

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, December 9, 2020 – 7:30 PM
REMOTE MEETING –AGENDA**

To reduce the spread of COVID-19, protect the public health, and provide essential protections to Van Buren Township residents; this Van Buren Township's scheduled regular Planning Commission meeting will be conducted remotely.

- Join by weblink: <https://zoom.us/j/92188694653>
- Or dial in by phone: 1 929 436 2866
- Webinar ID: 921 8869 4653

For instructions on [how to join a Zoom meeting, make a public comment, ADA information, and virtual meeting compliance from the State please click here.](#)

CALL TO ORDER:

ROLL CALL:

ELECTION OF OFFICERS:

- **Item #1:** **Chairperson**
- **Item #2:** **Vice-Chairperson**
- **Item #3:** **Secretary**

APPROVAL OF AGENDA:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of November 11, 2020.

CORRESPONDENCE:

PUBLIC HEARING:

NEW BUSINESS:

ITEM # 1: **CASE 20-006 – ASHLEY CROSSROADS SOUTH TRAILER PARKING/STORAGE – FINAL SITE PLAN REVIEW.**

TITLE: APPLICANT ASHLEY CROSSROADS DISTRIBUTION CENTER SOUTH LLC, PROPOSES TO CONSTRUCT A TRAILER PARKING LOT WHICH IS ACCESSORY TO AN ADJACENT PRINCIPAL LIGHT INDUSTRIAL USE WHICH HAS FRONTAGE ON ECORSE ROAD.

LOCATION: The site, parcel number 83 041 99 0001 002, is within a 4.9-acre site located between 41775 and 41873 Ecorse Road, and is zoned M-1 – Light Industrial. The site is located along Ecorse Road between Kirkridge Street and Haggerty Road.

ACTION ITEMS:

- A. Presentation by the applicant.
- B. Presentation by the Township Staff.
- C. Planning Commission discussion.
- D. Public comment
- E. Planning Commission considers action on the final site plan.

ITEM # 2: CASE 19-038 CAMPING WORLD - FINAL SITE PLAN APPROVAL

TITLE: THE APPLICANT, DERRICK MATTER / CAMPING WORLD IS SEEKING PRELIMINARY SITE PLAN APPROVAL TO DEMOLISH THE EAST WING OF THEIR EXISTING BUILDING AND CREATE NEW R.V. PARKING AND STORAGE ON THE SITE.

LOCATION: The site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

ACTION ITEMS:

- A. Presentation by the applicant.
- B. Presentation by the Township Staff.
- C. Planning Commission discussion.
- D. Public comment
- E. Planning Commission considers action on the final site plan.

ITEM # 3: CASE 20-033 MEIJER INC. STORE ADDITION – PRELIMINARY AND FINAL SITE PLAN APPROVAL

TITLE: THE APPLICANT, ELEVATUS ARCHITECTURE, ON BEHALF OF OWNER MEIJER, INC. IS SEEKING PRELIMINARY AND FINAL SITE PLAN APPROVAL TO CONSTRUCT A 1,680 SQUARE FOOT ADDITION AND RELATED SITE IMPROVEMENTS.

LOCATION: The site is located at 9701 Belleville Road (tax parcel number 83 058 99 0006 705), on the south side of Tyler Road and the east side of Belleville Road.

ACTION ITEMS:

- A. Presentation by the applicant.
- B. Presentation by the Township Staff.
- C. Planning Commission discussion.
- D. Public comment
- E. Planning Commission considers action on the preliminary and final site plan.

ITEM # 4: CASE 20-030 – AVFLIGHT ADMINISTRATIVE SITE PLAN UPDATE

DESCRIPTION: STAFF WILL PROVIDE AN UPDATE ON AN ADMINISTRATIVELY APPROVED COMPLEX INCLUDING TWO (2) 14,938-SQUARE FOOT HANGARS, GARAGE AND FIXED BASE OPERATING (FBO) AREAS, AND SITE IMPROVEMENTS.

LOCATION: 48193 A STREET. THE PROPERTY IS LOCATED AT THE END OF A STREET WEST OF BECK ROAD AND SOUTH OF ECORSE ROAD IN WILLOW RUN AIRPORT OF VAN BUREN TOWNSHIP.

ACTION ITEMS: A. Presentation by Township staff.
B. Planning Commission discussion and questions.

ITEM # 5: 2020 Planning Commission Annual Report and Development Map

ACTION ITEMS: A. Overview by the Township Staff.
B. Planning Commission discussion.
C. Planning Commission considers approval of the annual report.

ITEM # 6: 2021 Planning Commission Meeting Schedule

ACTION ITEMS: A. Overview by the Township Staff.
B. Planning Commission discussion.
C. Planning Commission considers approval of the meeting schedule.

GENERAL DISCUSSION AND UPDATES

ITEM # 1: Recognition of Commissioner Boynton

ITEM # 2: Meeting format overview

ITEM # 3: Training update

ITEM # 4:

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION - VIRTUAL MEETING ON ZOOM
November 11, 2020
MINUTES - DRAFT**

Prior to the start of the meeting, the public was given instructions on how to take part in the meeting.

Chairperson Thompson called the meeting to order at 7:31 p.m.

ROLL CALL:

Present: Boynton, Kelley, Atchinson, Budd, Jahr, Franzoi and Thompson.

Excused: None.

Staff: Director Power, Director Best and Secretary Harman.

Planning Representatives: McKenna Associate, Vidya Krishnan and Fishbeck Associate, Paul Kammer.

Applicant(s) in Attendance: Tim Kratz and Matthew Pisko, representatives of Jiffy Lube International, Inc.

Audience: Five (5).

APPROVAL OF AGENDA:

Motion Boynton, Jahr second to approve the agenda of November 11, 2020 as presented.

Roll Call:

Yeas: Franzoi, Jahr, Boynton, Kelley Atchinson, Budd and Thompson.

Nays: None.

Absent: None.

Motion Carried.

APPROVAL OF MINUTES:

Motion Boynton, Budd second to approve the regular meeting minutes of October 28, 2020 as amended correcting the names of Commissioners in the approval of the meeting minutes motion.

Roll Call:

Yeas: Jahr, Boynton, Kelley, Atchinson, Budd, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

PUBLIC HEARING:

ITEM #1: 20-012 – PUBLIC HEARING: JIFFY LUBE MINOR VEHICLE SERVICE SPECIAL LAND USE.

APPLICANT, JIFFY LUBE INTERNATIONAL, INC. IS REQUESTING ON BEHALF OF OWNER MEIJER, INC. TO CONSTRUCT A MINOR VEHICLE SERVICE USE ALONG WITH RELATED SITE IMPROVEMENTS. THE PROPOSED +/- 3,064 SQUARE FOOT, SINGLE-STORY BUILDING IS LOCATED ON THE SOUTH SIDE OF TYLER ROAD EAST OF BELLEVILLE ROAD ON A PROPOSED +/- 0.71 ACRE OUTPARCEL TO BE DIVIDED AND CREATED FROM PORTIONS OF THE 39.4 ACRE PARCEL AT 9701 BELLEVILLE ROAD (83-058-99-0006-705) AND A VACANT 1.33 ACRE PARCEL (83-058-99-0006-707). THE PROPERTY IS ZONED C-2 EXTENSIVE HIGHWAY BUSINESS DISTRICT AND IS LOCATED IN THE BELLEVILLE ROAD OVERLAY DISTRICT (BROD).

MINOR VEHICLE SERVICE DEVELOPMENTS ARE A SPECIAL LAND USE IN THE C-2 DISTRICT. THE PROPOSED SPECIAL LAND USE REQUIRES A PUBLIC HEARING. THIS HEARING IS BEING HELD IN ACCORDANCE WITH ARTICLE 12, CHAPTER 3 OF THE ZONING ORDINANCE (ADMINISTRATIVE PROCEDURES – SPECIAL LAND USE REVIEW).

Motion Atchinson, Boynton second to open the public hearing.

Roll Call:

Yeas: Kelley, Atchinson, Budd, Boynton, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

Director Power gave a brief introduction. The request is for a minor vehicle service land use in a just over 3,064 square foot building on a 0.71-acre out lot of Meijer on Belleville and Tyler Roads. The special land use request in the C-2 District requires a series of general standards and specific conditions and the property is located in the core commercial sub area of the Belleville Road Overlay District (BROD) which is automotive oriented but also requires development to have architectural and design treatments that bring sites to human scale. The applicant will give a presentation along with the Principle Planner and Township Engineer.

No comments from the Commission or the audience.

Motion Jahr, Boynton second to close the public hearing.

Roll Call:

Yeas: Budd, Atchinson, Kelley, Boynton, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

NEW BUSINESS:

ITEM #1: 20-012 – SPECIAL LAND USE: JIFFY LUBE MINOR VEHICLE SERVICE SPECIAL LAND USE.

APPLICANT, JIFFY LUBE INTERNATIONAL, INC. IS REQUESTING ON BEHALF OF OWNER MEIJER, INC. TO CONSTRUCT A MINOR VEHICLE SERVICE USE ALONG WITH RELATED SITE IMPROVEMENTS. THE PROPOSED +/- 3,064 SQUARE FOOT, SINGLE-STORY BUILDING IS LOCATED ON THE SOUTH SIDE OF TYLER ROAD EAST OF BELLEVILLE ROAD ON A PROPOSED +/- 0.71 ACRE OUTPARCEL TO BE DIVIDED AND CREATED FROM PORTIONS OF THE 39.4 ACRE PARCEL AT 9701 BELLEVILLE ROAD (83-058-99-0006-705) AND A VACANT 1.33 ACRE PARCEL (83-058-99-0006-707). THE PROPERTY IS ZONED C-2 EXTENSIVE HIGHWAY BUSINESS DISTRICT AND IS LOCATED IN THE BELLEVILLE ROAD OVERLAY DISTRICT (BROD).

Tim Kratz, a representative of Jiffy Lube International, Inc. gave the presentation. The minor service center is meant for quick service and provides a multi care program with extended services. All services are from 30 minutes to 2 hours maximum in order to get customers in and out. The customer will pull up to a bay where an employee will take their order, then the customer will go to a waiting room while the employee pulls the vehicle into the bay for service and upon service completion the vehicle will be parked in the side lot for the customer. Typical minor services provided are oil changes, battery replacement, brakes, filters, fluids and inspections. Traffic at the site is anticipated at approximately 50-60 cars per day. Jiffy Lube is working with Meijer as their national franchisee. A color rendering and the preliminary site plan were displayed during the applicant's presentation. All trees and natural vegetation will be kept in order to minimize disturbance and maintain natural features.

Vidya Krishnan of McKenna Associates presented her special land use review letter dated 10-27-20. The proposed use meets the general standards for consideration of special land use approval and the specific conditions related to the use. Therefore, McKenna Associates recommends the Planning Commission recommend approval of the special land use to the Township Board of Trustees, subject to site plan approval.

No comments from the Commission or the audience.

Motion Boynton, Atchinson second to recommend to the Township Board of Trustees special land use approval for Jiffy Lube International, Inc. to construct a minor vehicle service use along with related site improvements located on the south side of Tyler Road east of Belleville Road on a proposed 0.71 outparcel to be divided and created from portions of the 39.4-acre parcel at 9701 Belleville and a vacant 1.33-acre parcel, subject to the recommendations in the McKenna Associates review letter dated 10-27-20.

Roll Call:

Yeas: Atchinson, Budd, Kelley, Boynton, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Letter Attached)

ITEM #2: 20-012 – PRELIMINARY SITE PLAN APPROVAL: JIFFY LUBE MINOR VEHICLE SERVICE SPECIAL LAND USE.

APPLICANT, JIFFY LUBE INTERNATIONAL, INC. IS REQUESTING ON BEHALF OF OWNER MEIJER, INC. TO CONSTRUCT A MINOR VEHICLE SERVICE USE ALONG WITH RELATED SITE IMPROVEMENTS. THE PROPOSED +/- 3,064 SQUARE FOOT, SINGLE-STORY BUILDING IS LOCATED ON THE SOUTH SIDE OF TYLER ROAD EAST OF BELLEVILLE ROAD ON A PROPOSED +/- 0.71 ACRE OUTPARCEL TO BE DIVIDED AND CREATED FROM PORTIONS OF THE 39.4 ACRE PARCEL AT 9701 BELLEVILLE ROAD (83-058-99-0006-705) AND A VACANT 1.33 ACRE PARCEL (83-058-99-0006-707). THE PROPERTY IS ZONED C-2 EXTENSIVE HIGHWAY BUSINESS DISTRICT AND IS LOCATED IN THE BELLEVILLE ROAD OVERLAY DISTRICT (BROD).

Vidya Krishnan of McKenna Associates presented her preliminary site plan review letter dated 10-30-20, recommending the Planning Commission approve the preliminary site plan, subject to the following conditions:

1. Lot split and combination must be completed prior to the start of construction.
2. Copy of an irrevocable shared parking and cross access easement agreement with Meijer must be provided.
3. The proposed stormwater detention system must be reviewed and approved by the Township Engineer and Wayne County. Any planting around the drainage areas are under Wayne County's jurisdiction. The planting plan for this area must be provided and approved by the County.
4. The applicant must clarify that the proposed shrubs located around the parking lot will be 3 feet in height within 12 months of planting.
5. The proposed photometric plan must include the plaza area illumination for safety.
6. The proposed building architecture must be revised to include true brick and additional brick accent bands or alternate designs to comply with the BROD standards.
7. Special land use approval by the Township Board of Trustees.

Paul Kammer of Fishbeck Associates presented his preliminary site plan review letter dated 10-27-20, recommending the Planning Commission grant the Jiffy Lube Multiservice Center preliminary site plan approval for engineering feasibility, subject to the comments in the review letter and in accordance with the Township's Engineering Standards manual.

Chairperson Thompson presented the Van Buren Fire Department review letter dated 10-28-20 with the following comments for conditional approval:

1. Two-Way Radio Communication Enhancement Systems are required for all new construction, unless after finished construction the occupant can prove through a signal test with the AHJ that it is not needed. NFPA 1 2018 11.10.1
2. An E Knoxbox is require per NFP 1 2018 edition 18.2.2.1 per the AHJ.

Commissioners discussed the following questions and comments:

- How will the drainage effect the reports of additional flooding long Tyler Road east? The goal of the development is to hold back any excess runoff with a properly installed and maintained system, the excess runoff would be minimal to the system.
- Did the applicant agree to use the more durable brick for the exterior façade? Yes, the applicant has agreed to the conditions.
- Is the service center a 4-bay or 8-bay and how does the traffic flow? It is a 4-bay with traffic moving from east to west. Pavement striping will show the traffic flow, entrance and exit and arrows for the bays.
- Does the side lot have enough room to stack a reasonable amount of vehicles? Yes, and the driveways are 2 cars wide with a separate entrance and exit.
- In regard to the drive-in services, are there hoists or pits for oil changes? The 2 bays closest to the customer area have a pit and are intended for the fastest quick service group, while the other 2 bays have hoists and the availability to lift the vehicle.
- Will there be 5 employees at any given time? At peak there will be 5 employees, staffing will be adjusted for high and low business times.
- Will the center be open on Sunday? The applicant plans to be open 7 days a week from 7:00 a.m. to 8:00 p.m. for their standard hours. Those hours may be adjusted as they begin to operate in order to base them on when they are receiving the most traffic.

No comments from the audience.

Motion Boynton, Franzoi second to grant preliminary site plan approval to Jiffy Lube International, Inc. to construct minor vehicle service use along with related site improvements, subject to the recommendations in the McKenna Associates review letter dated 10-30-20, comments in the Fishbeck Associates review letter dated 10-27-20 and Fire Department Review letter dated 10-28-20.

Roll Call:

Yeas: Jahr, Boynton, Kelley, Atchinson, Budd, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Letters Attached)

ITEM #3: RESOLUTION OF ADOPTION: VAN BUREN TOWNSHIP 2020 MASTER PLAN UPDATE.

THE CHARTER TOWNSHIP OF VAN BUREN HAS COMPLETED A DRAFT TO ITS MASTER PLAN. CONSISTENT WITH THE PROVISIONS OF MICHIGAN PUBLIC ACT 33 OF 2008, AS AMENDED (THE MICHIGAN PLANNING AND ENABLING ACT), FOLLOWING A PUBLIC HEARING TO HEAR COMMENTS REGARDING THE DRAFT OF THE FULL UPDATE TO THE MASTER PLAN, THE PLANNING COMMISSION WILL PASS A FORMAL RESOLUTION OF ADOPTION OF THE VAN BUREN TOWNSHIP

MASTER PLAN BEFORE THE TOWNSHIP BOARD OF TRUSTEES CONSIDERS A RESOLUTION TO ADOPT THE MASTER PLAN.

