

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, December 8, 2021 – 7:30 PM
REMOTE MEETING –AGENDA**

To mitigate the spread of COVID-19, protect the public health, and provide essential protections to Van Buren Township residents; this Van Buren Township's Planning Commission meeting will be conducted virtually as permissible under Public Acts of 2020 Act No. 254 and Declaration of a Health Emergency in Wayne County. To participate in the meeting electronically, the public may follow the instructions below.

- Join by weblink: <https://us06web.zoom.us/j/82380354024>
- Or dial in by phone: 1 301 715 8592
- Webinar ID: 823 8035 4024

CALL TO ORDER:

ROLL CALL:

ELECTION OF OFFICERS:

- **Item #1:** **Chairperson**
- **Item #2:** **Vice-Chairperson**
- **Item #3:** **Secretary**

APPROVAL OF AGENDA:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of November 10, 2021.

CORRESPONDENCE:

PUBLIC HEARING:

NEW BUSINESS:

ITEM #1: **CASE 21-019: BURGER KING DRIVE-THRU PRELIMINARY SITE PLAN**

TITLE: The applicant Inter Plan, LLC on behalf of owner Brauvn Net Investments, LLC seeks preliminary site plan approval to construct a secondary drive-thru lane along with landscaping and architectural improvements associated with the remodel of a Burger King restaurant.

LOCATION: 11550 Belleville Road, tax parcel 83-081-99-0004-002. On the west side of Belleville Road between South Interstate 94 Service Drive and Venetian Avenue.

ACTION ITEMS: A. Presentation by the applicant.
 B. Presentation by the Township Staff.

- | | |
|----------------------|--|
| ITEM # 2: | DISCUSSION TOPIC – CONCEPTUAL COMMERCIAL LAND USE BY ABBAS HAMID |
| TITLE: | THE APPLICANT, ABBAS HAMID, WOULD LIKE TO DISCUSS A CONCEPTUAL SET OF COMMERCIAL LAND USES. |
| LOCATION: | The site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads. |
| ACTION ITEMS: | A. Presentation by the applicant.
B. Public comment
C. Planning Commission discussion. |
| ITEM # 3: | ADAPTIVE OUTDOOR RETAIL AND DINING – RELAXATION OF CERTAIN REGULATIONS – 2022 EXTENSION |
| ACTION ITEMS: | A. Presentation by Township staff.
B. Consideration of recommendation by Planning Commission. |
| ITEM # 4: | 2021 Planning Commission Annual Report |
| ACTION ITEMS: | A. Overview by the Township Staff.
B. Planning Commission discussion.
C. Planning Commission considers approval of the annual report. |
| ITEM # 5: | 2022 Planning Commission Meeting Schedule |
| ACTION ITEMS: | A. Overview by the Township Staff.
B. Planning Commission discussion.
C. Planning Commission considers approval of the meeting schedule. |

GENERAL DISCUSSION AND UPDATES

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION - VIRTUAL MEETING ON ZOOM
November 10, 2021
MINUTES - DRAFT**

Prior to the start of the meeting, the public was given instructions on how to take part in the meeting.

Acting Chairperson Kelley called the meeting to order at 7:40 p.m.

ROLL CALL:

Present: Jahr, Cullin, Atchinson, Barr, Budd and Kelley.

Excused: None.

Staff: Director Power and Secretary Harman.

Planning Representatives: McKenna Associates, Vidya Krishnan and Adam Cook.

Applicant(s) in Attendance: None.

Audience: Six (6).

APPROVAL OF AGENDA:

Motion Atchinson, Cullin second to approve the agenda of November 10, 2021 as presented.

Roll Call:

Yeas: Budd, Barr, Atchinson, Cullin, Jahr and Kelley.

Nays: None.

Absent: None.

Motion Carried.

APPROVAL OF MINUTES:

Motion Budd, Jahr second to approve the regular meeting minutes of October 27, 2021 as presented.

Roll Call:

Yeas: Atchinson, Barr, Budd, Cullin, Jahr and Kelley.

Nays: None.

Absent: None.

Motion Carried.

NEW BUSINESS:

ITEM #1: WORK SESSION: SUMPTER ROAD CORRIDOR PLAN.

THE PLANNING COMMISSION AND MASTER PLAN CONSULTANT, MCKENNA ASSOCIATES WILL PRESENT A VISION STATEMENT, DRAFT RECOMMENDATIONS FOR FUTURE LAND USE AND A DRAFT REGULATING PLAN FOR THE SUMPTER ROAD CORRIDOR FROM BEMIS ROAD TO THE CITY OF BELLEVILLE LIMITS.

Motion Cullin, Barr second to open the work session.

Roll Call:

Yeas: Budd, Barr, Atchinson, Cullin, Jahr and Kelley.

Nays: None.

Absent: None.

Motion Carried.

Director Power gave a brief overview of the Sumpter Road Corridor Plan. Information from the public input session at Fire Station 1 was presented at the 9-8-21 Planning Commission meeting and a Subcommittee was established of Commissioners Atchinson, Barr and Jahr. The Subcommittee helped to guide the process and involved representatives from both Sumpter Township and the City of Belleville. Since the September meeting, ideas for future land use have been revised and tailored to meet the future use and needs of the district. Director Power deferred to Adam Cook of McKenna Associates for his Sumpter Road Corridor Plan presentation.

Adam Cook of McKenna Associates presented his Sumpter Road Corridor Plan PowerPoint presentation. Mr. Cook discussed the following: the Sumpter Corridor Vision Statement, proposed Future Land Use Map amendments (displayed in PowerPoint presentation), proposed regulating plan and associated building types and an introduction to proposed zoning plan and corridor land uses.

The Vision Statement: The Sumpter Road Corridor is a southern gateway to Belleville and the economic centers of Van Buren Township. It also serves as a transition to the rural, southern portion of the Township. The community's vision for the Corridor is embodied in the following principles:

- The existing semi-rural character of the Corridor will be preserved and protected into the future;
- The Corridor will accommodate a mix of land uses that are appropriate for its existing character and location within the township;
- New buildings along the Corridor will be traditional in appearance, appropriately scaled and adaptable to evolving future circumstances;
- Sumpter Road and nearby local streets will be safe, serene and attractive places for all who use them – including pedestrians, cyclists and motorists.

Proposed Regulating Plan and Associated Building Types: The regulating plan allows for four (4) different types of lots which allow for different types of buildings. The four (4) different types of lots are: anchor lots, landlocked lots, primary lots (deep) and primary lots (shallow). The building types are: cottage retail building, liner building, mixed use building, retail building, artisan/studio/craft/culinary building, barn building, kiln house building, maker space building, workshop building, accessory dwelling unit and detached garage (accessory).

The proposed allowable building types for each lot type are as follows:

Anchor Lots

- **Primary Layer (toward front):** Liner Building, Mixed Use Building, Retail Building and Cottage Retail Building.
- **Secondary (toward rear):** Artisan/Studio/Craft/Culinary Building, Barn, Kiln House and Workshop.

Primary Lots (shallow)

- **Primary Layer (toward front):** Liner Building, Mixed Use Building, Retail Building, Cottage Retail Building, Single Family Residential (if access exists to a residential side street) and Maker Space.
- **Secondary Layer (toward rear):** Accessory Dwelling Unit (if access exists to a residential side street) and Detached Garage/Shed.

Primary Lots (deep)

- **Primary Layer (toward front):** Cottage Retail Building, Single Family Residential, Accessory Dwelling Unit and Detached Garage/Shed (accessory).
- **Secondary Layer (toward rear):** Artisan/Studio/Craft/Culinary, Barn, Kiln House, Workshop, Detached Garage/Shed (accessory) and Accessory Dwelling Unit.

Landlocked Lots

- Cottage Retail Building, Single Family Residential, Accessory Dwelling Unit, Detached Garage/Shed (accessory), Artisan/Studio/Craft/Culinary, Barn, Kiln House and Workshop.

Mr. Cook discussed and displayed two Sumpter Rural Settlement developments for the southwest and southeast corners of Sumpter and Hull Roads. The Hamlet development with agricultural preservation and a Planned Residential Development with greenways to preserve open space. Each of the development plans have 1 unit per acre gross density, the Hamlet development mirrors the neighboring Chaney Street subdivision.

Commissioners had the following questions and comments:

- What are the anchor lot sizes? Would like to make sure that parking is in the rear for the Liner Building. Mr. Cook confirmed that the lots have about 500 feet of frontage.
- Are we looking at continuing cross access easements with a boulevard? The Zoning Ordinance does have recommendations for the minimum distance for cross access and drives. Director Power also informed that for landlocked parcels, there will eventually be a street extension.

Commissioners thanked Director Power, Adam Cook of McKenna Associates and the Subcommittee members for a doing great job and all of their hard work.

Chief Robinson of the City of Belleville commented that when mixing residential, agricultural and commercial zoning districts, the Commission may want to look putting certain things in place to prevent medical marijuana. Van Buren Township currently opts out and may wish to seek a legal opinion to prevent sales in the business district. Director Power stated right now there are solid mechanisms in place restricting caregivers to residential uses and zoning districts. As we make a mixed use zoning district, we want to make sure that those uses are still linked to only residential

building types or uses of property as defined in the permitted uses table in the Zoning Ordinance. Director Power also referenced a concern surrounding barns being used as standalone storage sites. Commissioner inquired if those types of issues could be addressed in the zoning plan draft? Director Power confirmed, yes.

Director Power informed that the next steps are to bring a full draft of the document for review with the Zoning Ordinance and Overlay District being a separate effort at a later date. Commissioners discussed whether the review would be with the full Planning Commission or the Subcommittee and agreed to defer to the Subcommittee prior to bringing to the Planning Commission. Commissioners also inquired if there will be another community engagement? Director Power informed that he has a list of all residents who attended the meetings and the public input session, he will make sure that the information is available. There will also be another public hearing for the full draft review.

Motion Atchinson, Jahr second to close the work session.

Roll Call:

Yeas: Barr, Budd, Atchinson, Cullin, Jahr and Kelley.

Nays: None.

Absent: None.

Motion Carried.

GENERAL DISCUSSION:

Director Power informed that there will not be a Planning Commission meeting the day before Thanksgiving. The next Planning Commission meeting will be held on Wednesday, December 8, 2021.

ADJOURNMENT:

Motion Budd, Atchinson second to adjourn the meeting at 9:23 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: Election of Officers

DATE: December 1, 2021

The Planning Commission should hold the election of their officers at the first regular business meeting of the Planning Commission in December per Article 3, Section 1 of the Planning Commission bylaws. The Planning Commission bylaws state that officers shall be elected by a majority vote of the Commissioners. The following are the current officers of the Planning Commission.

Chairperson: (Vacant)
Vice-Chairperson: Commissioner Kelley
Secretary: Commissioner Jahr

The typical process for electing an officer is to have a nomination, a second to the nomination, and then a vote on the nomination by the full commission. It is common place to vote in the following order:

Chairperson
Vice-Chairperson
Secretary

The Planning Commission should also elect or reelect a liaison to the Board of Zoning Appeals (BZA). For the year 2021, Medina Atchinson was elected as the Board of Zoning Appeals member and Jeffrey Jahr was elected as the alternate Board of Zoning Appeals member.

The commissioners elected to their positions will need to take their respective office at the same meeting at which they were elected. Due to this the person elected chairperson will need to assume their responsibilities immediately after the close of the elections. Please feel free to contact me prior to the meeting if there are any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Power". The signature is fluid and cursive, with the first name "Dan" and last name "Power" clearly distinguishable.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

PLANNING & ZONING APPLICATION

Case number _____

Date Submitted 04.07.2021

APPLICANT INFORMATION

Applicant Kali Pierce **Phone** 407.645.5008
Address 604 Courlland Street Suite 100 **Fax** 407.629.9124
City, State Orlando, FL **Zip** 32829
E:mail kpierce@interplanllc.com **Cell Phone Number** _____
Property Owner Brauvin Net Investments, LLC **Phone** _____
(if different than applicant)
Address PO Box 6969 **Fax** _____
City, State Syracuse NY **Zip** 13217
Billing Contact _____ **Phone** _____
Address _____ **Fax** _____
City, State _____ **Zip** _____

SITE/ PROJECT INFORMATION

Name of Project Burger King - Carols Corporation
Parcel Id No. V125-83- 081-99-004-002 **Project Address** 11550 Belleville Road, Belleville, MI 48111

Attach Legal Description of Property

Property Location: On the West Side of Belleville Road; Between South Interstate 94 Service Dr Road and Venetian Avenue Road. **Size of Lot Width** 110' **Depth** 330'

Acreage of Site 1.41 **Total Acres of Site to Review** _____ **Current Zoning of Site** C2 EXT

Project Description: Remodel of existing Burger King Restaurant to include: Exterior remodel of roof and facade upgrades, new drive through equipment, parking lot re-sealing, re-striping and ADA improvements; Interior finish updates including new flooring, new millwork, doors, frames, hardware, painting, light fixtures & placements.

Is a re-zoning of this parcel being requested? _____ **YES (if yes complete next line)** ☒ **NO**
Current Zoning of Site _____ **Requested Zoning** _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? _____ **YES (if yes complete next line)** ☒ **NO**
Section of Zoning Ordinance for which you are applying _____

Is there an official Woodland within parcel? _____ **Woodland acreage** _____
List total number of regulated trees outside the Woodland area? _____ **Total number of trees** _____
Detailed description for cutting trees _____

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Kali Pierce

Print Property Owners Name

Kali Pierce

Signature of Property Owner

04.07.2021

Date

STATE OF ~~MICHIGAN~~ FLORIDA
COUNTY OF ~~WAYNE~~ ORANGE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 7TH day of APRIL, 2021.

Andrea Cardo

Notary Public, ORANGE

County, Michigan

My Commission expires 1.31

2024
Rev 1/12/06

ANDREA CARDO
Commission # GG 947966
Expires January 31, 2024
Bonded Thru Budget Notary Services





MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Inter Plan LLC / Brauvn Net Investments, LLC Final Site Plan Review
DATE: December 1, 2021

The Planning Commission will review the request by applicant Inter Plan, LLC on behalf of owner Brauvn Net Investments, LLC for final site plan approval to construct a secondary drive-thru lane along with landscaping and architectural improvements associated with the remodel of a Burger King restaurant. The location of the site is 11550 Belleville Road, tax parcel 83-081-99-0004-002, located on the west side of Belleville Road between South Interstate 94 Service Drive and Venetian Avenue.

The Planning Commission's packet for this request contains a completed application form, reports from the Township Planning Consultant and the Township Engineer, a previously shared memo from the Township Fire Marshal, and minutes from the Planning Commission's approval of the preliminary site plan from their meeting held on October 13, 2021. The hard copy version of this packet contains an abridged four-page site plan set including civil, architectural, and landscape plan drawings.

If the Planning Commission recommends approval of the final site plan, the project will undergo a preconstruction process in which final plans are checked by the Township Engineer for compliance with all Township engineering standards, and the project's building permit application will be reviewed. Once preconstruction is complete and the building permit is issued, construction will begin.

I look forward to assisting with this review. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', written in a cursive style.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren



November 21, 2021

Planning Commission
Charter Township
of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: **VB-T-21-019 Burger King Remodel/11550 Belleville Road; Site Plan Review #4 – FINAL; Revised Site Plans Dated 10/15/2021.**

Dear Commissioners:

The applicant, Kali Pierce applied for approval to remodel the existing Burger King restaurant, located at 11550 Belleville Road. The site is located on the west side of Belleville Road south of I-94 South Service Drive, has a tax parcel identification number: V-125-83-081-99-004-00, is zoned C-2 (Extensive Highway Business District), and has a total area of 1.41 acres. The applicant received preliminary site plan approval from the Planning Commission on October 13th, 2021, subject to several conditions.

We have reviewed the revised site plan for compliance with the conditions of preliminary site plan approval and offer the following comments (any items that require changes or additional information are underlined):

COMMENTS

1. **Accommodating an RV/Semi parking space along the north side of the site and eliminating the space proposed on the southeast corner of the site or Planning Commission waiver of required RV parking spaces.** This condition can be met. As recommended by the Planning Commission, the site plan notes the creation of a parallel parking RV space on the northwest corner of the site with the elimination of a few regular surplus parking spaces. The approval also required the elimination of the RV space shown on the southeast corner of the site, which can create traffic blockage on the exit lane from the site. The revised plan continues to note that space, which must be removed from the plan. The Planning Commission granted the applicant a deviation to provide only one (1) RV space on the northwest corner of the site.
2. **Truck maneuvering plan to show that the loading space is accessible.** This condition has been met. Detailed truck circulation diagram has been provided for the entire site on Sheet C-2.1.
3. **Revised outdoor furniture design in compliance with BROD design requirements.** This condition has been met. The revised plan proposes the installation of powder coated steel picnic tables and black painted steel trash cans with a concrete base, which are in keeping with BROD design standards.

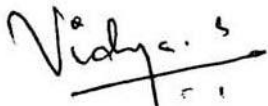
4. **Review and approval of proposed storm water detention system by the Township Engineer and Wayne County.** This condition has been met. The applicant has noted that the proposed remodel results in no net increase in impervious surface area on the site, which implies no additional stormwater drainage. This requirement must be verified by the Township Engineer.
5. **Elimination of LED band from the building façade.** This condition has been met. Per the Planning Commission's approval, the elevations have been revised to include the red band as an accent band only with no illumination.
6. **Submission of a revised sign packet with accurate calculations in compliance with the ordinance.** This condition can be met. The revised plan includes details for wall sign on the east and north facades of the building and details of menu boards signs. The elevation details do not show the signage on the north façade and the calculations for the east façade appear incorrect. The standard is 3 sq. ft per lineal feet on building frontage. It appears that the applicant used a standard of 1 sq. ft per 3 lineal feet of building frontage. Menu board #1 has been provided with a 24" monument base, under 8' in height and within the maximum permitted sign area; however, the digital menu board while compliant with sign area, still exceeds the sign height of 8'. Sign height is measured from grade to the top of the sign, including any support frames, not just the height of the main sign body.

RECOMMENDATION

Most of the conditions of preliminary plan approval have been met at this time. Therefore, we recommend that the Planning Commission grant final site plan approval for Burger King located at 11550 Belleville Road, subject to:

1. Elimination of the RV space on the southeast corner of the site.
2. Administrative approval of sign dimensions prior to installation.

Respectfully,
McKENNA



Vidya Krishnan
Senior Principal Planner

- c: Dan Power, Director of Planning & Economic Development
Paul Kammer, FTCH, Township Engineers
David McNally, Van Buren Township Fire Chief



December 2, 2021
Fishbeck Project No. 210665

Todd Saums
Director of Water and Sewer
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Burger King – Parking Lot Reconstruction Plan Engineering and Final Site Plan Review

Dear Director Saums:

At the request of Van Buren Township (Township), Fishbeck has reviewed the revised site plan dated October 15, 2021, submitted to the Township for Engineer and Final Site Plan Approval for the proposed improvements to the Burger King located on Belleville Road south of the I-94 Service Drive.

This project entails reconstruction of a portion of the parking lot at the existing Burger King at 11550 Belleville Road. Plans include reconstruction of the drive-through allowing two vehicle lanes for ordering, restriping the existing parking spaces, reconstruction of a portion of the sidewalk including Americans with Disabilities Act of 2010 (ADA) accessible ramps, and other various landscaping and site plan improvements. No utility improvements are being proposed.

Our review comments are as follows:

General

The following items are general requirements established as part of the *Engineering Standards Manual*, (April 2014). The applicant must include the following items as part of the construction plans:

1. The applicant must indicate on the plans that the existing storm system will be cleaned and brought back to working order as designed.

Water & Sanitary

The plans indicate no proposed changes to the existing water service nor the existing sanitary sewer service.

Storm Sewer

Existing: The plans indicate runoff being collected from a system of catch basins and drains and flowing north through a 12-inch privately-owned stormwater pipe in the parking lot. The existing system appears to be metered/restricted by a 4-inch outlet pipe, which discharges into the Belleville Road roadside ditch. The applicant provided a table indicating no net increase in impervious area.

Proposed: The plans do not indicate any proposed changes to the existing stormwater system. A table is included on the plans demonstrating no net increase in impervious area, supported by impervious and pervious areas labeled on the plans. Due to no changes in the system and no changes in the overall site runoff, no further action is required in regard to improvements needed for the storm sewer system.

Comments:

1. As mentioned under general comments, the applicant must call out for the storm system to be cleaned and repaired as necessary to ensure it is working properly as originally intended. If repair is needed, it should be done prior to the paving of the parking lot.

Soil Erosion and Sedimentation Control (SESC)

1. The SESC plan provided must be in accordance with the *Township Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. The applicant must determine if a Wayne County SESC permit is required. <https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx>. If no permit is required, SESC measures are still required to be placed for any construction that contains earth disturbance. The applicant must follow all Township and Wayne County requirements.

Recommendation

Fishbeck recommends the Planning Commission grant the Burger King Parking Lot Reconstruction Engineering and Final Site Plan approval, subject to the comments listed above and in accordance with the Township's Engineering Standards manual. If you have any questions regarding this project, please contact Paul Kammer at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE
Senior Civil Engineer



Stephen C. Clayton, PE
Civil Engineer

By email

Copy: Dan Power – Township
Vidya Krishnan – McKenna
Dave Potter – Fishbeck

Andrew Lenaghan
Fire Marshal
O: 734-699-8900 ext 9426

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp., MI 48111



April 27, 2021

Director of Building and Planning
46425 Tyler Road
Belleville, MI 48111

Burger King
11550 Belleville Rd.
Van Buren Township, MI 48111
VBT 21-019

A set of plans have been received dated 3/15/2021 from architect Louis Craver, 604 Courtland St. Suite 100 Orlando, FL 32804 for the Burger King Corporation. NFPA 1 and NFPA 101 were used for this review.

The project description involves renovation of the existing Burger King.

The plans as submitted are approved with the following exceptions:

Fire Department access shall be maintained throughout construction **NFPA 1 2018 16.1.4**

Accumulations of combustible waste material, dust, and debris shall be removed from the structure and its immediate vicinity at the end of each work shift or more frequently as necessary for safe operations. **NFPA 1 2018 16.2.2.1**

Review and approval by the Authority Having Jurisdiction shall not relieve the applicant of the responsibility of compliance with these codes.

Andrew Lenaghan
Fire Marshal
Van Buren Township

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

83-060-99-0001-001, on the north side of the north I-94 Service Drive, between Dewitt and Morton Taylor Roads, based on the analysis and subject to the conditions detailed in the staff review letter dated 10-6-21, in McKenna Associates review letter dated 9-22-21 noting condition # 5 the contribution into the Township sidewalk fund, Fishbeck Associates review letter dated 9-21-21, undated Fire Marshal review letter.

Roll Call:

Yeas: Atchinson, Cullin, Barr, Kelley, Jahr and Thompson.

Nays: None.

Recused: Budd.

Motion Carried. (Letters Attached)

ITEM #3: 21-019 – BURGER KING DRIVE-THRU – PRELIMINARY SITE PLAN.

THE APPLICANT, INTER PLAN, LLC ON BEHALF OF OWNER BRAUVIN NET INVESTMENTS, LLC SEEKS PRELIMINARY SITE PLAN APPROVAL TO CONSTRUCT A SECONDARY DRIVE-THRU LANE ALONG WITH LANDSCAPING AND ARCHITECTURAL IMPROVEMENTS ASSOCIATED WITH THE REMODEL OF A BURGER KING RESTAURANT.

LOCATION: 11550 BELLEVILLE ROAD, TAX PARCEL 83-081-99-0004-002. ON THE WEST SIDE OF BELLEVILLE ROAD BETWEEN SOUTH I-94 SERVICE DRIVE AND VENETIAN AVENUE.

Director Power deferred to the Principal Planner, Township Engineer and Fire Marshal reviews.

Vidya Krishnan of McKenna Associates presented her preliminary site plan review letter dated 9-21-21. The applicant has revised the plans to address several of the previous outstanding concerns; however, a few other changes remain to be made. Therefore, McKenna Associates recommends the Planning Commission grant preliminary site plan approval to the Burger King project located at 11550 Belleville Road, subject to the following conditions:

1. Accommodating an RV/Semi parking space along the north side of the site and eliminating the space proposed on the southeast corner of the site or Planning Commission waiver of required RV parking spaces.
2. Truck maneuvering plan to show that the loading space is accessible.
3. Revised outdoor furniture design in compliance with BROD design requirements.
4. Installation of decorative BROD style light poles at the two access drives to the site.
5. Wayne County and Township Engineer approval of stormwater detention for the site.
6. Elimination of LED band from the building façade.
7. Submission of a revised sign packet with accurate calculations in compliance with the ordinance.

Paul Kammer of Fishbeck Associates presented his preliminary site plan review letter dated 9-21-21, recommending the Planning Commission grant the Burger King parking lot reconstruction preliminary site plan approval for engineering feasibility, subject to the comments in the review letter and in accordance with the Township's Engineering Standards manual.

Director Power presented the Fire Marshal's review letter dated 4-27-21, the plans are approved with the following exceptions:

1. Fire Department access shall be maintained throughout construction. **NFPA 1 2018 16.1.4**
2. Accumulations of combustible waste material, dust and debris shall be removed from the structure and its immediate vicinity at the end of each work shift or more frequently as necessary for safe operations. **NFPA 1 2018 16.2.2.1**

Chris Blurton of Inter Plan, LLC gave the presentation on behalf of the applicant. The applicant in general has no objections to the proposed conditions, specifically of the RV/semi parking space and will remove an additional 5 to 6 parking spaces to make that happen. The landscaping on the site is being upgraded significantly, a truck maneuver plan will be submitted at final site plan review and the applicant will address the outdoor furniture design. The only objection is the additional decorative light poles, there is an existing decorative light pole along Belleville Road. All of the applicants light poles are interior, the applicant is proposing to replace the fixtures with full cutoff dark sky compliant fixtures with no spillage onto the adjacent properties, refurbishing the existing poles and replacing the luminaires. The proposed composite trex dumpster gate will last much longer, looks just like the wood gate and will be better for long term maintenance. Uli Branstetter of Inter Plan, LLC informed that the trash can provided has a plastic lid, they can replace with a metal can as requested and have it added to the drawing. The LED light band is not just a corporate feature, however they are prepared to not have it lit if that is the request.

Resident is disappointed that the applicant will no longer be required to provide cross access with the property to the south. The site is already prepped for the cross access, believes that some sort of compromise should be made to create a more complete cohesive appearance and function for the properties. For example if the flow of traffic is a concern if there could at least be a one way passage through.

Vidya Krishnan provided her responses to the applicant, she is fine with the applicant installing the trex gate as it is more attractive and durable than a wooden gate. The request for the red band is fine as long as it is not lit. The trash can needs to be changed to meet DDA specifications. Ms. Krishnan is fine with applicants request to keep the light poles and replace the fixtures, however recommends that the fixture is fully downward directed.

Commissioner had the following questions and comments:

- Don't want to replace the interior floodlight, retrofit and submit with photometric? Yes, will submit an updated photometric plan.
- Have we seen a photometric plan? Yes, photometric plan meets requirements.
- What's the lumen output on the band and is the current band lit? The existing band is not an illuminated band. If the applicant is not going to light the band it will not affect the photometric for the site.
- Recommendation for the decorative BROD light style poles at the drive, the existing single pole is ok? Yes.
- The current property is very wet, is the drainage going to be updated with the parking lot modification? Chris Blurton informed that there is an existing detention system to store stormwater runoff. The applicant is not proposing to upgrade the existing underground system, however could bring a vacuum truck out to the site to clean out the existing storm

drain system. Paul Kammer identified that over time these detention systems get clogged with debris and leaves. The applicant is not increasing the impervious area to the site and they are not required to upgrade the system, could have them do a thorough cleanout of the system added at final site review. Commissioner would like to see the cleanout requirement added at final site plan review.

Motion Kelley, Atchinson second to grant the applicant Inter Plan, LLC preliminary site plan approval to construct a secondary drive-thru lane at the property located at 11550 Belleville Road, based on the analysis and subject to the conditions detailed in the McKenna Associates review letter dated 9-21-21, Fishbeck Associates review letter dated 9-21-21, Fire Department review letter dated 4-27-21, staff review letter dated 10-6-21, with some modifications to the requirements, where we are looking at allowing a modification to the decorative light pole requirement where the applicant would be allowed to use the existing pole and that we are requesting a fully downward director light, that we will permit the red band on the building so long as it is not lit, we are allowing the trex gate modification to the dumpster storage and that prior to final we would like to see some discussion on a future review regarding the stormwater maintenance.

Roll Call:

Yeas: Jahr, Kelley, Barr, Atchinson, Cullin, Budd and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Letters Attached)

ITEM #4: 21-027 – ATCHINSON FORD – TEMPORARY LAND USE APPROVAL.

THE APPLICANT, ATCHINSON FORD, ON BEHALF OF OWNER SPARTY INVESTMENTS, LLC IS REQUESTING A NEW APPROVAL OF A TEMPORARY LAND USE PERMIT TO PARK TURNED-IN LEASED AND NEW VEHICLE INVENTORY.

LOCATION: THE PROPERTY IS LOCATED AT 8705 BELLEVILLE ROAD, WHICH IS ON THE EASE SIDE OF BELLEVILLE ROAD, NORTH OF TYLER ROAD.

Motion Atchinson, Budd second to recuse Commissioner Atchinson from new business item number 4.

Roll Call:

Yeas: Cullin, Budd, Atchinson, Barr, Kelley, Jahr and Thompson.

Nays: None.

Absent: None.

Motion Carried.

Director Power presented his staff review letter dated 10-1-21. The temporary land use has been conducted for three years and no issues have been brought to the attention of the Township. The applicant has removed the existing vacant building on the site and has taken efforts to keep

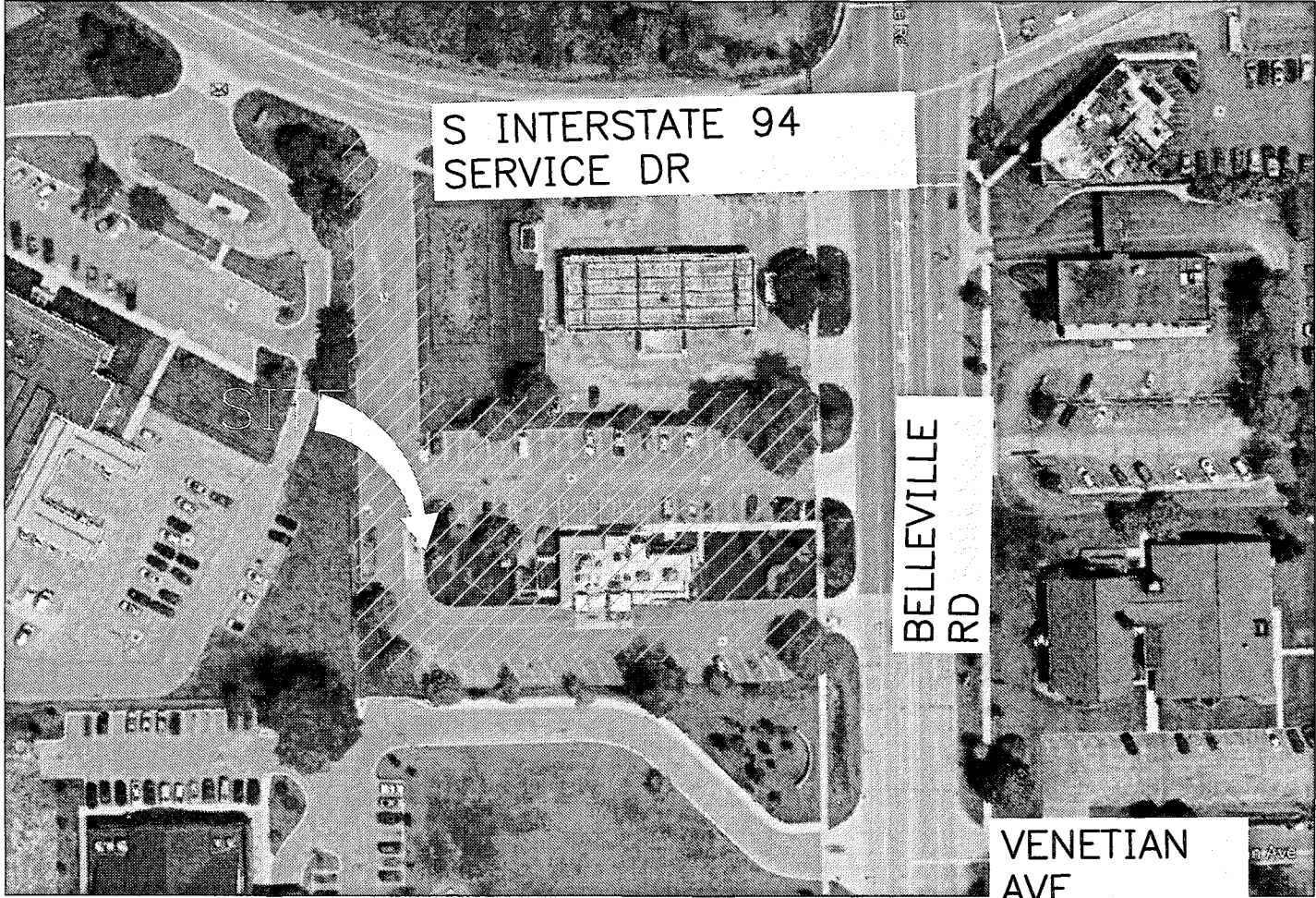


BURGER KING

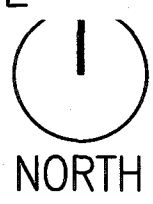
EXTERIOR & DINING REMODEL

11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

LOCATION MAP



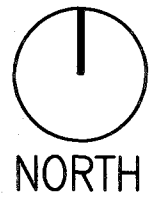
SCALE: N.T.S.



VICINITY MAP



SCALE: N.T.S.



DEMOLITION NOTES

1. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
 2. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
 3. EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
 4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
 5. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
 6. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
- THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF THE TOWNSHIP OF VAN BUREN, COUNTY OF WAYNE, STATE OF MICHIGAN REGISTERED LAND SURVEYOR).

UTILITY NOTES

PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES, INCLUDING WITHOUT LIMITATION POTABLE WATER, RECLAIMED WATER, SANITARY SEWER, AND SERVICE UTILITIES, AT POINTS OF CONNECTION, POINTS OF CROSSING, AND/OR POTENTIAL CONFLICT. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.

A. GENERAL

1. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ETC., SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO LIABILITY FOR ACCURACY AND COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND TO HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK.
2. DUE TO GRAPHIC LIMITATIONS OF THE DRAWING SCALE, ALL STORM SEWER, DRAINAGE, WATER AND SANITARY SEWER MAINS, SERVICES, LATERALS, CONNECTIONS, AND APPURTENANCES DEPICTED HEREIN - UNLESS OTHERWISE LOCATED BY DIMENSIONS - REFLECT SCHEMATIC LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LOCATIONS IN ACTUAL CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, INCLUDING ANY REQUISITE COORDINATION WITH THE RESPECTIVE GOVERNING AGENCY/UTILITY PROVIDER.
3. ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF VAN BUREN, STATE OF MICHIGAN AND WAYNE COUNTY, RESPECTIVELY, AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
4. CONTRACTOR SHALL INSPECT PIPING AND MATERIALS BEFORE INSTALLATION TO DETECT APPARENT DEFECTS. MARK DEFECTIVE MATERIALS WITH WHITE PAINT AND PROMPTLY REMOVE FROM SITE.
5. LAY SEWER PIPING BEGINNING AT LOW POINT OF SYSTEM (CONNECTION TO OFF SITE SYSTEM OR PUMP STATION), TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERTS. PLACE BELL ENDS OR GROOVE ENDS OF PIPING FACING UPSTREAM.
6. CLEAR INTERIOR OF PIPE OF DIRT AND OTHER SUPERFLUOUS MATERIAL AS WORK PROGRESSES. MAINTAIN SWAB OR DRAG IN LINE AND PULL PAST EACH JOINT AS IT IS COMPLETED. PLACE PLUGS IN ENDS OF UNCOMPLETED CONDUIT WHENEVER WORK STOPS.
7. MAINTAIN 36" COVER OVER MAINS, AND 36" OVER SERVICES/LATERALS.
8. WHEN PROPOSED CONSTRUCTION OCCURS AT EXISTING MANHOLES, INLETS, VAULTS, AND OTHER STRUCTURES, THE CONTRACTOR SHALL MODIFY THE STRUCTURES, FRAMES, AND GRATES TO MEET THE PROPOSED GRADES UNLESS OTHERWISE DIRECTED.
9. INSTALL CONTINUOUS LOCATOR TAPE/WIRE, LOCATED DIRECTLY OVER POTABLE WATER MAINS AND SANITARY SEWER MAINS AT 6" TO 8" ABOVE PIPE.
10. WHERE APPLICABLE, UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACK FILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH A.A.S.H.T.O.-T-99.
11. CONTRACTOR SHALL PROVIDE SLEEVES FOR IRRIGATION LINES UNDER PAVEMENT. COORDINATE WITH GENERAL CONTRACTOR.
12. ALL TRENCHES EXCAVATED FOR THE PURPOSES OF UTILITY/STORM INSTALLATION SHALL BE KEPT DRY FOR THE DURATION OF UTILITY/STORM CONSTRUCTION. DEWATERING OF UTILITY/STORM TRENCHES MAY BE REQUIRED TO PREVENT FLOATATION OF UTILITY/STORM PIPES DURING INSTALLATION.
13. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION IS COMPLETE FOR WATER, WASTEWATER AND STORMWATER SYSTEMS SO TIMELY CERTIFICATIONS MAY BE INITIATED. SATISFACTORY BACTERIOLOGICAL TEST RESULTS, PRESSURE TEST RESULTS, AND AN AS-BUILT SURVEY SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.
14. SUITABLE COUPLINGS COMPLYING WITH ASTM SPECIFICATIONS ARE REQUIRED FOR JOINING DISSIMILAR MATERIALS.
15. DEFLECTION TESTS ARE REQUIRED FOR ALL FLEXIBLE PIPE. TESTING REQUIREMENTS: 1) NO PIPE SHALL EXCEED A DEFLECTION OF 5%; 2) USING A RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THEN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE; 3) PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.

