#### CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION AGENDA Wednesday, October 13, 2021 – 7:30 PM REMOTE MEETING –AGENDA

To mitigate the spread of COVID-19, protect the public health, and provide essential protections to Van Buren Township residents; this Van Buren Township's Planning Commission meeting will be conducted virtually as permissible under Public Acts of 2020 Act No. 254 and Declaration of a Health Emergency in Wayne County. To participate in the meeting electronically, the public may follow the instructions below.

- Join by weblink: <u>https://us06web.zoom.us/i/81019174538?pwd=ODV6UHFmQVNaaUtUbm9uK29UUFNI</u> <u>Zz09</u>
- Or dial in by phone: 1 312 626 6799
- Webinar ID: 810 1917 4538

For instructions on how to join a Zoom meeting, make a public comment, ADA information, and virtual meeting compliance from the State please click here.

#### CALL TO ORDER:

**ROLL CALL:** 

#### APPROVAL OF AGENDA:

**MINUTES:** 

**ITEM #1:** Approval of minutes from the regular meeting of September 8, 2021.

CORRESPONDENCE:

#### **PUBLIC HEARING:**

ITEM #1: Case 21-021: General Development Company, LLC Special Land Use request.

The request is for truck sales and repair by Kenworth / CSM Companies, Inc. Applicant General Development Company, LLC on behalf of owner Belleville North Marsh Ventures, LLC seeks to construct a +/- 59,820 sq. ft. building with related site improvements for outdoor vehicle sales and vehicle showroom uses with accessory vehicle repair and service. The site is zoned C-2 (Extensive Highway Business District). Outdoor Vehicle Sales and vehicle Service (minor) is a special land use in the C-2 Zoning District. LOCATION: The +/- 20.01-acre site is proposed to be a combination of land from two existing parcels located at tax parcel numbers 83 060 99 0002 001 and 83 060 99 0001 001, on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

ACTION ITEMS: A. Open Public Hearing B. Public Comment C. Close Public Hearing

**OLD BUSINESS:** 

#### **NEW BUSINESS:**

# ITEM # 1 Case 21-021- General Development Company, LLC - Special Land Use request

- TITLE: The request is for truck sales and repair by Kenworth / CSM Companies, Inc. Applicant General Development Company, LLC on behalf of owner Belleville North Marsh Ventures, LLC seeks to construct a +/- 59,820 sq. ft. building with related site improvements for outdoor vehicle sales and vehicle showroom uses with accessory vehicle repair and service. The site is zoned C-2 (Extensive Highway Business District). Outdoor Vehicle Sales and vehicle Service (minor) is a special land use in the C-2 Zoning District.
- LOCATION: The +/- 20.01-acre site is proposed to be a combination of land from two existing parcels located at tax parcel numbers 83 060 99 0002 001 and 83 060 99 0001 001, on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.
- ACTION ITEMS: A. Presentation by the Township staff.
  - B. Presentation by the applicant.
  - C. Public comment.
  - D. Planning Commission discussion.
  - E. Planning Commission considers special land use approval.

#### ITEM # 2 Case 21-021- General Development Company, LLC – Preliminary Site Plan

TITLE: The request is for truck sales and repair by Kenworth / CSM Companies, Inc. Applicant General Development Company, LLC on behalf of owner Belleville North Marsh Ventures, LLC seeks to construct a +/- 59,820 sq. ft. building with related site improvements for outdoor vehicle sales and vehicle showroom uses with accessory vehicle repair and service. The site is zoned C-2 (Extensive Highway Business District).

LOCATION: The +/- 20.01-acre site is proposed to be a combination of land from two existing parcels located at tax parcel numbers 83 060 99 0002 001 and 83 060 99 0001 001, on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

#### ACTION ITEMS: A. Presentation by the Township staff.

- B. Presentation by the applicant.
- C. Public comment.
- D. Planning Commission discussion.
- E. Planning Commission considers preliminary site plan approval.

#### ITEM #3: CASE 21-019: BURGER KING DRIVE-THRU PRELIMINARY SITE PLAN

- TITLE: The applicant Inter Plan, LLC on behalf of owner Brauvin Net Investments, LLC seeks preliminary site plan approval to construct a secondary drivethru lane along with landscaping and architectural improvements associated with the remodel of a Burger King restaurant.
- LOCATION: 11550 Belleville Road, tax parcel 83-081-99-0004-002. On the west side of Belleville Road between South Interstate 94 Service Drive and Venetian Avenue.
- ACTION ITEMS
   A. Presentation by Township staff.
   B. Planning Commission discussion.
   C. Planning Commission considers granting extension of site plan approval.

#### ITEM #4: CASE 21-027: Temporary Land Use Approval – Atchinson Ford.

TITLE: The applicant, Atchinson Ford, on behalf of owner Sparty Investments, LLC is requesting a new approval of a temporary land use permit to park turned-in leased and new vehicle inventory.

LOCATION:The property is located at 8705 Belleville Road, Van Buren Township, MI48111 which is on the east side of Belleville Road, north of Tyler Road.

- ACTION ITEMS A. Presentation by Township staff.
  - B. Presentation by the applicant.
  - C. Public comment.
  - D. Planning Commission discussion.
  - E. Planning Commission considers temporary land use approval.

## ITEM # 5 Discussion Topic. Zoning Ordinance Text Amendment: Outdoor Dining and Retail

ACTION ITEMS A. Presentation by Township staff.

- B. Planning Commission discussion.
- ITEM # 6 Administrative Site Plan Review Update. Case 21-037: Cox Automotive, LLC.
- ITEM # 7 Administrative Update: Case 19-038 Camping World Redevelopment.

#### **GENERAL DISCUSSION AND UPDATES**

• Commissioner Announcement

#### ADJOURNMENT

#### CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION - VIRTUAL MEETING ON ZOOM September 8, 2021 MINUTES - DRAFT

## Prior to the start of the meeting, the public was given instructions on how to take part in the meeting.

Chairperson Thompson called the meeting to order at 7:32 p.m.

#### ROLL CALL:

**Present:** Jahr, Cullin, Barr, Atchinson, Budd and Thompson. **Excused:** Kelley.

Staff: Director Power, Director Best and Secretary Harman.

**Planning Representatives:** McKenna Associate, Vidya Krishnan and Fishbeck Associate, Paul Kammer.

**Applicant(s) in Attendance:** Sam Patel and Scott Wright on behalf of JSB Builders, LLC. **Audience:** Seven (7).

#### APPROVAL OF AGENDA:

Motion Jahr, Cullin second to approve the revised agenda of September 8, 2021, noting the change to the site location in new Business Item #1.

#### <u>Roll Call</u>: Yeas: Barr, Atchinson, Budd, Cullin, Jahr and Thompson. Nays: None. Absent: Kelley. Motion Carried.

#### **APPROVAL OF MINUTES:**

Motion Budd, Cullin second to approve the regular meeting minutes of July 14, 2021 as presented.

<u>Roll Call</u>: Yeas: Budd, Atchinson, Barr, Cullin, Jahr and Thompson. Nays: None. Absent: Kelley. Motion Carried.

**NEW BUSINESS:** 

ITEM #1: 21-004 – JSB BUILDERS, LLC – SITE PLAN APPROVAL.

THE APPLICANT, SAM PATEL, ON BEHALF OF JSB BUILDERS, LLC HAS APPLIED TO CONSTRUCT A 16,280 SQUARE FOOT MULTI-TENANT LIGHT INDUSTRIAL BUILDING WITH TRUCK WELL AND RELATED SITE IMPROVEMENTS.

#### LOCATION: THE SITE IS LOCATED TO THE SOUTH OF 6032 SCHOONER DRIVE, TAX PARCEL ID NUMBER: V-125-83-018-99-0003-708, ZONED M-1 (LIGHT INDUSTRIAL) WITH A TOTAL AREA OF 4.478 ACRES. THE SITE IS LOCATED ON THE WEST SIDE OF SCHOONER DRIVE WHICH IS LOCATED ON THE SOUTH SIDE OF MICHIGAN AVE BETWEEN BECK AND DENTON ROADS.

Director Power gave a brief presentation noting that the site is 4.478-acres and the request is for an industrial building that is intended to be built for the applicant's business and several potential tenants. Director Power deferred to Vidya Krishnan for planning and zoning comments.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 8-30-21. The applicant has addressed most of the site plan related items, however, some items remain to be addressed. The applicant is seeking preliminary and final site plan approval from the Planning Commission in a single step. Final site plan approval cannot be recommended with outstanding site plan issues. Some of the remaining issues such as greenbelt berm size, architecture etc., require input from the Planning Commission, after which the applicant would have to submit a revised site plan addressing the conditions of Planning Commission approval. Therefore, McKenna Associates recommends that the Planning Commission approve the preliminary site plan only, subject to the following conditions:

- 1. Striping of a crosswalk connection from the sidewalk on the south side of the building to the sidewalk along Schooner Drive.
- 2. Correction of notation of number of spaces on the northwest side of the building to 6.
- 3. Clarification regarding on-site loading space for use by various tenants.
- 4. Timeline regarding development of remaining portion of the site or installation of frontage landscaping at this time.
- 5. Provision of 45' wide greenbelt with berm and a screen wall/fence, in lieu of a 60' wide greenbelt berm.
- 6. Removal of all off-site trees from tree survey and revision to tree list to identify trees to be preserved/removed.
- 7. Township Engineer approval of storm water detention facilities.
- 8. Addition of a single pole light at the main access drive for safety.
- 9. Revised building architecture to add banding or some detail in addition to the decorative block facing Schooner Drive.
- 10. Notation of all building colors and submission of colored renderings of the proposed building.

Fishbeck Associate, Paul Kammer presented his review letter dated 9-1-21 recommending preliminary site plan approval for the JSB Builders site, subject to the comments listed in the review letter and in accordance with the Township's Engineering Standards manual. The applicant must submit documentation indicating previous approvals for no required internal stormwater management prior to Engineering Plan approval.

Director Power presented Fire Marshal Lenaghan's review letter dated 8-20-21, providing the following comments:

• Address numbers shall be provided on the street side of each building. They shall be visible from the street and of contrasting colors to their background. Where required by

the fire code official, address identification shall be provided in additional locations to facilitate emergency response.

- No part of any buildings, and structures shall be more than 250 feet from a hydrant.
- 1 Fire hydrant located on Schooner Drive is shown on the plans, 1 additional hydrant will need to be installed on the northeast side of the building.
- An approved water supply capable of supplying the needed fire flow must be provided for all new buildings.
- The installation of an ELOCK Knox Box is required for all tenants within the building. The Knox Box location will be verified prior to the installation on the building.
- Emergency Responder Radio Coverage System is required unless it can be proven after building is constructed and occupied that coverage is sufficient. This will be verified by AHJ prior to final C/O.

Sam Patel of JSB Builders, LLC gave a brief presentation. His current warehouse facility is located in Ann Arbor, they are looking to build a larger warehouse facility in Van Buren Township, utilizing 50-60% of the building for their business. They currently have 2 full-time and 1 part-time employee and plan to bring on 2 additional full-time employees. The remainder of the building space will be leased to potential tenants. The applicant has the intent to build out the remainder of the site within the next 2 years with similar types of buildings and open space, approximately two-thirds of the 4.478 acres. Mr. Patel was available to answer any questions.

Scott Wright of JSB Builders, LLC informed that the applicant will work with Director Power, the Township Planner and Township Engineers to address all remaining issues. Mr. Patel bought the property with the understanding that he would not have to do any stormwater detention on the site. Mr. Wright will provide the stormwater documents that were provided by Wayne County to the Township for thorough review and will submit updated plans to meet all requirements.

Commissioner inquired about Ms. Krishnan's concern about the truck dock and loading area, is it more of a concern of labeling and striping for other loading bays or that the ordinance might require another truck bay? Vidya Krishnan informed the concern is for the logistics of how other tenants will have a truck in that area, as they may need access for loading and unloading. Figuring out where the space is being provided so that they don't block emergency traffic flow or inhibit required parking spaces.

Commissioner inquired about the greenbelt to the north, it looks like there's a 10-foot green belt buffer to the property to the north. However, it doesn't look like that property has any greenbelt buffering at all and inquired if there is any concern. Vidya Krishnan informed that she will need to look at the old site plan, as the building probably was already located there and it may be a pre-existing non-conformity.

Commissioner inquired about the swale to the west, on the plans it sometimes looks like a swale, a draining creek bed or is labeled Edgedale Avenue? Paul Kammer informed that Edgedale Avenue may be an old platted neighborhood to the west of the site. The contours of the site disappear, the surface needs to be manipulated to give a better representation of what's happening out there. Mr. Kammer would like to see the applicant maintain all of the stormwater drainage from this property on site, however, if there is drainage coming in from other properties PC Minutes 9-8-21 Page **4** of **6** 

you have to accept them and let their drainage pass through along its natural course. The Township will need clarification from the applicant before final review.

Commissioner inquired if the Planning Commission will receive a color rendering prior to final site plan review. Mr. Wright confirmed that the applicant will provide a color rendering. Mr. Wright also commented that the property to the north actually put a berm on Mr. Patel's property which will have to be removed and reshaped, this impacted the tree counts. Also, on the west of the property in lieu of a berm, the applicant is proposing a 6-foot-high privacy fence, 45 feet of green belt and double spacing of trees for screening.

Commission Chairperson informed that the Denton Drain passes through the Denton community and also newer developments to the east and there have been a lot of Denton drain issues over the past couple decades. The Planning Commission has looked very carefully at all of the development along Schooner Drive, to make sure that they are improving the Denton drain area. This affects a lot of properties as well as residents and businesses, a lot of caution and care is needed in making sure that the drainage issues are well taken care of.

Resident is fairly disappointed by the building itself, would like to see more masonry in the design.

Motion Jahr, Cullin second to grant the applicant, Sam Patel on behalf of JSB Builders, LLC preliminary site plan approval to construct a 16,280 square foot multi-tenant light industrial building with truck well and related site improvements, located to the south of 6032 Schooner Drive, tax parcel ID #V-125-83-018-99-0003-708, based on the analysis and subject to the conditions in the McKenna Associates review letter dated 8-30-21, Fishbeck review letter dated 9-1-21, Fire Department review letter dated 8-20-21, noting the feedback and concerns from Chairperson Thompson about the drainage cautions.

<u>Roll Call</u>: Yeas: Atchinson, Budd, Barr, Cullin, Jahr and Thompson. Nays: None. Absent: Kelley. Motion Carried. (Letters Attached)

#### ITEM #2: DISCUSSION: SUMPTER ROAD CORRIDOR PLAN.

Director Power thanked the Planning Commission and members of the community who attended the Sumpter Road Corridor public input workshop. The information received at the workshop is important for the Township to form a plan for the next steps. Director Power deferred to Adam Cook of McKenna Associates to provide a summary of the public input received from the workshop.

McKenna Associate, Adam Cook, displayed a PowerPoint presentation. Approximately 30-40 people attended the Sumpter Road Corridor Plan workshop, of which the majority lived within 1-2 miles of the Sumpter Road Corridor. The following public input was received from the workshop:

• Preserve the rural character.

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- Sidewalks, bike lanes and/or streetscaping.
- Need a grocery store/market.
- No new businesses until the vacant storefronts are filled.
- More recreational opportunities.
- More restaurants.
- 55+ community.

Mr. Cook discussed the 3 focus areas of the Sumpter road Corridor and provided conceptual framework for each area. The 3 focus areas are:

- 1. West side of Sumpter Road, north of Hull Road.
- 2. East side of Sumpter Road.
- 3. Sumpter Road south of Hull Road, ¼ mile to the east, west and south.

Director Power identified that the next steps are to consider existing or alternative conditions in the three focus areas, consider building forms and land uses and have a follow up meeting. The Commission and members of the audience were invited to ask questions, provide comments and concerns for further discussion.

Commissioners, staff and the audience had the following questions and comments:

- Why did some of the vacant businesses fail while other businesses succeeded? Would like to look into this further so we don't end up with more vacancies. Adam Cook identified that we will need to take a look at the areas, know what was there, look at the size, rent, condition, etc. Director Best also identified that a lot has to do with trip generation through the area. Director Power noted that some businesses may have failed while other were in need of a new space and may have moved, need to make connectivity for businesses to succeed.
- Commissioner heard from several residents within the community at the workshop that the connectivity is not good. They would like to take a bike ride into Belleville and stop at businesses along the way. Would like to seriously focus on improving the connectivity.
- Commissioner commented that extending Bak Road is a great idea, helps provide access to landlocked properties.
- Resident, when it comes to focus area #3, really likes the second option shown planned residential with greenways, it's very visually pleasing and the greenways leave room for the possibility of a golf course or something of the sort to run between the houses, much like in Canton.
- Commissioner pulled a draft copy of the presentation from the website and the pictures do not match the current presentation, the websites version needs to be updated. Director Power will upload the presentation and documents into the portal for the Sumpter Road Corridor on the website.
- Commissioner commented on mixed use, developed the concept, but never really defined it. The mixed use is not just zoning, but also the building use and how to fit within the corridor. This helps us look at what the uses are to find out the need and what buildings we like.
- Resident/Realtor is interested in focus area #3. Her vision is all mixed use with commercial zoning in the front, a park in the middle of approximately 88-100 acres with

trails through it. As for the neighborhood, knows that people are looking for acreage. Has worked out a design that includes commercial, residential, park with trails and bike trails, she will put together a draft of her vision for the Township.

- Commissioner really likes that Director Best and Director Power are helping to steer what is going to be on the Corridor.
- Commissioner inquired if there are still developers looking for light industrial in the Sumpter Road Corridor. Director Best informed that after a previous meeting, the super light and light industrial interest dried up as it was clear that the community was going in a different direction.
- Commissioner inquired if we have the vision, would that create more trip generation? Director Best noted that just adding rooftops will not create trip generation, we need to make places for them to go. Adam Cook added that this is an area where there is no through traffic, however, the area is supportable for that.

Chairperson Thompson inquired if there are any volunteers to do Committee work for the Sumpter Road Corridor. Commissioners Atchinson, Barr and Jahr volunteered.

Director Power encouraged Commissioners and residents to let either himself or Director Best know if any of these items are off the table or if there are any flaws they see. Director Power will put together the information received from the meeting discussion and it will be available on the Sumpter Corridor page.

#### **GENERAL DISCUSSION:**

Director Power informed that there will be upcoming ordinance discussions for 3 priority topics: whether we have sufficient coverage for agricultural areas within the township, pond ordinance and outdoor dining ordinance.

No comments from the Commission or the audience.

#### ADJOURNMENT:

#### Motion Cullin, Jahr second to adjourn the meeting at 9:23 p.m. Motion Carried.

Respectfully submitted,

Christina Harman Recording Secretary





## **OWNER**

CSM COMPANIES, INC. 5100 Eastpark Blvd. Suite 210 Madison, WI 53718

Contact: Jeff Minter Ph: (608) 241-1921

## DEVELOPER

GENERAL DEVELOPMENT COMPANY Two Towne Square Suite 850 Southfield, MI 48076

Contact: Bruce Brickman Ph: (248) 357-3777

## **CIVIL ENGINEER**

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032

Contact: Patrick Williams, P.E. Ph: (248) 332-7931 Fax: (248) 332-8257

## ARCHITECT

GAV ASSOCIATES, INC. 24001 Orchard Lake Rd. #180A Farmington, MI 48336

Ph: (248) 985-9101

# LANDSCAPE ARCHITECT

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032

Contact: George Ostrowski, RLA, LEED AP Ph: (248) 332-7931 Fax: (248) 332-8257

## LEGAL DESCRIPTION - PER TITLE COMMITMENT

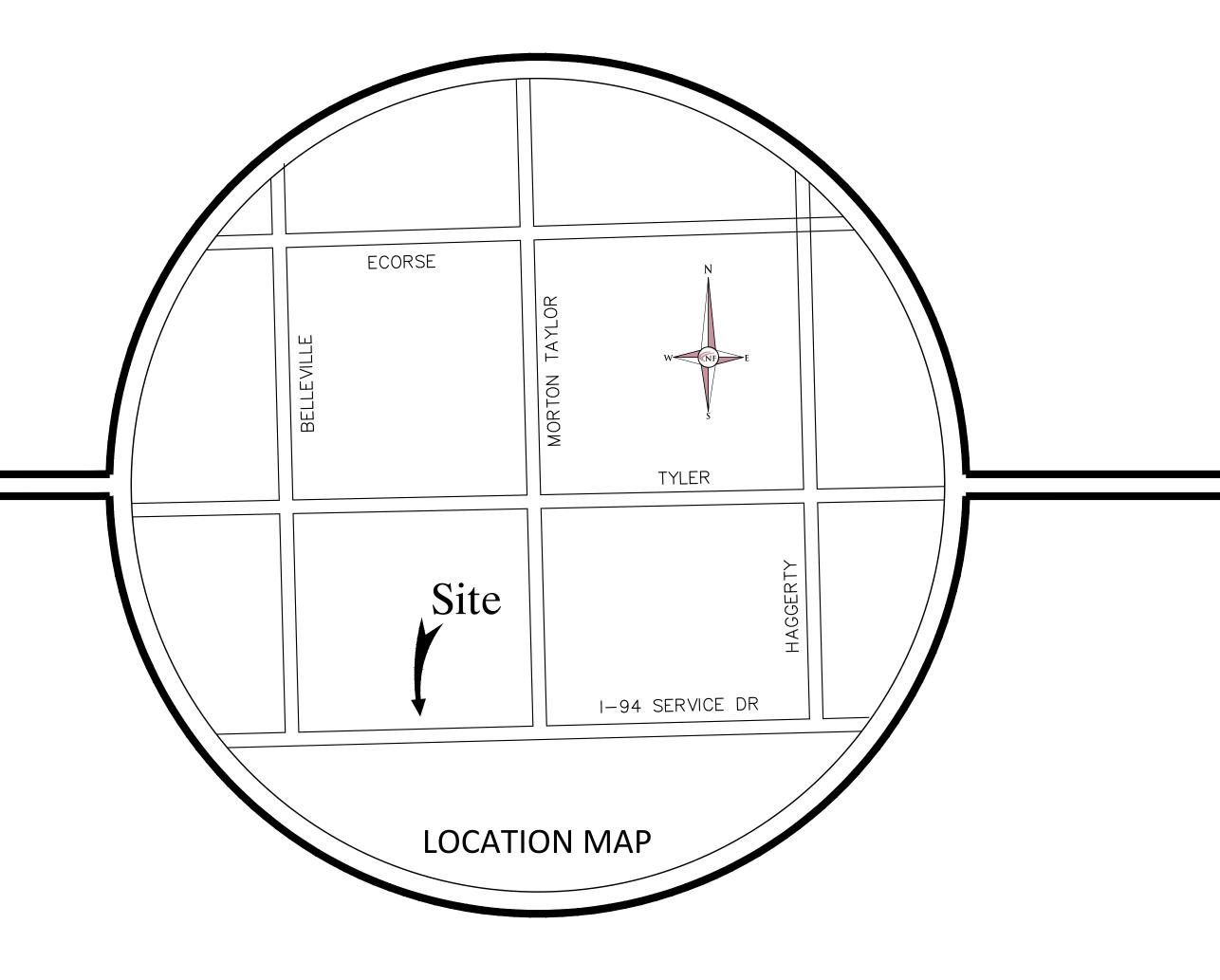
LAND IN THE TOWNSHIP OF VAN BUREN, WAYNE COUNTY, MI, DESCRIBED AS FOLLOWS:

LAND IN THE TOWNSHIP OF VAN BUREN, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS: A PARCEL OF LAND BEING A PART OF THE SOUTHEAST <sup>1</sup>/<sub>4</sub> OF SECTION 15, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE NORTH AND SOUTH  $\frac{1}{4}$  LINE OF SAID SECTION 15, TOWN 3 SOUTH, RANGE 8 EAST, WITH THE NORTH LINE OF THE NORTH SERVICE DRIVE OF INTERSTATE HIGHWAY 94, SAID POINT BEING NORTH 04 DEGREES 05 MINUTES 43 SECONDS WEST, 407.84 FEET FROM THE SOUTH  $\frac{1}{4}$ CORNER OF SAID SECTION 15; THENCE NORTH 04 DEGREES 05 MINUTES 43 SECONDS WEST, 2250.04 FEET TO THE CENTER  $\frac{1}{4}$  CORNER OF SAID SECTION 15; THENCE NORTH 85 DEGREES 31 MINUTES 38 SECONDS EAST, 1331.71 FEET ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION; THENCE SOUTH 03 DEGREES 45 MINUTES 05 SECONDS EAST, 2288.05 FEET TO A POINT ON A CURVE ON THE NORTH LINE OF SAID NORTH SERVICE DRIVE OF INTERSTATE HIGHWAY 94; THENCE WESTERLY ALONG SAID NORTH LINE ON A CURVE TO THE RIGHT 1221.41 FEET MEASURED ALONG THE ARC OF SAID CURVE TO A POINT OF TANGENT, SAID CURVE HAVING A RADIUS OF 57,069.78 FEET AND A CENTRAL ANGLE OF 01 DEGREE 13 MINUTES 34.5 SECONDS, THE CHORD OF SAID CURVE BEARS SOUTH 87 DEGREES 07 MINUTES 45 SECONDS WEST AND HAS A LENGTH OF 1221.39 FEET THENCE SOUTH 87 DEGREES 44 MINUTES 32 SECONDS WEST, 96.89 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

# Van Buren Township, Wayne County, Michigan SITE PLAN DOCUMENTS

PART OF THE SW 1/4 OF SECTION 15, TOWN 3 SOUTH, RANGE 8 EAST



Project Name

# **Kenworth Sales Facility**

## NOTES

A CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP. THE OWNER IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE OWNER'S ACTIONS.

## SHEET INDEX

SP-0	Cover Sheet
SP-1	Overall Site Survey
SP-1a	Boundary / Topographic Survey
SP-1b	Boundary / Topographic Survey
SP-2	Dimensional Site Plan
SP-2a	Dimensional Site Plan
SP-3	Truck Maneuvering Plan
SP-3a	Truck Maneuvering Plan
SP-4	Engineering Site Plan
SP-4a	Engineering Site Plan
SP-5	Soil Erosion Control Plan
SP-5a	Soil Erosion Control Plan
L1	Landscape Plan
L2	Landscape Plan
1 of 1	Photometric Plan
A101	Main Level Floor Plan
A102	Upper Level Floor Plan
A201	Elevations
SD101	Architectural Site Plan
SD102	Architectural Site Details

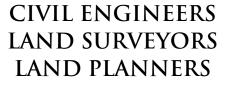


## N & F JOB #M314









NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

#### MISS DIG / UTILITY DISCLAIMER NOTE A MISS DIG TICKET NUMBER B10971743, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 4-30-21. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS

ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

#### DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747.

#### **COVID-19 PANDEMIC CONDITION**

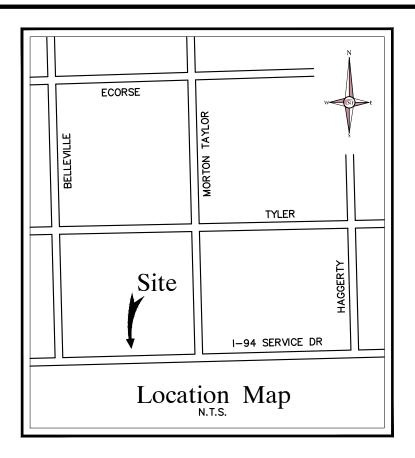
DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS

ALL SURVEYS BEING UTILIZED FOR DESIGN PURPOSES BY OTHERS; IT WILL BE THE CLIENT'S OBLIGATION TO UPDATE THE UTILITY INFORMATION AS IT BECOMES AVAILABLE. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

#### LEGEND

€ RF ① RT ⑤ RC A C RISER (FIBER, TELEPHONE, CABLE) O FOUND IRON/PIPE/MONUMENT (FI, FIP, FMON ⑥ SET IRON/PK NAIL (SI, SPK) (R) RECORD MEASUREMENT (M) SURVEYED MEASUREMENT × 000.00 GROUND ELEVATION × 000.00 GROUND ELEVATION STORM SEWER (STM) — — WATER MAIN (WATER, WM) — — GAS MAIN (GAS) → → OVERHEAD LINES (OH) — UNDERGROUND LINES (UG)	၂ ႋႜၜဨၛႄၜၟၛႜၛၟႄၓၟၗႜၛႜႝႜၛႝႜၯၯႍv ၜႜ႞႖ၛၜၜၜႄေၾ႖ၟၜၹၟၜၜၟႍၜၜၟႍၣႍၜ	CATCH BASIN (CB) CATCH BASIN ROUND (CBR) BEEHIVE CATCH BASIN (BH CB) STORM MANHOLE (MH) END SECTION (ES) SANITARY MANHOLE (MH) CLEAN OUT (CO) COMBINED MANHOLE (MH) GATE VALVE IN WELL (GVW) STOP BOX (SB) HYDRANT (HYD) WATER SHUT OFF (SO) WELL PUMP ELECTRIC MANHOLE (MH) TELEPHONE MANHOLE (MH) UTILITY POLE (UP) GUY POLE (GWP) GUY WRE (GW) LIGHT POLE (LP) PUBLIC PHONE ELECTRIC METER (EM) GAS METER (GM) GAS MARKER SIGN (SN) POST/BOLLARD/FENCE POST (GP/FP) PARKING METER (PM) MAIL BOX (MB) ROCK/BOULDER SPRINKLER VALVE (SV) SPRINKLER VALVE (SV)
Image: Construction of the second		• •
<ul> <li>FOUND IRON/PIPE/MONUMENT (FI, FIP, FMON</li> <li>SET IRON/PK NAIL (SI, SPK)</li> <li>(R) RECORD MEASUREMENT</li> <li>(M) SURVEYED MEASUREMENT</li> <li>*000.00 GROUND ELEVATION</li> <li>STORM SEWER (STM)</li> <li>SANITARY SEWER (SAN)</li> <li>GAS MAIN (GAS)</li> <li>OVERHEAD LINES (OH)</li> </ul>		
<ul> <li>SET IRON/PK NAIL (SI, SPK)</li> <li>(R) RECORD MEASUREMENT</li> <li>(M) SURVEYED MEASUREMENT</li> <li>*000.00 GROUND ELEVATION</li> <li>STORM SEWER (STM)</li> <li>SANITARY SEWER (SAN)</li> <li>GAS MAIN (GAS)</li> <li>OVERHEAD LINES (OH)</li> </ul>		
(R)         RECORD MEASUREMENT           (M)         SURVEYED MEASUREMENT           * 000.00         GROUND ELEVATION            STORM SEWER (STM)            SANITARY SEWER (SAN)            WATER MAIN (WATER, WM)            GAS MAIN (GAS)            OVERHEAD LINES (OH)		
* 000.00         GROUND ELEVATION            STORM SEWER (STM)            SANITARY SEWER (SAN)            WATER MAIN (WATER, WM)            GAS MAIN (GAS)		
STORM SEWER (STM)            SANITARY SEWER (SAN)            WATER MAIN (WATER, WM)            GAS MAIN (GAS)	(M)	
SANITARY SEWER (SAN) WATER MAIN (WATER, WM) GAS MAIN (GAS) 	× 000.00	
— — — — WATER MAIN (WATER, WM) — GAS MAIN (GAS) — ,  ,  ,  ,  ,  ,  ,  ,  ,  ,  ,  ,  ,		· . · .
GAS MAIN (GAS)		· · ·
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#### TITLE POLICY NOTES

#### ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM TITLE COMMITMENT NO. 924509, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, WITH A COMMITMENT DATE OF DECEMBER 29, 2020.

- . INTEREST OF RICHARD SLOAN, AS DISCLOSED BY DEED OF MICHIGAN DEPARTMENT OF TRANSPORTATION RECORDED IN LIBER 25454, PAGE 806, AS TO A 62.5% INTEREST IN A PORTION OF THE LAND. [SAID DEEDED LAND IS PLOTTED HEREON]
- . COVENANTS, CONDITIONS, RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 14010, PAGE 613, REGISTER NO. E446537. [SUBJECT PROPERTY IS PART OF THE LAND DESCRIBED WITHIN SAID DOCUMENT. BUILDING LINE LIES WITHIN I-94 R.O.W. NOT PLOTTED HEREON. EASEMENT FOR PUBLIC UTILITIES SIZE AND LOCATION IS NOT DESCRIBED AND ITS LOCATION IS UNKNOWN AND NOT PLOTTED HEREON. SAID R.O.W. IS ADJACENT TO SUBJECT PROPERTY AND IS PLOTTED HEREON]
- 9. TERMS AND CONDITIONS CONTAINED IN DECLARATION OF TAKING AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17775, PAGE 477, REGISTER NO. F616378. [SAID R.O.W. IS ADJACENT TO SUBJECT PROPERTY AND IS PLOTTED HEREON]
- 10. TERMS AND CONDITIONS CONTAINED IN DEED AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 25454, PAGE 806. [SAID DEEDED LAND IS PLOTTED HEREON]

#### LEGAL DESCRIPTION

LAND IN THE TOWNSHIP OF VAN BUREN, WAYNE COUNTY, MI, DESCRIBED AS FOLLOWS:

LAND IN THE TOWNSHIP OF VAN BUREN, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS: A PARCEL OF LAND BEING A PART OF THE SOUTHEAST % OF SECTION 15, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE NORTH AND SOUTH ½ LINE OF SAID SECTION 15, TOWN 3 SOUTH, RANGE 8 EAST, WITH THE NORTH LINE OF THE NORTH SERVICE DRIVE OF INTERSTATE HIGHWAY 94, SAID POINT BEING NORTH 04 DEGREES 05 MINUTES 43 SECONDS WEST, 407.84 FEET FROM THE SOUTH ½ CORNER OF SAID SECTION 15; THENCE NORTH 04 DEGREES 05 MINUTES 43 SECONDS WEST, 2250.04 FEET TO THE CENTER ¼ CORNER OF SAID SECTION 15; THENCE NORTH 85 DEGREES 31 MINUTES 38 SECONDS EAST, 1331.71 FEET ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION; THENCE SOUTH 03 DEGREES 45 MINUTES 05 SECONDS EAST, 2288.05 FEET TO A POINT ON A CURVE ON THE NORTH LINE OF SAID NORTH SERVICE DRIVE OF INTERSTATE HIGHWAY 94; THENCE WESTERLY ALONG SAID NORTH LINE ON A CURVE TO THE RIGHT 1221.41 FEET MEASURED ALONG THE ARC OF SAID CURVE TO A POINT OF TANGENT, SAID CURVE HAVING A RADIUS OF 57,069.78 FEET AND A CENTRAL ANGLE OF 01 DEGREE 13 MINUTES 34.5 SECONDS, THE CHORD OF SAID CURVE BEARS SOUTH 87 DEGREES 07 MINUTES 45 SECONDS WEST AND HAS A LENGTH OF 1221.39 FEET THENCE SOUTH 87 DEGREES 44 MINUTES 32 SECONDS WEST, 96.89 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING

#### SURVEY NOTES

THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

THERE ARE NO CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING

THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

#### SITE DATA

JURISDICTION.

PARCEL	83-060-69-0002-001
GROSS LAND AREA	2,980,563 SQUARE FEET 68.424 ACRES

NOTE: ZONING CLASSIFICATION, BUILDING HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, SETBACK AND PARKING REQUIREMENTS CAN ONLY BE SHOWN ONCE THE CLIENT PROVIDES A ZONING REPORT OR LETTER PURSUANT TO 2016 ALTA/NSPS LAND TITLE SURVEY REQUIREMENTS.

#### FLOOD HAZARD NOTE

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) NO. 26163C0351E, EFFECTIVE DATE: FEBRUARY 2, 2012.

#### SURVEYOR'S CERTIFICATION

CERTIFIED TO:

LIVONIA PROPERTY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY

BELLEVILLE NORTH MARSH VENTURE, LLC A MICHIGAN LIMITED LIABILITY COMPANY

FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 24, 2021

KEVIN C. NAVAROLI, P.S. NO. 4001053503 WITHIN THE STATE OF MICHIGAN DATED: 04-30-2021







PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT

CSM Companies Inc 5100 Eastpark Blvd Suite 210 Madison, WI 53718

Contact: Jeff Minter Ph: (608) 241-5616

#### PROJECT LOCATION

Part of the Southeast  $\frac{1}{2}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

#### SHEET

Boundary / Topographic / ALTA/NSPS Land Title Survey



**Call** before you dig.

DATE ISSUED/REVISED 08-26-21 REVISED PER TWP REVIEW

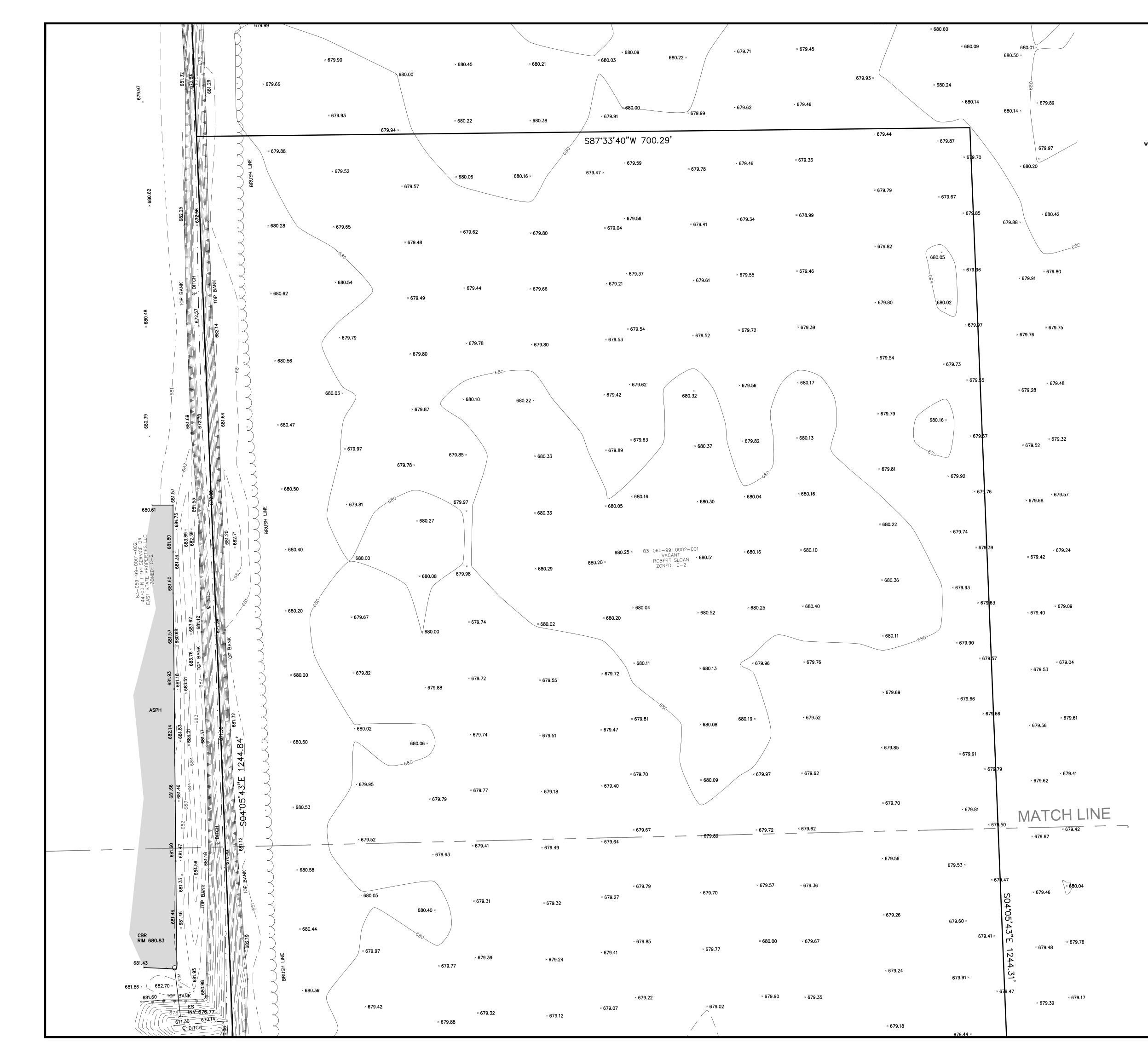
## DRAWN BY: J. Nelson

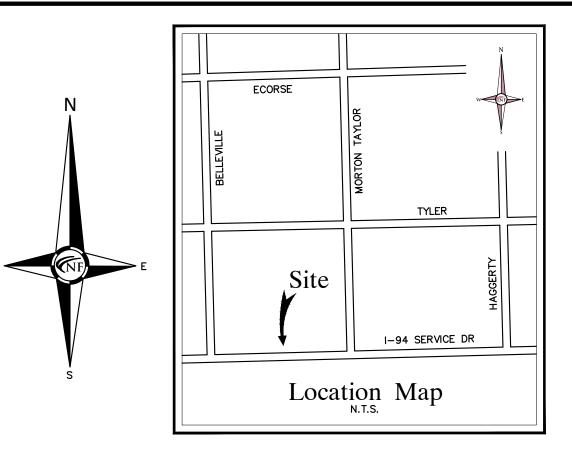
**DESIGNED BY:** 

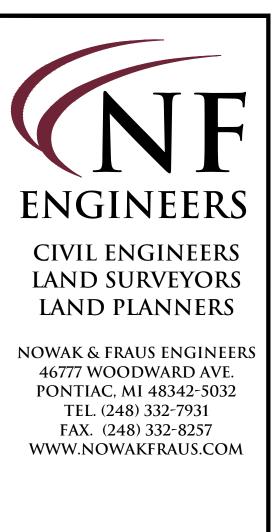
**APPROVED BY:** K. Navaroli DATE: June 23, 2021 SCALE: 1'' = 160'160 80 0 80 160

NFE JOB NO. SHEET NO. **SP-1 M314** 

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PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT CSM Companies Inc 5100 Eastpark Blvd Suite 210

Madison, WI 53718

Contact: Jeff Minter Ph: (608) 241-5616

## PROJECT LOCATION

Part of the Southeast  $\frac{1}{4}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

#### SHEET

Boundary / Topographic / ALTA/NSPS Land Title Survey



Know what's **below Call** before you dig.

DATE ISSUED/REVISED 08-26-21 REVISED PER TWP REVIEW

VERTICAL DATUM NOTE

ALL ELEVATIONS SHOWN REFERENCE NAVD 88 VERTICAL DATUM. ALL ELEVATIONS SHOULD ADD 0.42' TO BE CONVERT TO NGVD 29 VERTICAL DATUM.			
LEGEND			
□ ○ ∞ © ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞ ∞	CATCH BASIN (CB) CATCH BASIN ROUND (CBR) BEEHIVE CATCH BASIN (BH CB) STORM MANHOLE (MH) END SECTION (ES) SANITARY MANHOLE (MH) CLEAN OUT (CO) COMBINED MANHOLE (MH) GATE VALVE IN WELL (GVW) STOP BOX (SB) HYDRANT (HYD) WATER SHUT OFF (SO) WELL PUMP ELECTRIC MANHOLE (MH) TELEPHONE MANHOLE (MH) UTILITY POLE (UP) GUY POLE (GWP) GUY WRE (GW) LIGHT POLE (LP) PUBLIC PHONE ELECTRIC METER (EM) GAS METER (GM) GAS MARKER SIGN (SN) POST/BOLLARD/FENCE POST (GP/FP) PARKING METER (PM) MAIL BOX (MB) ROCK/BOULDER SPRINKLER VALVE (SV) SPRINKLER HEAD (SH) DOWNSPOUT (DS) RISER (FIBER, TELEPHONE, CABLE) FOUND IRON/PIPE/MONUMENT (FI, FIP, FMON) SET IROM/PK NAIL (SI, SPK) RECORD MEASUREMENT GROUND ELEVATION STORM SEWER (STM) SANITARY SEWER (SAN) WATER MAIN (WATER, WM) GAS MAIN (GAS) OVERHEAD LINES (UG)		

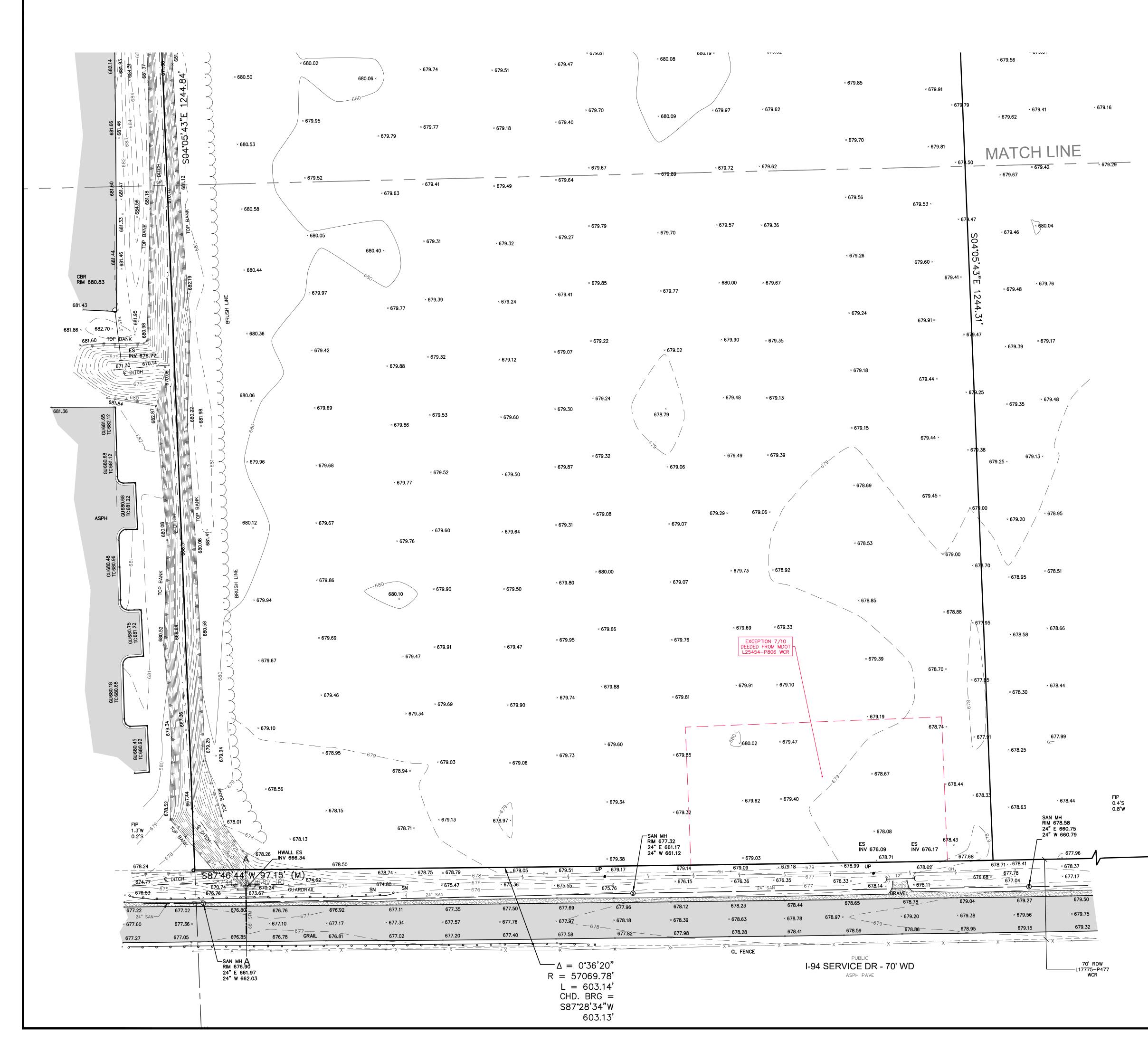
DRAWN BY: J. Nelson **DESIGNED BY:** 

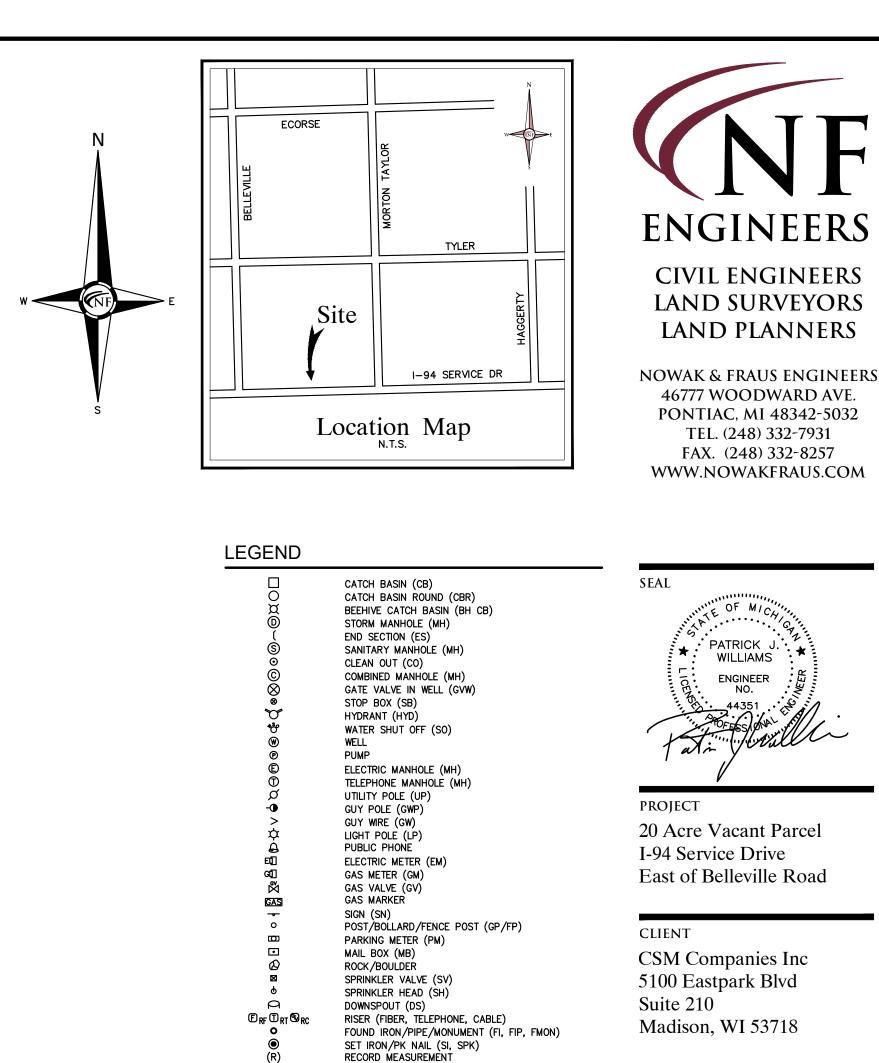
NFE JOB NO.

M314

APPROVED BY: K. Navaroli DATE: June 23, 2021 Scale: 1'' = 40'20 0 40

> SHEET NO. SP-1a





SURVEYED MEASUREMENT

WATER MAIN (WATER, WM) GAS MAIN (GAS)

ALL ELEVATIONS SHOWN REFERENCE NAVD 88 VERTICAL DATUM. ALL ELEVATIONS SHOULD ADD 0.42' TO BE CONVERT TO NGVD 29 VERTICAL DATUM.

GROUND ELEVATION

STORM SEWER (STM) SANITARY SEWER (SAN)

VERTICAL DATUM NOTE

UNDERGROUND LINES (UG)

× 000.00

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BENCHMARK

HYD FG 680.24 <sub>ቢ</sub>

ARROW ON HYD ELEVATION 682.60 NAVD 88 DATUM

> GVW RIM 680.40

T/P 675.60

WM

Contact: Jeff Minter Ph: (608) 241-5616

#### PROJECT LOCATION

Part of the Southeast  $\frac{1}{4}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

#### SHEET

Boundary / Topographic / ALTA/NSPS Land Title Survey



DATEISSUED/REVISED08-26-21REVISED PER TWP REVIEW

## DRAWN BY: J. Nelson

DESIGNED BY:

 APPROVED BY:

 K. Navaroli

 DATE:

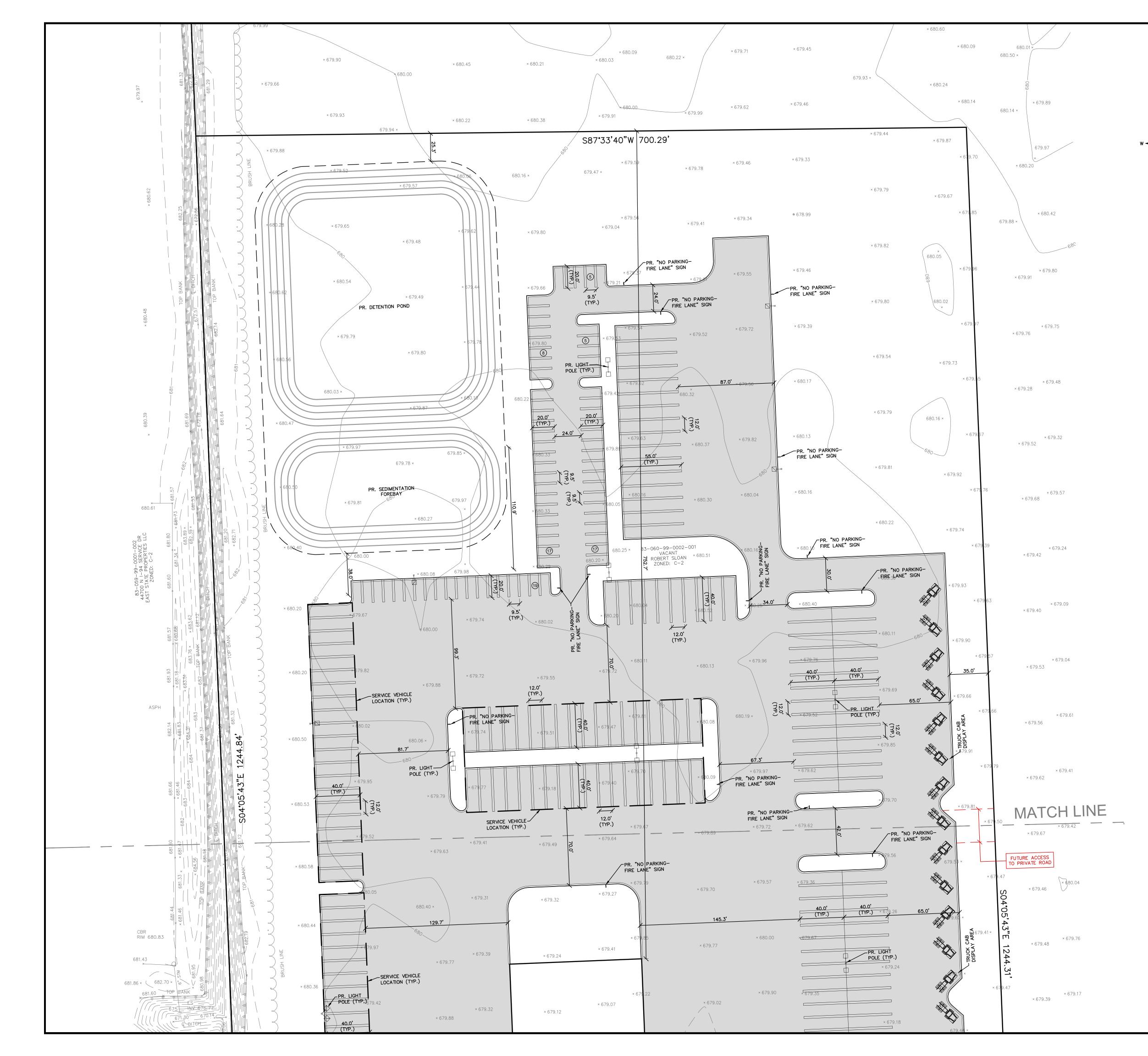
 June 23, 2021

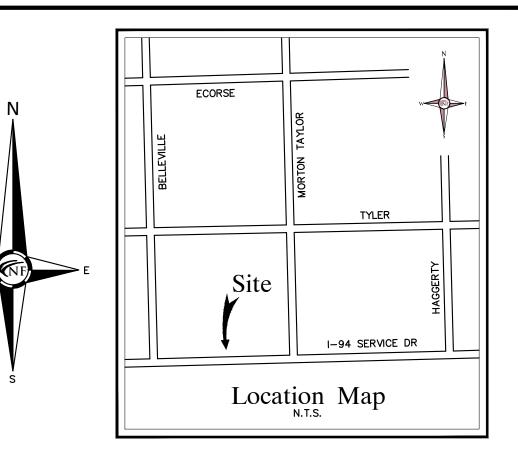
 SCALE: 1'' = 40' 

  $40 \quad 20 \quad 0 \quad 20 \quad 40$ 

NFE JOB NO. **M314** 

sheet no. **SP-1b** 







NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

SEAL PATRICK J. WILLIAMS ENGINEER NO. 44351 OFENSION

PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT

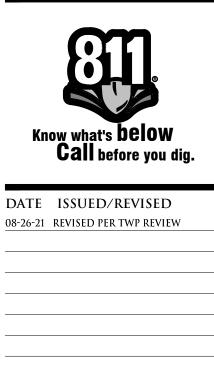
CSM Companies Inc 5100 Eastpark Blvd Suite 210 Madison, WI 53718

Contact: Jeff Minter Ph: (608) 241-5616

#### PROJECT LOCATION

Part of the Southeast  $\frac{1}{4}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

SHEET Dimensional Site Plan



DRAWN BY:			
A. Eizember DESIGNED BY: A. Eizember			
APPROVED BY: P. Williams			
DATE: June 23, 2021			
SCALE: $1'' = 40'$	20	40	6
nfe job no. <b>M314</b>	-	heet n <b>SP-2</b>	-

#### VERTICAL DATUM NOTE

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#### SITE NOTES

- ALL DEBRIS WITHIN PROPERTY LIMITS MUST BE PICKED UP WEEKLY OR AS NEEDED.

- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPING AND MARKINGS SHALL BE MAINTAINED IN A CLEAR, VISIBLE CONDITION.

MINOR VEHICLE SERVICE IS DEFINED IN VAN BUREN TOWNSHIP AS
 A SPECIAL LAND USE IN THE C-2 ZONING DISTRICT.
 ALL VEHICLES IN AN OUTDOOR SALES LOT SHOULD BE

OPERABLE.

- NO MAJOR REPAIR OR MAJOR REFINISHING SHALL BE DONE ON THE LOT.

- NO USED AUTO PARTS MAY BE DISPLAYED OR SOLD ON THE LOT.

## COVID-19 PANDEMIC CONDITION

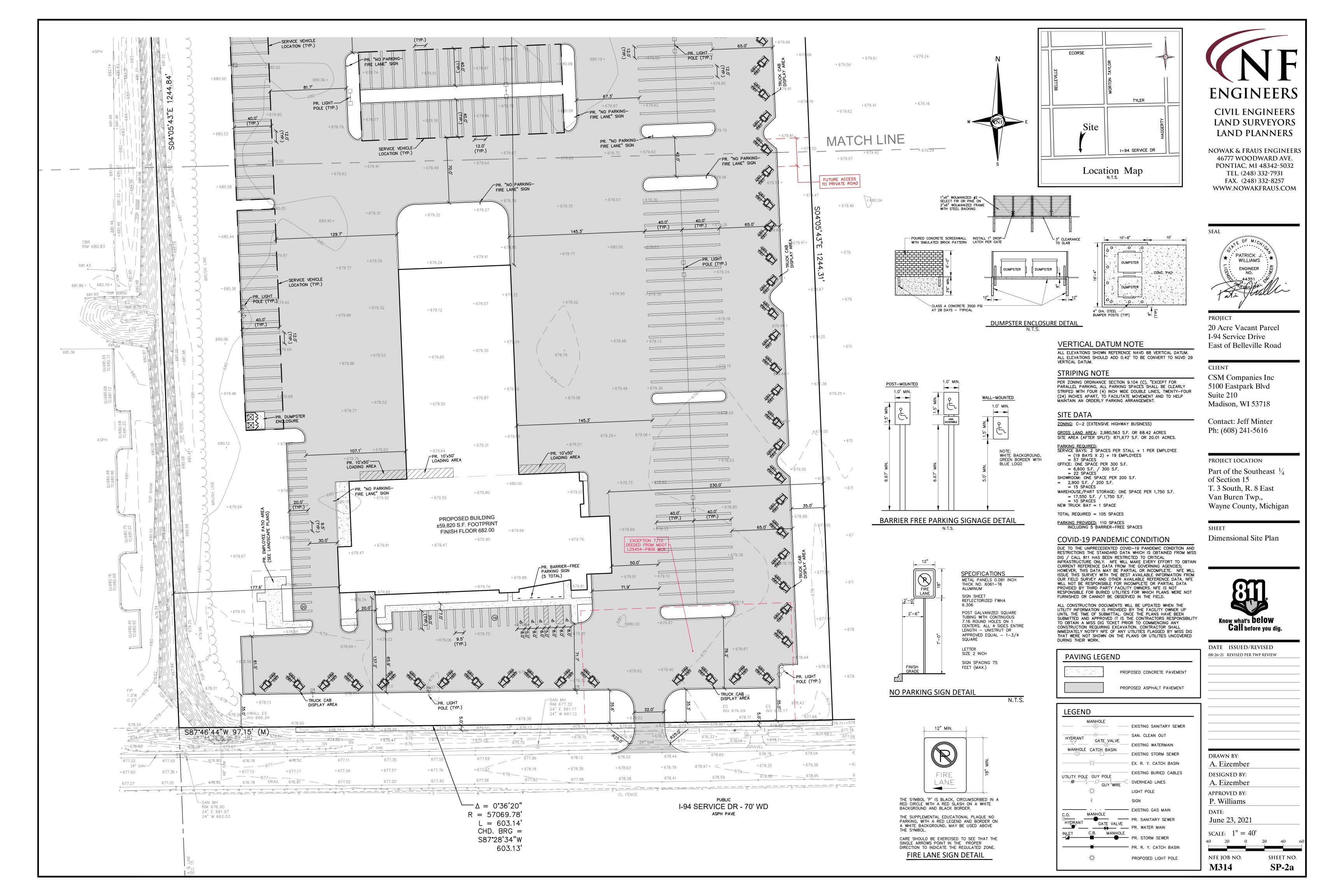
DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

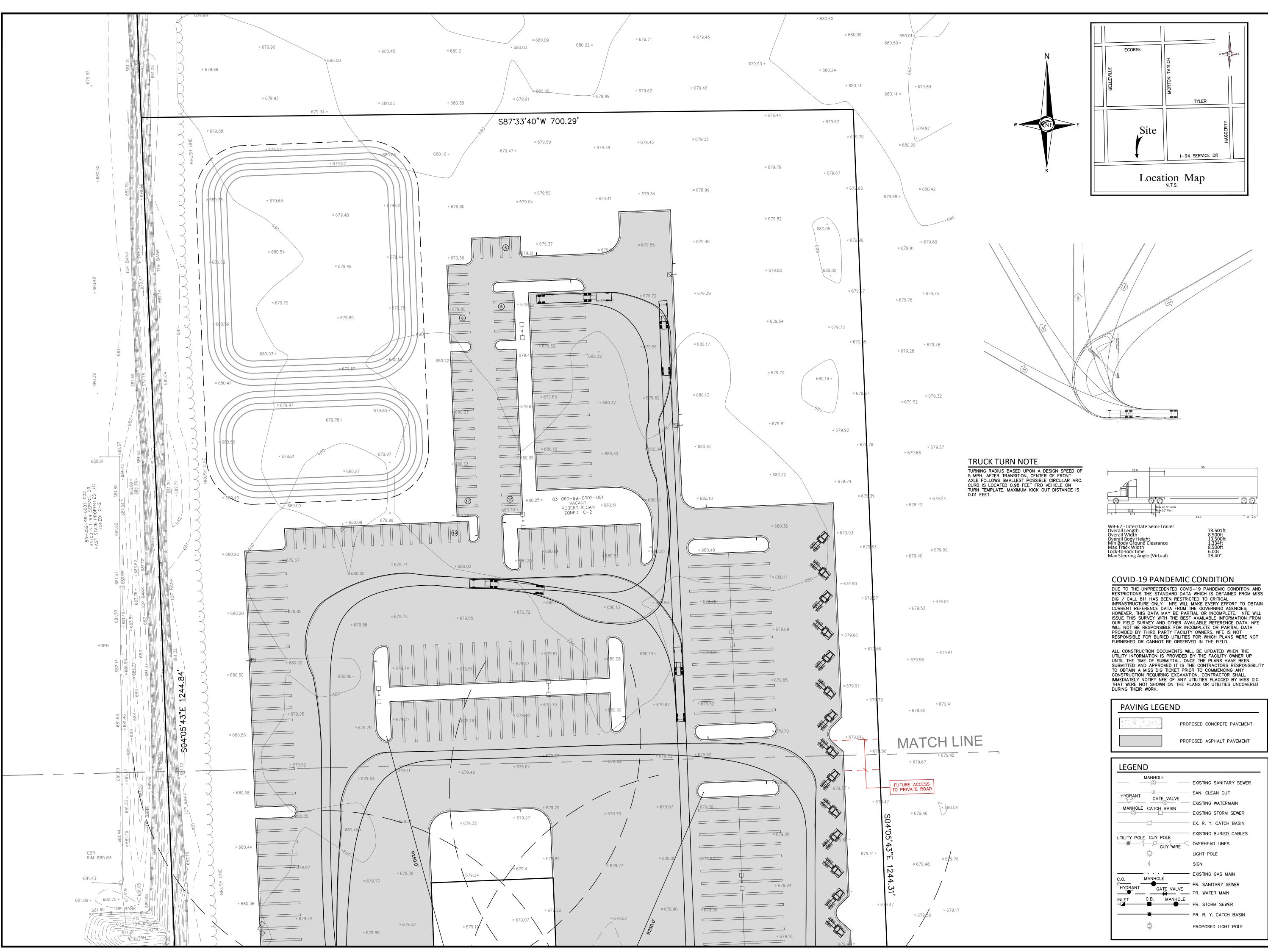
ALL CONSTRUCTION DOCUMENTS WILL BE UPDATED WHEN THE UTILITY INFORMATION IS PROVIDED BY THE FACILITY OWNER UP UNTIL THE TIME OF SUBMITTAL. ONCE THE PLANS HAVE BEEN SUBMITTED AND APPROVED IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN A MISS DIG TICKET PRIOR TO COMMENCING ANY CONSTRUCTION REQUIRING EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY NFE OF ANY UTILITIES FLAGGED BY MISS DIG THAT WERE NOT SHOWN ON THE PLANS OR UTILITIES UNCOVERED DURING THEIR WORK.

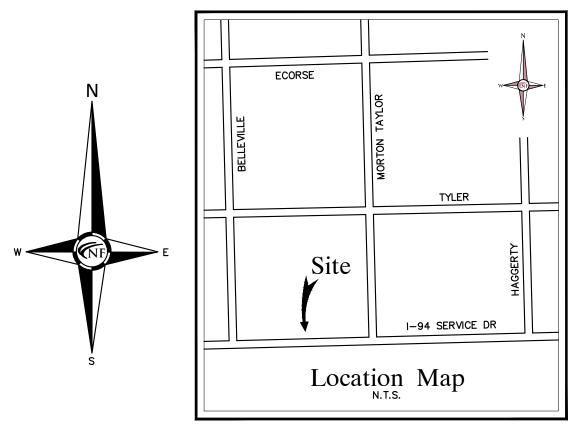
PAVING LEGE	ND
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

## LEGEND \_\_\_\_\_\_S

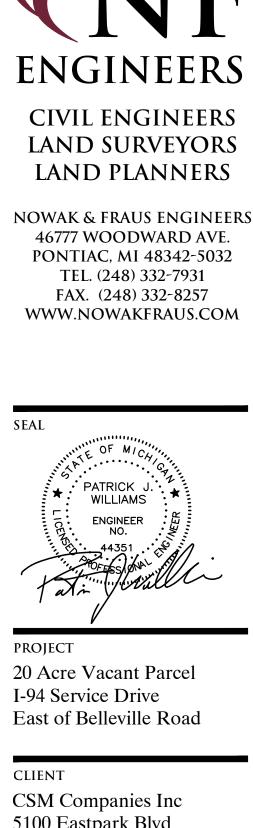
	EXISTING SANITARY SEWER
HYDRANT GATE VALVE	SAN. CLEAN OUT
MANHOLE CATCH BASIN	EXISTING WATERMAIN
	EXISTING STORM SEWER
X	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
q	SIGN
 C.O. MANHOLE	EXISTING GAS MAIN
	PR. SANITARY SEWER
HYDRANT GATE VALVE	PR. SANITARY SEWER PR. WATER MAIN
HYDRANT GATE VALVE	PR. WATER MAIN
HYDRANT GATE VALVE	PR. WATER MAIN PR. STORM SEWER







DURING THEIR WORK.	
PAVING LEGENI	D
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
LEGEND	
MANHOLE	EXISTING SANITARY SEWER
HYDRANT GATE VALV MANHOLE CATCH BASIN	— EXISTING WATERMAIN
X	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
÷	LIGHT POLE
۹	SIGN
C.O. MANHOLE	EXISTING GAS MAIN
HYDRANI GATE VAL	



5100 Eastpark Blvd Suite 210 Madison, WI 53718

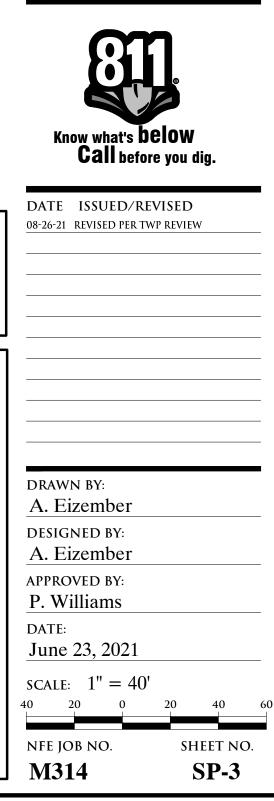
Contact: Jeff Minter Ph: (608) 241-5616

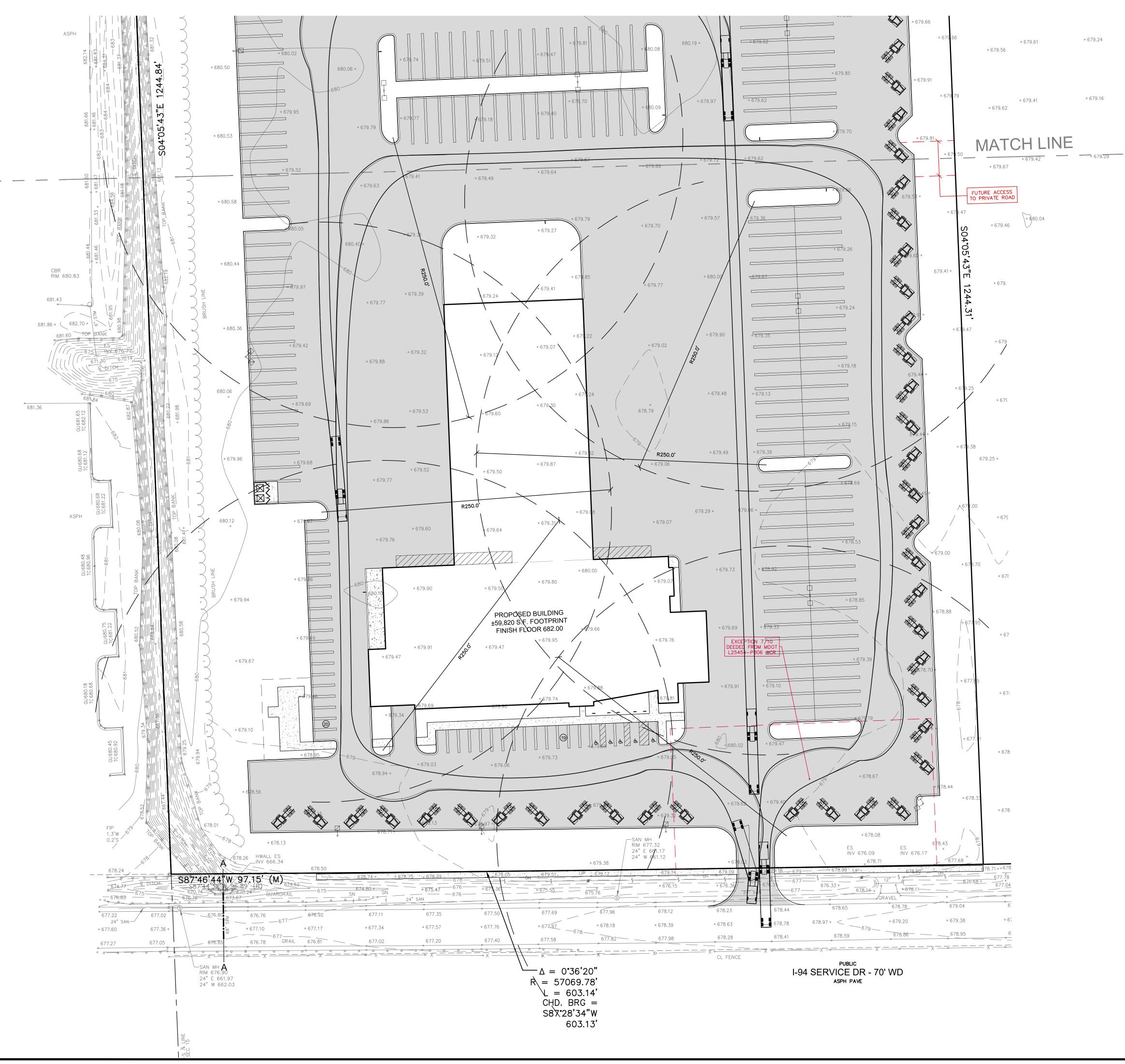
#### PROJECT LOCATION

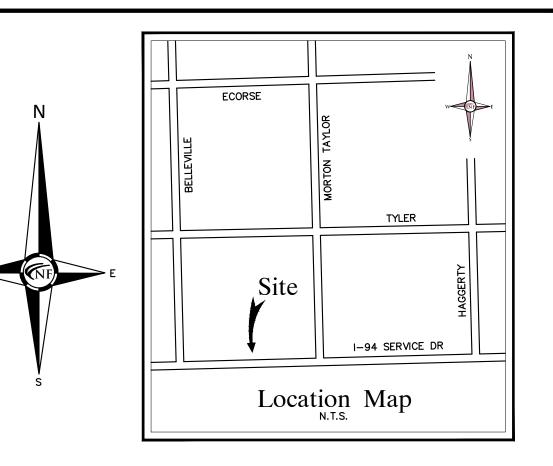
Part of the Southeast  $\frac{1}{4}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

SHEET

Truck Maneuvering Plan







# ENGINEERS **CIVIL ENGINEERS** LAND SURVEYORS LAND PLANNERS **NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

WWW.NOWAKFRAUS.COM

SEAL PATRICK J. WILLIAMS ENGINEER NO. 1 al n Verall

PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT CSM Companies Inc 5100 Eastpark Blvd Suite 210 Madison, WI 53718

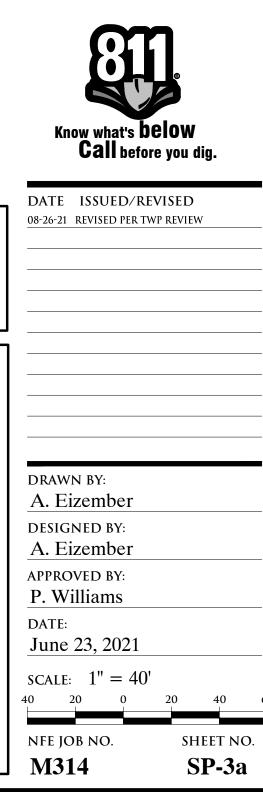
Contact: Jeff Minter Ph: (608) 241-5616

## PROJECT LOCATION

Part of the Southeast  $\frac{1}{4}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

#### SHEET

Truck Maneuvering Plan



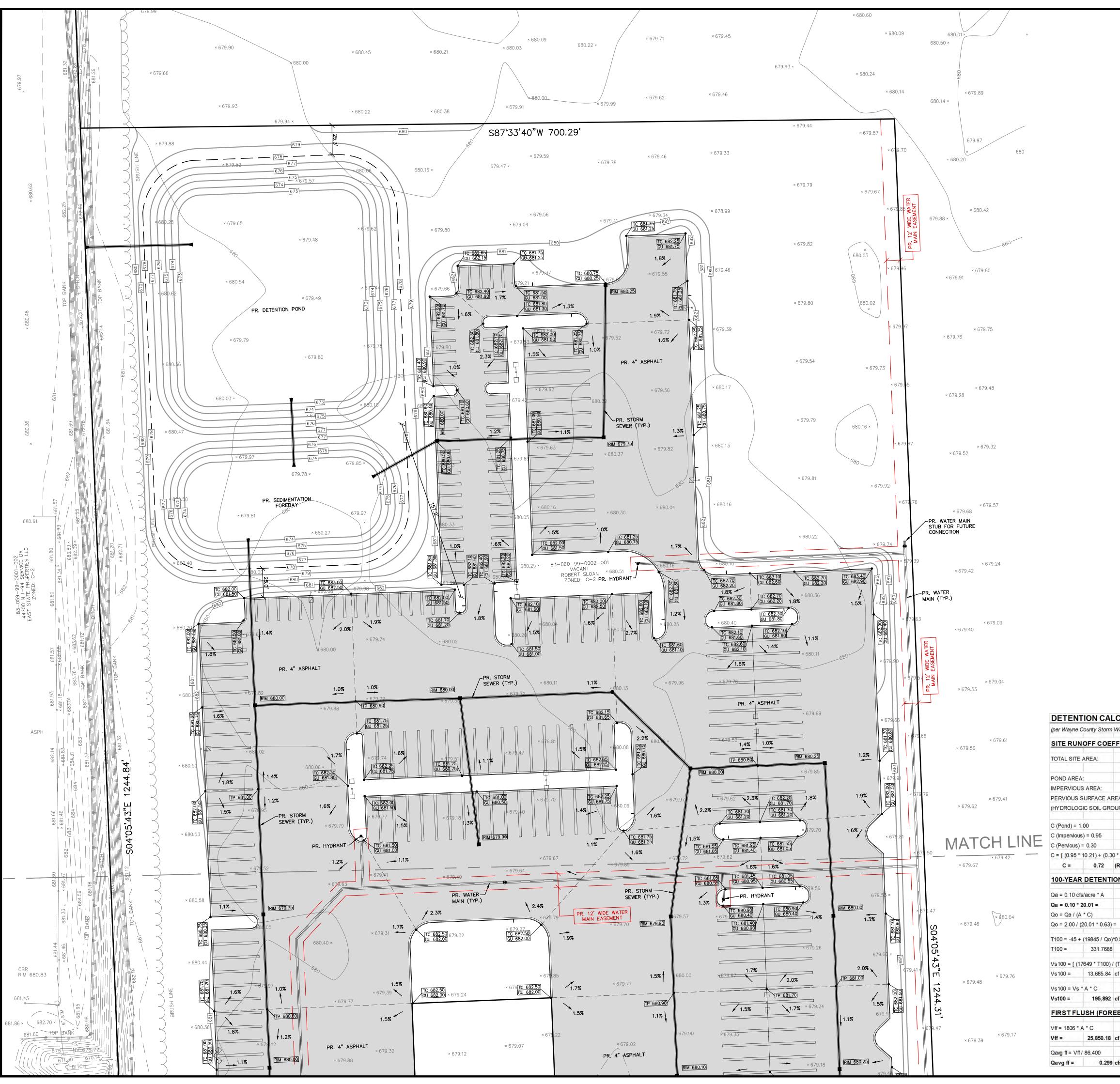
#### COVID-19 PANDEMIC CONDITION

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PAVING LEGEN	D
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
LEGEND	
MANHOLE	
(S)	EXISTING SANITARY SEWER
	SAN. CLEAN OUT

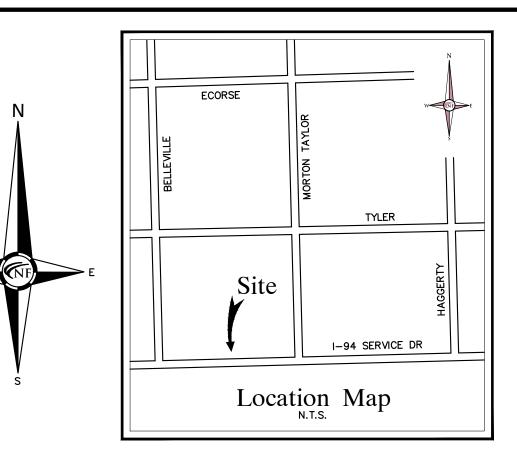
MANHOLE CATCH BASIN	EXISTING WATERMAIN EXISTING STORM SEWER
X	EX. R. Y. CATCH BASIN
TILITY POLE GUY POLE	EXISTING BURIED CABLES
	OVERHEAD LINES
Ц.	LIGHT POLE
q	SIGN
· · ·	EXISTING GAS MAIN
O. MANHOLE	PR. SANITARY SEWER PR. WATER MAIN
ILET C.B. MANHOLE	PR. STORM SEWER
<b>—</b>	PR. R. Y. CATCH BASIN
Ж	PROPOSED LIGHT POLE



# DETENTION CALC

TOTAL SITE AREA: POND AREA: IMPERVIOUS AREA: PERVIOUS SURFACE AREA (HYDROLOGIC SOIL GROUP C (Pond) = 1.00 C (Impervious) = 0.95 C (Pervious) = 0.30 C = [ (0.95 \* 10.21) + (0.30 \* C = 0.72 (R **100-YEAR DETENTION** 

Qa = 0.10 cfs/acre \* A Qa = 0.10 \* 20.01 = Qo = Qa / (A \* C) Qo = 2.00 / (20.01 \* 0.63) = T100 = -45 + (19845 / Qo)^0. 331.7688 Vs100 = [ (17649 \* T100) / (T Vs100 = 13,685.84 cf Vs100 = Vs \* A \* C 195,892 cf FIRST FLUSH (FOREE Vff = 1806 \* A \* C 25,850.18 cf



#### VERTICAL DATUM NOTE ALL ELEVATIONS SHOWN REFERENCE NAVD 88 VERTICAL DATUM. ALL ELEVATIONS SHOULD ADD 0.42' TO BE CONVERT TO NGVD 29 VERTICAL DATUM.

## **GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES. BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 3C (1100L), 20AA; SURFACE ASPHALT:

COURSE – MDOT BITUMINOUS MIXTURE NO. 13A (1100T), 20ÅA; ASPHALT CEMENT PENETRATION GRADE 85–100, BOND COAT – MDOT SS–1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED

PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION. ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED. ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION. EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII. SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

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PAVING LEGEND		
	POSED CONCRETE PAVEMENT	K
PROF	POSED ASPHALT PAVEMENT	DATE
LEGEND		08-26-2
MANHOLE 	EXISTING SANITARY SEWER SAN. CLEAN OUT EXISTING WATERMAIN	
MANHOLE CATCH BASIN	EXISTING STORM SEWER EX. R. Y. CATCH BASIN EXISTING BURIED CABLES	
GUY <sup>1</sup> /₩RE	OVERHEAD LINES LIGHT POLE SIGN	DRAV
	EXISTING GAS MAIN PR. SANITARY SEWER PR. WATER MAIN	<u>A.</u> E DESIG
INLET C.B. MANHOLE	PR. STORM SEWER PR. R. Y. CATCH BASIN PROPOSED LIGHT POLE	$\frac{P}{P}$
TC 600.00 GU 600.00 TW 600.00	PR. TOP OF CURB ELEVATION PR. GUTTER ELEVATION PR. TOP OF WALK ELEVATION	June SCAL
TP 600.00 FG 600.00	PR. TOP OF PVMT. ELEVATION FINISH GRADE ELEVATION	nfe j M3



PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT

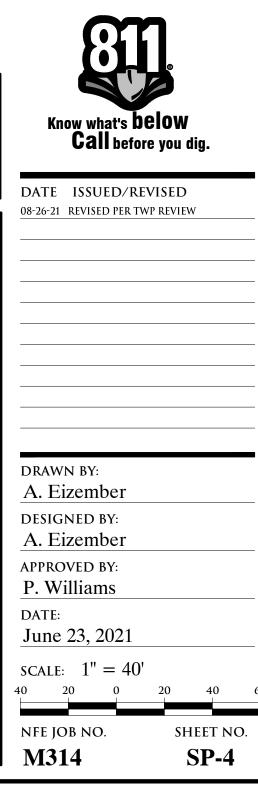
CSM Companies Inc 5100 Eastpark Blvd Suite 210 Madison, WI 53718

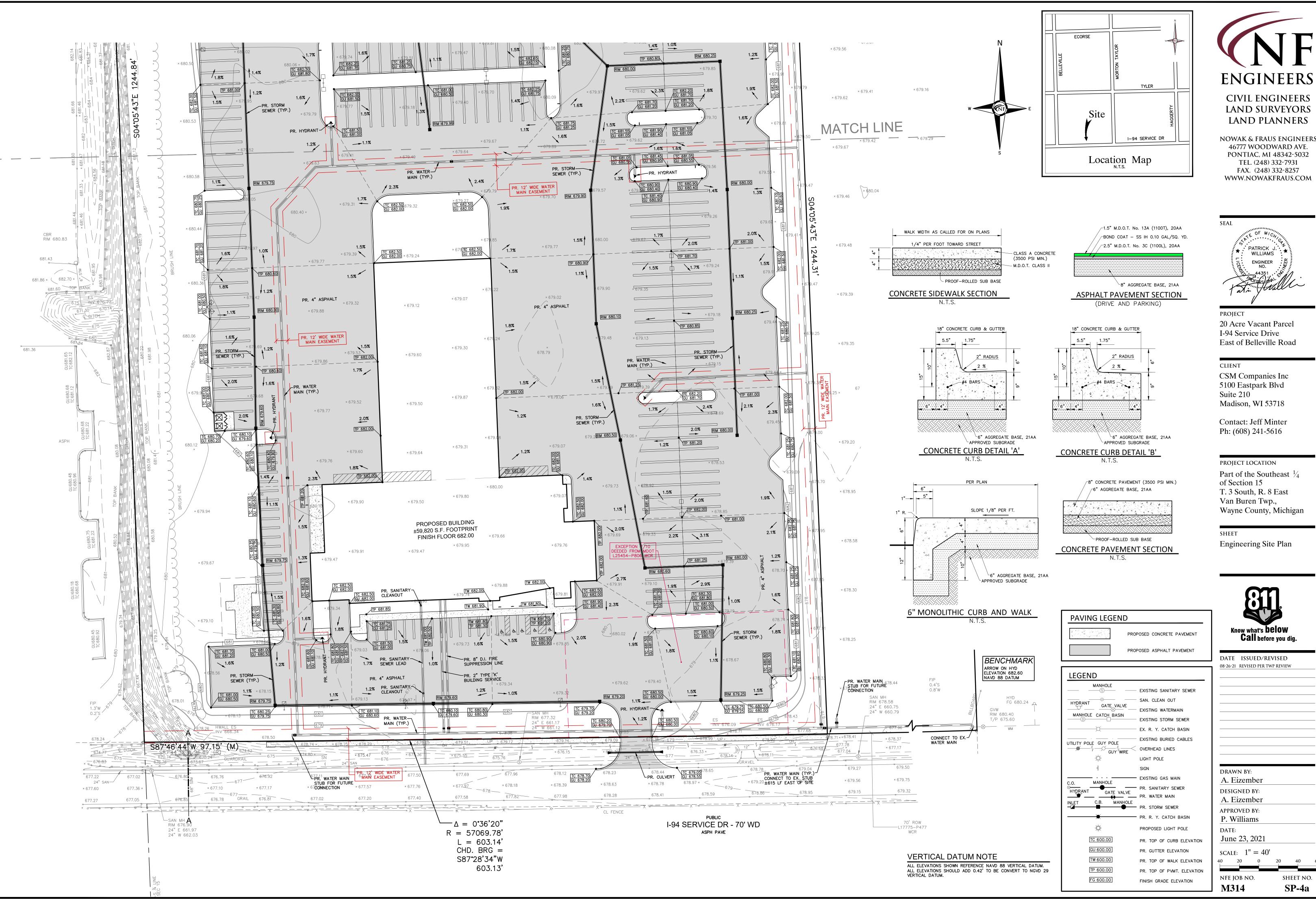
Contact: Jeff Minter Ph: (608) 241-5616

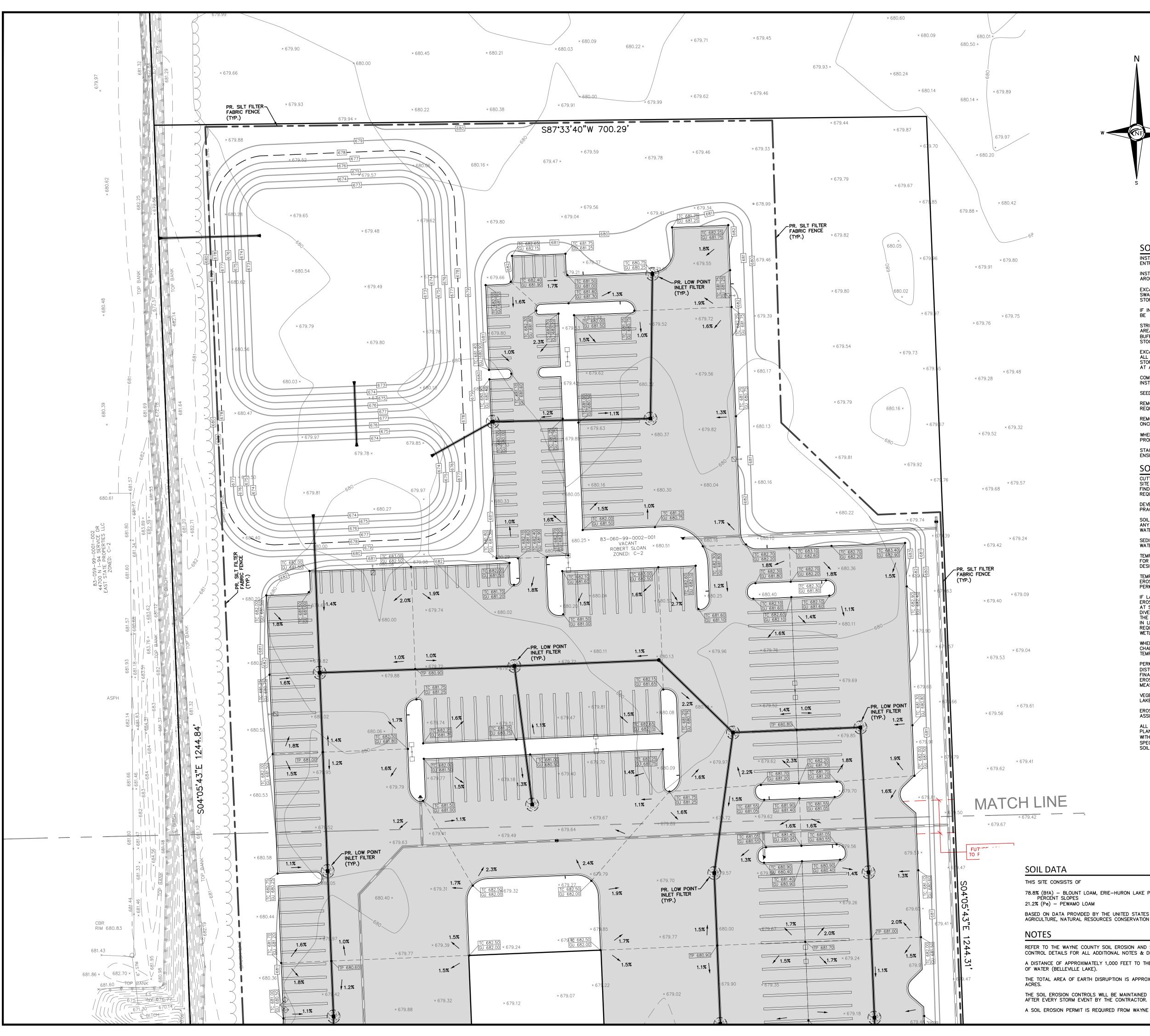
#### PROJECT LOCATION

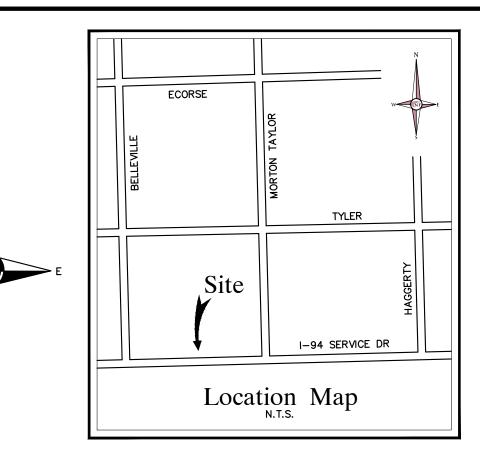
Part of the Southeast  $\frac{1}{2}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

SHEET Engineering Site Plan









SOIL EROSION CONTROL - SEQUENCE OF OPERATION (NEW CONSTRUCTION) INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS.

INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS.

EXCAVATE A SHALLOW SWALE/DITCH AROUND PERIMETER OF SITE. GRADE THE TEMPORARY SWALE TO AN EXISTING DRAINAGE FACILITY. PLACE OUTLET FILTER IN EXISTING UPSTREAM STORM SEWER FACILITIES.

IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND, ETC., SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK. STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.

EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PEASTONE INLET FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM EROSION AND SEDIMENT INFILTRATION AT ALL TIMES.

COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT. SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.

REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.

REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.

WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES. STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.

SOIL EROSION CONTROL CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE

SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE. SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND

ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES; WETLANDS; OR ROADWAYS ON OR NEAR THE SITE. SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVES FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES. IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE,

EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS, STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO

ASSURE PROPER FUNCTIONING. ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.

## VERTICAL DA

ALL ELEVATIONS SHOWN ALL ELEVATIONS SHOUL

EST	IMATED	QUAN	ITITIE

-					
SOIL EROSION					
DESCRIPTION	QUANTITY UNITS				
SILT FABRIC FENCING NLET FILTER	3,725 L.F. 24 EA				
	24 EA.				
LEGEND					
	INDICATES LIMITS OF SILT FABRIC FENCE				
	INDICATES LIMITS OF DRAINAGE DISTRICT AREA				
	<ul> <li>INDICATES LIMITS OF SOIL</li> <li>DISRUPTION</li> </ul>				
	INDICATES LOW POINT INLET FILTER OR PROPOSED DRAINAGE STRUCTURE				
	INDICATES SILT SACK OR EQUAL ON EXISTING. DRAINAGE STRUCTURE				
AREA A 0.00 ACRE	INDICATES DRAINAGE DISTRICT AREA				



SEAL E OF MIC PATRICK J. WILLIAMS ENGINEER NO. atin

PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT

CSM Companies Inc 5100 Eastpark Blvd Suite 210 Madison, WI 53718

Contact: Jeff Minter Ph: (608) 241-5616

#### PROJECT LOCATION

Part of the Southeast  $\frac{1}{2}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

SHEET Soil Erosion Control Plan



DATE ISSUED/REVISED

08-26-21 REVISED PER TWP REVIEW

A	

78.8% (BfA) – BLOUNT LOAM, ERIE-HURON LAKE PLAIN, 0 TO 2 PERCENT SLOPES

BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.

REFER TO THE WAYNE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL DETAILS FOR ALL ADDITIONAL NOTES & DETAILS (TYP)

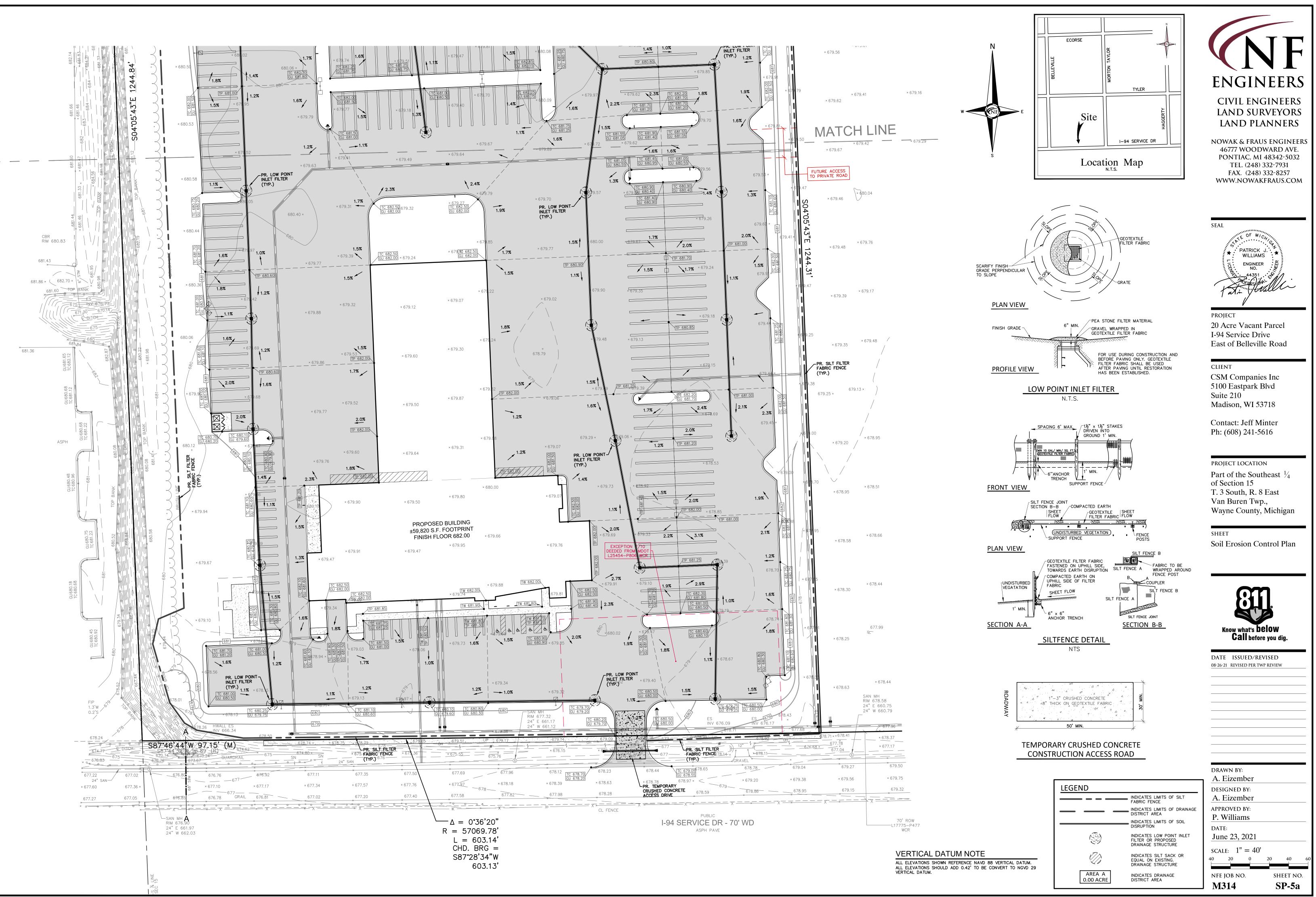
A DISTANCE OF APPROXIMATELY 1,000 FEET TO THE NEAREST BODY OF WATER (BELLEVILLE LAKE). THE TOTAL AREA OF EARTH DISRUPTION IS APPROXIMATELY 18.0

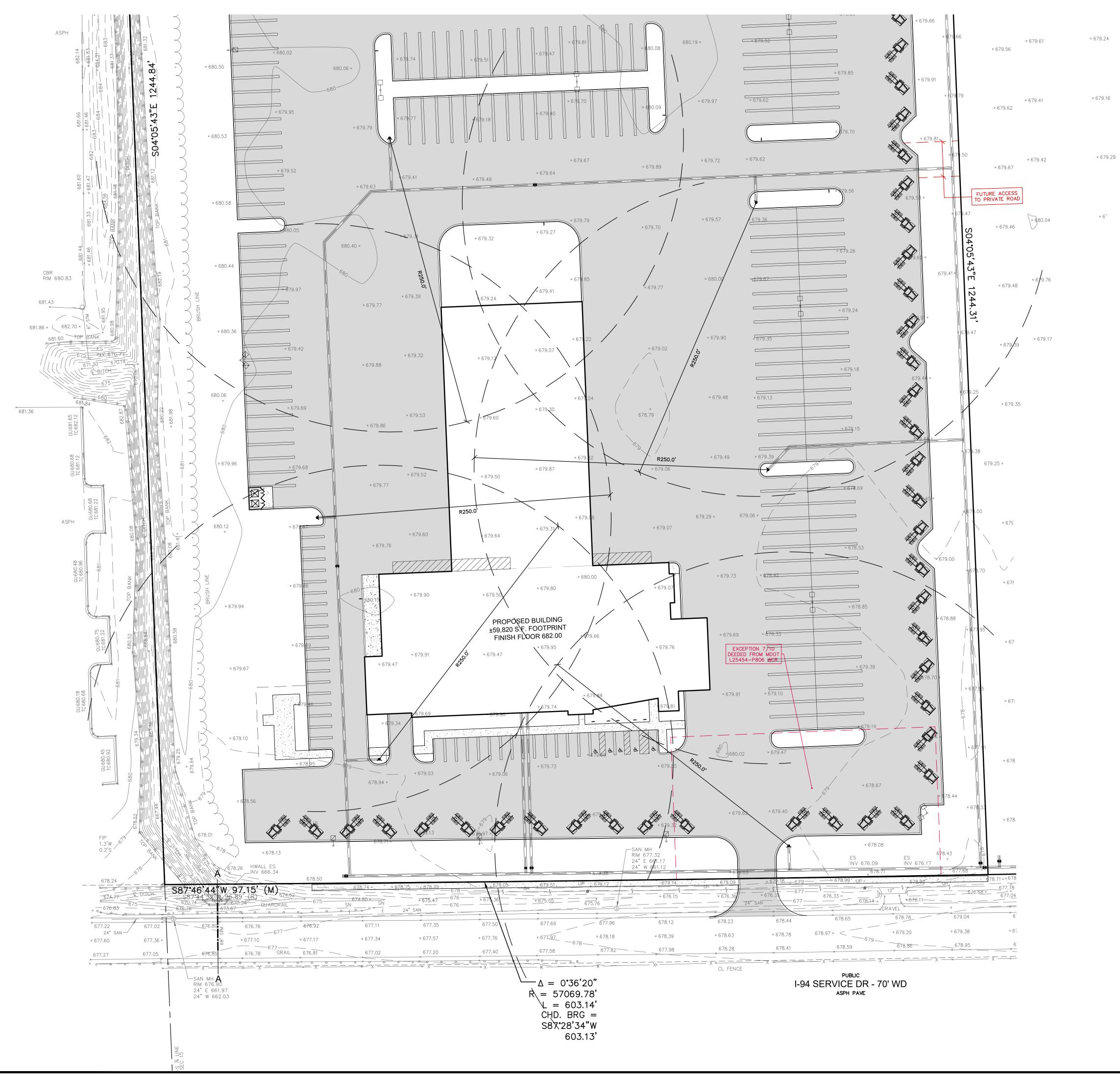
THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND

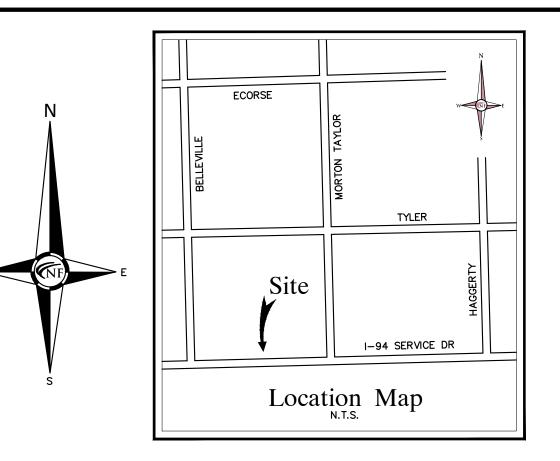
A SOIL EROSION PERMIT IS REQUIRED FROM WAYNE COUNTY.

ATUM NC	DTE		
VN REFERENCE JLD ADD 0.42'			1

DRAWN BY: A. Eizember **DESIGNED BY:** A. Eizember APPROVED BY: P. Williams DATE: June 23, 2021 SCALE: 1'' = 40'20 20 0 40 NFE JOB NO. SHEET NO. **SP-5** M314

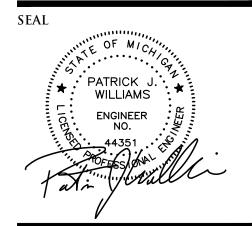








**NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM



PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT CSM Companies Inc 5100 Eastpark Blvd Suite 210

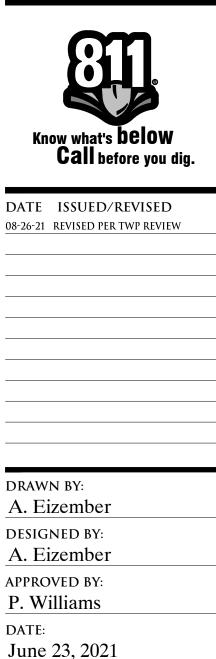
Madison, WI 53718

Contact: Jeff Minter Ph: (608) 241-5616

#### PROJECT LOCATION

Part of the Southeast  $\frac{1}{2}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

SHEET Fire Hydrant Coverage Plan



SCALE: 1'' = 40'40 20 0 20 40 NFE JOB NO. SHEET NO. SP-2a **M314** 

#### FIRE DEPARTMENT NOTES

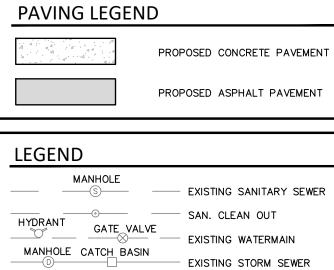
IF A SECURITY GATE IS TO BE INSTALLED AT THE ENTRANCE OF THE COMPLEX, APPROVED ACCESS CONTROL DEVICES WILL BE REQUIRED.

THE REQUIRED WIDTH OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES.

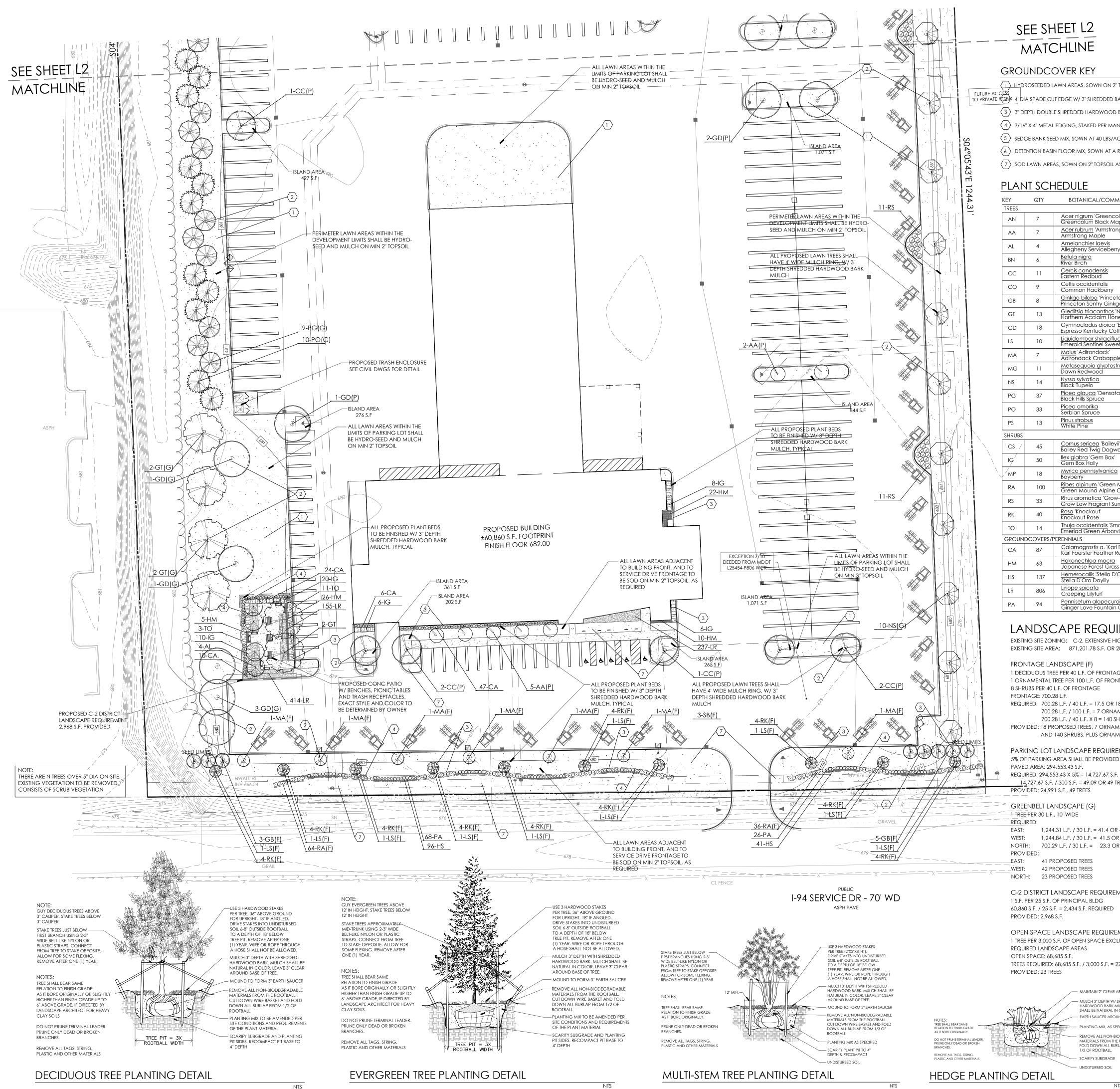
COVID-19 PANDEMIC CONDITION

DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

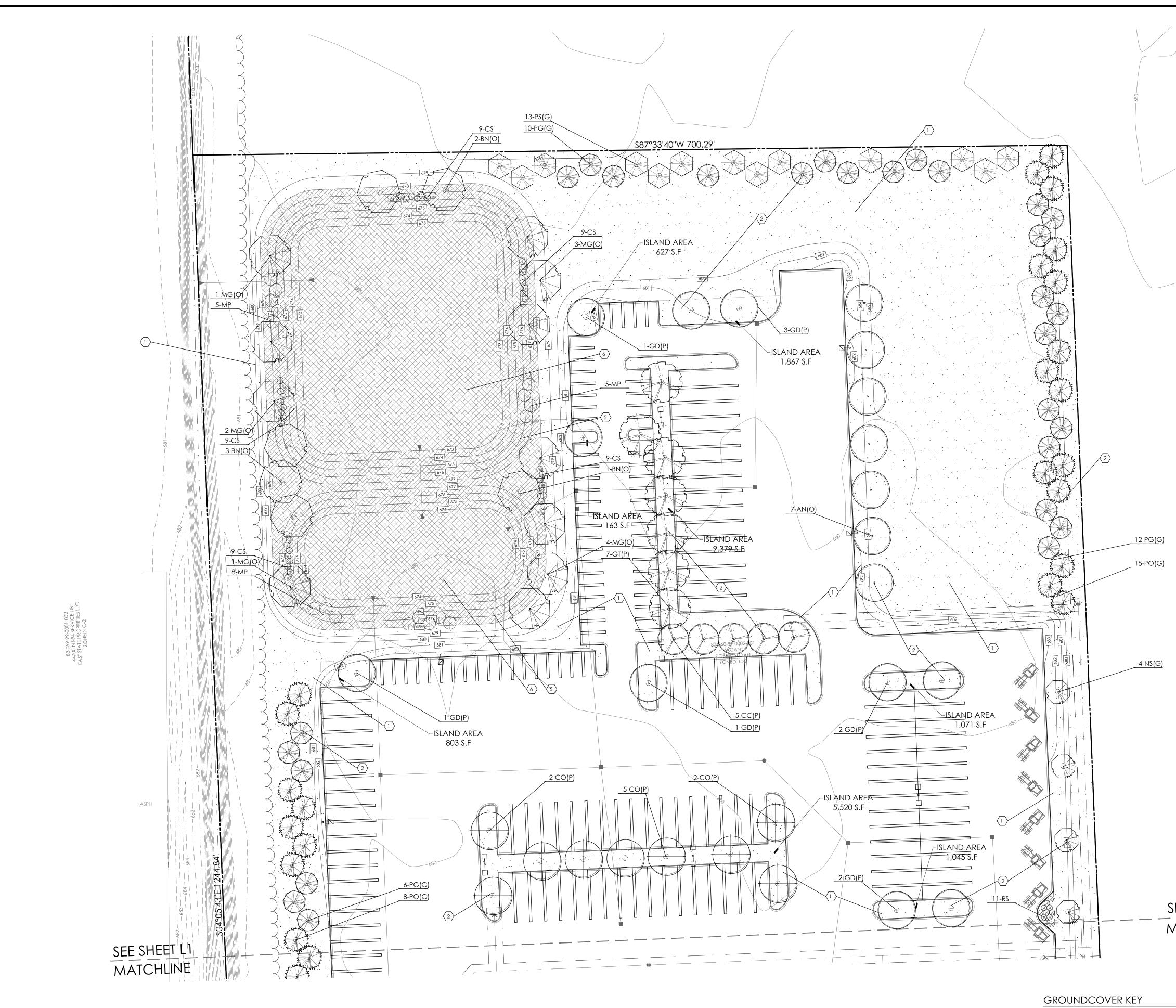
ALL CONSTRUCTION DOCUMENTS WILL BE UPDATED WHEN THE UTILITY INFORMATION IS PROVIDED BY THE FACILITY OWNER UP UNTIL THE TIME OF SUBMITTAL. ONCE THE PLANS HAVE BEEN SUBMITTED AND APPROVED IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN A MISS DIG TICKET PRIOR TO COMMENCING ANY CONSTRUCTION REQUIRING EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY NFE OF ANY UTILITIES FLAGGED BY MISS DIG THAT WERE NOT SHOWN ON THE PLANS OR UTILITIES UNCOVERED DURING THEIR WORK.