Director Power gave a brief presentation. After the public hearing the Michigan Planning and Enabling Act of 2008 requires a resolution to be adopted by the Planning Commission. In discussion with the Master Plan Consultant a resolution was drafted for the Commission. The Resolution refers to the requirements of the Michigan Planning and Enabling Act of 2008, the contents of the plan including maps and text, opportunities for public participation in the process, recommendations for distribution by the Planning Commission and the Township Board on 7-6-20 and 7-21-20, the public hearing on 10-28-20 and the consideration of public comments.

No comments from the Commission or the audience.

Motion Boynton, Atchinson second to recommend the Resolution of Adoption for the Van Buren Township 2020 Master Plan.

Roll Call:

Yeas: Kelley, Atchinson, Budd, Boynton, Jahr, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

GENERAL DISCUSSION:

Director Power informed Commissioners and the audience that the December 9, 2020 meeting is the last meeting of the year. The meeting will have a full agenda potentially including preliminary site plan and final site plan approvals and the Election of Officers to the Commission.

ADJOURNMENT:

Motion Boynton, Jahr second to adjourn the meeting at 8:40 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: Election of Officers

DATE: November 27, 2020

The Planning Commission should hold the election of their officers at the first regular business meeting of the Planning Commission in December per Article 3, Section 1 of the Planning Commission bylaws. The Planning Commission bylaws state that officers shall be elected by a majority vote of the Commissioners. The following are the current officers of the Planning Commission.

Chairperson: Commissioner Thompson
Vice-Chairperson: Commissioner Boynton
Secretary: Commissioner Kelley

Former Vice-Chairperson and Commissioner Boynton was elected to serve on the Township Board of Trustees. He has been sworn in as a Trustee. He will no longer be able to serve on the Planning Commission or other boards or commissions in 2021 until appointed to do so by the Board of Trustees. In his absence, the Planning Commission will need to nominate and vote on a replacement Vice-Chair and, if his replacement alters the positions of other officers, their replacements will need to also be voted on. The typical process for electing an officer is to have a nomination, a second to the nomination, and then a vote on the nomination by the full commission. It is common place to vote in the following order:

Chairperson
Vice-Chairperson
Secretary

The Planning Commission should also elect or reelect a liaison to the Board of Zoning Appeals (BZA). For the year 2020, Bryon Kelley was elected as the Board of Zoning Appeals member with Donald Boynton was elected as the alternate Board of Zoning Appeals member. A replacement will need to be nominated and voted on for this

role.

The commissioners elected to their positions will need to take their respective office at the same meeting at which they were elected. Due to this the person elected chairperson will need to assume their responsibilities immediately after the close of the elections. Please feel free to contact me prior to the meeting if there are any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Power". The signature is fluid and cursive, with a long horizontal stroke at the end.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

tentative staff - Apr. 1, 2020

PLANNING & ZONING APPLICATION

Case number 20-006

Date Submitted 3/9/2020

APPLICANT INFORMATION

Applicant Crossroads Distribution Center South LLC Phone 734-394-1900
Address 2575 South Haggerty Rd. Fax 734-394-1925
City, State Canton, MI Zip 48188
E:mail dschultz@ashleycapital.com Cell Phone Number 734-637-4763
Property Owner _____ Phone _____
(if different than applicant)
Address _____ Fax _____
City, State _____ Zip _____
Billing Contact DENNIS SCHULTZ Phone 734-394-1900 EXT 120
Address 2575 South Haggerty Rd. Fax 734-394-1900
City, State CANTON, MI Zip 48188

SITE/PROJECT INFORMATION

Name of Project ADDITIONAL TRAILER STAGING WITH IN THE ITC CORRIDORE
Parcel Id No. V125-83- 041990005 704 Project Address 41775 41873 ECORSE RD.

Attach Legal Description of Property

Property Location: On the SOUTH Side of ECORSE Road; Between HAGBERTY Road
and MORTON TAYLOR Road. Size of Lot Width _____ Depth _____
Acreage of Site 85.31 Total Acres of Site to Review 4.9 AC. Current Zoning of Site M-1
Project Description: Adding 86 Trailer Staging SPOTS to site to allow for
Tenants to use in Peak Seasons and Keep Them as Tenants.

Is a re-zoning of this parcel being requested? NO

YES (if yes complete next line) NO

Current Zoning of Site M-1

Requested Zoning _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval?

YES (if yes complete next line) NO

Section of Zoning Ordinance for which you are applying _____

Is there an official Woodland within parcel? NO

Woodland acreage _____

List total number of regulated trees outside the Woodland area? _____ Total number of trees _____

Detailed description for cutting trees _____

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

3/9/2020
DENNIS SCHULTZ

OWNER'S AFFIDAVIT



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: SPR 20-006 – Ashley Capital Crossroads South Accessory Trailer Parking – Final Site Plan Review

DATE: December 2, 2020

Applicant Ashley Crossroads Distribution Center South LLC, proposes to construct a trailer parking lot which is accessory to an adjacent principal light industrial use which has frontage on Ecorse road. The site, parcel number 83 041 99 0001 002, is within a 4.9-acre lot located between 41775 and 41873 Ecorse Road, and is zoned M-1 – Light Industrial. The site is located along Ecorse road between Kirkridge Street and Haggerty Road. An image of a preliminary version of the proposed site plan overlaid onto an image of the site below, for reference:



Preliminary site plan approval was recommended at the Planning Commission meeting on September 9, 2020. Wayne County Department of Public Services (WCDPS) and Van Buren Township Engineering and Planning final site plan approvals have been granted. Reports and past minutes of approval are included in this packet for reference. The Planning Commission is now requested to consider potential final site plan approval for this project. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Power". The signature is fluid and cursive, with the first name "Dan" and last name "Power" clearly distinguishable.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

CC: Vidya Krishnan – Van Buren Charter Township Principal Planner / Planning
Consultant – McKenna Associates
Matthew Best, M.S. - Public Services Director, Van Buren Charter Township
Allen Dresselhouse and Dennis Schultz – Ashley Crossroads Distribution Center
South LLC



MCKENNA

December 2, 2020

Planning Commission
Charter Township
of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: VBT-20-006/Ashley Crossroads South Trailer Parking; Final Site Plan Review #3; Revised Site Plans Dated 11/19/2020 and 12/2/20.

Dear Commissioners:

The applicant, Ashley Crossroads Distribution Center South LLC ("applicant") proposes to construct a trailer parking lot within a narrow strip of land located between 41775 and 41873 Ecorse Road. The site is located along Ecorse Road between Kirkridge Street and Haggerty Road. The applicant received preliminary site plan approval from the Planning Commission on September 9th 2020, subject to several conditions.

We have reviewed the revised site plan for compliance with the conditions of preliminary site plan approval and offer the following comments (any items that require changes or additional information are underlined):

COMMENTS

1. **Approval of storm water detention system by the Township Engineer and Wayne County.** This condition can be met. The Township Engineer in a letter dated November 13, 2020 has recommended final approval subject to certain conditions being met with submission of construction drawings.
2. **Revised photometric plan indicating compliance with illumination intensities on the site in conformance to Ordinance limits.** This condition has been met. A photometric plan has been submitted which shows the light intensity dropping off to 0 footcandles at the east and west property lines. The plan complies with the Ordinance standards for allowable intensity.
3. **Submission of light pole detail indicating maximum height if 35 feet from grade to top of fixture.** This condition has been met. The revised photometric plan includes a light pole detail which notes the height of the pole as 25 feet from grade to top of fixture.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

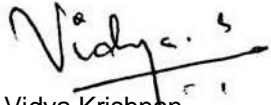
○ 248.596.0920
F 248.596.0930
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RECOMMENDATION

All of the conditions of preliminary plan approval have been met at this time. Therefore, we recommend that the Planning Commission grant final site plan approval for the proposed Ashley Capital trailer parking project.

Respectfully submitted,
McKENNA



Vidya Krishnan
Principal Planner

c: Dan Power, Director of Planning & Economic Development
Matt Best, Director of Public Services
Paul Kammer, FTCH, Township Engineers
David McNally, Van Buren Township Fire Marshal



November 13, 2020
Fishbeck Project No. 200535
Township Project No. 20-006

James Taylor
Director of Water and Sewer
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

**Crossroads South Trailer Staging
41873 Ecorse Road
Engineering and Final Site Plan Review**

Dear Director Taylor:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Site Plan dated September 16, 2020, submitted to the Township for the Engineering Site Plan review for the proposed Crossroads South Trailer Staging project located at 41873 Ecorse Road. The applicant has also submitted As-Builts of the existing onsite stormwater detention system, along with responses to the questions regarding the existing detention pond and its overall capacity as it relates to the addition of the proposed parking lot.

The proposed project entails construction of a trailer staging area on the north side of the existing Crossroads South Building No. 2 located at 41873 Ecorse Road. The construction will include demolition of the existing road; a proposed parking area consisting of 86 trailer parking spots; modifications to the existing storm drain system; parking lot lighting; and other various landscaping and site plan improvements.

Our review comments are as follows:

General

The following items are general requirements established as part of the *Engineering Standards Manual, Charter Township of Van Buren (April 2014)*. The applicant must include the following items as part of the construction plans:

1. A landscape plan is referenced on the Cover Sheet. The proposed Irrigation plans for the site must be included with the submittal of the Issued for Construction Plans.
2. USPS approval of the mailbox relocation to be provided as part of the Issued for Construction Plan set.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicate a publicly owned 12-inch ductile iron water main running north-south along the west side of the proposed staging area.

Proposed: The applicant's plan does not indicate a proposed water main or water main connection.

Sanitary Sewer

Existing: The Township's GIS records indicate there is a publicly owned 12-inch PVC truss pipe sanitary sewer that runs north-south along the west side of the proposed staging area.

Proposed: The applicant's plan does not indicate a proposed sanitary sewer service or sanitary sewer connection.

Storm Sewer

Existing: The Township's GIS records indicate there are several curb inlets and storm sewer pipes along the existing roadway/driveway located within the area of the proposed parking lot. Stormwater runoff is collected from the existing Crossroads South property (41873 and 41775 Ecorse Road) and the existing General Electric property (41965 Ecorse Road) and conveyed to the existing onsite stormwater detention basin at the 41873 Ecorse Road property. This basin outlets north through enclosed storm systems and roadside ditches into the Delany Drain.

Proposed: The applicant is proposing to collect stormwater from the parking lot using the existing catch basins along the south edge of the proposed parking lot, which ultimately discharge into the recently constructed detention basin. There are two (2) additional catch basins proposed at the spring points of the west side driveway curb cut as part of this project.

Comments:

1. The applicant response letter dated July 31, 2020 indicates that the Storm Structure 7a will be replaced with a 7-foot diameter structure with sump in order to accommodate a new 12-inch concrete sewer. This new structure is now indicated on the plans.
2. The plans need to more clearly label the existing storm sewer system. This includes structure information, existing sewer information, and outlet elevations. The plans should indicate all pertinent storm system information on both removal and construction sheets.
3. The applicant has included As-Builts for the "Building No. 2 – FedEx additional Car Parking" indicating detention basin calcs and areas. According to the Applicant's response letter dated July 31, 2020 and the notes on the submitted As-Builts, the As-Builts include modifications for all possible future areas of impervious pavement including the ITC staging parking lot. The stormwater calculations and As-Built plan sheets are considered part of Engineering Plan submittal and must be included with the Issued for Construction Plan set.

Soil Erosion and Sedimentation Control (SESC)

1. The SESC plan provided must be in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. A permit must be acquired from the Wayne County SESC County Enforcing Agency.
<https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx>

Recommendation

We are recommending the Planning Commission grant the Crossroads South Trailer Staging Project Final Site Plan approval, based on the engineering review of the proposed site, subject to the comments listed above and in accordance with the Township's Engineering Standards manual. The applicant will be required to address the comments in the Issued for Construction Plan Set prior to the Preconstruction meeting being scheduled. If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE
Senior Civil Engineer



Stephen C. Clayton, PE
Civil Engineer

By email

Copy: Matthew Best – Township
Dan Power – Township
Vidya Krishnan– McKenna
Dave Potter – Fishbeck

Director Power agreed the Commission had good suggestions and informed the Commission they might want to consider if they are potential changes to be made prior to the public hearing.

Commissioners agreed to include BLA and BLB in the definitions for RM Single Family Edge Dwellings and have the side yard setback for interior lots as 5 feet or more, combined not less than 15 feet.

NEW BUSINESS:

ITEM #1: 20-006 – ASHLEY CROSSROADS SOUTH TRAILER PARKING/STORAGE.

TITLE: THE APPLICANT, ASHLEY CROSSROADS DISTRIBUTION CENTER SOUTH LLC, PROPOSES TO CONSTRUCT A TRAILER PARKING LOT WHICH IS ACCESSORY TO AN ADJACENT PRINCIPAL LIGHT INDUSTRIAL USE WHICH HAS FRONTAGE ON ECORSE ROAD.

LOCATION: THE SITE, PARCEL NUMBER 83-041-99-0001-002, IS WITHIN A 4.9 ACRES LOCATED BETWEEN 41775 AND 41873 ECORSE ROAD, AND IS ZONED M-1, LIGHT INDUSTRIAL. THE SITE IS LOCATED ALONG ECORSE ROAD BETWEEN KIRKBRIDGE STREET AND HAGGERTY ROAD.

Allen Dresselhouse of Ashley Crossroads Distribution Center South LLC, gave the presentation. The applicant is requesting to construct a trailer parking lot with eighty-six (86) additional spaces. The vacancy rate at the location is near zero, being 100 percent occupied and the additional parking spaces are needed for more staging room.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 8-25-20, recommending the Planning Commission approve the preliminary site plan for Ashley Crossroads South Trailer Parking, subject to the following conditions:

1. Approval of proposed stormwater detention calculations by Township Engineer and Wayne County.
2. Revisions to the photometric plan to comply with illumination levels and inclusion of light pole detail.

Paul Kammer of Fishbeck Associates presented his site plan review letter dated 8-28-20, recommending Planning Commission grant the Crossroads South Trailer Staging Project preliminary site plan approval for engineering feasibility, subject to the comments referenced in his review letter and in accordance with Wayne County SESC standards. Fire Marshal McNally recommends site plan approval.

Commissioners expressed concern of allowing the applicant to build a parking lot with landscaping on property that they do not own. Director Power informed the Commission that there is a lease agreement in place that clarifies what the applicant is allowed to do with the property. The applicant can bring a copy of the lease agreement back to final site plan review for verification.

No Comments from the audience.

Motion Jahr, Kelley second to grant preliminary site plan approval to Ashley Crossroads Distribution Center South LLC to construct a trailer parking lot which is accessory to an adjacent principal light industrial use which has frontage on Ecorse road, located between 41775 and 41873 Ecorse road, and is zoned M-1, light industrial, subject to the conditions and recommendations in the McKenna review letter dated 8-25-20, Fishbeck Associates review letter dated 8-28-20 and Fire Marshal McNally's recommendation.

Roll Call:

Yeas: Franzoi, Jahr, Boynton, Kelley, Atchinson, Budd and Thompson.

Nays: None.

Absent: None.

Motion Carried. (Letters Attached)

GENERAL DISCUSSION:

The next Planning Commission meeting will be held on September 23, 2020.

ADJOURNMENT:

Motion Boynton, Kelley second to adjourn the meeting at 9:04 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

PLANNING & ZONING APPLICATION

Case number _____

Date Submitted _____

APPLICANT INFORMATION

Applicant Derrick Matter, Director of Construction & Facilities
for Camping World **Phone** (847) 229-6429
Address 250 Parkway Drive, Suite 270 **Fax** _____
City, State Lincolnshire, IL **Zip** 60069
E:mail derrick.matter@ganderoutdoors.com **Cell Phone Number** _____
Property Owner Same as Applicant **Phone** _____
(if different than applicant)
Address _____ **Fax** _____
City, State _____ **Zip** _____
Billing Contact Same as Applicant **Phone** _____
Address _____ **Fax** _____
City, State _____ **Zip** _____

SITE/PROJECT INFORMATION

Name of Project Camping World - Belleville
Parcel Id No. V125-83- 060-01-0001-001 **Project Address** 43646 N. Interstate 94 Service Drive

Attach Legal Description of Property

Property Location: On the North Side of N. Interstate 94 Service Dr. Road; Between Morton Taylor Road Road
and Belleville Road Road. **Size of Lot** Width 783 feet Depth 490 feet

Acreage of Site 8.794 acres **Total Acres of Site to Review** 8.794 acres **Current Zoning of Site** C-2

Project Description: Partial demolition/removal of existing of building with improvements to portion of ex. building that will remain.
Repaving and expansion of parking lot, with striping modifications and expansion of RV storage areas. Relocation of propane station.
Installation of sanitary dump station for RV trailers. Storm drain & stormwater detention improvements. Site lighting & fence upgrades.

