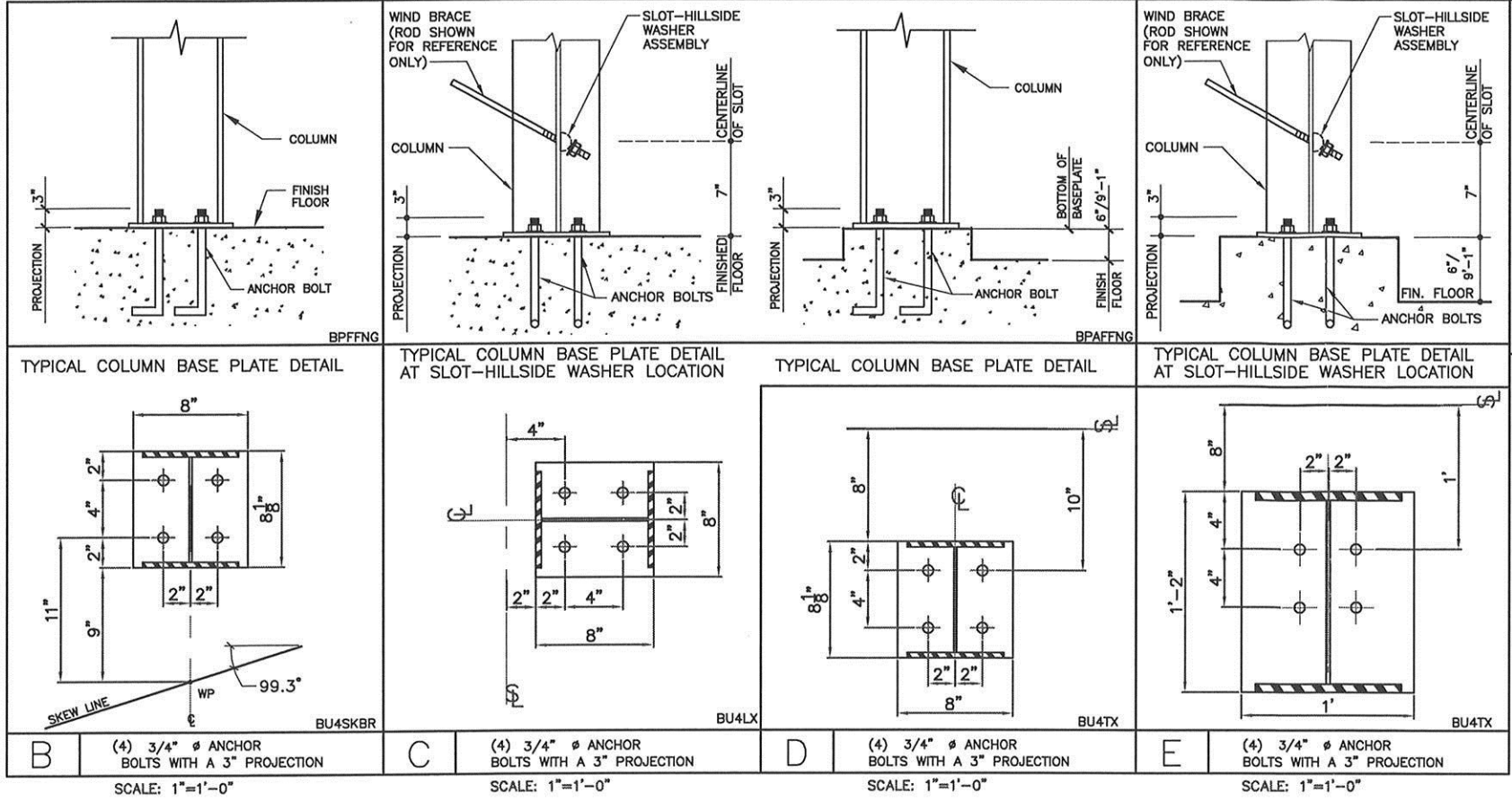
S-3



CLH.19.013

6/3/2020

FES

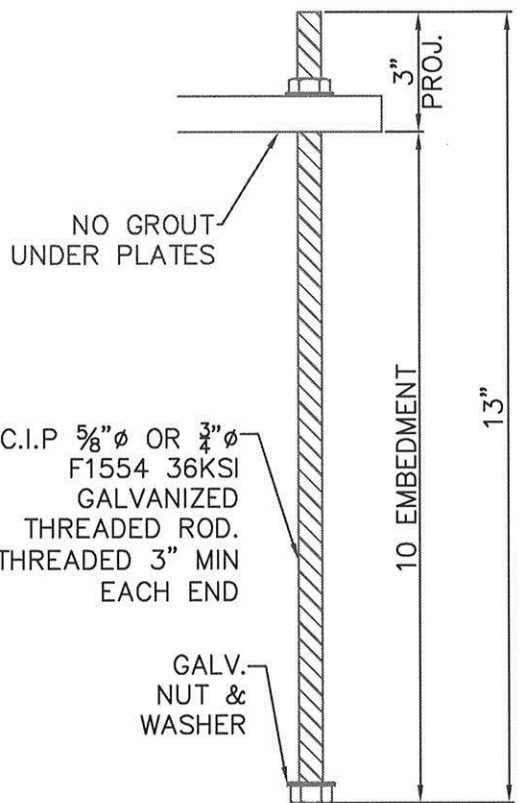
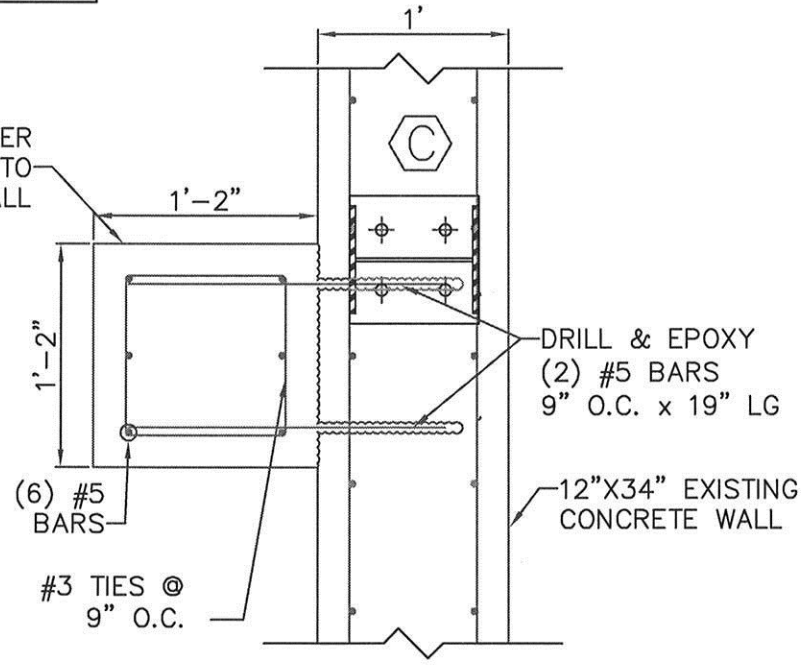


PLEASE NOTE THE 9" COLUMN OFFSET FROM STEEL LINE ON DETAILS A AND B.

ANCHOR BOLT SIZES/QTYS									
PLATE	TYPE	DIA. INCHES	ANCHOR QTY.	PLATE QTY.	TOTAL	LENGTH (INCHES)	EMBEDMENT (INCHES)	PROJ. (INCHES)	MIN. (IN.) THREAD EA. END
A	DRILL-IN	3/4	4	4	16	10	7	3	-
B	DRILL-IN	3/4	4	1	4	10	7	3	-
C	DRILL-IN	3/4	4	2	8	10	7	3	-
D	C.I.P.	3/4	4	1	4	13	10	3	3
E	C.I.P.	3/4	4	4	16	13	10	3	3

TOTAL 3/4" CIP ANCHORS = 20
TOTAL 3/4" DRILL-IN ANCHORS = 28
REFER TO BUILDING MANUFACTURER'S DRAWINGS FOR EXACT PLATE SIZES, AND ANCHOR PLACEMENT.

14"x14"x34" PILASTER ANCHORED TO CONCRETE WALL



S-4 EXISTING CONC. WALL DETAIL
1 SCALE 1' = 1'

SEE CHART FOR LENGTH, EMBEDMENT.