	EXISTING STORM SEWER
X	EX. R. Y. CATCH BASIN
UTILITY POLE GUY POLE	EXISTING BURIED CABLES
	OVERHEAD LINES
بلا ا	LIGHT POLE
q	SIGN
 C.O. MANHOLE	EXISTING GAS MAIN
HYDRANT GATE VALVE	PR. SANITARY SEWER
INLET C.B. MANHOLE	PR. WATER MAIN
	PR. STORM SEWER
—— <del>———</del>	PR. R. Y. CATCH BASIN
ж.	PROPOSED LIGHT POLE



		N			N	
				ECORSE		
				ULOR I		
				BELLEVILLE MORTON TAYLOR		
I 2" TOPSOIL, AS REQUIREI	Dw	(NF)	► E	B NO		ENGINEERS
D BARK MULCH					TYLER	
DD BARK MULCH				SITE	ERTY	CIVIL ENGINEERS Land Surveyors
/AC		V S		SITE	HAGGERTY	LAND PLANNERS
A RATE OF 35 LBS/AC					I-94 SERVICE DR	NOWAK & FRAUS ENGINEERS
IL AS REQUIRED				LOCATIO		46777 WOODWARD AVE.
	SIZE	SPACING	ROOT	COMMENT	N.T.S.	PONTIAC, MI 48342-5032 TEL. (248) 332-7931
ncolumn'			B&B	FULLY BRANCHED HEADS	-	FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM
Maple rong'	3" CAL 3" CAL	SEE PLAN SEE PLAN	B&B B&B	FULLY BRANCHED HEADS		
erry	6-8' HT	SEE PLAN	B&B	CLUMP FORM		
	12-14' HT	SEE PLAN	B&B	CLUMP FORM		SEAL
	3" CAL 3" CAL	SEE PLAN	B&B B&B	FULLY BRANCHED HEADS	-	OF MICHT
y ceton Sentry' nkgo	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS		GENE A.
os 'Northern Acclaim' Ioney Locust	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	-	RI OST NSKI, JR
<u>ca</u> 'Espresso' Coffee Tree <u>iflua</u> 'Emerald Sentinel'	3" CAL	SEE PLAN	B&B B&B	FULLY BRANCHED HEADS		
pple	3" CAL 2" CAL	SEE PLAN SEE PLAN	B&B B&B	FULLY BRANCHED HEADS		The SCATTON AND
ostroboides	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS		
sata'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS		PROJECT 20 Acre Vacant Parcel
	8' HT 8' HT	SEE PLAN	B&B B&B	FULL TO GROUND	-	I-94 Service Drive
	8' HT	SEE PLAN	B&B	FULL TO GROUND		East of Belleville Road
eyii'	36" HT	3' OC	B&B		]	CLIENT
gwood x'	30" HT	30" OC	B&B	MAINTAIN AS HEDGE		CSM Companies Inc
ca	36" HT	9' OC	B&B			5100 Eastpark Blvd Suite 210
en Mound' e Currant ow-Low'	30" HT	30" OC	B&B		-	Madison, WI 53718
Sumac	3 GAL 30" HT	4' OC 30" OC	CONT CONT			Contact: Jeff Minter
Smaragrd' orvitae	5' HT	30" OC	B&B		-	Ph: (608) 241-5616
arl Foerster' er Reed Grass	3 GAL	30" OC	CONT			
r <u>a</u> rass	2 GAL	24" OC	CONT			PROJECT LOCATION
D'Oro'	2 GAL	24" OC 15" OC			-	Part of the Southeast $\frac{1}{4}$ of Section 15
uroides 'Ginger Love' iin Grass	1 GAL GAL	30" OC	CONT CONT			T. 3 South, R. 8 East Van Buren Twp.,
					]	Wayne County, Michigan
HIGHWAY BUSINESS DIS		(C			ENNIAL PLANTS SPACED CORDING TO PLANTING PLAN LCH 2" DEPTH W/ SHREDDED	
or 20 ACRES					RDWOOD BARK MULCH. MULCH ALL BE NATURAL IN COLOR.	SHEET Landscape Plan
TAGE					NT MIX, 10-12" DEEP SPECIFIED	Landscape Flan
ONTAGE					DISTURBED SUBGRADE	
R 18 TREES NAMENTAL TREES						
) SHRUBS AMENTAL TREES					A 11	<b>811</b>
AMENTAL GRASS & PER REMENTS (P)	ENNIALS		NINIAL	PLANTING DET		
DED AS LANDSCAPE ARE	ĒA	u hi	tha	սկությ		Know what's <b>below</b>
S.F. 9 TREES					- ORNAMENTAL GRASSES SPACED	<b>Call</b> before you dig.
					ACCORDING TO PLANTING PLAN - MULCH 2" DEPTH W/ SHREDDED HARDWOOD BARK MULCH. MULCH	DATE ISSUED/REVISED
		N.			SHALL BE NATURAL IN COLOR.	08/26/21 REVISED PER TWP REVIEW
OR 41 TREES OR 42 TREES		XXXX			– PLANT MIX, 10-12" DEEP AS SPECIFIED	
OR 23 TREES					– UNDISTURBED SUBGRADE	
REMENT (D)		ORNAM	1ENTA	L GRASS PLANT	ING DETAIL	
D					NTS	
REMENT (O) (CLUSIVE OF OTHER						DRAWN BY:
= 22.85 OR 23 TREES						G. Ostrowski designed by:
22.00 ON 20 IREES						G. Ostrowski
AR AREA FROM STEM				SEE PLAN	MULCH 3" DEPTH WITH SHREDDED HARDWOOD BARK. MULCH SHALL BE NATURAL IN COLOR. LEAVE 3" CLEAR AROUND BASE OF TREE.	
W/ SHREDDED IK MULCH. MULCH IL IN COLOR. ROUND SHRUB	NOTES:	12"1			MOUND TO FORM 3" EARTH SAUCER REMOVE ALL NON-BIODEGRADABLE	DATE:
s specified	TREE SHALL BEA RELATION TO FI AS IT BORE ORIG	NISH GRADE			MATERIALS FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN ALL BURLAP FROM 1/3 OF	<u>May 21, 2021</u>
n-biodegradable . The rootball. Burlap from top 	REMOVE ALL TA				ROOTBALL PLANTING MIX AS SPECIFIED	SCALE: $1'' = 40'$ 40 20 0 20 40 60
DE L		I <b>T</b> = =				NFE JOB NO. SHEET NO.
NTS	UPRIGH	HI EVERC	GREEN	I SHRUB PLANTI	NG DETAIL	<b>M314 L1</b>
					110	

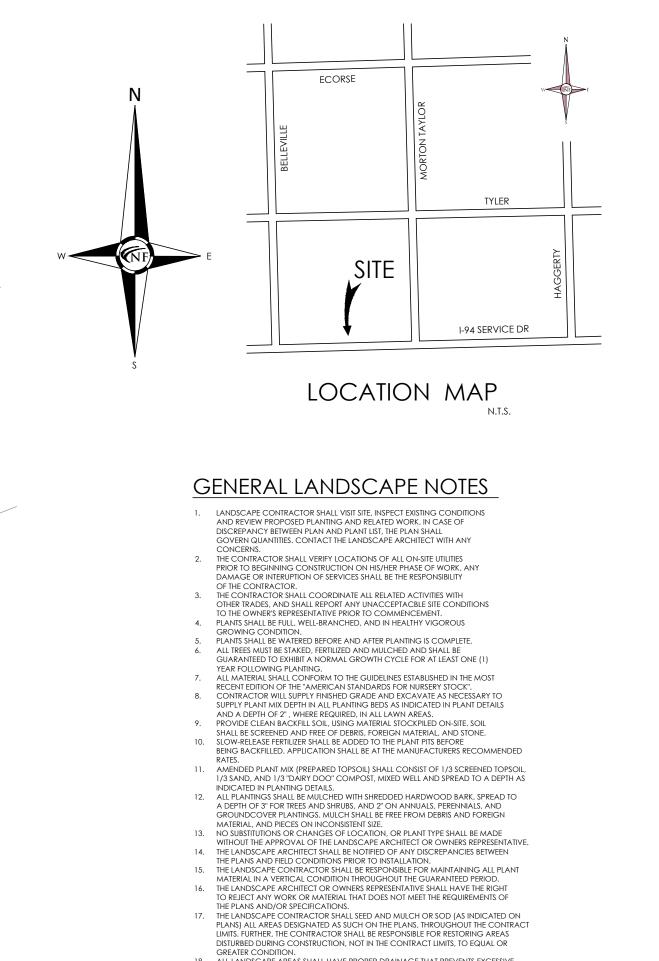


GENERAL SOD NOTE: ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 2" PREPARED TOPSOIL WHERE REQUIRED, AND WATERED DAILY UNTIL ESTABLISHMENT. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES. SOD INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL1 TO JUNE1 FALL: AUGUST 15 TO OCTOBER 15

#### **IRRIGATION NOTE:**

ALL LANDSCAPE AREAS, INCLUDING THOSE WITHIN THE R.O.W. SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL OPERATE IN COMPLIANCE WITH LOCAL STANDARDS AND SEASONAL RESTRICTIONS. SEPARATE ZONES SHALL BE PROVIDED FOR LAWN AREAS AND PLANTING BEDS. IRRIGATION SHALL BE DESIGNED IN THE THE MOST EFFICIENT MANNER NECESSARY TO FULLY IRRIGATE ALL PLANTING AREAS.

- (1) HYDROSEEDED LAWN AREAS, SOWN ON 2" TOPSOIL, AS REQUIRED
- $\langle 2 \rangle$  4' dia spade cut edge W/ 3" shredded bark mulch
- $\langle 3 \rangle$  3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 4 3/16" X 4" METAL EDGING, STAKED PER MANUFACTURER
- $\overline{(5)}$  sedge bank seed mix, sown at 40 LBS/AC
- $\overline{(6)}$  DETENTION BASIN FLOOR MIX, SOWN AT A RATE OF 35 LBS/AC
- $\langle 7 \rangle$  SOD LAWN AREAS, SOWN ON 2" TOPSOIL AS REQUIRED



- GREATER CONDITION.
- 18. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS. 19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND

#### GENERAL SEED NOTE:

FALL: AUGUST 15 TO OCTOBER 15

ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE) . IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 2" PREPARED TOPSOIL WHERE REQUIRED, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED. SEEDING INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL1 TO JUNE1

TYPICAL SEEDED LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 220 LBS PER ACRE

MIX IS COMPRISED OF 30% NITE HAWK PERENNIAL RYE 30% KENTUCKY BLUEGRASS 20% CREEPING RED FESCUE 10% MERIT KENTUCKY BLUEGRASS 10% NEWPORT KENTUCKY BLUEGRASS

#### SEDGE BANK SEED MIX

\*CONTAINS 10 NATIVE GRASSES AND 2 TEMPORARY GRASSES 30% NATIVE GRASSES COSMOS SEDGE FRINGED SEDGE LRID SEDGE FOX SEDGE CREEPING SPIKE RUSH FOWL MANNA GRASS COMMON RUSH HARDSTEM BULRUSH GREEN BULRUSH

70% TEMPORARY GRASSES SEED OATS AMERICAN SLOUGH GRASS ANNUAL RYE

40 LBS/ACRE

**WOOL GRASS** SOFT-STEM BULRUSH

GIANT BUR REED RECOMMENDED SEEDING RATE:

SEED MIX AVAILABLE: NATIVESCAPE, LLC PO BOX 122 MANCHESTER, MI 48158 T 517.456.9696

#### DETENTION BASIN FLOOR MIX \*CONTAINS AT LEAST 12 WILDFLOWERS AND 4 GRASSES

WILDFLOWERS NEW ENGLAND ASTER PALE INDIAN PLANTAIN JOE PYE WEED BONESET OX EYE SUNFLOWER DENSE BLAZINGSTAR GREAT BLUE LOBELIA CARDINAL FLOWER GREEN-HEADED CONEFLOWER BLACK-EYED SUSAN CUPPLANT OHIO GOLDENROD BLUE VERVAIN CULVER'S ROOT IRONWEED YELLOW CONEFLOWER

RECOMMENDED SEEDING RATE: 35-40 LBS/ACRE SEED MIX AVAILABLE: NATIVESCAPE, LLC PO BOX 122 MANCHESTER, MI 48158 T 517.456.9696

**BIG BLUSTEM** CANADA WILD RYE DARK GREEN BULRUSH INDIAN GRASS PRAIRIE CORD GRASS WETLAND SEDGES

NATIVE GRASSES

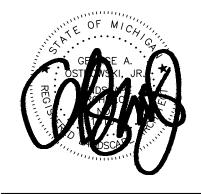
TEMPORARY GRASSES SEED OATS ANNUAL RYE AMERICAN SLOUGH GRASS

WINTER WHEAT



**NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

SEAL



PROJECT 20 Acre Vacant Parcel I-94 Service Drive East of Belleville Road

#### CLIENT

CSM Companies Inc 5100 Eastpark Blvd Suite 210 Madison, WI 53718

Contact: Jeff Minter Ph: (608) 241-5616

#### PROJECT LOCATION

Part of the Southeast  $\frac{1}{4}$ of Section 15 T. 3 South, R. 8 East Van Buren Twp., Wayne County, Michigan

SHEET Landscape Plan



Know what's **below Call** before you dig.

DATE ISSUED/REVISED 08/26/21 REVISED PER TWP REVIEW

drawn by: G. Ostrowski			
DESIGNED BY: G. Ostrowski			
APPROVED BY: G. Ostrowski			
DATE: May 21, 2021			
SCALE: $1'' = 40'$			
40 20 0	20	40	60
NFE JOB NO.	SF	HEET N	0.
M314		L2	

SEE SHEET L1 MATCHLINE

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	· · · · · · · · · · · · · · · · · · ·	Cetalog	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0
	Series Size 1 Wall Luminaire	Number	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0
-		Туре	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
	Buy American		$\begin{array}{cccccccccccccccccccccccccccccccccccc$
d"series cifications		Introduction The D-Series Wall luminaire is a stylish, fully	+0.0 $+0.0$ $+0.0$ $+0.0$ $+0.0$ $+0.1$ $+0.1$ $+0.4$ $+0.7$ $+0.6$ $+0.3$ $+0.1$ $+0.0$
inaire Bac	k Box (BBW, E20WC)	integrated LED solution for building-mount	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
13-3/4" Weight: 12 lbs (54 hpm) Weight: 154 kg 10" Dept	h: (23.1 m) Weight: (23.4g) 4. 4" E20WC 10 lbs	applications. It features a sleek, modern design and is carefully engineered to provide long-lasting,	+0.0 +0.0 +0.0 +0.0 $(0.0 \times 10^{+} 0.0)$ +0.0 $(0.0 \times 10^{-} 0.0)$ +0
(15 1 am) &-3/8* Heigh (16 2 cm)	A Date	energy-efficient lighting with a variety of optical and control options for customized performance	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 $+_{0.8}^{0.0}$ +0.0 $+_{2.7}^{0.0}$ $*_{4.0}$ $*_{2.2}$ $*_{0.7}$ $*_{02}$ $+_{04}^{0}$
B	D W	With an expected service life of over 20 years of nighttime use and up to 74% in energy savings	+0.0 +0.0 +0.0 +0.0 +0.0 $+0.0 +0.0 +0.0$
		over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance	+0.0 +0.0 +0.0 +0.0 +0.0 +0.1 +0.1 +0.1
w	For 3/4 MPT stde-entry conduit (BBW enty)	lighting solution that produces sites that are exceptionally illuminated.	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 + $^{+}0.0^{+}0.0^{+}0.1$ +0.0 +0.1 +1.0 +1.0 +1.0 +1.0 +1.0 +0.0 +0
ering Information	EXAMPLE: D	SXW1 LED 20C 1000 40K T3M MVOLT DDBTXD	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
LED			+0.0 +0.0 +0.0 +0.0 +0.0 $+0.0^{+0.0}_{-0.0}$ +0.3 $\times 1.9^{+0.0}_{-1.0}$ $\times 1.9^{+0.0}_{-1.1}$ $\times 1.5^{$
LEDs         Driver Exercisit         Color:           D         10C         10 EDs         350         350 mA         30K	Comparistone Officiality (International Voltage 3980% T2S Typell/Short MVOLT*	Machine Control Uption	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 $+_{0.0}^{+}$ , $0.0$ +0.1 $*_{2.8}^{+}$ $*_{2.8}^{-}$ $*_{2.1}$ $*_{1.1}$ $*_{1.6}^{-}$ $*_{2.7}^{-}$ +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 $*_{2.8}^{-}$ $*_{3.8}^{-}$ $*_{2.0}$ $*_{0.0}$ $*_{1.4}^{-}$ $*_{2.8}^{-}$
Inne 530 589 mA 40K engine) 700 700 mA 50K	4000 K T2M Type II Medium 120 <sup>3</sup> 5000 x T3S Type III Short 208 <sup>1</sup>	(blank) Surface PE Finishetetric cell, twittim type / mounting DMG 0-10v dimining wires pured outside fixture (for	$\begin{array}{c} 0.0 \\ +0.0 \\ +0.0 \\ +0.0 \\ +0.0 \\ +0.0 \\ +0.0 \\ +0.0 \\ +0.0 \\ +0.0 \\ +0.2 \\ +0.2 \\ +0.3 \\ -3.9 \\ +2.0 \\ +0.0 \\ +1.4 \\ +2.8 \\ +0.0 \\ +1.4 \\ +2.8 \\ +0.0 \\ +0.$
(1/0) 1000 1000 mA (1/k) AMB enginesi	phosphor converted T4M hype IV Medium 277 <sup>3</sup>	BBW Surface PIR ISIN® mount/ambient lobit sensor, <15' into h1     PIR     BBW THE PIR     BBM THE PIRM TH	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.5 +0.0 +0.5 +2.7 $*1.7 \times 1.0 \times 1.5 \times 2.8$
	1FTM Forward Ihrow 347 ** Medium 480 14	back box (for conduit entry) * PIRTEC3V Motion/ambient sensor, 0-15: mounting height, ambient sensor enabled at 16.* PIRETEC3V Motion/ambient sensor, 15-30' mounting height	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.2 +1.0 $\div$ 5 *1.1 $\div$ 8 *1.3 $\div$ 2.6 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0
		EZOWC Emergency battery backup (includes external comparent enclosure). LA Tote 20 compliant**	
A A A		routenieur euclosuelt en cue so continent.	+0.0 +0.0 +0.0 +0.0 + $\frac{1}{100}$ +0.0 + $\frac{1}{100}$ +0.0 + $\frac{1}{100}$ +0.7 *0.6 * $0.6$ * $1.1$ * $1.1$ * $2.4$ +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.
iens -	Finlen		+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0
Installed         Shipped separately           Single filose (120, 277 or 317V)         BSW           BSW         Bind-deterrent sp		Sandstone DWHGXD Textured white Textured dark binnize DSSTXD Textured sandstone	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.7 $\times$ 3.0 $\times$ 3.3 $\times$ 1.7 $\times$ 0.8 $\times$ 1.9 \times 1.9 $\times$ 1.9 $\times$ 1.9 $\times$ 1.9 $\times$ 1.9 \times 1.9 \times 1
Double Dise (208, 240 or 480V) VD VG Vandal guard House side shield <sup>(1)</sup> DDL Dithoed drop ler Separate sunge protoction <sup>(2)</sup>	DNAXD Natural aluminum DBLBXD IN DWHXD White DNATXD	Textured black Textured nouvral aluminum	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +1.3 $3.5$ $*1.6$ $+7$ $+10$ $R_{1.9}$
Accessories NOTES			$\begin{array}{cccccccccccccccccccccccccccccccccccc$
MVDLT driver operate     Single lose (SF) requir     MVDLT driver operate     Single lose (SF) requir     Single lose (SF) requir	ble with PIR, PIRH, PIRTEC3V or MIRHTEC3V, es on any lime voltage from 120 277V (50/60 Hz), es 120, 277 or 347 voltage option, Double fuse IDF) requires. C, 700mA or 1000mA. Not available with PIR or PIRH.	208, 240 or 480 voltage option.	+0.0 +0.0 +0.0 +0.0 $\mathbf{+}_{0.0}$ +0.0 + $\mathbf{+}_{0.0}$ +0.0 + $\mathbf{+}_{0.0}$ * $\mathbf{+}_{1.2}$ * $\mathbf{+}_{1.2}$ * $\mathbf{+}_{0.7}$ * $\mathbf{+}_{0.8}$ * $\mathbf{+}_{1.9}$
5 Back bax ships installe	ed on fixture. Cannot be field installed. Cannot be ordered as uires 120, 208, 240, 277 or 347 voltage option. Not available		+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.3 $*_{1.0}^{+0.0}$ $*_{1.1}^{+0.7}$ $*_{0.7}^{-0.5}$ $*_{0.5}^{-0.5}$ $*_{0.5}^{-0.5}$
8 Same as old ELCW. Cr available with 347 or 4 9 Not available with 527 10 Not available with E20	(\$0 voltage options. Emergency components located in back D.	applications. Not available with BBW mounting aprion. Not available with fusing. Nat box housing. Emergency mode IES files located on product page at	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
11 Also available us a sep 12 Not available with EX	parate accessory; see Accessories information. W/C		+0.0 $+0.0$ $+0.1$ $+0.1$ $+0.1$ $+0.1$ $+0.1$ $+0.1$ $+0.2$ $*0.2$ $*0.2$ $*0.2$ $*0.2$ $*0.2$ $+0.3$
	iyers, Georgia 30012 • Phone: T-800-705-SERV (73 Ughting, Inc. All rights reserved.	78) • DSXW1-LED Rev. 6/02/21	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
HOODTU			+0.0 +0.0 +0.1 +0.1 +0.1 +0.2 +0.2 +0.2 +0.2 *0.3 *0.3 *0.3 *0.3 *0 3 +0 3 *
			+0.0 +0.0 +0.0 +0.1 +0.2 +0.3 +0.3 +0.3 +0.5 *0.5 *0.4 *0.3 +0.3 +0.0 +0.0 +0.0 +0.0 +0.1 +0.2 +0.4 *0.6 *0.8 *0.8 *0.8 *0.6 *0.5 *0.4 *0.4 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.4 *0.5 *0.5 *0.5 *0.4 *0.5 *0.5 *0.5 *0.4 *0.5 *0.5 *0.5 *0.4 *0.5 *0.5 *0.5 *0.5 *0.4 *0.5 *0.5 *0.5 *0.5 *0.5 *0.5 *0.5 *0.5
			$\begin{array}{cccccccccccccccccccccccccccccccccccc$
	-Series Size 2	Catalog Number	$0.0 + 0.0 + 0.0 + 0.0$ $+ 0.0 + 0.0 + 0.1 + 0.5 \times 1.3 \times 1.7 \times 1.4 \times 1.1 \times 0.7 \times 0.6 \times 1.00 + 0.00 $
LE	D Area Luminaire	Notes	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
d"series	g 🥶 🎡 😪 lighting facts	Туро	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
	1	Introduction	0.0 + 0.0 + 0.0 + 0.0
		The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
ations		statement even as it blends seamlessly with its environment.	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0
40° 100 4 5	w w	The D-Series distills the benefits of the latest in LED technology into a high performance, high	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0
15* (30 Leve) 7-1/4*		efficacy, long-life luminaire. The outstanding photometric performance results in sites with	
3.5*	H H	excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for	
36lbs.		replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.	
		The subserve service of ever recipion routs	General
			1. SEE S
A+ Capable options indicated by this solor background.			2. CALC 3. LIGH
ring Information	EXAMPLE: DSX2 LED	P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD	RESUBMI
)	Devilouter	Valence Domitien	THE ENG
D Forward optics 30% 3000 k	T1S type (Short ISVS Type V Very Short	Valtage Mounting MVOLT <sup>1</sup> Shipped included	REPRESE TAKEN U
P1 P5 40K 4000K P2 P6 50K 50KK	T2S         type II Short         TSS         type V Short           T2M         Type II Medium         TSM         Type V Medium	120 <sup>4</sup> SPA Square pole mounting 208 <sup>4</sup> RPA Round pole mounting	ILLUMINA PERFORM
P3 P7 P4 P8	T3S Type III Short TSW Type Y Wide T3M Type III Medium BLC Backlight control	240 * WBA Wall bracket 277 * SPUMBA Square pole universal mounting adaptor	VARIATIO

	P4         P8           Rotated optics'           P10         P13           P11         P14           P12         P12		T3M Type III Medium BLC Backlight con T4M Type IV Medium LCCO Left cornersu. TETM Forward Throw RCCO Right corner. Medium	utoff \$47*	SPUMBA RPUMBA Shipped separ KMA8 DOBXD U	Round pole un ately	nersal mounting adaptor ( versal mounting adaptor ) nting bracket adaptor (specify finish
lamra) ap	Dánn L			Other againts		Junit (-	
Shipped I NLTAIR2 PIRHN PER PER5 PER7 DMG DS	Installed In Light AIR generation 2 enabled ( Heavord, Bi-Lovel motion (ambient sensor) (IERV) (wise dock receptor le only (no controls) ( Five-wine receptor le only (no controls) ( Serve-wine receptor le only (no controls) ( G-10V during extend out back of housing for external control (no controls) ( Divid witching.	pirh Faq	81-level, motionVamblent sensor, 15-30'mounting beight, ambient sensor enable at 5ft Field Adjustable Output "		shield <sup>(5)</sup> (120, 277, 3477() <sup>1)</sup> (208, 240, 4807() <sup>4</sup> optics <sup>1</sup> doptics <sup>1</sup> ety	DDBKD DBLXD DNAXD DWHXD DOBTXD DBLBXD DHATXD DWHGXD	Dark bronze: Black Natural aluminum White Textured dark bronze Textured black Textured black Textured matural aluminum Textured white

COMMERCIAL OUTDOOM

DSX2-LED Rev. 09/12/17 Page 1 of 6

# +0.0 +0.0 +0.0 +0.0 +0.1 +0.1 +0.5 \*1.0 \*0.5 \*0 2 +0.1 +0.0 +0.0 +0.0 +0.0 +0.0 +0.2 +1.5 39 \*1.8 \*0.7 \*0 2 +0.1 +0.0 +0.0 +0.0 +0.0 +0.0 +0.1 \*0.4 \*0.6 \*0.5 \*0.3 \*0.3 \*0.7 +0.0 +0.0 +0.0 +0.0 +0.1 +0.1 +0.1 \*0.3 \*0.3 \*0.3 \*0.3 \*0.3 \*0.3 \*0.5 +0.0 +0.1 +0.1 +0.1 +0.1 \*0.2 \*0.2 \*0.2 \*0.2 \*0.2 +0 +0.0 +0.0 +0.0 $\stackrel{+0.1}{\underset{+0.1}{\overset{+0.$ +0.0 +0.0 +0.0 +0.1 +0.5 \*1.3 \*1.7 \*1.4 \*1.1 \*0.7 \*0.6

General Note 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT. 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0" 3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

HEIGHT.

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FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

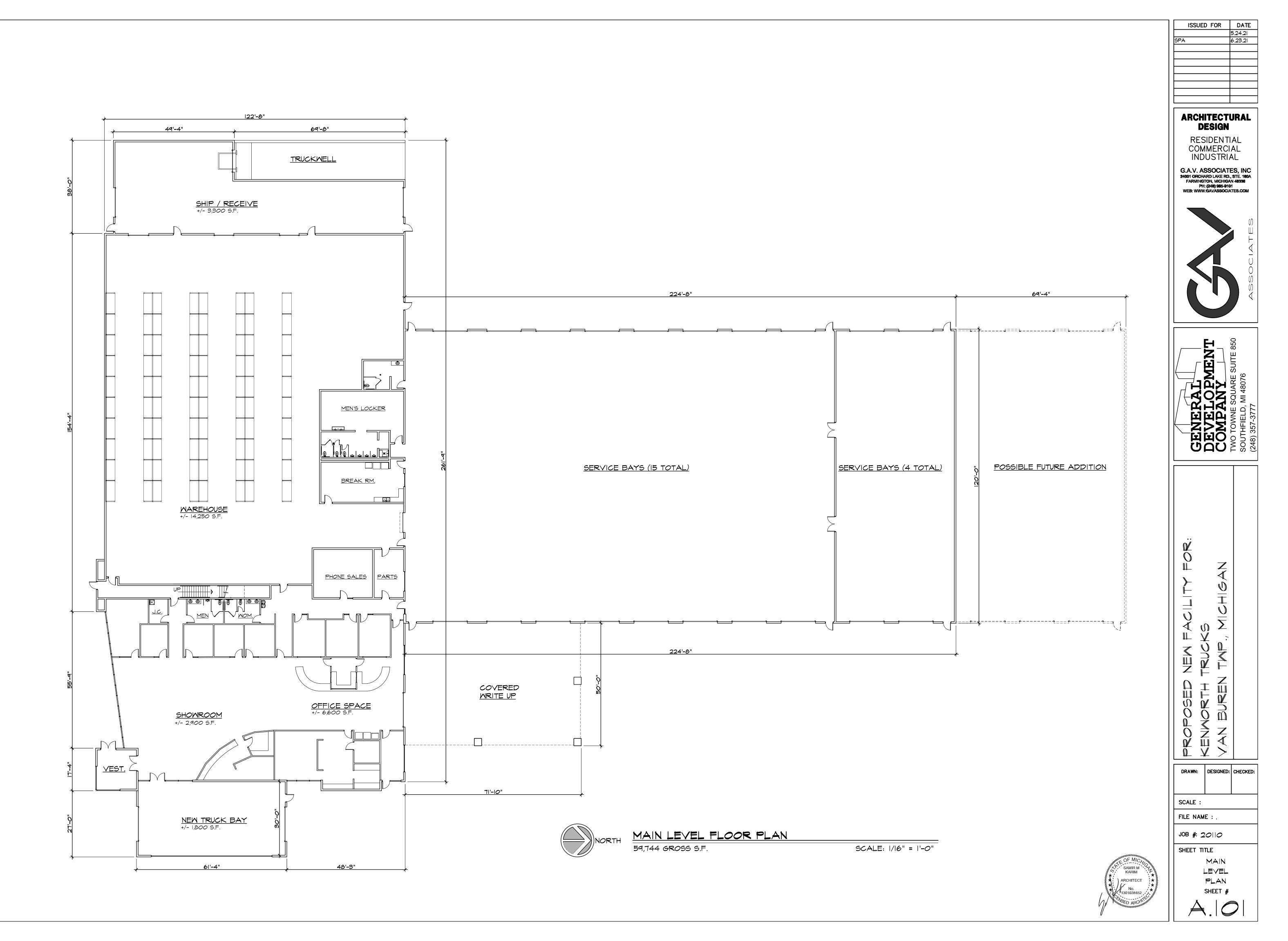
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE

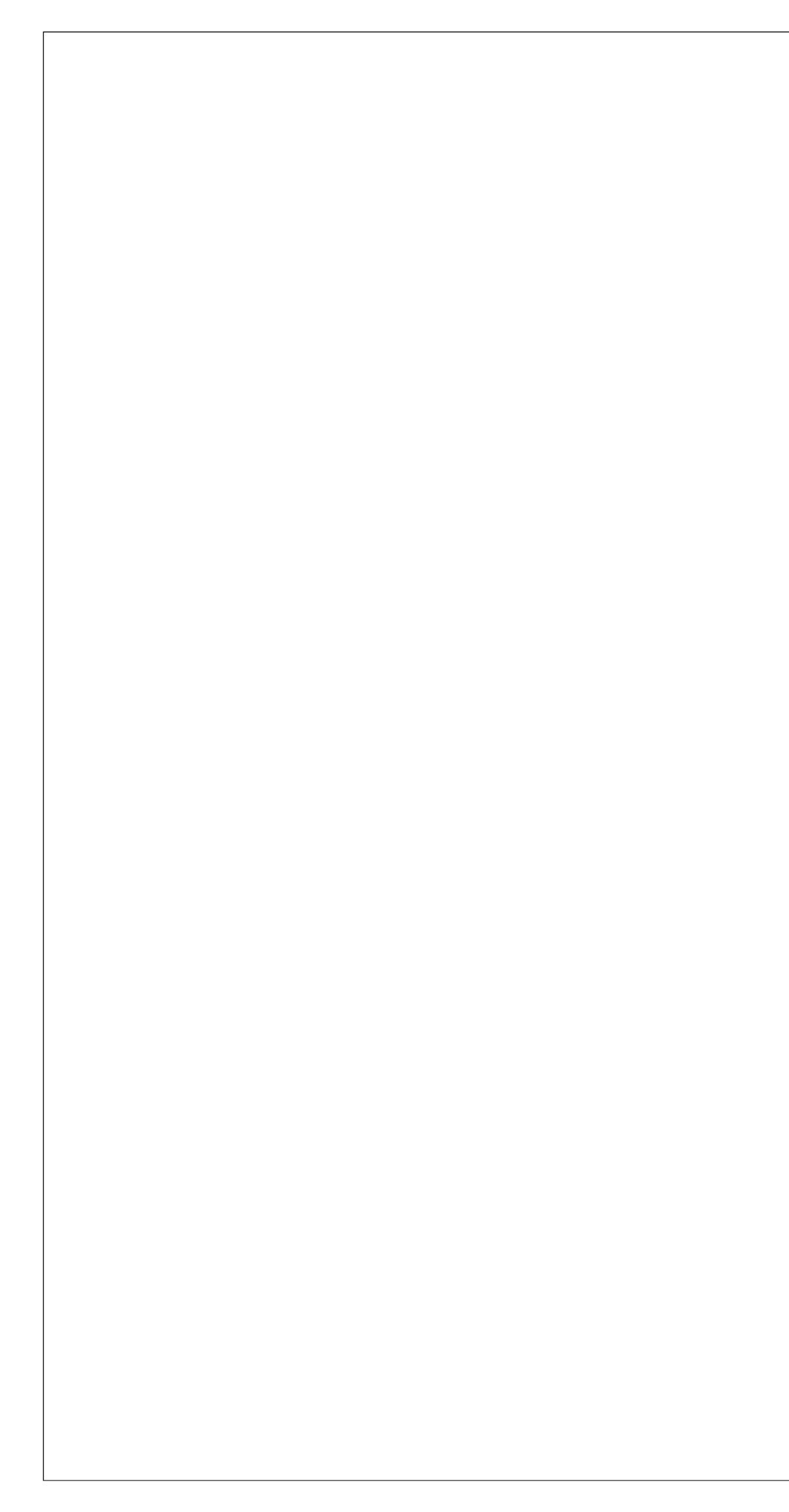
Schedule		1				
Symbol	Label	Quantity	Manufacturer	Description	Lamp	МН
	Α	33	Lithonia Lighting	DSXW1 LED	LED	14'
	В	7	Lithonia Lighting	DSX2 LED	LED	25'
- -	С	7	Lithonia Lighting	DSX2 LED	LED	25'
•	D	2	Lithonia Lighting	DSX2 LED	LED	25'

Statistics							
Description	Symbol	Avg	Мах	Min	Max/Min	Avg/Min	Avg/Max
PARKING AND DRIVES	Ж	1.2 fc	6.7 fc	0.1 fc	67.0:1	12.0:1	0.2:1
SITE	+	0.6 fc	7.2 fc	0.0 fc	N/A	N/A	0.1:1
PL	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A	0.0:1

9

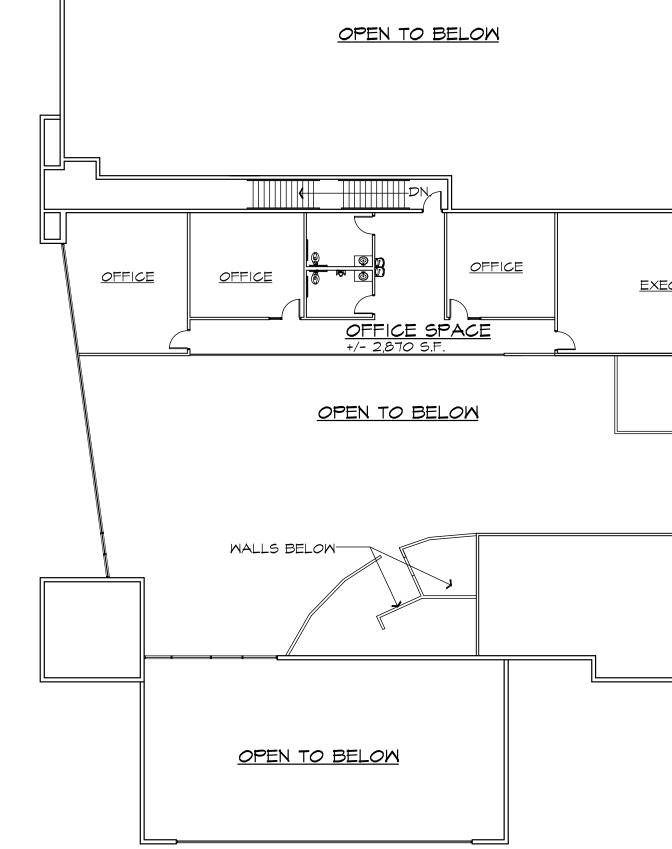
Designer nae Date 06/22/2021 Scale Not to Scale Drawing No. #21-63642 V2 1 of 1







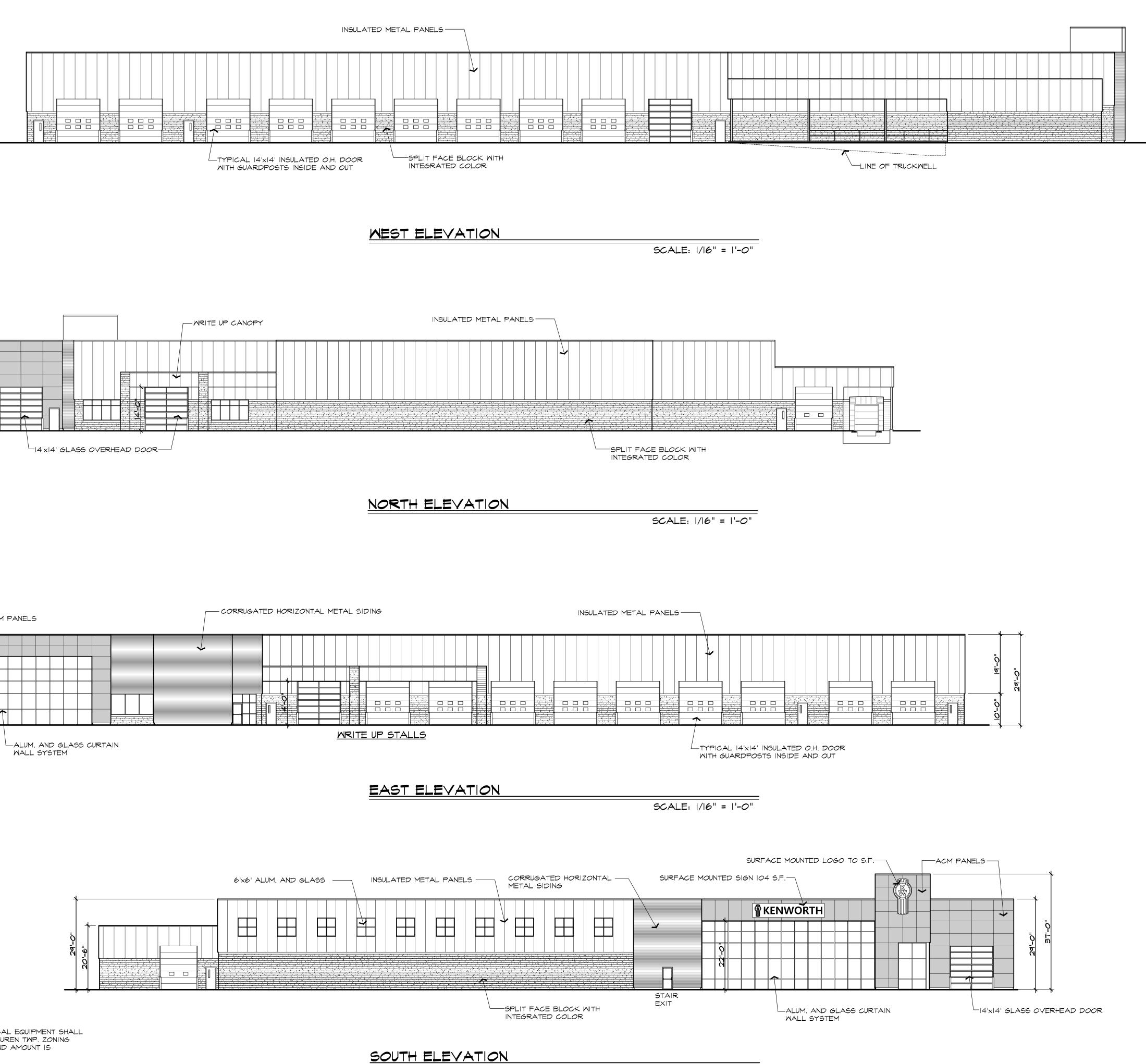
NORTH UPPER LEVEL FLOOR PLAN

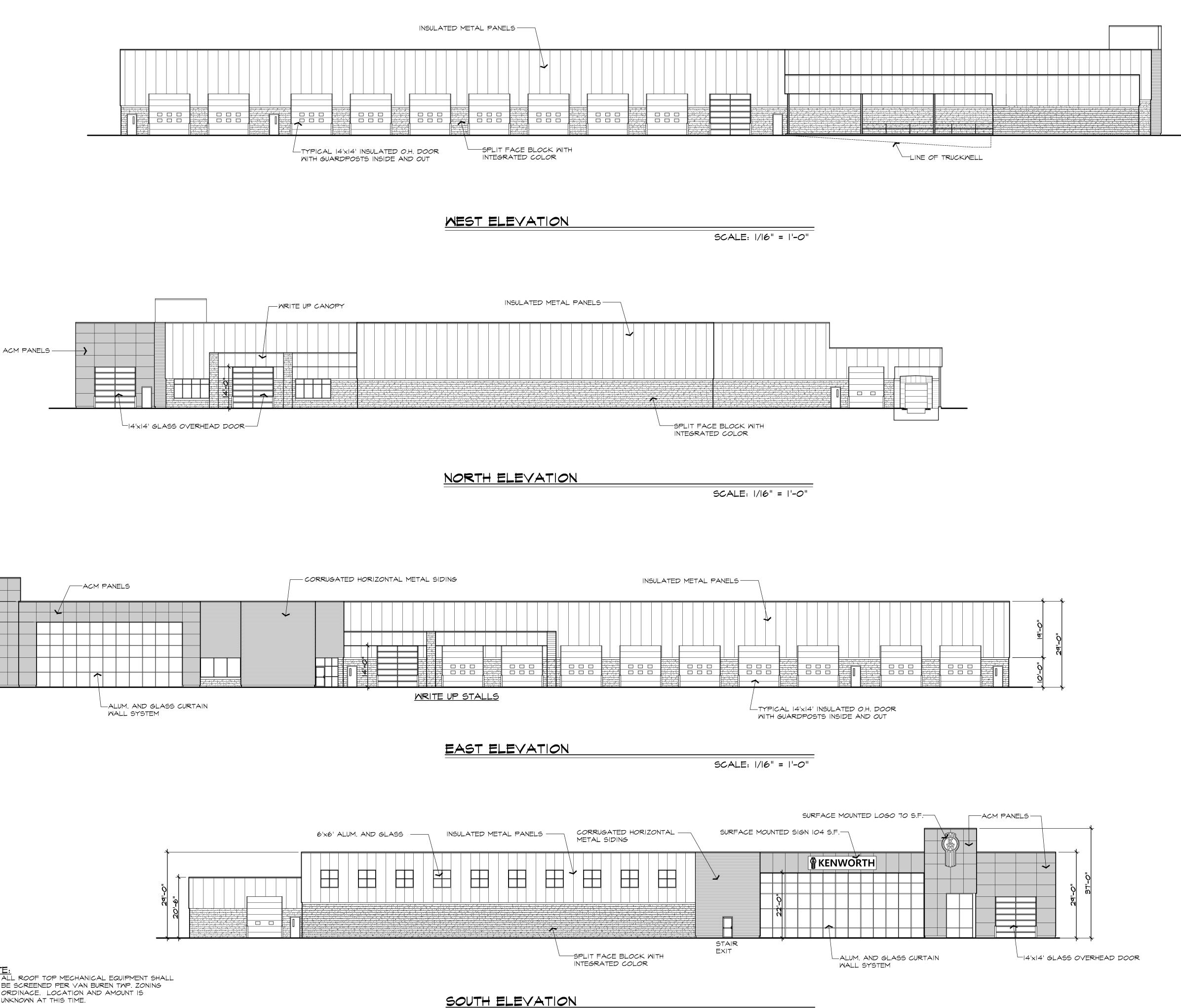


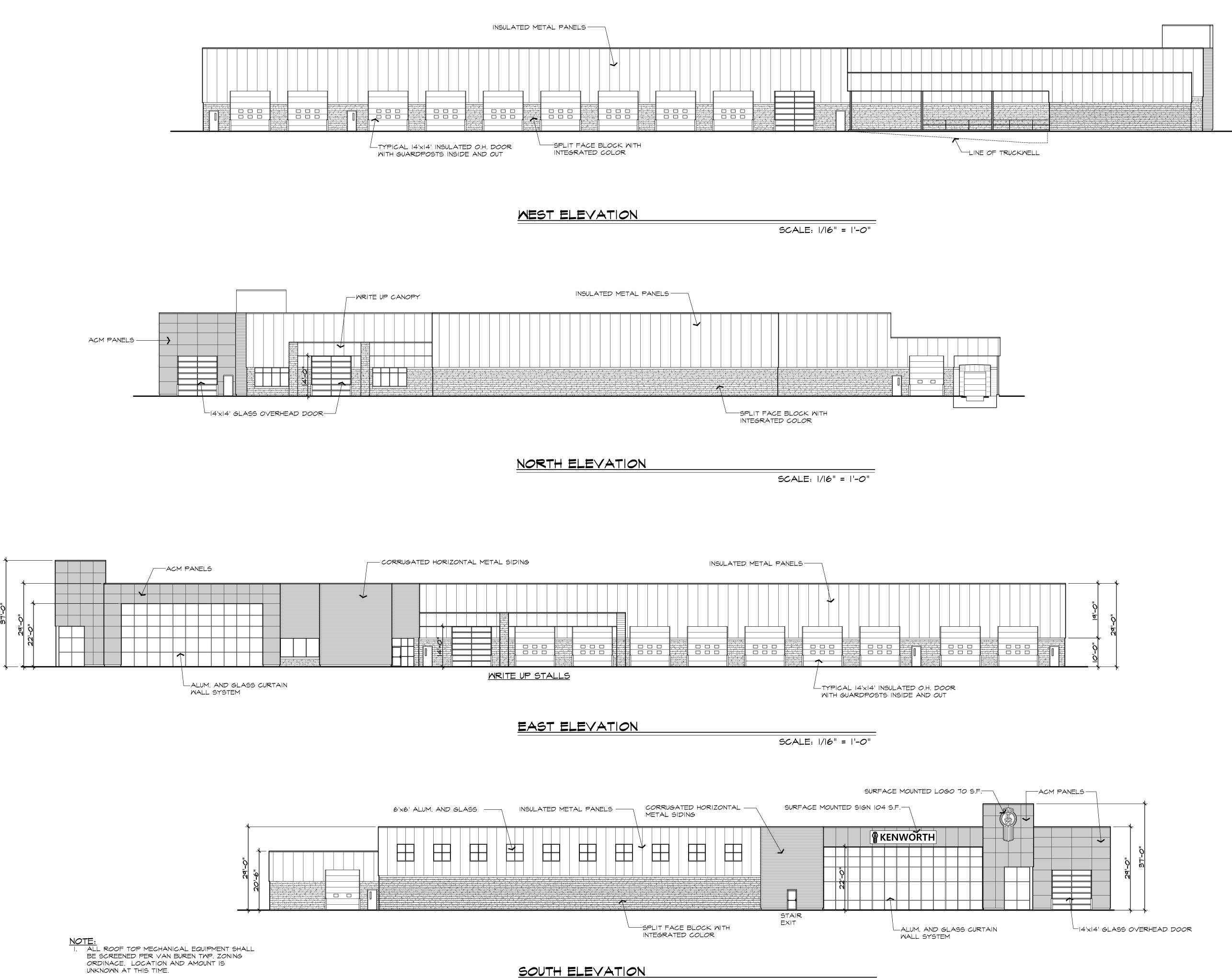
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	ASSOCIATES
GENERAL DEVELOPMENT COMPANY	TWO TOWNE SQUARE SUITE 850 SOUTHFIELD, MI 48076 (248) 357-3777
PROPOSED NEM FACILITY FOR: Kennorth trucks Van Buren TMP., Michigan	
DRAWN: DESIGNED	: CHECKED:
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FILE NAME : .	
JOB #: 20110	
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MAIN Level	
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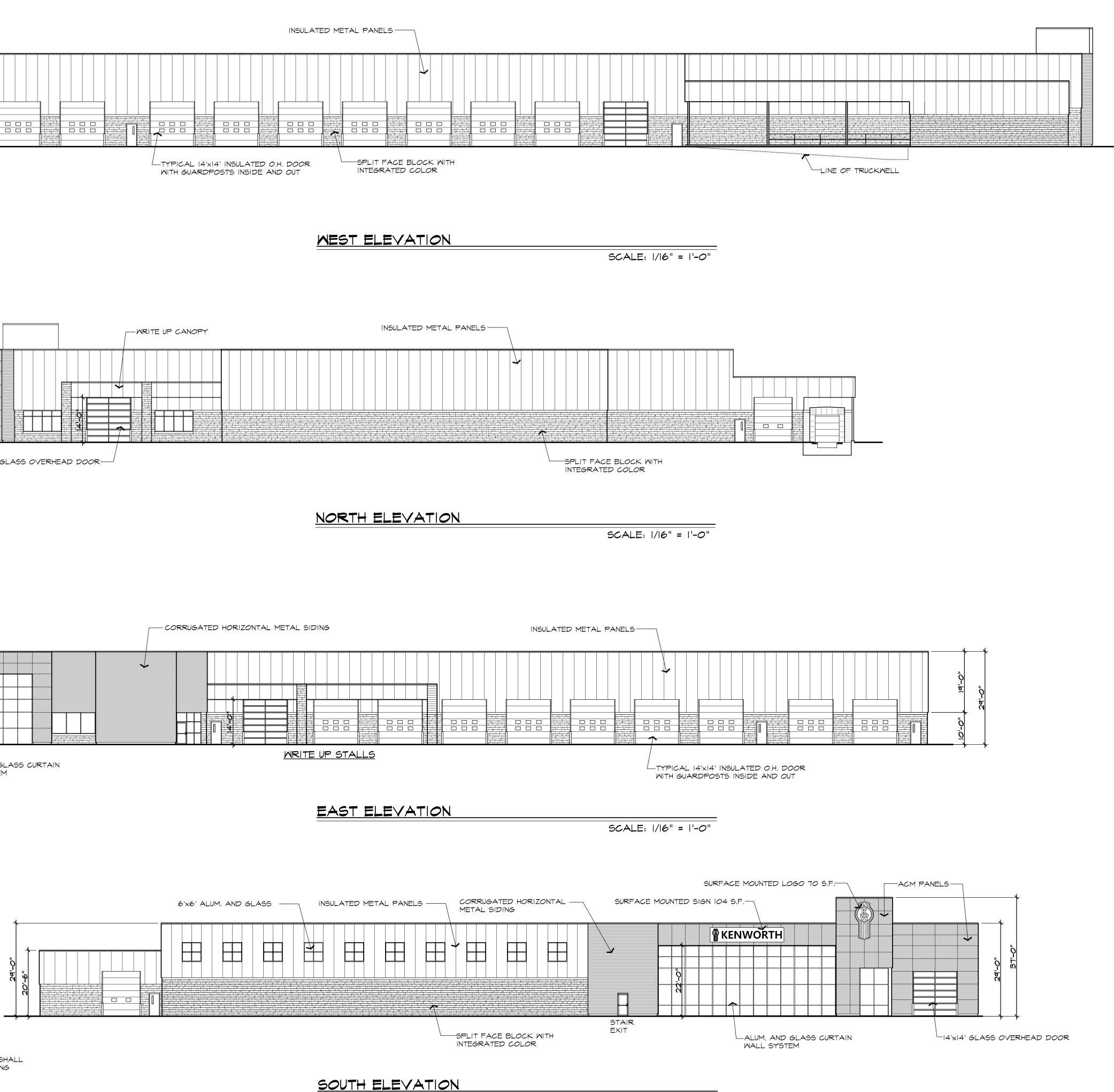
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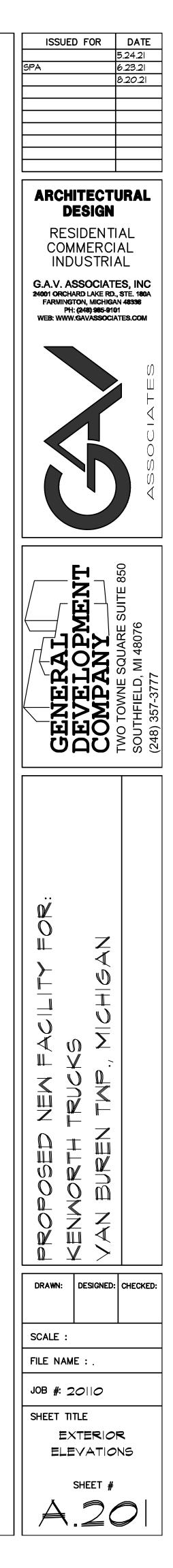