Is a re-zoning of this parcel being requested? No **YES (if yes complete next line)** (NO)
Current Zoning of Site _____ **Requested Zoning** _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? YES (if yes complete next line) (NO)
Section of Zoning Ordinance for which you are applying _____

Is there an official Woodland within parcel? No **Woodland acreage** N/A

List total number of regulated trees outside the Woodland area? 70 **Total number of trees** 70

Detailed description for cutting trees No trees are currently being proposed for removal.

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Brent Moody, President of FreedomRoads Property Company, LLC

Print Property Owners Name

Brent Moody
Signature of Property Owner

November 4, 2019

Date

STATE OF ~~MICHIGAN~~ Illinois
COUNTY OF ~~WAYNE~~ Lake

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 4 day of November 2019

Jessica L. Gorski

Notary Public,

Lake

County, Michigan
Illinois

My Commission expires

March 8

20 22

Rev 1/12/06

JESSICA L GORSKI
Official Seal

Notary Public - State of Illinois
My Commission Expires Mar 8, 2022



MEMO

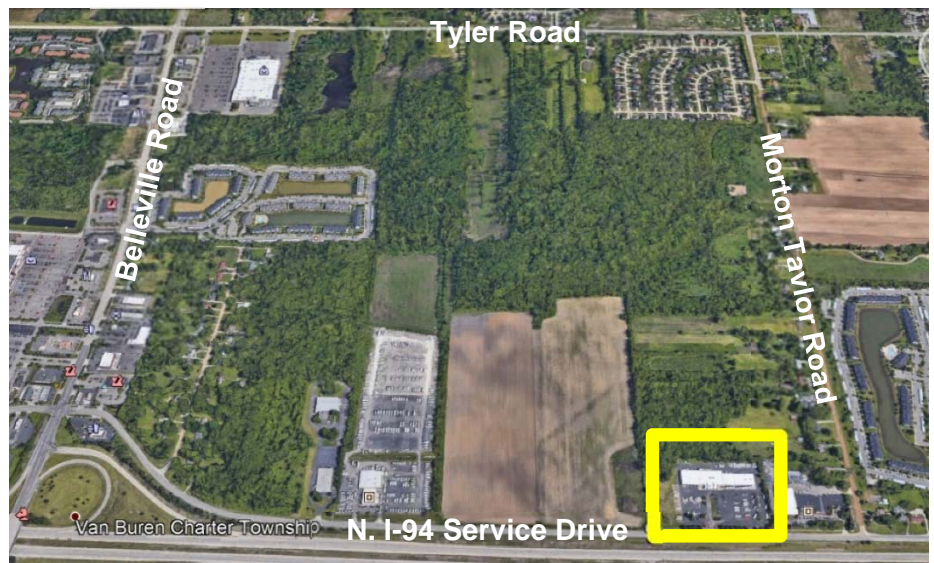
TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: Planning Case 19-038: Camping World Partial Demolition and Site Redevelopment – Final Site Plan

DATE: November 27, 2020

The Van Buren Township Planning Commission is being requested to consider the final site plan for the Camping World site redevelopment, which will include the demolition of +/- 15,633-sq. ft. on the east wing of their existing building; retention of +/- 28,139 sq. ft. of the existing building; the creation of a new R.V. parking and sales area on site; and related site improvements.



The +/- 8.8-acre subject site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

The sale of RV's is considered Outdoor Vehicle Sales and Vehicle Service (minor), which is a special land use in the C-2 (Extensive Highway Business District) Zoning District. The proposed Special Land Use prompted a public hearing by the Planning Commission. This hearing was held at a regular remote meeting of the Planning Commission on June 24, 2020. At this meeting, the Planning Commission voted to recommend special land use approval to the Board of Trustees and approved the preliminary site plan for the project. The Board of Trustees voted to approve the special land use request at their meeting on July 7, 2020. Following this, the applicant underwent review and approval by the Wayne County Department of Public Services

and by the Van Buren Township Engineer and Principal Planner. The project is now ready for consideration for final site plan approval by the Planning Commission. To assist in this review, the following materials have been provided with this packet:

- A completed application form submitted by the applicant, signed November 4, 2019;
- A final site plan review letter from Vidya Krishnan and Hunter Whitehill, dated November 19, 2020;
- A final site plan review letter from Paul Kammer, dated November 19, 2020;
- A review letter from Andrew Lenaghan, dated February 5, 2020;
- A conditional approval letter from Hikmat Kassem and James Roznowski of the WCDPS, dated October 28, 2020;
- Copies of minutes of approval from the Planning Commission meeting held June 24, 2020 and the Board of Trustees meeting held July 7, 2020; and
- A civil and architectural final site plan set from the applicant (hard copy provided separately);

I look forward to assisting with the discussion regarding this project on December 9th.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Power".

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren



November 19, 2020

Planning Commission
Charter Township
of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: VBT-19-038 Camping World/ 43646 I-94 N. Service Drive; Final Site Plan Review #5; Revised Site Plans Dated 10/20/2020; applicant letter dated 11/16/20 and additional documentation.

Dear Commissioners:

The applicant, Camping World, proposes to demolish portion of an existing building (east wing -15,633 sq. ft.), retain 28,139 sq. ft. of the existing building and create new R.V. parking and storage area on site. The site is located on the north side I-94 North Service Drive, between Dewitt and Morton Taylor Roads and has a new development area of 8.794 acres. The applicant received preliminary site plan approval from the Planning Commission on June 24th 2020, subject to several conditions.

We have reviewed the revised site plan for compliance with the conditions of preliminary site plan approval and offer the following comments (any items that require changes or additional information are underlined):

COMMENTS

1. **Review and approval of circulation plan proposed for emergency access by the Fire Department and Township Engineer.** This condition has been met. The applicant has provided an Emergency Vehicle Access Plan (Sheet C1A) to reflect changes to the proposed parking layout, curb island modifications, etc. The review letters from the Township Engineer and Fire Department do not express any concerns regarding the proposed method of circulation.
2. **Installation of concrete curbing around all paved/parking areas, unless the applicant demonstrates through engineering that the alternative design substantially improves the water quality of the site.** This condition has been met. The final site plan includes concrete curbing along the entire periphery of the paved/parking areas.
3. **Submission of planter details and a colored rendering of the proposed landscape island with pavers and amenities.** This condition has been met. The revised landscape plan includes detail for the proposed decorative metal pre-assembled planter with epoxy coating. The planter is attractive in design and is durable.

4. **Review and approval of proposed storm water detention system by the Township Engineer and Wayne County.** This condition has been met. The applicant has submitted copy of permit approval from Wayne County dated 10/28/2020. The Township Engineer in a letter dated 11/19/20 has recommended approval of the plans subjects to certain conditions being met at the time of submission of construction drawings.
5. **Consideration of façade enhancements including change of colors, addition of bands, cornice etc., to improve the building's appearance.** This condition has been met. The structure is constructed of concrete masonry units which are to be patched, repaired and painted. The building was constructed a long time ago and is in need of some enhancement . The applicant has revised the elevations to include a blue color band on the top of the façade facing the Service Drive. The band extends the entire width of the building. The bollards next to the overhead doors are also to be painted a matching blue. While minimal, the addition of the band provides significant relief to the façade wall and enhances it appearance.
6. **Provision of fencing compliant with Section 7.205 (B) of the Zoning Ordinance.** This condition has been met. The site plan notes a 2.5' tall decorative fence along the front lot line in compliance with the Ordinance requirements. The proposed fence is a custom made metal fence with vertical railing which meets the intent of the Ordinance.
7. **Submission of area, height, lighting and other details for existing and proposed on-site signage.** This condition has been met. The site plan identifies location of existing and proposed signage. Per discussions with the Planning Department, the existing signs are allowed to remain as is since the applicant proposes no change to them at this time.
8. **Details on screening fabric around propane tank.** This condition is no longer applicable. The plan proposes bollards to protect the propane tank and screening through landscaping and parking areas along the site's frontage. A chain link fence is no longer shown in this area.
9. **Special land use approval by Township Board of Trustees.** This condition has been met. The Planning Commission recommended approval of the special land use to the Township Board of Trustees (BOT) at its meeting held on June 24th 2020. The BOT granted approval for the special land use at its meeting held on July 7th, 2020.

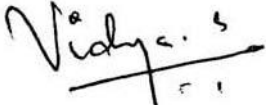
RECOMMENDATION

All of the conditions of preliminary plan approval have been met at this time. Therefore, we recommend that the Planning Commission grant final site plan approval for Camping World located at 43646 I-94 N. Service Drive.



Respectfully submitted,

McKENNA

A handwritten signature in black ink, appearing to read "Vidya Krishnan", with a horizontal line drawn across the middle of the signature.

Vidya Krishnan
Principal Planner

c: Dan Power, Director of Planning & Economic Development
Matt Best, Director of Public Services
Paul Kammer, FTCH, Township Engineers
David McNally, Van Buren Township Fire Marshal



November 19, 2020
Fishbeck Project No. 191629
Township Project No. 19-038

James Taylor
Director of Water and Sewer
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Camping World - 43646 North I-94 Service Drive Engineering and Final Site Plan Review

Dear Director Taylor:

At the request of Van Buren Township (Township), Fishbeck has reviewed the revised Site Plan dated October 20, 2020 and the subsequent revised plans dated November 16, 2020, submitted to the Township for Engineering and Final Site Plan review for the proposed Camping World project, which is located at 73646 North Interstate Highway 94 Service Drive.

This project entails an interior remodel and reconstruction of the existing Camping World building and site. The proposed construction includes: demolition of a portion of the existing 43,772 square-foot building (the remaining building will be 28,139 square-feet); reconstruction of the surrounding concrete pavement; modification to the existing concrete walkway; construction of additional building and parking lot lights; construction of two asphalt RV parking lots; construction of a propane station; reconstruction of the existing storm sewer system including a proposed underground storage facility and pump station; construction of a sanitary sewer service lead; and other various landscaping and site plan improvements.

Our review comments are as follows:

General

The following items are general requirements established as part of the *Engineering Standards Manual, Charter Township of Van Buren (April 2014)*. The applicant must include the following items as part of the construction plans.

1. On the existing site plan/topographic survey sheet (T1), indicate the existing overland flow route, with flow arrows, indicating how the existing site drains. The route should indicate any incoming drainage from adjacent properties and how those flows are handled. At no time, may the natural flow of the land be cut-off by the proposed work.
2. The landscape plans must ensure that no trees are planted within any utility easement on site.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicate a publicly owned 12-inch ductile iron water main running east-west along the north side of I-94 Service Road and an 8-inch ductile iron water main connecting to a fire hydrant on the north side of the existing building. Per discussions with applicant and Township, this 8-inch water main is privately owned. There are two existing hydrants along the southern side of the property that are to remain in service at their existing locations.

Proposed: The plans also indicate a proposed 0.75-inch, copper water service from the building to the RV parking lot station. The applicant has indicated that the building does not have a fire suppression system. The plans do not indicate any other modifications to the water main.

Comments:

1. Applicant must indicate where the shutoff valves are for the Contractor and Township to know which valves need to be isolated for shutdown.
2. The plans must show any existing utility easements for water main and hydrants on site that are to be public water main. This would include the two hydrants located along the southern property line of the site. If previous easements do not exist, the applicant will be required to provide the easement documentation for county filing.

Sanitary Sewer

Existing: The Township's GIS records indicate there is an 8-inch clay sanitary sewer line that runs north-south along the west property line into the 10-inch public sanitary sewer running east-west along I-94 Service Road. Per discussions with applicant and Township, the Township 8-inch clay sanitary sewer line may have been built with the intention of being privately owned; however, there are no known easements and the line is privately owned. The plans indicate an existing private 8-inch sanitary sewer service lead connecting into this line.

Proposed: The applicant is proposing to install an additional 4-inch sanitary sewer lead from the RV parking lot with a point of connection to the existing 8-inch public sanitary sewer pipe running along the west property line.

Comments:

1. The Sanitary Sewer Design indicates adequate capacity for the sanitary sewer services based on Ten State Standards. The Sanitary Sewer Design should also meet capacity based on the numbers/values indicated in the *Van Buren Township Water & Sewer Department Schedule of Rates (effective January 1, 2018)*.

Storm Sewer

Existing: The Township's GIS records indicate that the storm runoff from the existing site is collected through a system of roof drains, catch basins, and an existing storm sewer pipe network which outlets into an open roadside ditch along the north side of I-94 Service Road.

Proposed: The applicant is proposing to modify the existing stormwater system by constructing several additional catch basins and 12-inch private concrete pipes. The proposed additional inlets will capture storm water runoff from the proposed RV parking lots through a system of existing storm sewers into a proposed underground detention facility. The underground system is proposed to outflow through a flow restrictor, into a proposed pump station, and discharge into the existing stormwater open channel on the north side of I-94 Service Road.

Comments:

1. It is understood the applicant has provided information that the plans have been approved by the Wayne County Department of Public Services in a letter dated October 28, 2020, for storm water management.
2. The minimum size for storm sewer is 12 inches in diameter. Currently, the plans show the storm sewer between CB3 and EX6 as 8 inches.
3. The hydraulic grade line must not be higher than 1.0 feet below the rim elevation at any upstream manhole location along the closed conduit. Wherever possible, flow should be maintained within the pipe without surcharging. The applicant needs to adjust and/or upsize existing pipe within the run from CB1 through EX8 to maintain the required 1.0 feet of cover from Rim to HGL.
4. Storm sewer profile must indicate the existing and finished ground over the centerline of the proposed sewer. Plans must indicate the final proposed grade and that the existing catch basin or manhole will be adjusted to grade.

5. The applicant must verify that the size of existing catch basins No. EX3 and No. EX5 are large enough to accommodate a new 24-inch concrete sewer with the existing sewer already in place. Preliminary sizing would indicate that both manholes will need to be replaced or rebuilt. Indicate existing size of the structure on the plans, then indicate how they will accommodate the proposed pipe at the designed angles and inverts.
6. The applicant must clarify whether the existing 24-inch storm sewer between catch basin EX5 and catch basin EX4, which is currently shown being bulkheaded, will have flowable fill.

Paving and Grading

1. A fence boundary around the proposed parking lot is indicated.
2. All sidewalk and ramps must comply with Americans with Disabilities Act 2010 (ADA) standards when constructed.

Soil Erosion and Sedimentation Control (SESC)

1. The SESC plan provided must be in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. A permit must be acquired from the Wayne County SESC County Enforcing Agency (CEA).
<https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx>.
2. The applicant has indicated that the SESC Plans will be submitted to Wayne County for approval.

Recommendation

We are recommending the Planning Commission grant the Camping World Project Engineering and Final Site Plan approval, based on the engineering review of the proposed site, subject to the comments listed above and in accordance with the Township's Engineering Standards manual. The applicant will be required to address the comments in the Issued for Construction Plan Set prior to the Preconstruction meeting being scheduled. If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE
Senior Civil Engineer



Stephen C. Clayton, PE
Civil Engineer

By email

Copy: Matthew Best – Township
Dan Power – Township
Vidya Krishnan– McKenna
David L. Potter, PE – Fishbeck

Andrew R. Lenaghan
Fire Inspector
Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp, MI 48111
O: 734-699-8900 ext. 9426



February 5, 2020

Department Building and Planning
46425 Tyler Road
Belleville, MI 48111

Re: Camping World
43646 I-94 Service Dr, Van Buren Township MI.

19-038

To whom it may concern:

I have reviewed a plan set sent to me on 2/4/2020. All Items listed below have been addressed within the site plan.

Project Overview:

The proposal is to demo the east end of the building and reconstruct the parking lots. The plan set was reviewed for Fire and Life Safety using the township adopted fire code NFPA 1 and NFPA 101 2018 editions.

Again, please note that **all** applicable **NFPA** codes and standards apply as adopted by the Township of Van Buren.