S-4 C.I.P. ANCHOR DETAIL
2 SCALE 3' = 1'

REVISIONS				
BY	REV	DESCRIPTION	DATE	APPROVED
FES	0	ISSUED FOR CONSTRUCTION	6/22/2020	MSS

SERVINSKY ENGINEERING PLLC
Consulting Structural Engineers
marks@servinskyeng.com
280 Douglas Ave
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(616) 738-1281
Fax (616) 738-6281
CLEAR HEIGHTS CONSTRUCTION, LLC
3375 92ND ST SW
BYRON CENTER, MI 49315

FOUNDATION & ANCHOR DETAILS
74'x80' NUCOR METAL BLDG.
BELLEVILLE, MI 48111
SHEET SIZE B SCALE: AS NOTED DWG NO. CLH.19.013 SHEET NO. S-4





April 24, 2021

McKenna
39500 MacKenzie Drive, Suite 100
Novi, MI 48377
Attn: Vidya Krishnan and Hunter Whitehill

RE: Yost Waste Transfer Station, VBT-20-026

Dear Vidya and Hunter,

Please find enclosed one set of plans for the above referenced project. The plans have been revised to address your review letter dated March 8, 2021. The following is a summary of how each comment has been addressed.

COMMENTS

1. **Zoning and Use.** The site is currently zoned M-1 (Light Industrial District). The site is an existing private solid waste transfer station. As part of its State licensing requirements, the applicant is required to enclose outdoor storage area to comply with State Regulations.

Solid waste facilities are not permitted in the M-1 District. The existing use is a non-conforming use. The applicant's proposal to build an addition to enclose the outdoor storage areas on the south side of the site constitutes an expansion of a non-conforming use. Per Section 14.106, sub-section (D): *Nothing in this Section shall be deemed to prevent the strengthening or restoration to a safe condition of a structure in accordance with an order of a public official who is charged with protecting the public safety and who declares such structure to be unsafe and orders its restoration to a safe condition, provided that such restoration is not otherwise in violation of the various provisions of this Section prohibiting the repair or restoration of partially damaged or destroyed structures or signs.*

Therefore, the proposal will be processed as an expansion of a non-conforming use resulting from the need to comply with State safety regulations.

Since the variance was granted by the BZA on April 13th, no action required.

2. **Required Information.** All of the information required per Section 12.203 of the Zoning

Memorandum

April 28, 2021

Page 2

Ordinance has been provided at this time with the exception of fire lane delineation. The plan notes that signs will be posted on the building that the area is active for loading/unloading only. This was deemed acceptable by the Fire Department at preliminary discussions.

No action required.

3. **Dimensional Requirements.** The required front, rear and side yard setbacks for the M-1 District are 50 feet, 40 feet, and 40 feet, respectively. The proposed building addition is located at a side yard setback of 7.89 feet and a rear yard setback of zero feet. The site plan notes that the applicant intends to seek approval of variances for the setbacks from the Board of Zoning Appeals.

The BZA has approved the variance for the yard setbacks at the 4/13/21 meeting.

4. **Access and Circulation.**

- a. **Location of Curb Cuts.** The site currently has a 30' access drive that is shared with the site to the east. Copy of the shared driveway easement has been submitted. The agreement notes that "South Yost" is solely responsible for the maintenance of the driveway. The plan does not identify which entity is "South Yost". Clarify. If the driveway is in a state of disrepair at this time, it must be fixed.

VBTS is the entity noted as "South Yost" in the shared driveway agreement. The driveway is currently in good condition and will be maintained by VBTS.

- b. **Cross Access.** Cross access exists with the property to the east. Cross access to the west is not applicable to this proposal.

No action required.

- c. **Sidewalks.** There are no sidewalks along the site's frontage and none in the area. At this time the area is a heavy industrial use area with little to no pedestrian activity. Sidewalks are not being required at this time; however, the applicant must execute an agreement to construct a sidewalk along the site's frontage at a future date when such sidewalks are required as part of a larger redevelopment of the area. The site plan includes a note to this effect on Sheet 3 of the submittal.

No action required.

- d. **Truck Circulation.** Specific truck circulation movements have been detailed on the site plan.

No action required.

5. **Parking and Loading.** Parking requirements are as follows:

- a. **Space Dimensions.** The site plan includes an area for employee parking, which delineates 4 parking spaces measuring 9 feet wide by 23.5 feet long. The spaces

Memorandum

April 28, 2021

Page 3

must be dimensioned at 9.5 'x 20' in compliance with Ordinance standards. Further, all of the spaces must be double striped.

The parking spaces have been dimensioned with double striping identified.

- b. **Number of Parking Spaces.** Parking requirement for the subject site is *"Five (5), plus either one (1) per each 550 square feet gross floor area or one (1) per each employee at peak shift, whichever is greater."* The applicant has stated the business typically employs two people. With 2,680 sq. ft. of existing gross floor area with a proposed addition of 5,400 sq. ft. of gross floor area, 15 parking spaces are required. The site plan is deficient by 11 parking spaces. Section 9.101 (J) grants the Planning Commission discretionary authority to modify the parking requirement subject to adequate justification and reasoning to be provided by the applicant. The applicant must provide information to justify the shortfall.

As indicated in the "Site Data-Parking Requirements", VBTS is providing justification for providing fewer parking spaces. An employee log for the past 6 months is provided to show there is not more than 3 employees onsite at any time.

- c. **Loading.** The site plan details multiple loading docks on the site plan. For the proposed building size one 10 ft. x 50 ft. loading space is required, which is shown dimensioned in the rear yard.

No action required.

6. **Landscaping and Screening.** A landscape plan has been submitted.

- a. **Landscaping Adjacent to Right-of-Way.** Section 10.103(A) requires lot frontage landscaping of 1 deciduous tree/40 lineal feet + 1 ornamental tree/100 lineal feet + 8 shrubs/40 lineal feet. The site has a frontage of 281' on Yost Road excluding the access drive, which requires a total of 7 deciduous trees + 3 ornamental trees + 56 shrubs. The landscape plan notes 7 existing deciduous trees along the Yost Road right-of way but has not identified any ornamental trees. The plan must include 3 ornamental trees along the Yost Road right-of-way. The applicant is proposing the existing hedge row along Yost Road in lieu of the required shrubs. Google imagery of the site confirms an opaque screen of hedges along the Yost Road right-of-way, satisfying the shrub requirement.

The notes provided call out that the three required ornamental trees have been satisfied through the existing vegetation. Although not located by the tree survey, existing understory trees like Dogwood and Sumac have been identified on site and satisfy the intent of the ornamental tree requirement. In addition, there are well over the required quantity located within the existing vegetated buffer.

- b. **Parking Lot Landscaping.** Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public rights-of-way. It appears the area designated for parking is screened from the Yost Road right of way by a concrete

Memorandum

April 28, 2021

Page 4

block wall which provides screening for the parking lot from the Yost Road right-of-way.

No action required.

- c. **Interior Parking Lot Landscaping.** Section 10.103(B)(2) requires the provision of landscaping within islands in a parking lot. Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. Additionally, one (1) deciduous tree is required to be planted for each three hundred (300) square feet of interior landscaping. The applicant has stated that 5% of all paved parking areas is only 190 sq. ft which appears to be incorrect, since that would imply a total square footage of all paved parking areas, including parking and loading spaces, driveways, and aisles is only a total of 3,800 sq. ft. We recommend the provision of a cross hatched diagram to demonstrate compliance with this standard. The plan includes a proposed 220 sq. ft. raised planting bed island with 3 shrubs when the minimum required size of interior landscape islands is 360 sq. ft., with a minimum of one tree. A diagram has been added to the landscape plan that identifies the total area calculated for the interior landscaping area. The total area has increased as has the proposed planting area, although it is still less than the required 360 sq. ft. Therefore the request for a modification for this reduced area remains on the landscape requirements chart along with the request to utilize three upright shrubs in lieu of one tree due to the conditions of the area. The success rate of a tree within the constraints of the building and concrete are very low while the three upright shrubs would do much better and still provide vegetative relief within the parking area. The shrubs proposed are identified on the plant list as well as in the picture below.



- d. **Loading Area Landscaping.** The existing vegetation along the frontage and along the rear lot line abutting the railroad line is sufficient to screen the loading area per Section 10.103(C) of the Zoning Ordinance.
No action required.
- e. **Greenbelt Buffering.** A ten (10) foot wide buffer, with one (1) tree per thirty (30) lineal feet is required to the north and west. A ten (10) foot wide buffer has been provided along the north lot line. The plan notes a 7.89-foot buffer along the west property line, since the existing building is located at this setback. This is an existing non-conformity that cannot be altered; therefore it is acceptable provided the greenbelt area is well landscaped. The site has an existing concrete wall continues with the west wall of the existing building and an aerial image shows a reasonably dense vegetative cover along the west property line which satisfies this requirement. A twenty (20) foot wide buffer, with one (1) tree per twenty (20) linear feet (minimum of 50% evergreen trees) is required along the south lot line, which abuts a railroad right-of-way. With a zero foot proposed setback, there is no room for a greenbelt. The plan notes the presence of an existing concrete wall and fence line along the south property line. The Planning Commission has the discretion to accept the existing wall as satisfactory to meeting the Ordinance intent.
A photograph of the existing greenbelt area has been provided on the landscape plan depicting the mature landscaping and solid hedge.
7. **Tree Removal Permit.** The plan does not propose the removal of any trees; therefore, this requirement is not applicable.
No action required.