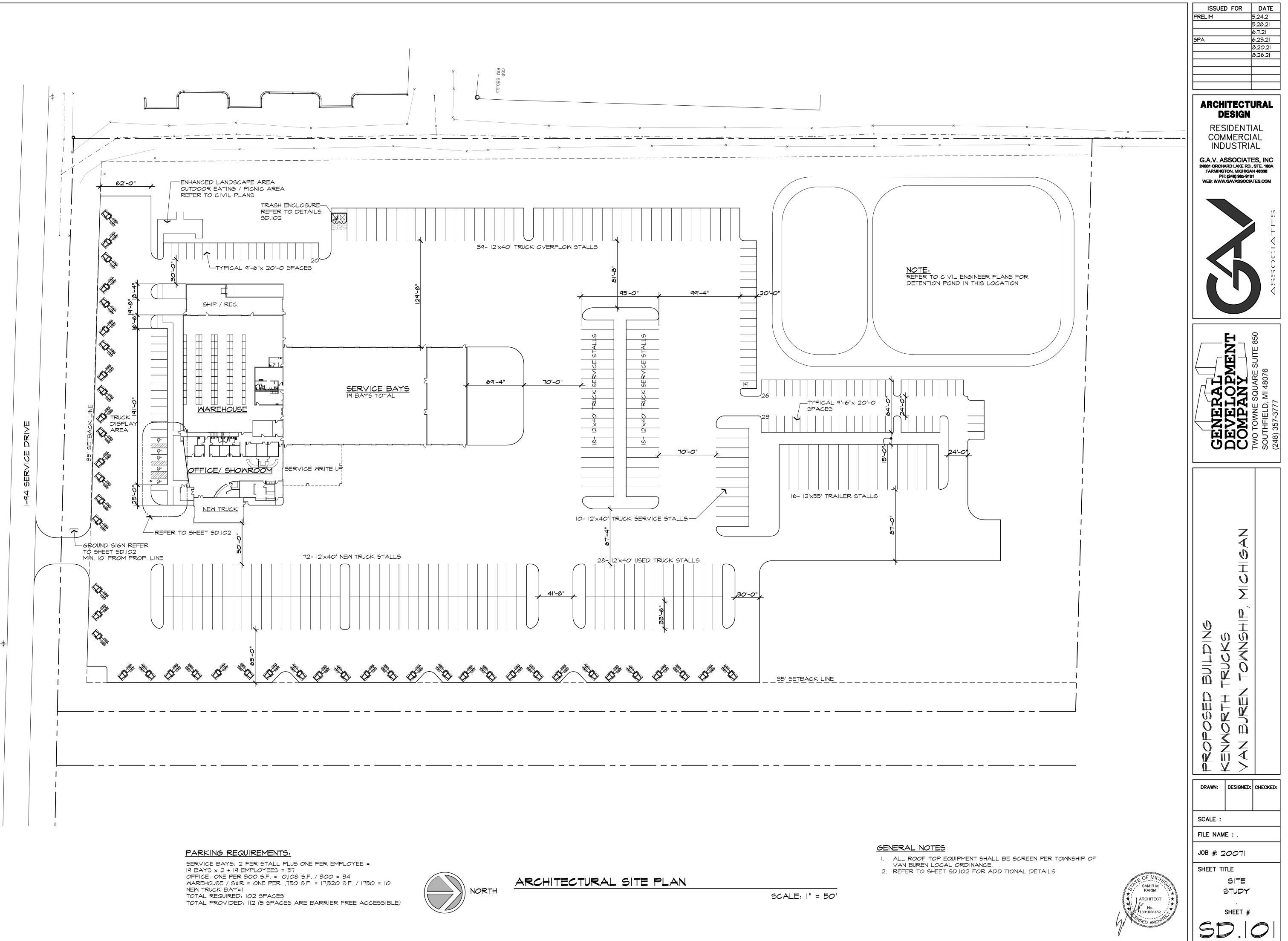


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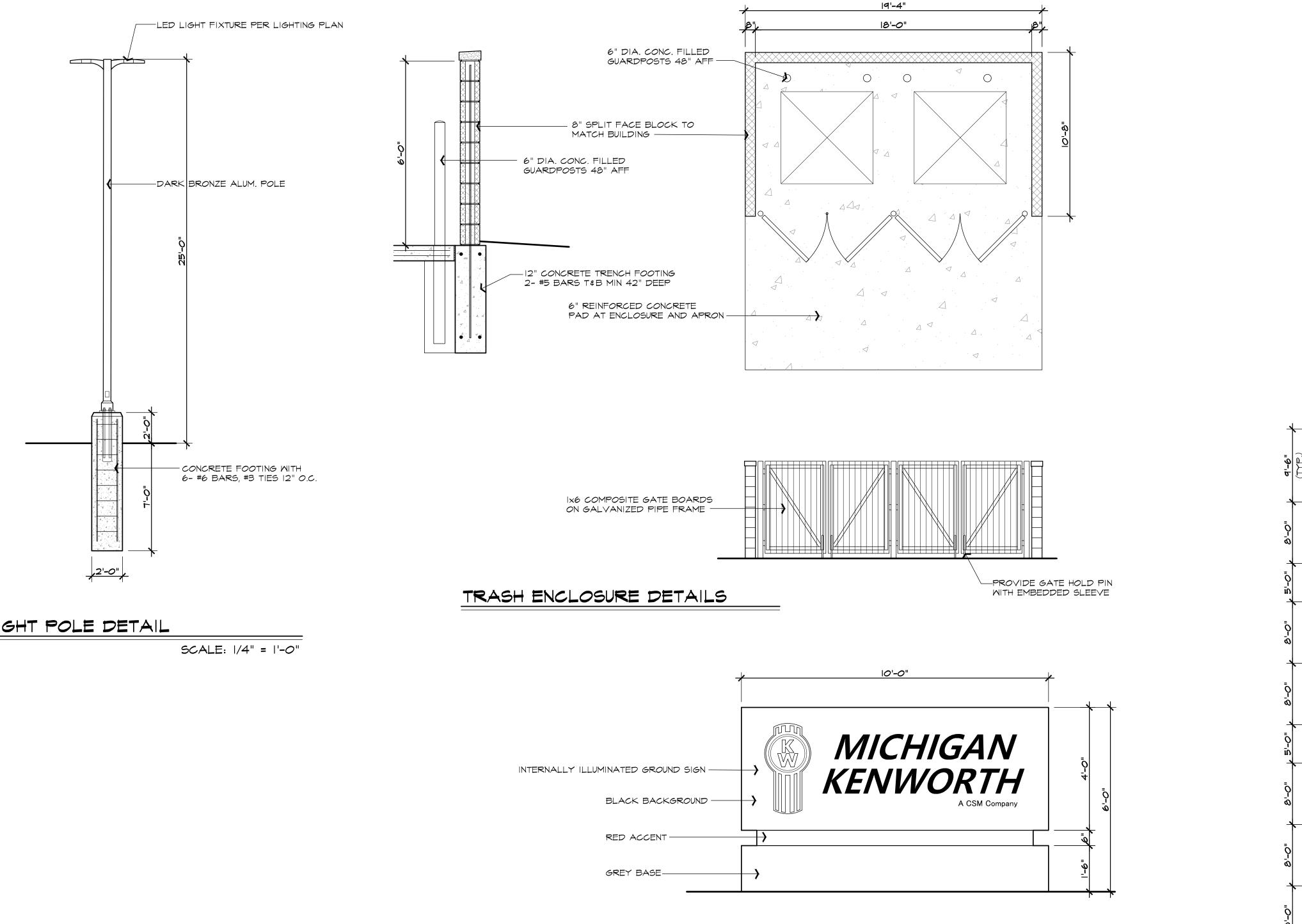
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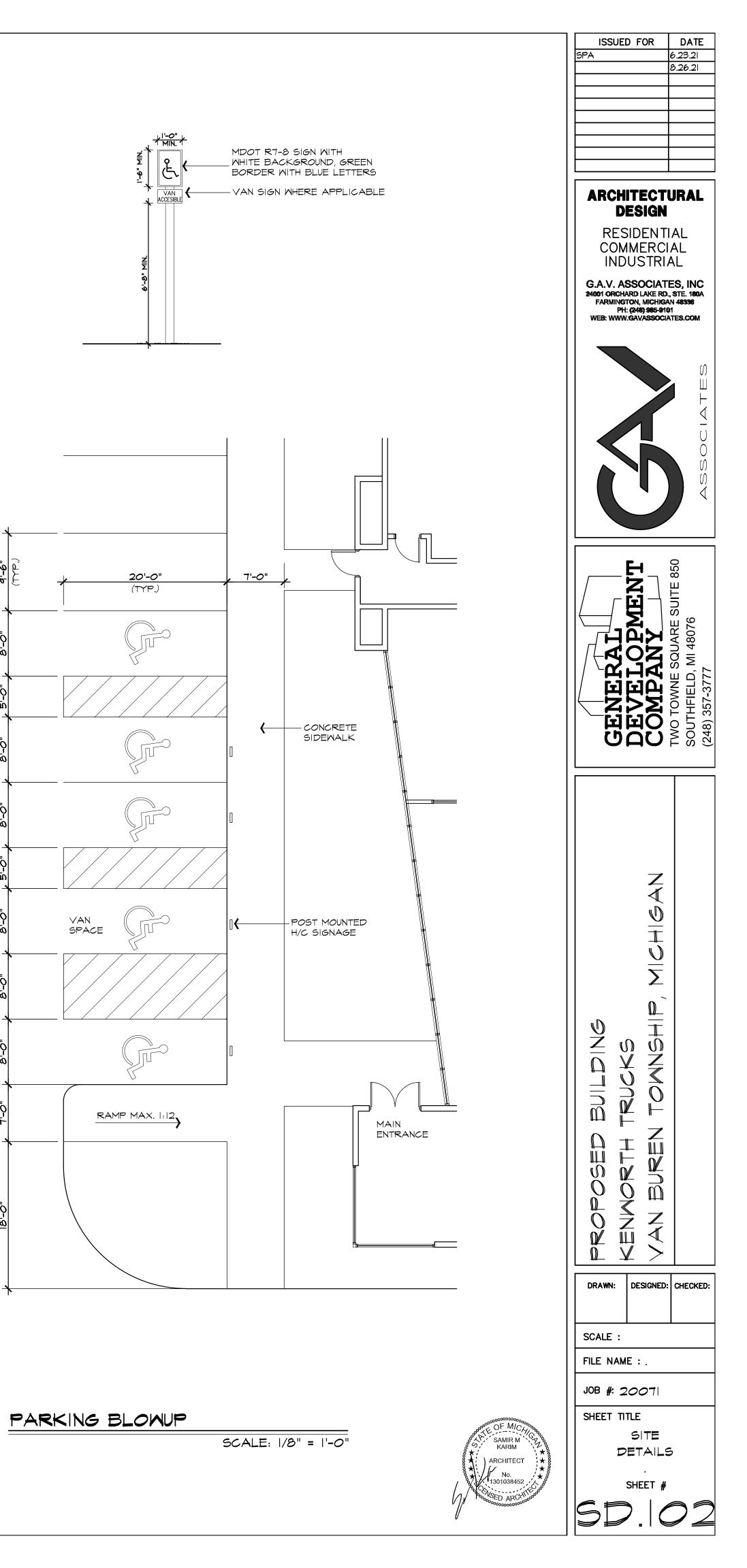




LIGHT POLE DETAIL

TWO SIDED GROUND SIGN DETAIL SCALE: 1/2" = 1'-0"





Case number VBT 21-021	Date Submitted July 29, 2021
APPLICANT IN	FORMATION
Applicant General Development Com	Anhone 243 351 3377
Address Two Towne for Soile 85	
City, State SouthField, MT	_2ip 48070
Email teresabelgendev.com	Cell Phone Number 248 231 3615
Property Owner Belleville North V (150)	_Phone 248 988 8100
Address 110 28580 Orchard Lake KI	Fax
City, State Terror 2	Zip 4833 4 Phone 248 2313415
Address TO TOUCL SDUNCE SUITE 850	Phone 24.0 201015
City, State Southfield, MI	zip 48076
SITE/ PROJECT IN	
Name of Project Kenworth Sales Fac	211144
Parcel Id No. V125-83- 060-99-0002-001	
Attach Legal Description	· · · · · · · · · · · · · · · · · · ·
· · · · · · · · · · · · · · · · · · ·	VICE. Road; Between BelleVille Road
and Morton Taylor Road. Dr	Size of Lot Width TOD B Depth 1244.31
Acreage of Site Total Acres of Site to Review	· · · · · · · · · · · · · · · · · · ·
Project Description: New COnstruction C	project for Knowarth
~ (23,000 Baft facility.	
Is a re-zoning of this parcel being requested? <u>NO</u>	YES (if yes complete next line) NO
Current Zoning of Site <b>C * 2</b>	Requested Zoning
SPECIAL PERMIT IN	NFORMATION
Does the Proposed Use Require Special Approval?	YES (if yes complete next line) NO
Section of Zoning Ordinance for which you are applying 5.1	
Is there an official Woodland within parcel? No	Woodland acreage
List total number of regulated trees outside the Woodland area?	Total number of trees
Detailed description for cutting trees There are no	Known trees required
to be removed on site.	-
If applicable application MUST be accompanied with a Tree Surv	그 가지 그는 것 같아요. 이 같아요. 한 것 같아요. 한 것 같아요. 한 것
requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, a	
OWNER'S AFF	IDAVIT
Dollarla Aboth Marsh Vertures 11 C	
Peter Ne North Marsh Vertures, LLC	Authoried the f
	in ex in
Autorned kard	7-22-2021
Signature of Property Owner	Date 、
STATE OF MICHIGAN COUNTY OF MANNE COMMAN	

Subscribed and sworn before me this and day of Dury 20 M.	Q-17 - 74
Wane Elizabeth Bean Notary Public, Oakland County, Michigan	My Commission expires <u>7-21</u> , 20,24
Diane Elizabeth Lees	AF# 1736/48



**MEMO** 

TO:Van Buren Township Planning CommissionFROM:Dan Power- Director of Planning and Economic DevelopmentRE:Case 21-021: General Development Company, LLC - Special<br/>Land Use and Preliminary Site Plan RequestDATE:October 6, 2021

The Planning Commission will review the request by applicant General Development Company, LLC on behalf of owner Belleville North Marsh Ventures, LLC to construct a 59,820 sq. ft. building with related site improvements for an outdoor vehicle sales and vehicle showroom uses with accessory vehicle repair and service. The proposed use is specifically for the sale and repair of Kenworth trucks. The site is zoned C-2 (Extensive Highway Business District). Outdoor Vehicle Sales and vehicle Service (minor) is a special land use in the C-2 Zoning District. The roughly 20-acre site includes portions of two parcels on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

The Planning Commission's packet for this request contains a completed application form, reports from the Township Planning Consultant, the Township Engineer, and the Township Fire Marshall. The packet posted to the Township's website contains a full 19-page set of civil and architectural plan drawings along with colored renderings of the site and building. The hard copy version of this request contains an abridged version of this plan set.

Vehicle sales activities, including truck sales, along with accessory repair uses, are permitted in the C-2 zoning district, whereas truck repairs as a standalone use are only permitted in the industrial zoning districts. It is therefore critical to establish the prominence of new truck sales and display uses on the site relative to truck repair activities. Based on our communications to date, the applicant understands and agrees to this and is willing to provide additional information to clarify these limits within their site plan. I therefore recommend the following conditions of approval to be met prior to the Van Buren Township Board of Trustees' consideration of special land use approval:

- Via either notes on the site plan or a letter in CSM / Kenworth letterhead, the applicant shall submit a description of revenue splits for new truck sales, new truck parts sales, and truck service sales. This data may either be gathered from a comparable facility or as an estimate for the subject site.
- The applicant shall submit an addendum to the site plan which shows trucks parked for service as being limited to areas to the north of the proposed building or west of the building adjacent to its service bays.
- The applicant shall note that at no time will trucks parked on the site for service purposes exceed 50% of truck parking.
- The applicant shall note that no dismantled truck parts will be stored outdoors.

If the Planning Commission recommends approval of the preliminary site plan, the project will proceed to the Township Board of Trustees for their consideration of special land use approval. If special land use approval is granted, the project will be reviewed by the Wayne County Department of Public Services (WCDPS). Pending their approval, the project will undergo a final review by the Township Engineer and final site plan review by both the Township Engineer and Planning Consultant. Pending their recommendation, the project will return to the Planning Commission for their consideration of final site plan approval. Prior to construction, the proposed lot configuration must also be formalized by an approved land split application through the Township Assessor's office.

I look forward to assisting with this review. Thank you for your consideration.

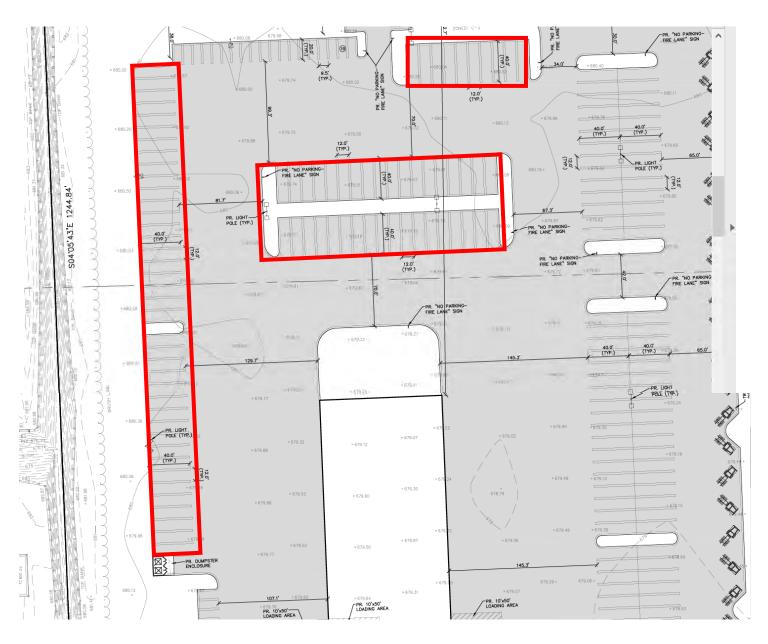
Sincerely,

Dan Power, AICP Planning and Economic Development Director Public Services Department Charter Township of Van Buren

CC: Matthew Best, M.S. - Public Services Director, Van Buren Charter Township Bruce Brickman and Teresa Bruce, applicants – General Development Company, LLC Jeff Minter, applicant – CSM Companies, Inc.

#### Staff Recommendation: Limits on Parking for Trucks in Service

October 6, 2021







September 22, 2021

Planning Commission Charter Township of Van Buren 46425 Tyler Road Belleville, Michigan 48111

#### VBT-21-021; SPR & SLU, Kenworth / CMS / I-94 N. Service Drive; Special Land Use Review Subject: #1; Revised Site Plans Dated August 26, 2021.

Dear Commissioners:

The applicant, General Development Company, proposes to construct a new 59,820 square foot Kenworth facility for truck sales and repair. The site is located on the north side I-94 North Service Drive, between Dewitt and Morton Taylor Roads and has a development area of approximately 20 acres. Section 3.112 of the Zoning Ordinance permits Outdoor Vehicle Sales as a special land Use in the C-2 District.

We have reviewed the special land use request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

#### **Special Land Use Review Comments**

Section 12.306 of the Zoning Ordinance sets forth criteria for the Planning Commission to consider when reviewing special land use proposals. Following is our review of each criterion:

1. Will promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activity; for those landowners and residents who are adjacent; and for the Township as a whole.

The subject site is vacant piece of land abutting a major freeway. The proposed use is in keeping with the heavier intensity commercial uses envisaged for this area. Therefore, we find that the proposed use will promote the use of land in a socially and economically desirable manner. Any impacts resulting from the site improvements on the adjacent properties will be mitigated through setbacks, landscaping and screening, which are reviewed in our site plan review letter under separate cover.

#### 2. Is necessary for the public convenience at that location.

The site is in proximity to I-94 and Belleville Road, making it accessible to residents and regional level customers alike.

#### 3. Is compatible with adjacent uses of land.

The subject site is to be split off from a larger parcel and will abut vacant land to the north and east. To site abuts National RV to the west with outdoor storage and Camping World is located just east of the parent parcel. The outdoor storage on the subject site is similar to these existing uses. Any potential impacts will be mitigated with the proposed landscaping that is further discussed in our site plan review letter. Therefore, the use is compatible with adjacent uses of land.

HEADQUARTERS 235 East Main Street Suite 105 Northville, Michigan 48167 MCKA.COM

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4. Is so designed, located and proposed to be operated that the public health, safety and welfare will be protected.

The proposed site changes involve several significant improvements including the eventual construction of a sidewalk along N I-94 Service Drive frontage, which will enhance public health, safety, and welfare.

- 5. Can be adequately served by public services and facilities without diminishing or adversely effecting public services and facilities to existing land uses in the area. The applicant is working with the Township Engineer to meet all utility requirements.
- 6. Will not cause injury to other property in the neighborhood in which it is to be located. It is not anticipated that the proposed use will cause injury to other property in the neighborhood in which it is to be located. As noted previously, the building is located near other similar uses and will be screened by a required landscaping on site.
- 7. Will consider the natural environment and help conserve natural resources and energy. No trees of 5-inch caliper or larger are proposed to be removed and we find this meets the intent of this standard.
- 8. Is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located and meets applicable site design standard for special approval uses.

The proposed use of outdoor vehicle sales is within the provisions of uses requiring special approval, and is in harmony with the purposes and conforms to the applicable regulations of the C-2 zoning district and meets applicable site design standard for special approval uses.

9. Is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.

The proposed outdoor vehicle sales is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.

**Specific Approval Criteria for Outdoor Vehicle Sales [Section 5.133]**: Outdoor Vehicle Sales are permitted as a Special Land Use in the C-2 District, and is subject to the following use specific standards:

- All vehicles in an outdoor sales lot shall be operable. <u>The applicant has added a note saying all vehicles in an outdoor sales lot should be operable. We</u> recommend the wording be revised to state 'shall' instead of 'should' to ensure no inoperable vehicles <u>are in the outdoor sales lot</u>.
- The use shall meet all applicable requirements of Section 9.104 in regards to lot surfacing, drainage, protective curbing and adequate means of ingress and egress. The proposed site plan complies with the Ordinance requirements for parking lot layout and design and complies with requirements of Section 9.104 as referenced in the site plan review letter.



3. Access to the outdoor sales area shall be at least one hundred (100) feet from the intersection of any two (2) streets.

The access to the lot is well over one hundred (100) feet from the intersection of any two streets.

- 4. No major repair or major refinishing shall be done on the lot. The applicant has included a note stating no major repair or major refinishing shall be done on the lot.
- 5. No used auto parts may be displayed or sold on the lot. The applicant has included a note stating no used auto parts may be displayed or sold on the lot.
- 6. Motor homes, mobile homes, or other large vehicles shall not be displayed in the front yard unless the vehicle is new.

The site plan shows only display trailers within the front yard; <u>however</u>, <u>a clarification note should be</u> <u>added stating that no large vehicles will be displayed in the front yard unless the vehicle is new</u>.

- All lighting shall meet the requirements of Section 8.105 and shall be shielded from adjacent residentially used or zoned districts. Comments addressing lighting are discussed in the site plan review letter.
- 8. An obscuring opaque wall or fence, of one (1) color only, five (5) feet in height and of fireresistant construction must be provided on lot lines which abuts districts which are zoned for residential use. The actual type of wall or fence shall be determined by the Planning Commission. The site does not abut any residentially zoned or used properties.
- 9. A permanent, enclosed office building for records and supervision for a use permitted in this Section shall be provided on the same site.

An enclosed office if proposed with the floor plan.

#### Recommendation

The proposed use meets the general standards for consideration of special land use approval, and most of the specific standards related to outdoor vehicle sales. Therefore, we recommend that the Planning Commission recommend approval of the proposed special land use to the Township Board of Trustees, subject to the following conditions which can be addressed on the site plan:

- 1. Correction of the notation regarding inoperable vehicles are in the outdoor sales lot.
- 2. Verification that no large vehicles will be displayed in the front yard unless the vehicle is new.
- 3. Site plan approval.



Respectfully, **McKENNA** 

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Vidya Krishnan Senior Principal Planner

Hunter Writekill

Hunter Whitehill Associate Planner

c: Dan Power, Van Buren Township Director of Planning and Economic Development Matt Best, Van Buren Township Director of Public Services Paul Kammer, FTCH, Township Engineer David McInally, Van Buren Township Fire Chief





September 22, 2021

Planning Commission Charter Township of Van Buren 46425 Tyler Road Belleville, Michigan 48111

#### Subject: VBT-21-021; SPR & SLU, Kenworth / CMS / I-94 N. Service Drive; Site Plan Review #2 Revised Site Plans Dated August 26, 2021.

Dear Commissioners:

The applicant, General Development Company, proposes to construct a new 59,820 square foot Kenworth facility for truck sales and repair. The site is located on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads and has a development area of approximately 20 acres. We have reviewed the site plan based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are <u>underlined</u>):

#### COMMENTS

- 1. Zoning and Use. The site is currently zoned C-2 (Extensive Highway Business District). Section 3.112 of the Zoning Ordinance permits Outdoor Vehicle Sales as a special land Use in the C-2 District. Minor vehicle repair is also permitted as a special land use. Our comments on the request for special land use approval are in a letter under separate cover.
- **2. Required Information.** The revised site plan includes all the information required per Section 12.203 of the Zoning Ordinance with the following exception:
  - Notation of any required Township, County, or State permits.
- **3.** Lot. The parent parcel has a total area of 68 acres, and the applicant is proposing a lot split to make the site a 20-acre lot. The legal description is included with the tax parcel ID number. <u>The proposed lot split will be made a condition of approval</u>.
- 4. Dimensional Requirements. There is no required minimum lot size in the C-2 District.

The minimum required front, rear, and side yard setbacks per Section 4.102 of the Zoning Ordinance are 35 feet, 20 feet, and 25 feet, respectively. The proposed building complies with the minimum setbacks for the C-2 District.

Maximum permitted building height in the C-2 District is 4 stories and 40 feet. At its tallest point the building is proposed to be 37 feet, in compliance with the Ordinance requirements.

#### 5. Access and Circulation.

**a.** Location of Curb Cuts. The plan proposes a single 32-foot-wide access drive to the site from I-94 N Service Drive. The applicant has submitted a truck circulation diagram. The proposed truck circulation appears to be satisfactory but is subject to review and approval by the Fire Department and Township

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Engineer. The area on the south (front) side of the building is not intended as a pathway for trucks but is shown as an area where trucks can maneuver, if required.

**b. Cross Access.** The Master Plan for the Township envisions a road through the parent parcel to the north end and then connecting to the west to provide access to and development opportunities for those parcels. While we understand that the road would likely be the responsibility of the landowner, the applicant must keep the establishment of such a roadway in mind and design the subject site to comply with any setbacks and greenbelt requirements along the secondary roadway in the future too.

The applicant has stated that cross access to the other parcels is not feasible owing to liability issues for the site; however, sheet SP-3 shows a stub ending on the north end of the site. The purpose of the stub is unclear of cross access is not intended. The applicant had agreed to show a future access drive connection along the east side of the property, to connect to the future roadway. However, this connection is not shown on the revised plan and must be included.

**c. Sidewalks.** The site plan includes a 5' sidewalk along the site's I-94 Service Drive frontage but stops short of the west property line. The applicant has stated that the grade changes along an existing county drain at the southwest corner of the site makes the sidewalk almost impossible to install. <u>The Township Engineer has noted that a sidewalk connection of some form is feasible and not impossible. However, since there is no sidewalk to the west at this time, the applicant has indicated their willingness to pay in a Township sidewalk fund for construction of the sidewalk at a future date. This deferral is subject to approval by the Planning Commission, if it is determined during detailed engineering that the installation of the sidewalk cannot be reasonably accomplished.</u>

The plan proposes an employee patio area on the west side of the building. Crosswalk connections must be shown to the patio and from the front parking lot to the building entrance. Location of barrier free ramps must also be labeled.

#### 6. Parking and Loading.

- **a. Space Dimensions.** Parking spaces on the site are dimensioned at 9.5 feet wide by 20 feet long. Van Buren Township requires parking spaces to be double striped, which is now shown on the plans. The site plan includes numerous trailer parking spaces 12' x 40' with some being 12' x 55'. These spaces are also shown with double striping.
- b. Number of Parking Spaces. The parking requirement is one (1) space per 200 sq. ft of gross floor space of interior sales room, one per 300 sq. ft of office space, two (2) per auto service stall in the service room and one per employee. The plan notes 19 service stalls and 19 employees, resulting in the need for 57 spaces. The office area requires a total of 22 spaces and the showroom area requires a total of 15 spaces. The floor plan also notes 17,550 sq. ft. of "warehouse space". Per the applicant, this area is designated for 'parts storage' associated with the truck repair use and requires a total of 10 spaces. The total parking requirement for the site is 105 spaces. The site plan notes the provision of a total of 110 parking spaces including five (5) handicap accessible spaces.



- **c. Barrier Free Spaces.** The plan indicates a total of five (5) barrier free spaces, which meets the requirement for parking lots containing 101-150 parking spaces. The proposed dimensions are ADA compliant and two (2) of the spaces are van accessible.
- **c.** Loading. As the commercial building is over 50,000 sq. ft., three (3) usable loading spaces measuring 10' x 50' are required. The applicant has noted the location of three (3) loading zones one the east side of the building with one proposed within the building.
- **7.** Landscaping and Screening. The site is located in the Extensive Highway Business (C-2) district. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others. Our comments on individual landscaping requirements are reflected in the following comments:
  - a. Frontage Landscaping. Section 10.103 (A) requires lot frontage landscaping of 1 deciduous tree/40 lineal feet + 1 ornamental tree/100 lineal feet + 8 shrubs/40 lineal feet. The site has a frontage of 700' on N. Interstate 94 Service Drive, which requires a total of 18 deciduous trees + 7 ornamental trees + 140 shrubs. The landscape plan notes that 18 deciduous trees + 7 ornamental trees + 76 shrubs will be provided along the road frontage on N. Interstate 94 Service Drive. The applicant is deficient of the shrub frontage requirements by 64 shrubs. The applicant has noted they are proposing a hedge of ornamental grasses and perennials instead of shrubs to maintain visibility for the display vehicles. The Planning Commission has the discretion to modify this requirement.
  - **b.** Parking Lot Landscaping. Section 10.103 (B) (1) requires all parking lots to be landscaped and screened from adjoining public or private rights-of-way. Landscaping shall include a landscaped yard at least five (5) feet in width containing an opaque screen of landscaping (evergreen or deciduous hedge) at least three (3) feet in height. The width of the greenbelt area along the site's Service Drive frontage is 35.6 feet and now contains an opaque screen of landscaping.

**Interior parking lot landscaping.** Section 10.103 (B) (2) requires the provision of landscaping within islands in a parking lot. Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. With 294,553 sq. ft. of total payment area, a total of 14,728 sq. ft. of interior parking lot landscaping is required. The applicant has stated they have provided 24,991 square feet of interior parking lot landscaping and has noted the size of each interior parking lot landscaping island, as previously requested. There are several examples of where a proposed landscape island is less than 360 sq. ft. <u>The interior landscaped areas should be expanded to meet the Ordinance standard</u>. One (1) deciduous tree shall be planted for each three hundred (300) square feet of interior landscaping. All required interior parking lot landscape or screening requirements. Based on the plan, 49 interior landscape trees are required and the applicant has provided the 49 required trees, in compliance with the interior landscape tree requirements.

**c.** Loading Area Landscaping. The proposed loading spaces are located on the rear of the building and adequate screened by the building and proposed site landscaping.



- d. Display Area Buffering. Section 10.103 (D) requires buffering of display areas. The Planning Commission has discretion in reviewing the buffering standards and modifying them. While we acknowledge the applicant's desire to increase visibility from the long row of display trailers along the site's I-94 NSD drive frontage, the display along the east property line is also extensive. <u>Based on previously discussions, the applicant has included triangular projects of the landscape area into the east side display providing some relief from the long row of parked trailers. We recommend that the triangular island projections be incorporated along the south side frontage display also.</u>
- **e. Greenbelt Buffering.** Per Section 10.103 (E), a 10-foot-wide buffer with one (1) tree per thirty (30) linear feet is required between the building and the commercially zoned parcels to the north, east, and west. The plan indicates a greenbelt buffer, the width of which exceeds 10 feet. With 700' along the north property line, a total of 23 trees is required and 23 trees have been provided. With 1,244' along the east property line, a total of 41 trees is required and 41 trees have been provided. With 1,244' along the west property line, a total of 41 trees is required and 42 trees have been provided.
- f. Extensive Highway Business (C-2) District Landscaping District. Section 10.103 (F) (3) provides landscaping standards for the Extensive Highway Business District and requires contiguous outdoor space, independent of sidewalks, pedestrian circulation areas and required landscaping, in an amount not less than one (1) square foot for each twenty-five (25) square feet of principal building. With the 60,860 square foot building proposal, 2,434 sq. ft. of open space is required to meet this open space landscaping requirement. The applicant has stated they have provided 2,968 square feet of open space landscaping and have not labeled it on the site plan to the west of the proposed building.
- **g. Open Space Landscaping.** All remaining open areas on the site that are not required landscaping areas as described elsewhere in the landscaping Article shall be planted with one (1) deciduous or evergreen tree per three thousand (3,000) square feet of open area. The applicant has indicated there is 68,685 square feet of open space which requires 23 trees to be planted. The applicant has now verified there are 23 open space trees provided, in compliance.
- h. Detention Pond Landscaping. The site plan proposes two detention ponds. Trees and shrubs shall be planted around the ponds to buffer and enhance the views of the basin, and to replicate a natural environment. The applicant has provided trees and shrubs around the ponds. <u>The landscaping</u> around the detention ponds is subject to review and approval by the Township Engineer and Wayne <u>County.</u>
- **8. Tree Removal Permit.** A tree removal permit is required if the applicant proposes to remove any trees of 5" caliper or larger. The applicant has added a note which indicates that no trees over 5" in diameter are being removed.
- **9.** Stormwater Pond. The site plan proposes two detention ponds. <u>Storm water detention calculations are subject to review and approval by the Township Engineer and Wayne County</u>.
- **10. Lighting.** <u>The submittal at this time does not include a photometric plan for the site</u>. Information previously submitted noted that a total of 49 wall and pole mounted fixtures will be on site. <u>A detailed photometric plan for the site identifying the location of all fixtures and in compliance with the illumination intensity requirements of Section 8.105 of the Ordinance must be submitted. Sheet SD-102 includes</u>



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detail of a 25' tall dark bronze light pole with a downward directed LED fixture. <u>Manufacturer's cut sheet</u> detail for proposed fixture heads must be submitted.

- **11. Architecture and Building Details.** The applicant has submitted building elevations for each of the facades. The structure is proposed to be constructed with insulated metal panels, split face block, ACM panels, aluminum and glass curtain wall systems, and corrugated horizontal metal siding. The proposed color scheme is black, grey and brown. The applicant has submitted revised elevations which include a band of windows on the warehouse frontage too improving the façade from the Service Drive. <u>Material samples and colors must be presented at the Planning Commission meeting for review.</u>
- **12. Dumpster.** The site plan notes a proposed dumpster enclosure on the west side of the building. Within the enclosure two dumpsters are proposed. Typical details have been noted and are in compliance with Section 7.122.
- **13. Signs.** Sheet SD.101 includes details for a proposed monument sign along the site's frontage. The sign is to be placed minimum of 10 feet from the property line. Sheet SD.102 includes sign details which shows a 1'6" 'grey base' with a 6' smaller red band above it. <u>Proposed materials have not been identified. A</u> monument sign is defined by the ordinance as having a solid supporting base equal to or greater than the width of the sign face constructed of a decorative and durable material (e.g., masonry), and shall have no separations between the sign face and the base. The supporting base shall have a minimum 24-inch vertical height. The sign base must be increased to 24" height and constructed of brick to match the building. The proposed sign area measures 40 sq. ft and the sign height is 6 feet, which is within Ordinance limits. The applicant has also submitted proposed wall signage including a "KENWORTH" sign and a logo. The proposed wall signage appears to be in compliance with the Zoning Ordinance.
- **14. Fencing.** The applicant has clarified that no fencing is proposed at this time.

#### RECOMMENDATION

The site plan includes most of the details required by the Zoning Ordinance. The items remaining to be addressed can be included for review with the final site plan submission. Therefore, we recommend that the Planning Commission grant preliminary site plan approval for the Kenworth dealership to be located at the above site, subject to the following conditions:

- 1. Notation of any required Township, County, or State permits.
- 2. Approval of the proposed lot split.
- 3. Clarification regarding pavement stub shown at the north end of the parcel.
- 4. Incorporation of area for future access drive to the east.
- 5. Construction of a sidewalk across the entire frontage or contribution into the Township sidewalk fund, to be determined based on feasibility at the time of full engineering review.
- 6. Striping of crosswalks to the employee patio and along the front of the building.
- 7. Planning Commission approval of proposed substitution of landscaping along the frontage i.e., ornamental grasses and perennials in lieu of shrubs.
- 8. Expanding of landscape islands to meet the minimum size requirement.
- 9. Incorporation of triangular projections of landscape area along the front yard display, similar to the east side of the site.
- 10. Detention pond approval by Wayne County and Township Engineer.





- 11. Submission of detailed photometric plan and manufacturer's details of light fixtures.
- 12. Planning Commission approval of proposed building materials and colors.
- 13. Revision of monument sign design to include 24" tall masonry base as required by Ordinance.

Respectfully, **McKENNA** 

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Vidya Krishnan Senior Principal Planner

Hunter Writekitt

Hunter Whitehill Associate Planner

cc: Dan Power, Van Buren Township Director of Planning & Economic Development Matt Best, Van Buren Township Director of Public Services Paul Kammer, FTCH, Township Engineer David McInally, Van Buren Township Fire Chief





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September 21, 2021 Fishbeck Project No. 210811

Chairperson Carol Thompson Planning Commission Chairperson Van Buren Township 46425 Tyler Road Van Buren Township, MI 48311

#### Kenworth Site Plan Preliminary Site Plan Review

Dear Chairperson Thompson:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Preliminary Site Plan dated August 26, 2021, submitted to the Township for the preliminary plan review for the proposed Kenworth Sales Facility. At this time, Fishbeck examines and reviews the feasibility of the engineering aspects of the site design but will not conduct a full engineering review until the engineering review submittal. It should be noted that the applicant has had multiple discussions with the Township and Township staff regarding the layout of the site and the impact to the overall master plan of the Township infrastructure.

This project entails construction of a 59,820 square foot building on the north side of I-94 Service Drive between Belleville Road and Morton Taylor Road. Proposed improvements include: a 110 space paved parking lot with curb; a water system loop around the proposed building; a sanitary sewer lead; a storm drain system including storm drain pipes, catch basins, and a drainage basin; construction of one driveway with access to I-94 Service Drive; and other various landscaping and site plan improvements.

Our review comments are as follows:

#### General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

- 1. All easements, proposed and existing, must be indicated on the plans.
- 2. Applicant must indicate overland flow route of the entire site. Pre and post drainage patterns must be determined and verified that all water flowing through the site is accounted for. Existing drainage paths must be maintained.
- 3. Soil boring information, including the ground water elevations, must be provided.
- 4. Engineering Plans must include the applicable Standard Detail Drawings as found in Appendix A of the Township *Engineering Standards Manual*. The Township can provide full size sheets of multiple details upon request.
- 5. The Van Buren Township GIS records indicate that there are two parcels that make up the proposed property, parcel no. 83 060 99 00001 and 83 060 99 0002. The plans also indicate this a portion of the parcel as an "exception deeded from MDOT". The applicant's response letter clarifies that the exception piece fronting the service drive will need to be combined with the larger overall parcel prior to the overall lot split. Once the combination is completed, the proposed larger 20 acre lot will need to be split. Applicant to work with the Township and notify them of changes/combination of the parcels as they occur.
- 6. General Plan Comments;
  - a. The Cover Sheet should include a listing of permits required.
  - b. Some of the notes on landscape plan (sheet L1) are covered with linework and should be clarified.

- c. The plans show a dashed line around the proposed employee patio area throughout the plans (see sheet SP-2a). Applicant to clarify/label this line.
- d. Fire hydrant coverage lines/arcs shall be turned off on plans sheets where the information is not needed (see sheets SP-3/3a)

#### Water Main

**Existing:** The Township's Geographic Information System (GIS) records indicates there are no public water mains adjacent to or within the area of development. The existing 12-inch public watermain running east-west on the north side of I-94 Service Drive ends approximately 500 feet west of the west proposed property line and is also stubbed out at the east property line.

**Future:** The Township water distribution system master plan indicates the water main along I-94 Service Drive is recommended to be connected between the stubbed ends to improve overall reliability and redundancy of the system. Additional development master plans indicate the potential for a roadway extending along the east side of the property for future development and utility extension.

**Proposed:** The applicant has worked with the Township and Township staff to propose a layout that will allow for future expansion without disruption to the operations on the Kenworth site. The applicant plans to tap into the existing water main that runs along the I-94 Service Drive in front of the Camping World property. A proposed water main extension of approximately 600 feet will bring the existing main to the eastern property line where the proposed loop is proposed. The proposed layout shows an undetermined sized public water main loop around the proposed building with a connection to a new proposed watermain along the east property line. The loop includes five fire hydrants. Two water service connections to the proposed building are located on the existing 12-inch water main along the southern property line. The two water services include a proposed 8-inch ductile iron fire suppression line and a proposed 2-inch type "K" water service. The eastern leg of the watermain loop is proposed lot line for future development. The plans propose three stub outs for future connection; at the west end of the water loop near the road, just east of the proposed parcel split lot line, and near the north end of the development.

#### Comments:

- The Van Buren Township Engineering Standards Manual indicates that new developments shall be installed from boundary to boundary and that water main stubs must be provided to property lines at locations designated by the township engineer for future extension. The Township requires that all water main be terminated at the property lines with a hydrant, followed by a gate valve in a well. The Township Master Plan recommends that the water main gap along this stretch of road be connected, and would help with the reliability and redundancy of the system, however, this would also require approximately 500 feet of additional water main to be constructed on the National RV Property to the west and a trenchless extension under the Quirk Drain.
  - a. If it is determined by the Township Directors (Public Services, Water & Sewer, and Planning & Economic Development) that the water main extension is not feasible or beneficial at the time of the development, the requirement can be waived.
    - i. Discussion between the applicant and Township Directors is ongoing for this topic.
  - b. In lieu of extending the water main to the property limits, the applicant has agreed, as shown on the plans, to dedicate water main easements for future extension to the west and north.
- 2. No part of any building or structure shall be more than 250 feet from a hydrant unless the Fire Department approval is given to do otherwise. The distance shall be measured along the shortest feasible exterior route for laying fire hose. Plan sheet SP-3a shows a portion of building that is not within fire hydrant coverage. Final say of the overall hydrant layout will be approved by the Township Fire Marshal.

- 3. The applicant shall work with the Township Water and Sewer Director and the Township Engineer to determine the final sizing for all water main within the proposed system. The maximum lengths of deadend main are 450 feet for 8-inch mains, and 1,000 feet for 12-inch mains.
- 4. Easements to include all fire hydrants (sheet SP-4a) and extend a minimum of six feet beyond hydrant on any lead.
- 5. It should be noted that all public water main is now required to be shown in profile view. The applicant shall be prepared to show plan and profiles for all water main on site. This is a new EGLE requirement for all public water main, regardless of size. The applicant will be required to prepare the EGLE Drinking Water application and submit (3) sets of plans for submittal to EGLE upon Township approval of the water main layout.

#### **Sanitary Sewer**

**Existing:** The applicant's plan indicates a public 21-inch Reinforced Concrete Pipe sanitary sewer running east and west along the north side of I-94 Service Drive.

**Proposed:** The applicant's plan indicates a unsized sanitary sewer lead feeding into the existing 21-inch sanitary sewer along I-94 Service Drive.

#### Comments:

- 1. Basis of design flow computations for sanitary sewers shall be submitted for the development.
- 2. The applicant's plans indicate the existing sanitary sewer along I-94 Service Drive is 24-inches, while the Township GIS indicates that the existing size is 21-inches. Applicant to clarify the measured size of the sanitary sewers.
- 3. Applicant to clarify type of connection of the proposed building lead to the existing sanitary sewer. If tapping the sewer directly, the tap shall be done used a wye connection. If a manhole connection is requested, it shall be noted that a drop connection is required for any connection greater than 24-inches in difference, as shown in the Township details.

#### **Storm Sewer**

**Existing:** The applicant's plan indicates that the existing undeveloped property has no existing stormwater system and runoff from the site surface flows into the roadside ditches along the north side of I-94 Service Drive and into the Quirk Drain along the west side of the property.

**Proposed:** The applicant's plan is proposing to capture stormwater runoff via a system of inlets and stormwater pipes. A detention basin with sedimentation forebay is proposed on the north side of the property with an outlet into the adjacent Quirk Drain.

#### Comments:

- 1. Calculations for the design of the storm sewer system must be provided in accordance with the Township Design Standard Manual as part of the Engineering Plan submittal. Calculations for the total development shall include all development phases, present and future, and existing and future off-site areas tributary to the system.
- 2. An overall drainage area map should be provided indicating all areas tributary to the proposed storm water system.
- 3. The Township will request to see that Wayne County has reviewed and commented on the stormwater system prior to reviewing the system itself. It is recommended that the applicant keep an open line of communication with the Township with respect to the storm water design.

- 4. The calculation for the Total 100 year Volume Storage should be notated as "Vt100", not "Vs100", as shown on sheet SP-4.
- 5. The permanent water elevation within existing ditches and drains should be field measured and indicated on the plans.
- 6. The County owned Quirk Drain should be labeled.

#### **Paving and Grading**

- 1. In general, when sidewalk is constructed along the frontage of a development the limits should extend to the development property line. If it is determined by Township staff that the proposed sidewalk extension cannot be completed in a safe manner due to existing features, the Township may consider alternative payment methods into the sidewalk fund for future sidewalk development. Further discussion between the applicant and the Township will be required.
  - a. Note: At the time of this letter, the Applicant has expressed their desire to pay into a sidewalk fund in lieu of extending the sidewalk over the existing County drain. Discussions are ongoing.
- 2. As part of the Engineering review process, the applicant will be required to provide more detailed grading plans that show detailed ramp grades for Americans with Disabilities Act 2010 (ADA) ramp areas.
- 3. Applicant must verify that all slope arrows shown on plans include the calculated slope. Some arrows are missing slopes (sheet SP-5a).
- 4. Are the silt filter fabric fence lines shown on the Soil Erosion and Sedimentation Control (SESC) plans also the limits of grading? Limits of grading to be shown on the plans.
- 5. The silt fence should be placed around all of the proposed construction, include the proposed sidewalk along the frontage.

#### **Soil Erosion and Sedimentation Control**

1. The SESC plan provided must be in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. A permit must be acquired from the Wayne County SESC County Enforcing Agency. <u>https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx</u>

#### Recommendation

Fishbeck recommends the Planning Commission grant the Kenworth Site Plan Preliminary Site Plan approval for engineering feasibility, subject to the comments listed above and in accordance with the Township's Engineering Standards manual for the Engineering Review submittal. It is also recommended that applicant begin discussions with Wayne County, now, if they haven't already to determine their requirements for storm water management. If you have any questions regarding this project, please contact Paul Kammer at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,

Po-Ko

Paul J. Kammer, PE Senior Civil Engineer

By email

Copy: Matthew Best – Township Dan Power – Township Kris Schlutow - Township Vidya Krishnan– McKenna Dave Potter – Fishbeck

the lot

**Stephen C. Clayton, PE** Civil Engineer

Andrew Lenaghan Fire Marshal O: 734-699-8900 ext 9426 Van Buren Fire Department 46425 Tyler Rd Van Buren Twp., MI 48111



Director of Building and Planning 46425 Tyler Road Belleville, MI 48111

Kenworth Sales Facility North I-94 Service Dr. Van Buren Township, Michigan 48111

The site plan for a Kenworth Sales Facility was reviewed for compliance with the Van Buren Township adopted fire code NFPA 1 2018. Fire Department access and water supply were the focus of this review.

#### Water Supply

The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1 2018 18.5.3 (2)

The hydrant at the entrance off the service drive needs to be relocated to the island north of that entrance (Sheet SP-4a).

The distance from the hydrants on the North West and North East corners is over 500 feet to the northern most parking area. A fire hydrant needs to be added in the north parking lot. (Sheet SP-5)

A Fire Suppression system will be required for the occupancy. A fire hydrant will need to be placed within 100 feet of the fire department connection.

**Our Mission:** The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

#### **Fire Department Access**

If a security gate is to be installed at the entrance to the complex, and approved access control device will be required.

The required width of a fire department access road shall not be obstructed in any manner, including by the parking of vehicles.

Review and approval by the Authority Having Jurisdiction shall not relieve the applicant of the responsibility of compliance with these codes.

Andrew Lenaghan Fire Marshal Van Buren Township

#### CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION REMOTE PUBLIC HEARING

Notice is hereby given that the Charter Township of Van Buren Planning Commission will hold a public hearing on **October 13, 2021 at 7:30 p.m.** To mitigate the spread of COVID-19, protect the public health, and provide essential protections to Van Buren Township residents; this Van Buren Township's Planning Commission meeting will be conducted virtually as permissible under Public Acts of 2020 Act No. 254 and Declaration of a Health Emergency in Wayne County. To participate in the meeting electronically, the public may follow the instructions below. The Planning Commission will consider the following request:

**Case 21-021** A request by applicant General Development Company, LLC on behalf of owner Belleville North Marsh Ventures, LLC seeks to construct a +/- 59,820 sq. ft. building with related site improvements to provide for an outdoor vehicle sales and vehicle showroom uses and accessory vehicle repair and service. The +/- 20.01-acre site is proposed to be a combination of land from two existing parcels located at tax parcel numbers 83 060 99 0002 001 and 83 060 99 0001 001, on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

Outdoor Vehicle Sales and vehicle Service (minor) is a special land use in the C-2 (Extensive Highway Business District) Zoning District. The proposed Special Land Use requires a public hearing. This hearing is being held in accordance with Article 12, Chapter 3 of the Zoning Ordinance (Administrative Procedures - Special Land Use Review).

Members of the public may access the agenda materials via the Township website – <u>www.vanburen-mi.org</u> beginning **October 8, 2021.** On this website, members of the public will also gain access to **means of participating in the electronic meeting,** including a unique Zoom weblink and dial-in phone number with a meeting ID for meeting videoconference or teleconference access. The meeting will be available to view live on the Van Buren Township YouTube Channel which can be reached from the live meeting link located on the Van Buren Township website home page (<u>www.vanburen-mi.org</u>). Closed captioning will be available after YouTube fully renders meeting video.

A complete **procedure for public comment by electronic means** is provided on a guide which is accessible on the Van Buren Township website (<u>www.vanburen-mi.org</u>). Participants may also choose to submit written comments that will be read into record during public comment by the Chairperson. Submit any written comments via e-mail to <u>dpower@vanburen-mi.org</u>. Members of the public may also contact <u>dpower@vanburen-mi.org</u> to be connected with members of the Planning Commission prior to the meeting by e-mail.

To comply with the Americans with Disabilities Act (ADA), any citizen requesting accommodation to attend a meeting, and/or to obtain this notice in alternate formats, please contact the Clerk's Office at 734.699.8900 extension 9205.

Posted:September 21, 2021Published:September 23, 2021



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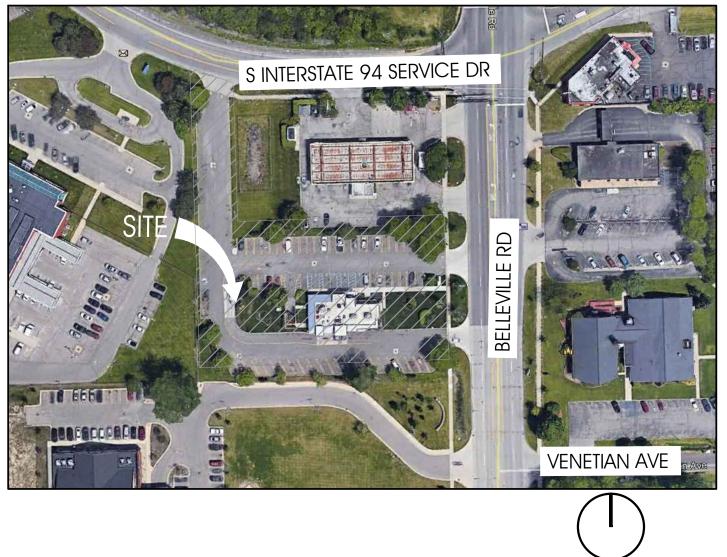


# BURGER KING Exterior & Dining Remodel 11550 Belleville Road Belleville, MI 48111

NORTH

NORTH

## LOCATION MAP



SCALE: N.T.S.

VICINITY MAP



## POLLUTION CONTROL NOTES

ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL WAYNE COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.

2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.

3. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS. (IF APPLICABLE)

6. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.

7. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.

8. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.

9. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.

ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
 ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE CITY ENGINEER OR BY

REGULATORY AGENCIES.

12. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES.

13. THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.

14. NON STORMWATER DISCHARGES SUCH AS FIRE HYDRANT FLUSHING, ETC SHALL BE DISCHARGED TO EXISTING UNDERGROUND STORMWATER FACILITY.
15. ANY POTENTIALLY HAZARDOUS CHEMICALS BROUGHT ONTO THE JOB SITE WILL BE LIMITED AND KEPT IN ORIGINAL CONTAINER WITH MSDS LABEL.

16. NO SILT SHALL BE TRACKED ONTO PUBLIC ROADWAYS. ANY SILT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED BY THE END OF THE WORK DAY.

SCALE: N.T.S.

## DEMOLITION NOTES

1. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION

2. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.

3. EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.

4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.

5. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.

6. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.

THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF THE TOWNSHIP OF VAN BUREN ,COUNTY OF WAYNE , STATE OF MICHIGAN REGISTERED LAND SURVEYOR).

## UTILITY NOTES

PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES, INCLUDING WITHOUT LIMITATION POTABLE WATER, RECLAIMED WATER, SANITARY SEWER, AND SERVICE UTILITIES, AT POINTS OF CONNECTION, POINTS OF CROSSING, AND/OR POTENTIAL CONFLICT. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.

#### <u>A. GENERAL</u>

, CITY IN MICHIGAN

1. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ETC., SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO LIABILITY FOR ACCURACY AND COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND TO HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK.

2. DUE TO GRAPHIC LIMITATIONS OF THE DRAWING SCALE, ALL STORM SEWER, DRAINAGE, WATER AND SANITARY SEWER MAINS, SERVICES, LATERALS, CONNECTIONS, AND APPURTENANCES DEPICTED HEREIN – UNLESS OTHERWISE LOCATED BY DIMENSIONS – REFLECT SCHEMATIC LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LOCATIONS IN ACTUAL CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, INCLUDING ANY REQUISITE COORDINATION WITH THE RESPECTIVE GOVERNING AGENCY/UTILITY PROVIDER.

3. ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF VAN BUREN, STATE OF MICHIGAN AND WAYNE COUNTY, RESPECTIVELY, AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.

4. CONTRACTOR SHALL INSPECT PIPING AND MATERIALS BEFORE INSTALLATION TO

DETECT APPARENT DEFECTS. MARK DEFECTIVE MATERIALS WITH WHITE PAINT AND PROMPTLY REMOVE FROM SITE.

5. LAY SEWER PIPING BEGINNING AT LOW POINT OF SYSTEM (CONNECTION TO OFF SITE SYSTEM OR PUMP STATION), TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERTS. PLACE BELL ENDS OR GROOVE ENDS OF PIPING FACING UPSTREAM.

6. CLEAR INTERIOR OF PIPE OF DIRT AND OTHER SUPERFLUOUS MATERIAL AS WORK PROGRESSES. MAINTAIN SWAB OR DRAG IN LINE AND PULL PAST EACH JOINT AS IT IS COMPLETED. PLACE PLUGS IN ENDS OF UNCOMPLETED CONDUIT WHENEVER WORK STOPS.

7. MAINTAIN 36" COVER OVER MAINS, AND 36" OVER SERVICES/LATERALS.

8. WHEN PROPOSED CONSTRUCTION OCCURS AT EXISTING MANHOLES, INLETS, VAULTS, AND OTHER STRUCTURES, THE CONTRACTOR SHALL MODIFY THE STRUCTURES, FRAMES, AND GRATES TO MEET THE PROPOSED GRADES UNLESS OTHERWISE DIRECTED.

9. INSTALL CONTINUOUS LOCATOR TAPE/WIRE, LOCATED DIRECTLY OVER POTABLE WATER MAINS AND SANITARY SEWER MAINS AT 6" TO 8" ABOVE PIPE.

10. WHERE APPLICABLE, UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACK FILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH A.A.S.H.T.O.-T-99.

11. CONTRACTOR SHALL PROVIDE SLEEVES FOR IRRIGATION LINES UNDER PAVEMENT. COORDINATE WITH GENERAL CONTRACTOR.

12. ALL TRENCHES EXCAVATED FOR THE PURPOSES OF UTILITY/STORM INSTALLATION SHALL BE KEPT DRY FOR THE DURATION OF UTILITY/STORM CONSTRUCTION. DEWATERING OF UTILITY/STORM TRENCHES MAY BE REQUIRED TO PREVENT FLOATATION OF UTILITY/STORM PIPES DURING INSTALLATION.

#### 13. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION IS COMPLETE FOR WATER, WASTEWATER AND STORMWATER SYSTEMS SO TIMELY CERTIFICATIONS MAY BE INITIATED. <u>SATISFACTORY BACTERIOLOGICAL TEST RESULTS</u>, <u>PRESSURE TEST RESULTS, AND AN AS BUILT SURVEY</u> SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.

14. SUITABLE COUPLINGS COMPLYING WITH ASTM SPECIFICATIONS ARE REQUIRED FOR JOINING DISSIMILAR MATERIALS.

15. DEFLECTION TESTS ARE REQUIRED FOR ALL FLEXIBLE PIPE. TESTING REQUIREMENTS: 1) NO PIPE SHALL EXCEED A DEFLECTION OF 5%; 2) USING A RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THEN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE; 3) PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.

## GENERAL NOTES

<u>A. GENERAL</u> 1. ALL INFRASTRUCTURE AND IMPROVEMENTS SHALL CONFORM SPECIFICATIONS OF THE LOCAL JURISDICTION AND WILL BE INSPECTION AND ACCEPTANCE.

2. SITE LOCATION: 11550 BELLEVILLE RD, BELLEVILLE, MI

3. THIS SITE LIES IN FLOOD ZONE "X", F.I.R.M. PANEL NOVEMBER 29, 2006.

4. BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY BY KEM-AVE, EASTPOINTE , MI. 48021. DATED MARCH 03, 2021.

5. BENCHMARK – REFER TO TOPOGRAPHIC SURVEY BY KEM GRATIOT AVE, EASTPOINTE , MI. 48021. DATED MARCH 03, 2

6. LEGAL DESCRIPTION SHOWN HEREIN IS FURNISHED BY INCLUDED FOR PERMITTING AND APPROVAL PURPOSES, AND CONTRACTOR. INTERPLAN LLC. ASSUMES NO LIABILITY FOR COMPLETENESS.

7. CONTRACTOR SHALL PROVIDE AND INSTALL EROSION COL FENCE OR OTHER METHODS) AT LIMITS OF CONSTRUCTION A INLET PRIOR TO CONSTRUCTION, AND SHALL MAINTAIN SAID DEVICES DURING CONSTRUCTION, ALL IN CONFORMANCE WIT AND STATE CRITERIA.

8. THE SITE SHALL BE CLEARED AS MAY BE NOTED ON TH OBSTRUCTIONS AND DELETERIOUS MATERIAL SUCH AS FENCE LOGS, SHRUBS, BRUSH, WEEDS, OTHER VEGETATION, AND AC OF WHATEVER NATURE. OFF-SITE DISPOSAL, INCLUDING AN ENCOUNTERED, SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL RULES AND REGULATIONS.

9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY INTERPLAN DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS CONSTRUCTION.

10. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE WHICH HE MAY INCORPORATE INTO THE PLANS WITHOUT PR AND/OR APPROVAL FROM THE <u>OWNER AND THE ENGINEER</u>.

11. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN WAY WITH THE CITY OF HUNTSVILLE AND THE STATE'S DEPART TRANSPORTATION.

 SCS SOILS: BFA (BLOUNT LOAM, ERIE-HURON LAKE SLOPES)
 STORMWATER MANAGEMENT IS PROVIDED BY EXISTING

J. STORMWATER MANAGEMENT IS PROVIDED BY EXISTING

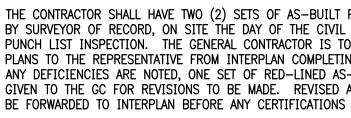
14. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS TO OR BETTER THAN THE CONDITION EXISTING PRIOR TO COMM CONSTRUCTION.