- ~~1. Plan does not reference the proper fire code adopted by Van Buren Township. NFPA 2018 1 and 101 editions are the official fire code for Van Buren Township, not the 2015 Michigan Fire Code~~
- ~~2. A Knox Box will need to be ordered and installed by owner where fire department indicates.~~
~~www.knoxbox.com. This request was put on the previous work done at the store and has not been completed. Any approval of submitted plans will have to have this item addressed first.~~
- ~~3. Monitored fire alarm system for occupancy.~~

~~NFPA 1 16.3.4.3~~

~~NFPA 1 AHJ~~

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

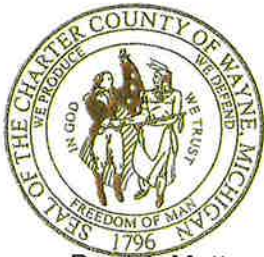
- ~~4. Wall finishes need to meet the requirements of NFPA~~
 - ~~5. Is the hydrant to the rear of existing building operational? If so, records of required yearly maintenance should be kept on site for review during inspections.~~
 - ~~6. Fire lanes are a required 20ft wide. Gates shown on plans are only 16ft. FD Knox locks are required for access on all gates.~~
 - ~~7. Outdoor storage on plans show parking too close to gates for entry.~~
 - ~~8. Travel paths for deliveries and fire apparatus, should be shown on future plans.~~
 - ~~9. Emergency lighting inside store needs to meet **NFPA 101 2018 Section 7.8 Illumination of Means of Egress.**~~
 - ~~10. **Emergency Responder Radio Coverage System is required unless it can be proven after building is constructed, and occupied that coverage is sufficient. This will be verified by AHJ prior to final C/O.**~~
-
- NFPA 72 24.5.2.2.3**
- ~~11. Wall finishes need to meet the requirements of NFPA~~

Review and approval by the Authority Having Jurisdiction shall not relieve the applicant of the responsibility of compliance with these codes.

If you have any questions about this plan review report, please feel free to contact me

Respectfully submitted,

Andrew R. Lenaghan
Fire Inspector
Van Buren Fire Department



Warren C. Evans
Wayne County Executive

October 28, 2020

Derrick Matter
FreedomRoads Operations Company, LLC.
250 Parkway Drive
Lincolnshire, IL 60069

RE: Camping World
43646 N., 194 Service Drive
North Side I-94 Service Drive and West of Morton Taylor Road
Belleville, MI
Wayne County DPS Plan Review: R 19-256

Dear Mr. Matter:

The Wayne County Department of Public Services has received three sets of revised plans for the above referenced project on October 22, 2020 and they are **approved** insofar as the interest of this office is concerned.

This approval expires one (1) year from the date of this letter. If a permit has not been issued within the year, or plans and scope of work have been revised, new plans and additional plan review costs will be required to reestablish an active review prior to permit issuance.

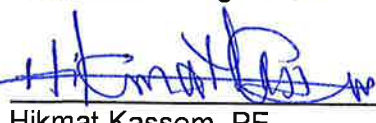
For information on permit issuance and to schedule an appointment, please direct the anticipated permit holder or project contractor to contact Mr. Tony Amaro at (734) 858-2768, and specify **Review No. R 19-256**. Contact Mr. James M. Roznowski at (734) 858-2765, if you have any questions.

NOTE: THIS LETTER IS NEITHER A PERMIT NOR AN AUTHORIZATION TO PERFORM ANY WORK WITHIN ANY WAYNE COUNTY ROAD RIGHT-OF-WAY, PARK OR DRAIN EASEMENT.

Sincerely,

WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES


James M. Roznowski
Plan Review Engineer


Hikmat Kassem, PE
Assistant Division Permit Engineer

c: File

DEPARTMENT OF PUBLIC SERVICES / ENGINEERING DIVISION/ PERMIT OFFICE
33809 MICHIGAN AVENUE, WAYNE, MI 48184 ■ PHONE (734) 858-2774 ■ FAX (734) 595-6356





Wayne County
Department of Public Services
Permit Office
33809 Michigan Ave, Wayne, MI 48184
Phone (734) 595-6504 - Fax (734) 595-6356

Plan Review No.
R 19-256

Date: 10/28/2020

Permit Requirements and Fee Sheet

Information regarding issuance of Construction Permit, including Fees, Inspection Deposit, Bonding and other requirements for Wayne County Plan Review Number: R 19-256.

To schedule an appointment for your Construction Permit, please contact the Permit Coordinator

Please Schedule Your Appointment at Least 24 Hours in Advance

Project Name: Camping World
Street: 43646 N. I94 Service Drive
City/Twp: BELLEVILLE

Permit Fee:	\$175.00	
Park Fee:	\$0.00	
Plan Review Cost:	\$4,140.00	
Bond:	\$20,000.00	(Refundable, less inspection and/or restoration costs)
Inspection Deposit:	\$10,000.00	

Total Permit Cost:	\$34,315.00	
Credit:	\$2,500.00	Plan Review Cash Deposit
Total Amount:	\$31,815.00	(Total Check to be Submitted)

Please bring One (1) Certified or Cashier's Check made payable to 'WAYNE COUNTY'.

Letter of Authorization: If Contractor picks up the Permit, the Contractor must have a Letter of Authorization to act as agent for Owner.

Certificate of Insurance: from the Contractor of Record, designating the Wayne County Department of Public Services as the Certificate Holder and naming Wayne County, Drainage District and its officers, agents and employees as additional insured parties with: a) General Liability in amounts not less than \$1,000,000 for each occurrence and \$2,000,000 aggregate; and b) Automobile Liability in amounts not less than \$1,000,000 combined single limit for each accident, bodily injury and property damage per accident, and in the amount not less than \$1,000,000 for bodily injury each person, each occurrence and property damage liability \$1,000,000 for each occurrence. The Permit Office shall be notified of any renewal, cancellation or reduction of insurance.

The insurance certificate and any further correspondence associated with the policy shall reference the project number: 'R 19-256'

Additional Requirements:

SENT TO:	Contact:	Phone:	Fax:
FreedomRoads Operations Company L	Derrick Matter,	(847) 229-6429	
250 Parkway Dr			
Lincolnshire IL 60069	Email: derrick.matter@aanderoutdoors.com		

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION - VIRTUAL MEETING ON ZOOM
June 24,2020
MINUTES**

Prior to the start of the meeting, the public was giving instructions on how to take part in the meeting.

ROLL CALL:

Present: Kelley, Budd, Atchinson, Jahr, Franzoi, and Thompson.

(Boynton arrived shortly after roll call)

Excused: none

Staff: Director Best, Director Power, Executive Assistant Renaud and Secretary Dohring.

Planning Representatives: McKenna Associate, Vidya Krishnan, Fishbeck Associate, Paul Kammer

Applicant(s) in Attendance: Derrick Matter of Camping World with Paul Tulikangas of Nowak & Fraus Engineers, Craig Atchinson of Atchinson Ford,

Audience: Five (5).

APPROVAL OF AGENDA:

Motion Franzoi, Kelley second to approve the agenda of June 10, 2020 as presented. Motion Carried.

APPROVAL OF MINUTES:

Motion Budd, Jahr second to approve the regular meeting minutes of June 10, 2020 as presented.

PUBLIC HEARING:

ITEM #1: CASE 19-038 – PUBLIC HEARING FOR PROPOSED IMPROVEMENTS AT CAMPING WORLD

TITLE: THE APPLICANT, DERRICK MATTER / CAMPING WORLD IS REQUESTING TO DEMOLISH THE EAST WING OF THEIR EXISTING BUILDING AND CREATE NEW R.V. PARKING AND STORAGE ON THE SITE.

LOCATION: The site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

Motion Jahr, Kelley second to open the public hearing.

ROLL CALL:

Yeas: Franzoi, Jahr, Kelley, Atchinson, Budd and Thompson

Nays: None.

Absent: Boynton.

Motion Carried.

Paul Tulikangas for Camping World stated that it is basically a demolition of a portion of the existing building, spruce things up, re-stripe and repave the parking lot, and separate the new RV parking and the customer parking.

No comments from Commissioners or Audience

Motion Atchinson, Jahr second to close the public hearing

ROLL CALL:

Yeas: Franzoi, Jahr, Kelley, Atchinson, Budd, Thompson

Nays: None

Absent: Boynton

Motion Carried

ITEM #2: ZONING ORDINANCE AMENDMENTS: C, LOCAL BUSINESS DISTRICT AMENDMENTS.

TITLE: PROPOSED AMENDMENTS TO ADD CLARIFICATIONS IN ORDER TO DISTINGUISH COMMERCIAL AND RESIDENTIAL / NON-COMMERCIAL LAND USES IN THE C, LOCAL BUSINESS DISTRICT WITH RESPECT TO MAXIMUM BUILDING SIZE, AND CLARIFY RESTRICTIONS ON DWELLINGS IN NON-RESIDENTIAL ZONING DISTRICT

Boynton motion, Kelley second to open the public hearing

ROLL CALL:

Yeas: Franzoi, Jahr, Kelley, Atchinson, Budd, and Thompson

Nays: None

Absent: None

Motion Carried

Public Comment: Resident, 9405 Madison Drive, expressed concerns that amending Section 3.105 of the Zoning Ordinance C, Local Business District, for clarification is done to benefit one parcel in the Township. The resident cited that the issue of size restrictions for parcels zoned C, Local Business District was raised before and during the January 8, 2020 meeting. The resident cited that the statement of purpose of the C, Local Business District is intended to permit retail business and service uses that are needed to serve nearby residential areas. The resident referenced eight (8) parcels under the subject zoning, three (3) of which are not developed, and described that only one parcel would benefit from the proposed amendment. The resident expressed that the size limitation is not an overlooked item nor should it be a conflict that needs clarification in the Zoning Ordinance. The resident expressed that these sections were available to the drafters of the full Zoning Ordinance when it was adopted in 2017 and amended in 2019. The size limits applied regardless of the type of use. The resident implored the Planning Commission members to

visit Westridge Estates of Canton before making a recommendation to the Township Board.

Boynton motion, Atchinson second to close the public hearing

ROLL CALL:

Yeas: Franzoi, Jahr, Boynton, Kelley, Atchinson, Budd, Thompson

Nays: None

Absent: None

Motion Carried

NEW BUSINESS:

ITEM #1: CASE 19-038 – CAMPING WORLD SPECIAL LAND USE APPROVAL.

TITLE: THE APPLICANT, DERRICK MATTER / CAMPING WORLD IS SEEKING A SPECIAL LAND USE PERMIT TO DEMOLISH THE EAST WING OF THEIR EXISTING BUILDING AND CREATE NEW R.V. PARKING AND STORAGE ON THE SITE.

LOCATION: The site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

Paul Tulikangas of Nowak & Fraus Engineers stated they gave their overview of the project at the beginning of the meeting, but both he and Derek Matter were in attendance to answer any questions any one may have.

Vidya Krishnan of McKenna Associates presented her special land Use Review letter dated 6.18.2020 recommending the Planning Commission recommend special land use approval to the Township Board, subject to the following conditions:

1. Submission of a floor plan to verify provision of a permanent, enclosed office for records and supervision.
2. That all of the conditions of the site plan approval are met.

Commissioners requested applicant to address if there would be office space in the building. Mr. Matter replied yes there would be. Commissioners asked if the area in the front of the building would be used for new inventory only, because currently there is new and used RV's. Mr. Matter responded that the front would be used for new RV's only.

No comments from the Public.

Motion Kelley, Atchinson second to recommend the Township Board grant special land use approval to the applicant, Camping World, to demolish the east wing of their existing building and create new R.V. parking and storage on their site, located at 43646 North Interstate Service

Drive parcel ID number 83-060-01-0001-001, on the north side I-94 North Service Dr. between DeWitt and Morton Taylor Rds., subject to the recommendations in the McKenna Associates review letter dated 6-18-2020.

- 1. Submission of a floor plan to verify provision of a permanent, enclosed office for records and supervision.**
- 2. That all of the conditions of the site plan approval are met.**

Roll Call:

Yeas: Franzoi, Jahr, Boynton, Kelley, Atchinson, Budd, Thompson,

Nays: None.

Absent: None.

Motion Carried. (letters attached)

ITEM #2: CASE 19-038 CAMPING WORLD PRELIMINARY SITE PLAN APPROVAL

TITLE: THE APPLICANT, DERRICK MATTER / CAMPING WORLD IS SEEKING PRELIMINARY SITE PLAN APPROVAL TO DEMOLISH THE EAST WING OF THEIR EXISTING BUILDING AND CREATE NEW R.V. PARKING AND STORAGE ON THE SITE.

LOCATION: The site is located at 43646 North Interstate Service Drive (tax parcel number 83 060 01 0001 001), on the north side I- 94 North Service Drive, between Dewitt and Morton Taylor Roads.

No additional comments given by the applicant or their engineer.

Director Power stated he had no additional detailed overview, and clarified that new vehicle location was also covered in site plan review.

Vidya Krishnan of McKenna Associates presented her Site Plan Review #3 letter dated June 18, 2020, recommending preliminary approval of the site plan, subject to the following conditions:

1. Review and approval of circulation plan proposed for emergency access by the Fire Department and Township Engineer.
2. Installation of concrete curbing around all paved/parking areas, unless the applicant demonstrates through engineering that the alternative design substantially improves the water quality of the site.
3. Submission of planter details and a colored rendering of the proposed landscape island with pavers and amenities.
4. Review and approval of proposed storm water detention system by the Township Engineer and Wayne County.
5. Consideration of façade enhancements including change of colors, addition of bands, cornice etc., to improve the building's appearance.
6. Provision of fencing compliant with Section 7.205 (B) of the Zoning Ordinance.
7. Submission of area, height, lighting and other details for existing and proposed on-site signage.
8. Details on screening fabric around propane tank.

9. Special land use approval by Township Board of Trustees.

Paul Kammer with Fishbeck Engineers gave his overview of the preliminary site plan for Camping World referencing the review letter dated April 13, 2020. He mentioned that even though a revised site plan was presented May 29, 2020, the changes didn't impact the Engineering Feasibility, and that he and Direct Power were comfortable with leaving the April 13, 2020 engineering letter's recommendations to address each preliminary site plans submitted March 31, 2020 and May 29, 2020. Mr. Kammer recommended the Planning Commission grant Camping World preliminary site plan approval for engineering feasibility, subject to the comments in the letter and in accordance with Van Buren Township's Engineering Standards manual. Mr. Kammer reiterated that approval from Wayne County must be obtained prior to the final site plan approval.

Paul Tulikangas responded that they were able to reach someone at Wayne County and track down the review that was issued in February. He stated that there were a few minor changes that will be able to be able to be addressed prior to final site plan.

Commissioners asked how the water quality would be improved or not because of the curbing. Mr. Kammer responded the current or existing layout has the water draining interior, from the edges into the catch basins in the parking lot. The curb and gutters should not impact the water quality, it is more to protect the landscaping, however the areas being discussed are more for the RV parking, not public. Ms. Krishnan also stated the curb and gutter requirements are to protect landscaping and give areas a more finished appearance. Also, in winter, with snow, to designate where pavement ends. The curb and gutter requirements have never been waived, the only option in the ordinance for waiver is if the water quality is substantially improved, and since the township engineer stated it doesn't improve the water quality, it doesn't meet the requirements under the ordinance to be waived. Director Power commented that curb and gutter is generally designed to convey water quickly off a site. Water quality comes into play when you have bio retention where water can filter thru a designed landscape basin.

Commissioners asked if applicant was interested in pursuing a water quality enhancement report. Mr. Tulikangas responded that the reason they originally discussed forgoing the perimeter 6" curbing was because of additional cost, and maintaining grading and the drainage flow.

Commissioners asked Applicant if they had any comments on the open questions in the review letter from McKenna regarding sod enhancement, façade, or fencing. Mr. Tulikangas stated that the façade enhancement was not in the current proposal for site plan approval. The commission state these improvements were not necessarily engineering questions and could be left in the preliminary letter and be answered before final. Mr. Tulikangas did state that there was some gray area in the ordinance regarding a chain link fence, but they would be willing to do a decorative fence if that was the requirement. Mr. Matter stated they would not be opposed to providing an ornamental fence in the front yard. As far as the façade, he would discuss with the architect a solution that would satisfy the Commission and not go over budget. Commission

suggested discussing with staff inexpensive ways, like color to improve the façade. Ms. Krishnan said they would be happy to work with the applicant to suggest a way to improve the façade and keep the cost down.

No comments from the audience.

Motion Kelley, Boynton support to grant preliminary site plan approval to Camping World for the site located at 43646 North Interstate Service Drive based on the analysis and subject to the conditions detailed McKenna letter dated June 18,2020, the Fishbeck letter dated April 13, 2020 and the Van Buren Township Fire Dept letter dated February 5, 2020.

Roll Call:

Yeas: Franzoi, Jahr, Boynton, Kelley, Atchinson, Budd, and Thompson.

Nays: None.

Absent: None.