GENERAL NOTES

A. GENERAL

1. ALL INFRASTRUCTURE AND IMPROVEMENTS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
2. SITE LOCATION: 11550 BELLEVILLE RD, BELLEVILLE, MI 48111.
3. THIS SITE LIES IN FLOOD ZONE "X", F.I.R.M. PANEL 26163C00353E, DATED NOVEMBER 29, 2006.
4. BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY BY KEM-TEC, INC., 22556 GRATIOT AVE, EASTPOINTE, MI. 48021. DATED MARCH 03, 2021.
5. BENCHMARK - REFER TO TOPOGRAPHIC SURVEY BY KEM-TEC, INC., 22556 GRATIOT AVE, EASTPOINTE, MI. 48021. DATED MARCH 03, 2021. SEE NOTE 4 ABOVE.
6. LEGAL DESCRIPTION SHOWN HEREIN IS FURNISHED BY KEM-TEC, AND IS INCLUDED FOR PERMITTING AND APPROVAL PURPOSES, AND AS A COURTESY FOR THE CONTRACTOR. INTERPLAN LLC. ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS.
7. CONTRACTOR SHALL PROVIDE AND INSTALL EROSION CONTROL DEVICES (SILT FENCE OR OTHER METHODS) AT LIMITS OF CONSTRUCTION AND AROUND EACH STORM INLET PRIOR TO CONSTRUCTION, AND SHALL MAINTAIN SAID EROSION CONTROL DEVICES DURING CONSTRUCTION, ALL IN CONFORMANCE WITH CURRENT LOCAL, COUNTY AND STATE CRITERIA.
8. THE SITE SHALL BE CLEARED AS MAY BE NOTED ON THE PLANS, OF ALL OBSTRUCTIONS AND DELETERIOUS MATERIAL SUCH AS FENCES, WALLS, FOUNDATIONS, LOGS, SHRUBS, BRUSH, WEEDS, OTHER VEGETATION, AND ACCUMULATION OF RUBBISH OF WHATEVER NATURE. OFF-SITE DISPOSAL, INCLUDING ANY HAZARDOUS MATERIAL ENCOUNTERED, SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.
9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY INTERPLAN LLC. OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.
10. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR ANY DESIGN CHANGES WHICH HE MAY INCORPORATE INTO THE PLANS WITHOUT PRIOR WRITTEN CONSENT AND/OR APPROVAL FROM THE OWNER AND THE ENGINEER.
11. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN EACH EXISTING RIGHT OF WAY WITH THE CITY OF HUNTSVILLE AND THE STATE'S DEPARTMENT OF TRANSPORTATION.
12. SCS SOILS: BFA (BLOUNT LOAM, ERIE-HURON LAKE PLAIN, 0 TO 2 PERCENT SLOPES)
13. STORMWATER MANAGEMENT IS PROVIDED BY EXISTING STORMWATER SYSTEM.
14. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITION EXISTING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
15. ALL DISTURBED AREAS SHALL BE SOODED.

16. AT LEAST 30 DAYS PRIOR TO ANTICIPATED COMPLETION OF SITE CONSTRUCTION, THE FINAL CERTIFICATION PROCESS WILL BEGIN. THE CONTRACTOR SHALL PROVIDE DOCUMENTS AND INFORMATION, IN A TIMELY MANNER, TO ENGINEER, INCLUDING, WITHOUT LIMITATION:

- a. SURVEYED "AS-BUILTS" PER AS-BUILT SURVEY SCOPE IN SPEC MANUAL.
- b. COMPACTION AND DENSITY TEST REPORTS, AND
- c. PRESSURE TESTING AND BACTERIOLOGICAL TESTING RESULTS, AS REQUIRED, FOR WATER DISTRIBUTION AND/OR WASTEWATER COLLECTION/TRANSMISSION SYSTEMS.

THE CONTRACTOR SHALL HAVE TWO (2) SETS OF AS-BUILT PLANS, SIGNED AND SEALED BY SURVEYOR OF RECORD, ON SITE THE DAY OF THE CIVIL ENGINEERING FINAL PUNCH LIST INSPECTION. THE GENERAL CONTRACTOR IS TO GIVE THE TWO AS-BUILT PLANS TO THE REPRESENTATIVE FROM INTERPLAN COMPLETING THE INSPECTION. IF ANY DEFICIENCIES ARE NOTED, ONE SET OF RED-LINED AS-BUILT PLANS WILL BE GIVEN TO THE GC FOR REVISIONS TO BE MADE. REVISED AS-BUILTS WILL NEED TO BE FORWARDED TO INTERPLAN BEFORE ANY CERTIFICATIONS CAN BE INITIATED.

17. ALL TRAFFIC CONTROL DEVICES, EQUIPMENT AND INSTALLATION SHALL MEET THE REQUIREMENTS OF THE LOCAL JURISDICTION AND/OR THE STATE'S DEPARTMENT OF TRANSPORTATION.
18. PARKING STALLS SHALL CONFORM WITH LOCAL CODE. ACCESSIBLE PARKING SPACES AND ACCESS ROUTES SHALL FURTHER CONFORM WITH CURRENT ADA REQUIREMENTS.
19. HANDICAP PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM WITH CURRENT ADA REQUIREMENTS AND LOCAL ORDINANCE.
20. LANDSCAPE SHALL BE TRIMMED TO ENSURE SIGHT VISIBILITY OF TRAFFIC CONTROL DEVICES.
21. ALL PAVEMENT IS DIMENSIONED TO FACE OF CURB.
22. ALL BUILDING DIMENSIONS AND TIES ARE TO OUTSIDE FACE. SEE ARCHITECTURAL PLANS.
23. ALL CURB RETURN RADII ARE 5' UNLESS NOTED.
24. BUILDING AND SITE IMPROVEMENTS ARE PERPENDICULAR TO EAST PROPERTY LINE.
25. THE CONTRACTOR IS TO BE RESPONSIBLE TO PROTECT AND/OR REPLACE ALL SURVEY MONUMENTATION WITHIN THE PROJECT LIMITS BY A STATE OF MICHIGAN LICENSED SURVEYOR.

SITE DATA

SITE AREA	61,366± SF	1.408± AC
EXISTING		
IMPERVIOUS { PAVEMENT/SIDEWALKS	41,214 SF	67.2 %
EXISTING BUILDING	3,212 SF	5.2 %
TOTAL IMPERVIOUS	44,426 SF	
OPEN SPACE (GREEN)	16,940	27.6 %
PROPOSED		
IMPERVIOUS { PAVEMENT/SIDEWALKS	41,188 SF	67.1 %
EXISTING BUILDING	3,212 SF	5.2 %
TOTAL IMPERVIOUS	44,400 SF	
OPEN SPACE (GREEN)	16,966 SF	27.6 %
ZONING	(C-2)- EXTENSIVE HIGHWAY BUSINESS	
PARKING	REQUIRED	PROVIDED
	38 SPACES	50 SPACES
	(59 SEATS & 8 EMPLOYEES ON LARGEST SHIFT)	

CIVIL DRAWINGS	
C-0	GENERAL NOTES
C-1.1	DEMOLITION & EROSION CONTROL PLAN
C-2.0	SITE DIMENSION PLAN
C-2.1	TRUCK TURN
C-3.0	GRADING/ DRAINAGE / UTILITY PLAN
C-3.1	SWPPP
C-4.0	DETAILS
C-4.1	DETAILS
ALTA / NSPS LAND TITLE SURVEY BY KEM-TEC	

LEGENDS

PROPOSED	PROPOSED
PROPOSED CONTOUR	73.50
MEET EXISTING GRADE	MEG
EDGE OF PAVEMENT	EOP
SIDEWALK	SW
GRADE BREAK	GB
HIGH POINT	HP
SPOT ELEVATION	12.55
DIRECTION OF FLOW AND PERCENT SLOPE	1.0%
STORM SEWER & INLET	
YARD DRAIN INLET	
DOWN SPOUT DRAINS	DSD
SANITARY SEWER & MANHOLE	SS
GREASE TRAP	GT
CLEANOUT	C.O.
FORCE MAIN	FM
WATER SERVICE	W
WATER MAIN	WM
FIRE HYDRANT	W-H
DDCVA	
FDC	
WATER METER	
BACKFLOW PREVENTION DEVICE (BFP)	
GATE VALVE	
REDUCER	
UNDERGROUND TELEPHONE	UGT
UNDERGROUND ELECTRIC	UGE
SITE LIGHTING	
TRANSFORMER	T
AIR CONDITIONING UNIT	AC
PARKING SPACE TOTALS	8
DETAIL NUMBER	2
SHEET NUMBER	C4
ZONING	B-3
CURRENT LAND USE	VACANT

RESTAURANT FOR:

Carroll's Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

BURGER KING
CORPORATION

COPYRIGHT © 2021 LOUISE CRAVER
RESERVES COPYRIGHT & OTHER RIGHTS
RESTRICTING THESE DOCUMENTS TO
THE ORIGINAL SITE OR PURPOSE FOR
WHICH THEY WERE PREPARED.
NO REUSE, REPRODUCTION, CHANGE OR
ASSIGNMENT ARE PROHIBITED.

LOUISE CRAVER
ARCHITECT

604 COURTLAND STREET
SUITE 100
FORT MYERS, FLORIDA 33904
PHONE 407.445.5508
FAX 407.629.9124

SEAL

STATE OF MICHIGAN
JULIAN R. ANDERSON
LAND SURVEYOR
NOV 15 2021

IP# 2020.2249

BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

DATE: 03/15/2021

GENERAL NOTES

CC# 1018

BK-57

DATE: 03/15/2021

GENERAL NOTES

CHECKED: GEG

DRAWN: AG



BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT THE MISS DIG 811 NOTIFICATION CENTER. DIAL 1-800-482-7171 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

DEMOLITION & EROSION CONTROL PLAN

RESTAURANT FOR:

Carrolls Corporation

968 James Street P.O. Box 6989
Syracuse, New York 13217-6989
(315) 424-0513

DRAWN BY:		CHECKED BY:		DATE:	
NO.	DATE	NO.	DATE	NO.	DATE
1	06/15/2021				

BURGER KING

CORPORATION

COPYRIGHT © 2021 LOUISE CRAVER
RESERVES COPYRIGHT & OTHER RIGHTS
RESTRICTING THESE DOCUMENTS TO
THE EXCLUSIVE USE OF BURGER KING
WHICH THEY WERE PREPARED FOR.
REPRODUCTIONS, CHANGES OR
ASSIGNMENTS ARE PROHIBITED.

LOUISE CRAVER ARCHITECT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

SEAL

STUART A. ANDERSON
REGISTERED PROFESSIONAL ENGINEER
STATE OF MICHIGAN
NO. 6201064062

MAY 15, 2021

CC# 1018	IP# 2020.2249
<p>BK 4814</p> <p>11550 BELLEVILLE ROAD BELLEVILLE, MI 48111</p>	
BK-57	DATE: 03/15/2021

DEMOLITION & EROSION CONTROL PLAN

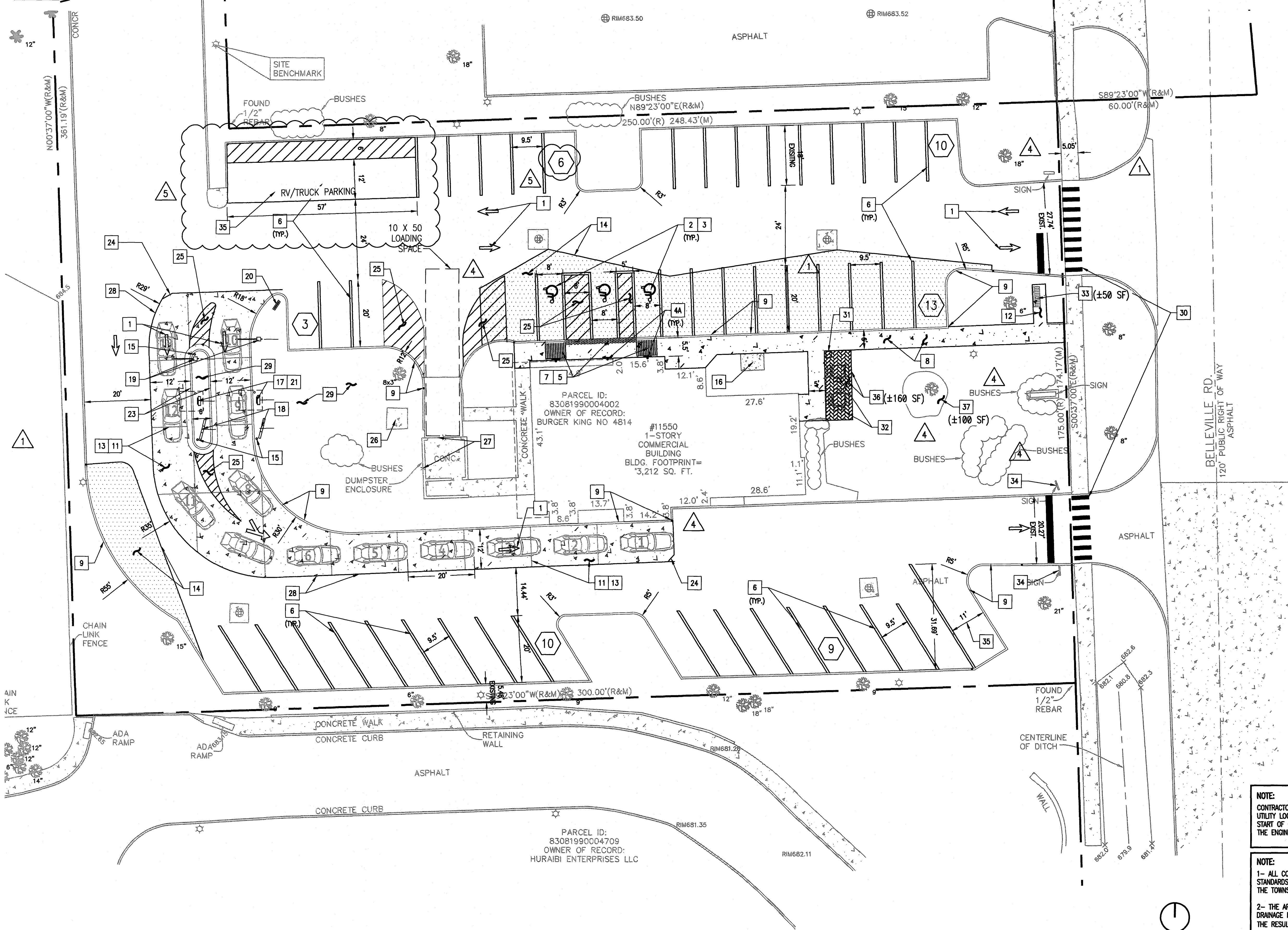
C - 1.1

CHECKED
GEG

DRAWN
AG

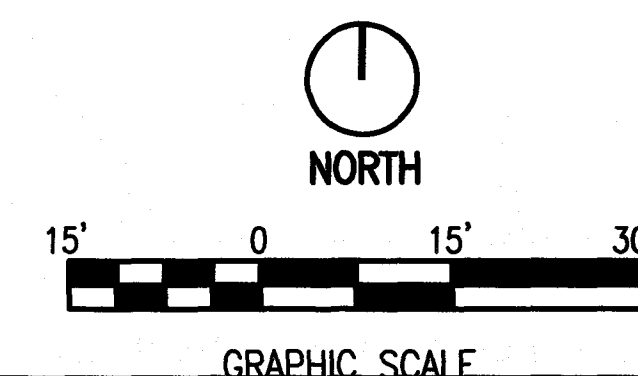
LEGEND

- 6 PARKING SPACE TOTALS
- 2 C4 DETAIL NUMBER SHEET NUMBER
- CG ZONING
- RETAIL CURRENT LAND USE
- TRAFFIC DIRECTIONAL ARROW
- BUILDING BEARING



SITE DIMENSION PLAN

1" = 15'



SITE BENCHMARK:
TOP OF BOLT ON BASE OF LIGHTPOLE SOUTH
OF DETENTION POND.
(NAVD 88) ELEVATION = 684.69'
(NAVD 29) ELEVATION = 684.824'

REQUIRED PERMITS:
- VAN BUREN TOWNSHIP BUILDING PERMIT
- WAYNE COUNTY HEALTH REVIEW
- VAN BUREN TOWNSHIP ZONING REVIEW

USABLE OPEN SPACE PER BROOD SECTION
6.309 (B) (4) = 310 SF

SITE PLAN DESIGN NOTES & KEY PLAN

- DIRECTIONAL ARROW/ STOP LINE GRAPHIC
- PAINTED HANDICAP PARKING SYMBOL
- ACCESSIBLE PARKING STALLS
- DIRECTIONAL SIGNAGE
- NOTES: 1. ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION.
2. SIGNS SHALL BE PROVIDED AND INSTALLED BY BURGER KING GENERAL CONTRACTOR.
- RELOCATED HANDICAPPED PARKING SIGN (2 REQUIRED)
- "STOP" SIGN
- ACCESSIBLE PARKING RAMP
- STANDARD PARKING STALL / RESTRIPTED PARKING SPACES
- CURB RAMP DETECTABLE WARNING
- MONOLITHIC CURB & SIDEWALK DETAIL
- 6" VERTICAL CURB
- TYPE "T" CURB & GUTTER
- EXPANSION JOINT
- CONCRETE WALK
- REINFORCED BLACK CONCRETE
- NEW PAVEMENT SECTION
- BOLLARD
- EXISTING BIKE RACK (4 SPACES)
- BURGER KING ORDER CONFIRMATION UNIT (BY OTHERS)
- BURGER KING MENUBOARD ELEVATIONS (BY OTHERS)
- BURGER KING DRIVE-THRU CLEARANCE SIGN
- RELOCATED BURGER KING DIRECTIONAL SIGN (BY OTHERS)
- DRIVE-THRU ORDER STATION
- RELOCATED SIGN
- DRIVE-THRU ORDER POINT ISLAND CURB
- 2 FT. CHAMFER ON CONCRETE PAVEMENT
- PAINTED DIAGONAL / CHEVRON STRIPING
- EXISTING TRANSFORMER
- EXISTING DUMPSTER TO BE REPAIRED AND GATES REPLACED (SEE SITE NOTE)
- 4" WIDE WHITE STRIPING
- NEW LANDSCAPING PER BURGER KING SPECS
- CROSSWALK-PIANO KEY
- WASTE CONTAINER
- PICNIC TABLE
- RE-USED BENCH LOCATION (SQ. FT. AS NOTED)
- EXISTING BK "DO NOT ENTER" SIGN
- RV/SEMI PARKING SPACE (2 PLACES)
- STAMPED, COLORED CONCRETE PATIO (SQ. FT. AS NOTED)
- EXISTING WALLED PLANTER AREA TO REMAIN (SQ. FT. AS NOTED)

SITE NOTES:

- REPOSITION OR RELOCATE SECURITY/OPERATIONAL CAMERAS AT SERVICE YARD AREA.
- REPLACE DRIVE THRU LANE/ PAVEMENT. CRACKS TO BE CRACKFILLED
- EXISTING ASPHALT PAVEMENT TO BE RESEALED WITH ASPHALT SEALANT AT END OF PROJECT. EXISTING STRIPING AND PAVEMENT MARKINGS TO BE REPAIRED.
- ADA PARKING SPACES ARE TO HAVE NO MORE THAN A 2% SLOPE IN ANY DIRECTION
- VERIFY WITH CONSTRUCTION MANAGER IF ADDITIONAL CONDUITS ARE REQUIRED.
- RAMPS TO BE REDONE TO MEET ADA STANDARDS:
CROSS SLOPE: 2%
RUNNING SLOPE: 8.33%
- REWORK DOOR LANDINGS SO THAT THE SLOPS IS NOT GREATER THAN 2% IN ANY DIRECTION
- RECONNECT NEW DRIVE-THRU EQUIPMENT IN SAME LOCATION TO EXISTING CIRCUITS
- DUMPSTER GATES TO BE REPLACED WITH NEW TREX GATES
- PAINT ID SIGN POLE AND CABINETS

NOTE:

CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS, UTILITY LOCATIONS, AND PAVEMENT ELEVATIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY CONFLICTS TO THE ENGINEER.

NOTE:

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP.
- THE APPLICANT IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE APPLICANT'S ACTIONS.

NOTICE- PEDESTRIAN SAFETY

- THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE EACH WORK AREA FROM PEDESTRIAN TRAFFIC AND TO INSURE SAFE PEDESTRIAN PASSAGE AT ALL TIMES.
- THE CONTRACTOR SHALL ALSO UTILIZE SAFE WARNING SIGNS, BARRICADES AND OTHER RELATED MEASURES, AS NECESSARY. THE CONTRACTOR SHALL COORDINATE PERIODICALLY WITH THE PROJECT MANAGER TO REVIEW SAFETY CONCERNS AND ADVISE OF ACTIVE WORK AREAS.

FIRE NOTES:-

- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ACCUMULATIONS OF COMBUSTIBLE WASTE MATERIAL, DUST, AND DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF EACH WORK SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS.

RESTAURANT FOR: Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

BURGER KING CORPORATION

LOUISE CRAVER ARCHITECT
404 COURTLAND STREET
ORLANDO, FLORIDA 32804
PH 407.443.5008
FX 407.629.9124

STAMP: LOUISE CRAVER ARCHITECT, PROFESSIONAL ENGINEER, STATE OF MICHIGAN, No. 900000002, EXPIRATION DATE 12/31/2021

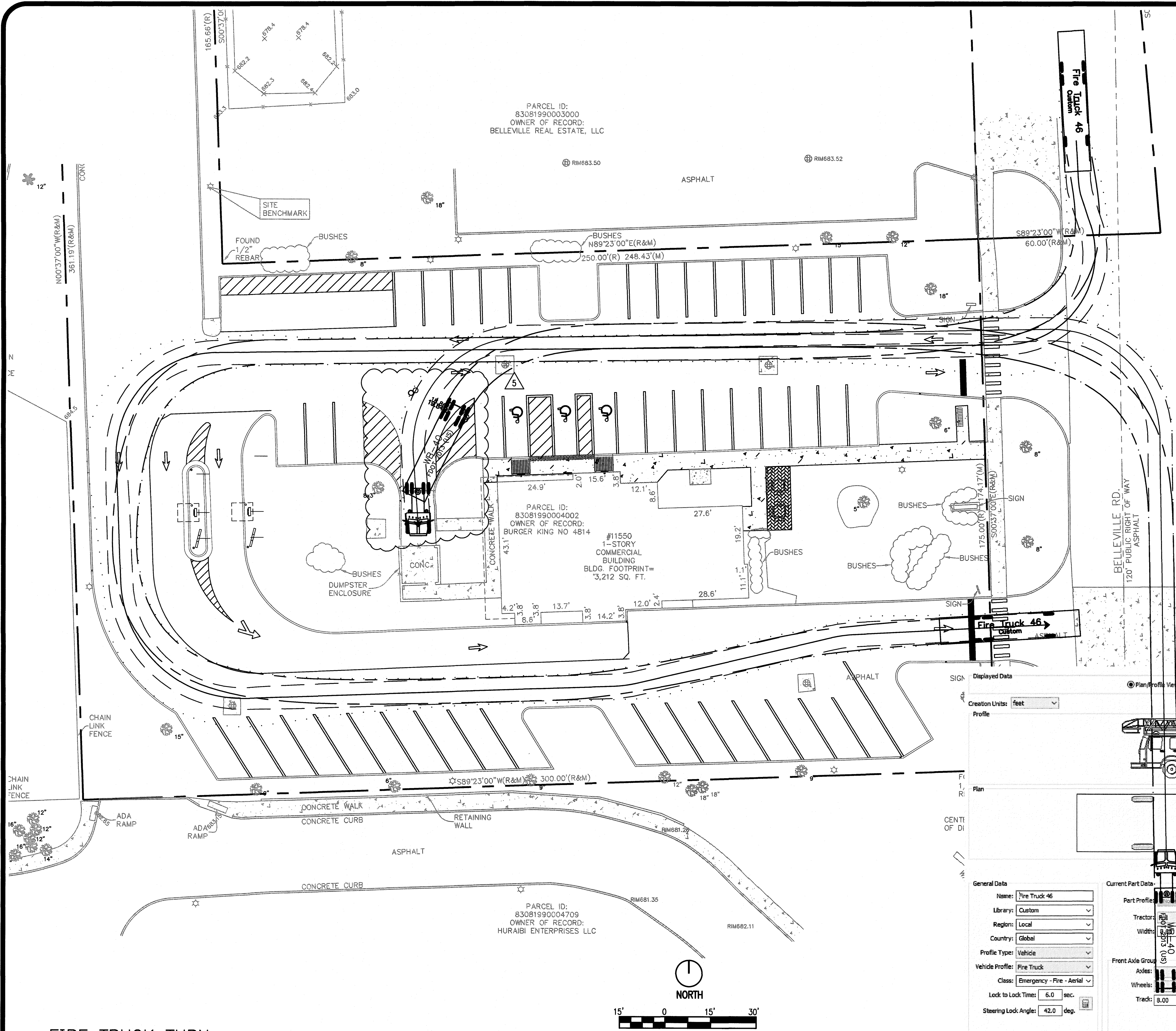
DATE: 03/15/2021
PROJECT: BK 4814
SCALE: 1" = 15'

CHECKED: GEG
DRAWN: AG

NO. DATE
1 03/15/2021
2 03/15/2021
3 03/15/2021
4 03/15/2021
5 03/15/2021
6 03/15/2021
7 03/15/2021
8 03/15/2021
9 03/15/2021
10 03/15/2021
11 03/15/2021
12 03/15/2021
13 03/15/2021
14 03/15/2021
15 03/15/2021
16 03/15/2021
17 03/15/2021
18 03/15/2021
19 03/15/2021
20 03/15/2021
21 03/15/2021
22 03/15/2021
23 03/15/2021
24 03/15/2021
25 03/15/2021
26 03/15/2021
27 03/15/2021
28 03/15/2021
29 03/15/2021
30 03/15/2021
31 03/15/2021
32 03/15/2021
33 03/15/2021
34 03/15/2021
35 03/15/2021
36 03/15/2021
37 03/15/2021

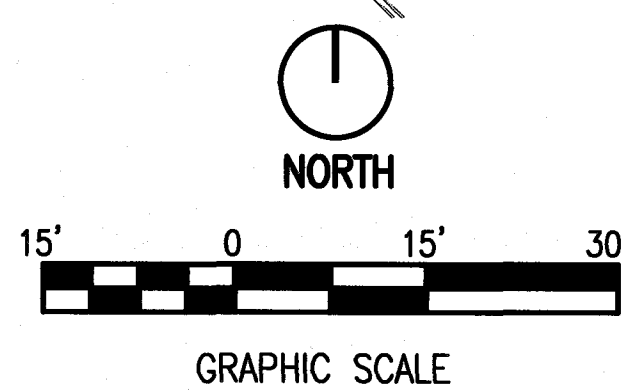
NOV 15 2021

C-2.0



FIRE TRUCK TURN

1" = 15'



Displayed Data

Creation Units: feet

Profile

Plan

Overall Vehicle Length: 46.00 ft

General Data

Name: Fire Truck 46

Library: Custom

Region: Local

Country: Global

Profile Type: Vehicle

Vehicle Profile: Fire Truck

Class: Emergency - Fire - Aerial

Lock to Lock Times: 6.0 sec

Steering Lock Angle: 42.0 deg

Current Part Data

Part Profile: Roll

Traction: Roll

Width: 8.00 ft

Front Axle Group

Axles: 2

Wheels: 2

Track: 8.00 ft

Rear Axle Group

Axles: 2

Wheels: 2

Track: 8.00 ft

RESTAURANT FOR:

Carroll's Corporation 6869
988 Jones Street P.O. Box
Syracuse, New York 13217-6969
(315) 424-0513

LOUISE CRAVER ARCHITECT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

DATE: 06/28/2021

REVISION

CHECKED BY: [Signature]

DRAWN BY: [Signature]

IP# 2020.2249

IP# 1018

DATE: 06/28/2021

DATE: 06/28/2021

STUART A. ANDERSON
ENGINEER
LICENSED PROFESSIONAL ENGINEER
STATE OF MICHIGAN

DATE: 06/28/2021

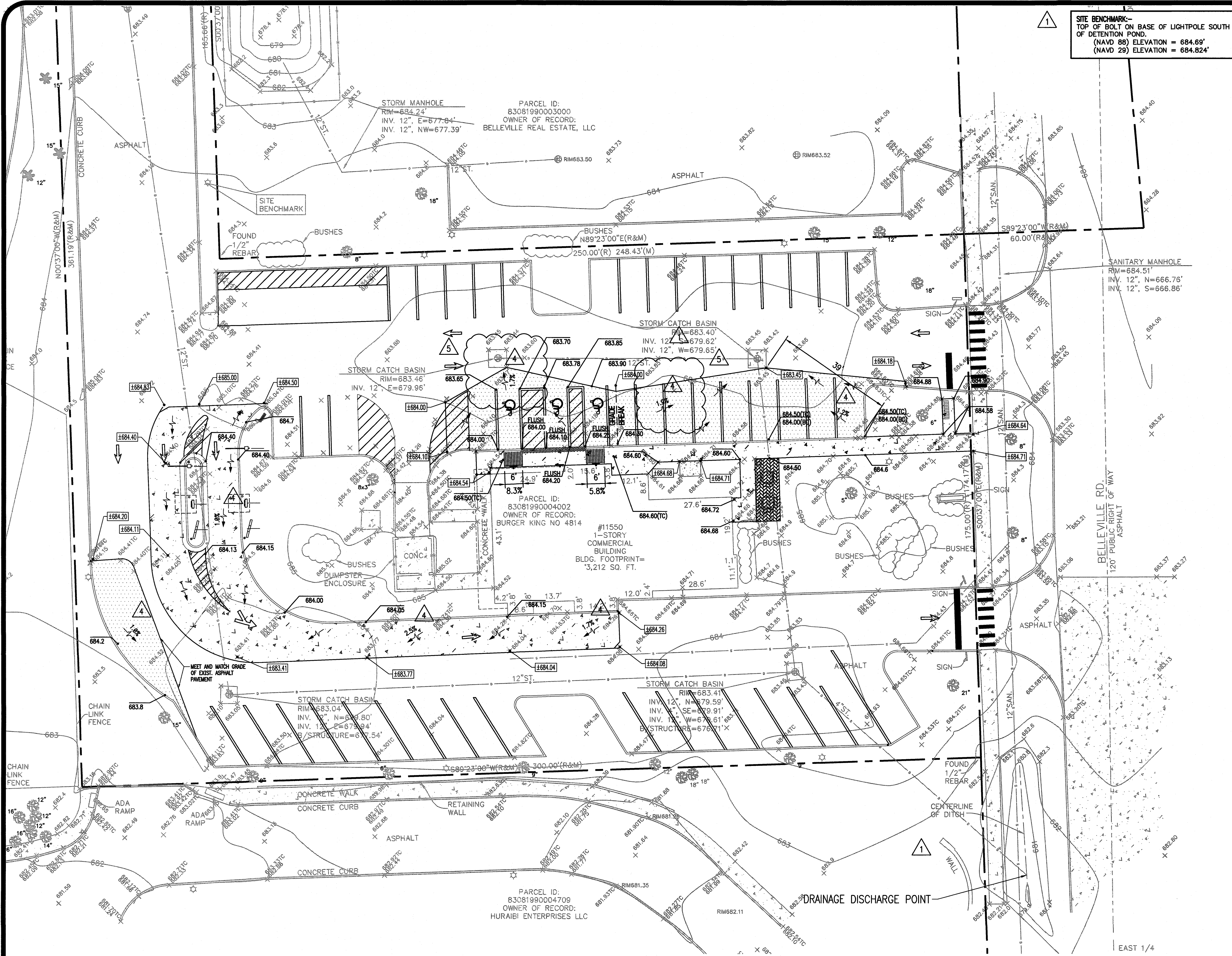
DATE: 06/28/2021

TRUCK TURN

C-2.1

CHECKED GEC

DRAWN AG



SITE BENCHMARK:
TOP OF BOLT ON BASE OF LIGHTPOLE SOUTH
OF DETENTION POND.
(NAVD 88) ELEVATION = 684.69'
(NAVD 29) ELEVATION = 684.824'

LEGEND

- 15.00 PROPOSED SPOT ELEVATION (SEE NOTE BELOW)
- 15.5 PROPOSED CONTOUR ELEVATION
- 88 EXISTING CONTOUR (BY SURVEY)
- 85.9 EXISTING SPOT-ELEVATION
- HP HIGH POINT
- 1.0% DIRECTION OF FLOW AND PERCENT SLOPE
- DSO DOWN SPOUT DRAINS
- GB STORM SEWER
- B1 GRADE BREAK
- B1 BORING LOCATION (SEE SOILS REPORT)
- TC CLEANOUT (CO)
- BC TOP OF CURB
- BC BOTTOM OF CURB

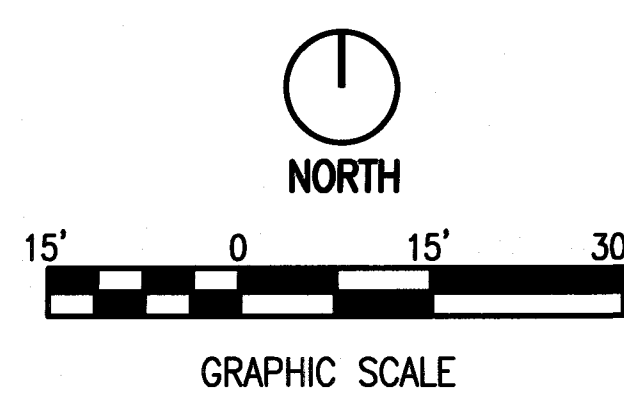
- NOTE:** PROPOSED SPOT ELEVATIONS ARE DESIGNED TO BE AT BOTTOM OF CURB.
- NEW ASPHALT PAVEMENT SECTION
 - STAMPED, COLORED CONCRETE PATIO (SQ. FT. AS NOTED)
 - PROPOSED CONCRETE PAVEMENT
 - EXISTING SIDEWALK/CONCRETE PAVEMENT

- GRADING NOTES:**
- CONTRACTOR SHALL FIELD VERIFY FINISHED FLOOR ELEVATION OF EXISTING BUILDING AND MATCH PROPOSED SERVICE YARD FINISHED FLOOR WITH EXISTING.
 - NEW CONCRETE SIDEWALKS SHALL NOT EXCEED ADA PEDESTRIAN ACCESS ROUTE REQUIREMENTS OF 5% MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE.

- NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP.
 - THE APPLICANT IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE APPLICANT'S ACTIONS.

AS-BUILT NOTE:
AS-BUILT DOCUMENTS WERE NOT AVAILABLE FOR THE PREPARATION OF THESE PLANS. CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS, UTILITY LOCATIONS, AND PAVEMENT ELEVATIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY CONFLICTS TO THE ENGINEER.

NOTE:
EXISTING DRAINAGE PATTERN TO BE MAINTAINED



GRADING & DRAINAGE & UTILITY PLAN

RESTAURANT FOR: Carrols Corporation
888 James Street P.O. Box 8888
Syracuse, New York 13217-8888
(315) 424-0513

BURGER KING CORPORATION

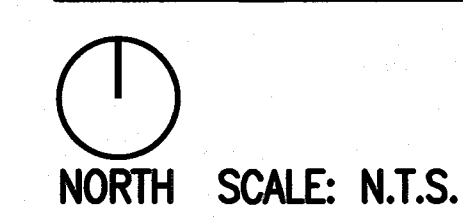
LOUISE CRAVER ARCHITECT
604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

SEAL

STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
NO. 69018-6952
EXPIRATION DATE 12/31/2021

IP# 2020.2249
C# 1016
BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111
DATE 05/15/2021
BK-57
GRADING / DRAINAGE / UTILITY PLAN
C-3.0
CHECKED GEG
DRAWN AG

DATE: 05/15/2021
DRAWN BY: AG
CHECKED BY: GEG
REVISION

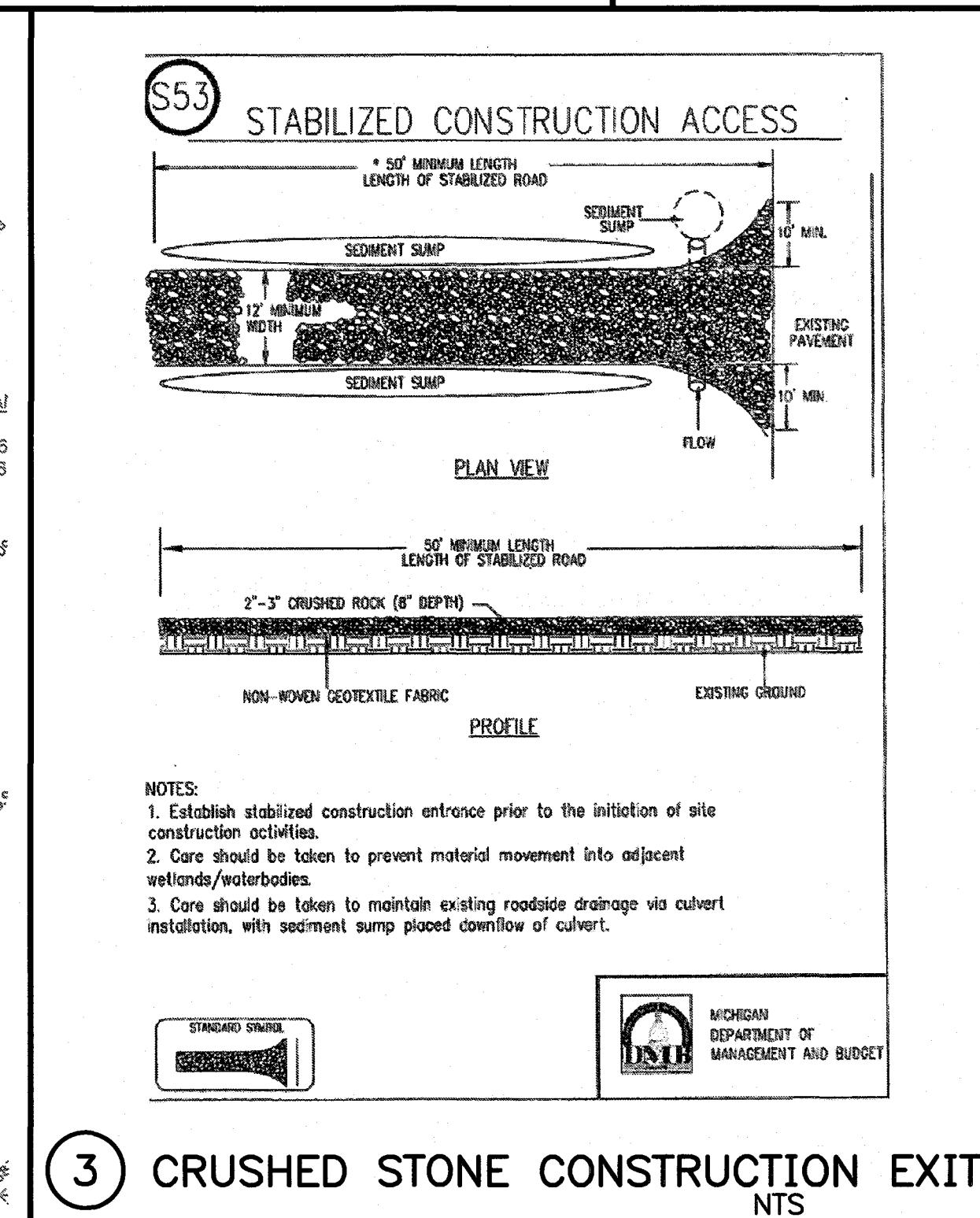


ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.