Memorandum

April 28, 2021

Page 6

8. **Stormwater Pond.** The site plan does not include a detention pond. It appears that detention is to be provided using an underground detention system. The detention system is subject to review and approval by the Township Engineer and Wayne County.
No action required.
9. **Lighting.** The applicant has submitted photographs of existing wall mounted light fixtures that provide adequate illumination to the site. No new fixtures are proposed at this time. From the images, it is unclear if the fixtures are shielded since the LED light is on in the images. Shielding must be included in conformance to Ordinance standards.
The lighting fixtures will be replaced to provide the required shielding. The proposed fixtures are indicated on sheet 3.
10. **Architecture.** The applicant has indicated they have submitted photos of the existing building and building elevations on sheets W1, W2, and W3. However, the referenced sheets are framing plans, not elevations. Detailed elevations of all facades of the building including notation of height materials and colors must be provided. It is important to include the existing building in the elevations to identify how the proposed addition will be integrated with the existing structure.
Architectural elevations have been provided are included with the revised drawing set.
11. **Dumpster.** The site plan does not include any dumpster enclosure. Per the applicant *"Since the purpose of this site is to handle refuse, there is no separate dumpster proposed. The office will generate a small amount of typical office trash that will have a standard 40-gallon trash can. This trash will then be emptied as needed to the storage bins in the proposed building loading area."* This is acceptable.
No action required.
12. **Signs.** The site plan notes an existing identification sign located on the entry gate. No new signs are proposed at this time.
No action required.
13. **Other.** Sheet S-1 of the site plan submittal shows two (2) 102' long x 40' wide roll-out storage containers. The containers appear to be located in the area of the proposed loading space and truck circulation path. It is unclear if these containers are to remain or will be removed. The containers constitute outdoor storage, which our understanding is the applicant is not allowed to have on-site. Please clarify.
The roll-off containers will be located within the new building structure. The drawing has been revised and does not show the storage outside of the building.

Memorandum

April 28, 2021

Page 7

Please review this submittal for approval and do not hesitate to call me if you have any questions.

Sincerely,

James C. Ahnert, PE



April 19, 2021

Fishbeck
39500 MacKenzie Drive, Suite 100
Novi, MI 48377
Attn: Paul Kammer and Stephen Clayton

RE: Yost Waste Transfer Station, VBT-20-026

Dear Paul and Stephen,

Please find enclosed one set of plans for the above referenced project. The plans have been revised to address your review letter dated March 9, 2021. The following is a summary of how each comment has been addressed.

General

- 1.) No further response is needed.
- 2.) A vertical conversion is indicated with the benchmark information to convert NAVD 88 to NGVD 29.
- 3.) The geotechnical engineer will be onsite at the time of building construction and determine if modifications are needed to proposed foundations.
- 4.) Engineering plans will be submitted to EGLE upon approval.
- 5.) Additional information is included showing proposed building foundations.

Water Main

- 1.) No water main is present at the site and no connection is proposed.

Sanitary Sewer

- 1.) No sanitary sewer is present at the site and no connection is proposed.

Storm Sewer

- 1.) Plans have been revised to included pipe sizes and inverts for the site. The outlet for the site sewer has been indicated on sheet 2 of the plans.
- 2.) No plan revisions are required per this comment.
- 3.) The building downspout line has been revised to discharge above grade and directed to the nearby catch basin, +/- 12'.

Soil Erosion and Sedimentation Control

- 1.) Since the existing site concrete will remain in place. Soil disruption will be limited to the proposed building foundation work only. Proposed catch basin inlet filters have been added to the plan.

Memorandum

April 27, 2021

Page 2

Please review this submittal for approval and do not hesitate to call me if you have any questions.

Sincerely,

James C. Ahnert, PE



CHARTER TOWNSHIP OF VAN BUREN
APPLICATION FOR
TEMPORARY LAND USE/SPECIAL EVENT
46425 TYLER ROAD
BELLEVILLE, MI 48111

DATE: 4-15-2021

BUSINESS NAME: DeBucks Corn Maze and Pumpkin Patch

CONTACT PERSON: Scott DeBuck PHONE # 734-260-1134

SUPERVISOR FOR SITE: ↑ PHONE # ↑

EVENT TITLE: DeBucks Corn Maze and Pumpkin Patch

TYPE OF EVENT: Corn maze, pumpkin Patch, Fun Farm DATE(S):

LOCATION OF EVENT: On our farm

ADDRESS OF LOCATION: 50240 Martz Rd Belleville MI 48111

PROPERTY OWNER REPRESENTATIVE: Scott DeBuck PHONE # 734-260-1134

ARE SIGNS PROPOSED FOR ADVERTISING: YES NO IF YES, INCLUDE LOCATIONS & DETAILS

OTHER

IF OUTSIDE USE OF THE SITE IS PROPOSED SUBMIT DRAWING OF LAYOUT AND INCLUDE CRITERIA ITEMS (ATTACHED)

NOTES:

IF NOISE ABOVE 65 DB, ODOR, GLARE, SMOKE, VIBRATION ARE EXPECTED BEYOND THE PROPERTY BOUNDRIES PLEASE EXPLAIN IN SEPARATE LETTER.

ALL STRUCTURES INSTALLED FOR THE SPECIAL EVENT MUST BE REMOVED FROM SITE NO LATER THAN THREE (3) DAYS AFTER THE EVENT.

PROCESSING FEE \$ BOND FEE \$ TOTAL \$

[Signature]
(SIGNATURE OF APPLICANT)

4-15-21
(DATE SIGNED)

(APPROVED BY)

(DATE SIGNED)



MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: 21-022 – Debuck’s Corn Maze and Pumpkin Patch –
Temporary Land Use Review
DATE: June 18, 2021

PROJECT REVIEW

Applicant Scott Debuck is requesting an extension to a previous eight-year temporary land use approval for agricultural tourism and recreation uses granted by the planning commission on June 26, 2013. The proposed uses include a roughly 12-acre corn maze, a roughly 20-acre pumpkin patch, wagon rides, a pollinator garden, a pedal car track, a mix of play equipment, food service areas, and a combined roughly 8.3-acre parking area. To my understanding, The applicant received a three-year temporary use approval in 2010 for a seasonal corn maze and associated activities on approximately 25 acres of the subject site. The land is used as a sod farm for most of the year, with the corn maze operating between Labor Day and Halloween. The project underwent some adjustments in a 2013 submittal and was again reviewed by the Planning Commission in May-June of 2013.

This project and its land uses are unique within Van Buren Township as a long-standing, seasonal use. Previously, the Planning Commission agreed with a recommendation that the use would not be subject to full, formal site plan review standards of a permanent land use and would instead be reviewed as a temporary land use. Under the temporary land use provisions in the Township’s zoning ordinance, the Planning Commission has the authority to set the time duration for a temporary land use approval. In their previous decision, the Planning Commission set an eight-year approval timeline on June 26, 2013, which will be expiring on June 26, 2021.

Two procedures are available when deciding the course forward for this land use. The applicant may again seek an extension to their temporary land use approval per what is now section 7.120 of the Township Zoning Ordinance as adopted in 2017. The applicant may also seek approval as a permanent land use under the Township’s current Zoning Ordinance. This would entail the full weight of the Township’s zoning ordinance, beyond section 7.120, and would invoke the Township’s Engineering standards for paving and stormwater management. The applicant initially selected to pursue the former option and apply for a 15-year extension to their previous approval.

In reviewing this request, staff found that such an extension would defeat the intent of the Planning Commission’s past approval of the use as being temporary. However, staff also recognizes that the mix of activities on the site have been well received in the area and help to harness a strong local farming economy. One way to recognize and allocate for the long-term benefits of these uses

without imposing strict standards on the site or similar sites would be to create specific zoning standards for agritourism uses. In coordination with the applicant, I will recommend that staff and the Planning Commission review best practices for an agritourism zoning ordinance and work on adopting such an ordinance. In the meantime, I recommend that the Planning Commission consider allowing a one-year extension to the applicant's temporary land use permit while this research is completed and a suitable agritourism ordinance is potentially formed. Doing so would allow the applicant to return within one year to initiate a permanent agritourism use on the site.