Motion Carried. (letters attached)

ITEM #3: ZONING ORDINANCE AMENDMENTS: C, LOCAL BUSINESS DISTRICT AMENDMENTS

DESCRIPTION: PROPOSED AMENDMENT TO ADD CLARIFICATIONS IN ORDER TO DISTINGUISH COMMERCIAL AND RESIDENTIAL/NON-COMMERCIAL LAND USES IN THE C, LOCAL BUSINESS DISTRICT WITH RESPECT TO MAXIMUM BUILDING SIZE, AND CLARIFY RESTRICTIONS ON DWELLINGS IN NON-RESIDENTIAL ZONING DISTRICTS

Director Power gave an overview of the multiple discussions at various planning commission meetings on this amendment. Director Power reiterated there are few references to building size in the ordinance as well as dwellings in the non-residential zoning district, therefore the need for clarification and formalization with text amendments.

Vidya Krishnan of McKenna Associates commented that when a zoning district is formulated, a statement of intent or purposes, in the case of the C district, a local business district, it is intended to facilitate the businesses that serve a local area, but over time those uses change, and new uses are discovered. At the time C was written, senior housing was not a category or use by itself. Senior housing, assisted living, and memory care are relatively new as planning goes. The amendment that is being proposed, while on the surface might appear that it was intended to address a specific project, that was not the intent. The amendment is intended to address a clarification that was brought to light when a project came about. This clarification is needed to be made whether the specific project is there on the horizon or not.

No additional comments or questions from the commission or audience.

Motion Atchinson, Kelley second to recommend to the board the proposed amendment to add clarifications in order to distinguish commercial and residential/non-commercial land use in the C, local business district with respect to maximum building size and to clarify restrictions

**CHARTER TOWNSHIP OF VAN BUREN
BOARD OF TRUSTEES MEETING MINUTES
JULY 7, 2020 ELECTRONICALLY VIA ZOOM**

Supervisor McNamara called the meeting to order electronically via Zoom meeting ID 91994812460 at 6:00 p.m. Present: Supervisor McNamara, Treasurer Budd, Clerk Wright, Trustee Frazier, Trustee Martin, Trustee Miller and Trustee White. Others participating, facilitating and monitoring the meeting: Secretary Montgomery, Assessing Coordinator Stevenson, Planning and Economic Development Director Powers, Communication Specialists Albrecht and Nichols and maximum audience of thirty-two (32).

EXECUTIVE SUMMARY OF THE AGENDA: Supervisor McNamara outlined the items appearing on the agenda.

ADOPTION OF THE AGENDA: Miller moved; Budd seconded to approve the agenda Roll Call Vote. Yeas: McNamara, Budd, Wright, Frazier, Martin, Miller and White. Motion Carried.

ADOPTION OF CONSENT AGENDA: Martin moved, Frazier seconded to approve the Consent Agenda [Board Meeting Minutes of June 16, 2020, Prepaid List of June 18, 2020, Prepaid List of June 25, 2020, Prepaid List of July 2, 2020 and the Voucher List of July 7, 2020] Roll Call Vote. Yeas: McNamara, Budd, Wright, Frazier, Martin, Miller and White. Motion Carried.

PUBLIC HEARING: Budd moved; Miller seconded to open the public hearing at 6:08 to receive public comment on the establishment of Industrial Development District #25. Roll Call Vote: Yeas: McNamara, Budd, Wright, Frazier, Martin, Miller and White. Nays: None. Motion Carried. The district is approximately 293 acres on N. Ecorse and Haggerty Rd. and contains approximately 31 tax parcels. No public comment was received. Miller moved; Wright seconded to close the public hearing at 6:10 p.m. Roll Call Vote. Yeas: McNamara, Budd, Wright, Frazier, Martin, Miller and White. Nays: None. Motion Carried.

CORRESPONDENCE/ANNOUNCEMENTS/PRESENTATIONS: The splash pad at Quirk Park is open. The Clerk's office has issued 5,891 ballots of which 17% (1,101 ballots) have been returned. The Permanent Absentee Voter Application list is currently at 7,587. The Yankee Air Museum has cancelled the Thunder Over Michigan Air Show this year.

PUBLIC COMMENT (Unfinished and New Business): Resident commented, on behalf of the Belleville Chamber of Commerce, in support of a relaxed administrative review process and fees regarding temporary land uses for outdoor food and beverage service and retail in response to the COVID-19 pandemic

UNFINISHED BUSINESS: None.

NEW BUSINESS:

White moved; Frazier seconded to approve Resolution 2020-09 the establishment of Industrial Development District #25. Roll Call Vote: McNamara, Wright, Frazier, Martin, Miller and White. Nays: Budd. Motion Carried.

Frazier moved; Miller seconded to approve the first reading of ordinance 07-07-20 (1) to add clarifications in order to distinguish commercial and residential/ non-commercial land uses in the C local business District with respect to maximum building size and clarify restrictions on dwellings in non-residential zoning districts. Roll Call Vote. Yeas: McNamara, Budd, Wright, Frazier, Martin, Miller and White. Nays: None. Motion Carried.

Budd moved; Miller seconded to approve a special land use request by Camping World (Derrick Matter). Roll Call Vote. Yeas: McNamara, Budd, Wright, Frazier, Martin, Miller and White. Nays: None. Motion Carried.

PLANNING & ZONING APPLICATION

Case number 20-033

Date Submitted _____

APPLICANT INFORMATION

Applicant	Elevatus Architecture (Craig Armstrong, AIA)	Phone	260-424-9080 ext 616
Address	111 E. Wayne St., Suite 555	Fax	260-424-1222
City, State	Fort Wayne, IN	Zip	46802
E:mail	carmstrong@elevatusarchitecture.com	Cell Phone Number	260-241-2648
Property Owner	Meijer, Inc. (Zachary Hettinger)	Phone	616-286-2517
	(if different than applicant)		
Address	2350 Three Mile Rd., NW	Fax	
City, State	Walker, MI	Zip	49544
Billing Contact	Elevatus Architecture (Noel Winters)	Phone	260-424-9080 ext 602
Address	111 E. Wayne St., Suite 555	Fax	260-424-1222
City, State	Fort Wayne, IN	Zip	46802

SITE/ PROJECT INFORMATION

Name of Project Meijer 072 Addition

Parcel Id No. V125-83- 058990006705 **Project Address** 9701 Belleville Rd., Belleville, MI 48111

Attach Legal Description of Property

Property Location: On the East Side of Belleville Rd Road; Between Westlake Cir Road and Tyler Road. **Size of Lot** Width Depth

Acreage of Site 39.33 **Total Acres of Site to Review** **Current Zoning of Site** C-2

Project Description: Building Addition to house the Digital, Online ordering and curbside pick-up program.

Is a re-zoning of this parcel being requested? NO **YES (if yes complete next line)** NO

Current Zoning of Site C-2 **Requested Zoning**

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? **YES (if yes complete next line)** NO

Section of Zoning Ordinance for which you are applying

Is there an official Woodland within parcel? **Woodland acreage**

List total number of regulated trees outside the Woodland area? **Total number of trees**

Detailed description for cutting trees

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Zachary Hettinger



MEMO

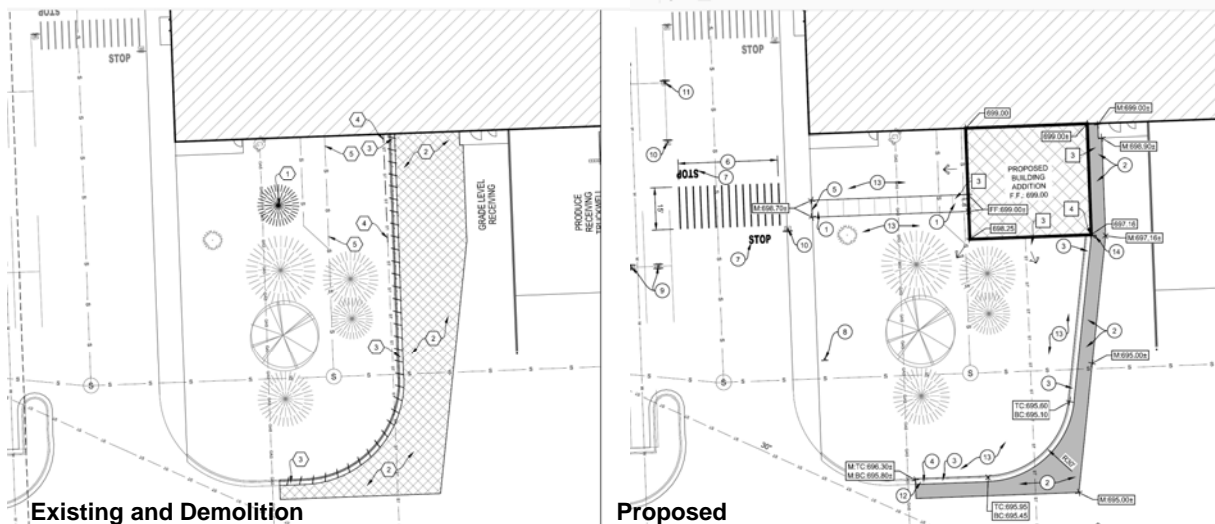
TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: SPR 20-033 – Meijer Addition – Final Site Plan Review

DATE: December 3, 2020

Applicant Elevatus Architecture on behalf of Meijer, Inc. has applied seeking final site plan approval for the construction of a 1,680-sq. ft. addition to the roughly 200,952-sq. ft. Meijer store located at 9701 Belleville Road (parcel number 83 058 99 0006 705). The purpose of the addition is to provide an area to stage and store materials in order to assist with Meijer's digital online ordering with curbside pickup service. The proposed site plan will involve the addition pedestrian improvements and additional open lawn as well as the store addition, along with the removal of one (1) tree and minor paving demolition and replacement.



The proposed use is consistent with the site's existing commercial retail use, a permitted use by right in the site's C-2 – Extensive Highway Business zoning district. Additions to commercial uses exceeding 1,000 square feet in area require site plan review with the Van Buren Township Planning Commission. Given the fact that this is a minor addition in the broader context of the large commercial retail site, the proposed use does not require an extensive planning review process. Based on this finding, the Planning Commission may exercise their ability to review the final site plan review without first granting a

preliminary site plan approval per Section 12.205(A)(4) of the Zoning Ordinance. In doing so, the Planning Commission should consider adopting the recommended conditions of approval from the Township's Principal Planner, Engineer, and Chief Fire Inspector, to be addressed prior to the submittal of a *for-construction* plan set. This includes satisfying engineering conditions related to site investigation and demonstrating that there will be no impacts to water or sanitary utilities or stormwater facilities that will necessitate a more extensive review by the Township Engineer or the Wayne County Department of Public Services (WCDPS).

Thank you for your consideration.

Sincerely,

A handwritten signature in dark ink, appearing to read "Dan Power", with a stylized, cursive script.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

CC: Vidya Krishnan – Van Buren Charter Township Principal Planner / Planning Consultant – McKenna Associates
Paul Kammer, P.E. – Van Buren Charter Township Engineer – Fishbeck
Andrew Lenaghan - Van Buren Charter Township Chief Fire Inspector
Matthew Best, M.S. - Public Services Director, Van Buren Charter Township
Craig Armstrong, AIA – Elevatus Architecture
Zachary Hettinger – Meijer Inc.



MCKENNA

November 24, 2020

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: VBT-20-033 Meijer Addition / 9701 Belleville; Site Plan Review #1; Site Plan Dated October 28, 2020.

Dear Commissioners:

The applicant, Meijer, proposes to construct a 1,680 square foot building addition at 9701 Belleville Road for Meijer's digital online ordering with curbside pick-up service. The site is located on the south side of Tyler Road, east of Belleville Road.

COMMENTS. We have reviewed the site plan request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

1. **Zoning and Use.** The site is zoned C-2 (Extensive Highway Business District). Section 3.112 of the Zoning Ordinance permits retail sales in the C-2 Extensive Highway Business District.
2. **Required Information.** Section 12.203 of the Zoning Ordinance includes requirements for information on a site plan. The applicant has provided all of the required information.
3. **Lot.** The site has a total area of 39.33 acres and includes additional outlots. The legal description is included with the tax parcel ID number.
4. **Dimensional Requirements.** There is no required minimum lot area or width in the C-2 Extensive Highway Business District.

The minimum required front, rear, and side yard setbacks for the C-2 District is 35 feet, 20 feet, and 25 feet respectively. The existing building and proposed building addition comply with all the setback dimensions.

Maximum permitted building height in the C-2 District is 4 stories and 40 feet. The proposed elevations for the building addition indicate a building height of 14 feet, compliant with the Zoning Ordinance.

5. Access and Circulation.

- a. **Location of Curb Cuts.** There is a total of five access points to Meijer. Three entrances off Tyler Road and two entrances off Belleville Road. None of the access drives are to be altered by the proposed addition.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

O 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.



- b. Cross Access.** The site has cross access with each of the outlots and also to the property to the south, at the southwest corner of the site. The site plan sheet C-100 incorrectly shows a solid curb line across the cross access drive.
- c. Sidewalks.** The applicant is proposing a sidewalk connection to the building addition from the existing sidewalk along the west side of the building. The sidewalk must have a minimum width of 5' and the width must be noted.
- d. Circulation.** The proposed addition is for digital orders and curbside pick-up. The plan does not detail an explanation for how the curbside pick-up will work. We assume customers will place online orders and drive to the store to pick-up. They will park in designated spaces and the order will be brought out to them. Since the plan does not intend for customers to actually wait along the curb, some signage should be added to clarify parking at the designated spots and prevent blockage of the main drive aisle in front of the addition.

6. Parking and Loading.

- a. Space Dimensions.** Parking space dimension standards are not applicable to this project.
- b. Number of Parking Spaces.** The proposed addition will require a total of 8 additional parking spaces. The existing store has an extensive parking lot which likely exceeds the ordinance requirements. No additional parking is being required at this time.
- c. Barrier Free Spaces.** No change to existing barrier free access is proposed at this time.
- d. Loading.** The proposed building addition is not large enough to necessitate any additional loading zones.
- e. Bicycle Parking.** Bicycle parking is not applicable to this project. Amenities such as bike racks which are required as part of the Belleville Road Overlay District (BROD) within which the site is located will be required at a future date when the current Meijer store is renovated/upgraded.

7. Landscaping and Screening. The site is located in the Extensive Highway Business (C-2) district. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others. Our comments on individual landscaping requirements are reflected in the following comments:

- a. Landscaping Adjacent to the Right-of-Way.** This standard is not applicable to this project.
- b. Parking Lot Landscaping.** The parking lot is screened from adjoining public or private rights-of-way.

Interior parking lot landscaping. The amount of all paved parking areas, including parking and loading spaces, driveways, and aisles is not proposed to change so the existing interior parking lot landscaping is sufficient.

- c. Loading Area Landscaping.** Loading area landscaping standards are not applicable to this project. The loading area at the rear of the addition is an existing loading area.



- d. **Display Area Buffering.** This requirement is not applicable.
- e. **Greenbelt Buffering.** Greenbelt buffering standards compliant with Section 10.103 (E) have been provided for the site.
- f. **Detention Pond Landscaping.** Detention Pond Landscaping is not applicable to this project.
- 8. **Tree Removal Permit.** A tree removal permit is required if the applicant proposes to remove any trees of 5" caliper or larger. The applicant has noted one tree will be removed to make room for the building addition. If the tree proposed for removal is 5" or larger, tree replacement tree must be provided as required by the Ordinance.
- 9. **Stormwater Pond.** It is our understanding that the proposed addition is resulting in minimal alteration to the impervious surface area on the site and therefore, not making any significant impact to stormwater detention. We defer approval of the detention plan to the Township Engineer.
- 10. **Lighting.** The plan does not include any information on lighting for the proposed addition. The area must be illuminated compliant with Section 8.105 (B) (2) of the Zoning Ordinance. The applicant can demonstrate adequate lighting on the east, south and west sides of the addition through existing fixtures or new wall mounted fixtures must be added. Manufacturer's cut sheet details must be provided for review.
- 11. **Architecture and Building Details.** The applicant has submitted detailed elevations for the proposed building addition. The addition is to be constructed with 'field grey velour' face brick veneer, new interstate blue canopy, and a metal cap 'bone-white' roof. The site is part of the Belleville Road Overlay District, the Township's primary business district. The Planning Commission has consistently required a high standard of design for developments in this area. Chapter 3 of Article 6 provides standards for buildings within the Belleville Road Overlay District (BROD). The intent of the BROD is to avoid developments with architectural elements that look applied, rather than incorporated. For example, building facades that incorporate canopies must provide a pitched roof component to provide depth and give an authentic appearance. The proposed addition architecture while integrating with the existing building, does not meet BROD standards. Compliance with BROD requirements for the small addition will create an add-on that does not look like part of the main building. While not typical, we would recommend that the addition be proposed to proceed as shown; however, at a future date when the main Meijer store undergoes exterior façade renovations, the façade of the addition built at this time must also be upgraded to comply with the BROD requirements.
- 12. **Dumpster.** Dumpster standards are not applicable to this project.
- 13. **Signs.** The applicant is proposing pickup order signs to guide customers. These signs are defined as incidental signs in the Zoning Ordinance and are exempt in all zoning districts.