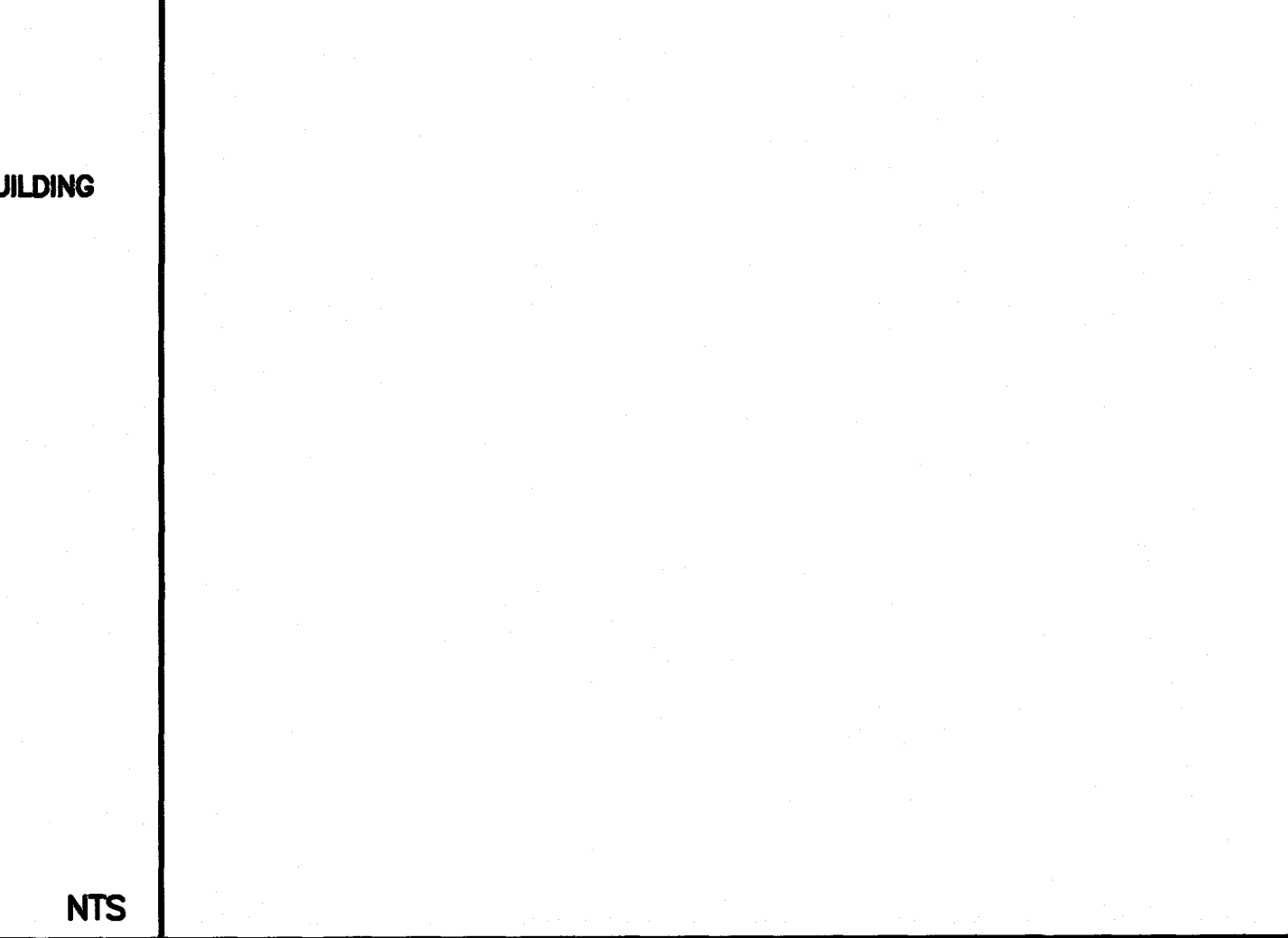
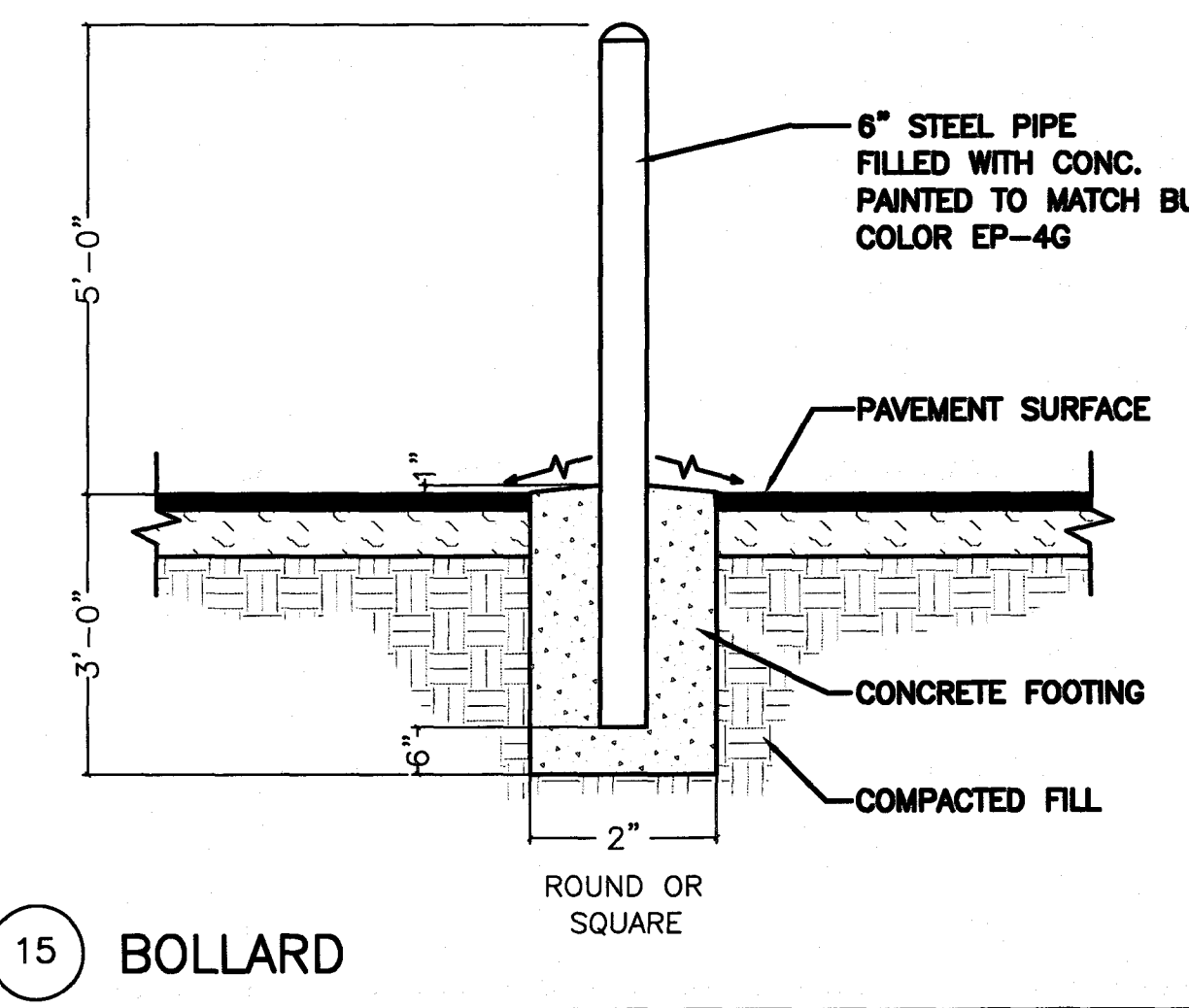
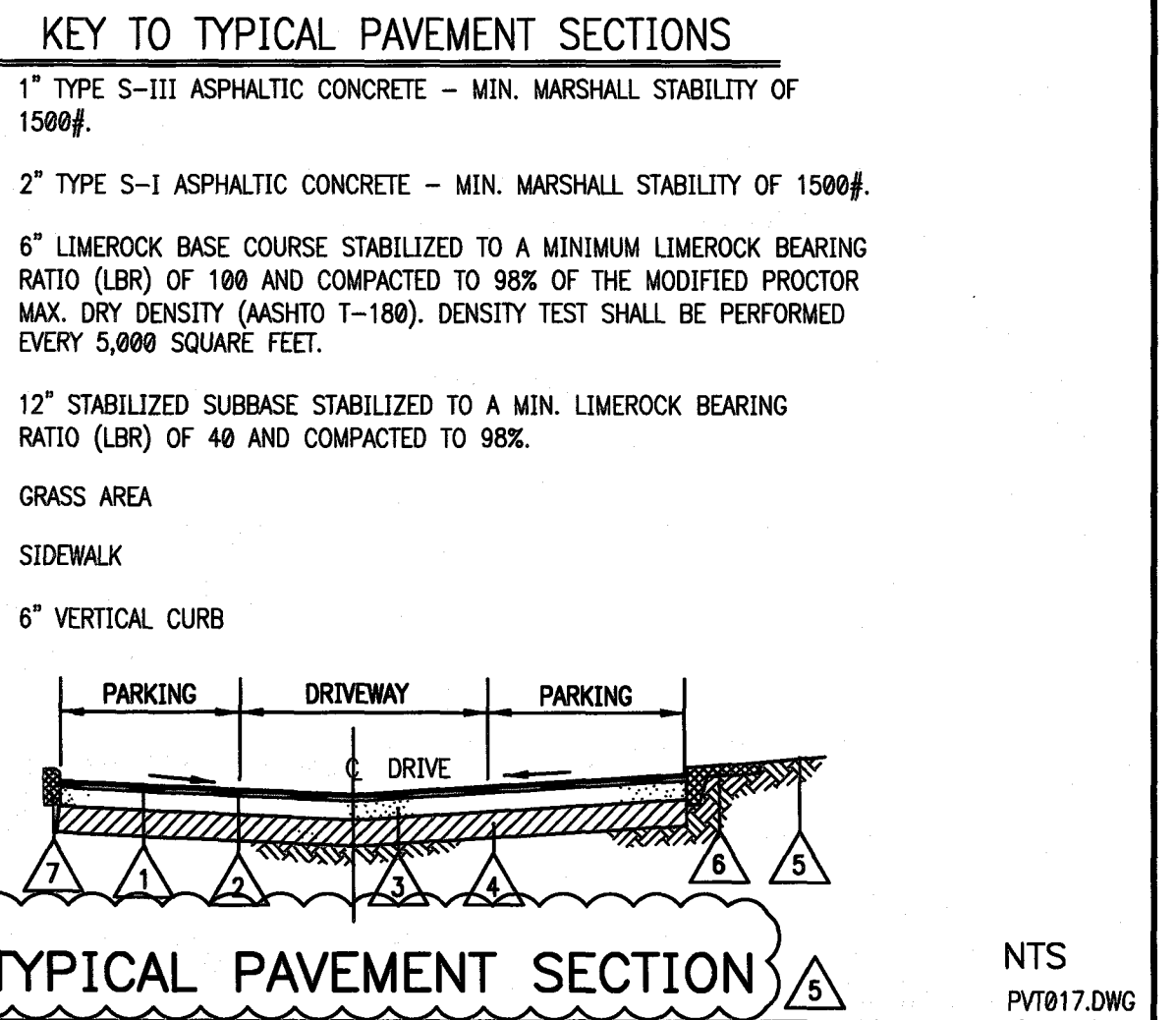
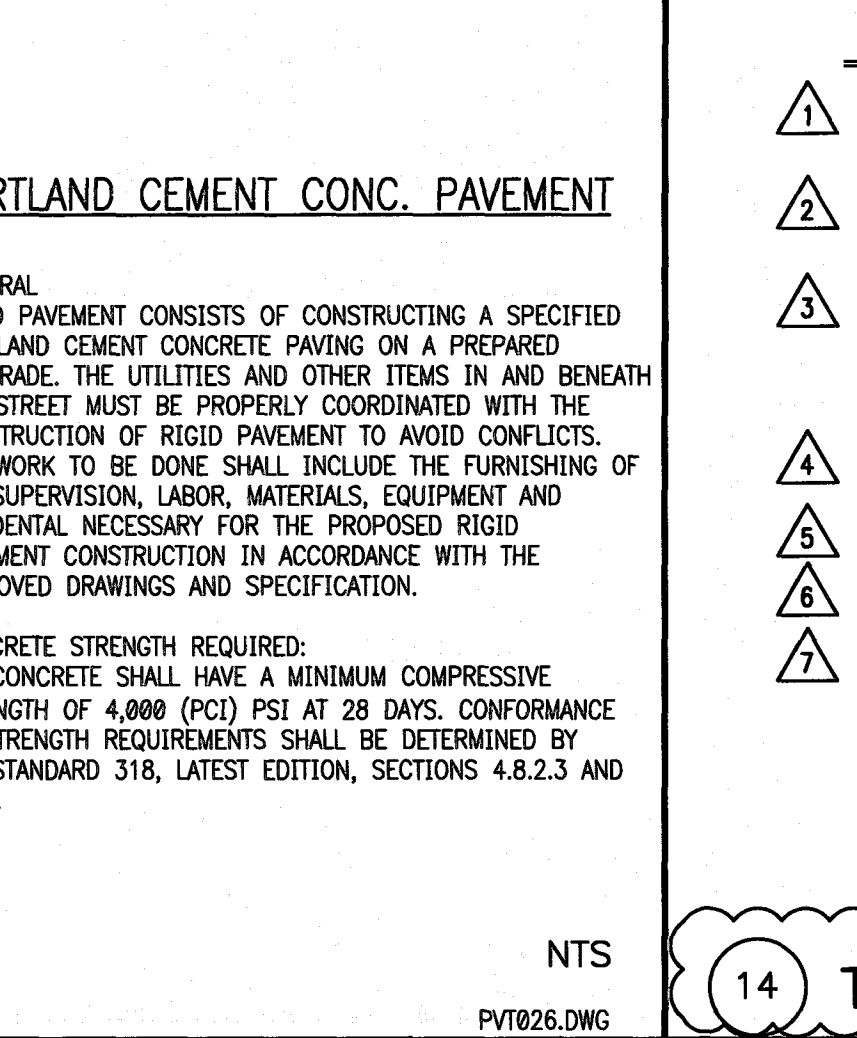
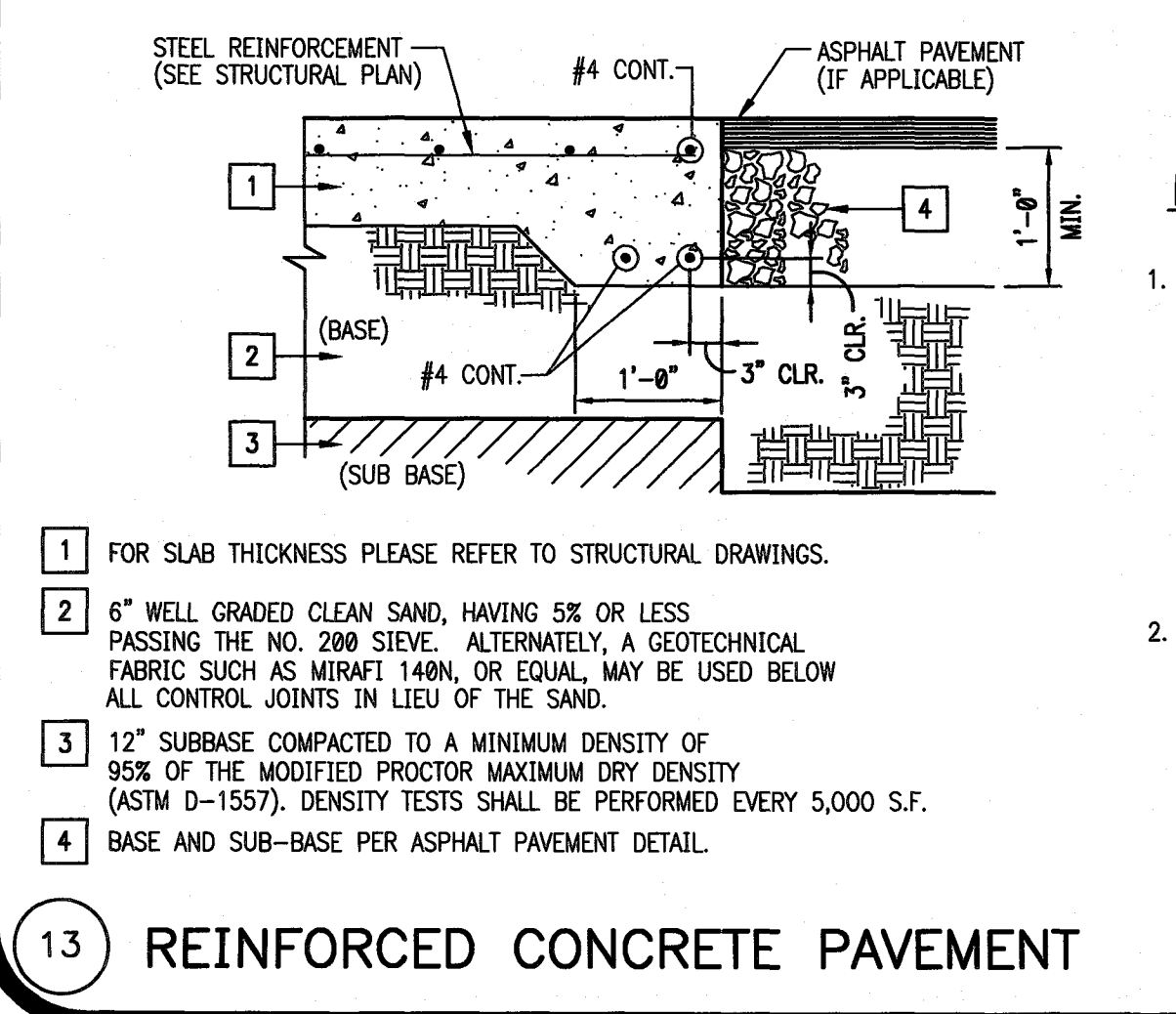
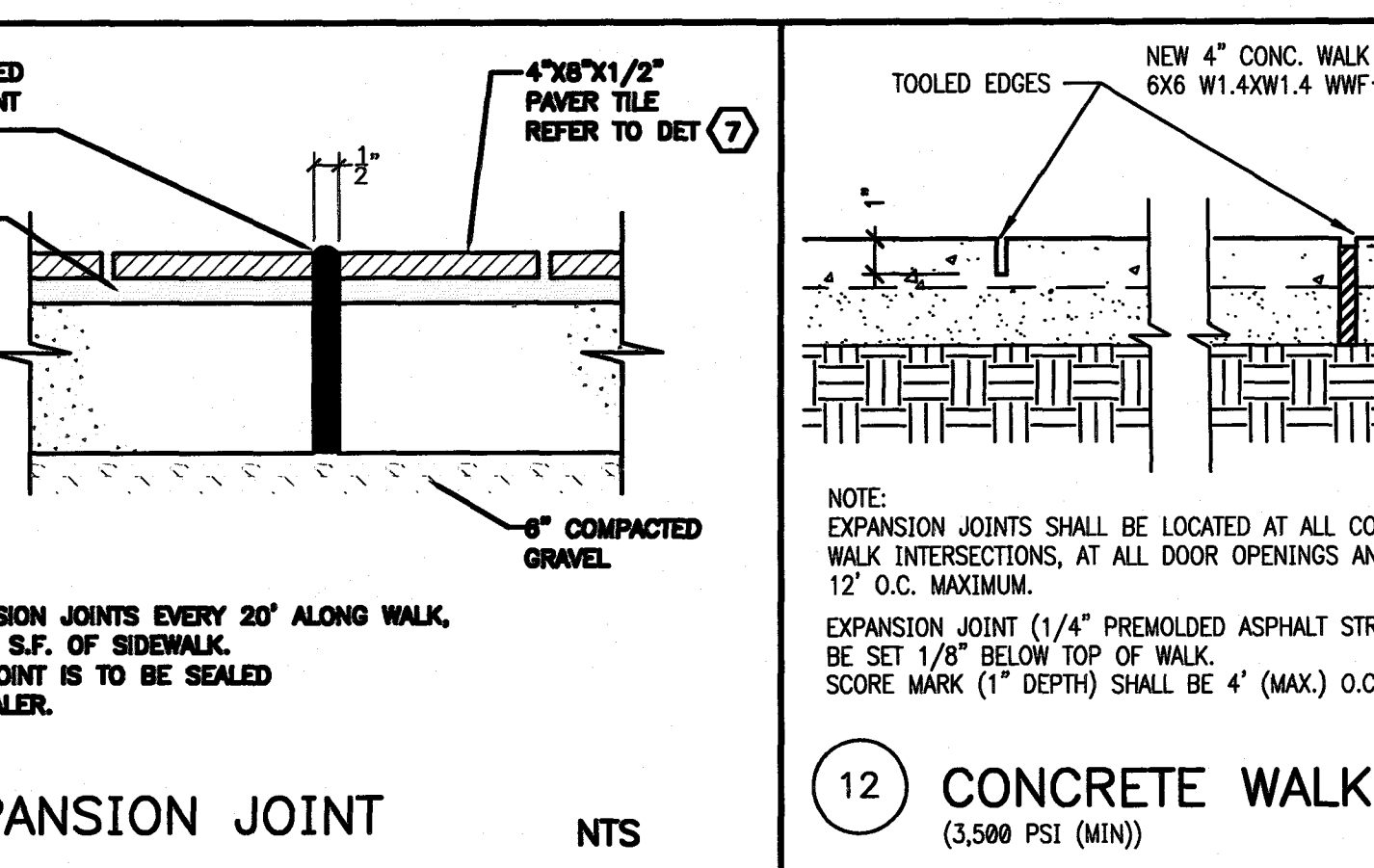
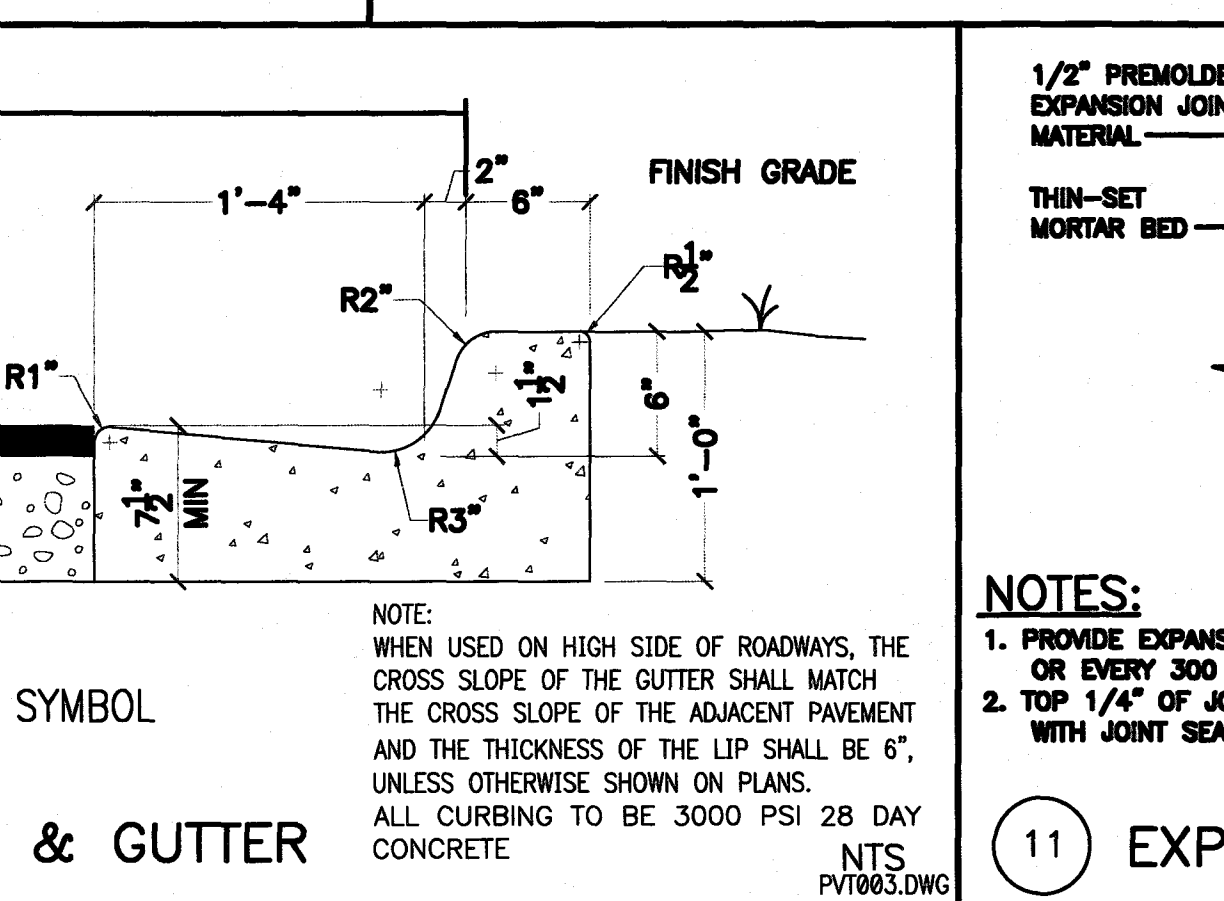
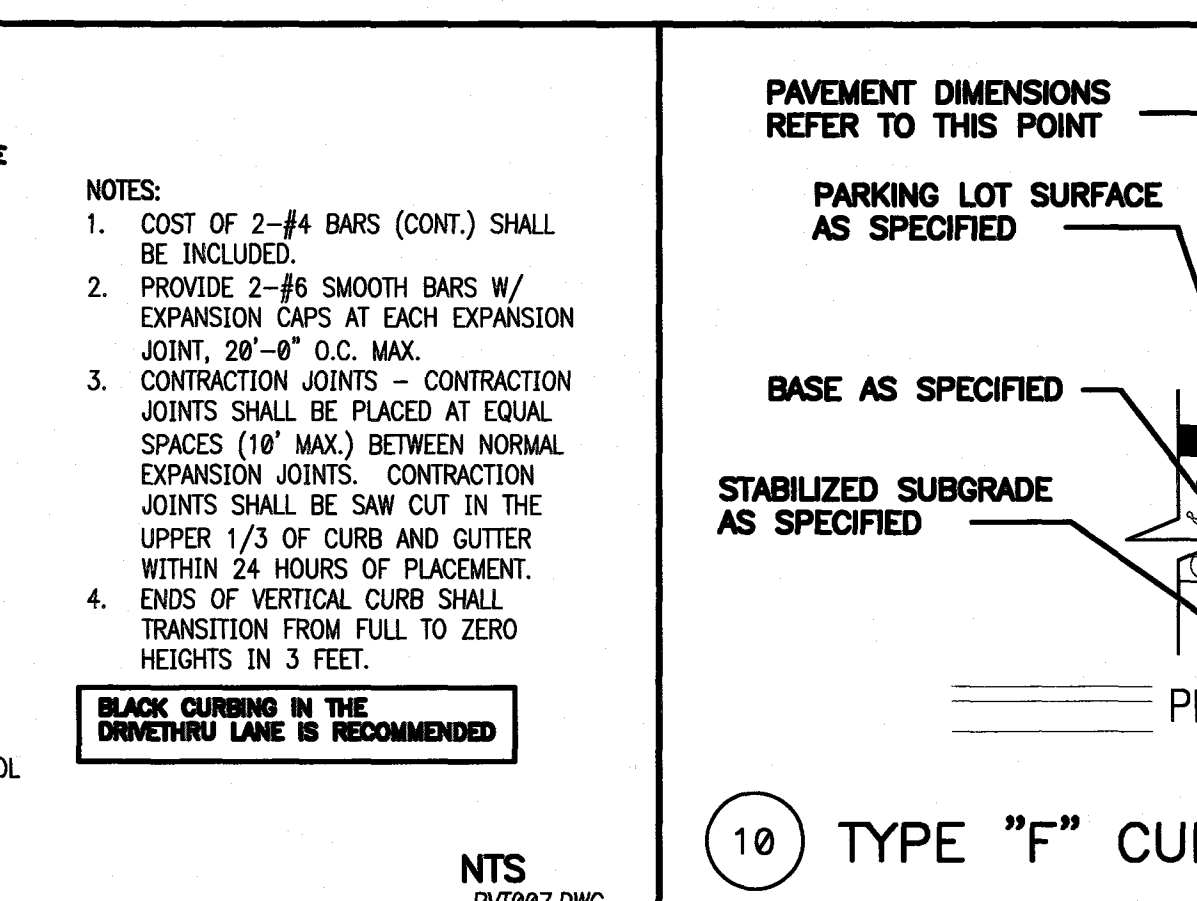
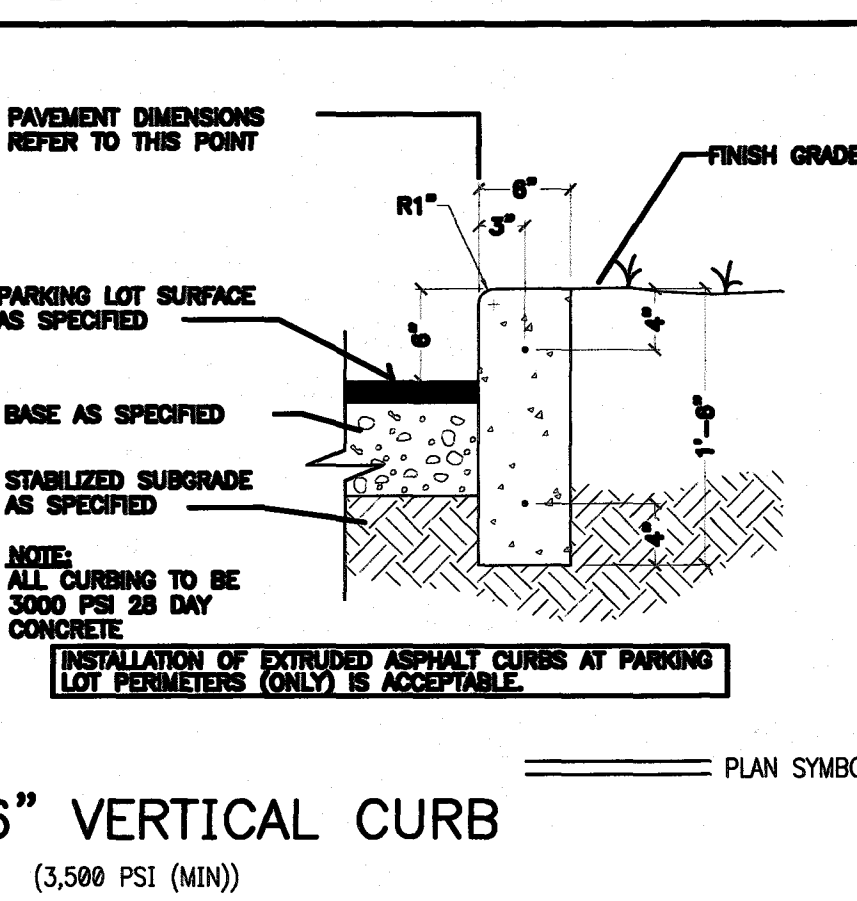
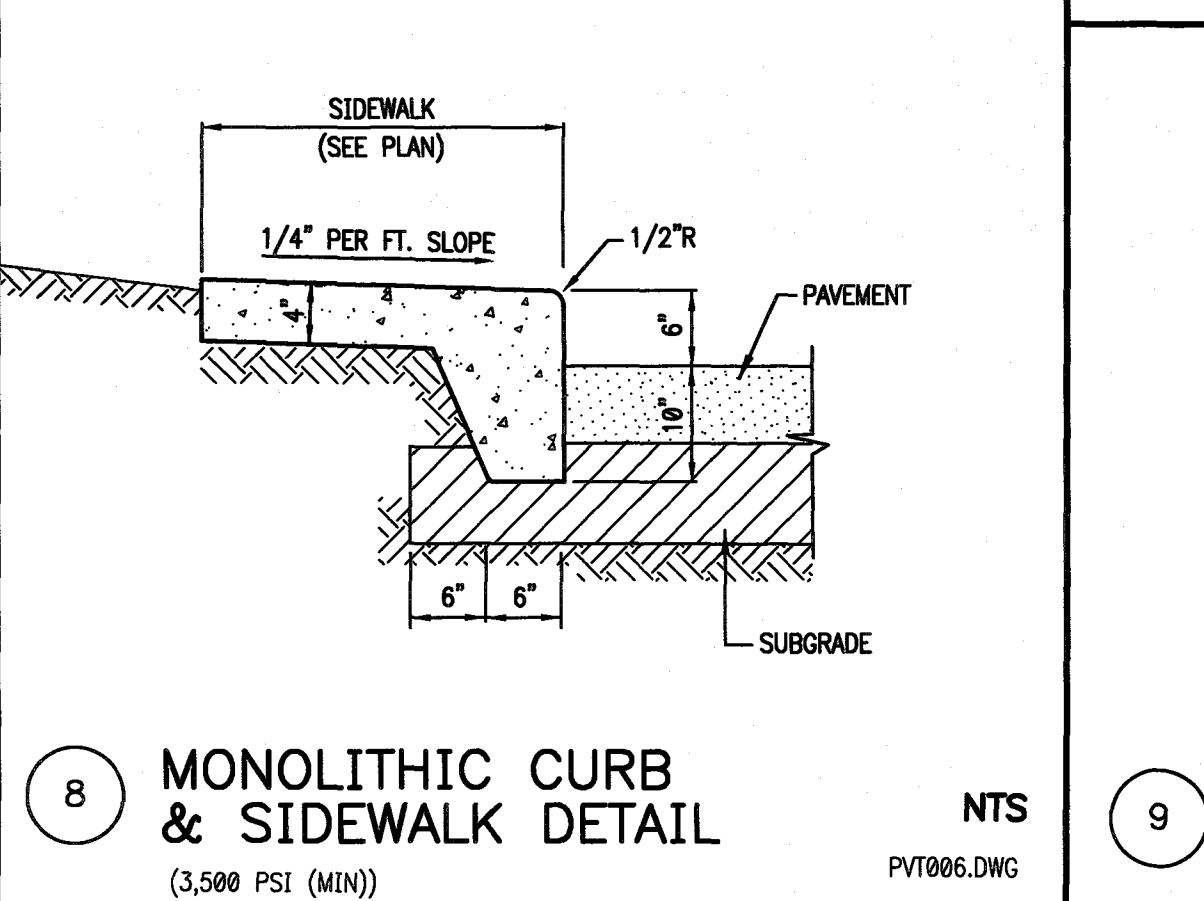
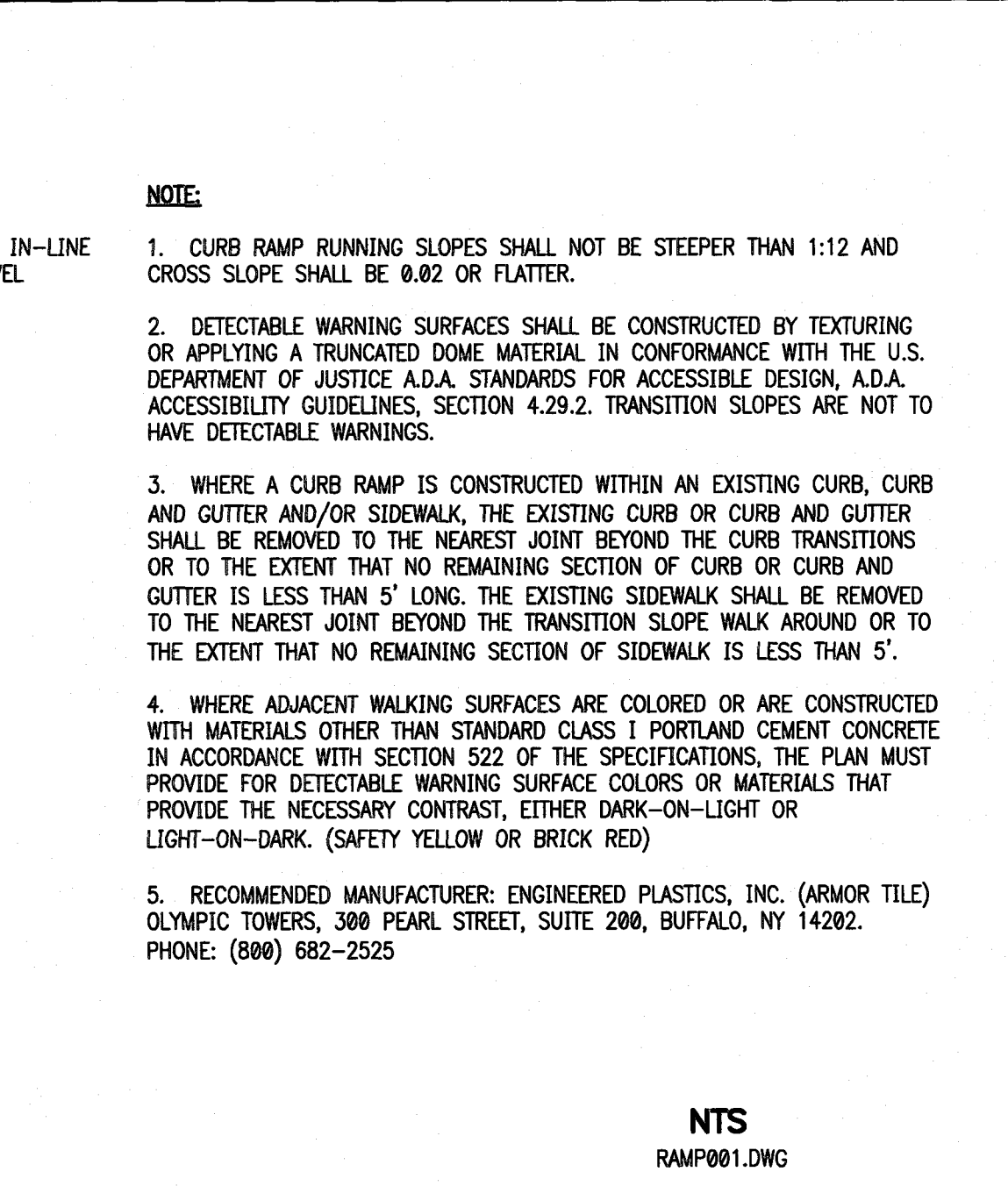
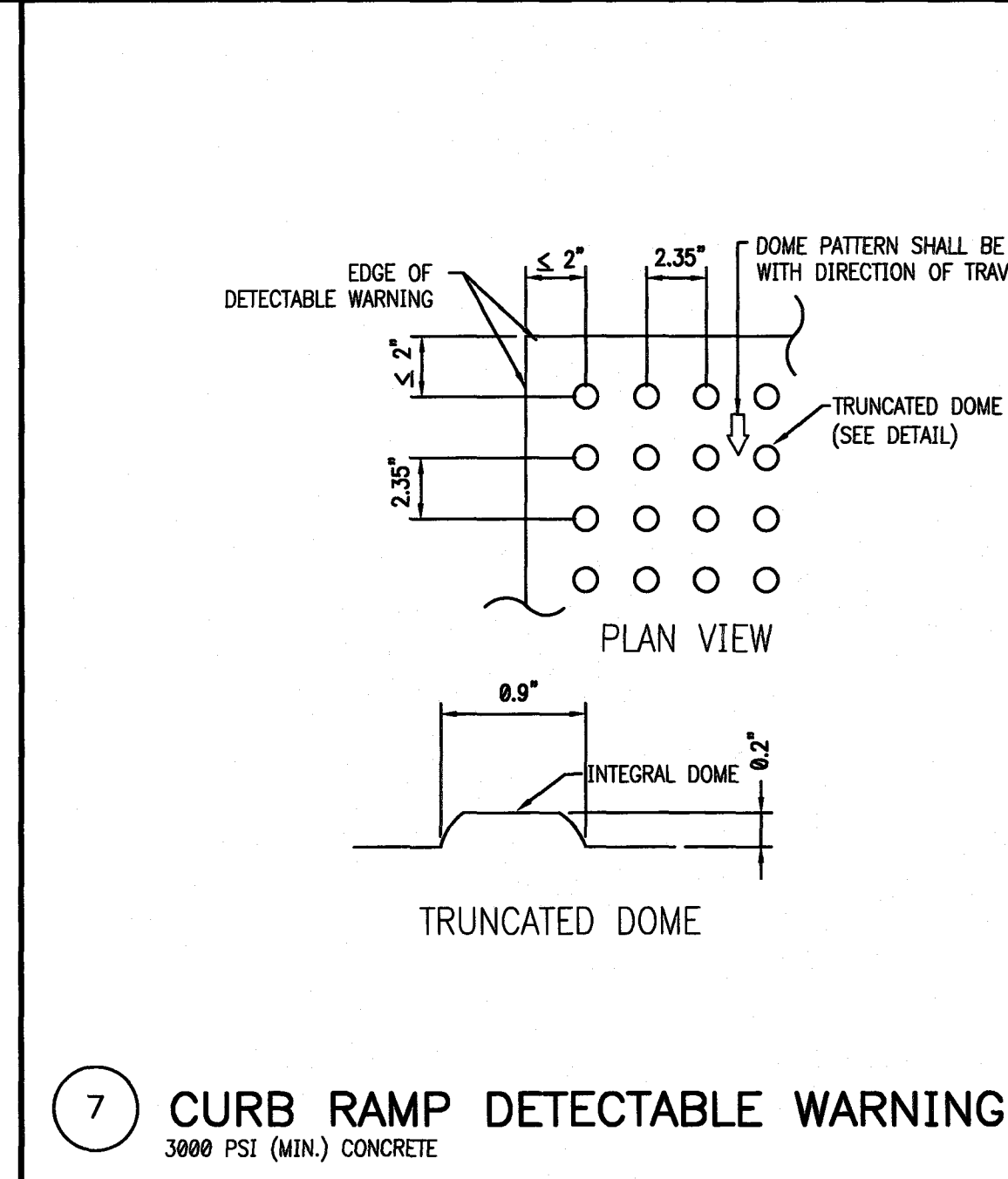
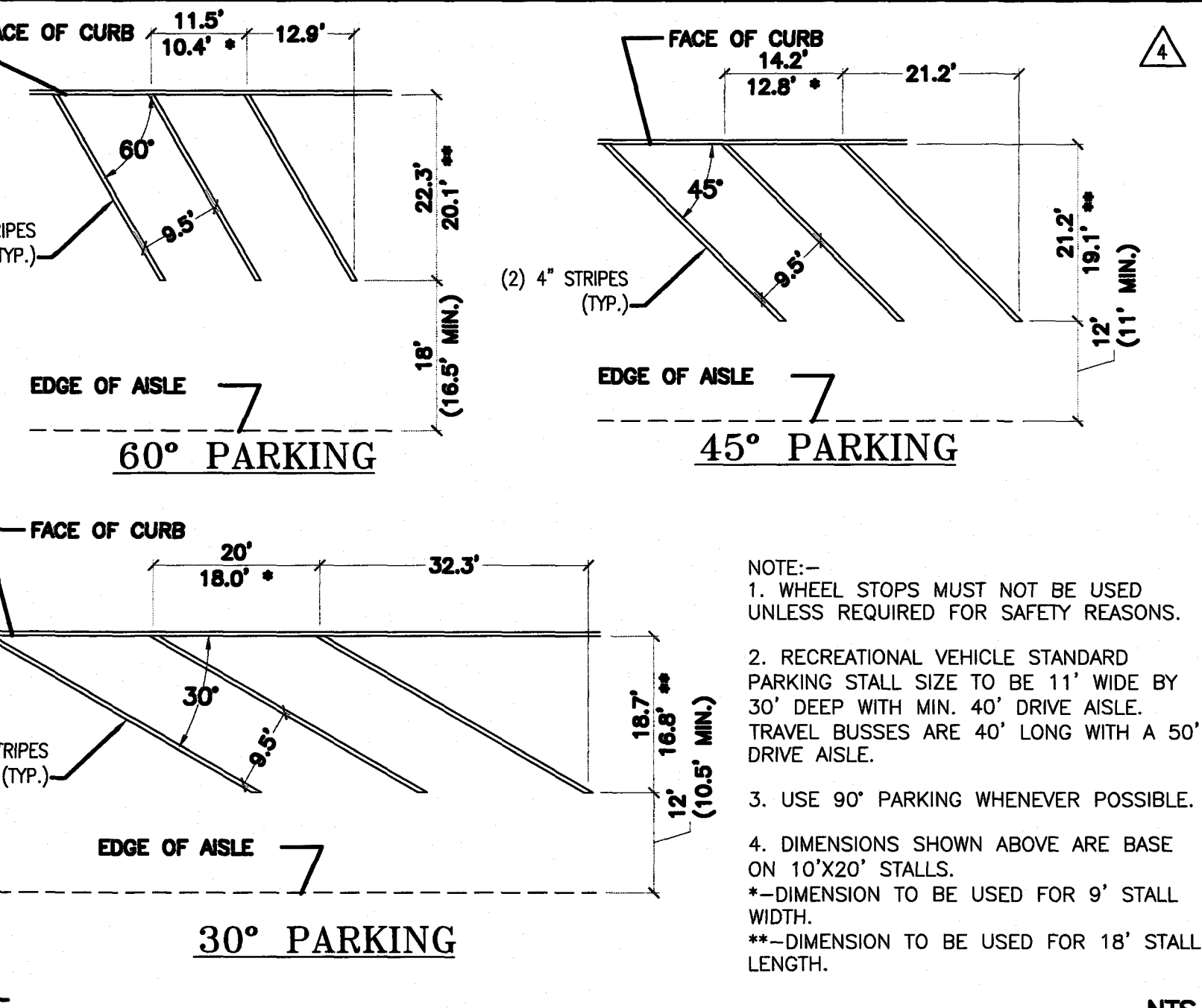
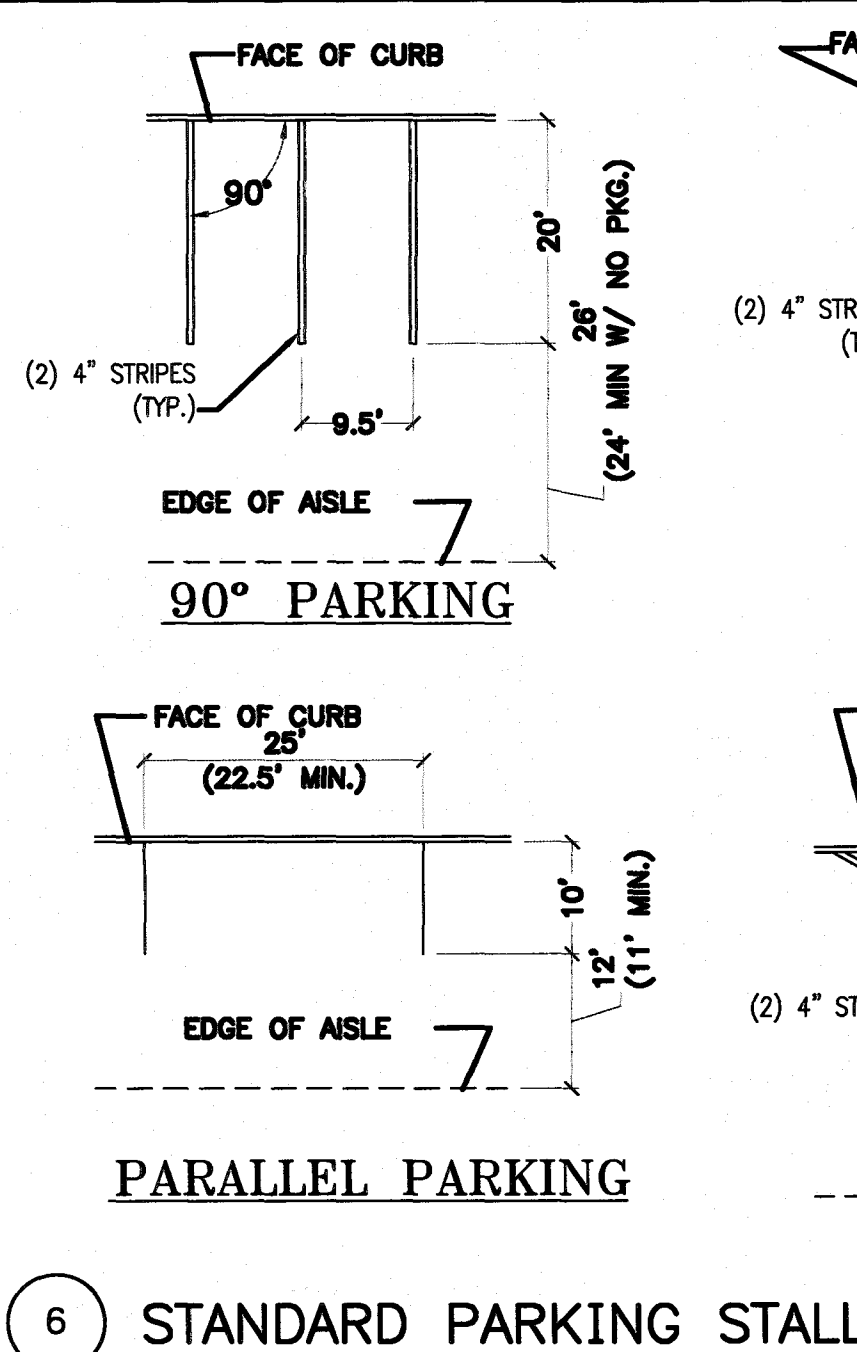
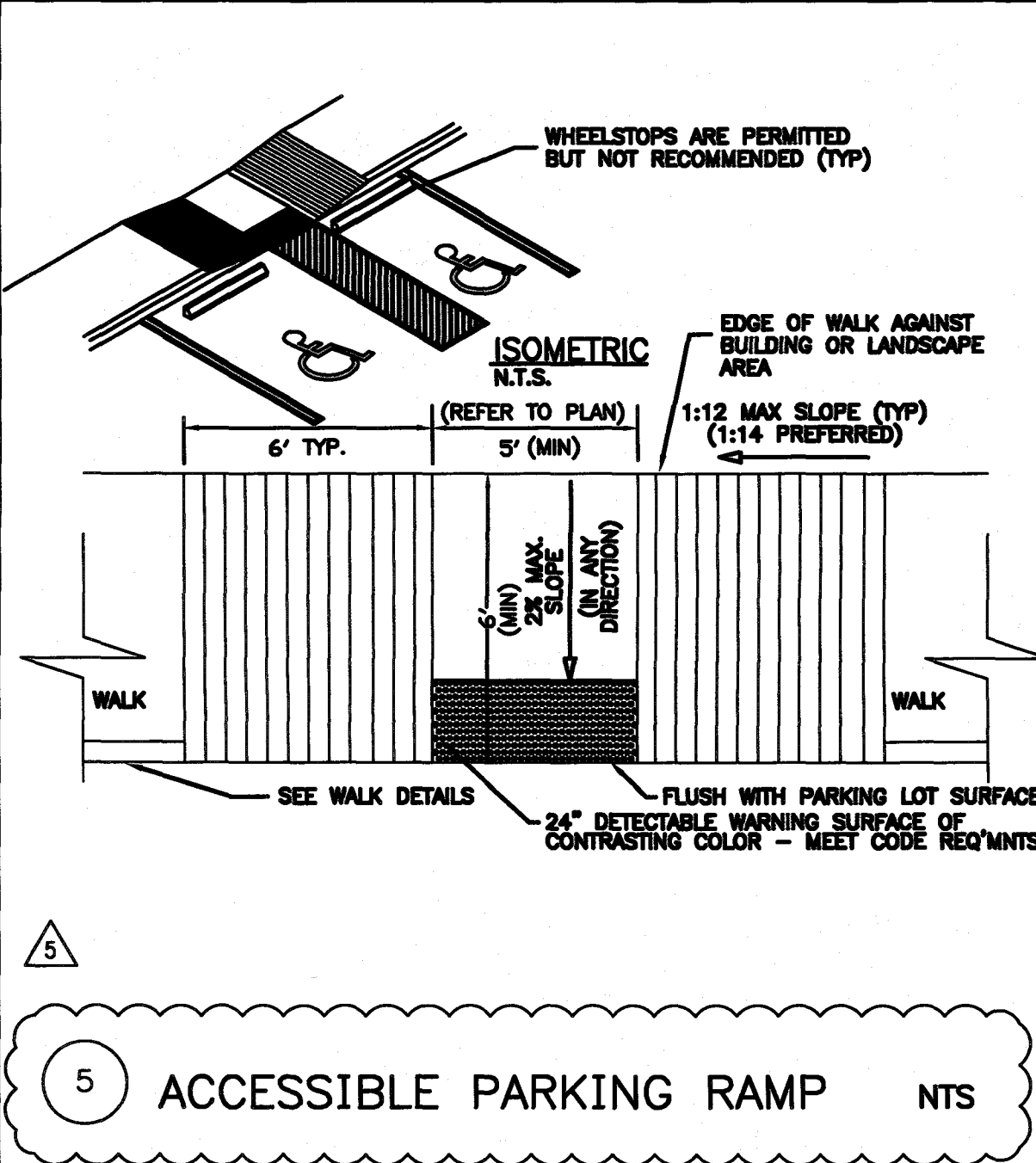
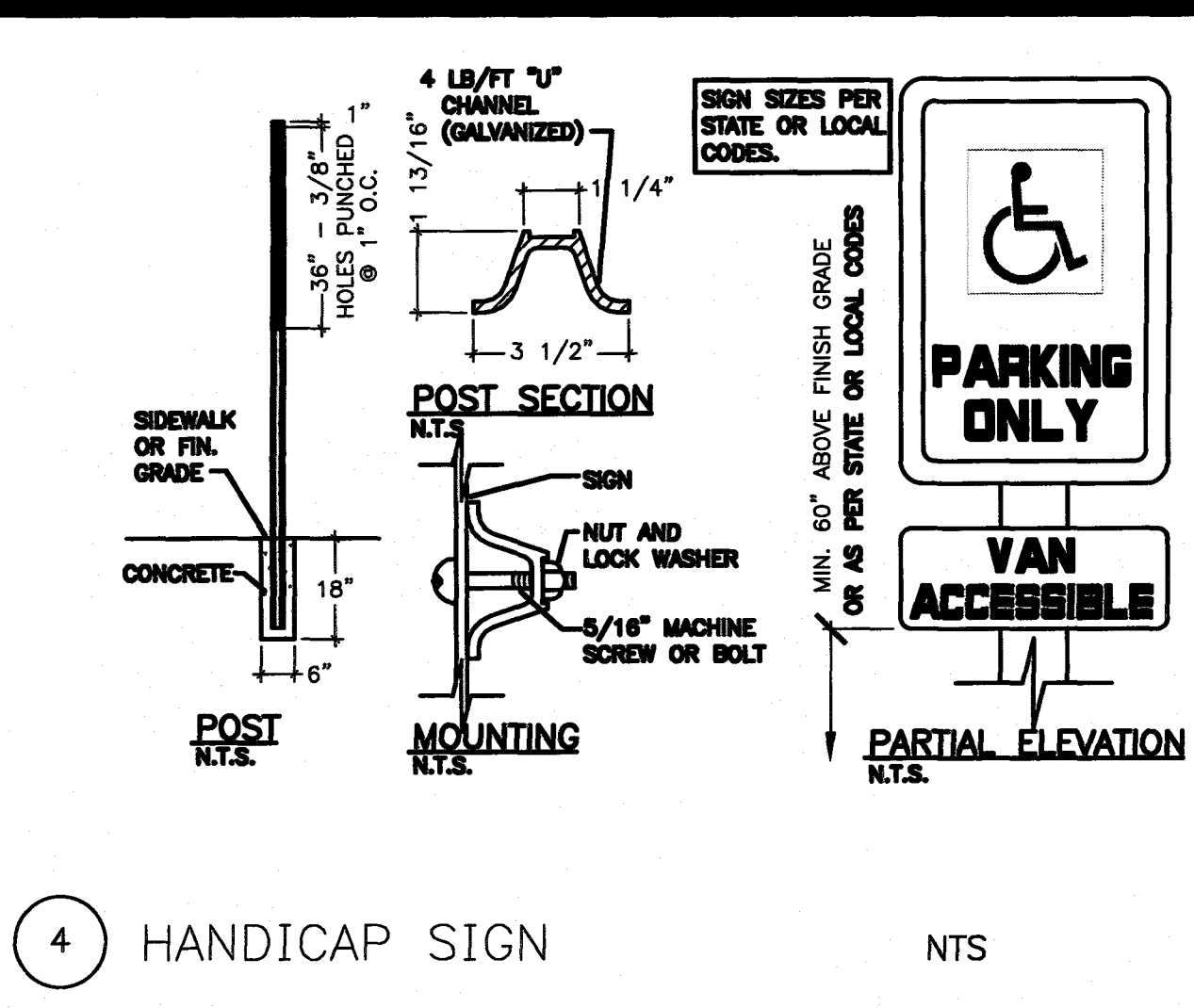
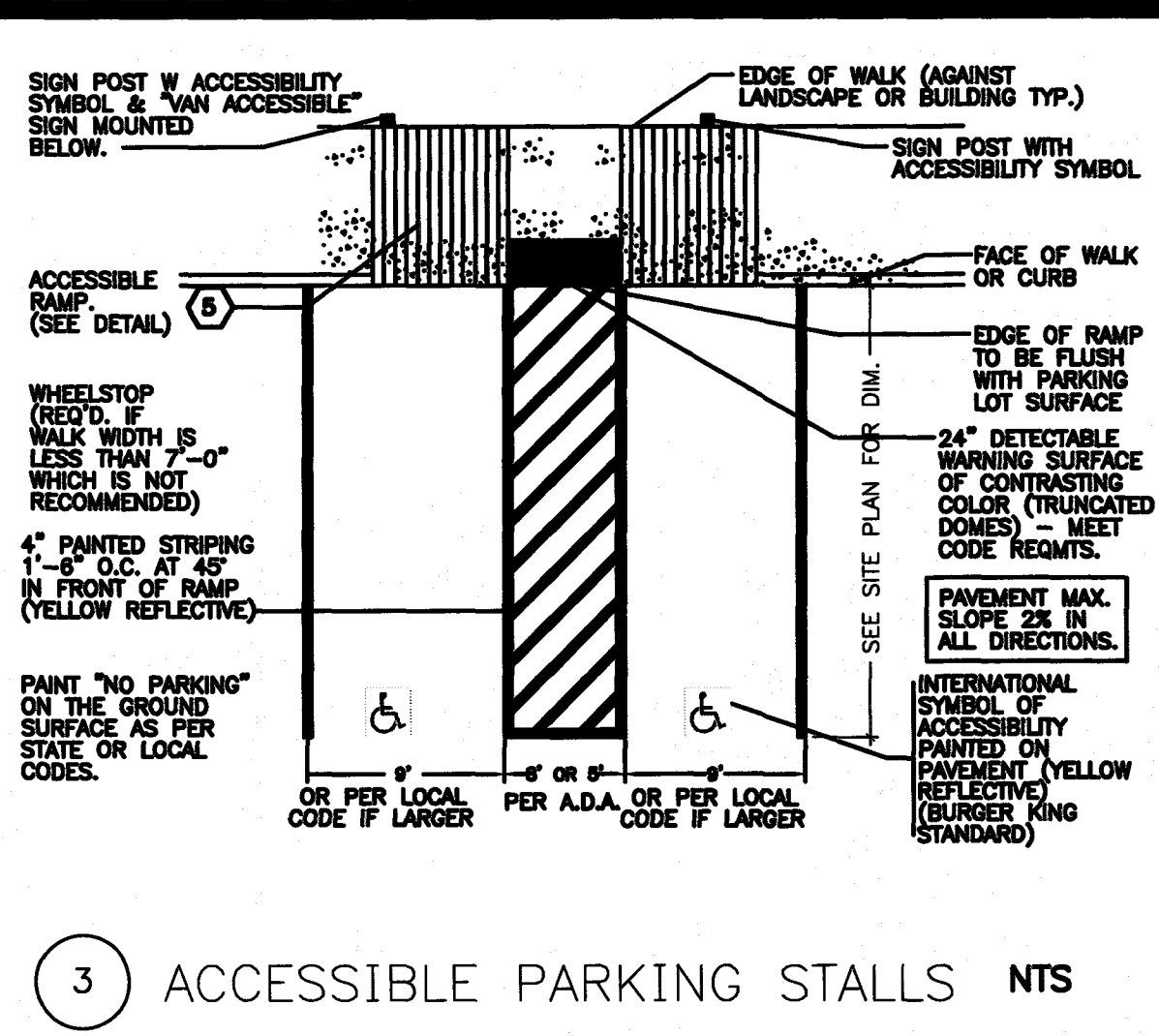
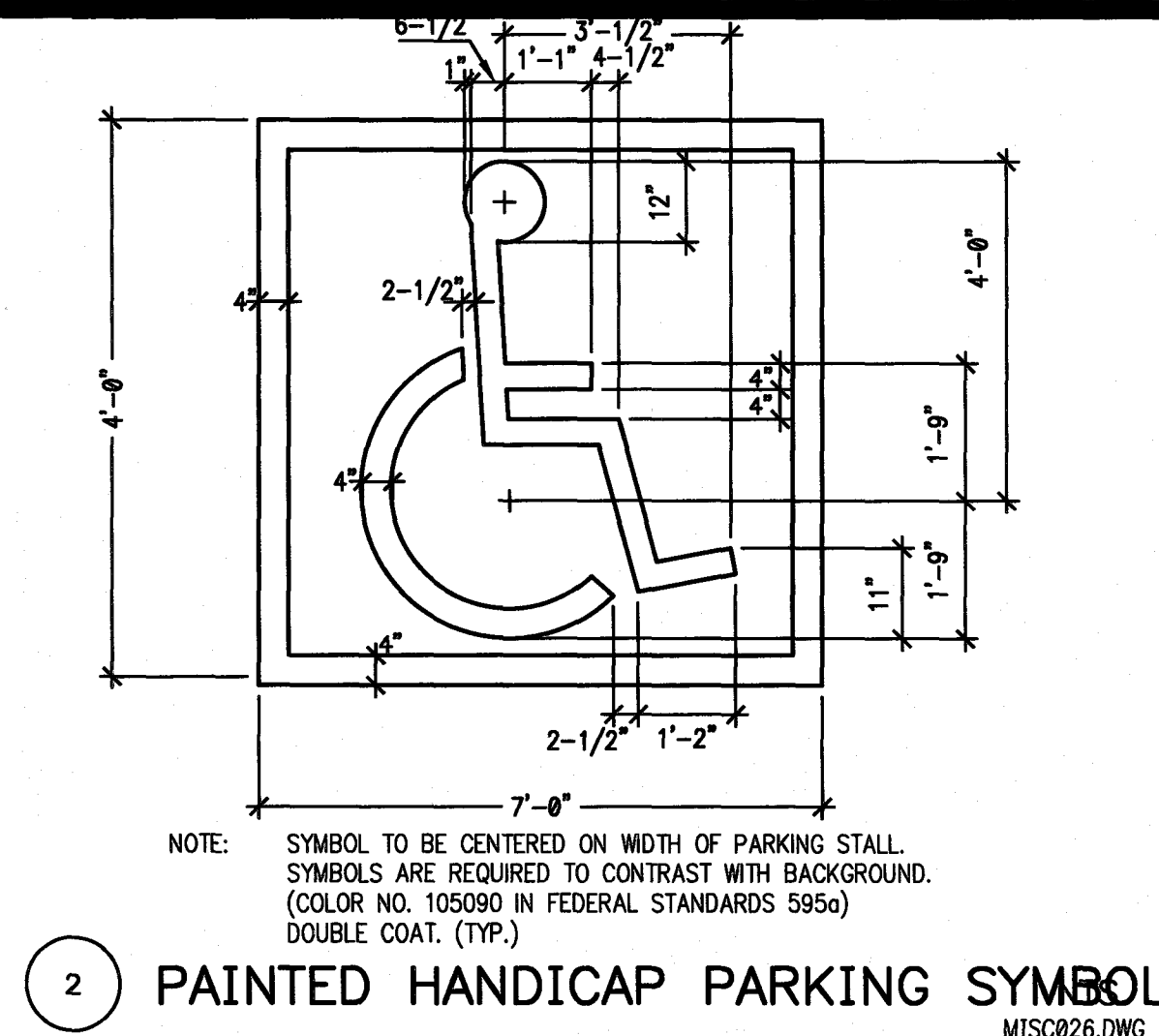
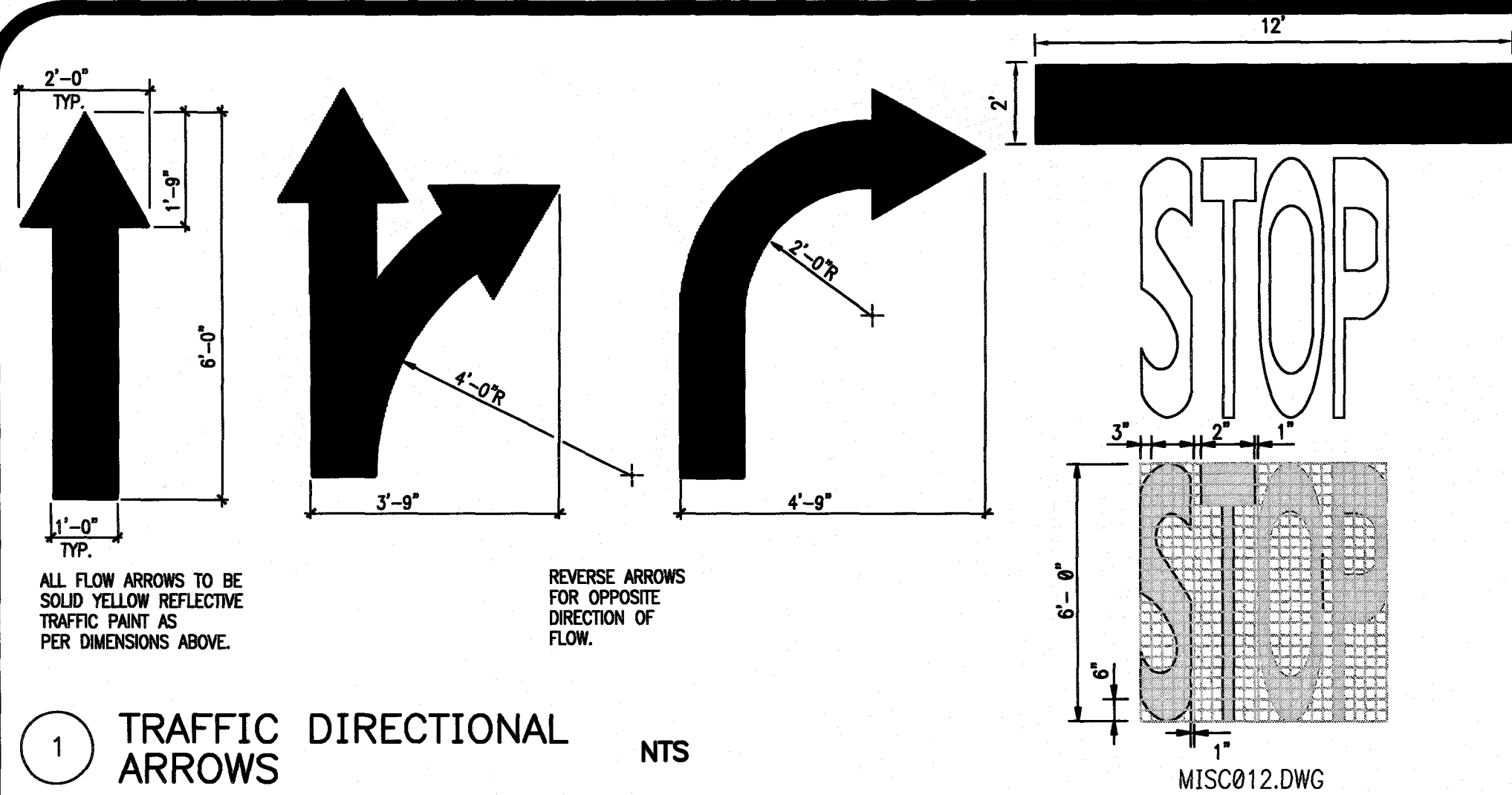
1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL WATERS COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO ANY AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.