For purposes of this one-year review, the approval standards in section 7.120 of the Township's Zoning Ordinance will be the basis of this review. The applicant has provided materials to address these standards under the Township's previous Zoning Ordinance and I have additionally provided analysis regarding adherence to these standards. Please consider the following:

Adequacy of parking and access

The site's main access is limited to one entrance on Martz Road. The site utilizes informal, lawn area for parking. The area available for parking appears to have increased from roughly 7 acres to roughly 10 acres, expanding the capacity of informal parking spaces to about 1,000 spaces according to the applicant. In their previous approval, the Planning Commission also limited the number of informal or "country" parking spaces to 500. The Planning Commission may again consider such a limit. The number of spaces shall not exceed the number determined by the Planning Commission. The plan again shows that the double-loaded parking aisles are spaced apart 75' on center, which is wider than is required by the Zoning Ordinance. This may be reconsidered in order to preserve space or park smaller vehicles. The applicant indicates in their written submittal that there will be 15 van accessible handicapped parking spaces. As with the 2013 Planning Commission approval, I recommend that the number and dimensions of handicapped parking spaces must be included on the plan. The applicant has again committed to prohibiting parking on Martz Road.

Adequate drainage

The proposed plan is not anticipated to alter drainage in comparison with the plan used for past approvals.

Compatibility with surrounding land uses The site and surrounding parcels are zoned AG, Agricultural and Estates District. This is a compatible use with agricultural zoning. The application materials describe a bakery and kitchen. The applicant also describes possible future uses that will be sought including equipment storage and retail space. The current approval does not account for any future use. All future uses will be reviewed carefully for compliance with the currently adopted Zoning Ordinance.

Size, height, and type of construction of proposed buildings and structures in relation to surrounding site

All proposed buildings are existing.

Sufficient setbacks from road rights-of-way and lot lines

The property's AG zoning requires a 50' front yard, 25' combined side yard, and 35' rear yard

setback. I recommend upholding a previous condition that the site's parking areas maintain a 75' setback from Martz Road.

Adequate utilities

No changes to existing utilities are proposed at this time. Any generators used must be verified to be compliant with the Township's noise ordinance.

Trash disposal and site clean-up

The applicant has committed to picking up trash on a daily basis. The applicant shall maintain the property in a clean manner and promptly and regularly dispose of trash.

Sanitary facilities

Existing sanitary facilities will be used.

Hours of operation

The site's typical hours will be from 9:00 a.m. to 7:00 p.m. on Fridays, 10:00 a.m. to 7:00 p.m. on Saturdays and Sundays.

Outdoor light and signs

The use proposes to continue its use of 15' tall lighting throughout the site. Continued use of a 4' x 8' sign is proposed.

Other licenses and permits required

There are no other licenses or permits required that staff is aware of.

Potential noise, odor, dust, and glare

The application materials include commitments to control noise, odors, glare of lights and dust.

Fire lanes, fire protection, and security

The application materials detail that there are three emergency access routes into the site, that there are two security personnel, and that there are fire protection measures on site. The site also includes two fire hydrants along its frontage. The route for emergency vehicle access appears to be generally consistent with the past approved plan. Approval of the Township Department of Public Safety must be obtained.

Off-site impacts of traffic volumes

The roads in the immediate vicinity are major Township roads, and this temporary use will not impact their flow or travel volumes.

Necessity of performance bond to ensure prompt removal

A performance bond should not be necessary for this continuing use which has demonstrated responsibility in years past.

Other concerns which may impact the public health, safety, or general welfare

Consistent with the Planning Commission's 2013 decision, I recommend that any required building

trades permits from the Township and licenses from Wayne County Health Department continue to be secured to allow the site to continue its operation.

Recommendation

This temporary land use has been conducted for the last eight years with no issues that I am aware of. I recommend the approval of this temporary land use request and the continued pursuit of a long-term presence of this use, subject to the following conditions:

1. In coordination with the applicant, I will recommend that staff and the Planning Commission review best practices for an agritourism zoning ordinance and work on adopting such an ordinance. In the meantime, I recommend that the Planning Commission consider allowing a one-year extension to the applicant's temporary land use permit while this research is completed and a suitable agritourism ordinance is potentially formed.
2. The number of spaces shall not exceed the number determined by the Planning Commission.
3. The number and dimensions of handicapped parking spaces must be included on the plan.
4. The current approval does not account for any future use. All future uses will be reviewed carefully for compliance with the currently adopted Zoning Ordinance.
5. I recommend upholding a previous condition that the site's parking areas maintain a 75' setback from Martz Road.
6. Any generators used must be verified to be compliant with the Township's noise ordinance.
7. Approval of the Township Department of Public Safety must be obtained.
8. Any required building trades permits from the Township and licenses from Wayne County Health Department must continue to be secured to allow the site to continue its operation.

Thank you for the opportunity to comment on this request.

Sincerely,



Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

CC: Vidya Krishnan – Van Buren Charter Township Principal Planner– McKenna Associates
Andrew Lenaghan – Van Buren Charter Township Fire Marshall
Matthew Best, M.S. - Public Services Director, Van Buren Charter Township
Scott Debuck – Debuck's Corn Maze and Pumpkin Patch

Hello Friends,

Writing this in regards to our 4th return to the township for our special use permit to run and operate our Corn Maze and Pumpkin Patch business.

A brief history of the DeBuck family in Van Buren Township. Norman and Linda DeBuck bought our farm in Belleville, MI, in 1980, and named it New Lawn Sod Farm. They figured our sod farm would be easy to remember....If you needed a new lawn you would call NEW LAWN SOD FARM! Norm and Linda moved to Belleville with 2 little boys in tow, Eric and Scott. Over the years their family grew...and added two daughters, Jennifer and Lisa

Giving our customers quality turf with service to match has always been important to us.

We believe that our faith, hard work, treating our employees and our customers like "family" has made our "family business" the success it is today. And for that we are forever grateful!

In 1998 Norm and Linda's sons graduated from Michigan State and came back to the family farm to work and operate the farm with their parents.

In 2009 we made the decision to start our agri-tourism business (DeBuck's Corn Maze and Pumpkin Patch). We have successfully grown DeBuck's over the last 13 years being in business in Van Buren Township. We have created a farm wonderland for families to come out and enjoy the fresh air and create family memories that will last a lifetime.

We are mainly open Friday, Saturday, and Sundays in September and October. Hours of operation are 10am to 7pm. We have our 20 acre u-pick pumpkin patch, a 12 acre corn maze, and several fun family activities on our farm.

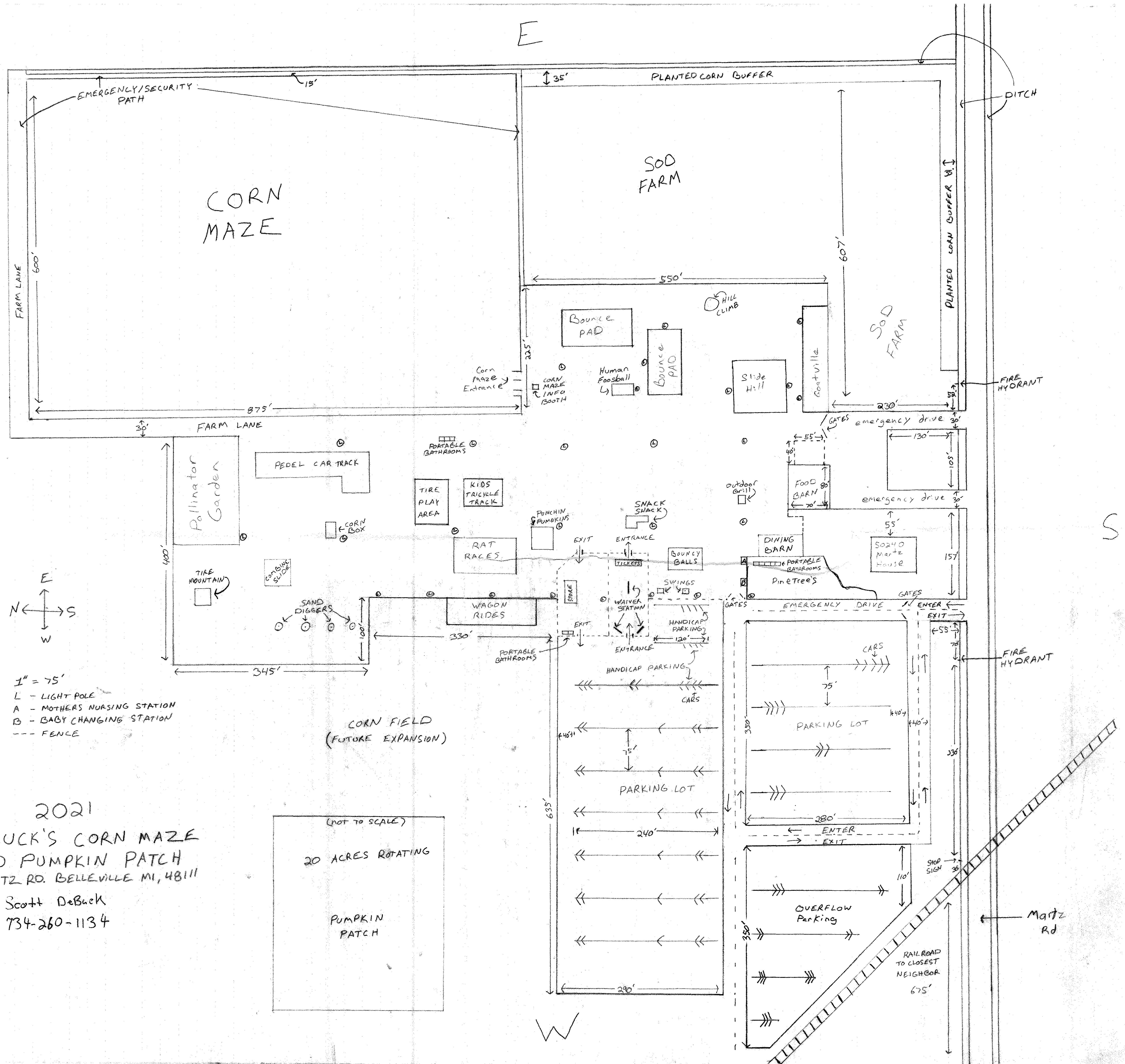
We have had a successful 13 years of running and operating our wonderful farm for guests to visit from all over with their families. We are requesting for a 15 year special use permit.