RECOMMENDATION

Many of the required site plan items have been addressed; however, there still remain a few issues that need to be addressed or notes of clarification added. Therefore, we recommend that the Planning Commission approve the preliminary and final site plan under the provisions of Section 12.205 (A) (4), subject to the following conditions:

1. Removal of solid curb line from south cross access drive.
2. Notation of width of the sidewalk connector on the site plan.
3. Addition of a note clarifying how the curbside pick-up will operate to prevent aisle blockage.
4. Replacement for the tree to be removed, if the tree is a regulated tree size.
5. Illumination plan for area around proposed addition and location and cut-sheet detail for proposed light fixtures, if any.
6. Facade renovations to comply with BROD architectural standards at a future date when the main building on the site is upgraded.

Respectfully,

McKENNA

Vidya Krishnan
Principal Planner

Hunter Whitehill
Associate Planner

c: Matt Best, Van Buren Township Director of Public Services
Dan Power, Director of Planning and Economic Development
David Potter, FTCH, Township Engineers
David McNally, Van Buren Township Fire Marshal

December 2, 2020
Fishbeck Project No. 201421
Township Project Number 20-033

James Taylor
Director of Water and Sewer
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Meijer Addition Site Plan Engineering and Final Site Plan Review

Dear Director Taylor:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Preliminary Site Plan submitted to the Township November 13, 2020, submitted to the Township for the preliminary staff meeting for the proposed Meijer Building Addition.

This project entails construction of a building addition to the existing Meijer Store at the southeast corner of Belleville Road and Tyler Road and includes the removal and replacement of a portion of the loading dock pavement, the modifications to the existing storm drain system, the removal and replacement or verification of the integrity of the existing sanitary lead, and changes to the existing parking spaces for designated online ordering with curbside pick-up service.

Our review comments are as follows:

General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. All easements, proposed and existing, must be indicated on the plans.
2. All benchmark information must be listed on the plans with all elevations listed in National Geodetic Vertical Datum 29 (NGVD 29) or include a conversion factor to the NGVD 29 datum.
3. Soil boring information, including the ground water elevations, must be provided.
4. Applicant to include existing topography/grades within the site boundaries and in contiguous areas if pertinent to design, including elevation contours at a minimum of 2-foot intervals.
5. Plans must include the sizes and location of the existing underground utilities and service leads that impact the layout of the addition.
6. Plans must include the following required notes:
 - a. All construction shall conform to the current standards, specifications, and general conditions of the Township.
 - b. The applicant is responsible for resolving any drainage problems on adjacent properties which are the result of the applicant's actions.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records and the applicant's plan indicate there is a watermain loop around the existing Meijer building, running north-south and east-west around the project area.

Proposed: The applicant's plan does not indicate a proposed water main or water main connection to the exterior public water main, nor is there any modification to the existing water main system for the work on this project. Water service from the existing building is proposed for the proposed building fire sprinklers.

Sanitary Sewer

Existing: The applicant's base plan indicates there are two sanitary service lines exiting the existing building from the south wall. The civil site plans indicate these service lines tying together near the southwest corner of the addition, before tapping into the private sanitary sewer system that services the entire Meijer building for connecting to the Township sanitary sewer system. The applicant's plumbing plan, however, indicates a single sanitary service line exiting from the southern wall of the building. This line runs under and through the proposed addition.

Proposed: The applicant's plan indicates a base bid of removing and replacing the sanitary service line under the building. There is an alternate bid for pressure testing and inspecting the line to confirm its condition to remain. All this work is done based on the plumbing plan layout and considered to be as part of their private system.

Comments:

1. There are conflicting notes and service line locations on sheet C-101 and P-101 regarding the existing sanitary sewer service near the proposed building addition. The applicant needs to conduct a site visit and/or gather supplemental topographic information to determine the location of this lead. Does the lead enter at the manhole as indicated on C-101 or does it tap into the main sewer line upstream of the manhole, as would be if the sewer is located in the area indicated on P-101. Location should be able to be approximated by locating cleanouts and examining the existing manhole structure.
2. After further research, the applicant must clarify the existing sanitary service work to be completed onsite.
3. If relocation is an option, plans must indicate if the relocated lead will connect back into the existing lead or tap into the main at a new location. If so, how will this tap into the main system?

Storm Sewer

Existing: The applicant's plan indicates a system of storm pipes, roof drains, and existing catch basins within the site. The plans also indicate a 10-inch storm line, exiting the southern end of the building, presumably conveying the roof drain runoff from the existing building.

Proposed: The applicant's plan proposes to investigate the existing storm drain line from the existing building to the catch basin in the parking lot. It will remain in place if it is determined to be in good working shape, otherwise, it will be removed and replaced. Downspouts are proposed on the east side of the building to allow roof runoff to drain away from the building. These downspouts are proposed to drain via two proposed 3-inch private storm pipes underneath the proposed building into the existing storm pipe within the footprint of the building.

Comments:

1. The applicant has indicated there will be no increase in impervious surface due to the proposed improvements. Plans must include a storm drainage area map indicating the change in tributary area due to the proposed improvements or indicate that there will be no increase in surface runoff due to the proposed improvements.
2. Provide further explanation why the proposed 3-inch building storm drains need to connect to the existing storm drain lines underneath the proposed building addition. The preference would be to see the exterior drains connected to the existing storm line via an exterior underground drainpipe that connects to the system outside of the building footprint. This allows for easier maintenance and repair if ever needed.

Soil Erosion and Sedimentation Control

Due to the limited amount of disturbance, a formal submittal through Wayne County SESC is not required, however, soil erosion and sedimentation control measures must be in place during any and all work which includes ground disturbance. The SESC plan provided must be in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards.

Comments:

1. In addition to the indicated inlet protection, the applicant must include silt fence around the area of disturbance to protect from sediment reaching the pavement. Continuously monitor all inlet protection and cleanout as necessary.

Recommendation

We are recommending the Planning Commission grant Meijer, Inc. conditional Final Site Plan approval based on the Engineering Review of the host site, subject to the applicant submitting an *Issued for Construction* set of plans that addresses the comments listed above and in accordance with the Township's Engineering Standards manual. After submittal of the Issued for Construction plans, the Township will review and issue a Letter of Conformance prior to holding a PreConstruction meeting. If you have any questions regarding this project or our comments listed above, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE
Senior Civil Engineer



Stephen C. Clayton, PE
Civil Engineer

By email

Copy: Matthew Best – Township
Dan Power – Township
Vidya Krishnan– McKenna
Dave Potter – Fishbeck

David C. McNally II
Fire Marshal
O: 734-699-8900 ext9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp., MI 48111



December 3, 2020

Director of Planning and Economic Development
Department of Public Services
46425 Tyler Rd.
Van Buren Township, MI 48111

Meijer Store 072 Addition
9701 Belleville Rd.
Van Buren Township, MI 48111

To whom it may concern:

I have reviewed a set of plans, dated 10/28/2020, and received 11/16/2020. The plans call for a 1680 square foot addition to the existing Meijers store. This project entails a new building addition and designated parking for Meijer's digital online ordering with curbside pick-up service.

This review does not include a fire protection or life safety analysis. These reviews will need to be completed at the time of building permit review. It is understood from the plans that the existing address shall remain unchanged, the proposed building addition shall be fully suppressed as required by building and fire codes, and all existing fire lanes, fire department access road widths, and fire hydrants shall remain.

With the information provided the plans as submitted are approved.

If you have any questions regarding this plan review, I can be reached at 734-699-8900 x 9426

Sincerely,

Andrew Lenaghan
Fire Inspector

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

PLANNING & ZONING APPLICATION

Case number Date Submitted

APPLICANT INFORMATION

Applicant SCOTT M. BOWERS, BOWERS + ASSOCAITES Phone 734-975-2400
Address 2400 S. HURON PARKWAY Fax 734-975-2410
City, State ANN ARBOR, MI Zip 48104
E:mail SCOTTB@BOWERSARCH.COM Cell Phone Number 734-645-9175
Property Owner AVFLIGHT WILLOW RUN CORPORATION Phone 734-663-5805
(if different than applicant)
Address 2055 C STREET Fax
City, State BELLEVILLE, MI Zip 48111
Billing Contact LEANN WANTY-GLASS Phone 734-663-5805 EX: 276
Address 47 W. ELLSWORTH RD Fax
City, State ANN ARBOR, MI Zip 48108

SITE/ PROJECT INFORMATION

Name of Project AVFLIGHT WILLOW RUN
Parcel Id No. V125-83- Project Address 48192 'A' STREET
Attach Legal Description of Property
Property Location: On the NORTH Side of 'A' STREET Road; Between ECORSE Road
and TYLER Road. Size of Lot Width Depth
Acreage of Site BY ARIPORT Total Acres of Site to Review BY ARIPORT Current Zoning of Site AP
Project Description: (3) THREE NEW HANGARS + FBO FACILITIES
Is a re-zoning of this parcel being requested? NO YES (if yes complete next line) NO
Current Zoning of Site AP Requested Zoning

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? YES (if yes complete next line) NO
Section of Zoning Ordinance for which you are applying
Is there an official Woodland within parcel? No Woodland acreage
List total number of regulated trees outside the Woodland area? Total number of trees
Detailed description for cutting trees
If applicable application MUST be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Print Property Owners Name
Signature of Property Owner Date
STATE OF MICHIGAN
COUNTY OF WAYNE
The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.
Subscribed and sworn before me this day of 20
Notary Public, County, Michigan My Commission expires 20
Rev 1/12/06



MEMO

TO: Brooke Longcore and Scott Bowers – Bowers and Associates
 FROM: Dan Power, AICP – Director of Planning and Economic Development
 RE: Avflight Willow Run Site Plan – Willow Run Airport of Van Buren Township
 PLANS DATED: November 2, 2020
 DATE: December 3, 2020

The following is a review of the proposal by Avflight, who seeks to build two (2) 14,938-sq. ft. hangar buildings for immediate use, one (1) hangar for future use, three (3) fixed base operator (FBO) areas including one (1) such area for future use, two (1) garage areas, 132 parking spaces, minor landscaping, and a future development area. The proposed land use will occur on approximately 5.7 acres of property at the terminus of A Street near the northeast corner of the Willow Run Airport of Van Buren Township. The site is zoned AP – Airport District. The applicant has submitted a revised civil site plan dated November 25, 2020 in addition to a series of previously dated civil and architectural plans to facilitate this review.

Review process. I have reviewed the site plan request based on Zoning Ordinance standards. The review process described in Section 3.118(D) (*AP, Airport District – Required Conditions of the AP, Airport District*) allows for a modified site plan review procedure for developments located at public airports. This involves reviewing the area, height and placement of the principal use; its parking, loading and access management; environmental performance standards; and screening, landscaping and other Ecorse and Beck Road adjacency requirements. I have also reviewed the applicable administrative review standards of Section 12.203 of the Van Buren Township Zoning Ordinance. I will first make some comments regarding the proposed uses. Then, relevant review standards from Sections 3.118(D) and 12.203 are discussed in the sections on the following pages. Throughout this report, requested conditions are underlined.

Comments regarding proposed uses. The following which are defined in Section 2.102 of the Van Buren Township Zoning Ordinance are permitted uses by right in the AP zoning district:

- *Airports and related facilities.*

The details of use within each component of the site, including the hangars, the garages, and the FBO's, is described on sheet SP1.00 and listed in Figure 1.

Figure 1

DETAILS OF USE PER SITE COMPONENT	
COMPONENT	USE DESCRIPTION
HANGAR (1+2)	STORAGE OF AIRCRAFTS, NON-HAZARDOUS AIRCRAFT PART STORAGE
HANGAR (3)	STORAGE OF AIRCRAFTS, FITNESS + CHANGING FACILITY FOR PILOTS, NON-HAZARDOUS AIRCRAFT PART STORAGE
HANGAR (FUTURE)	STORAGE OF AIRCRAFTS, NON-HAZARDOUS AIRCRAFT PART STORAGE
FBO (ALL)	FLIGHT PLANNING FOR PILOTS, TERMINAL FOR TAKE-OFF/ LANDING
GARAGE (ALL)	PARKING FOR VIP GUESTS TO FACILITY

Requirements per Section 3.118(D)(1)(a)(i) of the Van Buren Township Zoning Ordinance
- Required Conditions of the AP, Airport District.

- a. **Area, height, and placement.** Uses located on the airport property owned by a public governmental agency shall meet the area, height, and placement regulations, including setbacks, of the zoning district they are located in.

The proposed site is part of a broader public airport property which has public road frontage on Beck Road. The proposed site meets the required front (100'), side (50' for one / 100' for two), and rear (100') yard setbacks with respect to the proposed buildings' setbacks from the nearest adjacent public road (Beck Road). The minimum area of 250 acres in the AP zoning district is intended to be applied to the airport property at large and does not apply to this specific site. The height of the proposed hangar component of the building is 34.5', as measured halfway between the eave (32') and the peak (37') of the roof.

- b. **Parking, loading and access management.** Uses located on the airport property owned by a public governmental agency shall meet the parking and loading requirements of Article 9 in this Zoning Ordinance.

Article 9 of the Zoning Ordinance includes various required standards related to the number of parking spaces and the design and configuration of parking areas and driveways. These requirements are evaluated below.

Number of parking spaces. 132 parking spaces are proposed. This parking space allocation is based on calculations provided by the applicant which are derived from the following use types within proposed immediate and future hangar, office, FBO, and garage floor areas shown on the site plan:

- Warehousing areas: 59,752-sq. ft. total. In each warehouse area, five (5) spaces are required, plus one (1) space required per 1,750-sq. ft.
- Office areas: 15,893-sq. ft. In each office area, one (1) space is required per 300-sq. ft. of gross floor area.

Accessible / barrier-free parking spaces are also provided in conformity with Section 9.103 of the Van Buren Township Zoning Ordinance.

Design and configuration of parking areas. Where formal standard 90-degree off-street parking spaces are proposed, per section 9.104(B), 9.5' x 20' spaces with a 24' adjacent maneuvering lane is required. Double-striped spaces are also required. Dimensions demonstrating the minimum maneuvering aisle width of 24' and double striping have been provided.

Drainage. Per section 9.104(A) of the Zoning Ordinance, off-street parking areas shall be drained so as to dispose of all surface water accumulated in the parking area in such a way as to preclude drainage of water onto adjacent property or toward buildings. The applicant may be required to gain approval from the Wayne County Department Public Services for stormwater design.

Driveways and Access Management. Access is provided to the site from an existing taxiway at the site's southern border along with from a proposed drive extending east from the site. The applicant must secure the approval of the Wayne County Airport Authority (WCAA) Fire Marshall for the proposed access configuration.

Loading and truck maneuvering. No loading spaces are proposed. Section 9.105 of the Zoning Ordinance requires loading spaces "on the same premises with every building, structure or part thereof, involving the receipt or distribution of vehicles or materials or merchandise". Sufficient explanation has been provided by the applicant in a letter stating that deliveries to the site will be dropped off at each hangar via overhead door provided at each hangar, for interior drop-off.

360-degree access around the site is restricted by a fence and gate at the western terminus of the southern and middle parking areas, respectively. The access around the site along with hydrant layout and other fire safety provisions should be reviewed by the WCAA Fire Marshall.

Parking lot landscaping. According to Section 9.104(L) of the Zoning Ordinance, parking areas shall be landscaped and screened pursuant to Article 10. Because the site has no direct public road frontage and is adequately separated from adjacent public roads, relief can be provided from parking lot screening per section 10.103(A) of the Zoning Ordinance. Landscaped areas will be subject to review by the Wayne County Airport Authority (WCAA) and may be subject to limits in order to comply with airport standards, including limiting attractiveness to certain wildlife. If suitable landscaping can be provided in compliance with these standards, the applicant must comply with Section 10.103(B), including that landscaped areas should be added where necessary to account for a minimum of five percent (5%) of all paved areas. The applicant has provided a landscape plan in a separate submittal.