2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AT THE FIRST STEP IN CONSTRUCTION. EROSION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.

3. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUIVALENT TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS, THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
6. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
7. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.
8. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
9. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
10. FOR ADDITIONAL INFORMATION AND DETAILS, SEE M.D.O.T. SOIL EROSION AND SEDIMENTATION CONTROL MANUAL.
11. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
12. ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
13. ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.
14. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
15. THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN ALONG WITH A COPY OF THE NPDES NOTICE OF INTENT POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.
16. "CONTRACTOR IS REQUIRED BY NPDES TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES: FOR INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER".
17. THE CONTRACTOR IS REQUIRED TO SUBMIT A COPY OF THIS LOG ALONG WITH A NOTICE OF TERMINATION TO THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL PROTECTION UPON THE COMPLETION OF CONSTRUCTION.



SWPPP / STORMWATER POLLUTION PREVENTION PLAN SCALE 1" : 20'



RESTAURANT FOR: Carrolls Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

BURGER KING CORPORATION

LOUISE CRAVER ARCHITECT

LOUISE CRAVER ARCHITECT

604 COURTLAND STREET
SUITE 100
FLORIDA 32804
PH 407.445.5088
FX 407.629.9124

SEAL

STATE OF FLORIDA PROFESSIONAL ARCHITECT

STUART A. ANDERSON
ARCHITECT
NO. 15000
DATE 03/15/2021

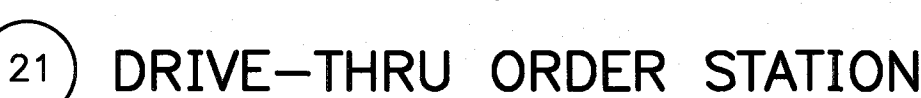
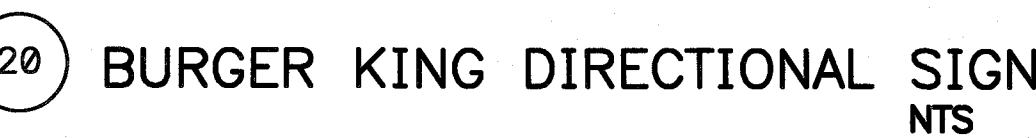
CC# 1018 BK 4814
1550 BELLEVILLE ROAD
BELLEVILLE, MI 48111
BK-57
DATE 03/15/2021

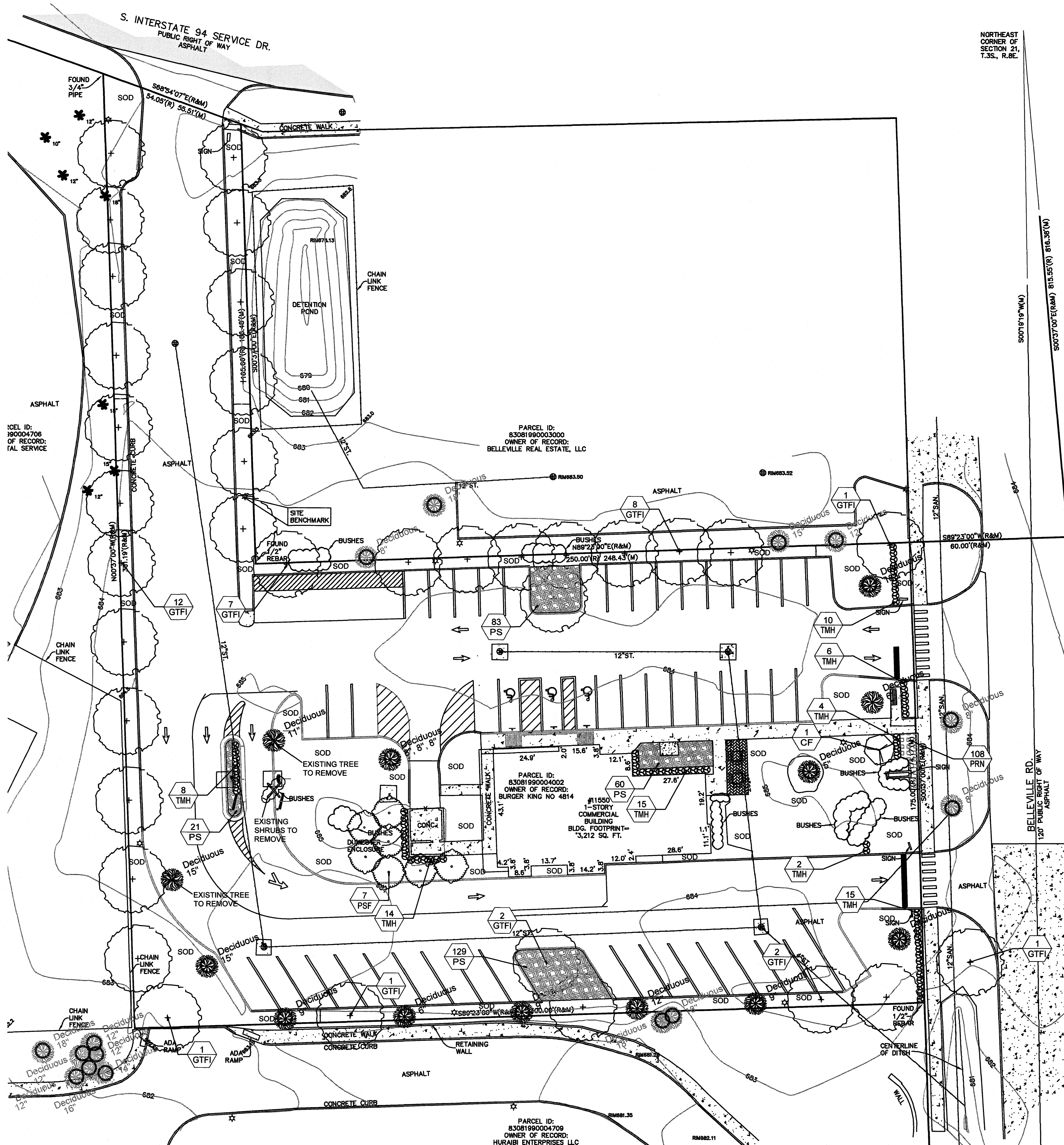
DETAIL

C-4.0

CHECKED GEG
DRAWN AG

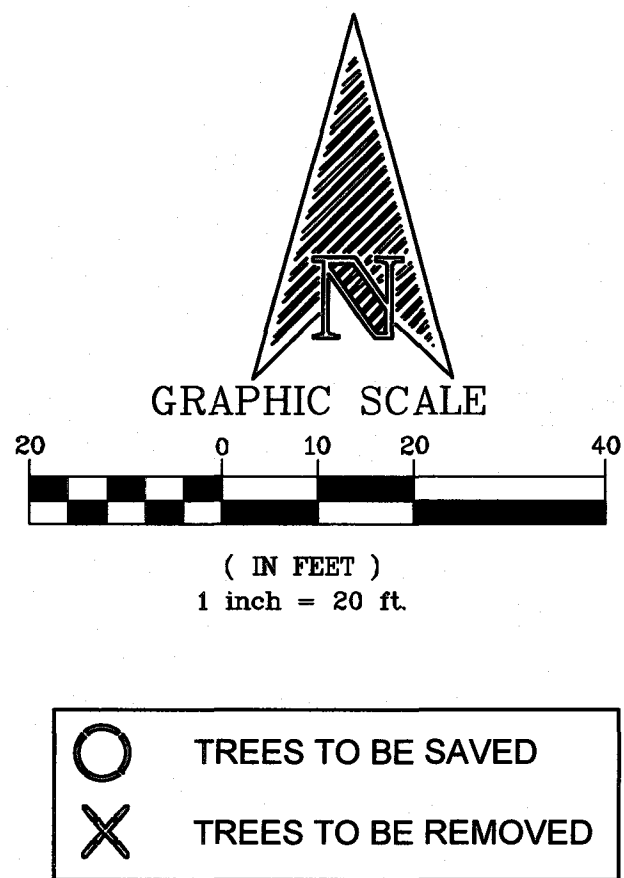
DATE: _____
REVISION: _____
NO. DATE: _____
BY: _____
CHECKED BY: _____
DATE: _____





TREE REMOVAL, PER SECTION 8.108 WOODLAND AND TREE PRESERVATION, SUBSECTION (i) RELOCATION AND REPLACEMENT:

TWO TREES BEING REMOVED, DECIDUOUS 11" AND DECIDUOUS 15" DOES NOT APPEAR ON THE REPLACEMENT RATIO LIST. THEREFORE NO TREE MITIGATION FOR REMOVAL OF THESE TWO TREES.