If you have any further question please feel free to reach out.

Thank you,

Scott DeBuck
734-260-1134
scottdebuck@gmail.com

2021
 DEBUCK'S CORN MAZE
 AND PUMPKIN PATCH
 50240 MARTZ RD. BELLEVILLE MI, 48111
 Scott DeBuck
 734-260-1134



Request for Application for Permanent Special Land Use Permit for DeBuck's Corn Maze and Pumpkin Patch

We have been in business in Van Buren Township for over 40 years and have run a clean operation with no complaints and we intend to continue the same with DeBuck's Corn Maze and Pumpkin Patch.

New Lawn Sod Farm was started in 1980 at 50240 Martz Rd, Belleville, Michigan, as a successful sod farm. In 2008, it became necessary to diversify our business to stay profitable. DeBucks Corn Maze and Pumpkin Patch was born. We have had the corn maze and pumpkin patch under a Planning Commission Approval for a temporary special land use permit since 2009. With each year, the corn maze and pumpkin patch have grown. In order to keep growing the business, we need to go from temporary to a permanent special land use permit. Our land is used for agricultural purposes in both operations.

The corn maze season starts around Labor Day and runs through Halloween. We offer school field trips Monday through Friday. Fridays, Saturdays and Sundays are open to the public. We are "The Family Fun Farm", your place to go to enjoy a farm experience. Presently we offer the corn maze, corn box, U-pick pumpkin patch with wagon ride, petting farm, jump pads, pedal carts and food to go with it. We have 200 acres of land at this location being used for the sod and the agritourism business.

During the spring and summer season we do offer private parties and corporate event activities in which our U-Pick farm is open. All activities given careful consideration for safety for our guests. In the future we would like to possibly expand our buildings to include, but not limited to, indoor restrooms, pavilions, equipment storage and retail space.

We planted a 75 foot buffer of grass along Martz Road. We decorate with straw bales and pumpkins to have a nice professional appearance when cars drive past our place of business.

If there are any more questions, feel free to call

Scott DeBuck	734-260-1134
Norman DeBuck	734-260-1136

Corn Maze

Debuck's Corn Maze and Pumpkin Patch
50240 Martz Road
Belleville MI 48111

Section 4.44 Temporary Land Uses

A. Temporary land uses and activities intended for more than 7 consecutive days or 2 consecutive weekends.

1. We are open Labor Day and will close for the season October 31st
2. From Labor Day until October 31st, weekday tours are done by appointment only.
(Schools, church groups, etc)

B. Adequacy of parking and access.

1. We have 10⁺ acres that will park 1,000 cars. We have the availability to expand the lot if needed. There will be NO PARKING on Martz Road, so this should not be an issue. We have one entrance and one exit off of Martz Road. The driveway into the parking lot off of Martz Road.
2. We also have an emergency entrance or exit.
3. We have a dedicated area for handicap parking that accommodates over 50 cars. We have 15 handi-cap van parking spots available.

C. Adequate Drainage

1. All of our property has adequate drainage and has never had an issue with standing water. We do not plan to change any existing ground levels.

D. Sufficient setbacks from right-of-ways and lot lines.

1. Will not effect any road right-of-way, nor any lot lines.
2. All set beaks measurements are on the site plan.

E. Adequate Utilities

1. The existing utilities on site are adequate. If more is needed, generators will be used.

F. Sanitary Facilities

1. Our pole bar contains two restrooms, one of which is handicap accessible. Both bathrooms have a sink with hot and cold water. We also rent portable restrooms which are placed in the common area, with three portables being handicap accessible.
2. Sanitary facilities are checked and cleaned multiple times a day. The portable restrooms are emptied by the vendor on a need to be basis.

G. Hours of Operation

From Labor Day to October 31st

Pumpkin Patch Weekdays: 9am-7pm

(This is for those who wish to drive to the patch to pick pumpkins only.)

Friday	9am-7pm
Saturday	10am-7pm
Sunday	10am- 7pm

H. Outdoor Lighting and signs

1. We have a 4 foot by 8 foot sign next to the entrance/exit driveways. This sign will be permanent. It is on the site plan, 30 to 40 feet off the road.
2. We also have the same size at the corner of Martz Road and Rawsonville Road. This sign is temporary from mid-August until November 2nd.
3. We have existing light posts around the property and in the parking lot. We are only open during the daylight hours.

I. Licenses or Permits Required

1. We offer food concessions and have taken the necessary steps to get the required permits from the health department.

J. Potential noise, odor, dust and glare

1. Noise will not be an issue. The corn maze muffles noise so that even the closest neighbors should not hear anything. Traffic generally doesn't become a problem as they can start and finish the maze anytime during the opening and closing hours. Not everyone arrives and leaves at the same time.
2. There will be no odors. Trash will be dumped daily.
3. We have not had any dust problems. Our driveway and parking lot will be on a sod field. However, if dust becomes an issue, we have a water tank available to spray problem areas down.
4. We are only open during the daylight hours, however, our building area is adequately lit.

K. Fire lanes, Fire Protection and Security

1. Our emergency drive will have signage at the road to prevent traffic from entering.
2. For Emergencies, we have three (3) entrances that an emergency vehicle can gain access to. We also have an emergency/security road that will surround the corn maze. Basic first aid will be readily available. In case of an emergency, all employees have radio and/or cellphones. In case of an occurrence of an emergency, calls can be made immediately.
3. Security- There are two (2) corn cops who patrol the maze. These employee's help lost guests and safeguard the maze against damage. There will be a tower where an employee is stationed so they can see over the whole maze. Around the perimeter of the maze is a 30 foot security path that will have signs every 75 feet with directions on how to get back into the maze. (Just in case someone wanders outside the maze.) The employee on the tower (Slide Hill) radios calls the corn cops and sends them to help the lost maze visitor. We have maps for our customers and checkpoints through the maze to prevent anyone from NOT finding their way out. We also have our employees trained to memorize the maze and will randomly walk through during hours of operations. Our corn cops are the ones that maintain the maze by fixing torn tape, picking up trash and debris and making sure the maps at the checkpoints are in place.
4. Fire Protection- There is no smoking in our corn maze, concession area, or wagon rides to the pumpkin patch. Several fire extinguishers are placed in accordance with our fire department's specs and are inspected annually.

L. Performance bond or insurance

1. We have met with our insurance carrier and have adequate liability coverage for this operation.

Section 4.33 Information Required.

A. The name, address and telephone number of the property owner

Norlin Investment
50240 Martz Road
Belleville, MI 48111
734-481-0033 Office
734-260-1134 Scott DeBuck

B. A note to pick up debris within property limits weekly or as needed.

1. On a daily basis there will be trash cleaned up. It is in our own best interest to keep our property well maintained along with the roadside that is along our property.

C. A Statement on intended phases of the project.

1. Future expansion may include a retail barn to sell items. The retail store will carry fall and Halloween related items, such as Halloween trinkets and DeBuck's Corn Maze T-shirts.

D. The location of all rubbish receptacles and the location, height and type of fences and walls to screen receptacles.

1. We have a dumpster for all rubbish, it will be placed next to our sod farm barn. The barn will be located 100 feet and will be hidden from customers.