15. ALL DISTURBED AREAS SHALL BE SODDED.

16. AT LEAST 30 DAYS PRIOR TO ANTICIPATED COMPLETION THE FINAL CERTIFICATION PROCESS WILL BEGIN. THE CON DOCUMENTS AND INFORMATION, IN A TIMELY MANNER, TO EN WITHOUT LIMITATION:

a. SURVEYED "AS-BUILTS" PER AS-BUILT SURVEY SCOb. COMPACTION AND DENSITY TEST REPORTS, AND

c. PRESSURE TESTING AND BACTERIOLOGICAL TESTING FOR WATER DISTRIBUTION AND/OR WASTEWATER COLLECTION



17. ALL TRAFFIC CONTROL DEVICES, EQUIPMENT AND INSTA REQUIREMENTS OF THE LOCAL JURISDICTION AND/OR THE ST TRANSPORTATION.

18. PARKING STALLS SHALL CONFORM WITH LOCAL CODE. SPACES AND ACCESS ROUTES SHALL FURTHER CONFORM WITH REQUIREMENTS.

19. HANDICAP PAVEMENT MARKINGS AND SIGNAGE SHALL CC ADA REQUIREMENTS AND LOCAL ORDINANCE.

20. LANDSCAPE SHALL BE TRIMMED TO ENSURE SIGHT VISIE CONTROL DEVICES.

21. ALL PAVEMENT IS DIMENSIONED TO FACE OF CURB.

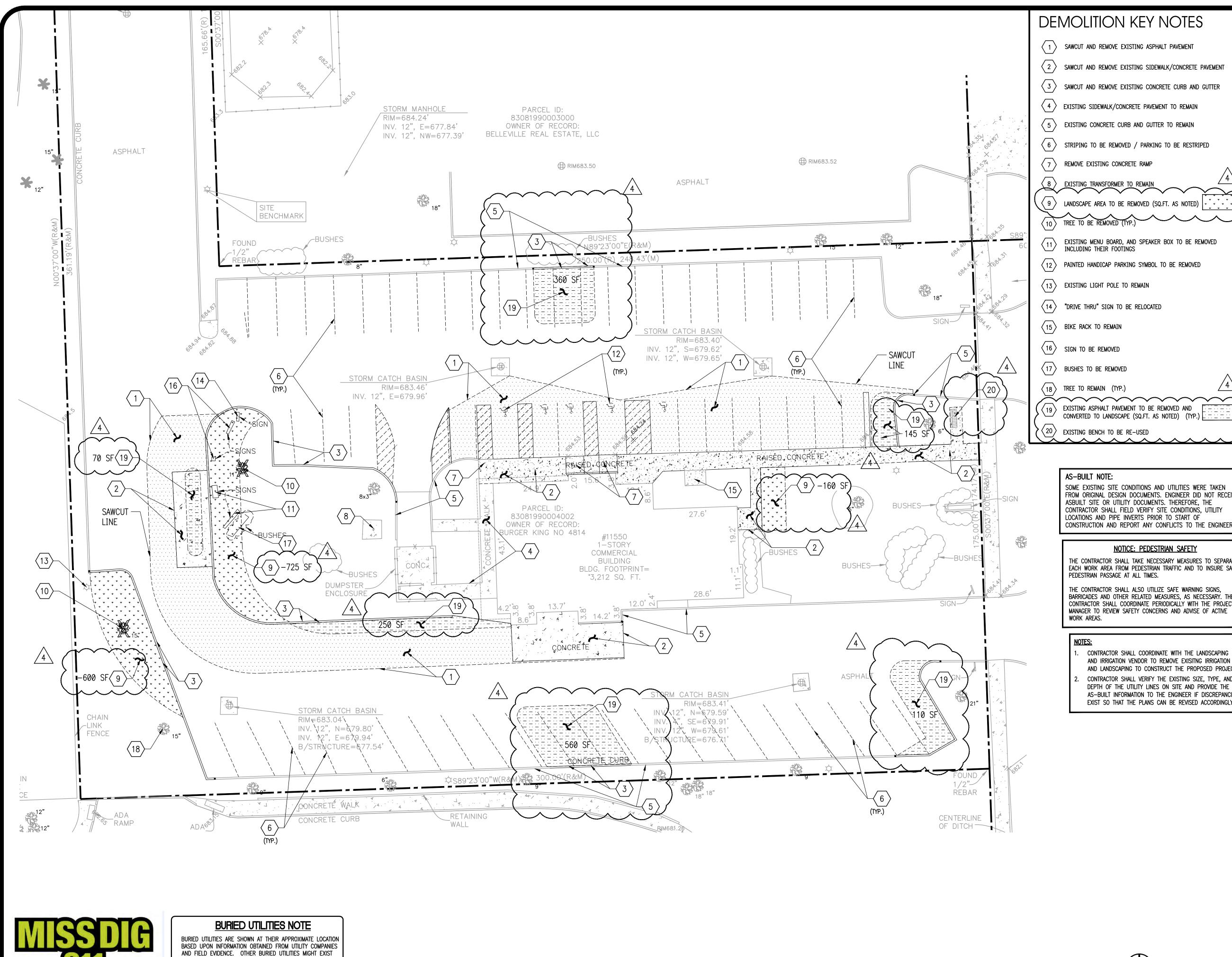
22. ALL BUILDING DIMENSIONS AND TIES ARE TO OUTSIDE ARCHITECTURAL PLANS.

23. ALL CURB RETURN RADII ARE 5' UNLESS NOTED.

24. BUILDING AND SITE IMPROVEMENTS ARE PERPENDICULA LINE.

25. THE CONTRACTOR IS TO BE RESPONSIBLE TO PROTECT SURVEY MONUMENTATION WITHIN THE PROJECT LIMITS BY A LICENSED SURVEYOR.

	SITE DATA		
ORM TO THE STANDARDS AND	<u>SITE AREA</u>	61,366± SF 1.408± AC	DATE: 06/14/2021
BE SUBJECT TO THEIR	EXISTING	41 014 CF C7 0 m	DATE
MI 48111.	IMPERVIOUS { PAVEMENT/SIDEWALKS EXISTING BUILDING		%
26163C0353E, DATED	TOTAL IMPERVIOUS OPEN SPACE (GREEN)	44,426 SF 16,940	
-TEC, INC., 22556 GRATIOT	PROPOSED		
EM-TEC, INC., 22556 2021. SEE NOTE 4 ABOVE.		/1 188 SE 07 1 m	
KEM-TEC, AND IS	IMPERVIOUS { PAVEMENT/SIDEWALKS EXISTING BUILDING		
O AS A COURTESY FOR THE R ITS ACCURACY OR	TOTAL IMPERVIOUS OPEN SPACE (GREEN)	44,400 SF 16,966 SF 27.6 %	
ONTROL DEVICES (SILT	ZONING (C-2)-	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	
AND AROUND EACH STORM D EROSION CONTROL ITH CURRENT LOCAL, COUNTY	PARKING	<u>REQUIRED</u> <u>PROVIDED</u>	
		38 SPACES (56 SPACES)	DRAWN BY: 10 DATE 06/25/2021 06/25/21 PLMM
HE PLANS, OF ALL CES, WALLS, FOUNDATIONS, CCUMULATION OF RUBBISH		(59 SEATS & 8 Constant of the second	
NY HAZARDOUS MATERIAL E LOCAL, STATE, AND		LARGEST SHIFT)	6969
AN LLC. OF ANY			<b>Hion</b> Box 217
NS PRIOR TO START OF			Corporation Street P.O. Box Vew York 13217- -0513
E FOR ANY DESIGN CHANGES RIOR WRITTEN CONSENT		~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	Corpo Street P - 0513
IIN EACH EXISTING RIGHT OF	CIVIL DF	AWINGS	
ARTMENT OF	C-0 GENERAL NOTES	·······	Syracuse, N (315) 424-
PLAIN, Ø TO 2 PERCENT	$\left. \begin{array}{c} C-1.1 \end{array} \right.$ DEMOLITION & EROSION CO C-2.0 SITE DIMENSION PLAN	NTROL PLAN	
STORMWATER SYSTEM .	C=2.0 SITE DIMENSION PLAN		
O A CONDITION EQUAL TO IMENCEMENT OF	C-3.0 GRADING/ DRAINAGE / UTIL	ITY PLAN	
	C-3.1 SWPPP C-4.0 DETAILS		
	C-4.1 DETAILS		
ON OF SITE CONSTRUCTION, NTRACTOR SHALL PROVIDE	ALTA / NSPS LAND TITLE SURVEY BY KE		RESTAURANT BU BU
ENGINEER, INCLUDING,			
COPE IN SPEC MANUAL.	LEGENDS PROF	POSED	
G RESULTS, AS REQUIRED, DN/TRANSMISSION SYSTEMS.		73.50 MEG	
F PLANS, SIGNED AND SEALED		EOP	•
TO GIVE THE TWO AS-BUILT TING THE INSPECTION. IF		SW	RAVER SHIS OR
S-BUILT PLANS WILL BE AS-BUILTS WILL NEED TO S CAN BE INITIATED.		GB	LOUISE CRAVER & OTHER RIGHTS CUMENTS TO PURPOSE FOR FPARED. ANGES OR DHIBITED.
TALLATION SHALL MEET THE		<u>12.55</u>	COPYRIGHT © 2021 LOUISE CRAV RESERVES COPYRIGHT & OTHER RIGHT RESTRICTING THESE DOCUMENTS TO THE ORIGINAL SITE OR PURPOSE FOR WHICH THEY WERE PREPARED. REPRODUCTIONS, CHANGES OR ASSIGNMENTS ARE PROHIBITED.
STATE'S DEPARTMENT OF	DIRECTION OF FLOW AND	1.0%	COPYRIGHT © 2021 RESERVES COPYRIGHT RESTRICTING THESE DO THE ORIGINAL SITE OR 1 WHICH THEY WERE PRE REPRODUCTIONS, CHA ASSIGNMENTS ARE PRC
ACCESSIBLE PARKING	PERCENT SLOPE		COPYRIC ESTRICTIE HE ORIG MICH TH MICH TH SSIGNM
ITH CURRENT ADA	YARD DRAIN INLET		$\bigcirc \ \overline{\omega} \ \overline{\omega} \ \overline{\leftarrow} \ \widehat{>} \ \overline{\omega} \ \overleftarrow{\leftarrow}$
CONFORM WITH CURRENT	DOWN SPOUT DRAINS	DSD	
SIBILITY OF TRAFFIC	SANITARY SEWER & MANHOLES	s—O— o o	<b>-OUISE CRAVER</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>ARCHITECT</b> <b>A</b>
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	FORCE MAIN	FM	<b>OUISE CRA</b> <b>ARCH</b> <b>ARCH</b> 604 COURTLAND STREET 604 COURTLAND STREET 5015 645.5008 FX 407.629.9124
DE FACE. SEE	WATER SERVICE	- w	<b>OUISE</b> 604 COURTL 801TE 100 0RLANDO, 1 PH 407.645.5 FX 407.629.9
	FIRE HYDRANT	<b>──</b> ₩ <del>\$</del>	
ILAR TO EAST PROPERTY	_		SEAL
	FDC WATER METER	● ✓ ₩	THIS DOCUMENT IS NOT
CT AND/OR REPLACE ALL A STATE OF MICHIGAN			FOR REGULATORY APPROVAL, PERMITTING,
	GATE VALVE	⋈—	OR CONSTRUCTION.
	REDUCER	<b>⊳</b> UGT	
		UGE	
	SITE LIGHTING •		
	TRANSFORMER		IP# 2020.2249 14 ILE ROAD II 48111 DATE: <b>03/15/2021</b> <b>TES</b>
	AIR CONDITIONING UNIT	AC	IP# 2020.2249 4 .Е КОАD 148111 DATE: <b>03/15/</b> Г <b>ES</b>
	PARKING SPACE TOTALS	8	8 IP# 2020 BK 4814 1550 BELLEVILLE ROAD BELLEVILLE, MI 48111 BELLEVILLE, MI 48111 BELLEVILLE, MI 48111 BELLEVILLE, MI 48111
	DETAIL NUMBER	$\frac{2}{C4}$	BK 0 BELLI LEVILL
		3-3	
	CURRENT LAND USE	CANT	CC# 101
			CHECKED DRAWN GEG AG



DEMOLITION & EROSION CONTROL PLAN

ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION

PROCEDURES AND CONTACT THE MISS DIG 811 NOTIFICATION

CENTER. DIAL 1-800-482-7171 FOR EXACT LOCATION OF

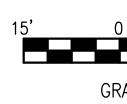
BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

NOTE:

NOTIFY UTILITY COMPANY 72

HOURS BEFORE DIGGING

1" = 15'



## DEMOLITION KEY NOTES

 $\langle 1 \rangle$  SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT

SAWCUT AND REMOVE EXISTING CONCRETE CURB AND GUTTER

4 EXISTING SIDEWALK/CONCRETE PAVEMENT TO REMAIN

(6) STRIPING TO BE REMOVED / PARKING TO BE RESTRIPED

 $\bigvee \rightarrow \bigcirc$ LANDSCAPE AREA TO BE REMOVED (SQ.FT. AS NOTED)

SOME EXISTING SITE CONDITIONS AND UTILITIES WERE TAKEN FROM ORIGINAL DESIGN DOCUMENTS. ENGINEER DID NOT RECEIVE ASBUILT SITE OR UTILITY DOCUMENTS. THEREFORE, THE CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS, UTILITY LOCATIONS AND PIPE INVERTS PRIOR TO START OF CONSTRUCTION AND REPORT ANY CONFLICTS TO THE ENGINEER.

NOTICE: PEDESTRIAN SAFETY

THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE EACH WORK AREA FROM PEDESTRIAN TRAFFIC AND TO INSURE SAFE

THE CONTRACTOR SHALL ALSO UTILIZE SAFE WARNING SIGNS, BARRICADES AND OTHER RELATED MEASURES, AS NECESSARY. THE CONTRACTOR SHALL COORDINATE PERIODICALLY WITH THE PROJECT MANAGER TO REVIEW SAFETY CONCERNS AND ADVISE OF ACTIVE

CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPING AND IRRIGATION VENDOR TO REMOVE EXISITING IRRIGATION AND LANDSCAPING TO CONSTRUCT THE PROPOSED PROJECT CONTRACTOR SHALL VERIFY THE EXISTING SIZE, TYPE, AND DEPTH OF THE UTILITY LINES ON SITE AND PROVIDE THE AS-BUILT INFORMATION TO THE ENGINEER IF DISCREPANCIES EXIST SO THAT THE PLANS CAN BE REVISED ACCORDINGLY.

4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.

5. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.

6. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.

7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE TOWNSHIP OF VAN BUREN .COUNTY OF WAYNE . STATE OF MICHIGAN REGISTERED LAND SURVEYOR).

## POLLUTION CONTROL NOTES

ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.

ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL WAYNE COUNTY DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.

3. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS. (IF APPLICABLE)

6. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO AN

DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.

8. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATEREI TO PREVENT WIND EROSION.

9. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.

10. ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.

11. ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE CITY ENGINEER OR BY REGULATORY AGENCIES.

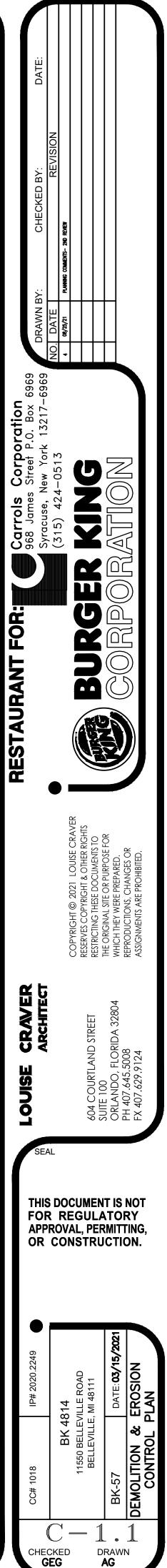
12. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES.

13. THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.

14. NON STORMWATER DISCHARGES SUCH AS FIRE HYDRANT FLUSHING, ETC SHALL BE DISCHARGED TO EXISTING UNDERGROUND STORMWATER FACILITY.

15. ANY POTENTIALLY HAZARDOUS CHEMICALS BROUGHT ONTO THE JOB SITE WILL BE LIMITED AND KEPT IN ORIGINAL CONTAINER WITH MSDS LABEL.

16. NO SILT SHALL BE TRACKED ONTO PUBLIC ROADWAYS. ANY SILT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED BY THE END OF THE WORK DAY.



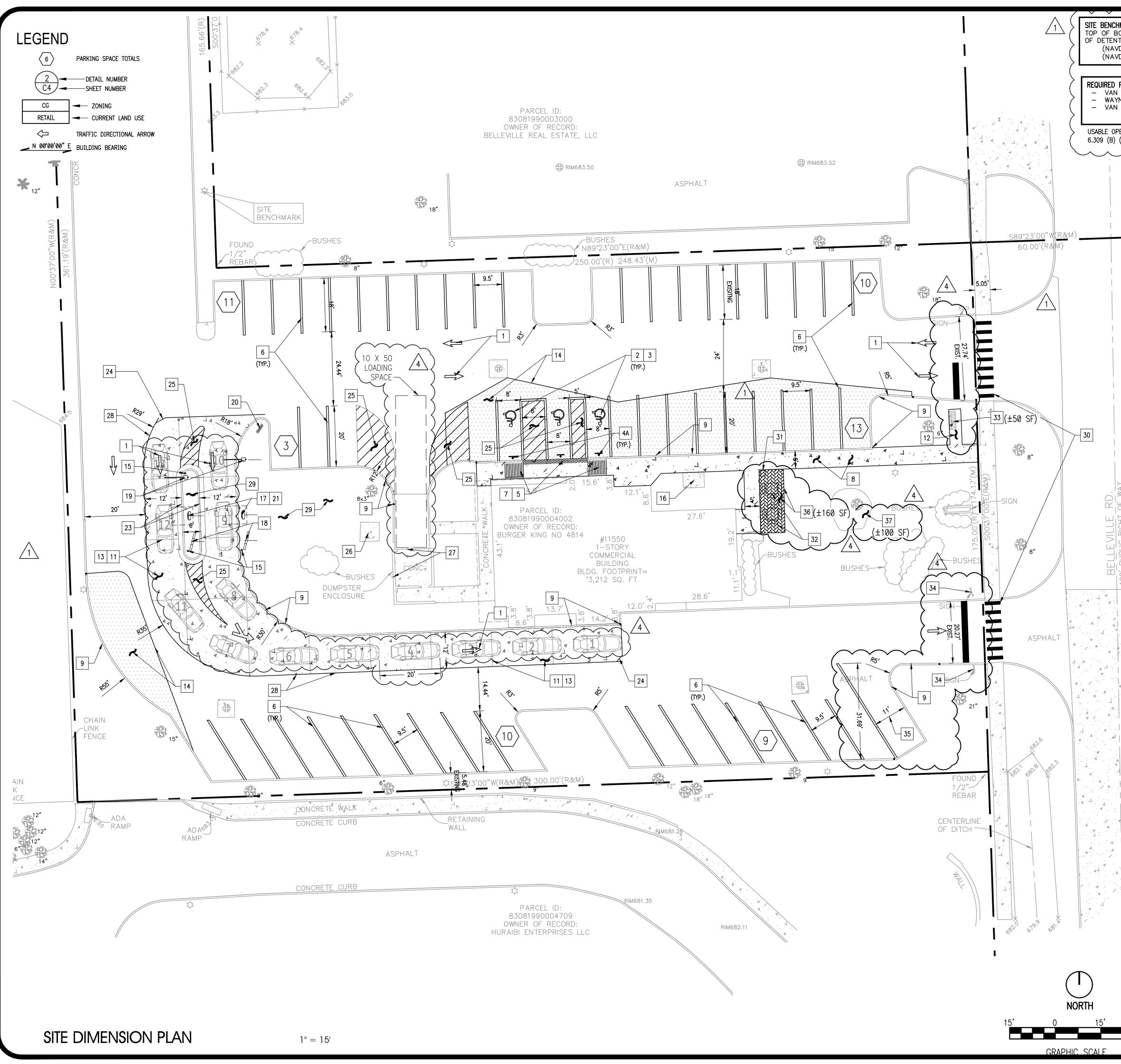
GRAPHIC SCALE

## **DEMOLITION NOTES**

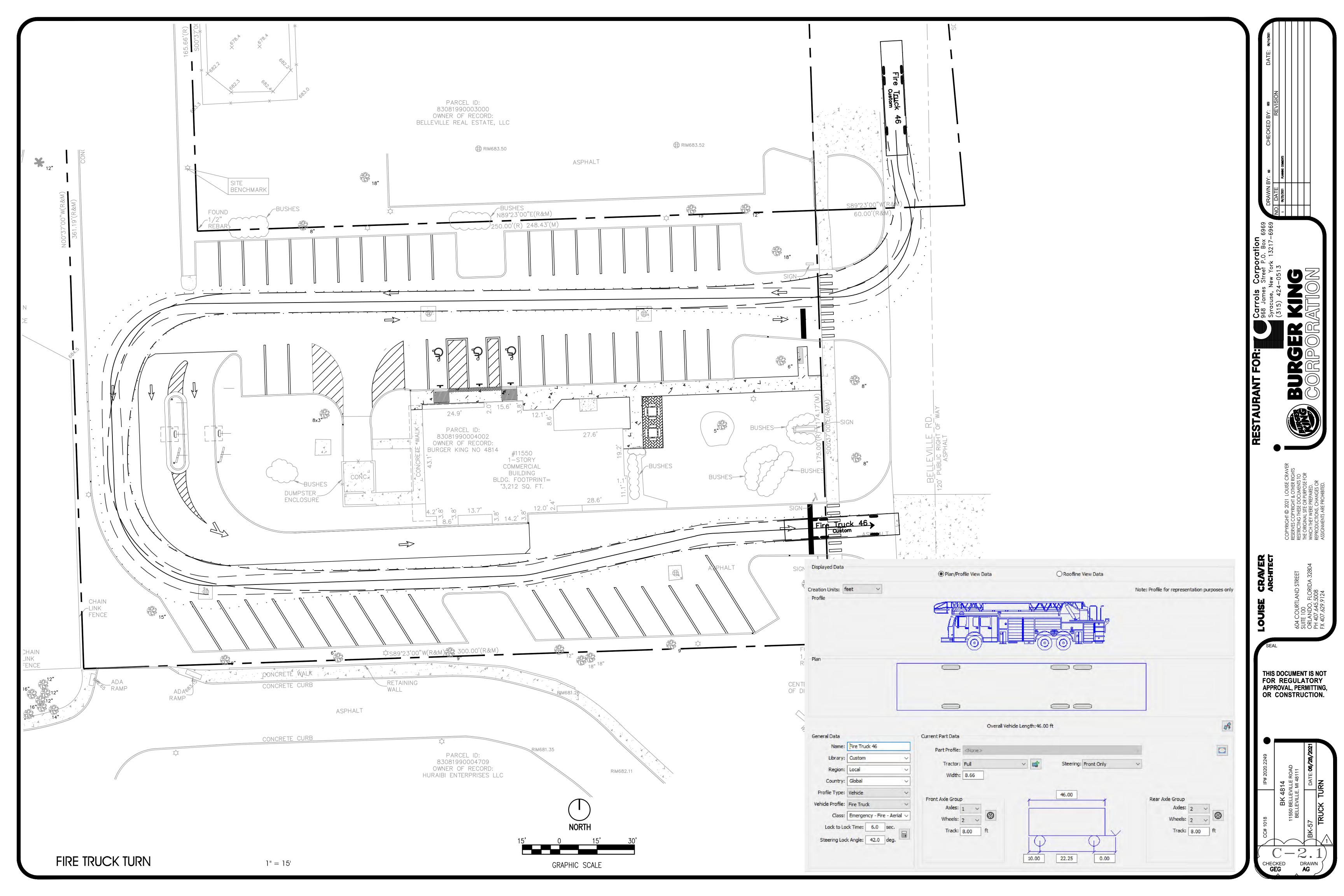
1. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.

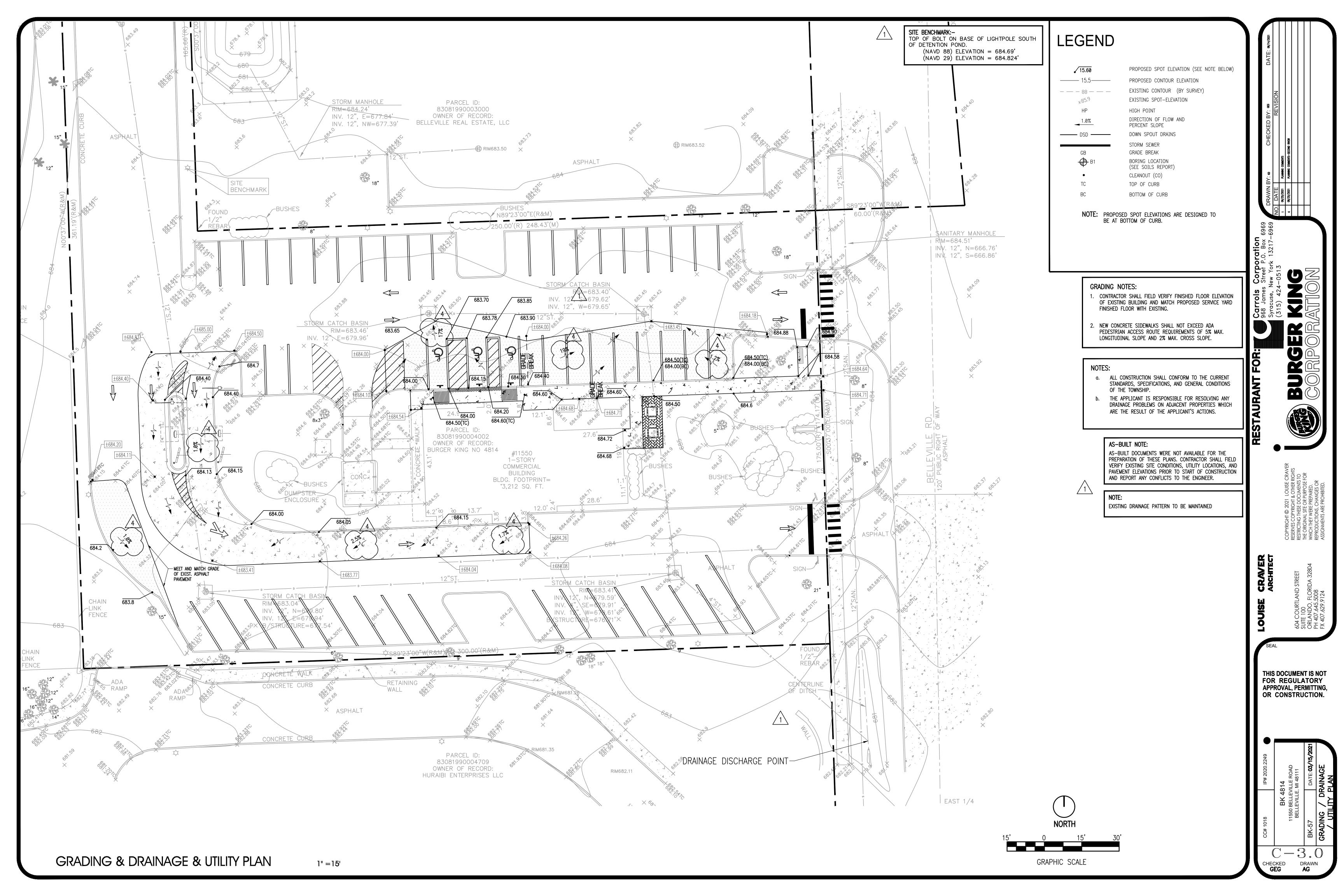
2. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.

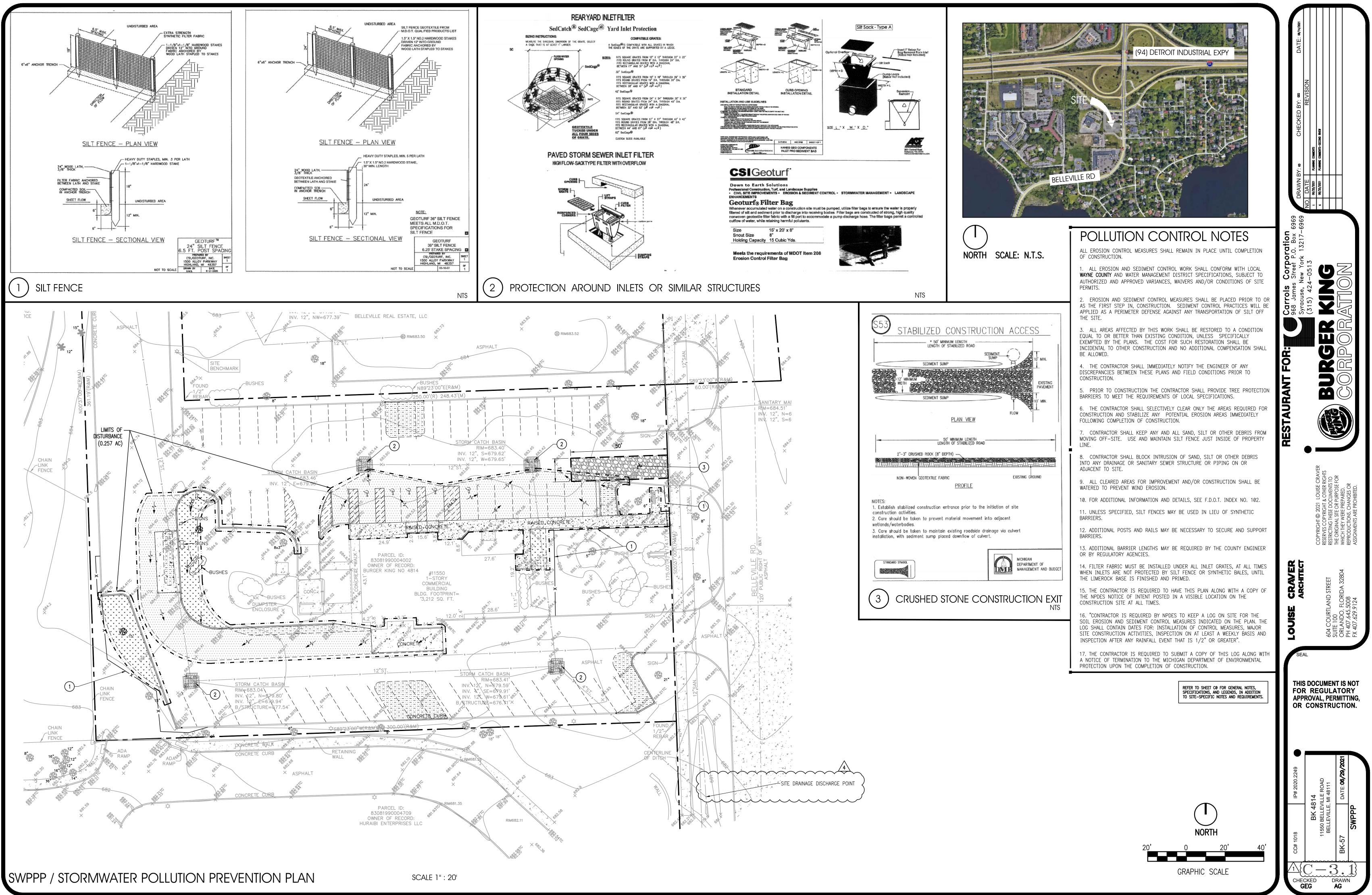
3. EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.

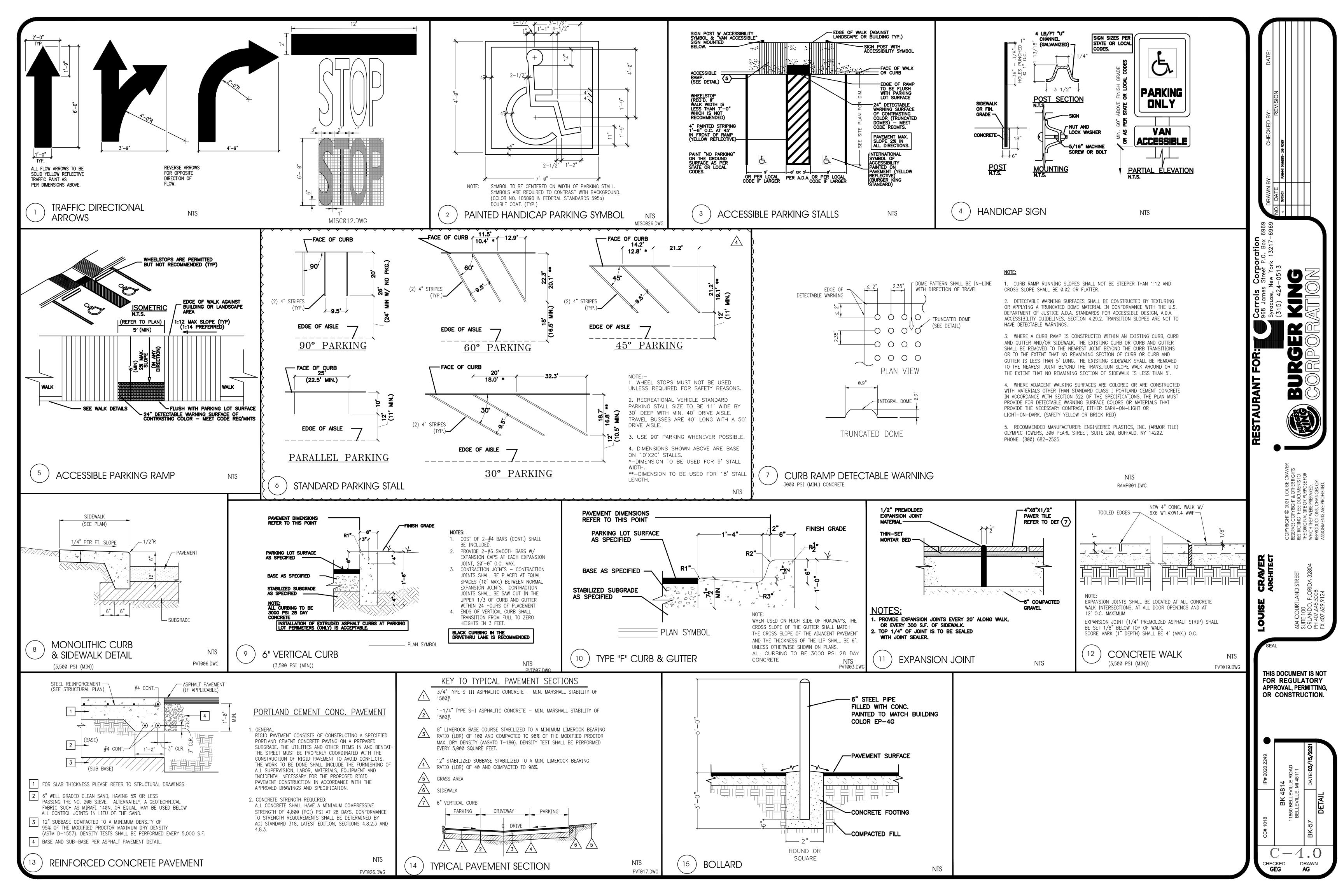


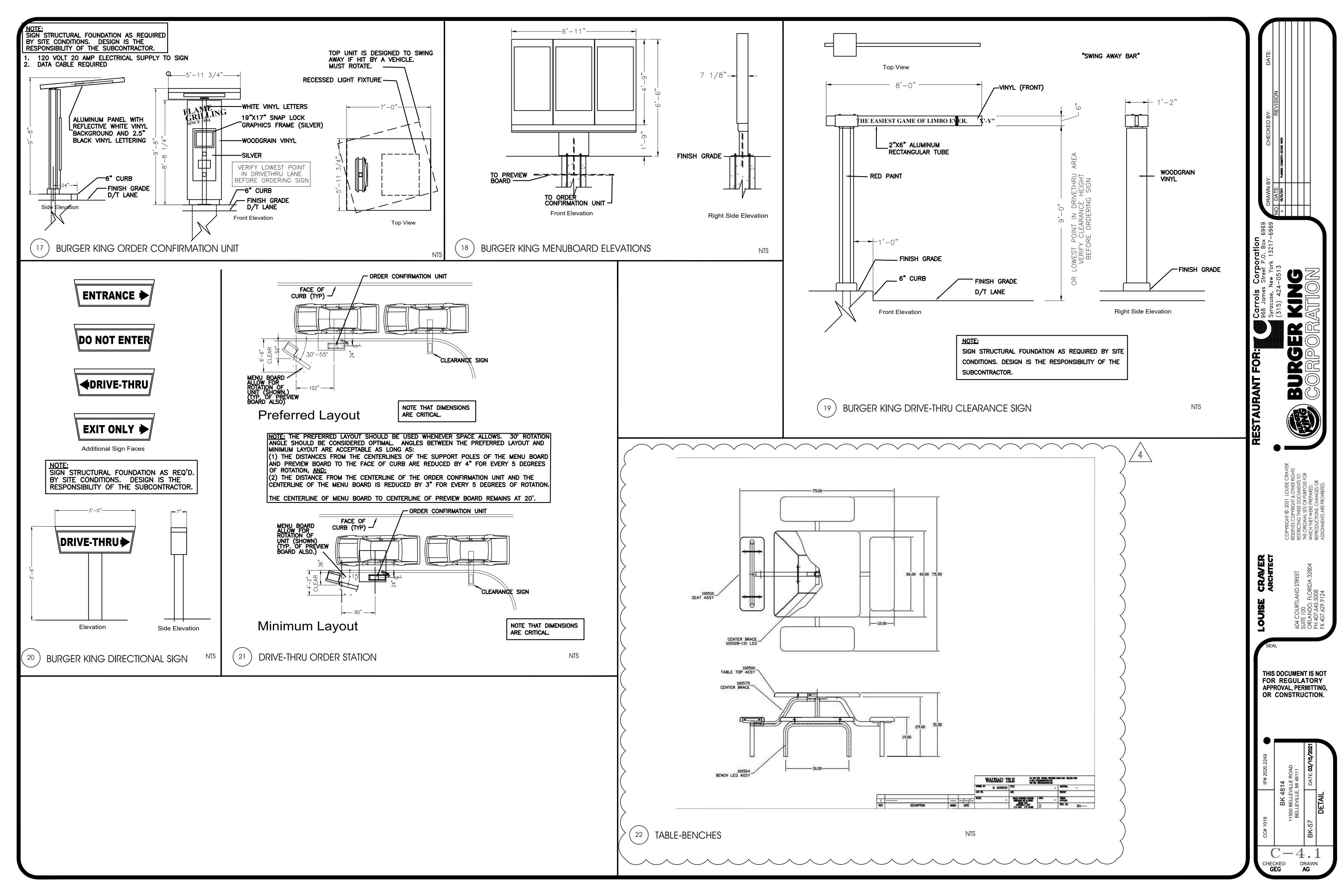
	SITE PLAN D	ESIGN NOTES & KEY PL	AN		
HMARK:- BOLT ON BASE OF LIGHTPOLE SOUTH	1 DIRECTIONAL	ARROW/ STOP LINE GRAPHIC		06/14/2021	
VD 88) ELEVATION = 684.69' VD 29) ELEVATION = 684.824'	2 PAINTED HAN	DICAP PARKING SYMBOL	$\frac{2}{C-4.0}$	DATE:	
		PARKING STALLS	(-4.0)		
PERMITS; N BUREN TOWNSHIP BUILDING PERMIT YNE COUNTY HEALTH REVIEW		Signage Signs shall conform to the "manual on	C-4.0	z	
BUREN TOWNSHIP ZONING REVIEW		RM TRAFFIC CONTROL DEVICES" BY THE U.S RTMENT OF TRANSPORTATION.		۲: هت REVISION	
PEN SPACE PER BROD SECTION		S SHALL BE PROVIDED AND INSTALLED BY SER KING GENERAL CONTRACTOR.	/		
(4) = 310  SF	4A RELOCA	TED HANDICAPPED PARKING SIGN (2 REQUIR	ED)	CHECKED	
	4B "STOP"	SIGN		CH 2ND REVIEW	
	5 ACCESSIBLE	PARKING RAMP	(5)	COMMENTS - COMMENTS	
	6 STANDARD PA	ARKING STALL / RESTRIPED PARKING SPACES	$\sim$ / 6 \	BY: K0 Planning (	
		DETECTABLE WARNING	(-4.0) 8	DRAWN E DATE 06/25/2021 08/25/2021	
	8 MONOLITHIC ( 9 6" VERTICAL	CURB & SIDEWALK DETAIL	<u>9</u> <u>C-4.0</u>		++-
		RB & GUTTER	C-4.0	66	
	11 EXPANSION J		(11)	n x 6969 7–6969	
	12 CONCRETE W	ALK	13 $12$ $12$ $-4.0$	<b>ation</b> Box 13217-	
		BLACK CONCRETE	C-4.0 14	rpor set P.( York	
	14 NEW PAVEME		15	Stre Stre	
		E RACK (4 SPACES)	C-4.0 17 C-4.0	ols ames use, h 424	
	17 BURGER KING (BY OTHERS	G ORDER CONFIRMATION UNIT	$\left(\begin{array}{c} 17\\ \hline C-4.1\end{array}\right)$	Carrols 968 James Syracuse, (315) 42.	
	•	G MENUBOARD ELEVATIONS	$\underbrace{18}_{\text{C-4.1}}$		
		G DRIVE-THRU CLEARANCE SIGN	19 C-4.1		
	20 RELOCATED E SIGN (BY 01	BURGER KING DIRECTIONAL THERS)	$\frac{20}{C-4.1}$	FOR	
		ORDER STATION	21 C-4.1	E E	
	22 RELOCATED S	SIGN			
		ORDER POINT ISLAND CURB		RESTAURANT	
OF WAY		FER ON CONCRETE PAVEMENT GONAL / CHEVRON STRIPING			
	26 EXISTING TRA			เริ่	
PUBLIC RIGHT ASPHALT	27 EXISTING DU	MPSTER TO BE REPAIRED AND GATES REPLAC	CED (SEE SITE NOTE)		
ASF	28 4" WIDE WHI			er.	
	29 NEW LANDSC 30 CROSSWALK-	APING PER BURGER KING SPECS		CRAVE	E FOR R
120	31 WASTE CONT/		4	LOUISE	CUMENT CUMENT PARED. NGES OI
	32 PICNIC TABLE	$=$ $\begin{pmatrix} 22 \\ C-4.1 \end{pmatrix}$	Ì	© 2021 Укіснт 8	IESE DOO BITE OR F ERE PREI VS, CHAI ARE PRC
		TNCH LOCATION (SQ. FT. AS NOTED)	$\langle$	RIGHT ( FS COP)	THEY WILLIAN THEY WILLIAN DUCTION
	> 34 EXISTING BK > 35 RV/SEMI PAF	" do not enter" sign Rking space	$\langle$	COPY Reserv	RESTRICTING THE ORIGIN WHICH THE' REPRODUC ASSIGNMEN
		DLORED CONCRETE PATIO (SQ. FT. AS NOTED		<b>~</b> ⊢	
	37 EXISTING WAL	LED PLANTER AREA TO REMAIN (SQ. FT. AS	NOTED)	VER	Г 804
				<b>CRAVER</b> Architect	604 COURTLAND STREET SUITE 100 ORLANDO, FLORIDA 32804 PH 407.645.5008 FX 407.629.9124
	SITE NOTES: 1. REPOSITION OR RELO	DCATE SECURITY/OPERATIONAL CAMERAS AT S	SERVICE YARD AREA.		TLAND , FLOR .5008 .9124
		RU LANE/ PAVEMENT. CRACKS TO BE CRA PAVEMENT TO BE RESEALED WITH ASPHAL		OUISE	604 COUR SUITE 100 ORLANDO PH 407.645 FX 407.629
	OF PROJECT. EXIST	ING STRIPING AND PAVEMENT MARKINGS T ES ARE TO HAVE NO MORE THAN A 2% S	O BE REPAINTED.	Lo Lo	604 604 608 SUITE SUITE PH 4 FX 44
	DIRECTION 5. VERIFY WITH CONST	RUCTION MANAGER IF ADDITIONAL CONDUI	TS ARE REQUIRED.	SEAL	
	CROSS SLOPE: 2%	ONE TO MEET ADA STANDARDS:			
	RUNNING SLOPE: 8 7. REWORK DOOR LAN ANY DIRECTION	.55% IDINGS SO THAT THE SLOPS IS NOT GREA	TER THAN 2% IN		
		RIVE-THRU EQUIPMENT IN SAME LOCATION	I TO EXISTING	FOR REGU APPROVAL, OR CONST	PERMITTING,
		TO BE REPLACED WITH NEW TREX GATES			Noo non.
			TV		
A     NOTE:       CONTRACTOR SHALL FIELD VERIFY EXIS		<u>NOTICE: PEDESTRIAN SAFE</u> 1. THE CONTRACTOR SHALL TAKE NECESSAR SEPARATE EACH WORK AREA FROM PEDES	Y MEASURES TO	/ <b>  _</b>	
UTILITY LOCATIONS, AND PAVEMENT ELE START OF CONSTRUCTION AND REPORT THE ENGINEER.		AND TO INSURE SAFE PEDESTRIAN PASSA 2. THE CONTRACTOR SHALL ALSO UTILIZE SA	GE AT ALL TIMES.	0	/2021
		SIGNS, BARRICADES AND OTHER RELATED NECESSARY. THE CONTRACTOR SHALL COU	MEASURES, AS	P# 2020.2249 4 E ROAD	03/15/2021
NOTE:		PERIODICALLY WITH THE PROJECT MANAGE SAFETY CONCERNS AND ADVISE OF ACTIVE	R TO REVIEW	BK 4814	MI 4811 DATE: SION
STANDARDS, SPECIFICATIONS, AND GEN THE TOWNSHIP.				BK 4814	PLAN
2- THE APPLICANT IS RESPONSIBLE F DRAINAGE PROBLEMS ON ADJACENT PR		FIRE NOTES:- 1. FIRE DEPARTMENT ACCESS SHALL BE MAIL	NTAINED	18 B 11550 BE	<b>DIV</b>
THE RESULT OF THE APPLICANT'S ACT		THROUGHOUT CONSTRUCTION. 2. ACCUMULATIONS OF COMBUSTIBLE WASTE	<	CC# 1018	BK-57 SITE
70'	$\gamma_1$	AND DEBRIS SHALL BE REMOVED FROM T AND ITS IMMEDIATE VICINITY AT THE END	HE STRUCTURE OF EACH WORK	Ŭ	
30'	$\sim$	SHIFT OR MORE FREQUENTLY AS NECESS/ OPERATIONS.	ARY FOR SAFE		2.0 DRAWN
				CHECKED GEG	AG

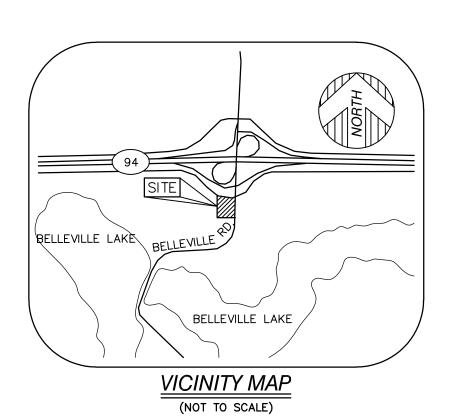












### PARKING

HANDICAP PARKING = 5 STALLS STANDARD PARKING = 59 STALLS

### PARCEL AREA

 $61,366 \pm$  SQUARE FEET =  $1.408 \pm$  ACRES

## BASIS OF BEARING

SOUTH 00'37'00" EAST, BEING THE WEST RIGHT OF WAY LINE OF BELLEVILLE ROAD, AS DESCRIBED.

### **BENCHMARK**

SITE BENCHMARK TOP OF BOLT ON BASE OF LIGHTPOLE SOUTH OF DETENTION POND. ELEVATION = 684.69' (NAVD 88)

### SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

4. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

5. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

7. THERE APPEARS TO BE NO DELINEATED WETLANDS ON SITE.

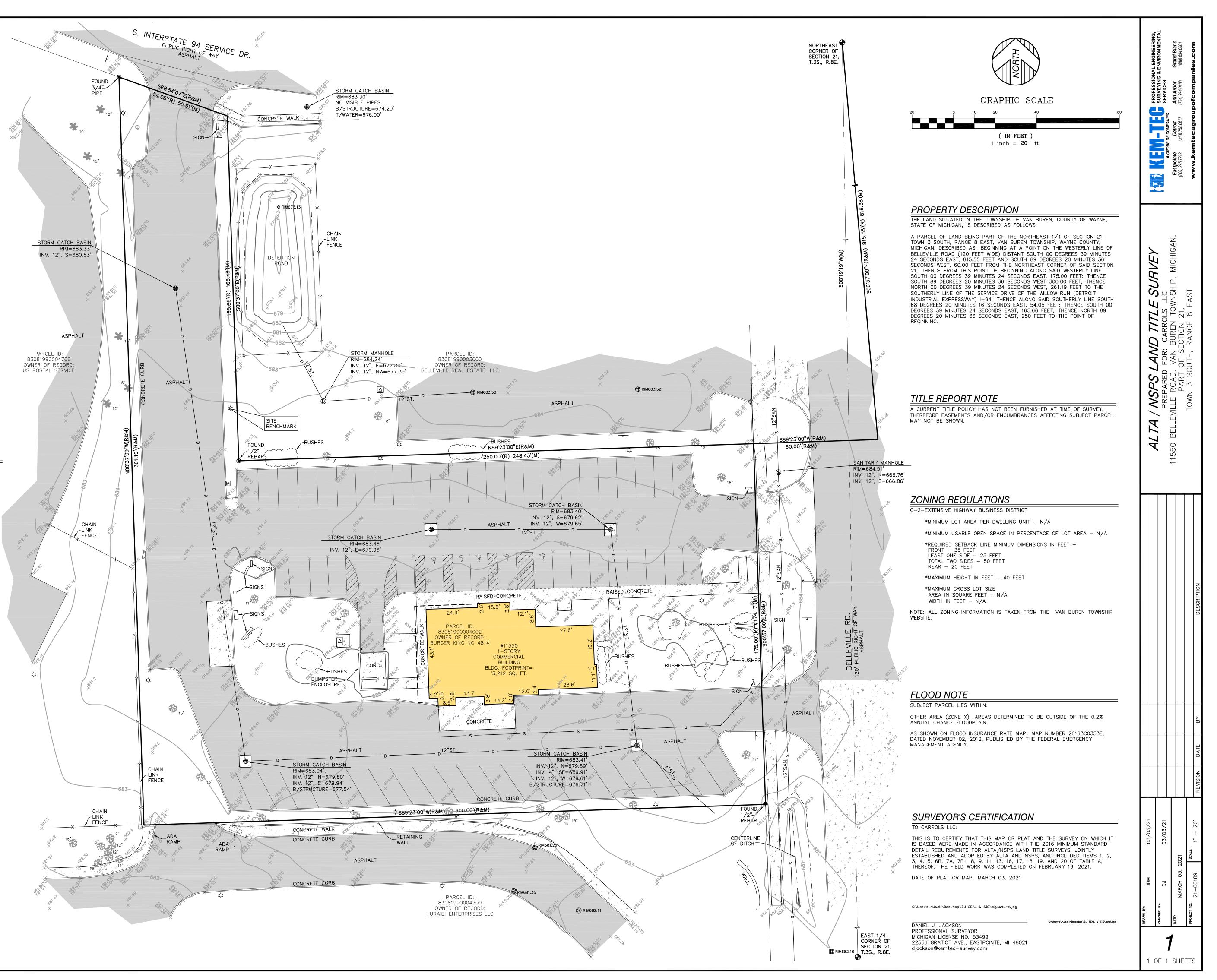
### LEGEND

۲	FOUND MONUMENT (AS NOTED)
•	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
× <sup>0.00</sup>	GROUND ELEVATION
	TRANSFORMER
<b>↔</b> ——≍	LIGHT POLE WITH STREET LAMP
S	SANITARY MANHOLE
$\oplus$	ROUND CATCH BASIN
⊞	SQUARE CATCH BASIN
Ø	DRAIN
•	BOLLARD
¢	LIGHTPOST/LAMP POST
М	MAIL BOX
<del>- 0 -</del>	SINGLE POST SIGN
Ę	HANDICAP PARKING
Real Providence of the second se	DECIDUOUS TREE (AS NOTED)

 ADJOINER F BUILDING O CENTERLINE CONCRETE RAISED COM PARKING EDGE OF C EDGE OF A FENCE (AS WALL (AS M TREE / BR SANITARY L STORM LINE MINOR COM BUILDING A
BUILDING A
ASPHALT
CONCRETE

X

DECIDUOUS TREE (AS NOTED) CONIFEROUS TREE (AS NOTED) PARCEL BOUNDARY LINE ADJOINER PARCEL LINE BUILDING BUILDING OVERHANG CENTERLINE DITCH CONCRETE CURB RAISED CONCRETE PARKING EDGE OF CONCRETE (CONC.) EDGE OF ASPHALT (ASPH.) FENCE (AS NOTED) WALL (AS NOTED) TREE / BRUSH LINE (AS NOTED) SANITARY LINE STORM LINE MINOR CONTOUR LINE MAJOR CONTOUR LINE BUILDING AREA ASPHALT





FRONT ELEVATION GLASS CALCULATIONS				
TOTAL ELEVATION AREA (SQ. FT.) REQUIRED GLASS AREA (SQ.FT.) PROVIDED GLASS AREA (SQ. 50% OF TOTAL AREA				
508 SQ. FT.	254 SQ. FT.	260 SQ. FT.		



FRONT ELEVATION - EAST



MAIN ENTRY ELEVATION - NORTH



## BURGER KING 4814 CC1018 11550 BELLEVILLE ROAD **BELLEVILLE, MI**

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.









**REAR ELEVATION - WEST** 



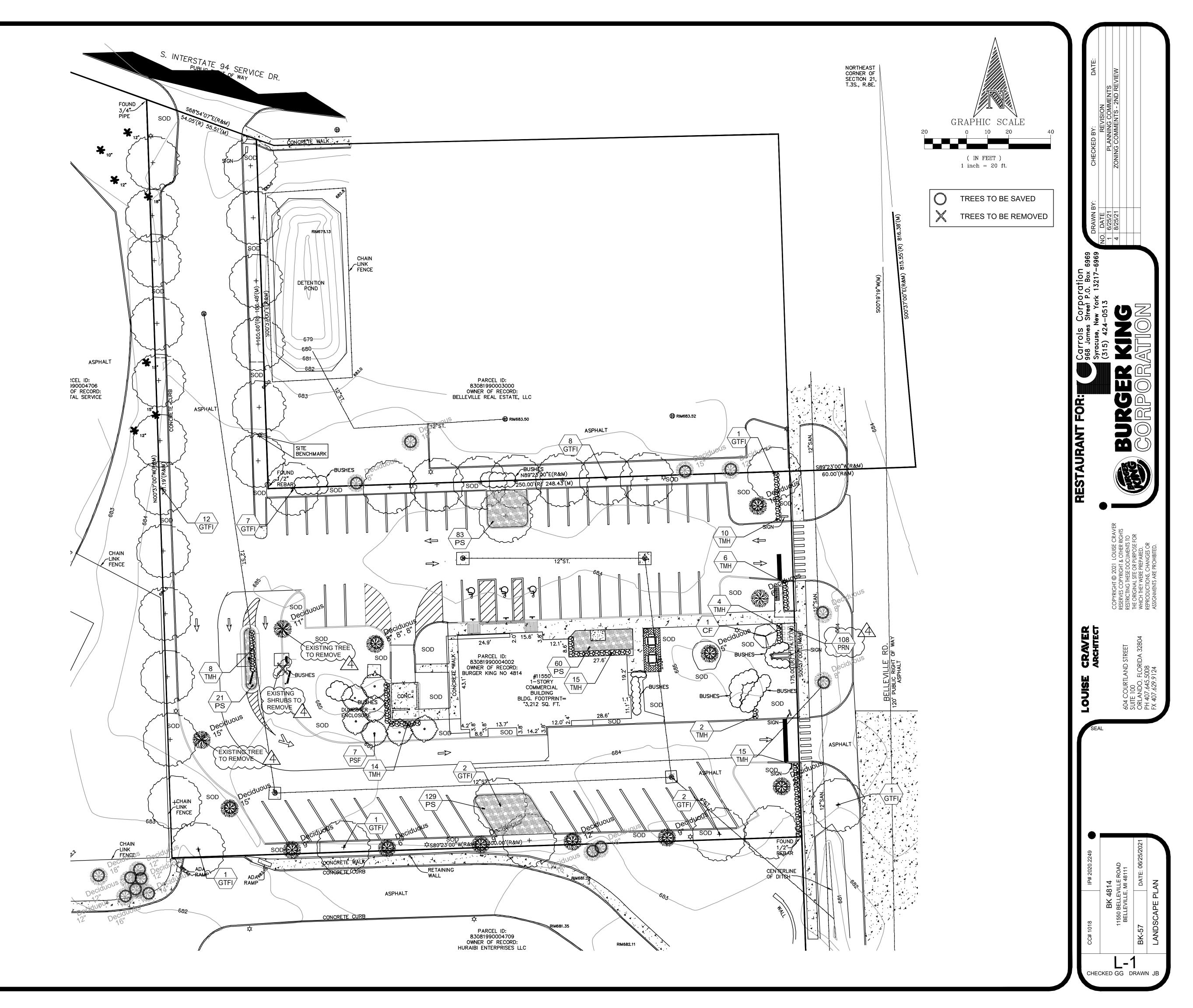
DRIVE THRU ELEVATION - SOUTH



## BURGER KING 4814 CC1018 11550 BELLEVILLE ROAD **BELLEVILLE, MI**

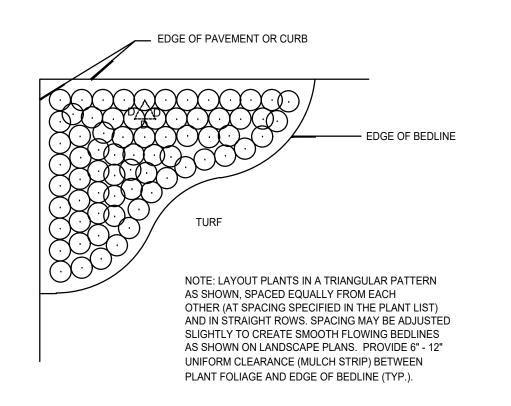
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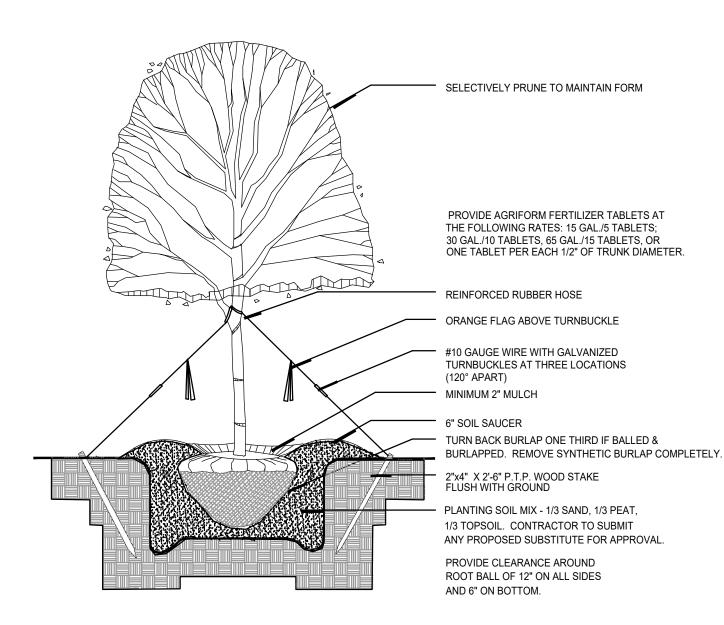


\_\_\_\_\_<u>/</u>4 TREE REMOVAL, PER
 SECTION 8.106 WOODLAND
 AND TREE PRESERVATION, SUBSECTION (J) RELOCATION AND REPLACEMENT: TWO TREES BEING REMOVED, DECIDUOUS 11" AND DECIDUOUS 15" DOES NOT APPEAR ON THE REPLACEMENT RATIO LIST. THEREFORE NO TREE MITIGATION FOR REMOVAL OF THESE TWO TREES.