RESTAURANT FOR: Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513



LOUISE CRAVER ARCHITECT

COPYRIGHT © 2021 LOUISE CRAVER
RESERVES COPYRIGHT & OTHER RIGHTS
RESTRICTING THESE DOCUMENTS TO
THE ORIGINAL SITE OR PURPOSE FOR
WHICH THEY WERE PREPARED.
REPRODUCTIONS, CHANGES OR
ASSIGNMENTS ARE PROHIBITED.

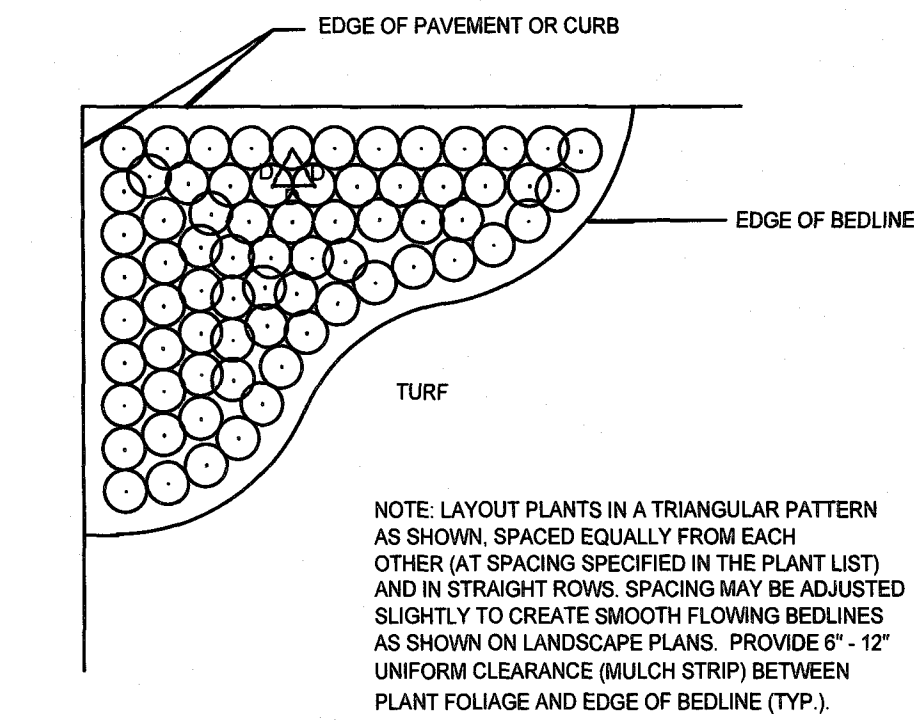
604 COURTLAND STREET
ORLANDO, FLORIDA 32804
PH 407.445.5008
FX 407.629.9124

CC# 1018 IP# 2020.2249 BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

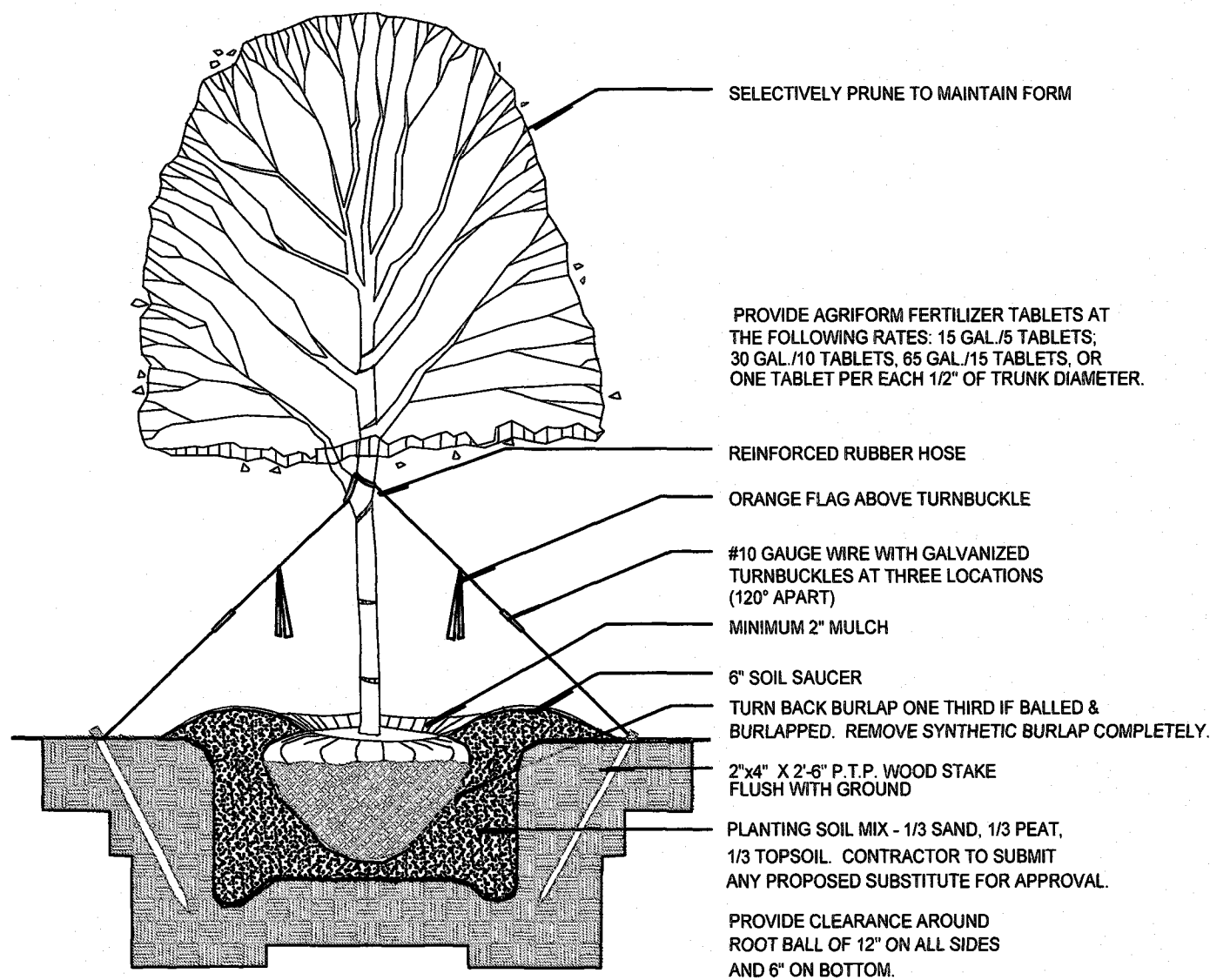
DATE: 06/25/2021
LANDSCAPE PLAN

L-1
CHECKED GG DRAWN JB

NOV 15 2021



SHRUB/GROUNDCOVER SPACING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

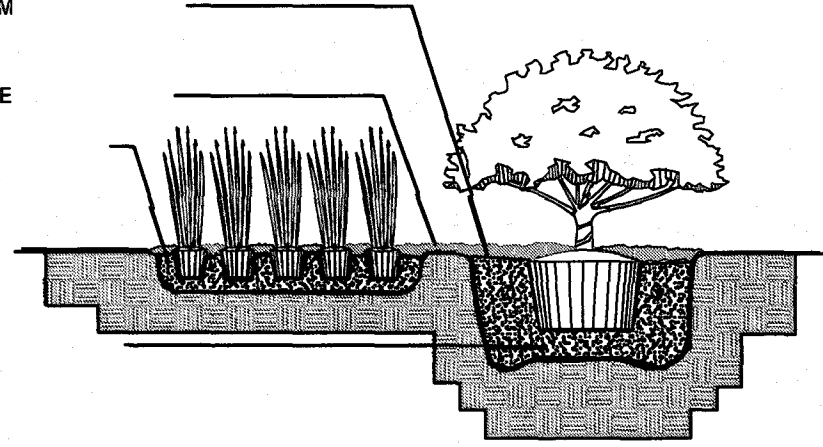
PROVIDE AGRIFORM (20-10-6) FERTILIZER TABLETS AT THE FOLLOWING RATES:
3 GAL./2 TABLETS: 1 GAL./1 TABLET.

PROVIDE 6\"/>

2\"/>

SET TOP OF ROOTBALL 1\"/>

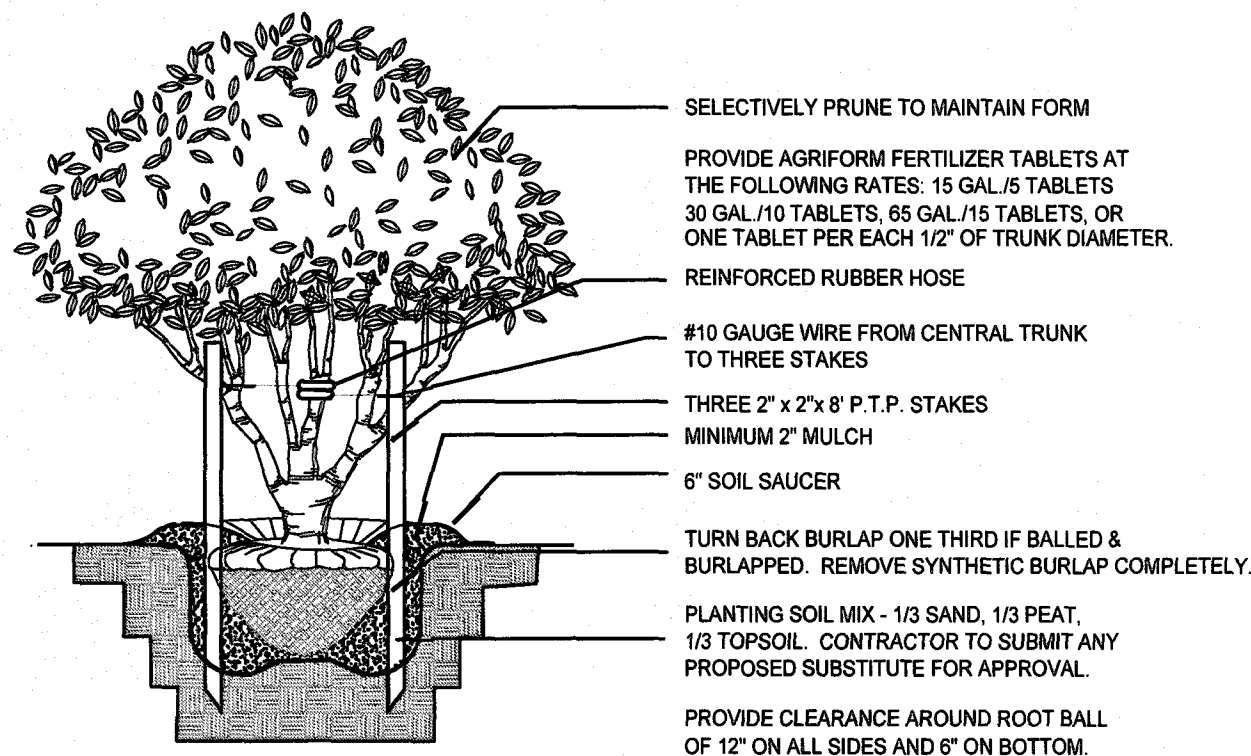
12\"/>



PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

SHRUB AND GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



MULTI-TRUNK TREE PLANTING DETAIL

NOT TO SCALE

LANDSCAPE PLANTING NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
2. ALL PLANTS SHALL BE GRADE NO. 1 OR BETTER, AS GRADED IN MICHIGAN GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
6. ALL MULCH PLANTING AREAS SHALL BE A MINIMUM OF 2\"/>
7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3\"/>
8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.

LANDSCAPE CONTRACTOR NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE. OF HIS WORK.

PLANT LIST					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	REMARKS
TREES					
CF	1	CORNUS FLORIDA	FLOWERING DOGWOOD	2\"/>	SPACE AS SHOWN GUY
GTFI	35	GLEDITSIA TRIACANTHOS F. INERMIS	THRONLESS HONEY LOCUST	3\"/>	SPACE AS SHOWN GUY
PSF	7	PINUS STROBUS 'FASTIGIATA'	PYRAMIDAL WHITE PINE	8\"/>	SPACE AS SHOWN GUY
SHRUBS					
TMH	74	TAXUS X MEDIA 'HICKSII'	HICKS YEW	30\"/>	30\"/>
GROUNDCOVERS					
PRN	108 S.F.	PERENNIALS	PERENNIALS	CHOSEN BY OWNER TO BE REPLACED UPON COMPLETE DECLINE	9\"/>
PS	293	PHLOX SUBULATA	MOSS PHLOX	1 GAL CAN FULL	24\"/>
SOD					
	SEE PLANS	POA PRATENSIS	KENTUCKY BLUEGRASS	SOLID, FREE OF PESTS AND DISEASES	FIELD VERIFY QTY.
MULCH					
	SEE PLANS	RED PINE BARK	RED PINE BARK	FREE OF DIRT AND DEBRIS	FIELD VERIFY QTY.

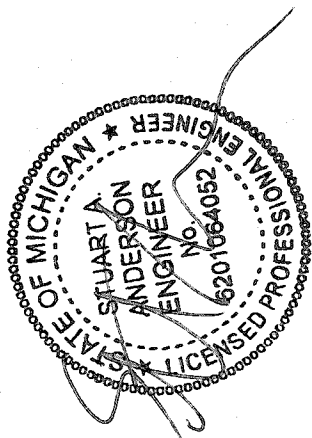
VAN BUREN TOWNSHIP CODE CALCULATIONS:
FRONTAGE LANDSCAPING - 1 DECIDUOUS TREE / 40 LINEAL FEET = 127' / 40 = 3.175 DECIDUOUS TREES
PROVIDED: 3 EXISTING DECIDUOUS TREES
FRONTAGE LANDSCAPING - 1 ORNAMENTAL TREE / 100 LINEAL FEET = 127' / 100 = 1.27 ORNAMENTAL TREE
PROVIDED: 1 ORNAMENTAL TREE
FRONTAGE LANDSCAPING - 8 SHRUBS / 40 LINEAL FEET = 127' / 40 = 3.175 X 8 = 25.4 SHRUBS
PROVIDED: 25 SHRUBS
STREET TREE LANDSCAPING - 1 DECIDUOUS TREE / 40 LINEAL FEET = 127' / 40 = 3.175 DECIDUOUS TREES
PROVIDED: 2 EXISTING DECIDUOUS TREES AND 1 DECIDUOUS TREE
PARKING LOT LANDSCAPING - LANDSCAPED AND SCREENED FROM ADJOINING PUBLIC RIGHTS OF WAY
PROVIDED: HEDGE ON EAST PROPERTY LINE TO ATTAIN OPACITY AND HEIGHT OF THREE FEET WITHIN 12 MONTHS
INTERIOR PARKING LOT LANDSCAPING - 5% ALL PAVED PARKING AREAS - 42,568 SQ.FT. X 5% = 2,128 SQ.FT.
PROVIDED: 293 SQ.FT. EXISTING AND +1,835 SQ.FT OF GROUNDCOVERS
INTERIOR PARKING LOT LANDSCAPING - 1 DECIDUOUS TREE PER EACH 300 SQ.FT. - 2,128 / 300 = 7.09 DECIDUOUS TREES
PROVIDED: 5 EXISTING DECIDUOUS TREES AND 2 DECIDUOUS TREES
LOADING AREA LANDSCAPING -
PROVIDED: TREES AROUND LOADING AREA
GREENBELT BUFFERING - 10 FOOT BUFFER WITH 1 TREE PER 30 LINEAL FEET REQUIRED NORTH - 415 / 30 = 13.8 TREES
PROVIDED: 14 DECIDUOUS TREES
GREENBELT BUFFERING - 10 FOOT BUFFER WITH 1 TREE PER 30 LINEAL FEET REQUIRED WEST - 361 / 30 = 12 TREES
PROVIDED: 12 DECIDUOUS TREES
GREENBELT BUFFERING - 10 FOOT BUFFER WITH 1 TREE PER 30 LINEAL FEET REQUIRED SOUTH - 300 / 30 = 10 TREES
PROVIDED: 5 EXISTING DECIDUOUS TREES AND 5 DECIDUOUS TREES

TREE REMOVAL OF ANY TREES GREATER THAN 5\"/>

LOUISE CRAVER
ARCHITECT

404 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

SEAL



IP# 2020.2249

BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

DATE: 06/25/2021

BK-57

LANDSCAPE DETAILS

L-2

CHECKED GG DRAWN JB

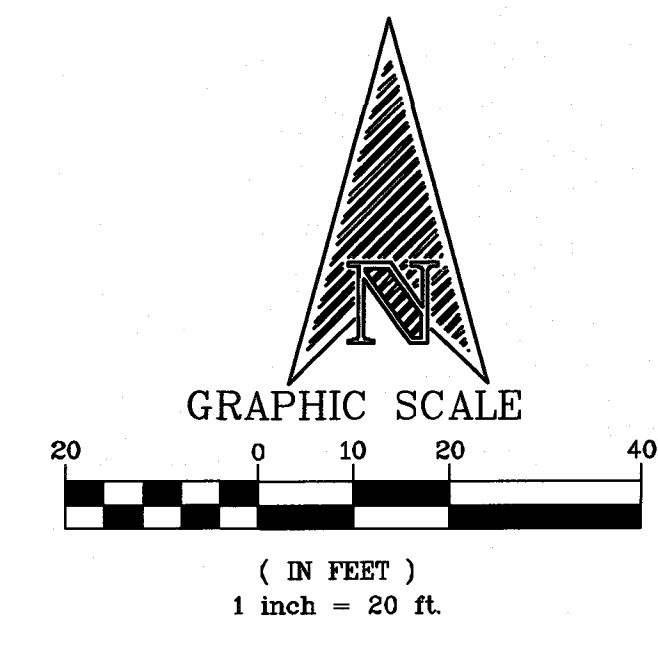
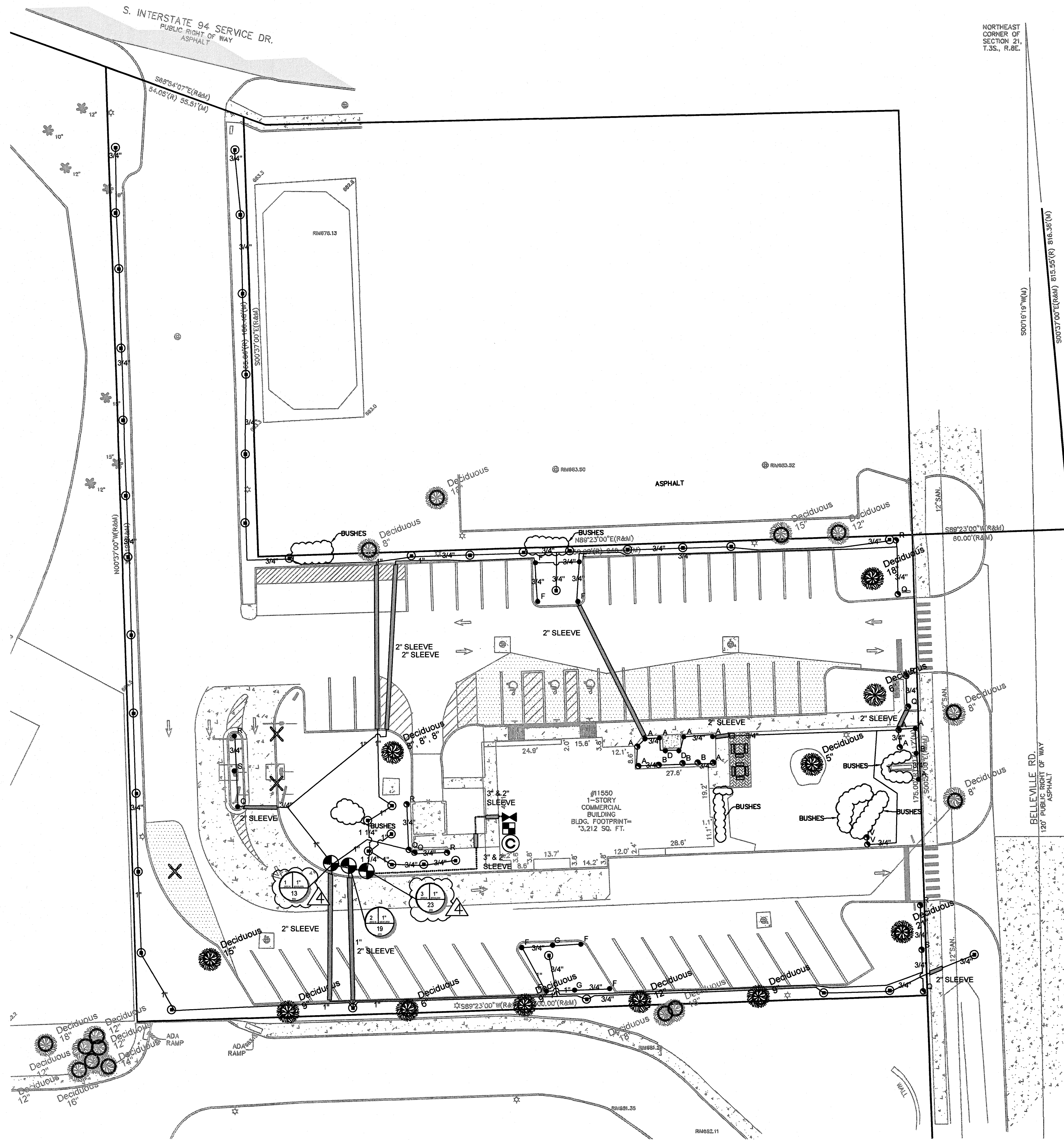
RESTAURANT FOR:

Carrolls Corporation
968 James Street P.O. Box 8969
Syracuse, New York 13217-8969
(315) 424-0513

BURGER KING
CORPORATION

COPYRIGHT © 2021 LOUISE CRAVER
RESERVES COPYRIGHT & OTHER RIGHTS
RESTRICTING THESE DOCUMENTS TO
THE ORIGINAL USER AND PROHIBITING
REPRODUCTIONS, CHANGES OR
ASSIGNMENTS ARE PROHIBITED.

NOV 15 2021



RESTAURANT FOR: Carrols Corporation
868 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

BURGER KING
CORPORATION

LOUISE CRAVER ARCHITECT
404 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

SEAL
STATE OF FLORIDA
LOUISE CRAVER
ARCHITECT
NOV 15 2021

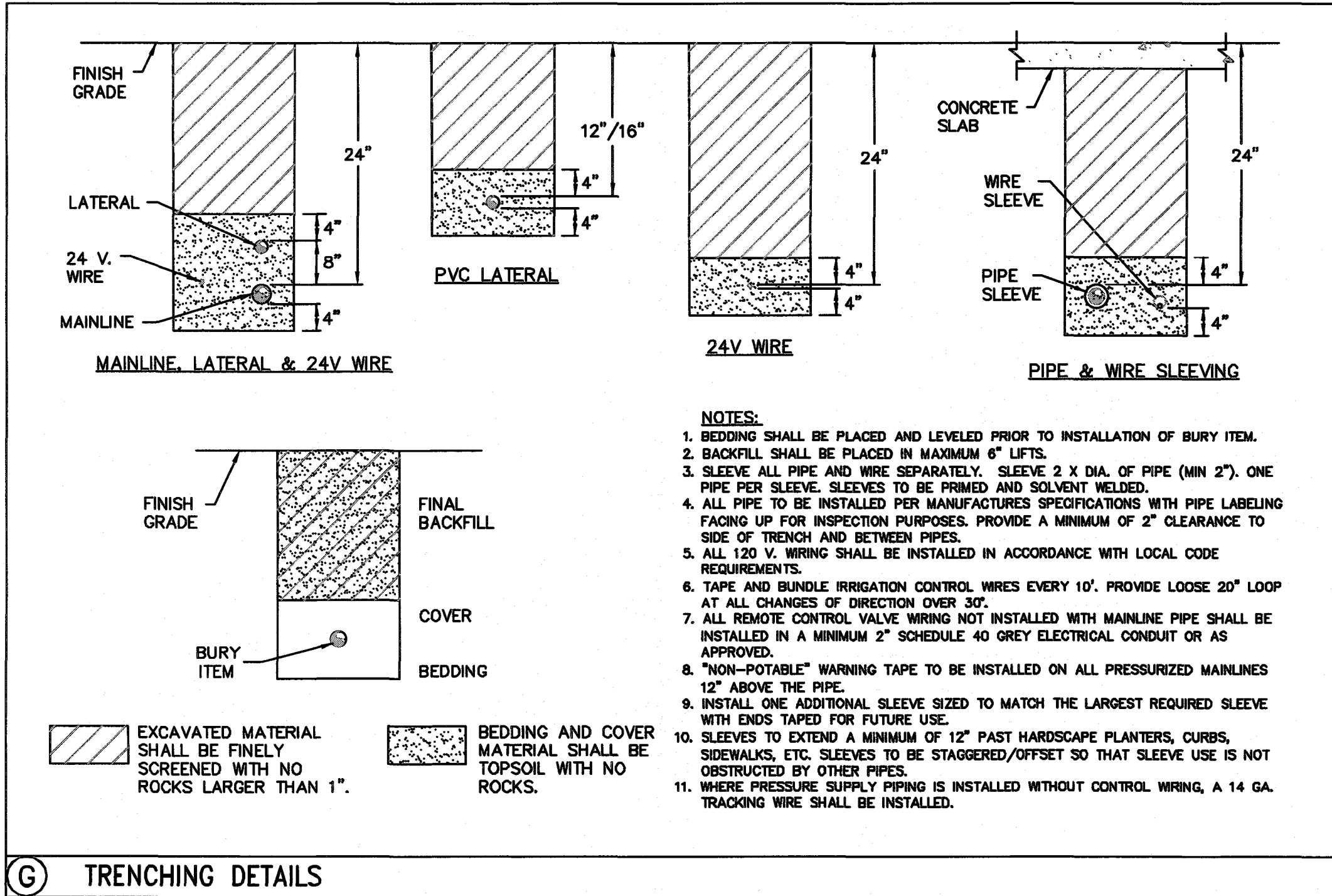
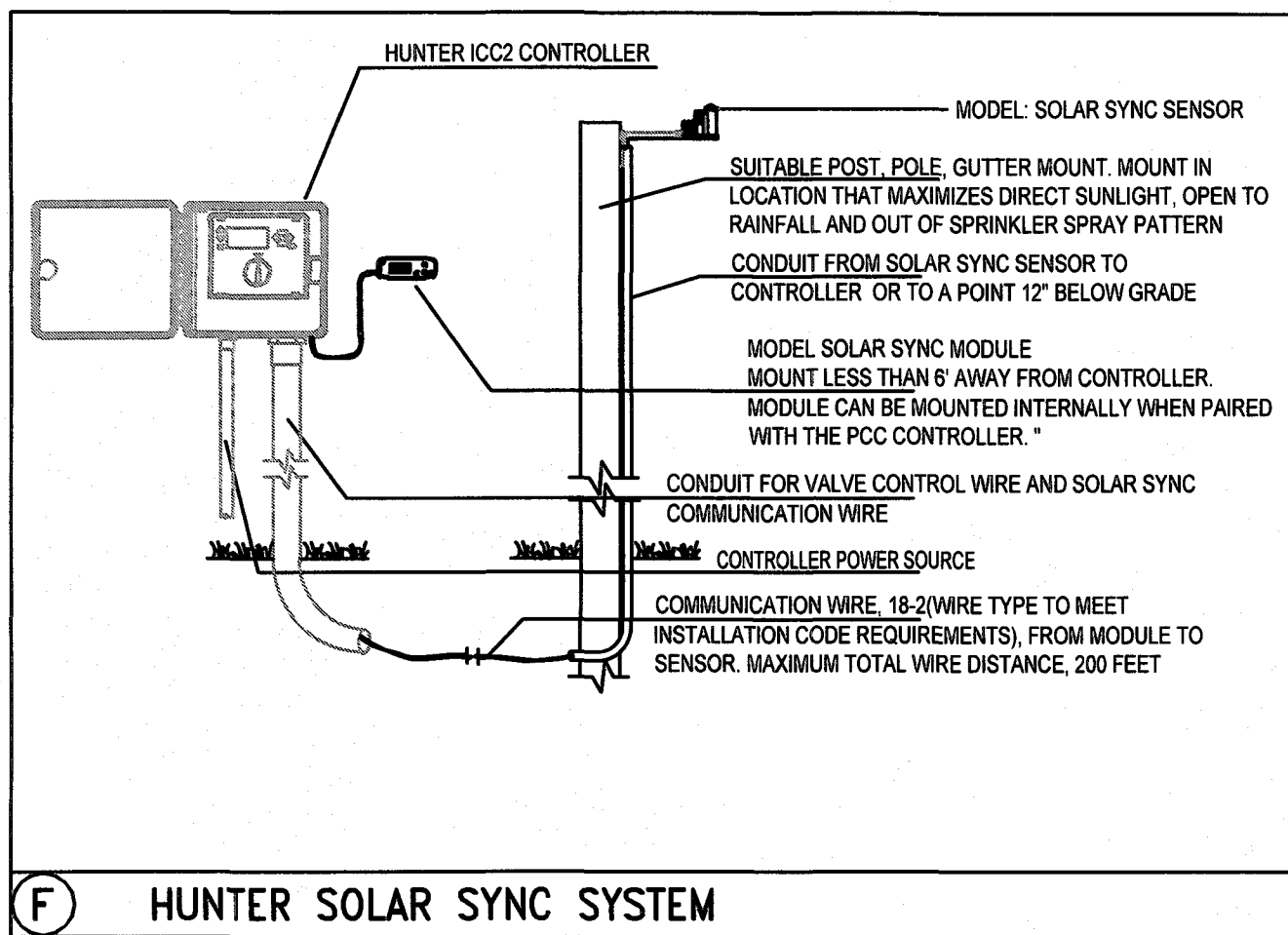
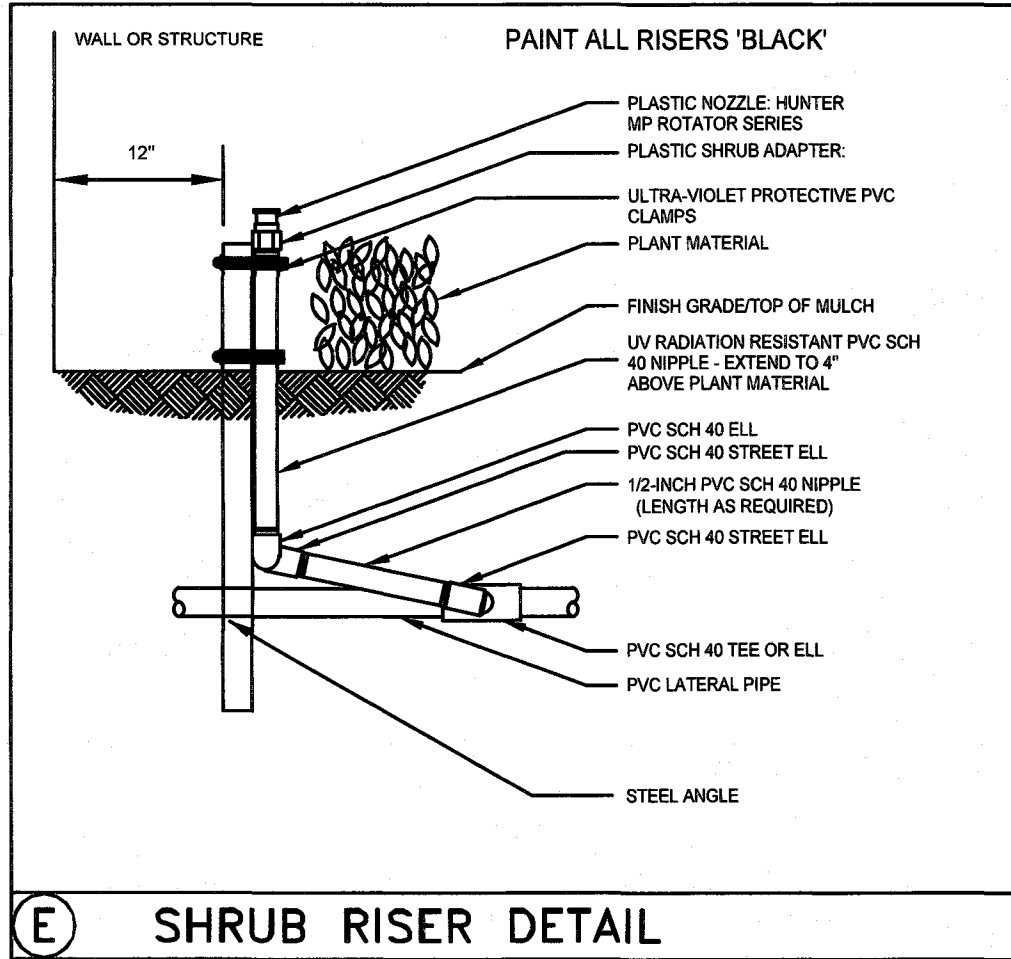
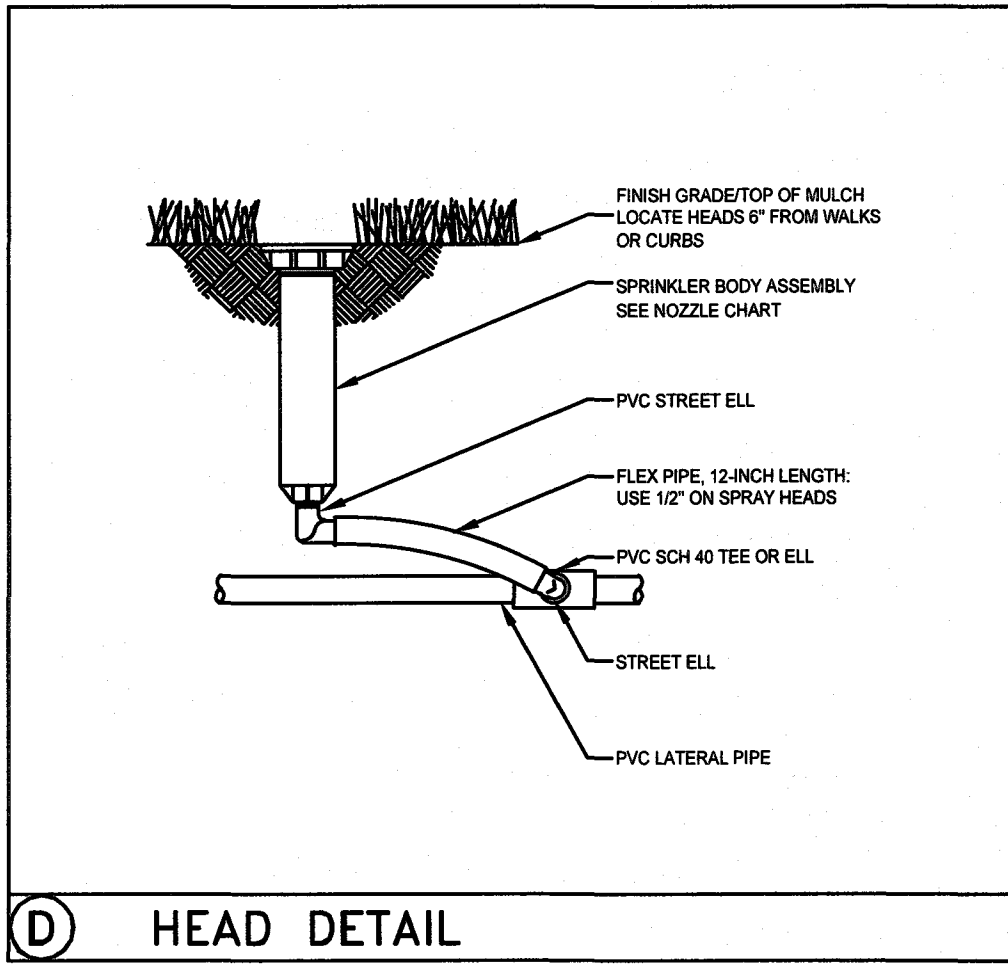
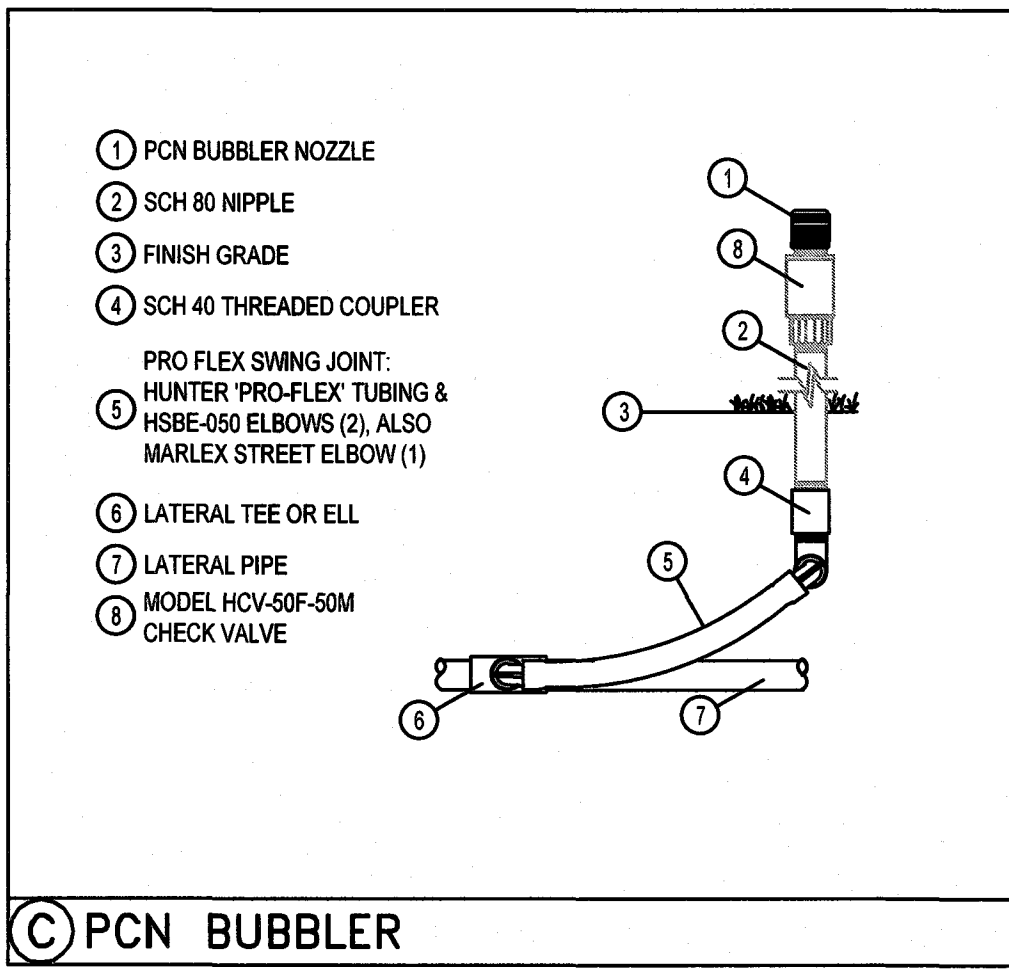
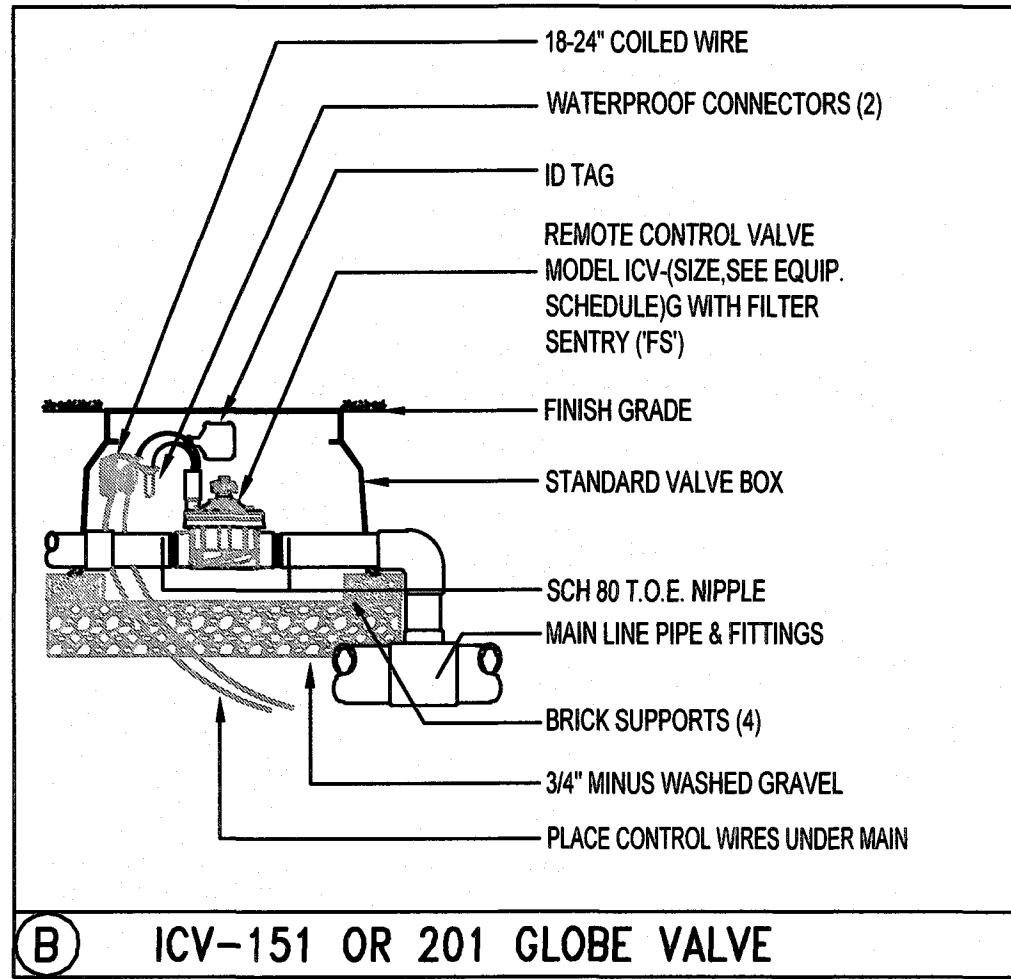
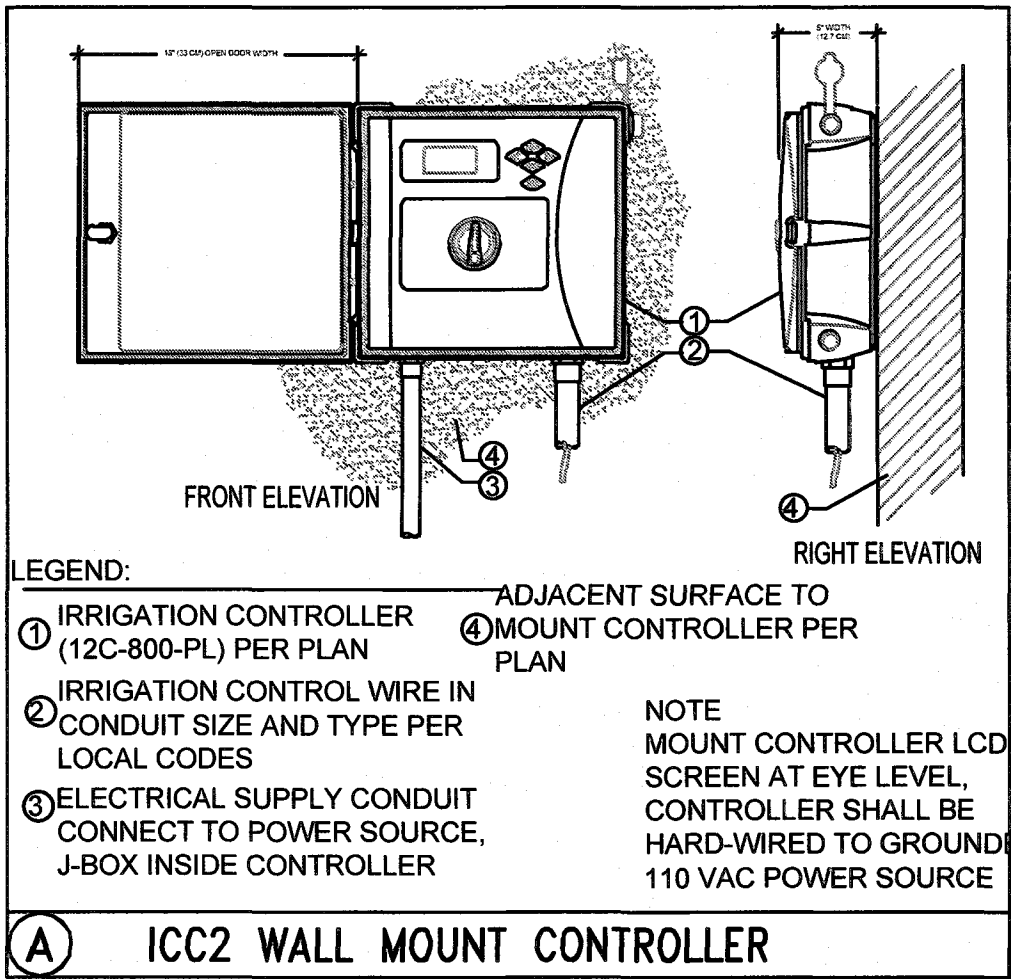
CCF 1018 IP# 2020.2249
BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