E. Recreation and open spaces areas

1. The inside of our pole barn is the kitchen and bakery. Outside there are over 10 acres of open space (common area) with games and activities for children. Corn box, straw bale maze, slides, pedal car truck, pedal trike rides, corn maze and more.
2. We also have a 40 x 80 pavilion style barn for our guests to sit and rest and to eat their food.

Emergency Questions and Scenarios

Crowd Control

We have our employees to keep an eye on things and on busy weekends in October if necessary we will have more security on the grounds.

First Aid

We have first aid kits at our ticket booth and also in our food barn located next to the maze. If an emergency comes up too big for us to handle we have cell phones and will call for an ambulance by dialing 911.

Lost in Maze

There are maps handed out at the entrance of the maze and there are checkpoints throughout. If someone is scared they can yell "I am lost" and one of our employees will go in and help escort them out. No one is confined; they are in an open field. If they happen to get really scared they are able to walk through the corn field. Walking straight through the corn field only during these emergency types of situations, as it is not recommended, as it will damage the corn.

Emergency Exit

If there is an emergency we have a third drive blocked off that we can open for access.

Bad Behavior

If someone is displaying bad behavior we control the problem in a calm fashion. If that is unable to be achieved, we will call the police immediately.

Debuck's Corn Maze and Pumpkin Patch

"The Family Fun Farm"

50240 Martz Road

Belleville MI 48111

2021 Days of Operation

Labor Day thru October 31, 2021

HOURS:

Friday	9am-7pm
Saturday	10am-7pm
Sunday	10am- 7pm

Debuck's U-Pick dates vary depending on growing conditions.

Starting the end of June, it will be estimated 3 days per week from 9am-5pm

*Ticket Sales end one (1) hour prior to closing time.

Rules of Our Maze:

We want your visit to DeBuck's Corn Maze and Pumpkin Patch to be a great one! Please observe the following rules for your safety.

- **Absolutely NO SMOKING!**
- **No pets** -unless assisting person(s) with disabilities
- **Stay on path**
- **No pushing or shoving**
- **No picking or throwing corn**
- **Don't pull corn plant leaves** (Ever had a paper cut? Imagine one that is ten times more painful!)
- **No running**
- **No drugs or alcohol**
- **No littering**
- **No inappropriate language**
- **No fighting-** You will be escorted from the grounds by one of our security officers and they mean business!
- **Respect other guests**
- **And Remember.....HAVE FUN!**

When on our Wagon Ride, **stay seated at all times.**

When you're in the corn box, the corn needs to **stay in the corn box.** It is not feed for the animals.

**THERE IS A \$500 FINE FOR ANY DAMAGE OR
VANDALISM CAUSED TO THE CORN MAZE OR ANY
DAMAGE TO OUR PROPERTY!**

PUMPKIN PATCH RULES

Everyone must carry his or her own pumpkin. You can set it down as many times as you like, but no rolling.

Be careful not to break the stem off your pumpkin (carry the pumpkins by its bottom, not by the stem)

Look over your pumpkins for ant rotten spots.

We provide handicap wagons with nice ramps to assure all guests make it out the patch.

Everyone must have fun at all times.

WHEN YOU VISIT

So you've decided to visit the farm! Wonderful! We can't wait to see you! Here are some tips that others have benefited from during their visit.

Make sure you dress appropriately for the outdoors, particularly when it comes to shoes.

Bring a stroller with you if you're visiting with small children. They will get really tired walking through the trails even if you are an excellent navigator.

Leave any items you can't afford to lose in the cornfield at home. There is nothing worse than searching for a watch or ring amidst a couple hundred thousand stalks of corn!

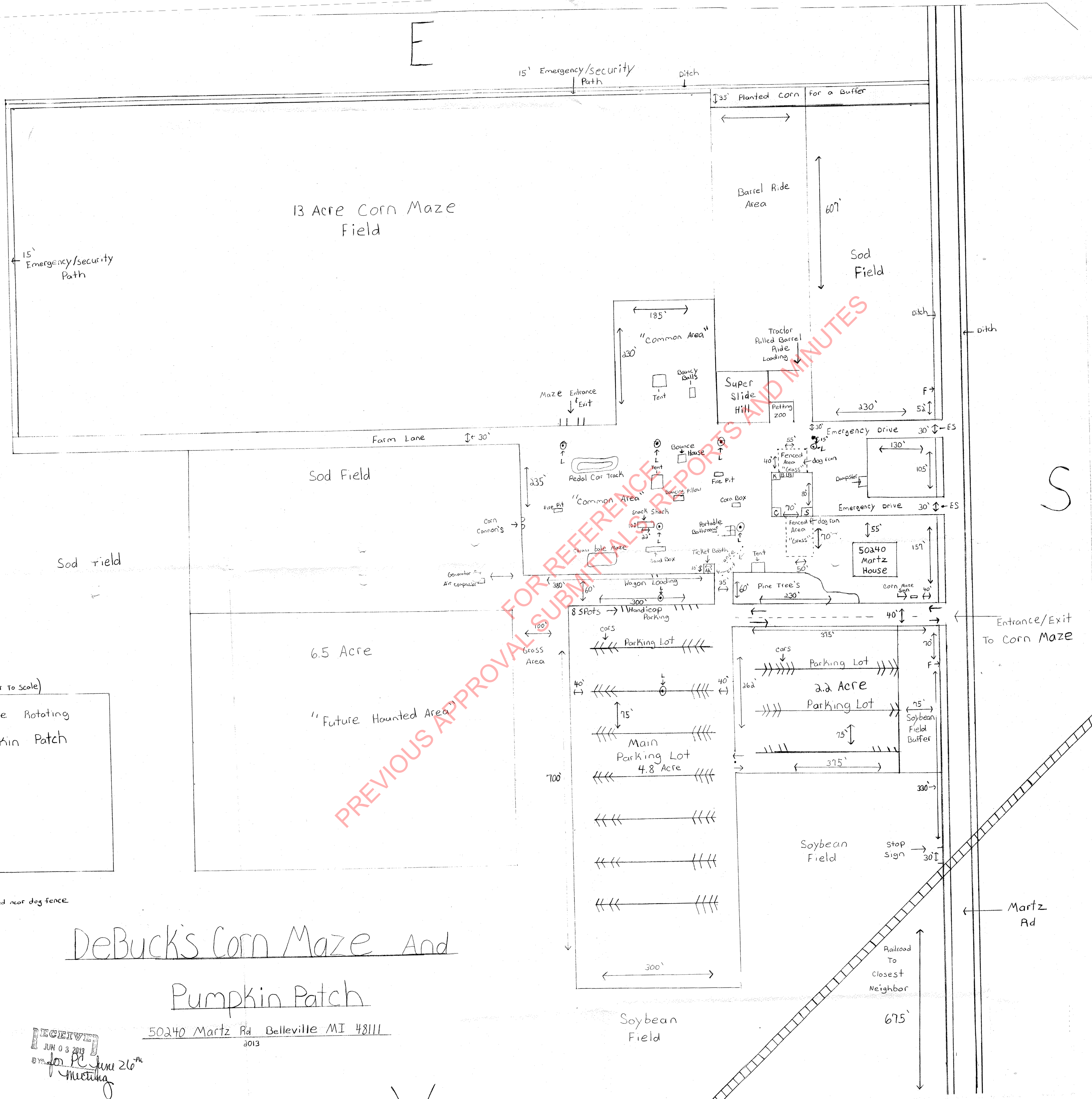
LOCATION

50240 Martz Road
Belleville, MI 48111

We are located 30 minutes from Detroit and only 15 minutes from Ann Arbor.

Directions:

1-94 (exit 187), turn south on Rawsonville Road for 2 ½ miles. Turn East onto Martz Road. DeBuck's Corn Maze and Pumpkin Patch is ½ mile on the left.

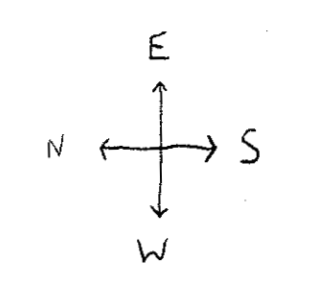


- ES - Energy Signs
- - Electric Pole - Located near dog fence
- F - Fire Hydrant
- C - Concession
- B - Bathroom
- L - Light Pole
- 1" = 75'
- S - Retail store
- K - Kitchen

DeBuck's Corn Maze And Pumpkin Patch

50240 Martz Rd Belleville MI 48111

RECEIVED
JUN 03 2013
for PC Meeting



RECEIVED
JUN 03 2013

BY:.....

1,
"Snack Shack"



• These poles are in the front of our New Lawn Sod Farm office, there is plenty of room for any Emergency vehicles To get past the Light Pole you have asked us to move. You can see here by this Picture it is not necessary.