 $\sim$ 



### SHRUB/GROUNDCOVER SPACING DETAIL NOT TO SCALE



TREE PLANTING DETAIL NOT TO SCALE

#### PROVIDE AGRIFORM (20-10-5) FERTILIZER TABLETS AT THE FOLLOWING RATES: 3 GAL./ 2 TABLETS: 1 GAL./1 TABLET.

PROVIDE 6" MINIMUM CLEARANCE AROUND ROOT BALL (SIDES AND BOTTOM).

2" MULCH MINIMUM - DO NOT COVER MAIN STEM

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

## NOT TO SCALE

## NOT TO SCALE

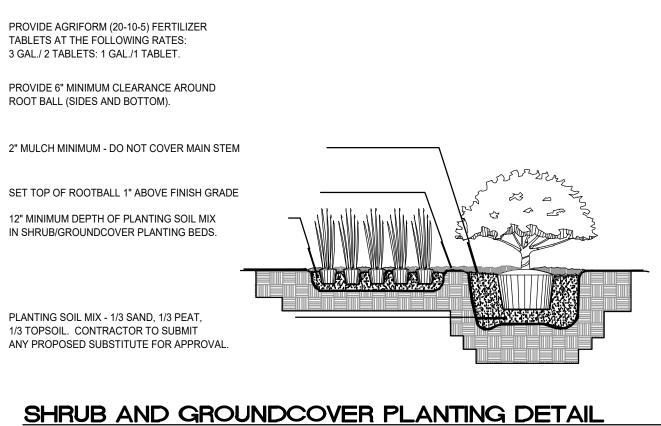
## LANDSCAPE PLANTING NOTES:

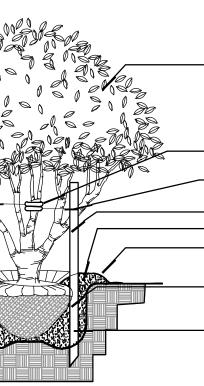
- FOR NURSERY PLANTS.
- AND AFTER INSTALLATION.
- FULL, DENSE CROWN.

## LANDSCAPE CONTRACTOR NOTES:

- OWNER.

- DURING THE WORK.
- WORK.





- SELECTIVELY PRUNE TO MAINTAIN FORM PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES: 15 GAL./5 TABLETS 30 GAL./10 TABLETS, 65 GAL./15 TABLETS, OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER. REINFORCED RUBBER HOSE

#10 GAUGE WIRE FROM CENTRAL TRUNK TO THREE STAKES THREE 2" x 2"x 8' P.T.P. STAKES

MINIMUM 2" MULCH 6" SOIL SAUCER

TURN BACK BURLAP ONE THIRD IF BALLED & BURLAPPED. REMOVE SYNTHETIC BURLAP COMPLETELY.

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

PROVIDE CLEARANCE AROUND ROOT BALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.

## MULTI-TRUNK TREE PLANTING DETAIL

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES. 2. ALL PLANTS SHALL BE GRADE NO. 1 OR BETTER, AS GRADED IN MICHIGAN GRADES AND STANDARDS

3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING,

4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A

5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS. 6. ALL MULCH PLANTING AREAS SHALL BE A MINIMUM OF 2" IN DEPTH.

7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.

8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA. 9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB. 2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE

3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.

4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.

5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED

7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT. 8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE. OF HIS

	•		PLANT L		
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	REMARKS
TREES					
CF	1	CORNUS FLORIDA	FLOWERING DOGWOOD	2" CALIPER MINIMUM	SPACE AS SHOWN GUY
GTFI	35	GLEDITSIA TRIACANTHOS F. INERMIS	THRONLESS HONEY LOCUST	3" CALIPER MINIMUM	SPACE AS SHOWN GUY
PSF	7	PINUS STROBUS 'FASTIGIATA'	PYRAMIDAL WHITE PINE	8' TALL	SPACE AS SHOWN GUY
SHRUBS					
TMH	74	TAXUS X MEDIA 'HICKSII'	HICKS YEW	30" HT. x 30" SPR AT TIME OF PLANTING	30" O.C.
GROUNDCC	VERS				
PRN	108 S.F.	PERENNIALS	PERENNIALS	CHOSEN BY OWNER TO BE REPLACED UPON COMPLETE DECLINE	9" O.C.
PS	293	PHLOX SUBULATA	MOSS PHLOX	1 GAL CAN FULL	24" O.C.
SOD		1			
	SEE PLANS	POA PRATENSIS	KENTUCKY BLUEGRASS	SOLID, FREE OF PESTS AND DISEASES	FIELD VERIFY QTY.
MULCH					
	SEE PLANS	RED PINE BARK	RED PINE BARK	FREE OF DIRT AND DEBRIS	FIELD VERIFY QTY.

VAN BUREN TOWNSHIP CODE CALCULATIONS: FRONTAGE LANDSCAPING - 1 DECIDUOUS TREE / 40 LINEAL FEET = 127' / 40 = 3.175 DECIDUOUS TREES

PROVIDED: 3 EXISTING DECIDUOUS TREES FRONTAGE LANDSCAPING - 1 ORNAMENTAL TREE / 100 LINEAL FEET = 127' / 100 = 1.27 ORNAMENTAL TREE

PROVIDED: 1 ORNAMENTAL TREE FRONTAGE LANDSCAPING - 8 SHRUBS / 40 LINEAL FEET = 127' / 40 = 3.175 X 8 = 25.4 SHRUBS PROVIDED: 25 SHRUBS

STREET TREE LANDSCAPING - 1 DECIDUOUS TREE / 40 LINEAL FEET = 127' / 40 = 3.175 DECIDUOUS TREES PROVIDED: 2 EXISTING DECIDUOUS TREES AND 1 DECIDUOUS TREE PARKING LOT LANDSCAPING - LANDSCAPED AND SCREENED FROM ADJOINING PUBLIC RIGHTS OF WAY

PROVIDED: HEDGE ON EAST PROPERTY LINE TO ATTAIN OPACITY AND HEIGHT OF THREE FEET WITHIN 12 MONTHS INTERIOR PARKING LOT LANDSCAPING - 5% ALL PAVED PARKING AREAS - 42,568 SQ.FT. X 5% = 2,128 SQ.FT. PROVIDED: 293 SQ.FT. EXISTING AND +1,835 SQ.FT OF GROUNDCOVERS

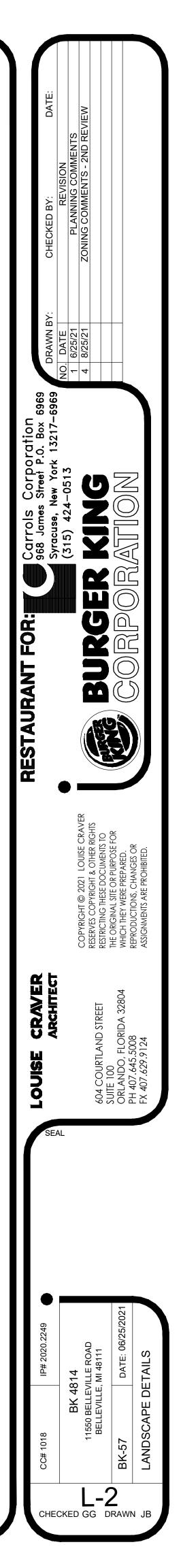
INTERIOR PARKING LOT LANDSCAPING - 1 DECIDUOUS TREE PER EACH 300 SQ.FT. - 2,128 / 300 = 7.09 DECIDUOUS TREES PROVIDED: 5 EXISTING DECIDUOUS TREES AND 2 DECIDUOUS TREES LOADING AREA LANDSCAPING -

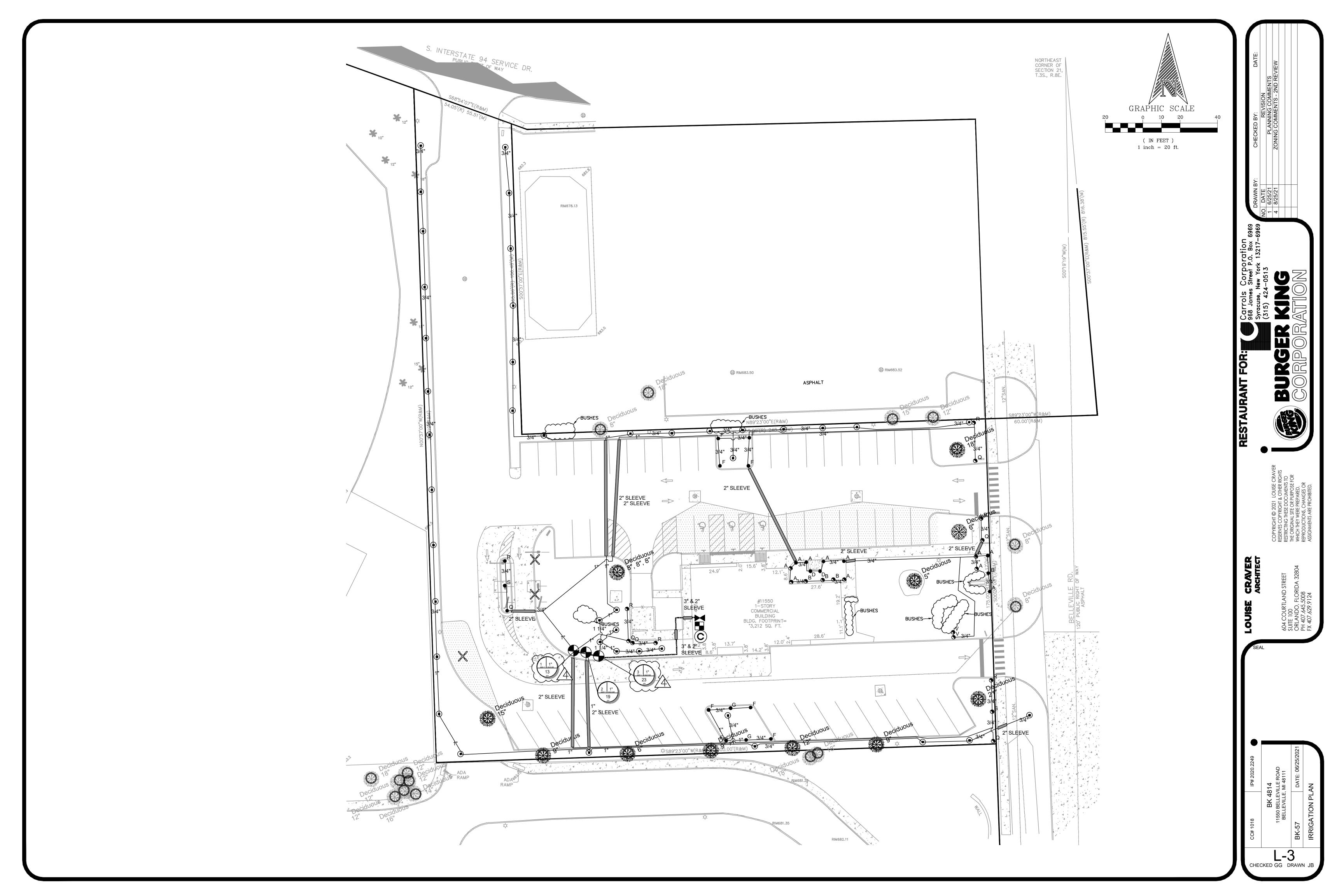
PROVIDED: TREES AROUND LOADING AREA GREENBELT BUFFERING - 10 FOOT BUFFER WITH 1 TREE PER 30 LINEAL FEET REQUIRED NORTH - 415 / 30 = 13.8 TREES PROVIDED: 14 DECIDUOUS TREES

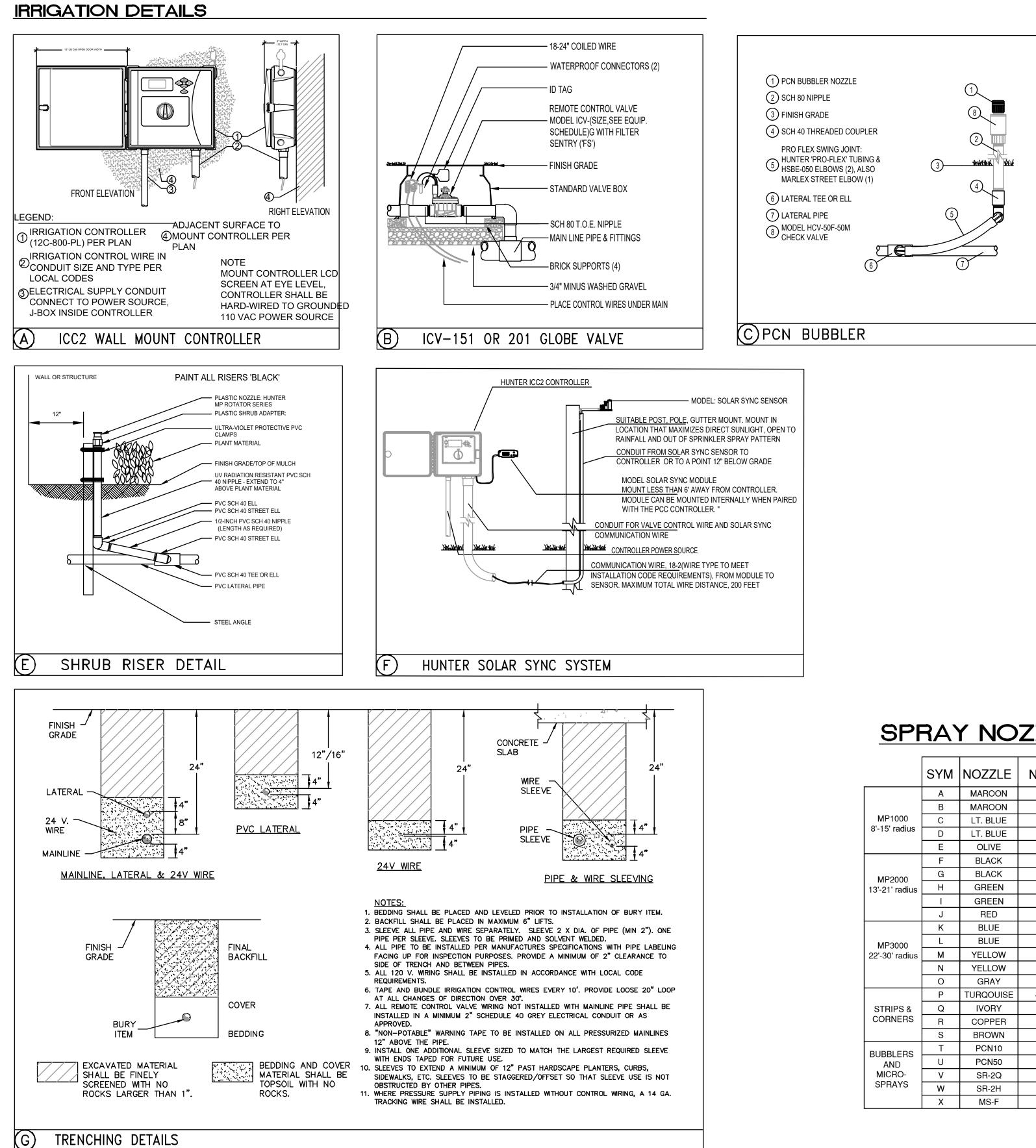
GREENBELT BUFFERING - 10 FOOT BUFFER WITH 1 TREE PER 30 LINEAL FEET REQUIRED WEST - 361 / 30 = 12 TREES PROVIDED: 12 DECIDUOUS TREES

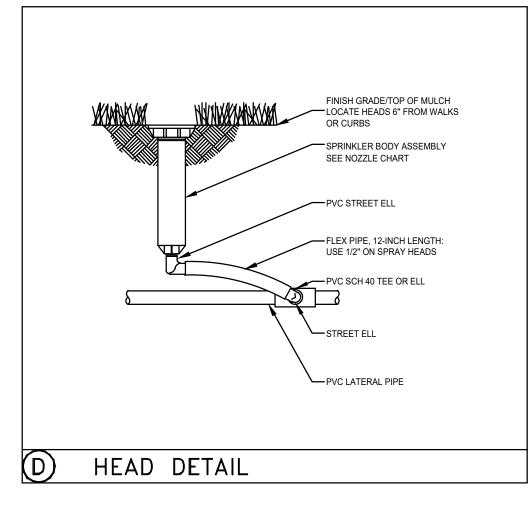
GREENBELT BUFFERING - 10 FOOT BUFFER WITH 1 TREE PER 30 LINEAL FEET REQUIRED SOUTH - 300 / 30 = 10 TREES PROVIDED: 5 EXISTING DECIDUOUS TREES AND 5 DECIDUOUS TREES TREE REMOVAL OF ANY TREES GREATER THAN 5" DBH

PROVIDED: 2 TREES EQUALING 26" DBH









## SPRAY NOZZLE CHART

	SYM	NOZZLE	NOZZLE PATTERN	GPM
	A	MAROON	90° ADJUSTABLE ARC	.19
	В	MAROON	180° ADJUSTABLE ARC	.37
MP1000	С	LT. BLUE	210° ADJUSTABLE ARC	.43
8'-15' radius	D	LT. BLUE	270° ADJUSTABLE ARC	.57
	E	OLIVE	360° ARC	.75
	F	BLACK	90° ADJUSTABLE ARC	.40
MP2000	G	BLACK	180° ADJUSTABLE ARC	.74
13'-21' radius	Н	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.47
	K	BLUE	90° ADJUSTABLE ARC	.86
MP3000	L	BLUE	180° ADJUSTABLE ARC	1.82
22'-30' radius	М	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	0	GRAY	360° ARC	3.64
	Р	TURQOUISE	45°-105° ADJUSTABLE ARC	.45
STRIPS &	Q	IVORY	5'x15' LEFT STRIP	.22
CORNERS	R	COPPER	5'x15' RIGHT STRIP	.22
	S	BROWN	5'x30' SIDE STRIP	.44
BUBBLERS	Т	PCN10	1.00 GPM FLOOD BUBBLER	1.00
AND	U	PCN50	.50 GPM FLOOD BUBBLER	.50
MICRO-	V	SR-2Q	90° 2' RADIUS	.11
SPRAYS	W	SR-2H	180° 2' RADIUS	.16
	Х	MS-F	360° 5' RADIUS	.50

## **IRRIGATION NOTES**

1) REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.

2) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.

3) ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.

4) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.

5) THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.

6) ALL RISERS SHALL BE PAINTED BLACK.

7) ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.

8) ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.

9) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.

10) ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.

11) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.

12) ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD. 13) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.

14) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.

15) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.

16) CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.

17) CONCRETE THRUST BLOCKS ARE TO BE UTULIZED AT ALL MAINLINE DIRECTION CHANGES.

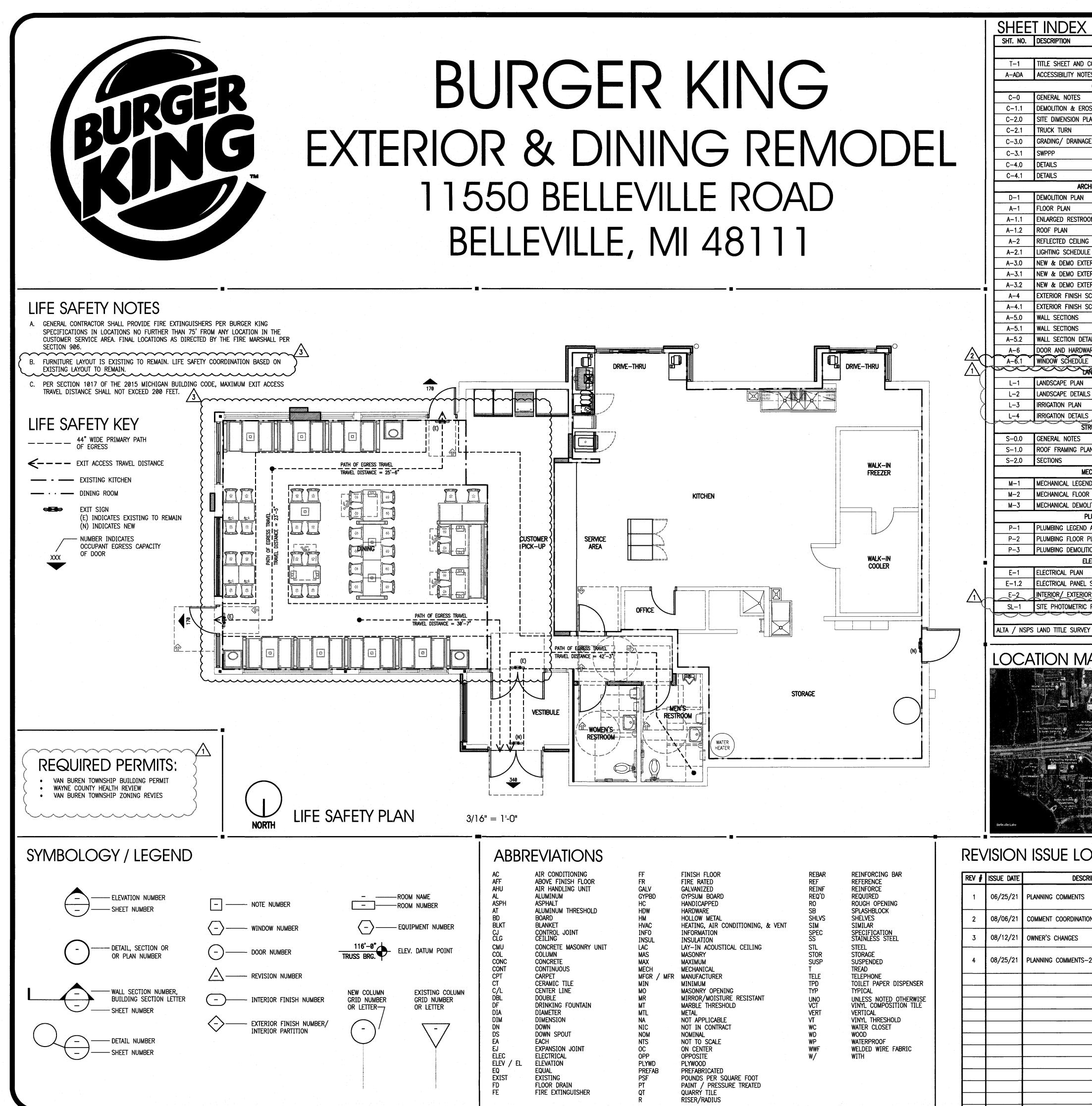
18) ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

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<u>E</u> C	QUIPMENT LIST	
<u>SYMBOL</u>	DESCRIPTION	QUANTITY
	0.50 GPM BUBBLER (2 PER TREE)	
$\bigcirc$	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 W/MP2000 NOZZELS	
٠	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 W/MP2000 NOZZELS	$4 \qquad 22$
	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	21
	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- PART RADIUS	0
	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- FULL RADIUS	0
	HUNTER INDUSTRIES - I-40 ROTORS - PART 60' RADIUS	0
•	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR <u>1"</u>	3
${}^{\bullet}$	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH         ACCU-SET PRESSURE REGULATOR         1 1/2"	0
$\bigcirc$	HUNTER ICC2 8 STATION CONTROLLER, 120VOLT INSTALL WITH A SOLAR SYNC (WITH EVAPOTRANSPIRATION SENSOR AND RAIN SENSOR AND BY-PASS BOX.) GROUND WITH AN 8' COPPER CLAD ROD.	1
	1" POTABLE IRRIGATION METER TO PROVIDE 30 GPM AT 40 PSI	1
	1" DOUBLE CHECK VALVE BACKFLOW PREVENTOR	1
	LATERAL LINE SIZE PER PLAN	SEE PLAN
	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN	SEE PLAN
	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24"	SEE PLAN

(ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)





RGER KING         & DINING REMODEL         0 BELLEVILLE ROAD         LEVILLE, MI 48111	SHEET INDEX         SHT. NO. DESCRIPTION         T-1       TITLE SHEET AND COER SHUEW         A-ADA ACCESSIBILITY NOTES AND DETAILS         C-0       CENERAL INOTES         C-11       DEMOLTION & EROSON CONTROL PLAN         C-20       STE DIMUNICA & EROSON CONTROL PLAN         C-211       TRUCK TURN         C-30       GRADINGY DRIVACE / UTILITY PLAN         C-31       SWPPP         C-4.0       DETAILS         A-C-4.1       DETAILS         A-C-4.1       DETAILS         A-C-4.1       DETAILS         A-C-4.1       DETAILS         A-1.1       ENABLED RESTROW PLANS - DENO & NEW         A-1.2       ROOF PLAN         A-2       REFLECTED COLLING PLAN         A-2.1       LIGHTING SCHEDULE         A-3.2       NEW & DENO EXTERIOR ELEVATIONS         A-3.1       NEW & DENO EXTERIOR ELEVATIONS         A-3.2       NEW & DENO EXTERIOR ELEVATIONS         A-3.1       NEW & DENO EXTERIOR ELEVATIONS         A-3.2       NEW & DENO EXTERIOR ELEVATIONS         A-3.1       NEW & DENO EXTERIOR ELEVATIONS         A-3.2       NEW & DENO EXTERIOR ELEVATIONS         A-3.1       NEW & DENO EXTERIOR ELEVATIONS	
'-O"	Bellestije Lake	MEN         WOMEN         MEN         WOMEN         MEN         WOMEN           WC         1         1         1         2         1         1           LAV         1         1         1         1         1         SEAL           URINAL         1         N/A         -         N/A         Provide Pr
	VISION ISSUE LOG           ISSUE DATE         DESCRIPTION         AFFECTED SF           06/25/21         PLANNING COMMENTS         T-1, C-0, C-2.0, C-2.1, L-1, L-2, L-3, L-4, A-3 SL-1           08/06/21         COMMENT COORDINATION         T-1, D-1, A-1, A-1.1, A           08/12/21         OWNER'S CHANGES         T-1, D-1, A-1, A-2, A- E-1, E-1.2, E-2           08/25/21         PLANNING COMMENTS-2ND REVIEW         T-1, C-0, C-1.1, C-2.0, A-1.0, A-3.0, A-3.1, A-3, L-3, L-4, SURVEY           08/25/21         PLANNING COMMENTS-2ND REVIEW         T-1, C-0, C-1.1, C-2.0, A-1.0, A-3.0, A-3.1, A-3, L-3, L-4, SURVEY	, C-3.0, C-3.1, $WB$ 3.0, A-3.1, A-3.2,       WB         A-3.2, A-5.0,       WB $0.0, S-1.0, S-2.0$ WB $0.0, S-1.0, S-2.0$ WB $0.0, C-4.1, M-2, MB$ WB

DINING 3

## FLOOR PLAN

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## 1/4" = 1'-0"

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KEYED NOTES - INTERIOR

NORTH

SITE SPECIFIC NOTES ON BK-57 GARDEN GRILL

1. INSTALL NEW STOREFRONT WINDOW. VERIFY DIMENSIONS OF OPENING PRIOR TO MANUFACTURING.

KEYED NOTES - EXTERIOR 🔷

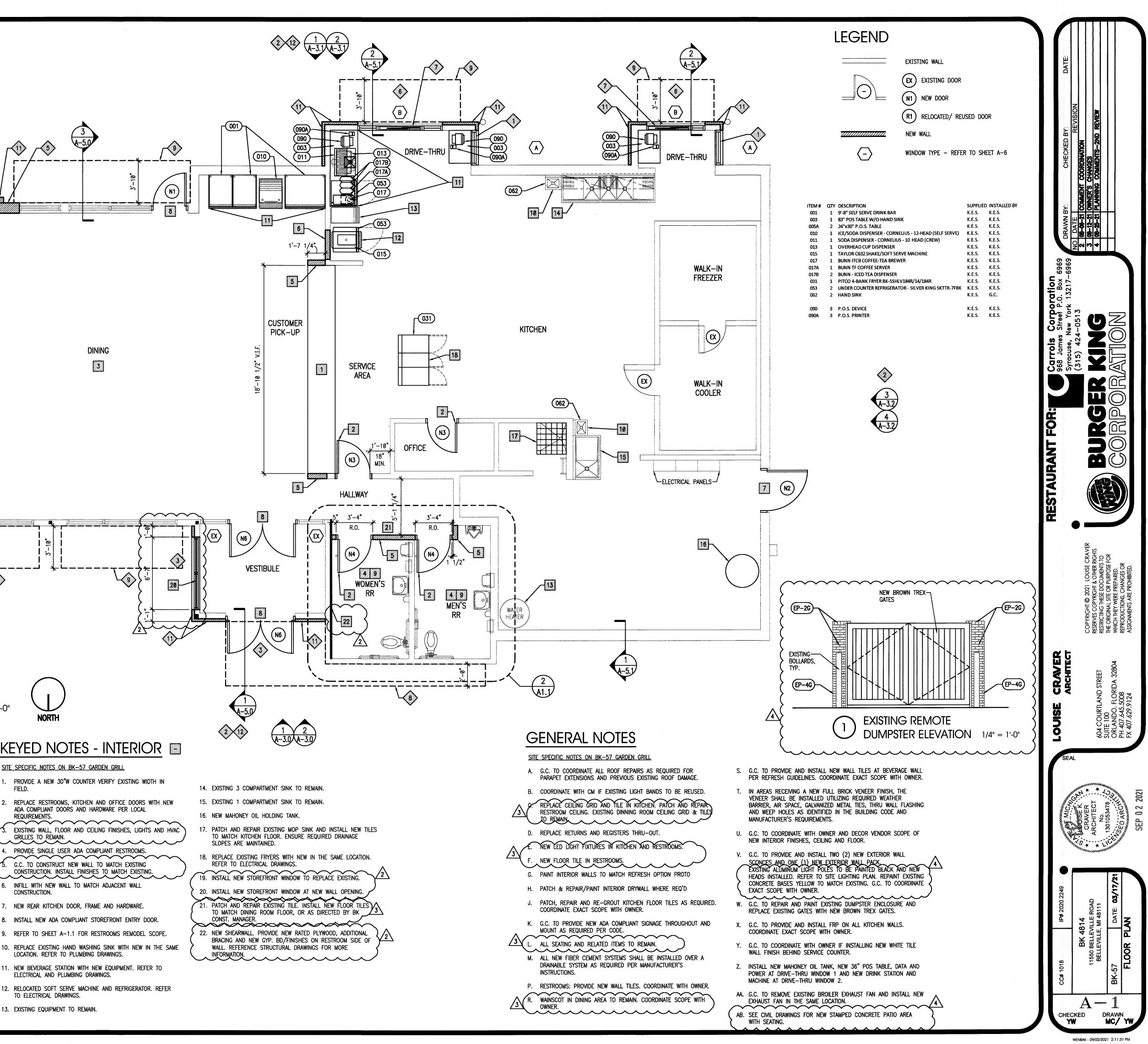
- 2. INSTALL NEW NICHIHA FIBER CEMENT PANELS PER NEW ELEVATIONS AND EXTERIOR FINISH SCHEDULE.
- 3. NEW NICHIHA FINISH ON RAISED MAIN ENTRY ARCHON.
- 4. NEW CORNER ARCHON.

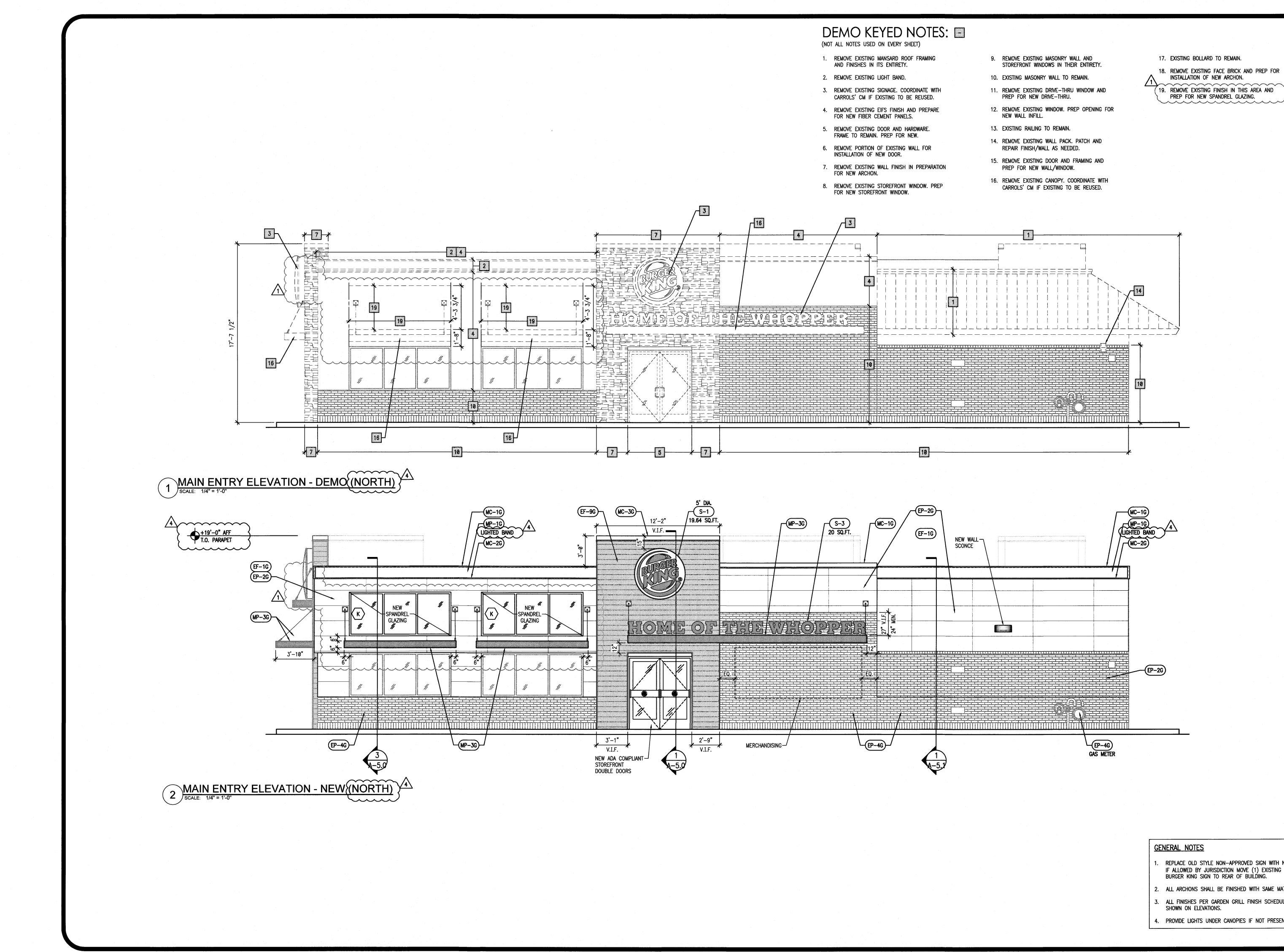
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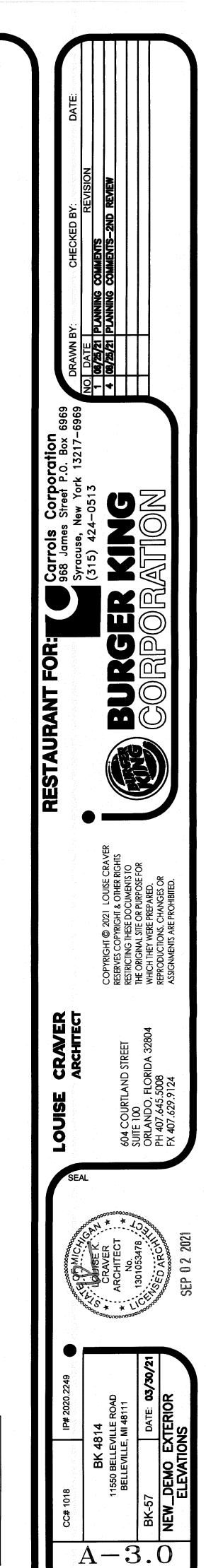
- 5. INFILL WITH 2X STUDS TO MATCH EXISTING CONSTRUCTION WITH R-13 BATT, 1/2" SHEATHING BOTH SIDES, 5/8" GYP. BD. INSIDE AND REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH.
- 6. NEW NICHIHA FINISH ON RAISED DRIVE-THRU ARCHON.
- 7. REPLACE DRIVE-THRU WINDOW WITH NEW. G.C. TO COORDINATE SIZE OF NEW UNIT WITH OWNER AND PROVIDE NEW ROUGH OPENING AS NECESSARY.
- 8. NEW CANOPY ABOVE WITH "HOME OF THE WHOPPER" SIGNAGE. CANOPY TO EXTEND TO COVER MERCHANDISING FOR LIGHTING.
- 9. NEW CANOPY ABOVE.
- 10. CERAMIC TILE TO BE APPLIED TO EXISTING WALL.
- 11. FIBER CEMENT SIDING ON BUILDING WRAP ON 1/2" EXTERIOR GRADE SHEATHING ON 2X6 FURRING.
- 12. COORDINATE WITH CM IF EXISTING CANOPIES TO BE REUSED.

	1.	PROVIDE A NEW 30"W COUNTER VERIFY EXISTING WIDTH IN FIELD.
	2.	REPLACE RESTROOMS, KITCHEN AND OFFICE DOORS WITH NE ADA COMPLIANT DOORS AND HARDWARE PER LOCAL REQUIREMENTS.
3	<u>-</u> 3.	EXISTING WALL, FLOOR AND CEILING FINISHES, LIGHTS AND F
	4.	PROVIDE SINGLE USER ADA COMPLIANT RESTROOMS.
<u>3</u>	5.	G.C. TO CONSTRUCT NEW WALL TO MATCH EXISTING CONSTRUCTION. INSTALL FINISHES TO MATCH EXISTING.
	6.	INFILL WITH NEW WALL TO MATCH ADJACENT WALL CONSTRUCTION.
	7.	NEW REAR KITCHEN DOOR, FRAME AND HARDWARE.
	8.	INSTALL NEW ADA COMPLIANT STOREFRONT ENTRY DOOR.
	9.	REFER TO SHEET A-1.1 FOR RESTROOMS REMODEL SCOPE.

- LOCATION. REFER TO PLUMBING DRAWINGS.
- 11. NEW BEVERAGE STATION WITH NEW EQUIPMENT. REFER TO ELECTRICAL AND PLUMBING DRAWINGS.
- 12. RELOCATED SOFT SERVE MACHINE AND REFRIGERATOR. REFER TO ELECTRICAL DRAWINGS.
- 13. EXISTING EQUIPMENT TO REMAIN.







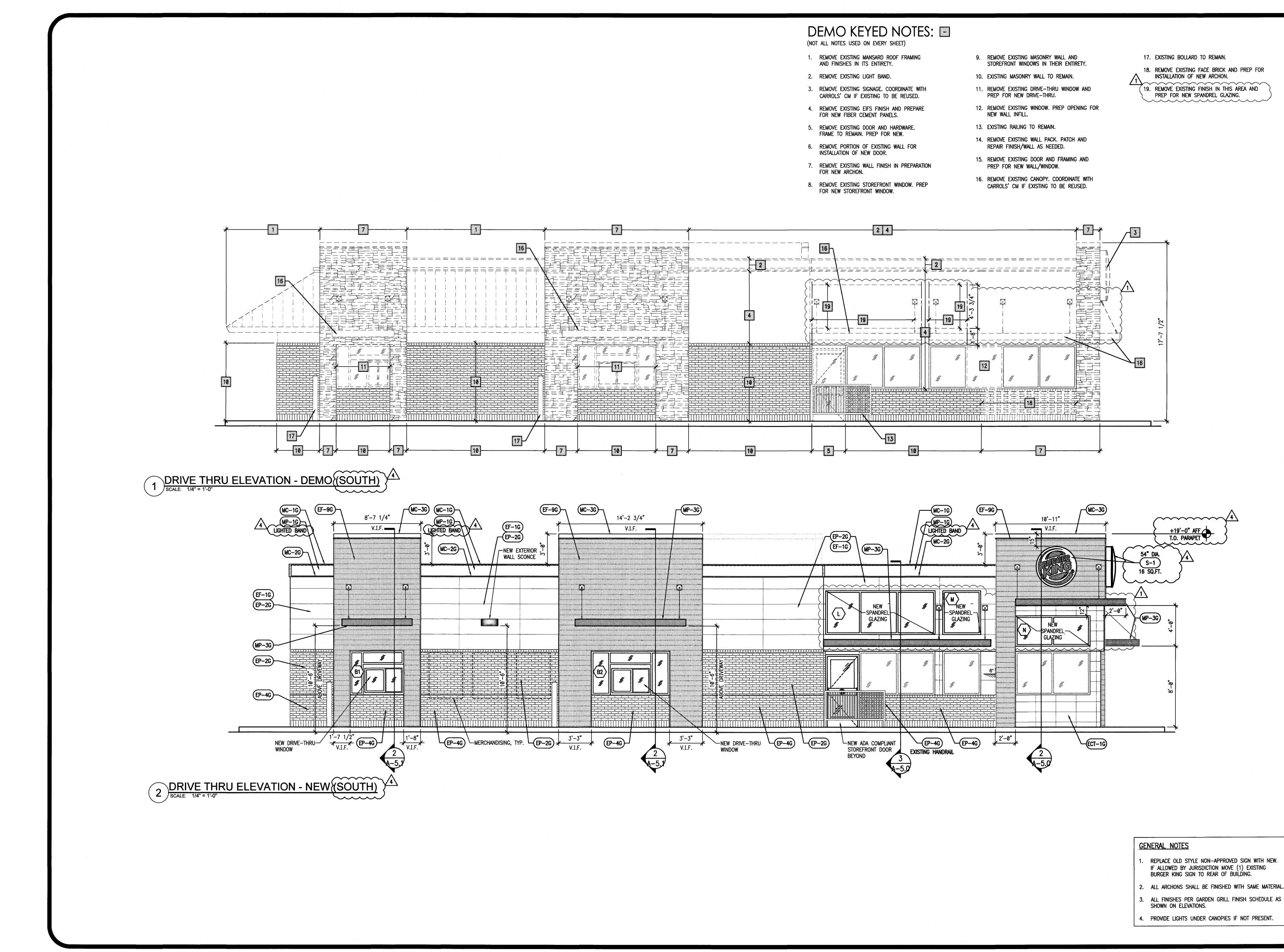
# GENERAL NOTES

- REPLACE OLD STYLE NON-APPROVED SIGN WITH NEW. IF ALLOWED BY JURISDICTION MOVE (1) EXISTING BURGER KING SIGN TO REAR OF BUILDING.
- ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
- ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
- 4. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

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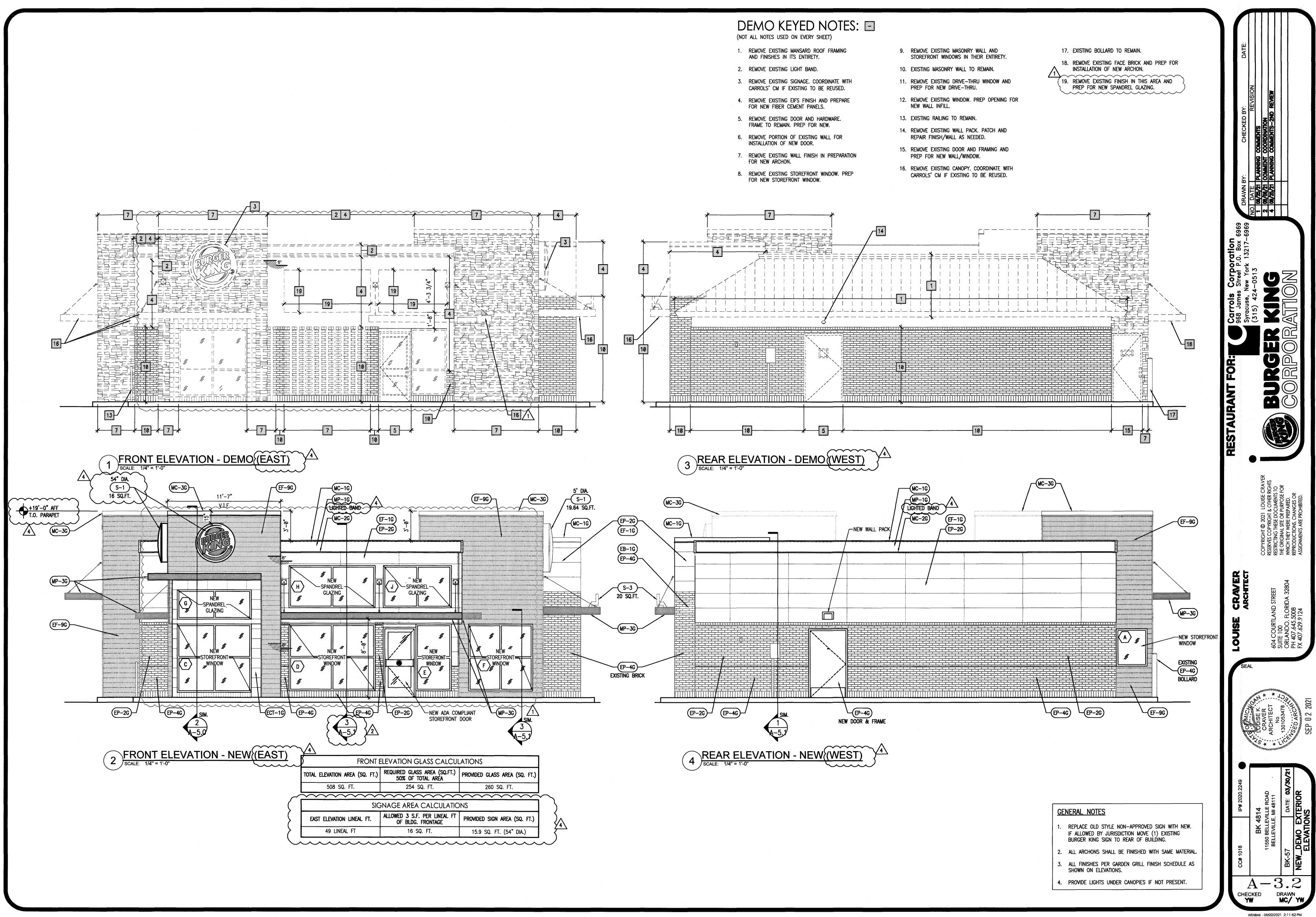


18. REMOVE EXISTING FACE BRICK AND PREP FOR

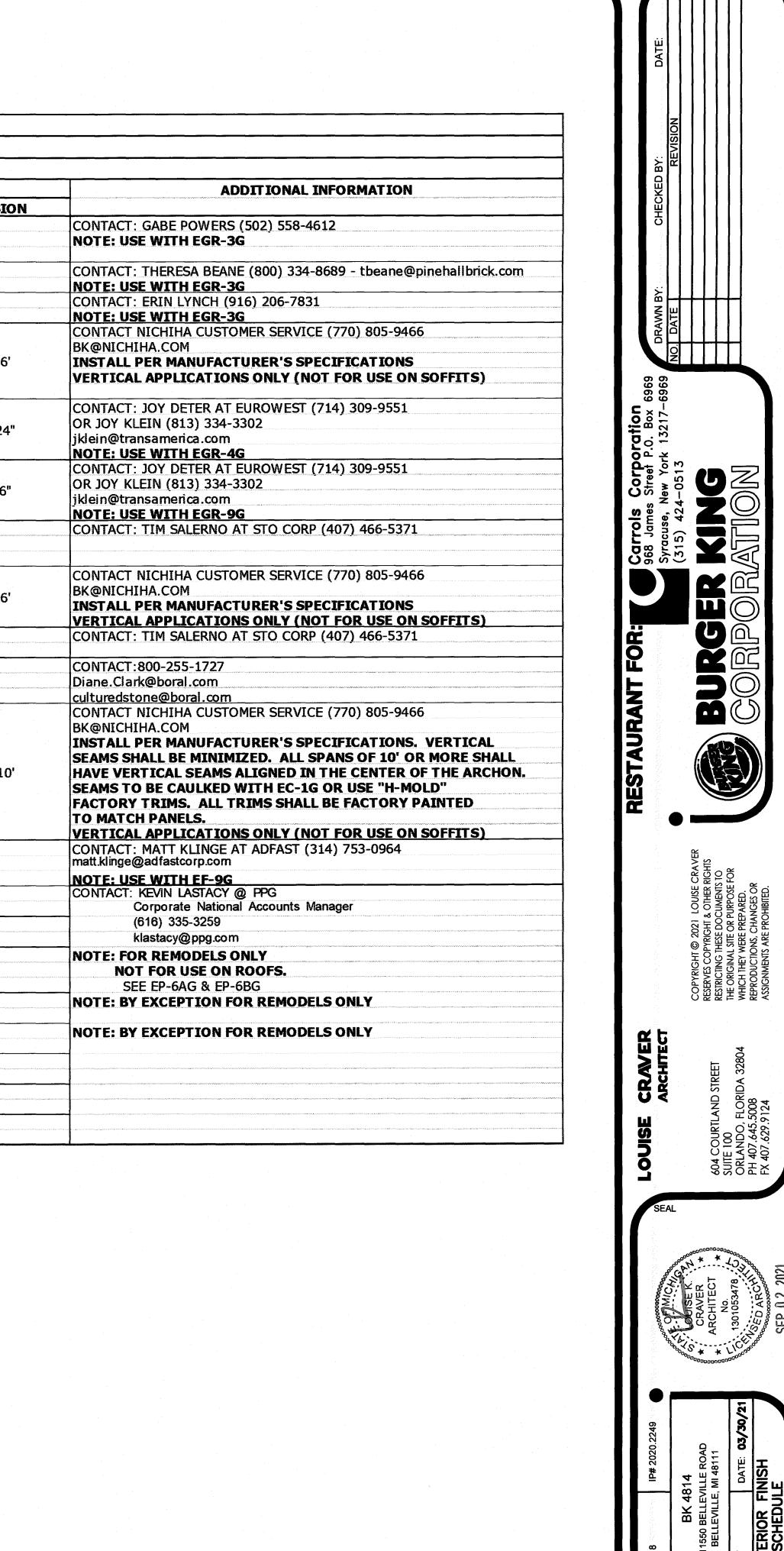
PREP FOR NEW SPANDREL GLAZING.

- REPLACE OLD STYLE NON-APPROVED SIGN WITH NEW. IF ALLOWED BY JURISDICTION MOVE (1) EXISTING BURGER KING SIGN TO REAR OF BUILDING.
- 2. ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
- 4. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.