BK-57 DATE: 09/25/2021
IRRIGATION PLAN

CHECKED GG DRAWN JB
L-3

DATE: 09/25/2021
REVISION
PLANNING COMMENTS
ZONING COMMENTS - 2ND REVIEW
ZONING COMMENTS - 3RD REVIEW

IRRIGATION DETAILS



SPRAY NOZZLE CHART

	SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 8'-15' radius	A	MAROON	90° ADJUSTABLE ARC	.19
	B	MAROON	180° ADJUSTABLE ARC	.37
	C	LT. BLUE	210° ADJUSTABLE ARC	.43
	D	LT. BLUE	270° ADJUSTABLE ARC	.57
	E	OLIVE	360° ARC	.75
MP2000 13'-21' radius	F	BLACK	90° ADJUSTABLE ARC	.40
	G	BLACK	180° ADJUSTABLE ARC	.74
	H	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.47
MP3000 22'-30' radius	K	BLUE	90° ADJUSTABLE ARC	.86
	L	BLUE	180° ADJUSTABLE ARC	1.82
	M	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	O	GRAY	360° ARC	3.64
STRIPS & CORNERS	P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q	IVORY	5x15' LEFT STRIP	.22
	R	COPPER	5x15' RIGHT STRIP	.22
	S	BROWN	5x30' SIDE STRIP	.44
BUBBLERS AND MICRO-SPRAYS	T	PCN10	1.00 GPM FLOOD BUBBLER	1.00
	U	PCN50	.50 GPM FLOOD BUBBLER	.50
	V	SR-2Q	90° 2' RADIUS	.11
	W	SR-2H	180° 2' RADIUS	.16
	X	MS-F	360° 5' RADIUS	.50

IRRIGATION NOTES

- 1) REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- 2) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- 3) ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- 4) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- 5) THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- 6) ALL RISERS SHALL BE PAINTED BLACK.
- 7) ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- 8) ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- 9) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- 10) ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- 11) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- 12) ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- 13) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 14) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- 15) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- 16) CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- 17) CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- 18) ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

EQUIPMENT LIST

SYMBOL	DESCRIPTION	QUANTITY
●	0.50 GPM BUBBLER (2 PER TREE)	84
○	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZELS	0
●	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZELS	22
●	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	21
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- PART RADIUS	0
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- FULL RADIUS	0
▲	HUNTER INDUSTRIES - I-40 ROTORS - PART 60' RADIUS	0
●	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1"	3
●	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1 1/2"	0
C	HUNTER ICC2 8 STATION CONTROLLER, 120VOLT INSTALL WITH A SOLAR SYNC (WITH EVAPOTRANSPIRATION SENSOR AND RAIN SENSOR AND BY-PASS BOX.) GROUND WITH AN 8' COPPER CLAD ROD.	1
■	1" POTABLE IRRIGATION METER TO PROVIDE 30 GPM AT 40 PSI	1
✕	1" DOUBLE CHECK VALVE BACKFLOW PREVENTOR	1
—	LATERAL LINE SIZE PER PLAN	SEE PLAN
—	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN	SEE PLAN
■	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24" (ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)	SEE PLAN

NO.	DATE	REVISION	CHECKED BY:	DATE:
1	6/25/21	PLANNING COMMENTS		
4	8/25/21	ZONING COMMENTS - 2ND REVIEW		
5	11/04/21	ZONING COMMENTS - 3RD REVIEW		

RESTAURANT FOR: Carrolls Corporation
698 James Street P.O. Box 8989
Syracuse, New York 13217-8989
(315) 424-0513

BURGER KING CORPORATION

LOUISE CRAVER ARCHITECT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

SEAL

STATE OF FLORIDA
ENGINEER
No. 18017
12/12/2021

CF# 1018 IPE 2020.2249

BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

DATE: 06/25/2021

BK-57

IRRIGATION DETAILS

L-4
CHECKED GG DRAWN JB



PARKING

HANDICAP PARKING = 5 STALLS
STANDARD PARKING = 59 STALLS

PARCEL AREA

61,366± SQUARE FEET = 1.408± ACRES

BASIS OF BEARING

SOUTH 00°37'00" EAST, BEING THE WEST RIGHT OF WAY
LINE OF BELLEVILLE ROAD, AS DESCRIBED.

BENCHMARK

SITE BENCHMARK
TOP OF BOLT ON BASE OF LIGHTPOLE SOUTH OF DETENTION POND
ELEVATION = 684.69' (NAVD 88)

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED IN THE GENERAL VICINITY OF THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

4. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

5. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

7. THERE APPEARS TO BE NO DELINEATED WETLANDS ON SITE.

LEGEND

- | | |
|-------|---------------------------------|
| | FOUND MONUMENT (AS NOTED) |
| | FOUND SECTION CORNER (AS NOTED) |
| (R&M) | RECORD AND MEASURED DIMENSION |
| (R) | RECORD DIMENSION |
| (M) | MEASURED DIMENSION |
| | GROUND ELEVATION |
| | TRANSFORMER |
| | LIGHT POLE WITH STREET LAMP |
| | SANITARY MANHOLE |
| | ROUND CATCH BASIN |
| | SQUARE CATCH BASIN |
| | DRAIN |
| | BOLLARD |
| | LIGHTPOST/LAMP POST |
| | MAIL BOX |
| | SINGLE POST SIGN |
| | HANDICAP PARKING |
| | DECIDUOUS TREE (AS NOTED) |
| | CONIFEROUS TREE (AS NOTED) |
| | PARCEL BOUNDARY LINE |
| | ADJONER PARCEL LINE |
| | BUILDING |
| | BUILDING OVERHANG |
| | CENTERLINE DITCH |
| | CONCRETE CURB |
| | RAISED CONCRETE PARKING |
| | EDGE OF CONCRETE (CONC.) |
| | EDGE OF ASPHALT (ASPH.) |
| | FENCE (AS NOTED) |
| | WALL (AS NOTED) |
| | TREE / BRUSH LINE (AS NOTED) |
| | SANITARY LINE |
| | STORM LINE |
| | MINOR CONTOUR LINE |
| | MAJOR CONTOUR LINE |
| | BUILDING AREA |
| | ASPHALT |
| | CONCRETE |



THE LAND SITUATED IN THE TOWNSHIP OF VAN BUREN, COUNTY OF WAYNE,
STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 21, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE WESTERLY LINE OF BELLVILLE ROAD (120 FEET WIDE) LOCATED SOUTH 89 DEGREES 20 MINUTES 36 SECONDS WEST, 60.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 21; THENCE FROM THIS POINT OF BEGINNING ALONG SAID WESTERLY LINE OF BELLVILLE ROAD 120 FEET TO THE POINT OF BEGINNING OF THE SERVICE DRIVE NORTH 89 DEGREES 20 MINUTES 36 SECONDS WEST 300.00 FEET; THENCE NORTH 00 DEGREES 39 MINUTES 24 SECONDS WEST, 261.18 FEET TO THE SOUTHERLY LINE OF THE SERVICE DRIVE OF THE MILLWILL ROAD (DETROIT TRAIL) TRACT, 100 FEET WIDE, BEING THE WESTERLY LINE OF SAID TRACT, SOUTH 68 DEGREES 20 MINUTES 16 SECONDS EAST, 54.05 FEET; THENCE SOUTH 00 DEGREES 39 MINUTES 24 SECONDS EAST, 165.66 FEET; THENCE NORTH 89 DEGREES 20 MINUTES 36 SECONDS EAST, 250 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY,
THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL
MAY NOT BE SHOWN.

ZONING REGULATIONS

C-2-EXTENSIVE HIGHWAY BUSINESS DISTRICT

- *MINIMUM LOT AREA PER DWELLING UNIT - N/A
- *MINIMUM USABLE OPEN SPACE IN PERCENTAGE OF LOT AREA - N/A
- *REQUIRED SETBACK LINE MINIMUM DIMENSIONS IN FEET -
FRONT - 35 FEET
LEAST ONE SIDE - 25 FEET
TOTAL TWO SIDES - 50 FEET
REAR - 20 FEET
- *MAXIMUM HEIGHT IN FEET - 40 FEET
- *MAXIMUM GROSS LOT SIZE
AREA IN SQUARE FEET - N/A
WIDTH IN FEET - N/A

NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF BELLEVILLE WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

FLOOD NOTE

SUBJECT PARCEL LIES WITHIN:

OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26163C0353E,
DATED NOVEMBER 02, 2012, PUBLISHED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY.

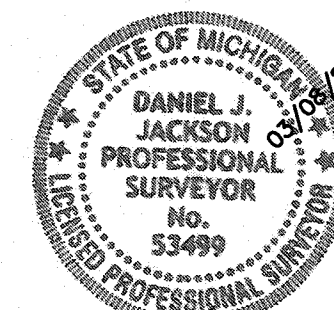
SURVEYOR'S CERTIFICATION

TO CARROLS LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 1, 2, 3, 4, 5, 6B, 7A, 7B1, 8, 9, 11, 13, 16, 17, 18, 19, AND 20 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 19, 2021.

DATE OF PLAT OR MAP: MARCH 03, 2021

DANIEL J. JACKSON
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 53499
22556 GRATIOT AVE., EASTPOINTE, MI 48021
djackson@kemtec-survey.com



FOR REFERENCE ONLY

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: CARROLLS LLC

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: CARROLS LLC
11550 BELLEVILLE ROAD, VAN BUREN TOWNSHIP, MICHIGAN,

1	OWNER BY:	JDM	03/03/21						
	CHARGED BY:	DJ	03/03/21						
	DATE:	MARCH 03, 2021							
	PRODUCT NO:	21-00189	SCALE:						
			1" = 20'						
				REVISION	DATE	BY		DESCRIPTION	

1 OF 1 SHEETS



BURGER KING

EXTERIOR & DINING REMODEL

11550 BELLEVILLE ROAD BELLEVILLE, MI 48111

LIFE SAFETY NOTES

- A. GENERAL CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER BURGER KING SPECIFICATIONS IN LOCATIONS NO FURTHER THAN 75' FROM ANY LOCATION IN THE CUSTOMER SERVICE AREA. FINAL LOCATIONS AS DIRECTED BY THE FIRE MARSHALL PER SECTION 906.
- B. FURNITURE LAYOUT IS EXISTING TO REMAIN. LIFE SAFETY COORDINATION BASED ON EXISTING LAYOUT TO REMAIN.
- C. PER SECTION 1017 OF THE 2015 MICHIGAN BUILDING CODE, MAXIMUM EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET.

LIFE SAFETY KEY

- 44" WIDE PRIMARY PATH OF EGRESS
- EXIT ACCESS TRAVEL DISTANCE
- EXISTING KITCHEN
- DINING ROOM
- EXIT SIGN
- (E) INDICATES EXISTING TO REMAIN
- (N) INDICATES NEW
- NUMBER INDICATES OCCUPANT EGRESS CAPACITY OF DOOR

REQUIRED PERMITS:

- VAN BUREN TOWNSHIP BUILDING PERMIT
- WAYNE COUNTY HEALTH REVIEW
- VAN BUREN TOWNSHIP ZONING REVIEWS



LIFE SAFETY PLAN

3/16" = 1'-0"

SYMBOLOLOGY / LEGEND

- ELEVATION NUMBER
- SHEET NUMBER
- DETAIL, SECTION OR OR PLAN NUMBER
- WALL SECTION NUMBER, BUILDING SECTION LETTER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER

- NOTE NUMBER
- WINDOW NUMBER
- DOOR NUMBER
- REVISION NUMBER
- INTERIOR FINISH NUMBER
- EXTERIOR FINISH NUMBER/ INTERIOR PARTITION

- ROOM NAME
- ROOM NUMBER
- EQUIPMENT NUMBER
- ELEV. DATUM POINT
- NEW COLUMN GRID NUMBER OR LETTER
- EXISTING COLUMN GRID NUMBER OR LETTER

ABBREVIATIONS

- AC AFF AHU AL ASPH AT BD BLKCT CLG CMU COL CONC CONT CPT CT C/L DBL DF DIA DIM DN DS EA ELEC ELEV / EL EQ EXIST FD FE
- AIR CONDITIONING FIRE RATED AIR HANDLING UNIT ALUMINUM ASPHALT ALUMINUM THRESHOLD BOARD BLANKET CONTROL JOINT CEILING CONCRETE MASONRY UNIT COLUM CONCRETE CONTINUOUS CARPET CERAMIC TILE CENTER LINE DOUBLE DRINKING FOUNTAIN DIAMETER DIMENSION DOWN DOWN SPOUT EACH EXPANSION JOINT ELECTRICAL ELEVATION EQUAL EXISTING FLOOR DRAIN FIRE EXTINGUISHER
- FF FR GALV GYPBD HC HDW HM HVAC INFO INSUL LAC MAS MAX MECH MFR / MFR MIN MO MR MTL NA NIC NOM NTS OC OPP PLYWD PREFAB PSF PT QT R
- FINISH FLOOR FIRE RATED GALVANIZED GYPSUM BOARD HANDICAPPED HARDWARE HOLLOW METAL HEATING, AIR CONDITIONING, & VENT INFORMATION INSULATION LAY-IN ACOUSTICAL CEILING MASONRY MAXIMUM MECHANICAL MANUFACTURER MINIMUM MASONRY OPENING MIRROR/MOISTURE RESISTANT MARBLE THRESHOLD METAL NOT APPLICABLE NOT IN CONTRACT NOMINAL NOT TO SCALE ON CENTER OPPOSITE PLYWOOD PREFABRICATED POUNDS PER SQUARE FOOT PAINT / PRESSURE TREATED QUARRY TILE RISER/RADIUS
- REBAR REF REIN REINFORCED RO SB SHVLV SIM SPEC SS STL STOR SUSP T TELE TPD TYP UNO VCT VERT VT WC WD WP WWF W/
- REINFORCING BAR REFERENCE REINFORCE REQUIRED OPENING SPLASHBLOCK SHELVES SIMILAR SPECIFICATION STAINLESS STEEL STEEL STORAGE SUSPENDED TREAD TELEPHONE TOILET PAPER DISPENSER TYPICAL UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VERTICAL VINYL THRESHOLD WATER CLOSET WOOD WATERPROOF WELDED WIRE FABRIC WITH

SHEET INDEX

SHT. NO.	DESCRIPTION
GENERAL	
T-1	TITLE SHEET AND CODE REVIEW
A-ADA	ACCESSIBILITY NOTES AND DETAILS
CIVIL DRAWINGS	
C-0	GENERAL NOTES
C-1.1	DEMOLITION & EROSION CONTROL PLAN
C-2.0	SITE DIMENSION PLAN
C-2.1	TRUCK TURN
C-3.0	GRADING/ DRAINAGE / UTILITY PLAN
C-3.1	SWPPP
C-4.0	DETAILS
C-4.1	DETAILS
ARCHITECTURAL DRAWINGS	
D-1	DEMOLITION PLAN
A-1	FLOOR PLAN
A-1.1	ENLARGED RESTROOM PLANS - DEMO & NEW
A-1.2	ROOF PLAN
A-2	REFLECTED CEILING PLAN
A-2.1	LIGHTING SCHEDULE
A-3.0	NEW & DEMO EXTERIOR ELEVATIONS
A-3.1	NEW & DEMO EXTERIOR ELEVATIONS
A-3.2	NEW & DEMO EXTERIOR ELEVATIONS
A-4	EXTERIOR FINISH SCHEDULE
A-4.1	EXTERIOR FINISH SCHEDULE
A-5.0	WALL SECTIONS
A-5.1	WALL SECTIONS
A-5.2	WALL SECTION DETAILS
A-6	DOOR AND HARDWARE SCHEDULE
A-6.1	WINDOW SCHEDULE
LANDSCAPE DRAWINGS	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
L-3	IRRIGATION PLAN
L-4	IRRIGATION DETAILS
STRUCTURAL DRAWINGS	
S-0.0	GENERAL NOTES
S-1.0	ROOF FRAMING PLAN
S-2.0	SECTIONS
MECHANICAL DRAWINGS	
M-1	MECHANICAL LEGEND AND GENERAL NOTES
M-2	MECHANICAL FLOOR PLAN
M-3	MECHANICAL DEMOLITION PLAN
PLUMBING DRAWINGS	
P-1	PLUMBING LEGEND AND GENERAL NOTES
P-2	PLUMBING FLOOR PLAN
P-3	PLUMBING DEMOLITION PLAN
ELECTRICAL DRAWINGS	
E-1	ELECTRICAL PLAN
E-1.2	ELECTRICAL PANEL SCHEDULE & DETAILS
E-2	INTERIOR/ EXTERIOR COMPLIANCE CERTIFICATE
SL-1	SITE PHOTOMETRIC PLAN
BY OTHERS	
ALTA / NSPS LAND TITLE SURVEY BY KEM-TEC	

LOCATION MAP



REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
1	06/25/21	PLANNING COMMENTS	T-1, C-0, C-2.0, C-2.1, C-3.0, C-3.1, L-1, L-2, L-3, L-4, A-3.0, A-3.1, A-3.2, SL-1		WB
2	08/06/21	COMMENT COORDINATION	T-1, D-1, A-1, A-1.1, A-3.2, A-5.0, A-5.1, A-6.0, A-6.1, S-0.0, S-1.0, S-2.0		WB
3	08/12/21	OWNER'S CHANGES	T-1, D-1, A-1, A-2, A-5.0, A-5.1, M-2, E-1, E-1.2, E-2		WB
4	08/25/21	PLANNING COMMENTS-2ND REVIEW	T-1, C-0, C-1.1, C-2.0, C-4.0, C-4.1, A-1.0, A-3.0, A-3.1, A-3.2, L-1, L-2, L-3, L-4, SURVEY		WB
5	10/15/21	PLANNING COMMENTS-3RD REVIEW	T-1, C-0, C-2.0, C-2.1, C-3.0, C-3.1, C-4.0, C-4.1, A-1, A-1.2, A-3.0, A-3.1, A-3.2, A-5.0, A-5.1, L-1, L-2, L-3, L-4, E-1, E-1.2		WB

GENERAL NOTES

- A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO BID.
- B. THESE DOCUMENTS ARE BASED UPON PHOTO TYPE DRAWINGS AND OTHER INFORMATION PROVIDED BY THE OWNER AS WELL AS NON-INVASIVE SITE VISITS. THE DRAWINGS INCLUDE ONLY THOSE ELEMENTS AND SYSTEMS EXPOSED TO VIEW AND HAVE NOT BEEN FIELD VERIFIED. THE CONSTRUCTION DOCUMENTS HAVE BEEN PRODUCED WITHOUT THE BENEFIT OF THE EXISTING STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS.
- C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING BUILDING ELEMENTS AND SYSTEMS, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. REVIEW THE CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES PRIOR TO BID. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRE, OR FOR ANY DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.
- E. CONTRACTOR, DURING PRE-BID SITE VISIT, SHALL TAKE NOTICE OF ANY VISUALLY APPARENT CODE VIOLATIONS AND ALLOW IN HIS/HER BID FOR CORRECTING SUCH VIOLATIONS.
- F. CONTRACTORS ARE CAUTIONED TO COORDINATE ITEMS IN THEIR SCOPE OF WORK WITH OTHER TRADES.
- G. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES DISCOVERED DURING DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT.
- H. THESE NOTES APPLY TO ALL SHEETS.

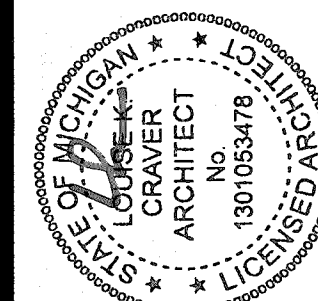
CODE / PROJECT DATA

CONSTRUCTION CLASSIFICATION:	TYPE V-B - UNPROTECTED
BUILDING CODE:	2015 MICHIGAN BUILDING CODE
PLUMBING CODE:	2015 MICHIGAN PLUMBING CODE
ELECTRICAL CODE:	2014 MICHIGAN ELECTRIC CODE, PART 8
MECHANICAL CODE:	2015 MICHIGAN MECHANICAL CODE
FIRE CODE:	2015 INTERNATIONAL FIRE CODE
ACCESSIBILITY CODE:	MICHIGAN BARRIER FREE CODE (ICC/ANSI 117.1 2009) AND CHAPTER 11 OF THE 2015 MICHIGAN BUILDING CODE
ENERGY CODE:	2015 MICHIGAN ENERGY CODE
BUILDING OCCUPANT LOAD:	108
BASIS:	SEATING + EMPLOYEES
OCCUPANCY GROUP:	ASSEMBLY, SMALL A-2
OCCUPANCY LOAD:	
DINING:	
FIXED SEATING (BY COUNT)	62
BANQUETTE SEATING (1 PER 18" OF SEATING)	99 INCHES / 18" = 5.5
LOOSE SEATING:	0 S.F. / 15" = 0
189 S.F. / 5" = 38	
1,289 S.F. / 200" = 6.4	
39 S.F. / 100" = 0.4	
285 S.F. / 300" = 0.9	
TOTAL	115
OUTDOOR SEATING:	8
SNOW LOAD:	22 PSF
WIND SPEED:	115 MPH/3 SECOND GUST
SPRINKLER SYSTEM:	KITCHEN ONLY
EXITS	
DINING AREA	
DOOR 1 @ 6'-0" = 68"	
DOOR 2 @ 3'-0" = 34"	
DOOR 3 @ 3'-0" = 34"	
KITCHEN @ 3'-0" = 42"	
178" - ACTUAL EXIT WIDTH	
115 X 2" PER OCCUPANT = 23" REQ'D EXIT WIDTH	
EXIT ACCESS TRAVEL DISTANCE	
TABLE 1017.2	
ASSEMBLY (W/O SPRINKLER SYSTEM): 200 FT. MAXIMUM	
COMMON PATH OF TRAVEL	
TABLE 1006.2.1 / SECTION 1029.8	
ASSEMBLY, 30 FT. MAXIMUM	
75 FT. MAX. FOR AREAS SERVING LESS THAN 50 OCCUPANTS	
PLUMBING FIXTURES	
PLUMBING OCCUPANT COUNT: MEN-62, WOMEN-62	
WC - 1 PER 75; LAV 1 PER 200	
PROVIDED	
MEN WOMEN	
LAV 1 1	
URINAL 1 N/A	
EXISTING	
MEN WOMEN	
1 2	
1 N/A	
REQUIRED	
MEN WOMEN	
1 1	
- N/A	

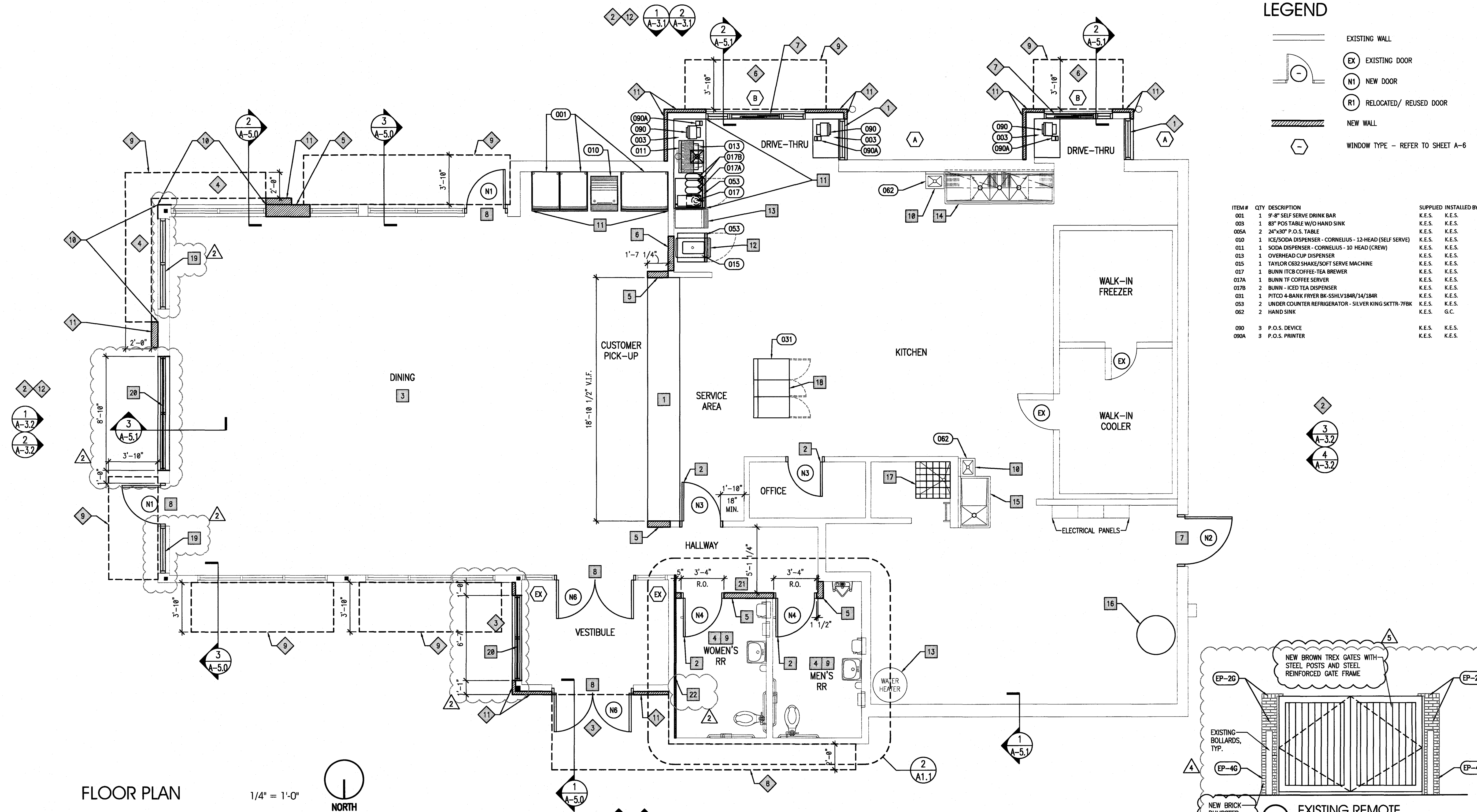
RESTAURANT FOR: Carrols Corporation
968 James Street P.O. Box 6869
Syracuse, New York 13217-6869

LOUISE CRAVER
ARCHITECT

SEAL



CC# 1018 IP# 2020.2248
BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111
DATE: 03/30/21
BK-57
TITLE SHEET AND
CODE REVIEW
T-1
CHECKED YW
DRAWN MC/YW



KEYED NOTES - EXTERIOR

SITE SPECIFIC NOTES ON BK-57 GARDEN GRILL

- INSTALL NEW STOREFRONT WINDOW. VERIFY DIMENSIONS OF OPENING PRIOR TO MANUFACTURING.
- INSTALL NEW NICHHA FIBER CEMENT PANELS PER NEW ELEVATIONS AND EXTERIOR FINISH SCHEDULE.
- NEW NICHHA FINISH ON RAISED MAIN ENTRY ARCHON.
- NEW CORNER ARCHON.
- INFILL WITH 2X STUDS TO MATCH EXISTING CONSTRUCTION WITH R-13 BATT, 1/2" SHEATHING BOTH SIDES, 5/8" GYP. BD. INSIDE AND REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH.
- NEW NICHHA FINISH ON RAISED DRIVE-THRU ARCHON.
- REPLACE DRIVE-THRU WINDOW WITH NEW. G.C. TO COORDINATE SIZE OF NEW UNIT WITH OWNER AND PROVIDE NEW ROUGH OPENING AS NECESSARY.
- NEW CANOPY ABOVE WITH "HOME OF THE WHOPPER" SIGNAGE. CANOPY TO EXTEND TO COVER MERCHANDISING FOR LIGHTING.
- NEW CANOPY ABOVE.
- CERAMIC TILE TO BE APPLIED TO EXISTING WALL.
- FIBER CEMENT SIDING ON BUILDING WRAP ON 1/2" EXTERIOR GRADE SHEATHING ON 2X6 FURRING.
- COORDINATE WITH CM IF EXISTING CANOPIES TO BE REUSED.

KEYED NOTES - INTERIOR

SITE SPECIFIC NOTES ON BK-57 GARDEN GRILL

- PROVIDE A NEW 30"W COUNTER VERIFY EXISTING WIDTH IN FIELD.
- REPLACE RESTROOMS, KITCHEN AND OFFICE DOORS WITH NEW ADA COMPLIANT DOORS AND HARDWARE PER LOCAL REQUIREMENTS.
- EXISTING WALL, FLOOR AND CEILING FINISHES, LIGHTS AND HVAC GRILLES TO REMAIN.
- PROVIDE SINGLE USER ADA COMPLIANT RESTROOMS.
- G.C. TO CONSTRUCT NEW WALL TO MATCH EXISTING CONSTRUCTION. INSTALL FINISHES TO MATCH EXISTING.
- INFILL WITH NEW WALL TO MATCH ADJACENT WALL CONSTRUCTION.
- NEW REAR KITCHEN DOOR, FRAME AND HARDWARE.
- INSTALL NEW ADA COMPLIANT STOREFRONT ENTRY DOOR.
- REFER TO SHEET A-1.1 FOR RESTROOMS REMODEL SCOPE.
- REPLACE EXISTING HAND WASHING SINK WITH NEW IN THE SAME LOCATION. REFER TO PLUMBING DRAWINGS.
- NEW BEVERAGE STATION WITH NEW EQUIPMENT. REFER TO ELECTRICAL AND PLUMBING DRAWINGS.
- RELOCATED SOFT SERVE MACHINE AND REFRIGERATOR. REFER TO ELECTRICAL DRAWINGS.
- EXISTING EQUIPMENT TO REMAIN.

- EXISTING 3 COMPARTMENT SINK TO REMAIN.
- EXISTING 1 COMPARTMENT SINK TO REMAIN.
- NEW MAHONEY OIL HOLDING TANK.
- PATCH AND REPAIR EXISTING MOP SINK AND INSTALL NEW TILES TO MATCH KITCHEN FLOOR. ENSURE REQUIRED DRAINAGE SLOPES ARE MAINTAINED.
- REPLACE EXISTING FRYERS WITH NEW IN THE SAME LOCATION. REFER TO ELECTRICAL DRAWINGS.
- INSTALL NEW STOREFRONT WINDOW TO REPLACE EXISTING.
- INSTALL NEW STOREFRONT WINDOW AT NEW WALL OPENING.
- PATCH AND REPAIR EXISTING TILE. INSTALL NEW FLOOR TILES TO MATCH DINING ROOM FLOOR, OR AS DIRECTED BY BK CONST. MANAGER.
- NEW SHEARWALL. PROVIDE NEW RATED PLYWOOD, ADDITIONAL BRACING AND NEW GYP. BD/FINISHES ON RESTROOM SIDE OF WALL. REFERENCE STRUCTURAL DRAWINGS FOR MORE INFORMATION.