- c. **Environmental Performance Standards.** Uses located on the airport property owned by a public governmental agency shall meet the "Environmental Performance Standards Applicable to Specific Uses and Districts" of Section 8.102 of this Zoning Ordinance. Any environmental site obligations or permits required by the WCAA, Wayne County, or the State of Michigan must be addressed prior to construction.
- d. **Screening, landscaping and other Ecorse and Beck Road adjacency requirements.** If the proposed building/use is adjacent to Ecorse or Beck Roads the site plan shall be required to meet the "Frontage Landscaping" requirements in Section 10.103, the "Mechanical and Utility Equipment Screening" requirements in Section 10.103, the "Exterior Lighting" requirements in Section 8.105, and the "Garbage, Refuse, and Recycling Collection Areas" requirements in Section 7.122 of this Zoning Ordinance. The site is not adjacent to Ecorse or Beck Road and these requirements therefore do not apply. Adherence to applicable lighting standards in Section 8.105 of the Zoning Ordinance must be met. This includes using full-cutoff lighting where applicable.

Administrative Site Plan Review Requirements per Section 12.203 of the Van Buren Township Zoning Ordinance – In General.

1. **Title and date of plan, including the date and nature of all subsequent revisions; North arrow and scale; Design firm information; Dimensions of lot and adjacent property lines; Boundary of tract; Lighting; Signage information; Plan submittal information; and Documentation of changes.** The project is accessed by what is referred to in the plans as an “existing taxiway”. The applicant has clarified that this taxiway connects to A Street._
2. **Description of use.** Use descriptions have been provided on the proposed site plan.
3. **A schedule of parking needs** requires some revisions as described previously.
4. **Traffic and pedestrian circulation design.** A sidewalk is not necessary because the site lacks public street frontage.
5. **Landscape plan and landscape maintenance information.** Regarding these requirements, there are no frontage landscaping requirements as the property does not have direct frontage on Beck Road or Ecorse Road, per Section 3.118(D)(1)(a)(i)(d). See the landscaping comments on the previous page.
6. **Hazardous materials.** Storage of any hazardous materials should be labeled on the proposed site plan.
7. **Office and staffing information.** A floor plan showing the proposed office layout is provided on sheet A1.00. The anticipated number of staff at peak shift has been added to Sheet SP1.00. There will be 19 staff at peak shift.
8. **Other information.** Any other information as required by the Planning Commission or Director of Planning which will assist in evaluation of the proposed use. A sign permit application must be submitted for any proposed signage on the site.

Recommendation: The submitted civil site plan set dated November 2, 2020 requires revisions per the underlined comments in this report:

- A sign permit application must be submitted for any proposed signage on the site.
- Adherence to applicable lighting standards in Section 8.105 of the Zoning Ordinance must be met. This includes using full-cutoff lighting where applicable.
- Any environmental site obligations or permits required by the WCAA, Wayne County, or the State of Michigan must be addressed prior to construction.

Conditioned upon addressing the above-stated comments on the submitted civil site plan dated November 25, 2020, I recommend conditional administrative zoning approval. Site plan approval by the Wayne County Airport Authority (WCAA) and the WCAA Fire Marshall will be required prior to the issuance of a building permit. Prior to construction, any pre-construction

requirements related to connections to Van Buren Township's water system must be met and a water tap permit must be obtained. If you have any additional questions regarding this review please feel free to contact me at 734-699-8913 or via e-mail at dpower@vanburen-mi.org.

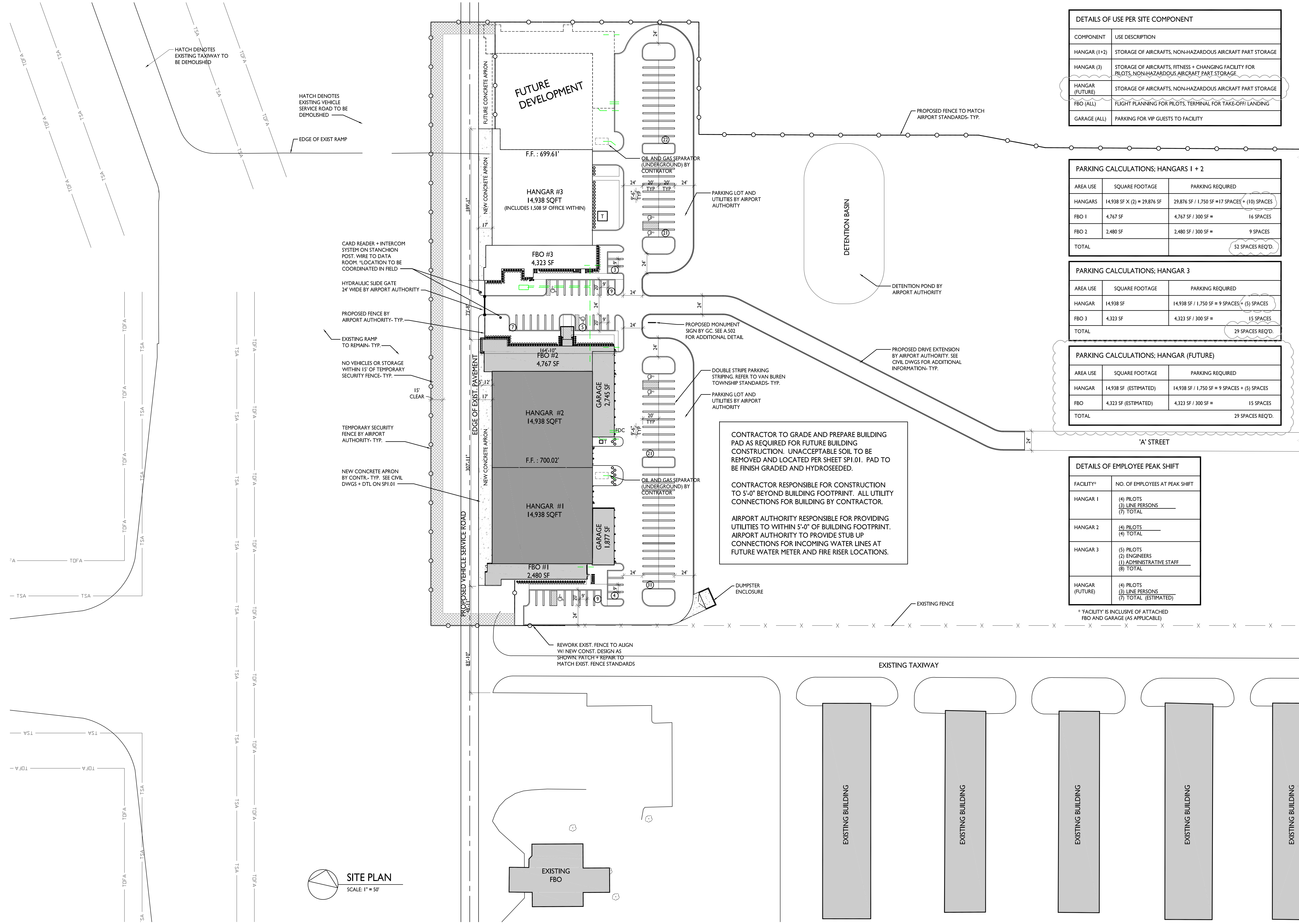
Sincerely,



Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

CC: Matthew Best, M.S. - Public Services Director, Van Buren Charter Township
Vidya Krishnan - Principal Planner, McKenna Associates / Van Buren Charter Township
Paul Kammer, P.E. - Township Engineer, Fishbeck / Van Buren Charter Township
James Taylor – Water and Sewer Director, Van Buren Charter Township
David McNally and Andrew Lenaghan– Van Buren Charter Township Fire Department
Geoff Nelson, P.E. – Wayne County Airport Authority

FOR REVIEW ONLY



DETAILS OF USE PER SITE COMPONENT	
COMPONENT	USE DESCRIPTION
HANGAR (1+2)	STORAGE OF AIRCRAFTS, NON-HAZARDOUS AIRCRAFT PART STORAGE
HANGAR (3)	STORAGE OF AIRCRAFTS, FITNESS + CHANGING FACILITY FOR PILOTS, NON-HAZARDOUS AIRCRAFT PART STORAGE
HANGAR (FUTURE)	STORAGE OF AIRCRAFTS, NON-HAZARDOUS AIRCRAFT PART STORAGE
FBO (ALL)	FLIGHT PLANNING FOR PILOTS, TERMINAL FOR TAKE-OFF/ LANDING
GARAGE (ALL)	PARKING FOR VIP GUESTS TO FACILITY

PARKING CALCULATIONS; HANGARS 1 + 2		
AREA USE	SQUARE FOOTAGE	PARKING REQUIRED
HANGARS	14,938 SF X (2) = 29,876 SF	29,876 SF / 1,750 SF = 17 SPACES + (10) SPACES
FBO 1	4,767 SF	4,767 SF / 300 SF = 16 SPACES
FBO 2	2,480 SF	2,480 SF / 300 SF = 9 SPACES
TOTAL		52 SPACES REQ'D.

PARKING CALCULATIONS; HANGAR 3		
AREA USE	SQUARE FOOTAGE	PARKING REQUIRED
HANGAR	14,938 SF	14,938 SF / 1,750 SF = 9 SPACES + (5) SPACES
FBO 3	4,323 SF	4,323 SF / 300 SF = 15 SPACES
TOTAL		29 SPACES REQ'D.

PARKING CALCULATIONS; HANGAR (FUTURE)		
AREA USE	SQUARE FOOTAGE	PARKING REQUIRED
HANGAR	14,938 SF (ESTIMATED)	14,938 SF / 1,750 SF = 9 SPACES + (5) SPACES
FBO	4,323 SF (ESTIMATED)	4,323 SF / 300 SF = 15 SPACES
TOTAL		29 SPACES REQ'D.

DETAILS OF EMPLOYEE PEAK SHIFT	
FACILITY*	NO. OF EMPLOYEES AT PEAK SHIFT
HANGAR 1	(4) PILOTS (3) LINE PERSONS (7) TOTAL
HANGAR 2	(4) PILOTS (4) TOTAL
HANGAR 3	(5) PILOTS (2) ENGINEERS (1) ADMINISTRATIVE STAFF (8) TOTAL
HANGAR (FUTURE)	(4) PILOTS (3) LINE PERSONS (7) TOTAL (ESTIMATED)

* FACILITY IS INCLUSIVE OF ATTACHED FBO AND GARAGE (AS APPLICABLE)

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN

2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
P: 734.975.2400 • F: 734.975.2410
WWW.BOWERSARCH.COM

CONSULTANT + NAME

AVFLIGHT

PROJECT + INFORMATION

**AVFLIGHT
HANGAR + FBO**

WILLOW RUN AIRPORT
CHARTER TOWNSHIP OF VAN BUREN, MICHIGAN

PROJECT + NUMBER

16-503

ISSUE + DATE

29 MAY 2020
18 JUNE 2020
30 JUNE 2020
10 SEPT 2020
1 OCT 2020
2 NOV 2020
25 NOV 2020

BID
ADD. #4
SPA
BULL. #2
SPA

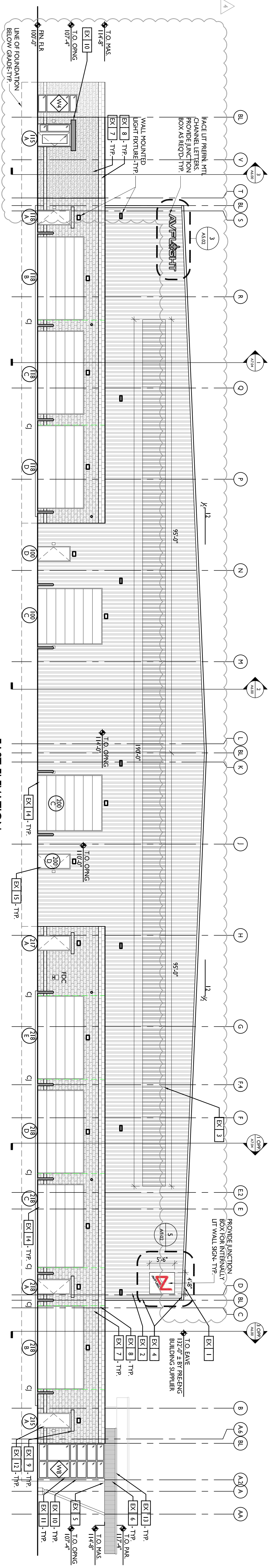
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SITE PLAN

16503SP100V.DWG

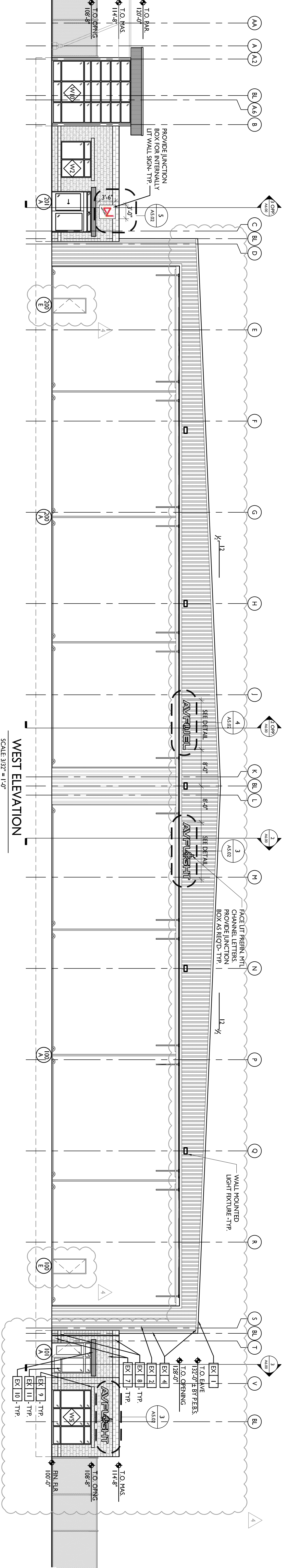
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SP1.00



EAST ELEVATION

SCALE 3/32" = 1'-0"



WEST ELEVATION

SCALE 3/32" = 1'-0"

EXTERIOR FINISHES LEGEND	
TAG	MATERIAL
EX-1	STANDING SEAM METAL PANEL ATAS
EX-2	STANDING SEAM METAL PANEL ATAS
EX-3	TWINWALL TRANSLUCENT PANEL ATAS
EX-4	METAL PANEL TRIM ATAS
EX-5	IFS
EX-6	ALUM COMPOSITE PANEL ATAS/PAC-CLAD
EX-7	CMU VENEER CONSUMERS CONCRETE
EX-8	CAST STONE VENEER TERRA'S PRECAST PRODUCT/AV. WHITE
EX-9	PREFIN METAL TRIM ATAS/PAC-CLAD
EX-10	ALUM FRAME ATAS/PAC-CLAD
EX-11	SHERWIN WILLIAMS SW 7017 DORIAN GRAY
EX-12	PREFIN METAL COPING ATAS/PAC-CLAD
EX-13	INSUL. OHD
EX-14	WHITE
EX-15	SHERWIN WILLIAMS WHITE AT INTERIOR OF HANGAR

BOWERS+ASSOCIATES
ARCHITECTURE DESIGN

2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
P: 734.975.2400 • F: 734.975.2410
WWW.BOWERSARCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION

AVFLIGHT
HANGAR + FBO

WILLOW RUN AIRPORT
CHARTER TOWNSHIP OF VAN BUREN, MICHIGAN

PROJECT + NUMBER

16-503-01

ISSUE + DATE

30 JUNE 2020
10 SEPT 2020
1 OCT 2020

BID
ADD #4
SPA

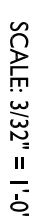
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EXTERIOR ELEVATIONS

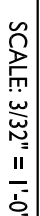
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SHEET + NUMBER

A5.00

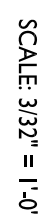
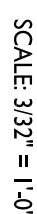