				BURGER KING - 20/20 GARDEN GRILL EXTERIOR EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)				
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CODE	MATERIAL	LOCATION	MANUFACTURER		DESCRIPTION			
a				PRODUCT	COLOR	DIMENSIO		
			EVOLUTION BRICK	MOD / QS TUMBLED (FULL BRICK)	OLDE HILLSBORO			
				(THIN BRICK)	SIERRA TUMBLED			
EB-1G	EXTERIOR BRICK	GENERAL	PINE HALL BRICK	FACE BRICK	OLD IRVINGTON O/S			
			H.C. MUDDOX BRICK	THIN BRICK	BK WEST COAST BLEND			
EB-1AG (ALTERNATE FOR EB-1G)	EXTERIOR FINISH FIBER CEMENT BRICK PANELS	GENERAL	NICHIHA FIBER CEMENT	NICHIHA CANYON BRICK PANELS	"SHALE BROWN" - STAGGERED JOINTS - UNPAINTED IF NO OTHER BRICK IS PRESENT. (ON REMODELS, IF THERE IS ANY EXISTING BRICK ON THE BUILDING, THE EXISTING BRICK AND THE NICHIHA BRICK MUST BE PAINTED TO MATCH EP-4G)	18" X 6'		
ECT-1G	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	GRANITI GIANDRE / EUROWEST	SENSIBLE STONE ED5052	"RED NATURAL" STACKED BOND PATTERN	12" X 24"		
ECT-18G	EXTERIOR CERAMIC TILE	INLINE RESTAURANTS ONLY	GRANITI GIANDRE / EUROWEST	ROVERE ANTICO LEGNI HIGH TECH	PAR 15334 "ROVERE" STACKED BOND PATTERN	6" X 36"		
	EXTERIOR FINISH -		STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CI EIFS SYSTEM	COLOR TO MATCH EP-2G PPG "DESERT DUNE"			
EF-1G	STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	NICHIHA FIBER CEMENT	NICHIHA TUFFBLOCK	PREPAINTED TO MATCH EP-2G - PPG "DESERT DUNE" STACKED BOND PATTERN	18" X 6'		
EF-4G	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-4G PPG "GRANITE"			
EF-8G (ALTERNATE FOR EF-9G)	EXTERIOR FINISH STONE	EXTERIOR SIGN ARCHONS	BORAL STONE PRODUCTS	COUNTRY LEDGESTONE	"ASPEN"			
EF-9G	EXTERIOR FINISH FIBER CEMENT							
TR-1G	ALUMINUM TRIMS	EXTERIOR SIGN ARCHONS	NICHIHA FIBER CEMENT	VINTAGE WOOD EF762	"CEDAR"	18" X 10'		
EC-1G	EXTERIOR CAULK		ADSEAL PRODUCTS	ADSEAL 458-63	"VINTAGE WOOD CEDAR"			
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL	· · · · · · · · · · · · · · · · · · ·	PRIMER: 17-921 PAINT: 6-2045XI	"DESERT DUNE" 1023-4, former "TANNERS TAUPE" PPG1023-4			
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: 17-921 PAINT: 6-2045XI	"GRANITE" 1022-6, former "MONTERREY CLIFFS" 10YY 14/080			
EP-6G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS		PRIMER: 6-212 PAINT: 6-230	"STEPPING STONE" 1010-4, former "BURGER KING SILVER" Custom Formula			
EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS,	PPG	PRIMER: 17-921	"DOVER GRAY" 1001-1, former "GRYMMYS GREY"			
EP-6BG	EXTERIOR PAINT	SHINGLES & BARREL TILE EXISTING STANDING SEAM		PAINT: 90-1110 PRIMER: 90-712 PAINT: 00.1110	<u>OONN 20/000</u> <u>"GRAY STONE" 1009-4</u> , former "MARCH WIND" Custom Formula			
EP-8BG	EXTERIOR PAINT	METAL ROOF METAL COPING AT ARCHON		PAINT: 90-1110 PRIMER: 17-921	Custom Formula "CARAVEL BROWN" 1079-6, former "CEDAR"	e a novej (1976 de 1976 de 1970		
EXT-1G	EXTERIOR PAINT	TOWERS POLES & POLE SIGN		PAINT: 6-2045XI PRIMER: 90-712	Custom Formula "BLACK"			
				PAINT: 90-353 PRIMER: 90-712	Tint to match			
EXT-2G	EXTERIOR PAINT	SIGNS		PAINT: 90-375	PPG 1006-6 "DECONSTRUCTION"			



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8/07/19				BURGER KING - 20/20 GARD EXTERIOR MATERIALS & FINISH SCHEDULE (n		
CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION COLOR	DIMENS
				PRODUCT PRIMER:	"TAUPE TONE"	DIMENS
				Loxon Concrete & Masonry A24W300	SW 7633	
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL		PAINT:		
				Superpaint Ext Satin A89 Series		
<u> </u>				Satin PRIMER:	"HOMESTEAD BROWN"	
				Loxon Concrete & Masonry A24W300	SW 7515	and an
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PAINT:		
				Superpaint Ext Satin A89 Series		
	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·		Satin PRIMER:	FACTORY FINISH SILVER	
		LOGO SIGN CABINETS &		Kem Bond HS B50A28	FACTORT FINISH SILVER	
EP-6G	EXTERIOR PAINT	BURGER KING CHANNEL LETTER CABINETS		PAINT:		
				Silver Brite_B59S11		
				PRIMER:	"WESTCHESTER GRAY"	
EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS,		Pro Industrial Pro-Cryl Primer B66-310 PAINT:	SW 2849	
		SHINGLES & BARREL TILE		Pro Industrial High Performance Acrylic B66-660		
				Eggshell		
			SHERWIN-WILLIAMS	PRIMER:	"MARCH WIND"	
EP-6BG	EXTERIOR PAINT	EXISTING STANDING SEAM		Pro Industrial Pro-Cryl Primer B66-310	Custom Formula	
LF-0DQ		METAL ROOF		PAINT: Pro Industrial High Performance Acrylic B66-660		
				Eggshell		
				PRIMER:	"CEDAR"	
	EVTERIOR DATAT	METAL COPING AT ARCHON		Pro Industrial Pro-Cryl Primer B66-310	Custom Formula	1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 -
EP-8G	EXTERIOR PAINT	TOWERS		PAINT: Pro Industrial High Performance Acrylic B66-650		
				Semi-Gloss		
				PRIMER:	FACTORY FINISH BLACK	
				Pro Industrial Pro-Cryl Primer B66-310		
EXT-1G	EXTERIOR PAINT	POLES & POLE SIGN		PAINT:		
				Pro Industrial High Performance Acrylic B66-600 Gloss	·	
<u></u>				PRIMER:	FACTORY FINISH TO MATCH	
				Pro Industrial Pro-Cryl Primer B66-310	SW 6075 "GARRET GRAY"	
EXT-2G	EXTERIOR PAINT	SIGNS		PAINT:		a dana ana amin'ny fisiana amin'ny fisiana amin'ny fisiana amin'ny fisiana amin'ny fisiana amin'ny fisiana amin'
				Pro Industrial High Performance Acrylic B66-600 Gloss		1995 - 1997 - 19
		PDICK		61035		· · · · · · · · · · · · · · · · · · ·
EGR-3G	GROUT	BRICK	MAPEI		#5 "CHAMOIS"	
						a se a antique su a su a contraction de la seconda de l
EGR-4G	GROUT	CERAMIC TILE	CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#335 "WINTER GRAY"	
EGR-9G	GROUT	INLINE RESTAURANTS ONLY CERAMIC TILE	LATICRETE	POLYBLEND SANDED	#66 "CHESTNUT BROWN"	· · ·
						a and a disconsistent of the disconsistent of the operation of the disconsistent of the disconsistent of the di
						มารายบาทของการสุขยางมาย) (ร่างสุโอษร์ (รีโอร์) <b>ต</b> างสุโยบาท (โปร์) (สุข
		TOP OF LIGHT BAND				
MC-1G	METAL COPING	WALL CAP		PERMA SNAP PLUS	A-30 "SILVERSMITH"	
<u>, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,</u>	······································				FACTORY FINISH TO MATCH EP-2G	
MC-2G	METAL COPING	BELOW LIGHT BAND	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	PPG "TANNERS TAUPE"	
			· · · · ·			
110 00					TO BE PAINTED TO MATCH EP-8G	
MC-3G	METAL COPING	TOP OF ARCHON		PERMA SNAP PLUS	PPG "CEDAR"	1999 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 -
		· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·		
MP-1G		PARAPET LIGHT BAND	LEKTRON *SEE APPROVED SIGN	LED LIGHT BAND		*****
MF-10		PARAPET LIGHT DAND	SUPPLIERS			*SEE PLA
	······	· · · · · · · · · · · · · · · · · · ·				· · · · · · · · · · · ·
MP-3G	METAL CANOPY	ABOVE DOORS	*SEE APPROVED	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLA
		AND WINDOWS	CANOPY SUPPLIERS		COLOR: CLEAR ANODIZED	
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ADDITIONAL DWORMATION         Cordact: GLENN REMIER, ARCHITECTURAL ACCOUNT EXECUTIVE         phone: (950) 547-1217         email: Glenn J. Remier@Sherwin.com         NOTE: FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: USE WITH EB-1G         MOTE:					
ADDITIONAL INFORMATION         Contract: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE         blone: (954) 547-121.         email: Glenn J.Remler@Sherwin.com         NOTE: FOR REMODELS ONLY        NOT FOR USE ON ROOFS.         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: USE WITH ECT-16         PRODUCT INFORMATION: KEVIN BUBOTION AT LEXTRON         SCAL GROUP WITH AQUAMIX SEALERS CHOICE COND.         MOTE: USE WITH ECT-180         WOTE: USE WITH ECT-180         PRODUCT INFORMATION: KEVIN BUBOTION AT LEXTRON         CONTACT: W. P. HICKNAN COMPANY (#28)/25-1700 - W/WW.WPH.COM         PRODUCT INFORMATION: KEVIN BUBOTION AT LEXTRON         ISOD (314 4450 OR (18)) 522-47/30         Email: KRUBOTION.					
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ADDITIONAL IMFORMATION         Contact: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE         phone: (954) 547-1217         amail: Glenn, J.Ramler@Shetwin,com         NOTE: FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: USE WITH EE-1G         CONT				DATI	
ADDITIONAL INFORMATION         Contact:: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE         phone: (954) 547-1217         email:: Glenn.J.Remler@Shetwin.com         NOTE:: FOR REMODELS ONLY         NOTE:: BY EXCEPTION FOR REMODELS ONLY         NOTE:: USE WITH EE-16G         NOTE:: USE WITH EE-136         *** FOR SETTIME MATERIALS USE COMPLETE CONTACT RAPID SET         *** CONTRACTOR TO ALONGUAL MISSELEMENCE COLD         *** CONTRACTOR TO ALONGUAL MISSELEMENCE COLD         **** CONTRACTOR TO ALONGUAL MISSELEMENCHOLE COLD         **** CONTRACTOR TO ALONGUAL MISSELEMENCE COLD         **** CONTRACTOR TO ALONGUAL MISSELEMENCHOLE COLD         ***** CONTACTOR TO ALONGUAL MISSELEMENCE COLD         ************************************					
ADDITIONAL INFORMATION         Contact:: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE         phone:: (954) 547-1217         email:: Glenn.J.Remle@Sherwin.com         NOTE:: FOR REMODELS ONLY         NOTE:: BY EXCEPTION FOR REMODELS ONLY         NOTE:: USE WITH EET-16G         NOTE:: USE WITH ECT-16G         **** FOR SETTING MATERIALS: USE COMPLETE CONTACT RAPID SET         **** FOR SETTING MATERIALS: USE COMPLETE CONTACT RAPID SET         **** FOR SETTING MATERIALS: USE COMPLETE CONTACT RAPID SET         **** CONTACT: W.P. HICKMAN COMPANY (828)675-1700 - WWW.WPH.COM         CONTACT: W.P. HICKMAN COMPANY (828)675				z	
ADDITIONAL INFORMATION         Contast: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE         phone: (954) 547-1217         email: Glenn J.Remier@SherwinLcon         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: USE WITH EET-16G         NOTE: USE WITH EET-16G         NOTE: USE WITH EET-13C         Set GOULT TIME GROUT WITH AQUARMIX SEALERS CHOICE GOLD         Contact: Kirby Davis at Laborete (203) 672-7210         CONTACT: W.P. HICKMAN COMPANY (828)676-1700 WWW.WPH.COM         PRODUCT TIMEORMATION: KEV/IN RUBOTTOM AT LEKTRON         (800) Gid +4009 DA (18) 322-4978         PRODUCT TIMEORMATION: KEV/IN RUBOTTOM AT LEKTRON         (800) Gid +4009 DA (18) 322-4978         Contact: Kirby Davis at Laborete (203) 672-720.         Contact: Kirby Davis at Laborete (203) 672-720.         Contact: Kirby Davis at Laborete (203) 672-720.         Contact: Kirby Davis DA (18) 322-4978         Contact: Kirby Davis DA (18) 322-4978         Contact: Kirby Davis DA (218) 722-4978         Email: Rubottom@lektroninc.com				NISIO	
Contact: GLENN REMIER, ARCHI LECTURAL ACCOUNT FAECUITYE         phone: (954) 547-1217         email: Glenn J. Remier@Sharwin.com         NOTE: FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: USE WITH EB-16         NOTE: USE WITH ED-16         NOTE:				BY: RE	
Contact: GLENN REMIER, ARCHITECTURAL ACCOUNT EXECUTIVE         phone: (954) 547-1217         email: Glenn J. Remier@Shewin.com         NOTE: FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: BY EXCEPTION FOR REMODELS ONLY         NOTE: USE WITH EB-1G         NOTE: USE WITH ED-1G         Outset: WITH ED-1G         NOTE: USE WITH ED-1G         Outset: WITH ED-1G <t< td=""><td></td><td>ADDITIONAL INFORMATION</td><td></td><td>CKEL</td><td></td></t<>		ADDITIONAL INFORMATION		CKEL	
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# PLANNING & ZONING APPLICATION 21-019

Case number

Date Submitted 04.07.2021

		ORMAT		Accession and
Applicant	Kali Pierce	Phone	407.645.5008	
Address	604 Courtland Street Suite 100	Fax	407.629.9124	
City, State	Orlando, FL	Zip32	829	
E:mail		_ Cell Ph	one Number	
Property Own	er_Brauvin Net Investments, LLC	_ Phone		
Address	(if different than applicant) PO Box 6969	Fax		
City, State	Syracuse NY		217	
			A COLORED OF COLORED O	
City, State		_Zip	Sec. Flores	
And and	SITE/ PROJECT I	NFORMA	ATION	1 . A.
Name of Due	ject Burger King - Carols Corporation			
	V125-83- 081-99-004-002	Destaut	Address 11550 Belleville Road, Belleville	e. MI 481 1
Parcel Id No.				
	Attach Legal Description	11111	the second se	La seconda da
	ation: On the <u>West</u> Side of <u>Bellevill</u>			and the second second
And the second s	etion Avenue Road.		of Lot Width <u>110</u> Depth <u>33</u>	
Acreage of Si	te <u>1.41</u> Total Acres of Site to Review _	-	Current Zoning of Site C2	EXT
	iption: <u>Remodel of existing Burger King Restau</u>	and the second second	New York Control of the Art of the	
the state of the s	ew drive through equipment, parking lot re-se			
updates incl	uding new flooring, new millwork, doors, fram	es, hardv	vare, painting, light fixtures & placer	ments.
Is a re-zoning	of this parcel being requested?		YES (if yes complete next line	e)NO
Current Zonir	ng of Site		Requested Zoning	
Current Zonir	ng of Site SPECIAL PERMIT	INFORM		-
	SPECIAL PERMIT	INFORM	ATION	NO
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Does the Prop	SPECIAL PERMIT		ATION	e)NO
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Does the Prop Section of Zo Is there an off List total num	SPECIAL PERMIT posed Use Require Special Approval? ning Ordinance for which you are applying ficial Woodland within parcel?	1	ATION YES (if yes complete next line Woodland acreage	0
Does the Prop Section of Zo Is there an off List total num	SPECIAL PERMIT posed Use Require Special Approval? ning Ordinance for which you are applying ficial Woodland within parcel? ber of regulated trees outside the Woodland area	1	ATION YES (if yes complete next line Woodland acreage	0
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Place ANDREA CARDO Commission # GG 947966 Expires January 31, 2024 Profe Bonded Thru Budget Notary Services



TO:	Van Buren Township Planning Commission
FROM:	Dan Power– Director of Planning and Economic Development
RE:	Inter Plan LLC / Brauvin Net Investments, LLC Preliminary Site Plan Review
DATE:	October 6, 2021

The Planning Commission will review the request by applicant Inter Plan, LLC on behalf of owner Brauvin Net Investments, LLC for preliminary site plan approval to construct a secondary drivethru lane along with landscaping and architectural improvements associated with the remodel of a Burger King restaurant. The location of the site is11550 Belleville Road, tax parcel 83-081-99-0004-002, located on the west side of Belleville Road between South Interstate 94 Service Drive and Venetian Avenue. The Planning Commission's packet for this request contains a completed application form, reports from the Township Planning Consultant, the Township Engineer, and the Township Fire Marshal. The hard copy version of this packet contains an abridged 14-page site plan set including civil, architectural, and landscape plan drawings.

If the Planning Commission recommends approval of the preliminary site plan, the project will undergo additional reviews. An engineering review application will be submitted to the Township Department of Planning and Economic Development and the project will undergo a final review by the Township Engineer and final site plan review by both the Township Engineer and Planning Consultant. Pending their recommendation, the project will return to the Planning Commission for their consideration of final site plan approval.

I look forward to assisting with this review. Thank you for your consideration.

Sincerely,

Dan Power, AICP Planning and Economic Development Director Public Services Department Charter Township of Van Buren

MEMO

CC: Matthew Best, M.S. - Public Services Director, Van Buren Charter Township





September 21, 2021

Dan Power, Director of Planning and Economic Devlpt. Charter Township of Van Buren 46425 Tyler Road Belleville, Michigan 48111

### Subject: VBT-21-019 Burger King Remodel/11550 Belleville Road; Site Plan Review #3 Revised Site Plans Dated 8/26/2021.

Dear Mr. Power:

We have reviewed the application by Kali Pierce to remodel the existing Burger King restaurant, located at 11550 Belleville Road. The site is located on the west side of Belleville Road south of I-94 South Service Drive, has a tax parcel identification number: V-125-83-081-99-004-00, is zoned C-2 (Extensive Highway Business District), and has a total area of 1.41 acres.

We have reviewed the site plan based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

### COMMENTS

- 1. Zoning and Use. The site is currently zoned C-2 (Extensive Highway Business District) and is also located within the Belleville Road Overlay District (BROD). Section 3.112 (B) of the Zoning Ordinance permits drive-thru restaurants as a special land use. However, the site is an existing drive-through restaurant and the special land use approval previously granted is still valid.
- 2. Required Information. All of the site plan details required by Section 12.203 of the Zoning Ordinance have been noted.
- 3. Dimensional Requirements. The required front, rear and side yard setbacks for the C-2 District are 35 feet, 25 feet, and 20 feet, respectively. The existing building complies with the setback requirements. The maximum building height in the C-2 is 40 feet. The proposed building with the facade modifications has a maximum height of 19' to top of parapet.

### 4. Access and Circulation.

- a. Location of Curb Cuts. The site currently has two curb cuts along Belleville Road. The northern access drive with a width of 27.7' is intended as a two-way access drive, while the southern access drive with a width of 20.27' is intended as one-way exit only. Direction of circulation is shown through pavement striping. The site has a "no entry" sign at the south access drive.
- b. Cross Access. The site has a cross access drive on the northwest corner, which connects it to the I-94 SSD through the Shell gas station to the north. There is an existing stub on the property to the south which connects to the southwest corner of the subject site but is blocked off with a curb. We had previously recommended the curb be eliminated and the cross access be established; however, we concur with the applicant's assessment that opening the cross-access will direct traffic from the southern site, northbound, creating a conflict with oncoming traffic in the

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0 248.596.0920 F 248.596.0930

Communities for real life.

drive-through lanes. Therefore, re-establishment of cross access is not recommended or required.

**c. Sidewalks.** The site has an existing 5' wide sidewalk along its Belleville Road frontage and a sidewalk connector to the front entrance of the building. As the site is located within the Belleville Road Overlay District the standards from Section 6.308 of the Zoning Ordinance apply. Section 6.308 (C) (4) states:

"Pedestrian areas that cross vehicular traffic at roads or parking lots shall be clearly marked, and vehicular traffic shall be encouraged to slow down near pedestrian crossings. Accent paving shall be incorporated at key crossings that may accommodate heavy pedestrian traffic. Where accent paving is not used, "piano key" (alternating white and black bands) shall be installed to increase visibility. Pedestrian crosswalks shall be adequately lighted, have clear sight distances, and be free from view-hindering obstructions such as foliage and poles at crosswalk entries and median refuge islands."

The revised plan incorporates the piano keys as described above so pedestrians utilizing the sidewalk have safe access across the curb cuts. In addition, crosswalks have been included within the parking lot for safe access on the north and south sides of the building.

### 5. Parking and Loading.

**a. Space Dimensions.** The site plan includes dimensions for parking spaces and maneuvering lanes on the site plan. Parking space widths have been widened to 9.5 feet and parking space depth has been increased to 20' where the space abuts a 5' wide sidewalk on the north side of the building. The angled parking on the south side of the site is also proposed to be restriped correctly. The plan shows double striping for all the spaces as required.

### b. Number of Parking Spaces.

The parking requirement is: "One (1) per two (2) seats of legal capacity for the facility and one (1) per employee on the largest shift, plus five (5) stacking spaces between the pick-up window and the order station and ten (10) stacking spaces which do not conflict with access to required parking spaces per order pickup station If located within one-half (1/2) mile of an expressway, at least two (2) of the required spaces shall be longer spaces designated for recreational vehicles and semi-trucks."

Standard	Applicable Measurement	# of spaces required	# of spaces provided
One (1) per two (2) seats of legal capacity for the facility	59 seats	30	30
One (1) per employee on the largest shift	8 employees	8	26
Five (5) stacking spaces between the pick-up window and the order station	-	5 stacking spaces	7 stacking
Ten (10) stacking spaces which do not conflict with access to required parking spaces per order pickup station	-	10 stacking spaces	13 spaces total
Two (2) of the required spaces shall be longer spaces designated for	-	2 spaces	0



recreational vehicles and semi-trucks			
	TOTAL:	38+2	56 +0

The stacking spaces are required per drive-through lane. It appears the plan proposes two drive through order stations which will merge into one pick-up line. The revised plan shows 7 stacking spaces between the order stations and the pick-up window with 5 of the 7 stacking spaces being shared. In addition each lane has 2 addition stacking spaces for a total of 13 spaces. The site appears to have room to accommodate 2 more stacking spaces without causing conflicts.

The revised site plan shows one larger parking space dimensioned 11' x 31.69' on the southeast corner of the site to accommodate an RV. The size is not adequate to accommodate a semi. We have concerns about the placement of the space just before the exit to the site. RV's range in length from 20' to 40'. A larger RV parked in the area will end up blocking the exit from the site/drive-through and poses a safety concern. The site currently has a surplus of 18 parking spaces. We recommend the applicant create a parallel parking space for an RV on the northwest side of the site by eliminating a few parking spaces, to create a safer parking area. If such compliance is not possible for justifiable reasons, the Planning Commission has the flexibility of granting waiver from this standard.

- **c.** Loading. The revised plan shows a 10' x 50' loading space dimensioned on the plan as required. The space is shown on the rear of the building and out of the main drive aisle. The applicant has stated that deliveries will take place at off-peak hours; however, we have concerns about the ability of a truck to maneuver in and out of the loading space.
- **d. Bicycle Parking.** Per Section 6.308 of the BROD, one (1) bicycle parking space shall be provided for each twenty-five (25) parking spaces. With 65 parking spaces three (3) bicycle parking spaces are required. The site plan notes an existing bicycle parking rack on the northeast side of the building and has provided information on the details page indicating there are five (5) bicycle parking spaces.

### 6. Landscaping and Screening.

a. Landscaping Adjacent to Right-of-Way. Section 10.103 (A) requires lot frontage landscaping of 1 deciduous tree/40 lineal feet + 1 ornamental tree/100 lineal feet + 8 shrubs/40 lineal feet. The site has an approximate frontage of 127' on Belleville Road excluding the access drives. 127 feet of frontage requires a total of 3 deciduous trees + 1 ornamental trees + 25 shrubs. The landscape plan submitted includes calculations that demonstrate compliance with this standard. Additionally, perennial beds, planted in groups, are required to be planted in twenty percent (20%) of the required landscape frontage area defined in Section 10.103 (A). The landscape plan has been revised to comply.

In addition to the trees required in the frontage area in Section 10.103 (A), deciduous street trees shall be planted within the right-of-way of Belleville (i.e., between the sidewalk and the street) in an amount equal to at least one (1) deciduous street tree per each forty (40) linear feet or fraction thereof of frontage. The site has 2 existing trees and the applicant proposes to plant and additional tree meeting this standard.



b. **Parking Lot Landscaping**. Section 10.103 (B) (1) requires all parking lots to be landscaped and screened from adjoining public rights-of-way. The landscape plan proposes a hedge of *Hicks yew* shrubs along the frontage with the notation that the hedge shall attain opacity and a height of three (3) feet within twelve (12) months of planting under normal growing conditions as required per Section 6.310 (C) (3) (a).

**Interior Parking Lot Landscaping.** Section 10.103 (B) (2) requires the provision of landscaping within islands in a parking lot. Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. Additionally, one (1) deciduous tree is required to be planted for each three hundred (300) square feet of interior landscaping. The applicant has stated there is a total of 42,568 square feet of impervious surface. This requires a minimum of 2,128 square feet of interior parking lot landscaping and 7 deciduous trees. The landscape plan includes calculations demonstrating compliance with this standard with a mix of existing and proposed trees.

- **c.** Loading Area Landscaping. As previously noted, the loading area is in the middle of the main drive aisle. The space is screened from abutting parcel to the north and south by the greenbelt plantings and the building.
- **d. Greenbelt Buffering.** A ten (10) foot wide buffer, with one (1) tree per thirty (30) lineal feet is required to the north, south, and west. Per calculation on sheet L2 a total of 14 trees are proposed along the north property line, 12 trees along the west side and 10 trees along the south property line. The tree counts include existing and proposed trees. The plan has been revised to provide the required number of trees.
- e. Specific Landscaping Requirements for Zoning Districts. Contiguous outdoor space, independent of sidewalks, pedestrian circulation areas and required landscaping, in an amount not less than one (1) square foot for each twenty-five (25) square feet of principal building and in no case less than two hundred fifty (250) square feet in total is required. Such space shall be illuminated, landscaped, visible from the building and adjacent right-of-way, separated from parking and motorized vehicular circulation, and linked to the building, sidewalks, and pedestrian circulation system by a series of walks and paths. This space shall include amenities such as seating, benches, tables, decorative fences, railings, low decorative brick walls, entrance structures and landscaping, decorative building and site lighting, brick paver walkways, aerating fountains, gazebo or pavilion structures, sculpture and similar art, drinking fountains, litter baskets, decorative retaining walls, low hedges, and additional planting beds and landscaped islands. With 3,212 feet of principal building area, a minimum of 250 square feet of usable open space incorporating some of these amenities above is required per standards of BROD Section 6.309 (B) (4) of the Zoning Ordinance. The site plan includes a stamped concrete patio, 2 picnic tables and benches on the east side of the building. Manufacturer's details for proposed new furniture have been included; however, the furniture does not meet the standards of Section 6.309 (B)(4)(b). The furniture is not in keeping with the BROD design and the plastic trash can is not an acceptable material.
- 7. Tree Removal Permit. Proposed tree removal is shown on Sheet L-1. Sheet L-2 notes that replacement is to be provided for 2 trees located on the west side of the drive-through to be removed with a total caliper count of 26". <u>Sheet L-2 also notes that replacement is being provided for the equivalent of 26"; however, the applicant's response letter states, "deciduous 11" and deciduous 15" does not appear on the replacement list. Therefore, no tree mitigation for removal of these two trees". The two statements are contradictory, and it is unclear if replacement is being provided or not. Clarify.</u>



- 8. Stormwater Pond. It appears that detention for the site is provided through an underground detention system. <u>Any changes to the detention system are subject to review and approval by the Township Engineer and Wayne County.</u>
- 9. Lighting. The applicant has submitted a photometric plan for the site which shows the installation of numerous wall and pole mounted fixtures. The plan proposes the removal of all existing wall mounted lights and their replacement with new 'wall scones'. The light intensity at the property lines is within allowable limits. The plan also notes the mounting height of pole fixtures as 20 feet. Manufacturer's cut sheet detail of proposed wall scones and pole light fixture have been provided and are acceptable. Proposed pole is to be constructed of steel and painted black. We had previously recommended the installation of decorative light poles at the two entrance drives to the site per BROD design guidelines. The applicant's response states, "as existing light poles are being refreshed and new more aesthetically pleasing heads are being installed, the installation of new decorative light poles will not be added at this time".
- **10.** Architecture and Building Details. Since the site is located within the Belleville Road Overlay District the standards from Section 6.309 apply. Human scale design is required for buildings in the BROD. Specifically, elements into the design of large structures that provide a transition to the human scale, particularly at the ground level. Such elements shall be provided through, but not limited to, covered walkways, building arcades, and trellises. The front east elevation and main entrance north elevation of the building includes covered awnings.

Nonresidential buildings shall have a minimum of fifty (50%) glass at the ground floor level facing a street. The applicant has submitted detailed elevations of all facades of the building. The proposed building materials include brick, cement fiber panels, stone, glass and aluminum. Calculations have been included demonstrating 50% glazing on the east façade. A colored rendering for the building has been provided. We have concerns about the incorporation of a red LED light band around the top of the building façade. The BROD district allows for accent up-lighting for building or lighting to enhance the building's architectural features. In this case the proposed LED band appears more of a corporate design feature.

- 11. Dumpster. A dumpster is proposed to the west of the building. Dumpster details provided are inadequate to determine compliance with Section 7.122 of the Zoning Ordinance. The detail on sheet A-1 identifies only the exterior paint color of the enclosure, not the material. Further the Ordinance at this time requires steel reinforced wooden gates, not Trex gates. The Planning Commission may choose to modify this standard.
- **12. Signs.** The site plan notes an existing 35' pylon sign along the site's Belleville Road frontage with a 100 square foot sign and a 16.6 sq. foot additional sign cabinet, which are non-conforming structures. The applicant notes that the sign will remain as is. While the Township typically encourages the removal of non-conforming signs, since the applicant is not altering the sign in any way, it may remain at this time.

The elevations indicate a circular sign on the east façade measuring 19.64 sq. ft and two (2) signs on the north façade – a circular sign with an area of 19.64 sq,. ft and a rectangular sign with an area of 20 sq. ft. The ordinance allows for wall signage equal to 3 sq. ft per lineal feet of building frontage or 50% of the façade exclusive of window and door openings. <u>Include calculations based on the above standard for the Belleville Road façade, to demonstrate compliance</u>.



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**Menu Boards**. Per Section 11.108 (B) a lot with an approved drive-through may have 1 additional monument sign per approved drive-thru lane located within 6 feet of the drive-thru lane, not greater than 8 feet high, not greater than 60 sq. ft., and not visible from the right-of-way or any lot line. <u>The applicant has submitted a sign packet which does not comply</u>. While the signs include various dimension, the actual sign area must be noted legibly. The menu board signs must be labeled 1 and 2 for ease of reference. A 'monument' sign is required to have a 24" base as wide as the sign. Both proposed order boards do not comply. Further, one of the signs exceeds 8' in height. The sign packet must be revised for compliance to the Zoning regulations.

**13. Belleville Road Overlay District.** The subject site is located within the Belleville Road Overlay District and is subject the standards in Chapter 3 in Article 6 of the Zoning Ordinance. Section 6.309 (B) (2) (a) (i) calls for usable open space on sites in the BROD. Specifically stating: *"Increase the usability of public open space by providing shade, street furniture, special paving for sidewalks, pedestrian pathways, turf, accent and flowering plants, and other site amenities."* 

<u>The plan proposes the incorporation of a seating area with benches and trash cans; however, the design of the furniture is not in compliance with BROD requirements.</u>

### RECOMMENDATION

The applicant has revised the plans to address several of the previous outstanding concerns; however, a few other changes remain to be made. Therefore, we recommend that the Planning Commission grant <u>preliminary site</u> <u>plan approval</u> to the Burger King project located at 11550 subject to the following conditions:

- 1. Accommodating an RV/Semi parking space along the north side of the site and eliminating the space proposed on the southeast corner of the site or Planning Commission waiver of required RV parking spaces.
- 2. Truck maneuvering plan to show that the loading space is accessible.
- 3. Revised outdoor furniture design in compliance with BROD design requirements.
- 4. Installation of decorative BROD style light poles at the two access drives to the site.
- 5. Wayne county and Township Engineer approval of stormwater detention for the site.
- 6. Elimination of LED band from the building façade.
- 7. Submission of a revised sign packet with accurate calculations in compliance with the ordinance.

Respectfully, McKENNA

Vidya Krishnan Senior Principal Planner

Funtor Whitehill

Hunter Whitehill Associate Planner

cc: Matt Best, Van Buren Township Director of Public Services Paul Kammer, FTCH, Township Engineers David McInally, Van Buren Township Fire Chief





248.324.2090 | fishbeck.com

September 21, 2021 Fishbeck Project No. 201665

Chairperson Carol Thompson Planning Commission Chairperson Van Buren Township 46425 Tyler Road Van Buren Township, MI 48311

### Burger King – Parking Lot Reconstruction Plan Preliminary Site Plan Review

Dear Chairperson Thompson:

At the request of Van Buren Township (Township), Fishbeck has reviewed the revised Preliminary Site Plan dated August 25, 2021, submitted to the Township for the Preliminary Plan Review for the proposed improvements to the Burger King located on Belleville Road south of the I-94 Service Drive.

This project entails reconstruction of a portion of the parking lot at the existing Burger King at 11550 Belleville Road. Plans include reconstruction of the drive-through allowing two vehicle lanes for ordering, restriping the existing parking spaces, reconstruction of a portion of the sidewalk including Americans with Disabilities Act of 2010 (ADA) accessible ramps, and other various landscaping and site plan improvements. No utility improvements are being proposed.

Our review comments are as follows:

### General

The following items are general requirements established as part of the *Engineering Standards Manual*, (April 2014). The applicant must include the following items as part of the construction plans:

- 1. Plan hatches should be labeled on each sheet that the hatching is used.
- 2. Applicant shall verify the slopes on all their labels. Sheet C-3.0 shows incorrect slopes.

# Water & Sanitary

The plans indicate no proposed changes to the existing water service nor the existing sanitary sewer service.

### **Storm Sewer**

**Existing:** The plans indicate runoff being collected from a system of catch basins and drains and flowing north through a 12-inch privately-owned stormwater pipe in the parking lot. The existing system appears to be metered/restricted by a 4-inch outlet pipe, which discharges into the Belleville Road roadside ditch. The applicant provided a table indicating no net increase in impervious area.

**Proposed:** The plans do not indicate any proposed changes to the existing stormwater system. A table is included on the plans demonstrating no net increase in impervious area, supported by impervious and pervious areas

labeled on the plans. Due to no changes in the system and no changes in the overall site runoff, no further action is required in regard to the storm sewer system.

## **Paving and Grading**

- 1. The plans indicate a proposed hot mix asphalt (HMA) pavement section of 2 inches over 8 inches of aggregate base. Township Engineering Standards require a minimum pavement section of 3 inches HMA over 6 inches aggregate base.
- 2. As part of the Engineering review process, the applicant will be required to provide more detailed grading plans that indicate detailed ramp grades for sidewalk ramp areas needing to comply with the ADA.

# Soil Erosion and Sedimentation Control (SESC)

 The SESC plan provided must be in accordance with the Township Engineering Standards Manual, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. The applicant must determine if a Wayne County SESC permit is required. <a href="https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx">https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx</a> If no permit is required, SESC measures are still required to be placed for any construction that contains earth disturbance. The applicant must follow all Van Buren and Wayne County requirements.

### Recommendation

Fishbeck recommends the Planning Commission grant the Burger King Parking Lot Reconstruction Preliminary Site Plan approval for engineering feasibility, subject to the comments listed above and in accordance with the Township's Engineering Standards manual. If you have any questions regarding this project, please contact Paul Kammer at 248.324.2137 or <u>pkammer@fishbeck.com</u>.

Sincerely,

Po-Ko

Paul J. Kammer, PE Senior Civil Engineer

By email Copy: Matthew Best – Township Dan Power – Township Vidya Krishnan – McKenna Dave Potter – Fishbeck

to t

Stephen C. Clayton, PE Civil Engineer

Andrew Lenaghan Fire Marshal O: 734-699-8900 ext 9426 Van Buren Fire Department 46425 Tyler Rd Van Buren Twp., MI 48111



April 27, 2021

Director of Building and Planning 46425 Tyler Road Belleville, MI 48111

Burger King 11550 Belleville Rd. Van Buren Township, MI 48111 VBT 21-019

A set of plans have been received dated 3/15/2021 from architect Louis Craver, 604 Courtland St. Suite 100 Orlando, FL 32804 for the Burger King Corporation. NFPA 1 and NFPA 101 were used for this review.

The project description involves renovation of the existing Burger King.

The plans as submitted are approved with the following exceptions:

Fire Department access shall be maintained throughout construction NFPA 1 2018 16.1.4

Accumulations of combustible waste material, dust, and debris hall be removed from the structure and its immediate vicinity at the end of each work shift or more frequently as necessary for safe operations. NFPA 1 2018 16.2.2.1

Review and approval by the Authority Having Jurisdiction shall not relieve the applicant of the responsibility of compliance with these codes.

Andrew Lenaghan Fire Marshal Van Buren Township

**Our Mission:** The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

TOWNSHIP OF VAN BUREN EC PPLICATION FOR Y LAND USE/SPECIAL EVENT 5425 TYLER ROAD LLEVILLE, MI 48111
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(APPROVED BY)

(DATE SIGNED)



# MEMO

TO:	Township Planning Commission
FROM:	Dan Power – Director of Planning and Economic Development
RE:	Review of Temporary Land Use Request #21-027 – Atchinson Ford Vehicle Parking 8705 Belleville Road
DATE:	October 1, 2021

# **PROJECT REVIEW**

Atchinson Ford is requesting a new Temporary Land Use permit for the temporary parking and storage of vehicles at 8705 Belleville Road. The temporary use is proposed to be for a one-year timeframe. Per the Zoning Ordinance, temporary uses that operate for more than seven (7) consecutive days require Planning Commission approval. The applicant has previously obtained approvals for this temporary land use on three occasions, first from April 2018 – May 2019, and then with renewals from June 2019 – June 2020 and from June 2020 – June 2021. The most recent approval under case 20-015 expired in June 2021. The subject request is therefore for a new temporary land use application. Previously submitted materials are brought forth for the Planning Commission's consideration of the new request.

The following items are the approval standards in section 7.120 of the Township's Zoning Ordinance and our review is based upon conversations with the applicant and the provided materials. Please consider the following analysis, based largely on previous analysis performed by the Department of Public Services regarding this case in past applications:

### Adequacy of parking and access

The site is currently unoccupied and has an existing gravel parking area that encompasses nearly the entire width of the site. This area was original designed for the placement of manufactured and modular homes as the prior use of the site was a sales area for these types of homes. While some maintenance will need to be done on this gravel parking area it is currently existing and unused. Based on this the applicant has sufficient area to park vehicles on the site without creating negative externalities. Regarding adequate access, the applicant has worked with the Township Fire Marshal to ensure that the parking of vehicles will not create a situation where emergency vehicle access is limited by the storage of cars.

### Adequate drainage

The site is in an existing gravel parking lot that already has storm water drainage. As no substantial improvements are being made to the property and as there have been no identified drainage issues which staff is aware of, the proposed temporary use should not have any impact on site drainage.

### Compatibility with surrounding land uses

The proposed temporary use is located adjacent to vacant land to the west, a park area to the east, a private recreational use/ice cream shop to the south and manufactured housing community to the north. Based on this it is anticipated that the largest potential for incompatibility lies with the

manufactured housing community to the north, but there are several factors which would mitigate these issues. First, there already an existing vegetative buffer which is overgrown between the property to the north and the subject property. This should provide for some privacy between the uses. Second, we will be proposing a condition that the parking/storage of vehicles be setback 20 feet from the north property boundary. The reason why we are proposing 20 feet is to be consistent with the distance required for vegetative buffers in the landscaping section of our Zoning Ordinance. Lastly, the current condition of the site is fairly poor as the site has been abandoned for some time. I have discussed this issue with the applicant and they have indicated that their intention is to clean up the site, provide maintenance for the gravel parking area, and park new and newer year vehicles on the site. It is due to this that the condition of the site will improve as it will undergo maintenance and regular use.

Regarding the parking of the vehicles along Belleville Road, we will be recommending a condition of approval that the Planning Commission require a minimum of a 10 setback from the front property line to be consistent with the landscaping buffer requirement along the road frontage. One issue which would need to be addressed is regarding headlight glare onto Belleville Road. Staff will place a recommendation on this application that the vehicles which are parked directly adjacent to Belleville Road be parked with the front of the vehicle facing away from Belleville Road. This will alleviate any concerns regarding the headlight glare onto Belleville Road.

As the parking area is primarily on front of the site, and the adjacent site to the south is an existing commercial use, I do not believe that this use will place a substantial burden on these sites.

# Size, height, and type of construction of proposed buildings and structures in relation to surrounding site

There are no proposed buildings and structures associated with the proposed temporary use of the property.

### Sufficient setbacks from road right-of-ways and lot lines

The property is zoned C-1, General Commercial and it is recommended that the applicant maintain setbacks for the temporary storage and parking of vehicles which are consistent with the landscape buffers between the zoning districts. These are 10 feet from the front property line, 20 feet from the north and east property line, and 10 feet from the south property line. If approval is recommended this will be listed as a potential condition of approval.

### Adequate utilities

The proposed temporary use should not utilize any existing utilities as it is proposed.

### Trash disposal and site clean-up

There are no proposed employees to be on site, but a condition should be placed on the approval that the applicant shall maintain the property in a clean manner.

### Sanitary facilities

As there are no employees on site, no sanitary facilities will be provided. The employees will come from the Atchinson Ford main dealership site, where there are existing facilities.

### Hours of operation

The vehicle storage area will be used during the same hours of operation as the dealership which can range from 9 a.m. until 9 p.m., but depending on the day, has closing hours of 6 p.m. and 3 p.m.

### Outdoor light and signs

Please note that no site lighting is proposed at this time and any future lighting will need to be reviewed for compliance with the Zoning Ordinance by Township staff. This will be recommended as a condition of approval. There is no proposed signage at this time. Any proposed signage will be reviewed by Township staff for compliance with the Zoning Ordinance. At the time of a permanent land use being proposed on the site and formal site plan review by the Planning Commission, the sign must be removed and replaced with a sign that conforms to the standards of Article 11 of the Van Buren Township Zoning Ordinance. As a recommended condition of approval, the applicant shall remove any sign panel that advertises a use that no longer exists on the site.

### Other licenses and permits required

There are no other licenses or permits required that staff is aware of.

### Potential noise, odor, dust, and glare

The proposed temporary use should not increase the noise, odor, dust of glare from their use. The parking and storage of vehicles is essentially the original use of the site and what the gravel area was designed for. So long as the applicant maintains the above specified hours there should be no anticipated issues.

### Fire lanes, fire protection, and security

The Fire Marshal has reviewed this site previously and no issues have arisen from the use of the site that staff is aware of. The site has an existing fence around it. This should limit the unauthorized access of this area.

### Off-site impacts of traffic volumes

The roads in the immediate vicinity are major Township roads, and this temporary use will not impact their flow or travel volumes.

### Necessity of performance bond to ensure prompt removal

A performance bond should not be necessary for this temporary use.

### Other concerns which may impact the public health, safety, or general welfare

There are no additional concerns.

### **Recommendation**

This temporary land use was conducted for three years with no issues that have been brought to the attention of the Township. The applicant has removed the existing vacant building on the site and has taken efforts to keep the property well maintained. Based on this and the review criteria mentioned above staff is recommending approval of the temporary land use for Atchinson Ford to

continue the temporary land use of parking vehicles at this property at 8705 Belleville Road. The recommendation is based on this review dated October 1, 2021 and subject to the following conditions:

- 1. The applicant shall maintain setbacks which are consistent with the landscape buffering standards in the Township's Zoning Ordinance. These are as follows:
  - a. Front (East Side Adjacent to Belleville Road): 10' from property boundary.
  - b. Side (North Side Adjacent to Belleville Manor): 20' from property boundary.
  - c. Side (Sound Side Adjacent to Armstrong's Funland): 10' from property boundary
  - d. Rear (East Side Adjacent to Belleville Manor Park): 20' from property boundary
- 2. Vehicles parked immediately adjacent to Belleville Road shall be parked with the front of the vehicle facing away from Belleville Road and adjacent properties in order avoid headlight glare.
- 3. The site shall be maintained in a clean manner and trash will be properly disposed of.
- 4. The hours of operation for the temporary vehicle parking area shall mirror the hours of operation for the Atchinson Ford dealership.
- 5. That any exterior lighting or signs be reviewed and approved by the Director of Planning & Economic Development for consistency with the Zoning Ordinance, prior to their installation.
- 6. The applicant shall remove any sign panel that advertises a use that no longer exists on the site.
- 7. That the temporary land use permit is valid for a period of one year ending October 12, 2022.

### CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION APRIL 25, 2018 MINUTES

Chairperson Thompson called the meeting to order at 7:31 p.m.

ROLL CALL: Present: Kelley, Atchinson, Budd, Boynton, Jahr, Franzoi and Thompson. Excused: None. Staff: Director Best and Secretary Harman. Planning Representatives: None. Audience: Two (2).

### APPROVAL OF AGENDA:

Motion Kelley, Franzoi second to approve the agenda of April 25, 2018 as presented. Motion Carried.

### **APPROVAL OF MINUTES:**

Motion Budd, Kelley second to approve the regular meeting minutes of March 14, 2018 as presented. Motion Carried.

### **NEW BUSINESS:**

- ITEM # 1 18-003 TEMPORARY LAND USE APPROVAL
- TITLE:THE APPLICANT, ATCHINSON FORD, IS REQUESTING A TEMPORARY LAND USEPERMIT TO PARK LEASE TURN IN VEHICLES AND NEW VEHICLE INVENTORY.
- LOCATION: THE PROPERTY IS LOCATED AT 8705 BELLEVILLE ROAD, VAN BUREN TOWNSHIP, MI 48111, WHICH IS ON THE EAST SIDE OF BELLEVILLE ROAD, NORTH OF TYLER ROAD.

### Motion Kelley, Jahr second to recuse Medina Atchinson. Motion Carried.

Craig Atchinson gave the presentation. Mr. Atchinson is seeking a temporary land use permit to address the need for additional vehicle parking space for returning lease vehicles and new vehicle inventory for Atchinson Ford.

Director Best presented Director Akers' staff review letter dated 4-21-18 recommending approval of the application subject to the following conditions:

- 1. The applicant obtain approval for the temporary vehicle parking area from the Van Buren Township Fire Marshal. This condition has been met. (letter attached)
- 2. The applicant shall maintain setbacks which are consistent with the landscape buffering standards in the Township's Zoning Ordinance.

PC Minutes 4-25-18 Page **2** of **2** 

- 3. Vehicles parked immediately adjacent to Belleville Road shall be parked with the front of the vehicle facing away from Belleville Road and adjacent properties in order to avoid headlight glare.
- 4. The site shall be maintained in a clean manner and trash will be properly disposed of.
- 5. The hours of operation for the temporary vehicle parking area shall mirror the hours of operation for the Atchinson Ford dealership.
- 6. That any exterior lighting or signs be reviewed and approved by the Director of Planning & Economic Development for consistency with the Zoning Ordinance, prior to their installation.
- 7. That the temporary land use permit is valid for a period of one year ending May 1, 2019.

Director Best presented the Fire Marshal's approval letter dated 4-23-18.

Commissioners discussed how many vehicles would be on the lot, spacing around the parked vehicles, whether customers will be allowed on the lot, if the office building on the property would remain and if the property is or will be fenced. There will be approximately 200 vehicles parked on the lot with space around them for movement, it is not the intention of the applicant to have customers on the lot, the office building belongs to the property owner and the applicant will repair the existing fence on the property to make sure the area is secured.

No questions from the audience.

Motion Kelley, Franzoi second to grant Atchinson Ford a temporary land use permit to park lease turn in vehicles and new vehicle inventory at the property located at 8705 Belleville Road based on the analysis and subject to the recommendations in Director Akers' staff review letter dated 4-21-18 and the Fire Department review letter dated 4-23-18. Motion Carried. (Letters Attached)

**GENERAL DISCUSSION:** 

ADJOURNMENT:

Motion Boynton, Kelley second to adjourn at 7:46 p.m. Motion Carried.

Respectfully submitted,

Christina Harman Recording Secretary

### CHARTER TOWNSHIP OF VAN BUREN PLANNING COMMISSION June 26, 2019 MINUTES

Chairperson Thompson called the meeting to order at 7:31 p.m.

### **ROLL CALL:**

Present: Franzoi, Boynton, Kelley, Atchinson and Thompson.
Excused: Budd and Jahr.
Staff: Director Akers and Secretary Harman.
Planning Representatives: McKenna Associate, Vidya Krishnan.
Audience: Four (4).

### **APPROVAL OF AGENDA:**

Motion Boynton, Kelley second to approve the agenda of June 26, 2019 as presented. Motion Carried.

### **APPROVAL OF MINUTES:**

Motion Kelley, Boynton second to approve the regular meeting minutes of June 12, 2019 as presented. Motion Carried.

### **NEW BUSINESS:**

- ITEM # 1 19-023 TEMPORARY LAND USE APPROVAL.
- TITLE: THE APPLICANT, ATCHINSON FORD, IS REQUESTING A RENEWAL OF THEIR TEMPORARY LAND USE PERMIT TO PARK LEASE TURN IN VEHICLES AND NEW VEHICLE INVENTORY.
- LOCATION: THE PROPERTY LOCATED AT 8705 BELLEVILLE ROAD, VAN BUREN TOWNSHIP, MI 48111, WHICH IS ON THE EASE SIDE OF BELLEVILLE ROAD, NORTH OF TYLER ROAD.

Commissioner Atchinson requested to be recused from the discussion.

### Motion Boynton, Kelley second to recuse Commissioner Atchinson. Motion Carried.

Craig Atchinson of Atchinson Ford gave the presentation. Mr. Atchinson is requesting a renewal of their temporary land use permit to continue parking return lease vehicles and new vehicle inventory at the property. Mr. Atchinson now owns the property located at 8705 Belleville Road and is working on improvements to the property including the tear down of the old building, securing the property with new fencing, possibly adding lighting for security and changing the sign. Mr. Atchinson displayed a color rendering of a potential new sign.

Director Akers presented his staff review memo dated 6-21-19 recommending approval of the temporary land use permit for Atchinson Ford to continue the temporary land use of parking vehicles at 8705 Belleville Road, subject to the following conditions:

PC Minutes 6-26-19 Page **2** of **4** 

- 1. The applicant shall maintain setbacks which are consistent with the landscape buffering standards in the Townships Zoning Ordinance. These are as follows:
  - a. Front (East side adjacent to Belleville Road): 10' from the property boundary.
  - b. Side (North side adjacent to Belleville Manor): 20' from property boundary.
  - c. Side (South side adjacent to Armstrong's Funland): 10' from property boundary.
  - d. Rear (East side adjacent to Belleville Manor Park): 20' from the property boundary.
- 2. Vehicles parked immediately adjacent to Belleville Road shall be parked with the front of the vehicle facing away from Belleville Road and adjacent properties in order to avoid headlight glare.
- 3. The site shall be maintained in a clean manner and trash will be properly disposed of.
- 4. The hours of operation for the temporary vehicle parking area shall mirror the hours of operation for the Atchinson Ford dealership.
- 5. That any exterior lighting or signs be reviewed and approved by the Director of Planning and Economic Development for consistency with the Zoning Ordinance, prior to their installation.
- 6. That the temporary land use permit is valid for a period of one year ending June 26, 2020.

The applicant agreed to all conditions. No comments from the Commission or the audience.

Motion Kelley, Boynton second to approve Atchinson Ford's renewal of their temporary land use permit to park lease turn in vehicles and new vehicle inventory on the property located at 8705 Belleville Road, based on the analysis and subject to the conditions in Director Akers staff review letter dated 6-21-19. Motion Carried. (Letter attached)

ITEM # 2 19-022 – INFINITY HOMES TOWNSEND PARK – SITE PLAN AMENDMENT.

TITLE: THE APPLICANT, INFINITY HOMES, IS REQUESTING AN AMENDMENT TO THE APPROVED TOWNSEND PARK SITE PLAN FOR REVISED SINGLE-FAMILY ARCHITECTURAL ELEVATIONS.

LOCATION: THE UNFINISHED TOWNEND PARK SUBDIVISION IS THE SUBJECT OF THE REQUEST. THE DEVELOPMENT IS LOCATED ON THE EASE SIDE OF MORTON TAYLOR ROAD, NORTH OF ECORSE ROAD.

Rino Soave of Infinity Homes gave the presentation. Infinity Homes has purchased the remaining lots in the Townsend Park Subdivision; they are requesting an amendment to the site plan for revised single-family architectural elevations to move forward with the build out of the development.

Director Akers presented his staff review letter dated 6-21-19 recommending the Planning Commission approve an amendment to the site plan for the Townsend Park development in order to allow Infinity Homes to construct homes consistent with the provided plans which depict elevations to be constructed on the remaining lots in the subdivision. The approval is to be based upon the staff review letter dated June 21, 2019 and conditioned upon the following:

1. Township Planning Staff shall review each application for a new single family home in order to determine that the new home meets the required setbacks and that the elevation meets the

PC Minutes 6-24-20 Page **7** of **10** 

on dwellings in non-residential zones.

<u>Roll Call</u>: Yeas: Atchinson, Kelley, Boynton, Jahr, Franzoi, Budd, and Thompson. Nays: None. Absent: None. Motion Carried.

ITEM #4:	CASE 20-015 – TEMPORARY LAND USE APPROVAL
TITLE:	THE APPLICANT, ATCHINSON FORD, IS REQUESTING A RENEWAL OF THEIR TEMPORARY LAND USE PERMIT TO PARK LEASE TURN IN VEHICLES AND NEW VEHICLE INVENTORY.

LOCATION: The property is located at 8705 Belleville Road, Van Buren Township, MI 48111 which is on the east side of Belleville Road, north of Tyler Road.

Commissioner Atchinson requested the commission to recuse her from this item, due to her relationship with the applicant.

Motion Boynton, Kelley second to grant Commissioner Atchinson permission to be recused from item #4.

<u>Roll Call</u>: Yeas: Budd, Kelley, Boynton, Jahr, Franzoi, and Thompson. Nays: None. Absent: None. Motion carried.

Craig Atchinson of Atchinson Ford, thanked the commission for being on the agenda, It is business as usual and stated there are some improvements being done to the lot, they are in the process of getting bids to replace the fencing.

Director Best presented the staff review letter dated June 17, 2020 and the approval letter from the Fire Marshall dated April 23, 2018, recommending approval of the application subject to the following six (6) conditions:

- 1. The applicant shall maintain setbacks which are consistent with the landscape buffering standards in the Township Zoning Ordinance. These are as follows.
  - a. Front (East side adjacent to Belleville Rd) 10' from property boundary.
  - b. Side (North side adjacent to Belleville Manor) 20' from property boundary
  - c. Side (South side adjacent to Armstrong's Funland) 10' from property boundary.
  - d. Rear (East side adjacent to Belleville Manor Park) 20' from property boundary.
- 2. Vehicles parked immediately adjacent to Belleville Rd. shall be parked with the front end facing away from Belleville Road and adjacent properties to avoid headlight glare.

- 3. The site shall be maintained in a clean manner and trash will be disposed of properly.
- 4. The hours of operation for the temporary vehicle parking area shall mirror the hours of operation for the Atchinson Ford Dealership.
- 5. That any exterior lighting or signs be reviewed and approved by the Director of planning and Economic Development for consistency with Zoning Ordinance, prior to their installation.
- 6. That the temporary land use permit is valid for a period of one year ending June 26, 2021.

No questions or comments from the commission.

Motion Boynton, Jahr second to approve the applicant, Atchinson Ford, the renewal of their temporary land use permit to park lease turn in vehicles and new vehicle inventory. Located at 8705 Belleville Road, Van Buren Township, east side of Belleville Rd, north side of Tyler Road.

<u>Roll Call</u>: Yeas: Franzoi, Jahr, Boynton, Kelley, Budd, and Thompson. Nays: None. Absent: None. Motion carried.

### Item #5 ADAPTIVE OUTDOOR RETAIL AND DINING-RELAXATION OF CERTAIN REGULATIONS

Director Power presented the unique situation some businesses are in as they struggle to reopen due to the pandemic shutdown caused by Covid-19. Director Power stated that many communities are trying to be flexible with regard to moving retail and dining space outdoors, and to the extent we can in Van Buren Township, do the same thing. In normal times, if a business wanted to bring outdoor dining or retail, we would find suitable zoning district, and bring that use to the Planning Commission for review. Director Power requested that the commission recommend to the township board to temporarily relax the commission review requirements for a temporary land use permit for outdoor dining and retail thru October 31,2020, and allow an administrative review instead.

Director Best added that because of Covid 19, many businesses, especially restaurants are hurting at the 50% capacity restriction, and would like to give them an additional option for revenue, quickly, while still maintaining all of the outdoor rules. The Planning Commission would be updated on all applicants and its designed to be temporary, all permits would expire on October 31,2020.

Commissioners commented that they want to do all they can to help these businesses. Commissioners recommended that the Township be proactive and reach out to the businesses that this could affect, if possible, due to the short season for outdoor activities. Director Best responded that the DDA and Director Power have started reaching out to Businesses, along with the Chamber.

Commissioners asked if the relaxation would be for all temporary land use permits, or how are



MEMO

TO:	Van Buren Township Planning Commission
FROM:	Dan Power– Director of Planning and Economic Development
RE:	Discussion of Zoning Ordinance Text Amendment: Outdoor
	Dining and Retail
DATE:	October 7, 2021

The Planning Commission will soon be requested to consider a text amendment to the Van Buren Township Zoning Ordinance in order to codify more flexibility in the Township's standards for outdoor dining and retail. A comprehensive Zoning Ordinance amendment was adopted in 2015 to allow and regulate outdoor dining as a special land use (Sec. 5.137). Since that time, the COVID-19 pandemic has compelled some businesses to move sales and food service outdoors so as to manage risk and allow businesses to prosper amidst limits on indoor activities. It is now apparent to staff and the Township's leadership that safe and context sensitive outdoor operations should be an accessible option for dining and retail businesses in Van Buren Township. We therefore seek to amend the Township Zoning Ordinance to simplify the special and temporary land use approval processes for outdoor dining and retail activities.

The analysis that provided the basis for the 2015 outdoor dining amendments, along with a comparison analysis of outdoor dining policies in nearby communities, provides a basis for the Zoning Ordinance amendment recommendations. To initiate the Zoning Ordinance text amendment discussion with the Planning Commission, please see reference materials enclosed in this packet including the following:

- A letter by Vidya Krishnan of McKenna which evaluates current policies of comparison communities regarding outdoor dining, dated October 7, 2021;
- A copy of an original analysis by McKenna from the original outdoor dining ordinance discussion in 2015; and
- A copy of the Township's current temporary outdoor dining and retail application which is associated with a Board of Trustees resolution which will expire at the end of 2021.

I encourage the Planning Commission to discuss potential amendments and provide staff with direction on this topic. One outcome may be to permit administratively approvable, limited outdoor dining and retail activities as an accessory land use that is permitted by right in certain zoning districts, subject to review by the Departments of Public Services and Public Safety.

Following our initial discussion, staff will return to the Planning Commission with a final draft set of recommended text amendment language before holding a public hearing to make text amendment recommendations to the Board of Trustees.

Thank you for your consideration.

Sincerely,

Ram  $\mathcal{Q}$ par Π

Dan Power, AICP Planning and Economic Development Director Public Services Department Charter Township of Van Buren

CC: Matthew Best, M.S. - Public Services Director, Van Buren Charter Township





October 6, 2021

Planning Commission Charter Township of Van Buren 46425 Tyler Road Van Buren Township, Michigan 48111

### Subject: Outdoor Dining in Covid Times

Dear Commissioners:

The Township had recently expressed an interest in reviewing the Zoning Ordinance for allowing outdoor dining on a temporary basis. Since the pandemic started in early 2020, many restaurants and dining places have struggled to stay in business due to complete shutdown of indoor seating or severe limitations to it. Outdoor dining was a way to meet health guidelines and serve the customers while keeping the business viable. Our current ordinance requires approval of all temporary uses by the Planning Commission, which can be time consuming for a business with a short outdoor season. We took a look at other municipalities to see if and how they have addressed this issue in the last year and half. We have summarized are findings as follows:

### 1. Community: PlymouthTownship

In May 2020 Plymouth Township (Wayne County) adopted a policy by which a restaurant could apply for a temporary outdoor dining permit as an accessory use, to be signed off by the Township Supervisor. The permit would be valid for a period of 90 days, required no fees but had to comply with a list of site requirements to be shown on a plot plan and compliance reviewed on site by the Building Department. A copy of the application is attached.