“ Ticket booth ”





PREVIOUS APPROVED REPORTS AND MINUTES









June 14, 2013

Planning Commission
Charter Township of Van Buren
48425 Tyler Road
Belleville, MI 48111

Attention: Arthur Mullen, Interim Director of Planning and Economic Development

**Subject: VBT-13-004 SLU, DeBuck Corn Maze, Temporary Land Use Review #2, Plans Not Dated,
Received June 10, 2013**

Dear Commissioners:

The applicant, Norman DeBuck, received three-year temporary use approval in 2010 for his seasonal corn maze and associated activities on approximately 25 acres north of Martz Road, west of Hoeft Road and east of the railroad tracks. The land is used as a sod farm for most of the year, with the corn maze operating between Labor Day and Halloween. Mr. DeBuck originally applied for special use approval, but after finding out that substantial improvements would be required to meet the standards as a permanent use, he decided to apply instead for Temporary Land Use approval under Section 4.44 of the Zoning Ordinance. The site and surrounding parcels are zoned AG, Agricultural and Estates District. The Planning Commission discussed the application and asked for revisions and additional information at the May 8, 2013 meeting. Below are our comments on the revised submission regarding the issues raised at that meeting and in our previous letter (dated May 6, 2013).

COMMENTS

We have reviewed the application and the requirements of Section 4.44 for granting temporary use approval. All of our previous comments have been addressed except as follows:

1. **Future Attractions.** On the previous plan, there were several attractions labeled as "future" uses. They have been removed from the plan.
2. **Adequacy of parking and access (Section 4.44.c.1)**
 - a. Two parking areas totaling just less than 7 acres are on the plan. This is a substantial increase over the 150 cars the site was limited to in the 2010 approval. The area of proposed parking shown could hold between 500 and 700 cars, depending on the width of the aisles. The parking area has been reduced slightly (removing approximately 70 spaces) and set back 75 feet from Martz Road. We support moving the parking away from Martz Road, but continue to recommend that the parking area be limited to the 4.8 acre "Main Parking Lot" on the plan.
 - b. The dimensions of the proposed parking spaces must be added to the plan. The drive aisles are labeled as 75 feet wide. This is much wider than necessary (required drive aisles for angled spaces range from 12-15 feet depending on the angle of the spaces).

Wider-than-required aisles are acceptable, but additional cars could be parked on a smaller area with narrower aisles.

- c. An area for "handicapped parking" has been provided in the parking area. Barrier free parking spaces must be specifically dimensioned with identifying signs noted.

3. **Compatibility with surrounding land uses (Section 4.44.c.3)** The applicant has submitted an expanded use statement and addressed all of our previous questions except the following:

- a. A list of menu items for the concession stand has been included. Donuts are included, but the use statement does not include donut making in its description of the kitchen. Will donuts be cooked on-site?
- b. The fenced in areas next to the concession stand building are dog runs. It still appears that patrons have to pass through one of the dog runs to reach the restrooms. How does this work?
- c. Photos of the proposed activities have been provided, and details of the use of the maze and other attractions have been included in the use statement. There are several attractions listed in the use statement that are not shown on the plan, including the sand mountain, the straw pyramid, the tire play area, and the duck races. The use statement should note where these activities would be located (in the general activity area?).
- d. No information regarding the types of items to be sold at the "retail store" has been included.

4. **Adequate utilities (Section 4.44.c.6.)** The expanded use statement says that a generator will be used in addition to the electrical service on the site. The use statement should note that the generator will be muffled with straw as discussed at the May 8 meeting.

5. **Outdoor lighting and signs (Section 4.44.c.10.)** Pictures of the light poles have been submitted. They are 15 feet tall with lights that are downward facing but not shielded. We recommend that shielding be added, if possible.

6. **Other licenses and permits required (Section 4.44.c.11.)** Evidence of all required permits and approvals must be provided to the Township prior to commencing operations.

7. **Potential noise, odors, dust and glare (Section 4.44.c.12.)** The means to control noise, odors, glare of lights and dust have been included in the written use statement. We recommend that the Planning Commission consider these procedures sufficient.

8. **Fire lanes, fire protection and security (Section 4.44.c.13.)** Information on security and fire protection measures has been included in the use statement. Comments should be obtained

from the Township Public Safety Department.

9. **Off-site impacts of traffic volumes (Section 4.44.c.14.)** Consistent with the previous approval, traffic should be directed to get to Martz Rd. and the site via Rawsonville Road. That plan should note that traffic will be directed to enter and exit from the west, in order to minimize off-site traffic impacts. The use statement says that the driveway to the parking lot will be "split" to enter and exit onto Martz Road. It is not clear what this means and the split is not shown on the site plan. If the split will direct traffic to turn right (west) onto Martz Road, then we support that design.
10. **Necessity of a performance bond or insurance to ensure prompt termination and removal of the use, clean up or compensation for the impacts if the temporary use (Section 4.44.c.15.)**
The applicant has taken responsibility and cared for the site well in past years. We believe no such performance guarantee is needed, except as may otherwise be required by the Township.

RECOMMENDATION

We strongly believe the use is an asset to the community, and that it can be operated without impacting the neighbors. We could recommend approval of the use for up to 6 years, subject to the following items being addressed to the satisfaction of the Planning Commission:

1. The plan must be revised to show the layout, parking space and aisle dimensions consistent with the Ordinance, and the capacity of all parking areas. Barrier-free parking spaces must be dimensioned and signed. The number of spaces shall not exceed the number determined by the Planning Commission.
2. Whether donuts will be baked on the site must be clarified.
3. The screening and noise muffling of the proposed generator must be added to the use statement.
4. The type of items to be sold at the "retail store" added to the use statement.
5. The route to the restrooms should avoid the dog run.
6. The design of the "split" in the main driveway should be explained.
7. All attraction/activity structures proposed must be shown on the site plan, and note in general where the activities not on the plan would be located.
8. Add shielding to the outdoor lights.
9. Notation on the plan that traffic will be directed to enter and exit via Rawsonville Rd.

10. Planning Commission determination of the duration of the approval. We recommend six years.
11. Copies of all required permits must be submitted to the Township prior to commencing operations.
12. Approval of the Public Safety Department.

Respectfully submitted,

McKENNA ASSOCIATES



Sara J. Hodges, AICP, IAP2
Senior Vice President



Christopher Khorey, AICP
Associate Planner

FOR REFERENCE
PREVIOUS APPROVAL SUBMITTALS, REPORTS AND MINUTES

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION MINUTES
MAY 8, 2013**

Chairperson Thompson called the meeting to order at 7:30 p.m. Present: McKenna, Budd, Kelley, Boynton, Johnson, Guenther and Thompson. Staff Present: Interim Director Mullen and Secretary Harman. McKenna Associate present: Sally Hodges. There were 10 people in the audience.

APPROVAL OF AGENDA:

Motion Johnson, Boynton second to approve the agenda of May 8, 2013 as presented.

Motion carried.

MINUTES:

Motion Boynton, McKenna second to approve the minutes of April 24, 2013 as presented.

Motion carried.

PUBLIC HEARING:

ITEM #1 CASE# RZ13-001

TITLE: THE APPLICANT, FAWWAZ JARBOU, IS REQUESTING TO REZONE 2.23 ACRES OF PROPERTY CURRENTLY ZONED C LOCAL BUSINESS AND AG AGRICULTURAL TO C-1 GENERAL BUSINESS.

LOCATION: PARCEL NUMBER V-125-83-045-99-0001-701 IS THE SUBJECT PROPERTY OF THIS REQUEST. THIS PARCEL IS LOCATED AT THE SOUTHWEST CORNER OF ECORSE AND HANNAN ROADS.

Motion Budd, Boynton second to open the public hearing. Motion Carried.

The applicant Fawwaz Jarbou gave the presentation. He is requesting to rezone parcel number V-125-83-045-99-0001-701 to C-1 general business to allow for better development opportunities. He currently owns the parcel located across the street in Romulus which is already in the process of being developed.

No comments from Commissioners.

Resident feels the rezoning of the parcel is contrary to the Master Plan.

Motion Kelley, Johnson second to close the public hearing. Motion Carried.

OLD BUSINESS:

ITEM #1 CASE# TLU13-003

TITLE: THE APPLICANT, PHANTOM OF MICHIGAN, IS REQUESTING FINAL APPROVAL TO HOLD "TENT" SALES OF RETAIL GOODS BEYOND THE SEVEN CONSECUTIVE DAYS ALLOWED AS-A-RIGHT IN THE ZONING ORDINANCE FOR TEMPORARY LAND USE UNDER SECTION 4.44 OF THE TOWNSHIP ZONING ORDINANCE 06-02-92, AS AMENDED.