GENERAL NOTES

SITE SPECIFIC NOTES ON BK-57 GARDEN GRILL

- G.C. TO COORDINATE ALL ROOF REPAIRS AS REQUIRED FOR PARAPET EXTENSIONS AND PREVIOUS EXISTING ROOF DAMAGE.
- COORDINATE WITH CM IF EXISTING LIGHT BANDS TO BE REUSED. IF SO, BAND TO BE NON-ILLUMINATED.
- REPLACE CEILING GRID AND TILE IN KITCHEN. PATCH AND REPAIR RESTROOM CEILING. EXISTING DINING ROOM CEILING GRID & TILES TO REMAIN.
- REPLACE RETURNS AND REGISTERS THRU-OUT.
- NEW LED LIGHT FIXTURES IN KITCHEN AND RESTROOMS.
- NEW FLOOR TILE IN RESTROOMS.
- PAINT INTERIOR WALLS TO MATCH REFRESH OPTION PROTO
- PATCH & REPAIR/PAINT INTERIOR DRYWALL WHERE REQ'D COORDINATE EXACT SCOPE WITH OWNER.
- G.C. TO PROVIDE NEW ADA COMPLIANT SIGNAGE THROUGHOUT AND MOUNT AS REQUIRED PER CODE.
- ALL NEW FIBER CEMENT SYSTEMS SHALL BE INSTALLED OVER A DRAINABLE SYSTEM AS REQUIRED PER MANUFACTURER'S INSTRUCTIONS.
- RESTROOMS: PROVIDE NEW WALL TILES. COORDINATE WITH OWNER.
- WAINSCOT IN DINING AREA TO REMAIN. COORDINATE SCOPE WITH

OWNER.

- G.C. TO PROVIDE AND INSTALL NEW WALL TILES AT BEVERAGE WALL PER REFRESH GUIDELINES. COORDINATE EXACT SCOPE WITH OWNER.
- IN AREAS RECEIVING A NEW FULL BRICK VENEER FINISH, THE VENEER SHALL BE INSTALLED UTILIZING REQUIRED WEATHER BARRIER, AIR SPACE, GALVANIZED METAL TIES, THRU WALL FLASHING AND WEEP HOLES AS IDENTIFIED IN THE BUILDING CODE AND MANUFACTURER'S REQUIREMENTS.
- G.C. TO COORDINATE WITH OWNER AND DECOR VENDOR SCOPE OF NEW INTERIOR FINISHES, CEILING AND FLOOR.
- G.C. TO PROVIDE AND INSTALL TWO (2) NEW EXTERIOR WALL SCANCES AND ONE (1) NEW EXTERIOR WALL PACK EXISTING ALUMINUM LIGHT POLES TO BE PAINTED BLACK AND NEW HEADS INSTALLED. REFER TO SITE LIGHTING PLAN. REPAINT EXISTING CONCRETE BASES YELLOW TO MATCH EXISTING. G.C. TO COORDINATE EXACT SCOPE WITH OWNER.
- G.C. TO REPAIR AND PAINT EXISTING DUMPSTER ENCLOSURE AND REPLACE EXISTING GATES WITH NEW BROWN TREX GATES.
- G.C. TO PROVIDE AND INSTALL FRP ON ALL KITCHEN WALLS. COORDINATE EXACT SCOPE WITH OWNER.
- G.C. TO COORDINATE WITH OWNER IF INSTALLING NEW WHITE TILE WALL FINISH BEHIND SERVICE COUNTER.
- INSTALL NEW MAHONEY OIL TANK, NEW 36" POS TABLE, DATA AND POWER AT DRIVE-THRU WINDOW 1 AND NEW DRINK STATION AND MACHINE AT DRIVE-THRU WINDOW 2.
- G.C. TO REMOVE EXISTING BROILER EXHAUST FAN AND INSTALL NEW EXHAUST FAN IN THE SAME LOCATION.
- SEE CIVIL DRAWINGS FOR NEW STAMPED CONCRETE PATIO AREA WITH SEATING.

LEGEND

- EXISTING WALL
- EXISTING DOOR
- NEW DOOR
- RELOCATED/ REUSED DOOR
- NEW WALL
- WINDOW TYPE - REFER TO SHEET A-6

ITEM #	QTY	DESCRIPTION	SUPPLIED	INSTALLED BY
001	1	9'-8" SELF SERVE DRINK BAR	K.E.S.	K.E.S.
003	1	88" POS TABLE W/O HAND SINK	K.E.S.	K.E.S.
005A	2	24"x30" P.O.S. TABLE	K.E.S.	K.E.S.
010	1	ICE/SODA DISPENSER - CORNELIUS - 12-HEAD (SELF SERVE)	K.E.S.	K.E.S.
011	1	SODA DISPENSER - CORNELIUS - 10 HEAD (CREW)	K.E.S.	K.E.S.
013	1	OVERHEAD CUP DISPENSER	K.E.S.	K.E.S.
015	1	TAYLOR C632 SHAKE/SOFT SERVE MACHINE	K.E.S.	K.E.S.
017	1	BUNN ITCB COFFEE-TEA BREWER	K.E.S.	K.E.S.
017A	1	BUNN TF COFFEE SERVER	K.E.S.	K.E.S.
017B	2	BUNN - ICED TEA DISPENSER	K.E.S.	K.E.S.
031	1	PITCO 4-BANK FRYER BK-55HLV184R/14/184R	K.E.S.	K.E.S.
053	2	UNDER COUNTER REFRIGERATOR - SILVER KING SKTR-7FBK	K.E.S.	K.E.S.
062	2	HAND SINK	K.E.S.	G.C.
090	3	P.O.S. DEVICE	K.E.S.	K.E.S.
090A	3	P.O.S. PRINTER	K.E.S.	K.E.S.

RESTAURANT FOR: Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

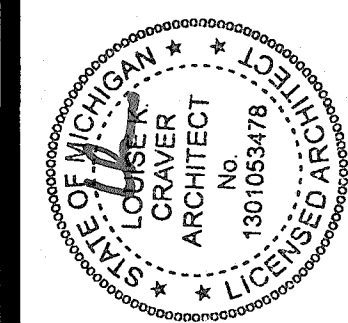
BURGER KING
CORPORATION

COPYRIGHT © 2021 LOUISE CRAVER
RESERVES COPYRIGHT & OTHER RIGHTS
RESTRICTING THESE DOCUMENTS TO
THE ORIGINAL SITE OR PURPOSE FOR
WHICH THEY WERE PREPARED.
REPRODUCTIONS, CHANGES OR
ASSIGNMENTS ARE PROHIBITED.

LOUISE CRAVER
ARCHITECT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.627.5124

SEAL

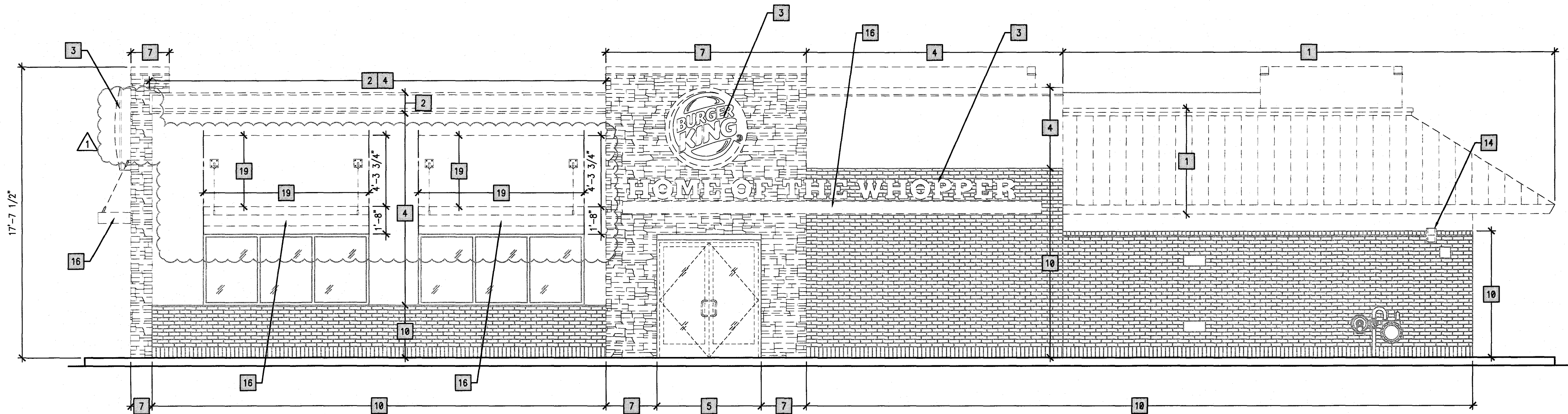


IPW 2020 2249
CCH 1018
BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111
DATE: 03/17/21
FLOOR PLAN
A-1
CHECKED YW
DRAWN MC/YW

DEMO KEYED NOTES:

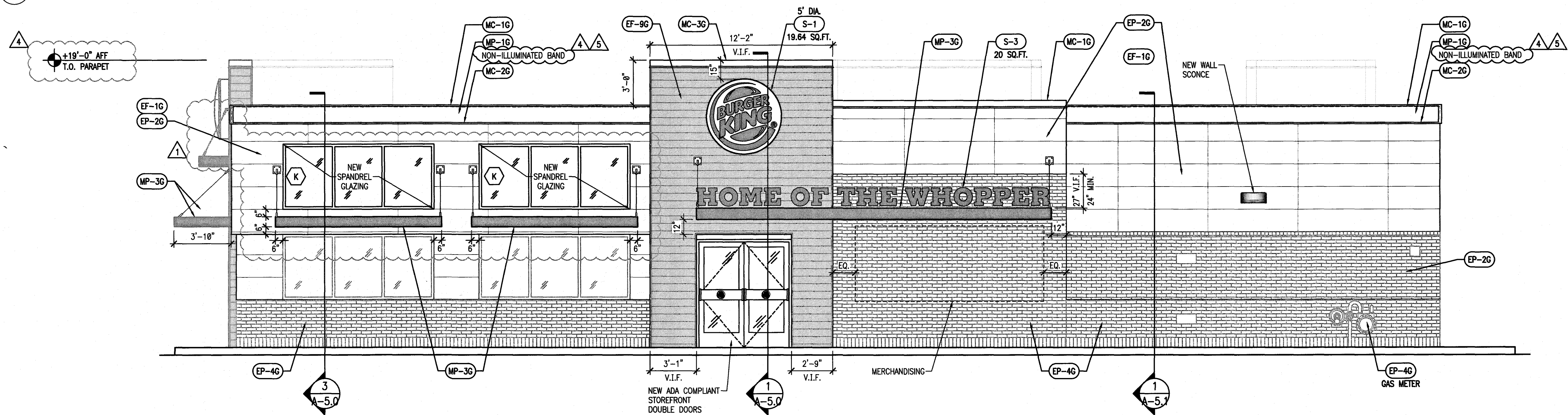
(NOT ALL NOTES USED ON EVERY SHEET)

1. REMOVE EXISTING MANSARD ROOF FRAMING AND FINISHES IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHT BAND.
3. REMOVE EXISTING SIGNAGE. COORDINATE WITH CARROLLS' CM IF EXISTING TO BE REUSED.
4. REMOVE EXISTING EIFS FINISH AND PREPARE FOR NEW FIBER CEMENT PANELS.
5. REMOVE EXISTING DOOR AND HARDWARE. FRAME TO REMAIN. PREP FOR NEW.
6. REMOVE PORTION OF EXISTING WALL FOR INSTALLATION OF NEW DOOR.
7. REMOVE EXISTING WALL FINISH IN PREPARATION FOR NEW ARCHON.
8. REMOVE EXISTING STOREFRONT WINDOW. PREP FOR NEW STOREFRONT WINDOW.
9. REMOVE EXISTING MASONRY WALL AND STOREFRONT WINDOWS IN THEIR ENTIRETY.
10. EXISTING MASONRY WALL TO REMAIN.
11. REMOVE EXISTING DRIVE-THRU WINDOW AND PREP FOR NEW DRIVE-THRU.
12. REMOVE EXISTING WINDOW. PREP OPENING FOR NEW WALL INFILL.
13. EXISTING RAILING TO REMAIN.
14. REMOVE EXISTING WALL PATCH, PATCH AND REPAIR FINISH/WALL AS NEEDED.
15. REMOVE EXISTING DOOR AND FRAMING AND PREP FOR NEW WALL/WINDOW.
16. REMOVE EXISTING CANOPY. COORDINATE WITH CARROLLS' CM IF EXISTING TO BE REUSED.
17. EXISTING BOLLARD TO REMAIN.
18. REMOVE EXISTING FACE BRICK AND PREP FOR INSTALLATION OF NEW ARCHON.
19. REMOVE EXISTING FINISH IN THIS AREA AND PREP FOR NEW SPANDREL GLAZING.



1 MAIN ENTRY ELEVATION - DEMO (NORTH)

SCALE: 1/4" = 1'-0"



2 MAIN ENTRY ELEVATION - NEW (NORTH)

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REPLACE OLD STYLE NON-APPROVED SIGN WITH NEW. IF ALLOWED BY JURISDICTION MOVE (1) EXISTING BURGER KING SIGN TO REAR OF BUILDING.
2. ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
3. ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
4. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

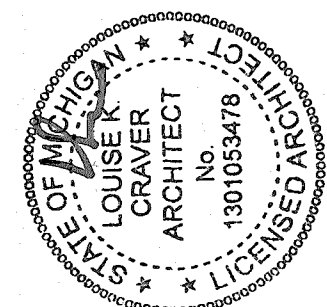
RESTAURANT FOR: Carrolls Corporation
968 Jones Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

BURGER KING
CORPORATION

LOUISE CRAVER
ARCHITECT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.625.9724

SEAL



IP# 2020.2249
C# 1018

BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

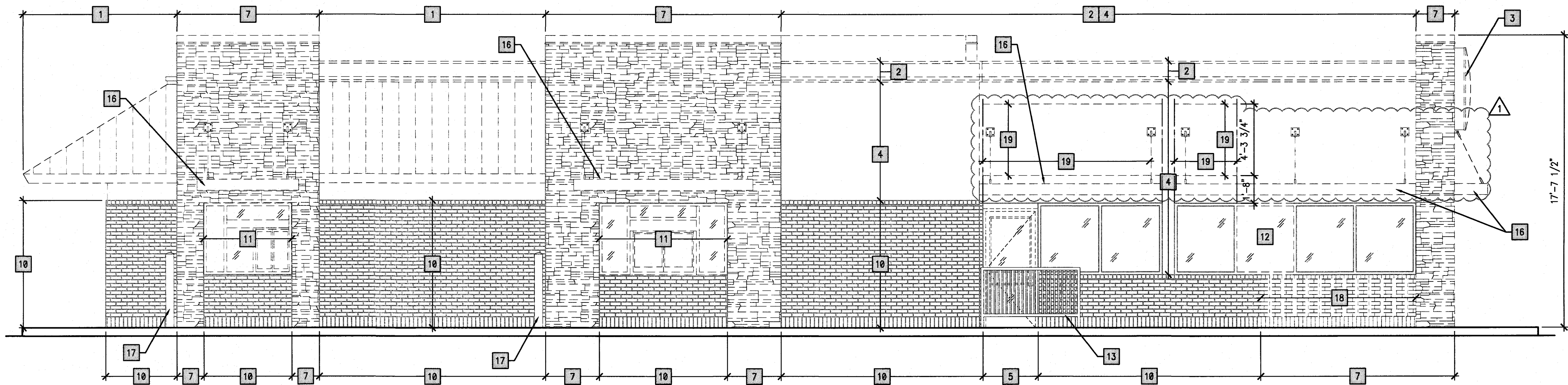
DATE: 03/30/21
BK-57
NEW DEMO EXTERIOR ELEVATIONS

A-3.0
CHECKED YW
DRAWN MC/YW

DEMO KEYED NOTES:

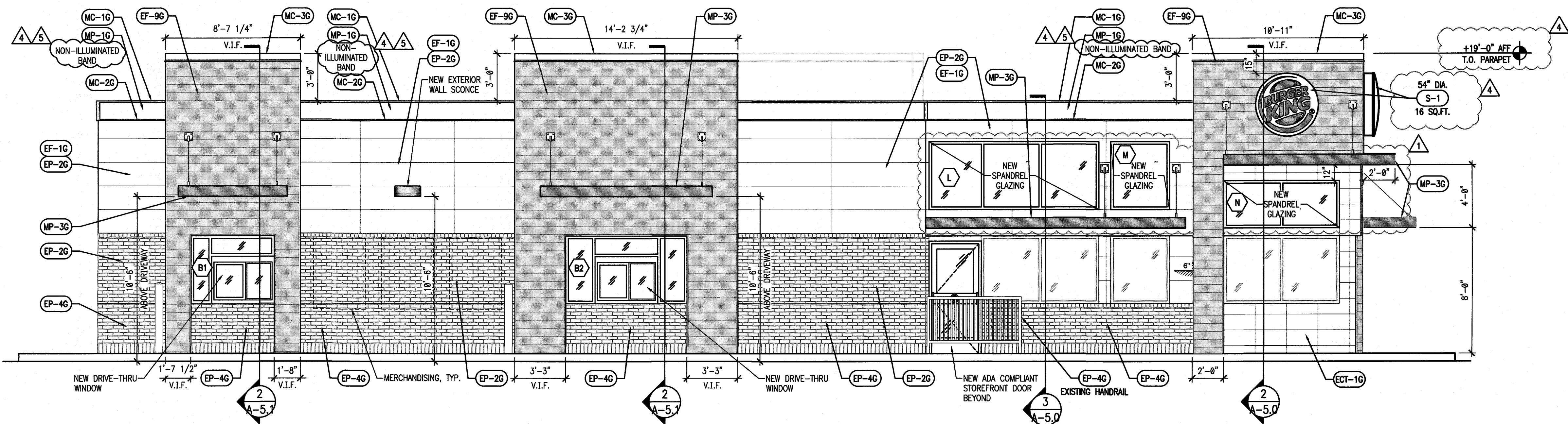
(NOT ALL NOTES USED ON EVERY SHEET)

1. REMOVE EXISTING MANSARD ROOF FRAMING AND FINISHES IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHT BAND.
3. REMOVE EXISTING SIGNAGE. COORDINATE WITH CARROLLS' CM IF EXISTING TO BE REUSED.
4. REMOVE EXISTING EIFS FINISH AND PREPARE FOR NEW FIBER CEMENT PANELS.
5. REMOVE EXISTING DOOR AND HARDWARE. FRAME TO REMAIN. PREP FOR NEW.
6. REMOVE PORTION OF EXISTING WALL FOR INSTALLATION OF NEW DOOR.
7. REMOVE EXISTING WALL FINISH IN PREPARATION FOR NEW ARCHON.
8. REMOVE EXISTING STOREFRONT WINDOW. PREP FOR NEW STOREFRONT WINDOW.
9. REMOVE EXISTING MASONRY WALL AND STOREFRONT WINDOWS IN THEIR ENTIRETY.
10. EXISTING MASONRY WALL TO REMAIN.
11. REMOVE EXISTING DRIVE-THRU WINDOW AND PREP FOR NEW DRIVE-THRU.
12. REMOVE EXISTING WINDOW. PREP OPENING FOR NEW WALL INFILL.
13. EXISTING RAILING TO REMAIN.
14. REMOVE EXISTING WALL PACK. PATCH AND REPAIR FINISH/WALL AS NEEDED.
15. REMOVE EXISTING DOOR AND FRAMING AND PREP FOR NEW WALL/WINDOW.
16. REMOVE EXISTING CANOPY. COORDINATE WITH CARROLLS' CM IF EXISTING TO BE REUSED.
17. EXISTING BOLLARD TO REMAIN.
18. REMOVE EXISTING FACE BRICK AND PREP FOR INSTALLATION OF NEW ARCHON.
19. REMOVE EXISTING FINISH IN THIS AREA AND PREP FOR NEW SPANDREL GLAZING.



1 DRIVE THRU ELEVATION - DEMO (SOUTH)

SCALE: 1/4" = 1'-0"



2 DRIVE THRU ELEVATION - NEW (SOUTH)

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REPLACE OLD STYLE NON-APPROVED SIGN WITH NEW. IF ALLOWED BY JURISDICTION MOVE (1) EXISTING BURGER KING SIGN TO REAR OF BUILDING.
2. ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
3. ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
4. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

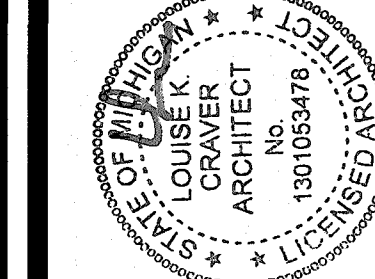
RESTAURANT FOR: Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513



LOUISE CRAVER ARCHITECT
604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.627.9124

LOUISE CRAVER ARCHITECT

SEAL



IP# 2020.2249
CC# 1016
BK 4814
11550 BELLEVILLE ROAD
BELLEVILLE, MI 48111

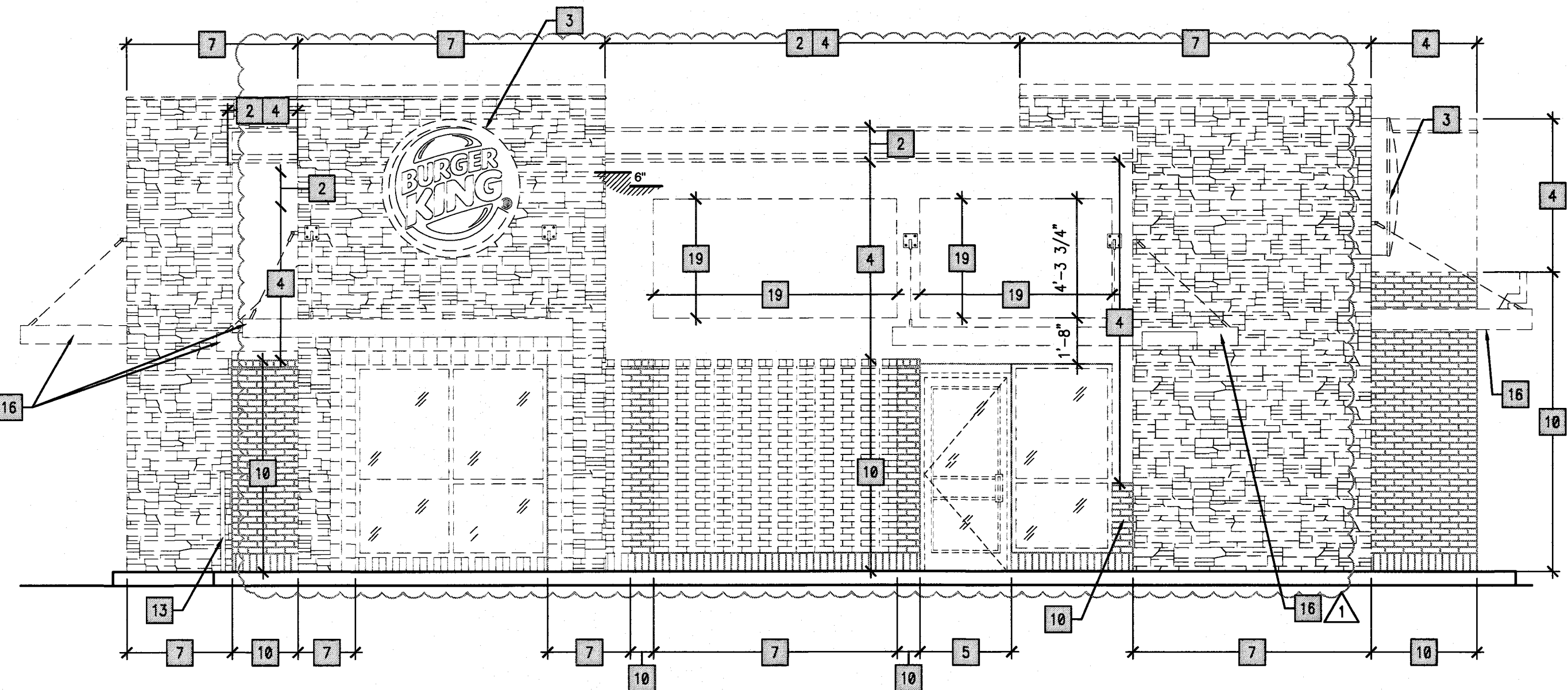
DATE: 03/30/21
NEW DEMO EXTERIOR ELEVATIONS

CHECKED YW
DRAWN MC/YW

DEMO KEYED NOTES:

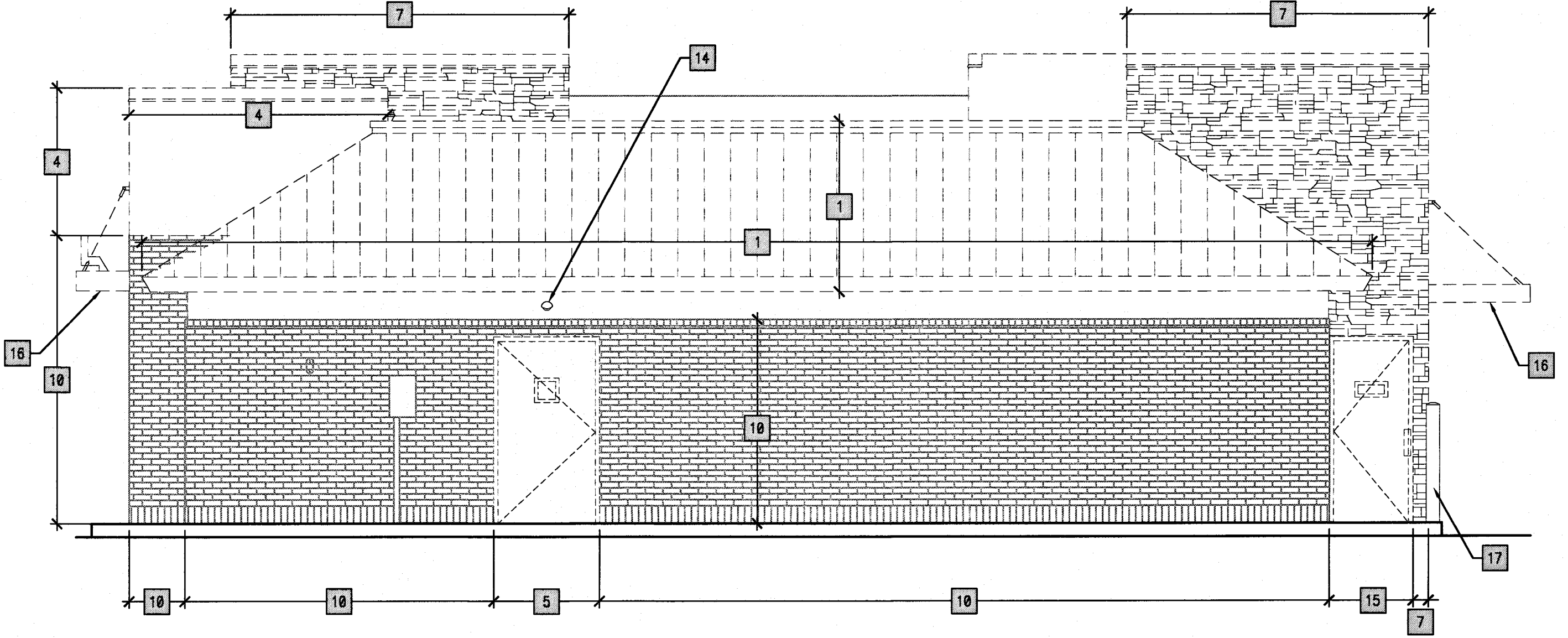
(NOT ALL NOTES USED ON EVERY SHEET)

1. REMOVE EXISTING MANSARD ROOF FRAMING AND FINISHES IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHT BAND.
3. REMOVE EXISTING SIGNAGE. COORDINATE WITH CARROLLS' CM IF EXISTING TO BE REUSED.
4. REMOVE EXISTING EIFS FINISH AND PREPARE FOR NEW FIBER CEMENT PANELS.
5. REMOVE EXISTING DOOR AND HARDWARE. FRAME TO REMAIN. PREP FOR NEW.
6. REMOVE PORTION OF EXISTING WALL FOR INSTALLATION OF NEW DOOR.
7. REMOVE EXISTING WALL FINISH IN PREPARATION FOR NEW ARCHON.
8. REMOVE EXISTING STOREFRONT WINDOW. PREP FOR NEW STOREFRONT WINDOW.
9. REMOVE EXISTING MASONRY WALL AND STOREFRONT WINDOWS IN THEIR ENTIRETY.
10. EXISTING MASONRY WALL TO REMAIN.
11. REMOVE EXISTING DRIVE-THRU WINDOW AND PREP FOR NEW DRIVE-THRU.
12. REMOVE EXISTING WINDOW. PREP OPENING FOR NEW WALL INFILL.
13. EXISTING RAILING TO REMAIN.
14. REMOVE EXISTING WALL. PATCH AND REPAIR FINISH/WALL AS NEEDED.
15. REMOVE EXISTING DOOR AND FRAMING AND PREP FOR NEW WALL/WINDOW.
16. REMOVE EXISTING CANOPY. COORDINATE WITH CARROLLS' CM IF EXISTING TO BE REUSED.
17. EXISTING BOLLARD TO REMAIN.
18. REMOVE EXISTING FACE BRICK AND PREP FOR INSTALLATION OF NEW ARCHON.
19. REMOVE EXISTING FINISH IN THIS AREA AND PREP FOR NEW SPANDREL GLAZING.



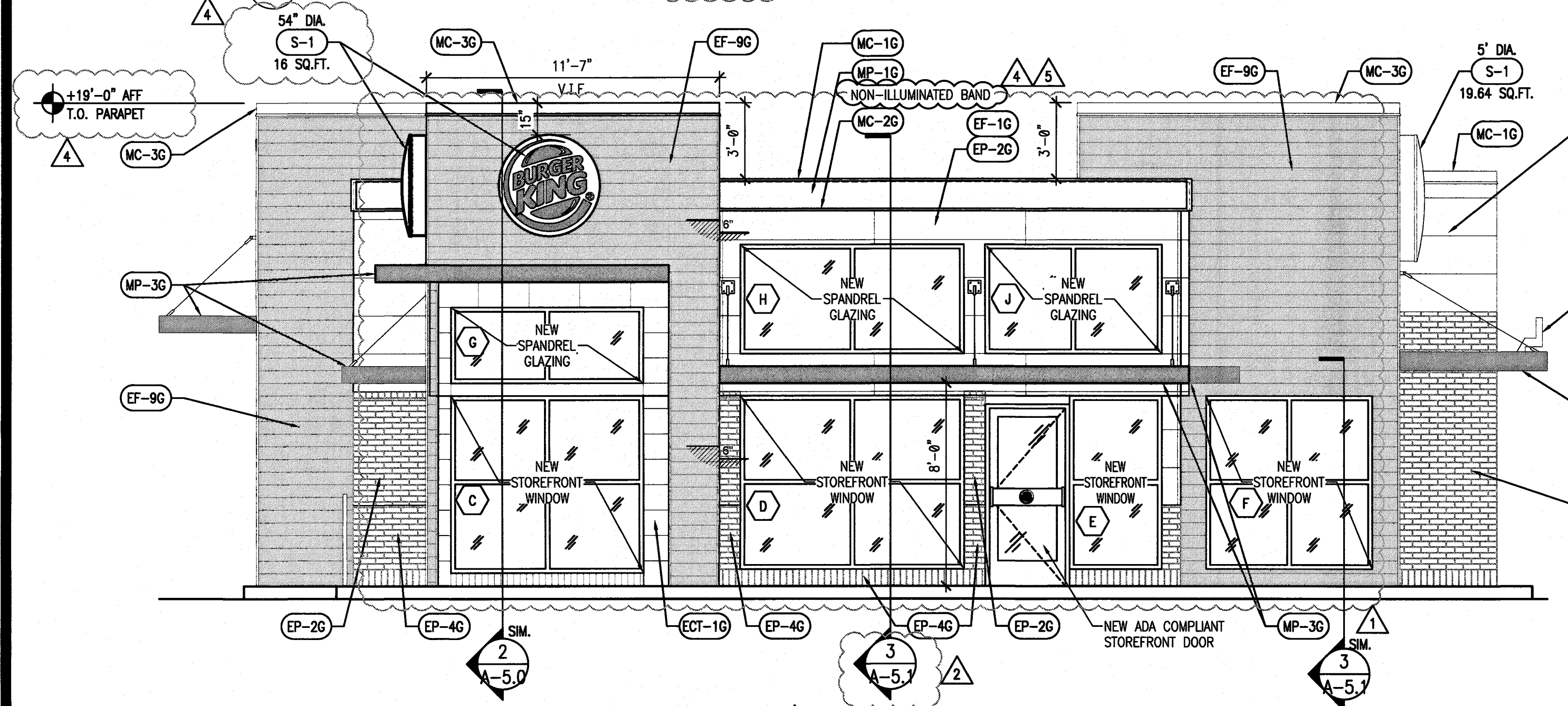
1 FRONT ELEVATION - DEMO (EAST)

SCALE: 1/4" = 1'-0"



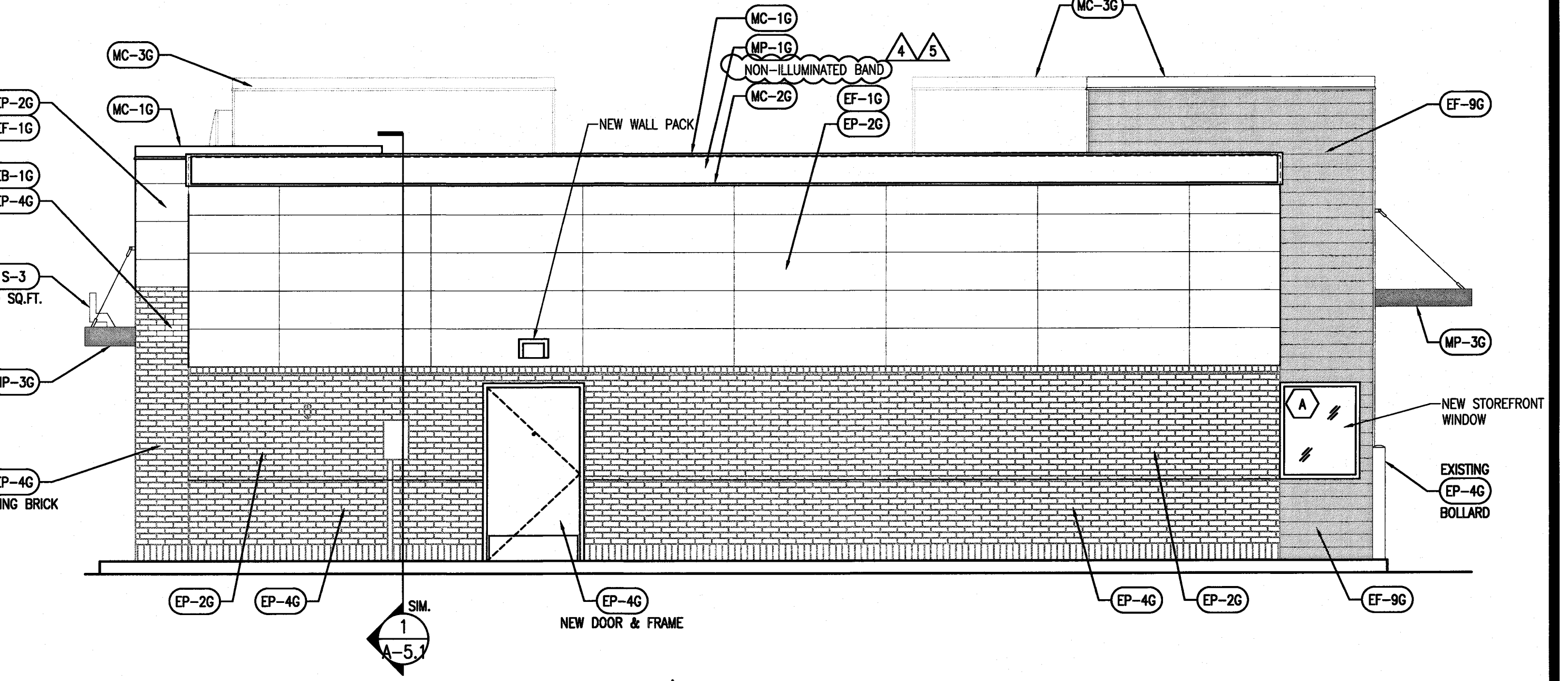
3 REAR ELEVATION - DEMO (WEST)

SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION - NEW (EAST)

SCALE: 1/4" = 1'-0"



4 REAR ELEVATION - NEW (WEST)

SCALE: 1/4" = 1'-0"

FRONT ELEVATION GLASS CALCULATIONS		
TOTAL ELEVATION AREA (SQ. FT.)	REQUIRED GLASS AREA (SQ. FT.) 50% OF TOTAL AREA	PROVIDED GLASS AREA (SQ. FT.)
508 SQ. FT.	254 SQ. FT.	260 SQ. FT.

SIGNAGE AREA CALCULATIONS		
EAST ELEVATION LINEAL FT.	ALLOWED 3 S.F. PER LINEAL FT OF BLDG. FRONTAGE	PROVIDED SIGN AREA (SQ. FT.)
49 LINEAL FT	16 SQ. FT.	15.9 SQ. FT. (54" DIA.)