### 2. Community: City of Southfield

In mid-2020, the City of Southfield (Oakland County), adopted an Ordinance to allow for outdoor dining areas **AND** personal service stations, such as barbers, stylists and nail technicians. The typical temporary use approval at the City involved action by the Zoning Board of Appeals. However, the amendment proposed allowed for administrative approval of outdoor dining by the Planning, Building and Fire Departments within ONE week. The permit allowed for the businesses to operate from April through October with permit to be applied for annually. The ordinance includes a list of compliance items (included) and involves submission of fees.

### 3. Community: City of Grand Rapids

The City of Grand Rapids (Kent County) adopted an approach with temporary use permit with 'flexible approach'. Outdoor seating would be allowed on private property for up to 89 days. Process for application is exclusively online and is processed in 10 days administratively. The permit does place limitations on timings to maximum of 10 - 11 pm. And does not allow for music or other additions to the temporary use space.

HEADQUARTERS

235 East Main Street Suite 105 Northville, Michigan 48167 O 248.596.0920 F 248.596.0930 MCKA.COM

Communities for real life.



In April 2021 Canton Township (Wayne County) adopted an ordinance to administratively approved outdoor dining areas. The application is required to be submitted with fees and is permitted for a period of 8 months. The permit is required to be renewed annually. The submittal requirements include significant details to be provided by the applicant and certain architectural/design guidelines.

With the ongoing pandemic and an eye on the future, we believe an ordinance amendment to streamline the process for approval of temporary outdoor dining to support our local businesses is important. We will be present at the Planning Commission and look forward to discussing and reviewing this matter with you.

Respectfully submitted,

McKENNA

Vidya Krishnah Senior Principal Planner

c: Dan Power, Director of Planning & Economic Development



### MCKENNA ASSOCIATES COMMUNITY PLANNING AND DESIGN

### MEMORANDUM

То:	Van Buren Township Planning Commission
From:	Sally Hodges, AICP
	Senior Vice President
Subject:	Outdoor Dining Amendments
Date:	January 5, 2015

It has come to our attention that none of the Township's commercial districts expressly permit outdoor dining. In fact, the C district specifically states that all activities must be conducted within a building. Outdoor dining and table service is a land use that is becoming more popular and contributes to a more pedestrian-oriented, active and vital commercial district. We recommend that Planning Commission consider text amendments that would permit this use under appropriate conditions.

Following for your consideration and discussion, is a draft proposed Zoning Ordinance amendment to address this topic. We propose the use and conditions be listed in the C-1 District. Because the permitted uses in the Township's various commercial zoning districts "pyramid", (uses that are permitted in a less intense district are permitted by reference in the more intense districts unless specifically stated otherwise), outdoor dining would also be permitted in the C-2 District, subject to the same conditions.

**SECTION 1.** ARTICLE XII, C-1 GENERAL BUSINESS DISTRICT, SECTION 12.02 PERMITTED USES is hereby amended to add a new subsection tt., as follows:

- tt. Outdoor dining and table service, including but not limited to patios and sidewalk cafes, are subject to the following requirements:
  - 1. The sales and service of food outdoors shall only be permitted as incidental to a similar principal use indoors and adjacent to that principal use.
  - 2. Outdoor dining areas shall not obstruct the entrance to any building or sidewalk. If outdoor dining areas are located on a sidewalk in front of a building, a minimum 42 inch wide clear pedestrian travel-way shall be maintained on the sidewalk or as a path.

**HEADQUARTERS** 235 East Main Street, Suite 105, Northville, MI 48167 **T**: 248.596.0920 **F**: 248.596.0930 **WEST MICHIGAN** 151 South Rose Street, Suite 920, Kalamazoo, MI 49007 **T**: 269.382,4443 **F**: 248.596.0930 **OHIO** 1382 West 9th Street, Suite 420, Cleveland, Ohio 44113 **T**: 330.528.3342 **F**: 248.596.0930

- 3. Temporary or free-standing food service providers are not considered outdoor dining uses.
- 4. The outside table service shall be located in a manner which will not interfere with visibility, vehicular or pedestrian mobility or access.
- 5. The height of any barrier or installed landscaping shall not exceed three feet, six inches (3'6").
- 6. Signs are not allowed in the outside table service area with the exception of a menu sign.
- 7. All outside table services must be readily accessible to and useable by individuals with disabilities.
- 8. No such use shall occupy any portion of a public right-of-way.



### **DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT**

46425 TYLER ROAD, VAN BUREN TOWNSHIP, MI 48111 PHONE (734) 699-8913 FAX (734) 699-8958

# TEMPORARY ADAPTIVE OUTDOOR DINING AND RETAIL PERMIT APPLICATION

### No application fee required

DATE OF APPLICATION:	
CONTACT PERSON:	PHONE:
BUSINESS NAME:	ADDRESS OF LOCATION:
PROPERTY OWNER REPRESENTATIVE:	PHONE:
WHAT ACTIVITY ARE YOU REQUESTING TO MOVE OUTDOORS RETAIL)?	(E.G., OUTDOOR DINING AND BEVERAGE SERVICE, OUTDOOR
IS A LICENSE FOR ALCOHOL SALES OR SERVICE REQUESTED FF	OM THE MICHIGAN LIQUOR CONTROL COMMISSION (MLCC)?
(YES/NO). IF YES, WHAT TYPE OF MLCC LICENSE IS REQUEST	ED?
OTHER:	
PLEASE ALSO SUBMIT A SIMPLE SITE PLAN (SEE SITE PLA	N TEMPLATE AND CHECKLIST ON PAGES 2-3)

Please submit all documents to the Van Buren Charter Township Planning and Economic Development Department. This can be done via mail, in-person drop off, or emailed to <u>dpower@vanburen-mi.org</u>. Please allow three (3) business days for review of your completed application. Upon written or verbal confirmation from the Township Planning and Economic Development Department that your application has been approved, you may begin installation. If the proposal involves new structures, electrical connections, or other items requiring inspection, please contact 734-699-8913 prior to commencing the activity to coordinate your inspection.

As the duly authorized individual or agent of the applicant/business, I hereby apply for approval of this temporary outdoor dining and retail use, affirm the above information, and agree that I (or the sponsoring organization) will comply with applicable Township requirements, ordinances, and other laws which apply to this temporary use.

SIGNATURE OF APPLICANT	DATE	SIGNATURE OF OWNER, IF DIFFERENT FROM APPLICANT	DATE

APPROVED BY

# Temporary Outdoor Dining / Retail Site Plan

See a checklist of site plan items on the following page.	Contact:
	Phone #:
	Sq. Footage:
	Address:

### Site Plan Information - please provide the following if it applies to your proposed use:

- □ **Perimeter.** A description of the perimeter surrounding the outdoor dining or retail space including length, width, and the material being used to define the perimeter (fencing, planters, etc.).
- □ **Parking spaces impacted** by or removed due to be occupied by the outdoor use.
- □ **Barrier free space protection.** Verification that existing barrier free parking spaces will be unhindered or will be replaced.
- Drive aisles or fire lanes affected by the outdoor use.
- **Crossings** designed to guide patrons to the outdoor use area.
- Arrows demonstrating vehicle circulation, if any of the site's drive aisles will be impacted.
- **Setbacks** between the temporary use and adjacent lot lines.
- **Additional notes or separate submittals** to provide, if applicable:
  - o Description of the proposed outdoor activities.
  - o Any proposed additional lighting.
  - o Method of trash disposal and site clean-up.
  - o Estimated schedule for trash pickup and deliveries to the primary business.
  - o Proposed hours of outdoor operation.
  - o A description of MLCC licenses or other licenses required.
  - Notes describing monitoring and security of any outdoor alcohol service areas.
  - Any available specification drawings showing the size, height and type of construction of proposed temporary buildings / structures to serve the use.
  - Any other information aiding with the description of your project.

Additional informational notes:

- 1. This temporary outdoor land use authorization shall expire on October 31, 2020, unless extended by the Township Board.
- 2. If a conflict arises between this use and any Executive Order from the State of Michigan Governor, the Executive Order shall prevail.
- 3. Extensions or new applications related to this temporary outdoor use may be subject to new ordinances or policies adopted by the Van Buren Township Board.
- 4. If a license from MLCC for outdoor service is requested, this must be attached to areas in which alcohol will be served. A copy of the MLCC Outdoor Service permit must be submitted to the Township prior to commencing with the outdoor service of alcoholic beverages. See <a href="https://www.michigan.gov/lara/0,4601,7-154-89334">https://www.michigan.gov/lara/0,4601,7-154-89334</a> 10570--,00.html.
- 5. If Wayne County Health Department (WCHD) approvals for outdoor food service are required, a copy of the WCHD approval will be required prior to the Township issuing an approval (see application and instructions here:

https://www.waynecounty.com/departments/hhvs/wellness/foodservice-licensing.aspx

# FOR OFFICE USE ONLY

Date Submitted \_\_\_\_\_ Layout Drawing \_\_\_\_\_

Landowner Approval \_\_\_\_\_ Approval Date\_\_\_\_\_

Application Approved:\_\_\_\_\_

# RECEIVED PLANNING & ZONING APPLICATION Date Submitted 9/15/2021 SEP 1 5 2021

Case number 12-037

Address 6 City, State 4	av Automotivo Mobility Solutions	
City, State $\underline{\underline{A}}$	ox Automotive Mobility Solutions, L	LC Phone 678-645-3001
· · · · ·	205 Peachtree Dunwood Road	Fax
	Atlanta, GA	Zip_30328
E:mail <u>JK</u>	o.rubadou@coxinc.com	Cell Phone Number
Property Owner _	Service Dr Investments	11c Phone 248-558-9782
Address	(if different than applicant)	Fax
City, State	Royal Oak, MI	Zip 48068
Billing Contact J.I		Phone 678-779-6905
Address 6205 Pe	eachtree Dunwood Road	Fax
	Atlanta, GA	Zip 30328
	SITE/ PROJEC	TINFORMATION
N CD I	Cox Mobility Detroit	
		Project Address 39635 S I-94 Service Dr, Belleville
	Road.	tate 94 Serviĝ€ad; Between HannanRoad Size of Lot Width 587 ftDepth 1,580 ft
Acreage of Site 2	0.069 Total Acres of Site to Review	
Acreage of Site <u>2</u> Project Descriptio	0.069 Total Acres of Site to Review	Size of Lot Width 587 ft Depth 1,580 ft w 20.069 Current Zoning of Site M1
Acreage of Site 2 Project Descriptio	0.069 Total Acres of Site to Review n: Storage and basic function testin his parcel being requested? <u>No</u>	Size of Lot Width 587 ft Depth 1,580 ft w 20.069 Current Zoning of Site M1 ng of EV batteries and ancillary office use.
Project Descriptio	0.069 Total Acres of Site to Revier n: Storage and basic function testin his parcel being requested? <u>No</u> Site	Size of Lot Width 587 ft Depth 1,580 ft w 20.069 Current Zoning of Site M1 ng of EV batteries and ancillary office use. YES (if yes complete next line) NO
Acreage of Site 2 Project Descriptio	0.069 Total Acres of Site to Revier n: Storage and basic function testin his parcel being requested? <u>No</u> Site	Size of Lot Width 587 ft
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Acreage of Site 2 Project Descriptio Is a re-zoning of the Current Zoning of Does the Proposed Section of Zoning Is there an official	0.069 Total Acres of Site to Review n: Storage and basic function testin his parcel being requested? No `Site SPECIAL PERM 1 Use Require Special Approval?	Size of Lot Width 587 ftDepth_1,580 ft w_20.069Current Zoning of Site M1 ng of EV batteries and ancillary office use YES (if yes complete next line) NO Requested Zoning IT INFORMATION YES (if yes complete next line) NO Woodland acreage

If applicable application MUST be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

**OWNER'S AFFIDAVIT** 

Notary Public - State of Michigan County of Oakland My Commission Expires Jan 29, 20; Acting in the County of CALCANS BRANDON OJA

COUNTY OF WAYNE The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all

Pan

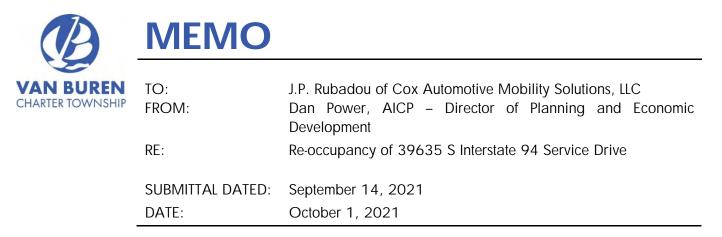
41

Print Property Owners Name

Signature of Property Owner

STATE OF MICHIGAN

9-14-2021 Date



Applicant J.P. Rubadou of Cox Automotive Mobility Solutions, LLC on behalf of owner Service Drive Investments LLC proposes to occupy an existing 75,751 square foot single-floor industrial building as a facility for storage and testing of battery packs. The subject site is a 19.24-acre parcel located at 39635 S Interstate 94 Service Drive (tax parcel ID 83 093 99 0001 700) and is zoned M-1, Light industrial.

The proposed use constitutes a re-occupancy of a building which requires no variance from the Zoning Ordinance standards, with a use that is conducted within a completely enclosed building; which does not create additional parking demands, beyond 10% of that which exists; and does not substantially alter the character of the site. It is therefore an administratively reviewable use under Section 12.201 of the Van Buren Township Zoning Ordinance and is not subject to site plan review by the Planning Commission.

The Township however must review certain aspects of the site and consider requests for approval of a **change** of use / new business application and an administrative approval of a site plan. As part of the applicant's request for these approvals, they have provided the following materials:

- A completed change of use / new business application.
- A completed planning and zoning application dated September 14, 2021.
- A land survey of the existing building with no site plan changes proposed, dated March 3, 2020.
- An illustrative floor plan showing areas in the floor of the site's principal building that will be used for offices, battery testing space, storage / racking space, and receiving and shipping.
- A use description letter provided by Cox Enterprises, dated September 24, 2021.
- For additional reference, a civil site plan set including a utility plan and details showing a fire suppression extension water lead into the property for the retrofit of the building to enhance the building's fire suppression dated March 29, 2021 is included in this analysis.

Below is my analysis of the materials that have been provided. My analysis addresses this plan's adherence to various standards in Section 12.203 of the Van Buren Township Zoning Ordinance pertinent to administrative review, with <u>underlined comments</u> indicating items that must be addressed:

The title and date of plan, including the date and nature of all subsequent revisions. The title and date of a survey from Kem Tec dated March 3, 2020. A final version of this survey drawing should be provided with the word "Draft" removed from the title block.

North arrow and scale. This has been provided.

The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties. Dimensions of two buildings on the site, parking areas, and fencing have been provided. One building is a 75,751-sq. ft. building, which will serve as the primary building for the business. This building meets the required 50' front yard, 40' side yard, and 40' rear yard setbacks under the M-1 – Light Industrial Zoning District. The other building situated in the rear of the lot has a nonconforming side yard setback of 3.2'. There are no proposed changes to this building.

**Boundary of the tract shown by a heavy line:** a legal description or the parcel and the acreage. This has been provided.

The name, firm, address and telephone number of the professional civil engineering or architectural firms responsible for the preparation of the site plan (including imprint of professional seal). If there are no changes to the site plan, the survey should be sealed by a licensed professional surveyor and resubmitted. If site plan changes are proposed, these should be shown on a civil site plan that is sealed by a professional engineer and the engineer's information must be provided.

A description of the proposed use including the nature of the proposed use and other general information describing the use. A use description has been provided in a separate letter. The proposed use involves storage and testing of electric vehicle batteries which remain in the facility for no more than 60-90 days. The testing aspect of the use involves voltage readings, capacity testing, or pulse testing to determine if a pack is still healthy. The applicant has indicated that the battery packs are never torn down to their cell level and are never disassembled to the point that could expose any hazardous material. The use is therefore classified primarily as warehousing, which is consistent with the permitted uses in the M-1 Light Industrial zoning district. The use will involve 1-2 light truck loads departing the facility each day. The applicant must clarify what they anticipate truck traffic **to** the facility will be. Additionally, the battery packs must never be torn down to their cell level nor be disassembled to the point that could expose any hazardous material.

A schedule of parking needs. This has not been provided. The site contains 167 existing off-street parking spaces. The applicant must provide an estimated area for each of the following identified uses, which will require parking at the ratios identified below per Section 9.102 of the Van Buren Township Zoning Ordinance:

Use	Floor	Comparable Use per Sec.	Requirement per Sec. 9.102	Resulting required
	Area (-sf)	9.102		# of spaces
Storage /		Wholesale/Warehouse	Five (5) plus one (1) per 1,750	
Racking Space		Storage	square feet of gross floor area	
			plus one (1) per 350 useable	
			square feet of office, sales or	
			similar space.	
Battery Testing		Light Manufacturing	Five (5), plus either one (1) per	
Space			each 550 square feet gross	
Offices		Light Manufacturingand	floor area or one (1) per each	
		Related Accessory Offices	employee at peak shift,	
			whichever is greater.	
Total number of s	paces requir	ed		
Total number of s	paces on site	5		167

If additional parking spaces are required or restriping or another change to the parking layout it required, parking spaces must be double striped and laid out with dimensions that comply with Article 9 of the Van Buren Township Zoning Ordinance.

**Traffic and pedestrian circulation patterns**. Existing parking aisles and driveways are shown. <u>A</u> dimension for the parking aisle widths and driveway width must be added to the survey drawing or site plan. The use is not required to include sidewalks along its frontage at this time under Section 9.107 of the Zoning Ordinance as it does not require site plan review by the Planning Commission. <u>In the future, if any change to the use or building which requires site plan review by the Planning Commission under Article 12 of the Zoning Ordinance is proposed, sidewalks will be required.</u>

Entrance details including sign locations and size. Existing entry signs and their dimensions must be identified.

**Detailed landscape plan**. <u>A description of existing landscaping shall be provided, including the locations</u> of individual trees and the dimensions of any general vegetated area on the site. New landscaping will not be required if the existing landscaping demonstrates satisfactory compliance with Article 10 of the Van Buren Township Zoning Ordinance.

The location and type of outdoor lighting, proposed illumination patterns (including a photometric plan). There are no proposed changes to existing lighting on the site.

The location, height and area of all signs. Signs and their dimensions must be identified.

Information and plans for the storage, loading, disposal and transfer of any hazardous/toxic waste (gas, oil, transmission fluid, lubricants, solvents, etc.). If any underground tank is used, the location, size, construction and use of the tank shall be specified on the site plan. Any stored hazardous / toxic materials must be shown on the survey drawing or site plan, if applicable.

With nonresidential proposals, the number of offices, number of employees, the number of floors, typical floor plans and the gross and usable floor area shall be provided. The gross usable floor area shall be listed.

**Clear documentation for all proposed changes to the existing site, building or land use.** This is sufficiently provided in the submitted narrative letter.

Any other information as required by the Planning Commission or Director of Planning which will assist in evaluation of the proposed use. Prior to obtaining a final certificate of occupancy, the applicant must obtain approval of a change of use / new business from the Van Buren Township Building Department. This will involve having an inspection by the Township's Chief Building Official, Plumbing Inspector, Mechanical Inspector, Electrical Inspector, and Fire Marshall. Based on the findings of these officials, the applicant will need to obtain permits or complete work for any work identified to ensure the site meets applicable fire access and safety and standards for current building, plumbing, mechanical and electrical codes. The applicant shall call 734-699-6564 to request a new business walk through inspection at their earliest ability to begin this process.

Based on the requirements above, the following conditions apply to the administrative approval of this submitted planning and zoning application:

- <u>The title and date of a survey from Kem Tec dated March 3, 2020. A final version of this survey</u> drawing should be provided with the word "Draft" removed from the title block.
- If there are no changes to the site plan, the survey should be sealed by a licensed professional surveyor and resubmitted. If site plan changes are proposed, these should be shown on a civil site plan that is sealed by a professional engineer and the engineer's information must be provided.
- The applicant must clarify what they anticipate truck traffic to the facility will be.
- The battery packs must never be torn down to their cell level nor be disassembled to the point that could expose any hazardous material.
- The applicant must provide an estimated floor area designated for the various identified uses.
- <u>A dimension for the parking aisle widths and driveway width must be added to the survey drawing or</u> site plan.
- If additional parking spaces are required or restriping or another change to the parking layout it required, parking spaces must be double striped and laid out with dimensions that comply with Article 9 of the Van Buren Township Zoning Ordinance.
- In the future, if any change to the use or building which requires site plan review by the Planning Commission under Article 12 of the Zoning Ordinance is proposed, sidewalks will be required.
- Existing signs and their dimensions must be identified.
- <u>A description of existing landscaping shall be provided; including the locations of individual trees and the dimensions of any general vegetated area on the site.</u>
- The gross usable floor area shall be listed.
- Prior to obtaining a final certificate of occupancy, the applicant must obtain approval of a change of use / new business from the Van Buren Township Building Department. This will involve having an inspection by the Township's Chief Building Official, Plumbing Inspector, Mechanical Inspector, Electrical Inspector, and Fire Marshall. Based on the findings of these officials, the applicant will need to obtain permits or complete work for any work identified to ensure the site meets applicable fire access and safety and standards for current building, plumbing, mechanical and electrical codes. The applicant shall call 734-699-6564 to request a new business walk through inspection at their earliest ability to begin this process.

Prior to consideration of zoning approval, the submitted survey drawing shall be revised and submitted or a separate site plan drawing shall be submitted with requested changes identified in the conditions above. Prior to final occupancy of the site, all conditions identified above must be addressed. Please do not hesitate me with any questions.

Sincerely,

Dan Power, AICP Planning and Economic Development Director Public Services Department

Charter Township of Van Buren

CC: Matthew Best, M.S. - Public Services Director, Van Buren Charter Township Kristopher Schlutow – Interim Water and Sewer Director, Van Buren Charter Township David McInally and Andrew Lenaghan– Van Buren Charter Township Fire Department Neal C MacLean – Property Owner





Charter Township Of Van Buren Planning & Zoning Classification 46425 Tyler Road Belleville, MI 48111 (734) 699-8918

## change of Use/New Business Information

Cox Automotive Mobility Solutions, Inc. Name of Proposed Business

39635 S I-94 Service Drive, Belleville, MI Site Address of New Business

Plaza name if Applicable

J.P. Rubadou

678-645-3001

Name of Contact Person

Contact Number

6205 Peachtree Dunwoody Road, 8th Floor, Atlanta, GA 30328 Billing/Mailing Address

The questionnaire is required to determine zoning requirements and zoning use classification. Answer all - crussions based on available facts and reasonable expectations.

That proposed use is:

- VA New use
- 🛙 Same use
- D Addition to current use

Detailed use statement; Storage and basic function testing of EV battery packs. Ancillary

office use to support warehouse operations.

**Commercial:** 

- 🛛 Refall
- 0 Wholesale
- D Both (% Retail\_\_\_\_% Wholesale\_\_\_\_)
- 🛛 Other explain:

### office:

Type of office: Ancillary office use for warehouse operations.

### Industrial:

- 🗇 Mahufacturing
- **D** Processing
- Warehouse

🖸 Other explain:

# Agriculture:

- E Animal rearing
- [] Crop, nursery, growing, etc.
- 0 Other explain:

The proposed use is: % Inside 100 % outside

Outside use of site only:

Indicate percentage of total outside use for each category.

\_\_\_\_% Storage

% Processing

% Other explain; \_\_\_\_\_\_

Building Area used 30	<u>00 f</u>	tX <u>250</u>	<u></u> ħ
	Width	Deptl	h

Height of tallest use/structure\_30\_\_\_\_ft

Estimated Site Coverage: 9 % Building 10 % Hard surface 9 % Gravel (Similar)

13\_\_\_% Lawn/Landscaped\_59\_\_% Other: Trees/undeveloped\_\_\_\_

# Lorgest Vehicle used for deliveries/shipments:

- Car/Van .
- 🖸 Panel
- Thuck
- Sem! Tractor Traller
- Other explain:

Total number of new Employees: 15-20

Expected hours of operations

8:00 AM To 6:00 PM Weekdays

\_\_\_\_\_To\_\_\_\_Saturday

\_\_\_\_\_To\_\_\_\_\_Sunday

\_\_\_\_\_To\_\_\_\_Holidays

Provide a Detailed Drawing of existing floor plan and proposed **floo**r plan. The construction documents shall be prepared by a, or under the direct supervision of, a registered design professional as required by NIBC 2006 Section 106.1.

If the proposed use is a "Regulated Use" under the Van Buren Township Zoning Ordinance Section 4.49, à separate Panning & Zoning application is required.

If noise (above 65 db), odor, smoke, or vibration are expected beyond the property boundaries please explain in separate letter.

I hereby certify that the proposed change is authorized by the owner of record this application as the owners authorized agent, and we agree to conform to al Building Codes as amended by the State of Michigan, and the Charter Township accurate to the best of my knowledge.	l applicable laws of the State of Michigan, all applicable
Signature of Applicant, July Al	Date 9/24/2021
Zoning Review: 🗆 Approved 🖾 Denied Planning & Economic Development Director	Date
Building Review: 🛛 Approved 🛛 Denled Building Official	Date
Use Group:	
Construction Type:	
Occupancy Load:	•



September 24, 2021

<u>via Email</u>

Mr. Dan Power Charter Township of Van Buren 46425 Tyler Road Belleville, MI 48111

### RE: Cox Automotive Mobility Solutions, Inc. - 39635 S I-94 Service Road, Belleville, MI

Dear Mr. Power:

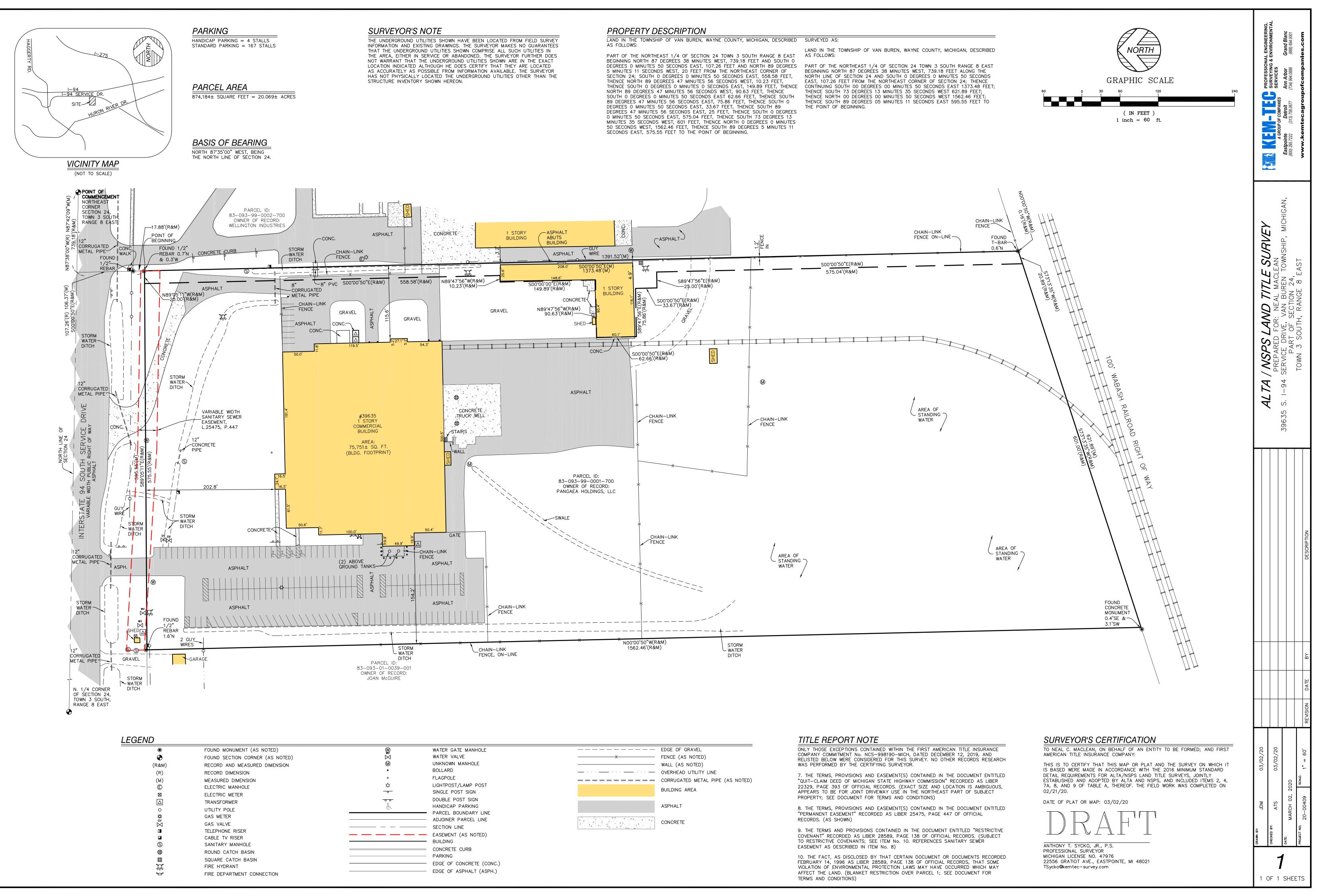
The following is an overview of the planned use for this property:

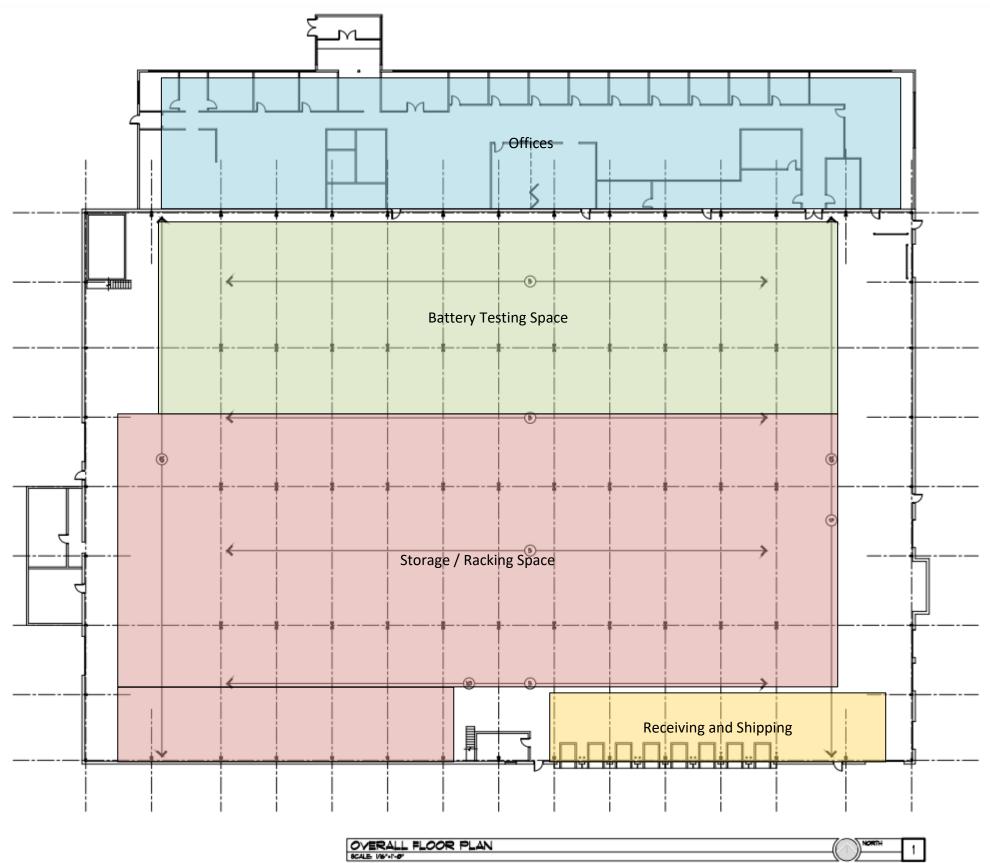
- 5 day/week operation during normal business hours
- The facility will generally receive one full truck shipment of battery packs per week.
- 1-2 light truck loads will depart the facility each day. Departing battery packs are going back to OEMs in Detroit or to dealers.
- When battery packs arrive at the facility, they are coming directly from OEMs in the US & Canada, or from dealers for storage/testing.
- On average, packs will stay inside the facility no more than 60-90 days.
- OEMs will have an engineer on-site to test certain battery packs (testing involves voltage readings, capacity testing, or pulse testing to determine if a pack is still healthy).
- This testing takes place in an air conditioned lab area.
- Packs are never torn down to their cell level and are never disassembled to a point that could expose any hazardous material.
- Packs will be stored both on racking and in designated ground areas inside the warehouse.
- 3 forklifts will operate inside the facility.
- Fire suppression and life safety systems will be designed to meet or exceed code.
- Packs are <u>not</u> disassembled during testing for state of charge and basic functioning. State of charge and basic functioning is the only testing planned for this facility at this point in time and will take place in conjunction with the storage and transport schedules outlined above.

Sincerely,

J.P. Rŭbadou

Cox Enterprises, Inc.





# FIRE SUPPRESSION LEAD 39635 I-94 SERVICE DRIVE

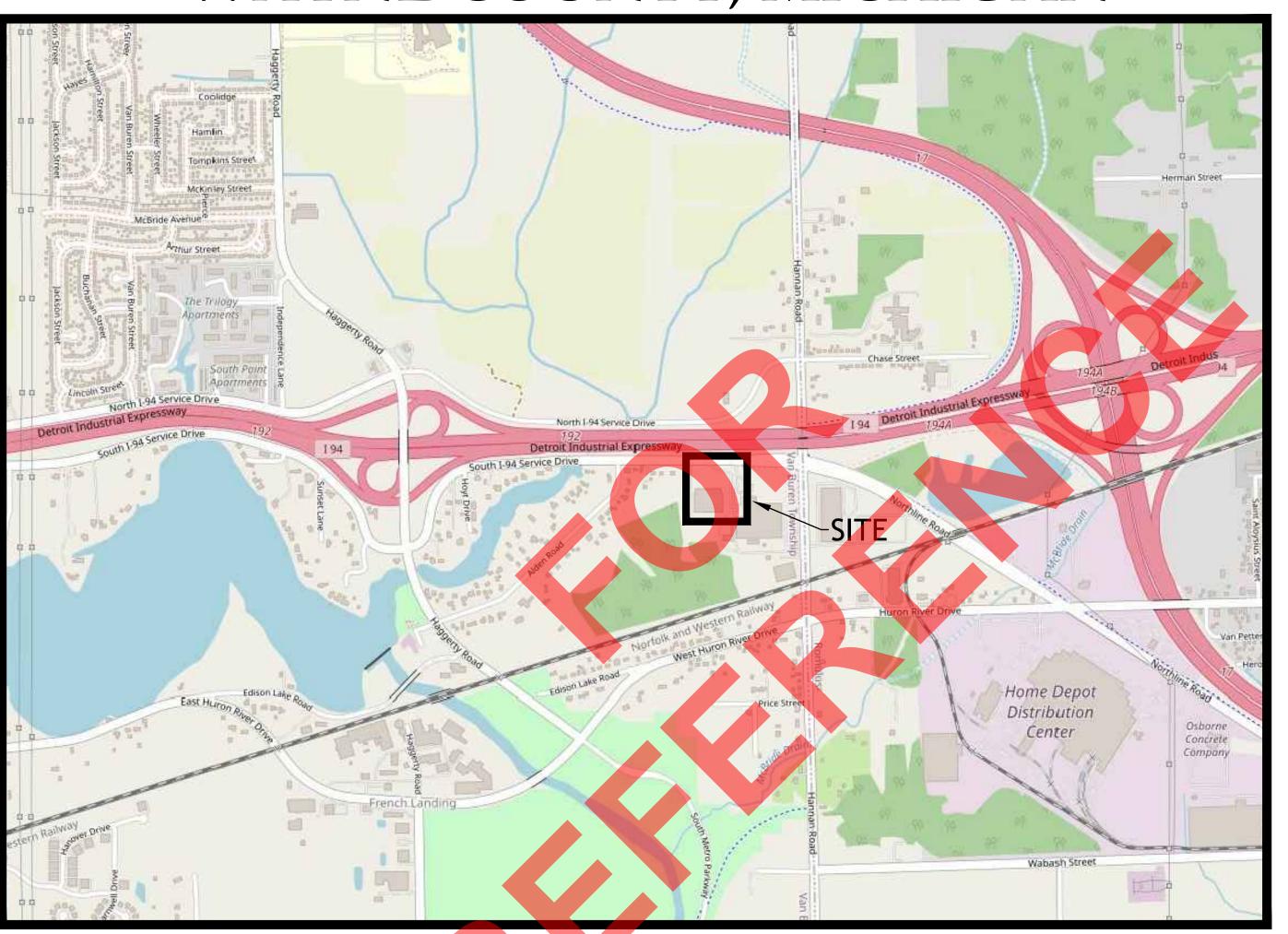
# SHEET INDEX

CE1	COVER SHEET
CE2	UTILITY PLAN

E:\50000's\53000's\Van Buren\53651 - 39635 S I-94 SERVICE DRIVE\39635 S I-94 ram.dwg - CVR CE1 - (3/31/2021 1:50 PM)

# TOWNSHIP STANDARD DETAILS

WM-1	WATER MAIN DETAILS
WM-2	WATER MAIN DETAILS



# VAN BUREN TOWNSHIP WAYNE COUNTY, MICHIGAN

LOCATION MAP N.T.S.

# HENNESSEY ENGINEERS NOTES

HENNESSEY ENGINEERS, INC., SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR FOR SAFETY ON THE JOB SITE, NOR SHALL HENNESSEY ENGINEERS, INC., BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL IDENTIFY AND SAVE HARMLESS THE OWNER AND ENGINEER FROM ALL LIABILITIES FOR INJURY TO PERSON, OR DAMAGE TO OR LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OF EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. <u>NO GUARANTEE IS</u> EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF, THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF THE EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLAN.

ALL FILL IN EXCESS OF TWO FEET (2') SHALL BE ENGINEERED FILL AND SHALL BE COMPACTED TO 95% MAXIMUM DENSITY UNLESS OTHERWISE DIRECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DENSITY TESTING. UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDER-GROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.

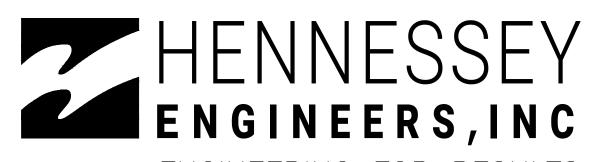
DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.



72 HOURS 3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

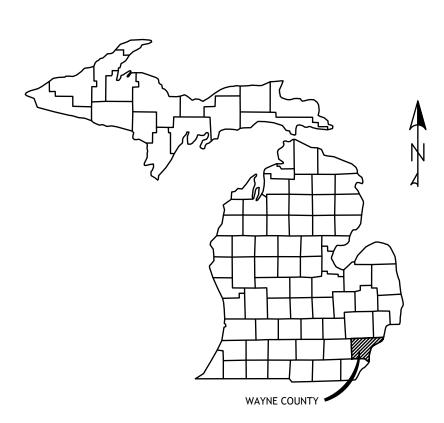
or 811 (TOLL FREE) FOR THE LOCATION OF UNDER GROUND FACILITIES.

KNOW WHAT'S BELOW

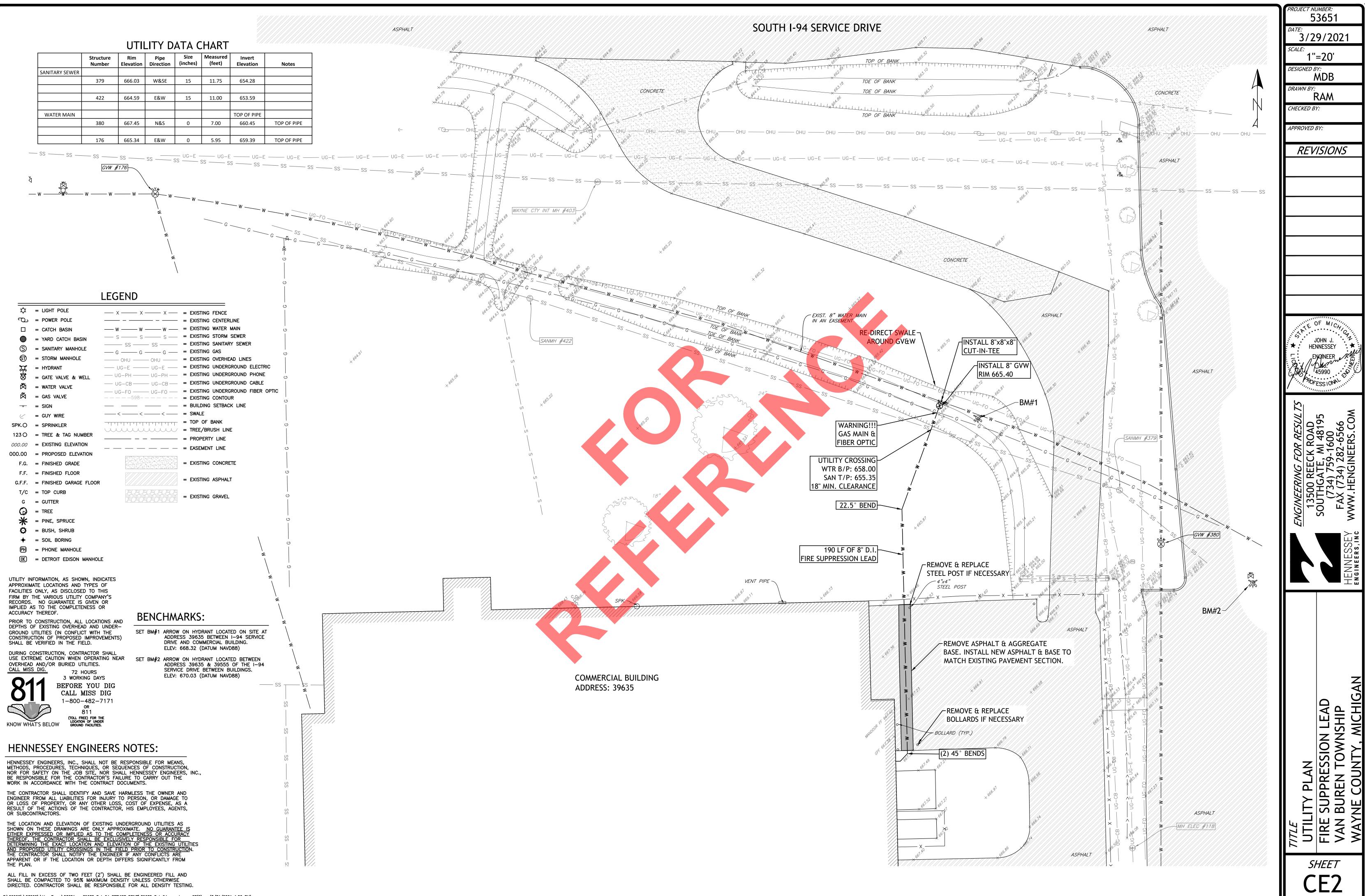


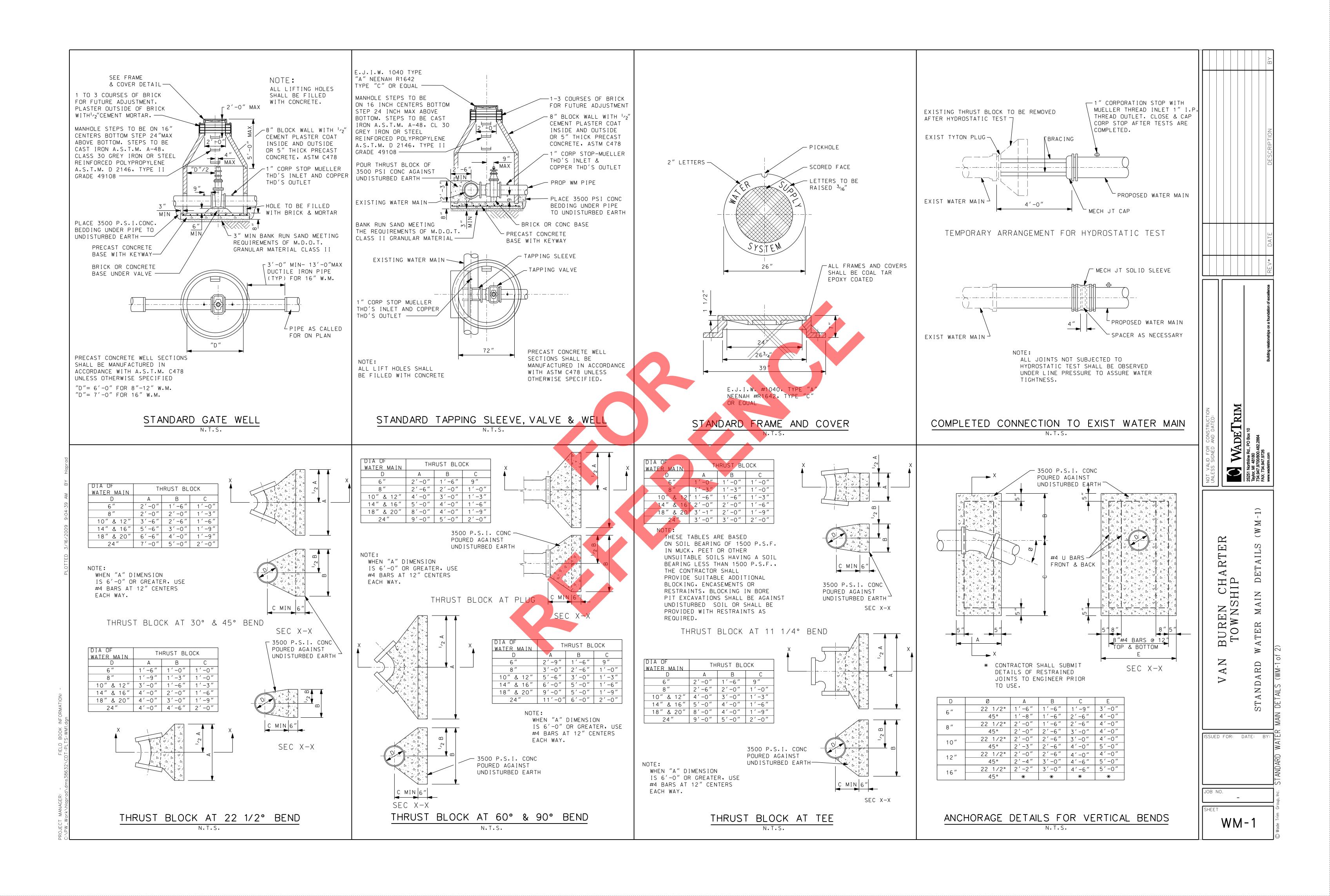
ENGINEERING FOR RESULTS

13500 REECK RD. SOUTHGATE MI. 48195 (734) 759-1600 FAX (734) 282-6566 WWW.HENGINEERS.COM

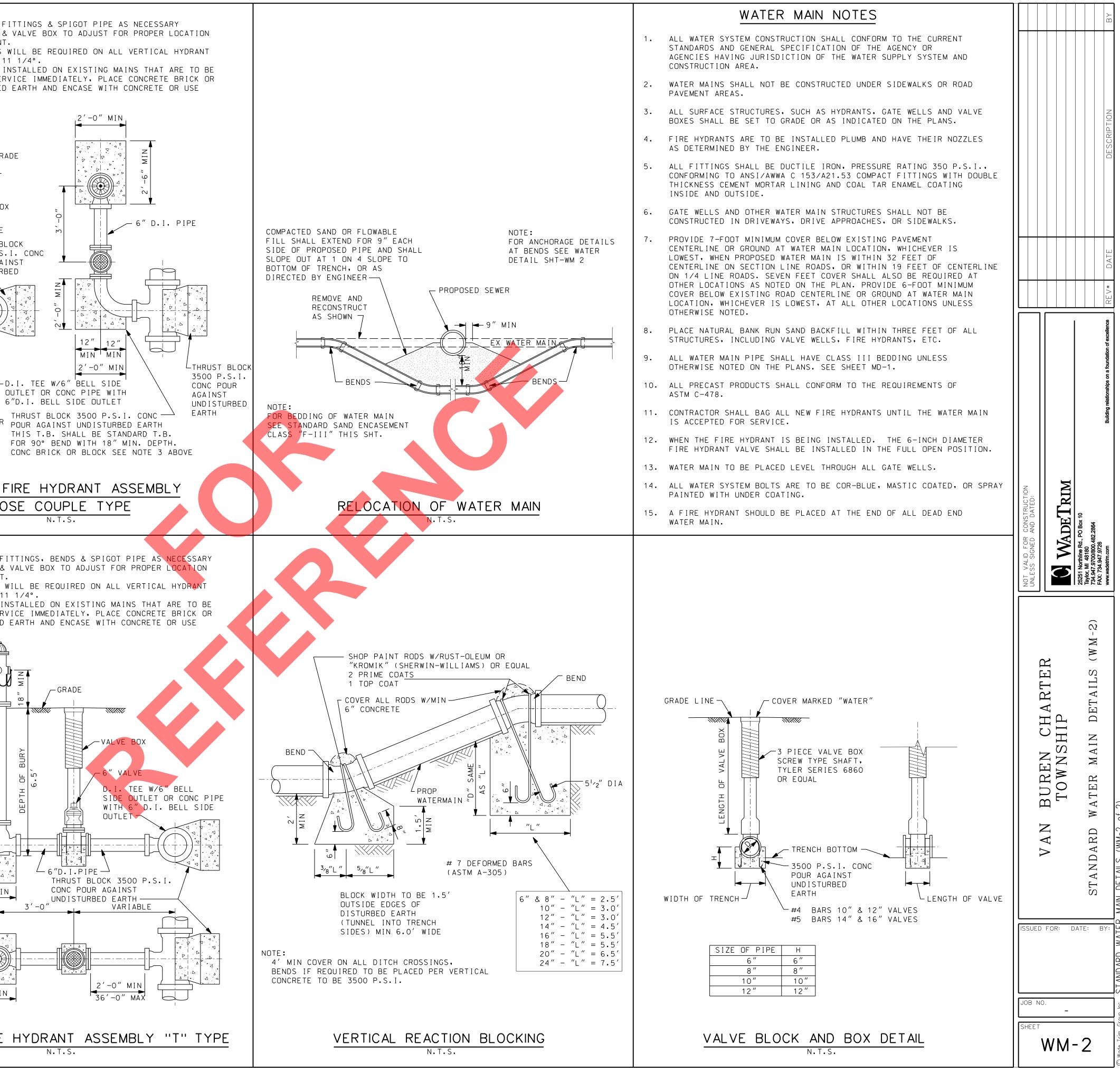


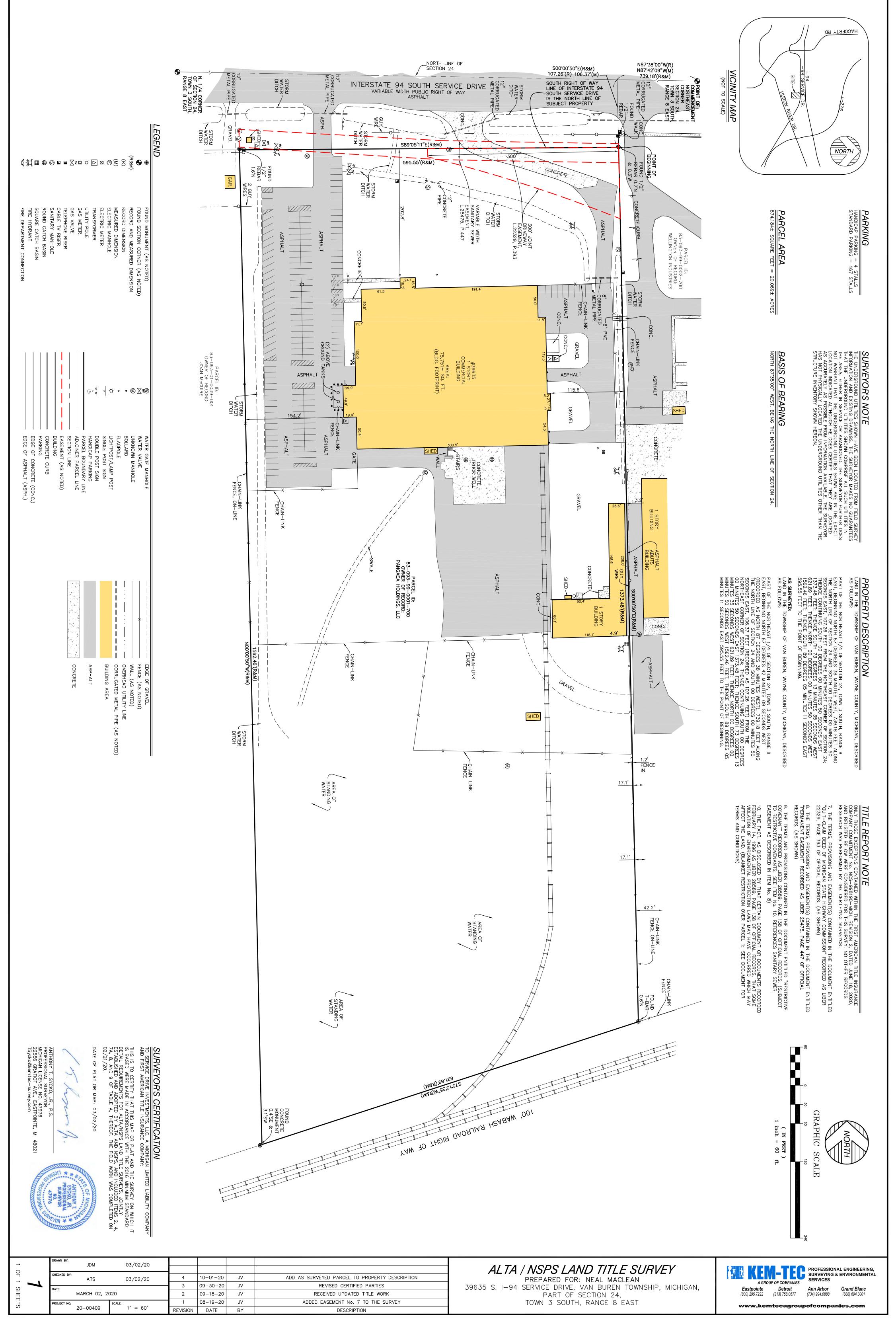






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	AND STORE AND AND STORE AGAINST UNDISTURBED EARTH SEE NOTE 3
	STANDARD FI CLOS
09 9:05:09 AM BY hlaprad	NOTES: 1. INSTALL ADDITIONAL FIT BETWEEN WATER MAIN & V AND GRADE OF HYDRANT. 2. VERTICAL ANCHORAGES WI BENDS IN EXCESS OF 11 3. WHERE HYDRANTS ARE INS PLACED BACK INTO SERVI BLOCK TO UNDISTURBED E RESTRAINING GLANDS.
PLOTTED 3/16/2009	
	THRUST BLOCK 3500 P.S.I. CONC POUR AGAINST UNDISTURBED EARTH. CONC BRICK OR BLOCK SEE NOTE 3 ABOVE
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C:\PW_Work\hlapr	STANDARD FIRE







B	MEMO	
VAN BUREN	TO:	Van Buren Township Planning Commission
CHARTER TOWNSHIP	FROM:	Dan Power– Director of Planning and Economic Development
	RE:	<b>Project Update.</b> Planning Case 19-038: Camping World Partial Demolition and Site Redevelopment – Amended Preliminary and Final Site Plan
	DATE:	October 1, 2021

Applicant Derrick Matter of Camping World is in the construction process for site redevelopment on their +/- 8.8-acre subject site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads. The end use of the site involves the sale of RV's, or Outdoor Vehicle Sales, and Vehicle Service (minor), which are special land uses in the site's C-2 (Extensive Highway Business District) Zoning District. The project involves the demolition of the 15,633-sq. ft. east wing of the building at this site and converting this area for RV sales.

Per plans dated May 4, 2021 and a written request from the applicant dated May 5, 2021, the applicant had proposed to maintain the east wing of their existing building instead of demolishing it. The Planning Commission discussed this proposal at their regular meeting on June 9, 2021, but did not take action on the request after the applicant withdrew their request for a formal site plan amendment prior to the meeting. With no action being taken on a site plan amendment, the previously approved plans for site redevelopment, which were given final site plan approval by the Van Buren Township Planning Commission on December 9, 2020, remained active.

Special land use approval was granted for the project by the Township Board of Trustees on July 7, 2020, following preliminary site plan approval by the Planning Commission on June 24, 2020. The final site plan was approved by the Township Planning Commission on December 9, 2020, following obtaining approvals by the Township Engineer and the Wayne County Department of Public Services. Construction began on the project in January 2021. Project construction is ongoing. The demolition of the east wing of the building occurred in September 2021.

If the applicant formally proposes any additional changes to the site plan or building, staff will review these changes and bring any necessary new site plan submittals forward to the Planning Commission at the appropriate time.

If there are additional questions about this project, please do not hesitate to contact me.

Sincerely,

Loc Rev

Dan Power, AICP Planning and Economic Development Director Public Services Department Charter Township of Van Buren