LOCATION: THIS SITE IS LOCATED IN THE LAKEWOOD SHOPPING PLAZA AT 2095 RAWSONVILLE ROAD. THE SUBJECT LOCATION IS ON THE EAST SIDE OF RAWSONVILLE ROAD SOUTH OF THE I-94 SERVICE DRIVE.

Rick Tapper of Phantom of Michigan gave the presentation. He is asking for twelve (12) days for tent sales in the Lakewood Shopping Plaza running from June 25th – July 6th. A new layout has been submitted, the insurance certificate has been changed to include Van Buren Township as additionally insured as requested

and the County has been corrected to Wayne County. Commissioner Boynton noted that all the changes were good and referenced that in the general notes to have Item #1 match the layout with the language stating three (3) fire extinguishers located on opposite sides of the structure. Interim Director Mullen requested comments from the Public Safety and Fire Departments. Commission Boynton read the Public Safety recommendations to the Commissioners and the audience.

No comments from the audience.

Motion Kelley, Boynton second to grant final approval to hold tent sales of retail goods beyond the seven consecutive days allowed as-a-right in the zoning ordinance for temporary land use under section 4.44 of the Township Zoning Ordinance 06-02-92, as amended, for the dates of June 25th – July 6th, 2013, along with recommendations in the Public Safety Department letter dated 5-8-13, Director Mullen's letter dated 5-3-13 and the Fire Department letter dated 5-3-13. Motion Carried.

ITEM #2 CASE# TLU13-004
TITLE: THE APPLICANT NEW LAWN SOD FARM IS REQUESTING TEMPORARY LAND USE APPROVAL FOR FACILITIES USED ON A SEASONAL BASIS BEYOND THE SEVEN CONSECUTIVE DAYS ALLOWED AS-A-RIGHT IN THE ZONING ORDINANCE FOR TEMPORARY LAND USE UNDER SECTION 4.44 OF TOWNSHIP ZONING ORDINANCE 06-02-92, AS AMENDED.

LOCATION: PARCEL NUMBER V-125-83-121-99-0008-000, ALSO KNOWN AS 50240 MARTZ ROAD AND V125-83-124-99-0001-003. THE SUBJECT PARCELS ARE LOCATED ON THE NORTH AND SOUTH SIDES OF MARTZ ROAD BETWEEN HOEFT AND RAWSONVILLE ROADS.

The Applicants Norm and Scott Debuck gave the presentation. The temporary land use request is for operation as a corn maze and pumpkin patch entertainment venue. The property is 25 acres plus additional pumpkin acres. The previous temporary permit for operation was for three (3) years, the applicants would like a longer time frame of six to seven (6-7) years.

Sally Hodges of McKenna Associates summarized her review letter dated 5-6-13 and gave recommendations to the Applicants.

Commissioner McKenna expressed concern with the 6-7 year time frame locking in what is provided in the plans. The Applicants spend \$20,000-\$40,000 each year in improvements and would like to save on permit and approval fees as most changes will only be to activities already on the property.

The Planning Commission will give the applicant a chance to make revisions and to define the structures and boundaries on the plan and bring it back before the Commission at a future date for approval.

GENERAL DISCUSSION:

No comments from Commissioners or the audience.

Motion Boyton, Kelley second to adjourn at 8:35 p.m.

Motion carried.

Respectfully Submitted,

Christina Harman,
Recording Secretary

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION MINUTES
JUNE 26, 2013**

Chairperson Thompson called the meeting to order at 7:30 p.m. Present: Johnson, Guenther, Boynton, McKenna and Thompson. Excused: Kelley and Budd. Staff Present: Director Mullen and Secretary Harman. McKenna Associate present: Sally Hodges. There were 5 people in the audience.

APPROVAL OF AGENDA:

**Motion McKenna, Johnson second to approve the agenda of June 26, 2013 as presented.
Motion carried.**

MINUTES:

**Motion Johnson, McKenna second to approve the minutes of June 12, 2013 as presented.
Motion carried.**

PUBLIC HEARING:

**ITEM #1 CASE# SPU13-006
TITLE: THE APPLICANTS, MARK AND MADONNA MROCCA, ARE REQUESTING
SPECIAL APPROVAL FOR A GROUP DAYCARE HOME IN SINGLE FAMILY
RESIDENTIAL DISTRICTS UNDER SECTION 7.03 OF THE TOWNSHIP ZONING
ORDINANCE 06-02-92, AS AMENDED.**

**LOCATION: PARCEL NUMBER V125-83-073-01-0001-001, ALSO KNOWN AS 50375 SOUTH I-94
SERVICE DRIVE, IS THE SUBJECT PARCEL OF THIS REQUEST. THE
PROPERTY IS LOCATED ON THE SOUTH I-94 SERVICE DRIVE BETWEEN
RAWSONVILLE AND DENTON ROADS.**

Motion Johnson, McKenna second to open the public hearing. Motion Carried.

Attorney Will Hawley was present to represent the applicant and answer questions. The applicant is requesting approval for a group childcare facility for less than 12 children, all preschool age. The request is to move their current facility from their residential home to this property. The final site plan still needs to be submitted; there are no major proposed changes to the property. The applicants will also submit a site plan with parking and traffic plans.

No comments from the audience.

Commissioner McKenna inquired about a burned out vehicle located on the property by the garage. Hawley stated that the vehicle is on the neighbor's property as there had been a recent fire.

Resident inquired what a group daycare home is. Hodges of McKenna Associates explained the different levels of daycare facilities and informed that the group daycare requirements mirror the state standards.

Motion McKenna, Johnson second to close the public hearing. Motion Carried.

OLD BUSINESS

**ITEM #2 CASE# TLU13-004
TITLE: THE APPLICANT NEW LAWN SOD FARM IS REQUESTING TEMPORARY
LAND USE APPROVAL FOR FACILITIES USED ON A SEASONAL BASIS
BEYOND THE SEVEN CONSECUTIVE DAYS ALLOWED AS-A-RIGHT IN THE
ZONING ORDINANCE FOR TEMPORARY LAND USE UNDER SECTION 4.44 OF
TOWNSHIP ZONING ORDINANCE 06-02-92, AS AMENDED.**

LOCATION: PARCEL NUMBER V125-83-121-99-0008-000, ALSO KNOWN AS 50240 MARTZ ROAD AND V125-83-124-99-0001-003. THE SUBJECT PARCELS ARE LOCATED ON THE NORTH AND SOUTH SIDES OF MARTZ ROAD BETWEEN HOEFT AND RAWSONVILLE ROADS.

The applicants, Norm and Scott Debuck gave the presentation. The applicants would like a twelve (12) year special use permit to due to the success of their operation and the need to expand. The longer period of time allows investment for improvements and return on costs associated to the applicant's proposed improvements.

Hodges of McKenna Associates gave presentation and reviewed letter dated June 14, 2013 with recommendations.

Commissioners discussed parking changes. The applicants would like to keep parking spaces larger to allow for all vehicle sizes and ADA accessibility. Director Mullen noted that at the busiest time last year there were 500 cars, if the Commission allows for 500 "country" parking spaces, on a busier day the sizes could be reduced to accommodate more parking as needed.

Commissioners agreed to approve an eight (8) year time duration for the applicants.

Commissioner Boynton suggested the addition of a first aid paragraph located on the plan to detail what happens if an ambulance is needed. Boynton also suggested the Debuck's may want to establish a first aid area and have it staffed. First responder training programs are available periodically during the year free of charge. Scott Debuck will look into first responder training this winter, and they are considering an area in the ticket booth to be dedicated for first aid.

Motion Boynton, Johnson second to grant the applicant New Lawn Sod Farm temporary land use approval for facilities used on a seasonal basis beyond the seven consecutive days allowed as-a-right in the zoning ordinance for temporary land use under section 4.44 of the township zoning ordinance 06-02-92, as amended. Located at parcel number V125-83-121-99-0008-000, also known as 50240 Martz Road and V125-83-124-99-0001-003, subject parcels are located on the north and south sides of Martz Road between Hoeft and Rawsonville Roads. Along with the recommendations as stated in the McKenna Associates letter dated June 14, 2013 including the discussed amendments: the number and dimensions of handicapped parking spaces to be included on the plan; the number of "country" parking spaces not to exceed 500; notation in the use statement for visitors to enter and exit on Rawsonville Road; Planning Commission's approval of an eight (8) year period; copies of all required permits submitted to the Township before commencing operation; and approval of the Public Safety Department. Motion Carried.

GENERAL DISCUSSION:

No comments from Commissioners or the audience.

Motion Boynton, Johnson second to adjourn at 8:10 p.m.

Motion carried.

Respectfully Submitted,

Christina Harman,
Recording Secretary