GENERAL NOTES

1. REPLACE OLD STYLE NON-APPROVED SIGN WITH NEW. IF ALLOWED BY JURISDICTION MOVE (1) EXISTING BURGER KING SIGN TO REAR OF BUILDING.
2. ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
3. ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
4. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

RESTAURANT FOR: Carrolls Corporation
988 James Street P.O. Box 6869
Syracuse, New York 13217-6869
(315) 424-0513

BURGER KING CORPORATION

LOUISE CRAVER ARCHITECT
604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

DATE: 03/20/21
DRAWN BY: MC/YW
CHECKED BY: YW

NO. DATE REVISION
1 03/20/21 PLANNING COMMENTS
2 04/01/21 COMMENT COORDINATION
3 04/01/21 PLANNING COMMENTS-2ND REVIEW
4 04/01/21 PLANNING COMMENTS-2ND REVIEW
5 04/01/21 PLANNING COMMENTS-3RD REVIEW

IP# 2020.2249
BK 4814
11500 BELLEVILLE ROAD
BELLEVILLE, MI 48111
DATE: 03/20/21
BK-57
NEW DEMO EXTERIOR ELEVATIONS

LOUISE CRAVER ARCHITECT
ARCHITECT
NO. 1003478
STATE OF MICHIGAN
LICENSED ARCHITECT

NOV 15 2021

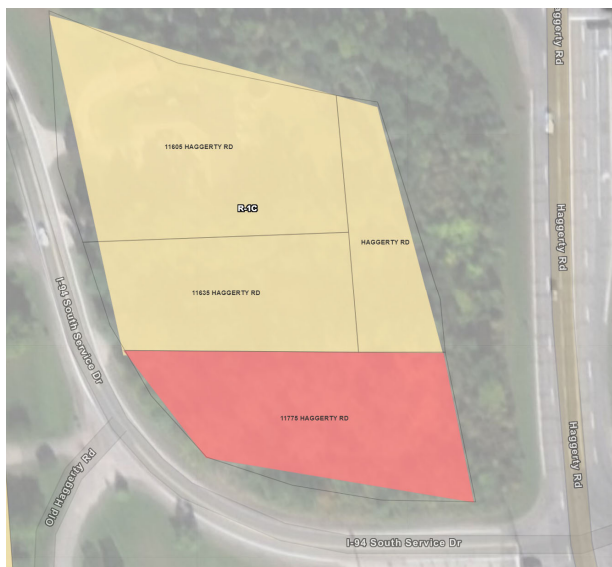


MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Discussion: Parcels 83 094 01 0212 007 (11605 Haggerty Road), 83 094 01 0212 009, 83 094 01 0212 004 (11635 Haggerty Road), and 83 094 01 0213 004 (11775 Haggerty Road)
DATE: December 1, 2021

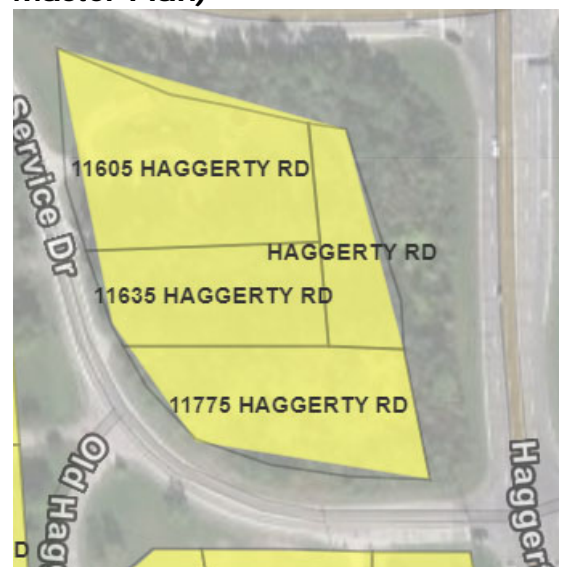
Owner Sam Beydoun seeks to introduce a land use concept for four (4) parcels with a total area of roughly 2.49 acres under his ownership at the northwest intersection of Haggerty Road and South Interstate 94 Service Drive. The combined site contains the vacant former Lakeview Motel, a 3,336 square foot building constructed in 1949. The owner will bring this forward as a discussion topic for the Planning Commission. At this time, the applicant has not made a formal application other than for a conceptual plan review by staff. Staff offers no review comments to the Planning Commission at this time. The Planning Commission is invited to hear the applicant's description of their land use concept and provide questions and feedback for the applicant to consider as they decide whether to make a formal application for any amendments to the Township's adopted Future Land Use map or zoning ordinance (re-zonings). In order to assist the Planning Commission with understanding the context of the site, please see the site's zoning and planned land use below. A more detailed description of the identified zoning and future land use categories is included at the back of the packet for this request.

Zoning



R-1C: Single Family Residential District
C-1: General Business District

Future Land Use (per 2020 Master Plan)



LDB: Low Density Single Family Residential B - 15,000-sq. ft. lots

I look forward to this discussion.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Power". The signature is fluid and cursive, with the first name "Dan" and last name "Power" clearly distinguishable.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

BRUCE F. ROSENTHAL, ESQ.
ROBERT A. FICANO, ESQ.
ATTORNEYS AT LAW

4301 ORCHARD LAKE ROAD
SUITE 180, PMB 116
WEST BLOOMFIELD, MI 48323

(248) 464-9803 PHONE

(248) 432-7644 FAX

(313) 363-2233

Email: roberficano@aol.com

Email: bruce.rosenthal@att.net

November 16, 2021

RE: I94 and Haggerty

Mr. Power:

I want to thank this Honorable Body, the Supervisor, Mr. Kevin McNamara and the Township for reviewing our plans for the development of the corner of Haggerty and I-94.

I know our petition is requesting a change in zoning that changes the property from residential to commercial.

I realize the proposed rezoning of the property is critical because it represents the gateway and image to Van Buren Township. To that end, I want to make sure that the proposed elevated signage and landscaping is of the quality that would make the gateway attractive for both residents and visitors.

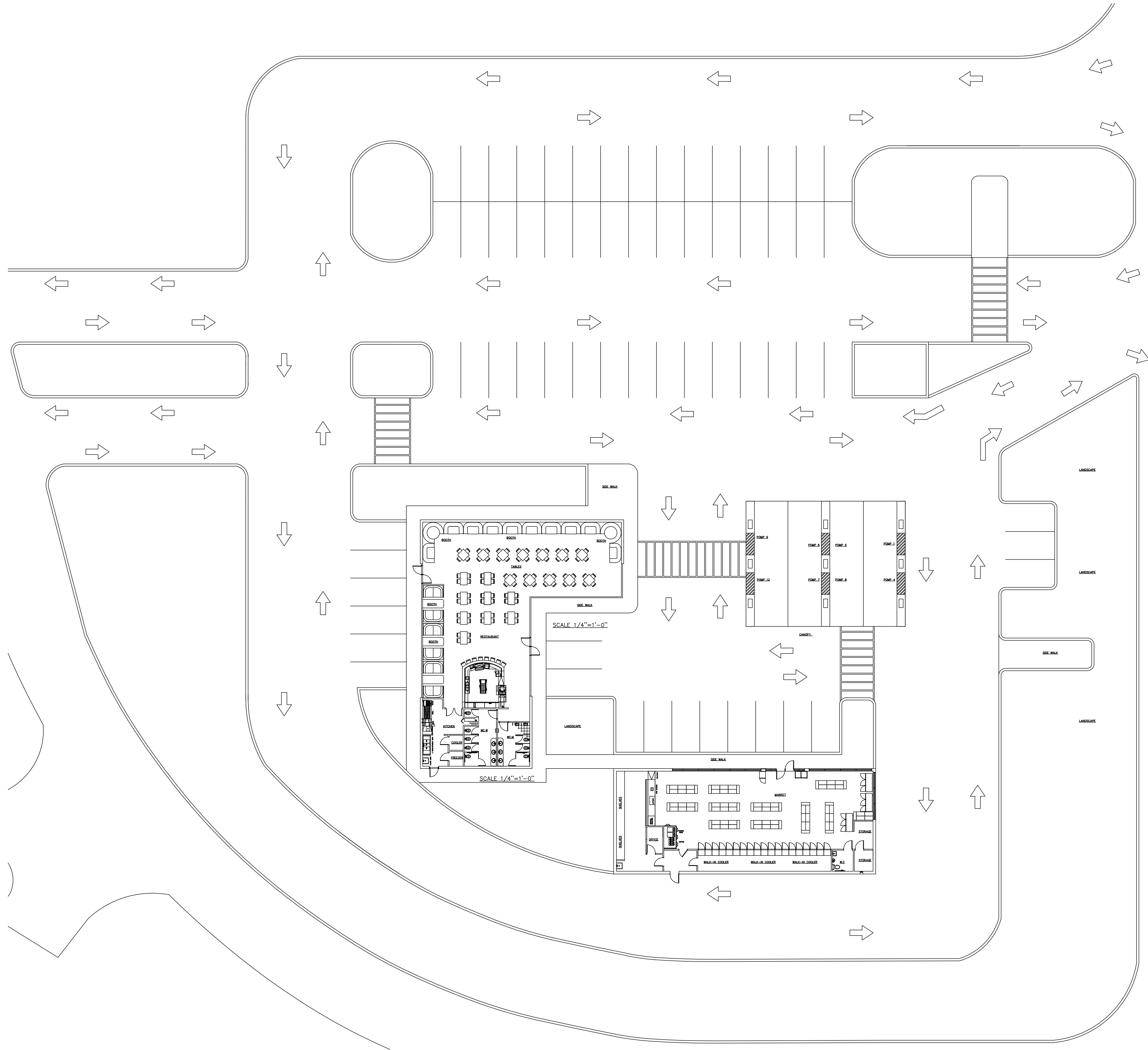
I am familiar with this property because I have owned it and paid taxes on it for the past 20 years. I have also purchased the property next to it which has an abandoned motel that has been an eyesore and a center of controversy for the community. I plan to demolish the motel and use the property for our development. Our plans not only include a service station, but also EV charging stations as well as a restaurant in the category of Culvers or Applebee.

I know this proposed use may be difficult for some, but realistically the property abutting a major intersection such as I94 and Haggerty would be unattractive to build housing because of the traffic, noise and close proximity to the intersection. I want to thank you for your careful consideration of our proposed development and look forward to being a strong partner for Van Buren Township.

Sincerely


Sam Beydoun


Robert Ficano







Section 3.106 R-1A, R-2A, R-1B, and R-1C, Single-Family Residential Districts

(A) STATEMENT OF PURPOSE
The purpose of this Section is to provide districts for single-family dwellings and to prohibit business, commercial, industrial and any other use which would substantially interfere with development or continuation of single-family dwelling in these districts. This Section is further intended to discourage: (1) existing uses that would not be permitted as new uses under the provisions of this Ordinance; (2) uses which would generate traffic on minor or local streets in excess of normal traffic to serve residents thereon; and (3) uses which would require public services such as fire and police protection, water supply and sewerage, substantially in excess of requirements and costs if the district were developed solely for single-family dwellings.

(B) PERMITTED USES	(C) SPECIAL LAND USES
<ul style="list-style-type: none"> • Single-family detached dwellings • Publicly-owned recreational facilities. • Local governmental buildings and similar uses. • School (Primary or Secondary) • School (College or University, Public or Non-Profit) • Private swimming pools • Accessory building and uses • Home occupations • Adult foster care, family home • Horses for personal non-commercial use • Family day care home • Accessory structures and uses customarily incidental to the above permitted uses 	<ul style="list-style-type: none"> • Child care centers • Public utility buildings, telephone exchange buildings, electric transformer stations and substations and gas regulator stations but not including storage yards, when necessary to serve the immediate vicinity. • Country Club • Golf courses • Outdoor Recreation, Golf Driving Range • Outdoor Recreation, Private Park • Bed and breakfast operations • A group day care • Religious Institutions • Adult day care centers • Planned Residential Developments • Wireless Communication Facilities

The above list is a summary of uses permitted by right or special land use approval in the district. Refer to [Section 3.104](#) (including footnotes) for standards and requirements applicable to permitted and special land uses. In case of a conflict between the above list and the uses listed in [Section 3.104](#) (including footnotes), then [Section 3.104](#) shall prevail. Refer to [Article 2](#) for definitions of uses and refer to [Article 5](#) for development standards for specific uses.

(D) DIMENSION REGULATIONS									
Lot Standards	R-1A	R-2A	R-1B	R-1C	Minimum Setbacks	R-1A	R-2A	R-1B	R-1C
Min. Lot Area (sq. ft.)	20,000	15,000	10,000	8,400	Front Yard	30	30	30	30
Min. Lot Width (ft.)	100	90	80	70	Side Yard (one)	10	10	10	10
Min. Lot Depth (ft.)	(C)	(C)	125	120	Side Yard (total of 2)	25	25	25	25
Max. Lot Coverage (%)	15	20	30	30	Rear Yard	35	35	35	35
Min. Floor Area/Unit (ft.)	1,800 (B)	1,800 (B)	1,500 (B)	1,250 (B)					
Max. Building Height (ft.)	30	30	30	30					
Max. Bldg. Height (stories)	2	2	2	2					

Footnotes: Refer to [Section 4.102](#) wherever a footnote is referenced in parentheses after one of the design regulations.

Section 3.111 C-1, General Business District

(A) STATEMENT OF PURPOSE
The General Business District, as established in this Section is intended to permit a wider range of business and entertainment activities than those permitted in the Local Business District. The permitted uses are intended to provide business and services usually found in major shopping centers and central business districts at the junction of major streets. These uses generated large volumes of vehicular traffic, require substantial access for off-street parking and loading and require detailed planning, particularly as to relationships with adjacent residential areas.

(B) PERMITTED USES		(C) SPECIAL LAND USES
<ul style="list-style-type: none"> • All Permitted Uses in the C, Local Business District (<i>Section 3.110</i>) • Vehicle Showrooms • Printing Shops and Establishments • Bus Passenger Stations • School (College or University, Private) • School (Vocational or Technical) • Service establishment, office, showroom or workshop (no retail required) • Retail Sales, Indoor • Event Facilities • Motels and Hotels • Studios • Laboratories, Minor • Private Clubs • Public Auction Rooms • Religious institutions 	<ul style="list-style-type: none"> • Places of Assembly • Mortuary Establishment • Publicly owned buildings and uses • Public utility buildings, telephone exchange buildings, electric transformer stations and substations and gas regulator stations but not including storage yards, when necessary to serve the immediate vicinity. • Health or Exercise Club or Spa • Restaurants, Sit Down with entertainment • Restaurant, Carry-Out • Veterinary/Animal Clinics and Hospitals • Contractor Establishment, Indoor • Gasoline Filling Stations • Accessory structures and uses customarily incidental to the above permitted uses 	<ul style="list-style-type: none"> • All Special Land Uses in the C, Local Business District (<i>Section 3.110</i>) • Automobile Wash Establishment, Automatic • Indoor Recreation • Commercial Radio and Television Towers • Restaurants, Drive-Thru and Drive-In • Vehicle Service, Minor • Open Air Business Uses • Recreational Vehicle Storage Yards • Outdoor Vehicle Sales • Wholesale Sales • Planned Shopping Centers • Campgrounds • Mini-Warehouse (Self Storage Facility) • Outdoor Recreation, Amusement • Outdoor Storage of Building or Contracting Equipment and Supplies • Automobile Rental and Leasing Agencies • Banks and Financial Institutions with Drive-Thru • Drive-Thru Facility (accessory to any principal use) • Senior Housing

The above list is a summary of uses permitted by right or special land use approval in the district. Refer to *Section 3.104* (including footnotes) for standards and requirements applicable to permitted and special land uses. In case of a conflict between the above list and the uses listed in *Section 3.104* (including footnotes), then *Section 3.104* shall prevail. Refer to *Article 2* for definitions of uses and refer to *Article 5* for development standards for specific uses.

(D) ARCHITECTURAL STANDARDS APPLICABLE TO ALL COMMERCIAL ZONING DISTRICTS
<p>All buildings in commercial zoning districts shall meet the following requirements:</p> <ul style="list-style-type: none"> • Brick or another material of similar architectural quality and appearance as determined by the Planning Commission, shall be the principal material for exterior building surfaces. • Buildings shall incorporate roof articulation, projection and relief, covered walkways into facades which include entrances or display windows or which are adjacent to parking or visible from rights-of-way.

(E) DIMENSION REGULATIONS			
Lot Standards		Minimum Setbacks	
Min. Lot Area (sq. ft.)	--	Front Yard	75 <u>(N)</u>
Min. Lot Width (ft.)	--	Side Yard (one)	15 <u>(M)</u> , <u>(P)</u>
Min. Lot Depth (ft.)	--	Side Yard (total of 2)	15 <u>(M)</u>
Max. Lot Coverage (%)	--	Rear Yard	25
Min. Floor Area/Unit (ft.)	--		
Max. Building Height (ft.)	40		
Max. Building Height (stories)	4		
Footnotes: Refer to Section 4.102 wherever a footnote is referenced in parentheses after one of the design regulations.			

Low Density Single Family B

DESCRIPTION

Intended to permit single family residential development consistent with recent development patterns, constrained by the maximum densities and minimum lot areas indicated.

APPLICABLE PORTIONS OF TOWNSHIP

Generally concentrated in the northwest and southeast portions of the Township: In the former, the area focused on Michigan Avenue, immediately west of Denton Village; in the latter, the area between Haggerty Road/South Metro Parkway to the west and Hannan Road to the east.

TRANSECT ZONES

T-3

CORRESPONDING ZONING

R-2A

DEVELOPMENT STANDARDS

Max Density (du/acre): 2.5–2.9

Min Lot Area (sf): 15,000

Min Lot Are (acres): 0.34

SEE ALSO

South Side Master Plan



#



Memo

TO: Van Buren Charter Township Planning Commission
RE: Adaptive Outdoor Retail and Dining – Relaxation of Certain Regulations – extended for 2022
DATE: November 29, 2021

In July 2020, following a recommendation from the Planning Commission, the Township Board of Trustees, adopted a resolution to maximize seating and retail space outdoors while limits on indoor occupancy remain in place due to restrictions on business's capacity under COVID-19. Under normal circumstances, the Van Buren Township Planning Commission reviews temporary land use applications for sales or dining events at commercial sites, such as outdoor tent sales, that extend beyond two weeks. These applications also typically require the submittal of an administrative fee.

I am asking the Planning Commission to discuss and consider forwarding a *new* recommendation to temporarily relax the requirement of Planning Commission review for temporary land uses, specifically for businesses to use outdoor dining and retail space due to COVID-19, through December 31, 2022. The Planning Commission may pass a simple motion to do so. In turn, the Township Planning and Economic Development Director will review site plans and applications for these adaptive temporary outdoor dining and retail operations with input as necessary from the Department of Public Safety, DDA, and Department of Public Services.

If the Planning Commission concurs, I will ask the Township Board of Trustees for action on this matter at their regular meeting on January 4, 2022. Thank you for your consideration.

Thank you,

Dan Power, AICP – Director of Planning and Economic Development, Van Buren Charter Township

CC: Vidya Krishnan – Van Buren Charter Township Planning Consultant, McKenna and Associates, Inc.

THE CHARTER TOWNSHIP OF VAN BUREN
WAYNE COUNTY, MICHIGAN

RESOLUTION REGARDING THE AUTHORIZATION OF ADMINISTRATIVE APPROVAL
AND FEE WAIVER FOR TEMPORARY ADAPTIVE OUTDOOR FOOD AND BEVERAGE
SERVICE AND RETAIL LAND USES

RESOLUTION NO. 2021-02

DATED: JANUARY 4, 2022

WHEREAS, on March 10, 2020, the Governor of the State of Michigan issued Executive Order 2020-4, declaring a State of Emergency across the State of Michigan relating to the novel Coronavirus 19 (COVID-19); and

WHEREAS, a series of Executive Orders from the Michigan Governor and from the Michigan Michigan Department of Health and Human Services (MDHHS) followed which limited the full functionality or occupancy of food and beverage service and retail businesses, including Executive Order 2020-9, which resulted in the temporary closure of restaurants, cafes, bars and like businesses, Executive Order 2020-21, which ordered the temporary closure of non-essential businesses, including retail businesses, Executive Order 2020-97, which outlined capacity constraints and workplace standards, and Executive Order 2020-110, which contemplated the slow or partial reopening of certain businesses in various parts of the State, and Executive Order ; and

WHEREAS; Governor's Executive Orders and orders from the MDHHS have continued to monitor COVID-19 data and release orders which limit the use of indoor spaces for various business functions in order to reduce the spread of COVID-19, and are anticipated to continue doing so for the foreseeable future;

WHEREAS; the Township Board understands and expects that businesses which include on site retail and food and beverage service will be subject to limitations on occupancy and requirements for social distancing, including that they will be unable to operate at full capacity with available indoor space to accommodate necessary social distancing; and

WHEREAS; while businesses may seek relief from those regulations by submitting an administrative review fee and application for temporary events lasting longer than seven (7) consecutive days or two consecutive weekends to the Township Planning Commission as a temporary land use, or as a permanent land use subject to site plan review, these procedures may require the use of substantial time and resources by the applicant and the Township; and

WHEREAS; the Township finds that the most appropriate way to act swiftly to assist local retailers and food and beverage service businesses in their economic recovery and to be responsive to the public health demands of the COVID-19 pandemic in a manner that is

consistent with the overall purpose and goals of the Township's existing ordinances is to authorize a process without fees that enables Township staff to quickly administer the review of the expansion of certain permitted retail and food and beverage service uses into outdoor spaces for a defined period of time, because of—and only because of—the occupancy limitations and social distancing requirements necessary to respond to the COVID-19 pandemic, and for no other purpose or duration; and

WHEREAS; the Township recognizes that the administrative efficiency made possible by administrative review of temporary outdoor dining and retail requests and the need to readily accommodate outdoor expansion for retailers and food and beverage industries in need provide justification for a waiver of administrative review fees; and

WHEREAS; the effect of the Township's resolution 2020-07-07 (1), which gave temporary relief to business by authorizing the fee waiver and administrative review process described above expired on October 31, 2020;

NOW, THEREFORE, IT IS THEREFORE RESOLVED:

1. The Township Board finds that a new temporary relaxation of certain administrative regulations with respect to the operation of certain businesses is an appropriate response to these current unprecedented conditions within the Township Board, state, and country, and further finds that such temporary relaxation, if properly administered, will not adversely affect the public health, safety, and welfare and will in fact benefit both the businesses and the members of the public affected given COVID-19's wide-ranging effects.
2. The Township Board hereby determines that it is appropriate to establish, and it hereby does establish, allowance of applications for temporary outdoor food and beverage service and retail uses which exceed seven (7) consecutive days or two (2) consecutive weekends without cost which can be reviewed administratively and do not require review by the Planning Commission, subject to the following requirements:
 - a. The application of this administrative relief shall apply only to brick and mortar businesses that own or lease real property in the Township;
 - b. The provisions of this Resolution and the Permit Authorization are limited to retail and food and beverage service businesses that can meet the requirements of Section 7.120 of the Township Zoning Ordinance (Temporary Land Uses, Buildings, and Structures) and this resolution;
 - c. The Township Department of Planning and Economic Development in conjunction with the Department of Public Safety and Downtown Development Authority (DDA) will receive and review applications for temporary outdoor food and beverage service and retail uses in response to COVID-19 which include the following:
 - A complete description of proposed activities including dining, food and/or beverage service, and retail;
 - A display of the dimensions of a perimeter area in which outdoor service and retail activities are proposed to occur;

- A label indicating the number of current existing parking spaces on the site, including barrier free and standard parking spaces;
 - A description of the existing parking spaces that will be temporarily removed due to the proposed temporary land use;
 - Verification that the use will retain adequate parking, including the required unhindered barrier free parking spaces;
 - Proposed hours of outdoor operation;
 - Proposed lighting;
 - Setbacks from adjacent lot lines;
 - Method of trash disposal and site clean-up;
 - A description of sanitary facilities;
 - A description of outdoor signage, including locations and details;
 - A description of other licenses or permits required, including those administered by the Michigan Liquor Control Commission (MLCC);
 - A description of any necessary measures to ensure fire code compliance including fire lanes, fire protection and security, subject to review by the Township Fire Department;
 - A circulation plan showing how traffic will be routed through the site and between this site and adjacent sites and roadways;
 - Any drawings showing the size, height and type of construction of proposed temporary buildings and structures;
 - Any available commitment to a performance guarantee or insurance to ensure prompt termination and removal of the use, clean up or compensation for impacts of the temporary use; and
 - Any other information that aids with the description of the project.
3. The application for temporary outdoor food and beverage service and retail in response to COVID-19 will be subject to administrative approval by the Township Director of Planning and Economic Development.
 4. The authorizations set forth in this Resolution are effective beginning January 20, 2021 and shall expire on December 31, 2022, unless extended by the Township Board due to extended occupancy limitations based on the Governor's Executive Orders.
 5. If a conflict arises between any administratively approved retail or dining temporary land use permit pursuant to this resolution and any State of Michigan law or Executive Order, the State of Michigan law or Executive Order shall prevail.
 6. If the Township adopts an ordinance or ordinances relating to the subject matter of this resolution, this Resolution shall be considered revoked upon the effective date thereof.
 7. The Township Board of Trustees may revoke or amend this Resolution at any time, and such revocation or amendment shall be effective immediately.
 8. Violation of the requirements of this Resolution and/or any permit authorized hereunder shall be considered violations of the Township Board;
 9. All resolutions in conflict herewith are repealed; and
 10. This resolution is effective immediately upon adoption and shall remain in full force and effect until repealed by the Township Board.

This RESOLUTION was offered by Board member _____ supported by Board member _____ at a meeting on _____, 20___. The members of the Township Board voted as follows:

The TOWNSHIP SUPERVISOR declared the RESOLUTION duly adopted.

Leon Wright, Township Clerk

CERTIFICATE

I hereby certify that the foregoing constitutes a true and complete copy of a resolution adopted at a regular meeting of the Township Board held on _____, 20__; that the meeting was conducted and public notice of the meeting was given pursuant to and in compliance with the Michigan Open Meetings Act; that a quorum of the Board was present and voted in favor of the resolution; and that the minutes of the meeting will be or have been made available as required by the Open Meetings Act.

Leon Wright Clerk
Township of Van Buren
Wayne County, Michigan



DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

46425 TYLER ROAD, VAN BUREN TOWNSHIP, MI 48111

PHONE (734) 699-8913 FAX (734) 699-8958

**TEMPORARY ADAPTIVE OUTDOOR DINING AND RETAIL PERMIT
APPLICATION**

No application fee required

DATE OF APPLICATION:	
CONTACT PERSON:	PHONE:
BUSINESS NAME:	ADDRESS OF LOCATION:
PROPERTY OWNER REPRESENTATIVE:	PHONE:
WHAT ACTIVITY ARE YOU REQUESTING TO MOVE OUTDOORS (E.G., OUTDOOR DINING AND BEVERAGE SERVICE, OUTDOOR RETAIL)?	
IS A LICENSE FOR ALCOHOL SALES OR SERVICE REQUESTED FROM THE MICHIGAN LIQUOR CONTROL COMMISSION (MLCC)? (YES/NO) . IF YES, WHAT TYPE OF MLCC LICENSE IS REQUESTED?	
OTHER:	
PLEASE ALSO SUBMIT A SIMPLE SITE PLAN (SEE SITE PLAN TEMPLATE AND CHECKLIST ON PAGES 2-3)	

Please submit all documents to the Van Buren Charter Township Planning and Economic Development Department. This can be done via mail, in-person drop off, or emailed to dpower@vanburen-mi.org. Please allow three (3) business days for review of your completed application. Upon written or verbal confirmation from the Township Planning and Economic Development Department that your application has been approved, you may begin installation. If the proposal involves new structures, electrical connections, or other items requiring inspection, please contact 734-699-8913 prior to commencing the activity to coordinate your inspection.

As the duly authorized individual or agent of the applicant/business, I hereby apply for approval of this temporary outdoor dining and retail use, affirm the above information, and agree that I (or the sponsoring organization) will comply with applicable Township requirements, ordinances, and other laws which apply to this temporary use.

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF OWNER, IF DIFFERENT FROM APPLICANT

DATE

APPROVED BY

DATE

This image shows a full page of blank graph paper. The grid consists of small squares formed by thin gray lines. There are 20 columns and 30 rows of squares. A thicker gray border surrounds the entire grid area.

See a checklist of site plan items on the following page.

Contact:

Phone #:

Sq. Footage:

Address:

Site Plan Information – please provide the following if it applies to your proposed use:

- ☐ **Perimeter.** A description of the perimeter surrounding the outdoor dining or retail space including length, width, and the material being used to define the perimeter (fencing, planters, etc.).
- ☐ **Parking spaces impacted** by or removed due to be occupied by the outdoor use.
- ☐ **Barrier free space protection.** Verification that existing barrier free parking spaces will be unhindered or will be replaced.
- ☐ **Drive aisles or fire lanes** affected by the outdoor use.
- ☐ **Crossings** designed to guide patrons to the outdoor use area.
- ☐ **Arrows demonstrating vehicle circulation**, if any of the site's drive aisles will be impacted.
- ☐ **Setbacks** between the temporary use and adjacent lot lines.
- ☐ **Additional notes or separate submittals** to provide, if applicable:
 - o Description of the proposed outdoor activities.
 - o Any proposed additional lighting.
 - o Method of trash disposal and site clean-up.
 - o Estimated schedule for trash pickup and deliveries to the primary business.
 - o Proposed hours of outdoor operation.
 - o A description of MLCC licenses or other licenses required.
 - o Notes describing monitoring and security of any outdoor alcohol service areas.
 - o Any available specification drawings showing the size, height and type of construction of proposed temporary buildings / structures to serve the use.
 - o Any other information aiding with the description of your project.

Additional informational notes:

1. This temporary outdoor land use authorization shall expire on October 31, 2020, unless extended by the Township Board.
2. If a conflict arises between this use and any Executive Order from the State of Michigan Governor, the Executive Order shall prevail.
3. Extensions or new applications related to this temporary outdoor use may be subject to new ordinances or policies adopted by the Van Buren Township Board.
4. If a license from MLCC for outdoor service is requested, this must be attached to areas in which alcohol will be served. A copy of the MLCC Outdoor Service permit must be submitted to the Township prior to commencing with the outdoor service of alcoholic beverages. See https://www.michigan.gov/lara/0,4601,7-154-89334_10570---.00.html.
5. If Wayne County Health Department (WCHD) approvals for outdoor food service are required, a copy of the WCHD approval will be required prior to the Township issuing an approval (see application and instructions here: <https://www.waynecounty.com/departments/hhvs/wellness/foodservice-licensing.aspx>)

FOR OFFICE USE ONLY

Date Submitted _____ Layout Drawing _____

Landowner Approval _____ Approval Date _____

Application Approved: _____



VAN BUREN CHARTER TOWNSHIP

Kevin McNamara | Supervisor · **Sharry A. Budd** | Treasurer · **Leon Wright** | Clerk
Reggie Miller | Trustee · **Kevin Martin** | Trustee · **Sherry Frazier** | Trustee · **Donald Boynton Jr.** | Trustee

December 2, 2021

Van Buren Township Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Van Buren Township, MI 48111

Subject: Planning Commission Annual Report for 2021

In accordance with P.A. 33 of 2008, as amended, MCL 125.3801 et seq, Michigan Planning Enabling Act, please find the attached annual report regarding the Planning Commission activities for 2021. Following acceptance by the Planning Commission, the report will be forwarded to the Van Buren Township Board of Trustees. The report is summarized as follows:

Public Hearings: The Planning Commission held four (4) public hearings.

Preliminary Site Plan Approvals: The Planning Commission granted seven (7) preliminary site plan approvals.

Final Site Plan Approvals: The Planning Commission granted four (4) final site plan approvals.

Combined Preliminary / Final Site Plan Approvals: The Planning Commission granted four (4) combined preliminary / final site plan approvals.

Special Land Use: The Planning Commission recommended two (2) special land use approvals to the Township Board.

Site Plan Amendments: The Planning Commission granted two (2) site plan amendments.

Temporary Land Use Approvals: The Planning Commission granted five (5) temporary land use permits.

Rezoning Recommendations: The Planning Commission made one (1) rezoning recommendation to the Township Board.

Zoning Text Amendment Recommendations: The Planning Commission made three (3) zoning ordinance text amendment recommendations to the Township Board.



VAN BUREN CHARTER TOWNSHIP

Kevin McNamara | Supervisor · **Sharry A. Budd** | Treasurer · **Leon Wright** | Clerk
Reggie Miller | Trustee · **Kevin Martin** | Trustee · **Sherry Frazier** | Trustee · **Donald Boynton Jr.** | Trustee

Master Plan Amendment: The Planning Commission held four (4) workshops, public input events and work sessions regarding the Sumpter Road Corridor Plan, an area-specific amendment to the 2020 Van Buren Township Master Plan.

Tree Removal Permits: The Planning Commission granted one (1) tree removal permit.

Other Activities and Approvals:

- The Planning Commission heard comments regarding three (3) projects that required administrative site plan review by the Township Planning and Economic Development Director.
- The Planning Commission granted two (2) extensions to previous preliminary or final site plan reviews.
- The Planning Commission made one (1) recommendation for approval of permits for agricultural irrigation ponds.
- The Planning Commission preliminarily reviewed one (1) request for a dimensional variance.

Significant Activities: The Van Buren Township Planning Commission continued to facilitate quality, planned growth throughout the Township in 2021. The Planning Commission completed eighteen (18) virtual meetings in 2021 and contributed significantly to a successful open air public workshop at the Township's Fire Station #1.

Significant construction progress has been made at several major project sites which were approved by the Planning Commission in 2018-2021, including completion of two of the three buildings in the 1.6 million square foot Ashley Crossroads North distribution center near Ecorse and Haggerty Road, construction in new phases of the Victoria Estates / Townsend Park and Cobblestone Creek subdivisions, and beginning of redevelopment of a 53-acre data center site at 9000 Haggerty Road. The Planning Commission also made significant progress on a future land use plan for the Sumpter Road Corridor, which will provide future direction for zoning and design standards along Sumpter Road and on adjacent lands.

The tabulated list of 2021 Planning Commission activities is included on the page following this cover report.

Date	PC item	Board Item	Case #	Location	Item Description	Type
1/13/2021			20-022	48075 Tyler Road	Yankee Air Museum Hangers	Administrative Site Plan Review Update
1/27/2021			19-001	9000 Haggerty Road	Project Sycamore	<i>Extension</i>
1/27/2021			19-001	9000 Haggerty Road	Project Sycamore	Final Site Plan
2/10/2021			21-002	39670 Ecorse Road	Tree Removal Permit	Tree Removal Permit Approval
2/24/2021					Lot Coverage Zoning Ordinance	Text Amendment
3/10/2021					Lot Coverage Zoning Ordinance	Text Amendment
3/10/2021					Senior Housing Dvlpmnt Zoning Ordinance	Text Amendment
3/24/2021			19-041	8470 Belleville Road	Clover Communities	Preliminary Site Plan
3/24/2021			21-010	44145 Yost Road	Yost	Preliminary Variance Disc
3/24/2021					Lot Coverage Zoning Ordinance	Public Hearing
3/24/2021			19-040	8470 Belleville Road	Clover Communities	Special Land Use
4/14/2021	4/15/2021	4/16/2021	20-035	44605 Hull Road	Irrigation Ponds	Pond Approval
4/14/2021			17-026	41001 E. Huron Rvr Dr	Metro Party Store	<i>Extension</i>
4/14/2021			17-026	41001 E. Huron Rvr Dr	Metro Party Store	Final Site Plan
4/14/2021	4/15/2021	4/16/2021	20-034	6735 Haggerty Road	Neapco	Preliminary and Final Site Plan

4/14/2021			21-017	83 002 99 0026 704	ACRN	Preliminary and Final Site Plan
4/14/2021	4/15/2021	4/16/2021			Senior Housing Dvlpmt Zoning Ordinance	Public Hearing
4/14/2021			21-009	2095 Rawsonville Road	Phantom Fireworks	TLU
4/14/2021			21-014	10010 Belleville Road	Phantom Fireworks	TLU
4/14/2021			21-012	10562 Belleville Road	TNT Fireworks	TLU
4/28/2021					Sumpter Road Corridor Plan	MP Workshop
5/12/2021			20-012	9701 Belleville Road	Jiffy Lube	Final Site Plan
5/12/2021			20-005	11250 Haggerty Road	Mobil Gas Station	Preliminary Site Plan
5/26/2021			20-016	East side Martinsville Rd, North of Savage Rd	Upland Homes Country Walk	Site Plan Amendment
6/9/2021			21-008	50206 Tyler Road	Kalitta Air LLC	Administrative Site Plan Review Update
6/23/2021			21-010	44145 Yost Road	Yost	Preliminary and Final Site Plan
6/23/2021			21-022	50240 Martz Road and 83 122 99 0002 000	DeBucks	TLU
7/14/2021			19-037	43345 Tyler Road	Hampton Manor	Final Site Plan

7/14/2021			21-030	East side Hoeft Rd, South of West Huron River Drive	Pinehurst Bldg	Site Plan Amendment
7/28/2021					Sumpter Road Corridor Plan	MP Workshop
9/8/2021					Sumpter Road Corridor Plan	MP Discussion
9/8/2021			21-004	6032 Schooner Drive	JSB Builders	Preliminary Site Plan
10/13/2021			21-037	39635 South I94 Service Drive	Cox Automotive	Administrative Site Plan Review Update
10/13/2021			21-021	83 060 99 0002 001 and 83 060 99 0001 001	Kenworth	Preliminary Site Plan
10/13/2021			21-019	11550 Belleville Road	Burger King	Preliminary Site Plan
10/13/2021			21-021	83 060 99 0002 001 and 83 060 99 0001 001	Kenworth	Public Hearing
10/13/2021			21-021	83 060 99 0002 001 and 83 060 99 0001 001	Kenworth	Special Land Use
10/13/2021			21-027	8705 Belleville Road	Atchinson Ford	TLU
10/27/2021			21-029	50255 Michigan Avenue	Subaru	Preliminary and Final Site Plan
10/27/2021			21-028	6615 Haggerty Road	Kojaian	Preliminary Site Plan

10/27/2021			21-033	42061 Ecorse Road	DTE Energy	Public Hearing
10/27/2021			21-033	42061 Ecorse Road	DTE Energy	Rezoning Request
11/10/2021					Sumpter Road Corridor Plan	MP Discussion
12/8/2021			21-019	11550 Belleville Road	Burger King	Final Site Plan

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
2022 MEETING SCHEDULE**

Planning Commission Meetings are held on the 2nd and 4th Wednesday of each month at
7:30 p.m. in the Board of Trustees Room at Township Hall, 46425 Tyler Road
Van Buren Township, MI 48111.

**January 12, 2022
January 26, 2022
February 9, 2022
February 23, 2022
March 9, 2022
March 23, 2022
April 13, 2022
April 27, 2022
May 11, 2022
May 25, 2022
June 8, 2022
June 22, 2022
July 13, 2022
July 27, 2022
August 10, 2022
August 24, 2022
September 14, 2022
September 28, 2022
October 12, 2022
October 26, 2022
November 9, 2022
December 14, 2022**

In compliance with the Americans with Disabilities Act, reasonable accommodations will be
made available with advance notice.

For more information, please call the Department of Public Services at (734) 699-8913