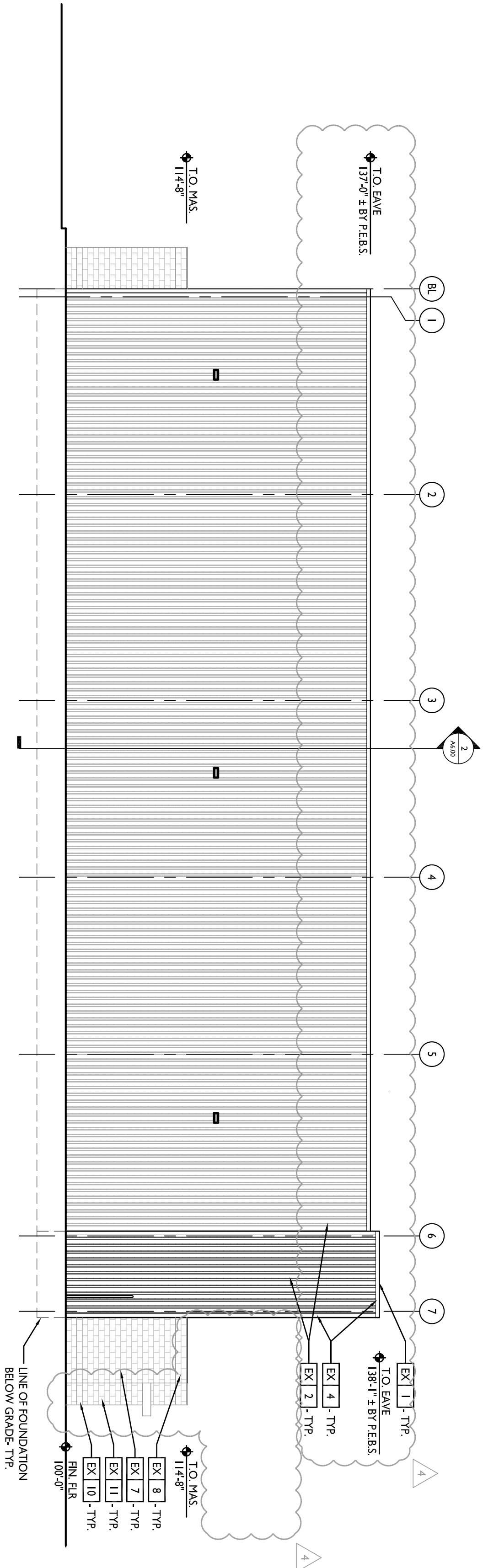
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SCALE: 3/32" = 1'-0"

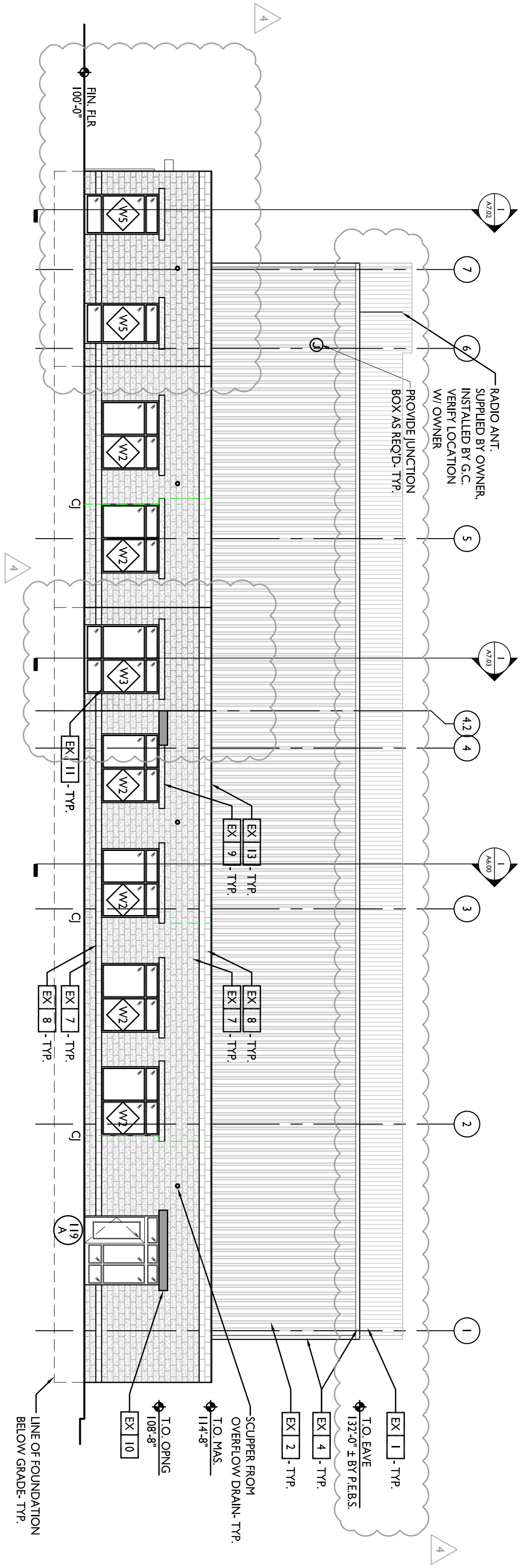
EXTERIOR FINISHES LEGEND			
	TAG	MATERIAL	COLOR
EX-1	STANDING SEAM METAL PANEL	ATAS	SLATE ROOF
EX-2	STANDING SEAM METAL PANEL	ATAS	SLATE (WALL)
EX-3	TRANSPARENT TRANSLUCENT PANEL		CLEAR
EX-4	METAL PANEL TRIM	ATAS	TO MATCH ADJ. MATERIAL
EX-5	EFS	STO	33337 CLOUD, FINE FINISH
EX-6	ALUM. COMPOSITE PANEL	ATAS/PAC-CLAD	CLEAR ANODIZED
EX-7	CMU VENEER	CONSUMERS CONCRETE	(UNSTONE, BRIT FACE)
EX-8	CMU VENEER	CONSUMERS CONCRETE	(UNSTONE, UNFINISHED FACE)
EX-9	CAST STONE UNTEL	TERRETS PRECAST PRODUCT	RAY - WHITE
EX-10	PREFIN. METAL TRIM	ATAS/PAC-CLAD	CLEAR ANODIZED
EX-11	ALUM. FRAME	ATAS/PAC-CLAD	CLEAR ANODIZED
EX-12	HM. PAINT	SHERWIN WILLIAMS	SW 7017 DOMAN GRAY
EX-13	PREFIN. METAL COPING	ATAS/PAC-CLAD	CLEAR ANODIZED
EX-14	INSUL. OHD		WHITE
EX-15	HM. PAINT	SHERWIN WILLIAMS	TO MATCH ADJACENT MATERIAL (PAINTED WHITE AT INTERIOR OF HANGAR)





NORTH ELEVATION

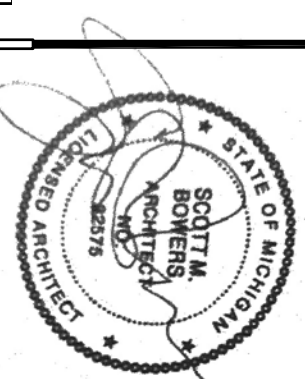
SCALE 3/32" = 1'-0"



SOUTH ELEVATION

SCALE 3/32" = 1'-0"

EXTERIOR FINISHES LEGEND		
TAG	MATERIAL	COLOR
EX-1	STANDING SEAM METAL PANEL	SLATE (ROOF)
EX-2	STANDING SEAM METAL PANEL	SLATE (WALL)
EX-3	TWINWALL TRANSLUCENT PANEL	CLEAR
EX-4	METAL PANEL TRIM	TO MATCH ADJ. MATERIAL
EX-5	EPS	35237 CLOUD, FINE FINISH
EX-6	ALUM. COMPOSITE PANEL	CLEAR ANODIZED
EX-7	CRU VENEER	CONSUMERS CONCRETE
EX-8	CRU VENEER	LIMESTONE (GRIT FACE)
EX-9	CAST STONE UNTEL	TERRA'S PRECAST PRODUCT (AV. WHITE)
EX-10	PREFN. METAL TRIM	ATAS/PAC-CLAD
EX-11	ALUM. FRAME	CLEAR ANODIZED
EX-12	H/M PAINT	SHERWIN WILLIAMS
EX-13	PREFN. METAL COPING	ATAS/PAC-CLAD
EX-14	INSUL. OHD	WHITE
EX-15	H/M PAINT	SHERWIN WILLIAMS



November 28, 2020

Van Buren Township Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Van Buren Township, MI 48111

Subject: Planning Commission Annual Report for 2020

In accordance with P.A. 33 of 2008, as amended, MCL 125.3801 et seq, Michigan Planning Enabling Act, please find the attached annual report regarding the Planning Commission activities for 2020. Following acceptance by the Planning Commission, the report will be forwarded to the Van Buren Township Board of Trustees. The report is summarized as follows:

Public Hearings: The Planning Commission held nine (9) public hearings.

Preliminary Site Plan Approvals: The Planning Commission granted four (4) preliminary site plan approvals.

Final Site Plan Approvals: The Planning Commission granted four (4) final site plan approvals.

Special Land Use: The Planning Commission recommended four (4) special land use approvals to the Township Board.

Site Plan Amendments: The Planning Commission granted three (3) site plan amendments.

Temporary Land Use Approvals: The Planning Commission granted six (6) temporary land use permits.

Rezoning Recommendations: The Planning Commission made one (1) rezoning recommendation to the Township Board.

Zoning Text Amendment Recommendations: The Planning Commission made three (3) zoning text amendment recommendations to the Township Board.

Master Plan Amendment: The Planning Commission made two (2) significant recommendations for the Van Buren Township 2020 Master Plan. One of these recommendations was to distribute the draft of this plan for review and comment by neighboring jurisdictions, and one of the recommendations was to adopt the plan.

Tree Removal Permits: The Planning Commission granted no separate tree removal permits. Tree removals were approved as part of site plan approval.

Significant Activities: The Van Buren Township Planning Commission's contributions to planned growth have been evident despite the significant disruptions in planning processes the Township and many other communities have faced in 2020. The Planning Commission was able to proceed with sixteen (16) out of 22 regularly scheduled meetings, thirteen (13) of which were held remotely during the time impacted by the COVID-19 pandemic.

Significant construction progress has been made at several major project sites which were approved by the Planning Commission in 2018-2020, including two of the three buildings in the 1.6 million square foot Ashley Crossroads North distribution center near Ecorse and Haggerty Road, the completion of construction at the 60,000 square foot Subaru automobile research and development center at 50255 Michigan Avenue, and the commencement of the second phase of development in the Victoria Park residential development north of Ecorse Road on the east side of Morton Taylor Road. Several significant projects are expected to break ground in 2021 based on the approvals of the Planning Commission in 2020 and recent years. The Planning Commission also shepherded the completion of the 2020 Van Buren Township Master plan, which will provide direction for future land use, development, capital improvement, and parks and open space decisions for years to come.

The tabulated list of 2020 Planning Commission activities is included on the page following this cover report.

	Case #	Location	Item Description	Type
1/8/2020	19-037	Near Tyler and Morton Taylor Roads	Hampton Manor Senior Housing	Public Hearing
3/11/2020	19-019	1043 Savage Road	Reavis Rezoning M-1 to R-1B	Rezoning
3/11/2020	20-004	10562 Belleville Road	TNT Fireworks	Temporary Land Use
5/27/2020	20-007	2095 Rawsonville Road	Phantom Fireworks	Temporary Land Use
5/27/2020	20-010	10010 Belleville Road	Phantom Fireworks	Temporary Land Use
6/24/2020	19-038	43646 N I 94 Service Drive	Camping World	Preliminary Site Plan
6/24/2020	19-038	43646 N I 94 Service Drive	Camping World	Public Hearing
6/24/2020			C District Zoning Ordinance	Public Hearing
6/24/2020	19-038	43646 N I 94 Service Drive	Camping World	Special Land Use
6/24/2020	20-015	8705 Belleville Road	Atchinson Ford	Temporary Land Use
6/24/2020			C District Zoning Ordinance	Zoning Ordinance (MP)
7/8/2020			2020 Master Plan	Recommend
7/8/2020	20-016	Near Martinsville Road and Savage Road	Upland Homes Country Walk	Site Plan Amendmen
7/22/2020	19-037	Near Tyler and Morton Taylor Roads	Hampton Manor Senior Housing	Preliminary Site Plan
7/22/2020	20-005	11250 Haggerty Road	Mobil Gas Station Redevelopment	Public Hearing
7/22/2020	20-005	11250 Haggerty Road	Mobil Gas Station Redevelopment	Special Land Use
7/22/2020	19-037	Near Tyler and Morton Taylor Roads	Hampton Manor Senior Housing	Special Land Use
7/22/2020	20-017	10010 Belleville Road	Waters Kitchen	Temporary Land Use
8/26/2020	19-040	8470 Belleville Road	Clover Senior Housing	Public Hearing
8/26/2020	20-019	Near Martinsville Road and Savage Road	Gilbert Homes Country Walk	Site Plan Amendmen
8/26/2020	20-023	Near Sumpter Road and Martinsville Road	Gilbert Homes Arlene Arbors	Site Plan Amendmen
9/9/2020	20-006	41175 Ecorse Road	Ashley Crossroads South Trailer	Preliminary Site Plan
9/23/2020			RM District Zoning Ordinance	Public Hearing
9/23/2020			RM District Zoning Ordinance	Zoning Ordinance
10/14/2020			Medical Marijuana Caregiver Zoning	Public Hearing
10/14/2020	20-029	10562 Belleville Road	Small Business Saturdays	Temporary Land Use
10/14/2020			Medical Marijuana Caregiver Zoning	Zoning Ordinance

	Case #	Location	Item Description	Type
10/28/2020			2020 Master Plan	(MP) Public Hearing
11/11/2020			2020 Master Plan	(MP) Recommendation
11/11/2020	20-012	9701 Belleville Road	Jiffy Lube	Preliminary Site Plan
11/11/2020	20-012	9701 Belleville Road	Jiffy Lube	Public Hearing
11/11/2020	20-012	9701 Belleville Road	Jiffy Lube	Special Land Use
12/9/2020	20-006	41175 Ecorse Road	Ashley Crossroads South Trailer	Final Site Plan
12/9/2020	19-038	43646 N I 94 Service Drive	Camping World	Final Site Plan
12/9/2020	20-033	9701 Belleville Road	Meijer Addition	Final Site Plan
12/9/2020	20-034	6703 Haggerty Road	Neapco Addition	Final Site Plan

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
2021 MEETING SCHEDULE**

Planning Commission Meetings are held on the 2nd and 4th Wednesday of each month at
7:30 p.m. in the Board of Trustees Room at Township Hall, 46425 Tyler Road
Van Buren Township, MI 48111.

**January 13, 2021
January 27, 2021
February 10, 2021
February 24, 2021
March 10, 2021
March 24, 2021
April 14, 2021
April 28, 2021
May 12, 2021
May 26, 2021
June 9, 2021
June 23, 2021
July 14, 2021
July 28, 2021
August 11, 2021
August 25, 2021
September 8, 2021
September 22, 2021
October 13, 2021
October 27, 2021
November 10, 2021
December 8, 2021**

In compliance with the Americans with Disabilities Act, reasonable accommodations will be
made available with advance notice.

For more information, please call the Department of Public Services at (734) 699-8913



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: Michigan Public Meeting Procedures in 2021

DATE: November 30, 2020

The State of Michigan has enabled the continuation of remote public meetings through 2020 and enacted rules governing remote public meetings for the year 2021 via Public Act 228 of 2020, which is an amendment to the State's Open Meetings Act (PA 267 of 1976). These rules will govern remote public meetings held by the Planning Commission in 2021.

Within the rules set forth under PA 228 of 2020, under a State of Emergency declared locally or by the State of Michigan, Planning Commission members may participate remotely in public meetings. Members must declare that they are attending remotely and from where they are attending, and must be enabled to participate via two-way communication.

A full summary of PA 228 of 2020 is provided on the following pages courtesy of the Michigan Townships Association.

I look forward to navigating the remote public meeting process with the Planning Commission. If any questions arise, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', written in a cursive style.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren



Township Meetings and Facilities Under Public Act 228 of 2020 (Senate Bill 1108), effective October 16, 2020, and **REVISED** MDHHS Emergency Order November 18, 2020-- “Gatherings and Face Mask Order”

Under the [MDHHS Order](#) effective November 18, 2020, **ALL indoor meetings of a public body must be held completely virtually**, if at all, between Nov. 18 and Dec. 8, 2020. The Open Meetings Act, as amended by Public Act 228 of 2020, allows virtual meetings to be held for or any reason through Dec. 31, 2020. See Page 6 for more on the Order.

Open Meetings Act Options for Electronic Meetings

On **Oct. 16, 2020**, [Senate Bill 1108 was signed into law, with immediate effect, by the governor as Public Act 228 of 2020](#), amending the Open Meetings Act to provide:

From March 18, 2020, until Dec. 31, 2020:

- **Physical quorum and location NOT required.** Meetings held “electronically” (by telephonic or video conferencing) in whole or in part **since March 18, 2020, and through Dec. 31, 2020**, if held in compliance with new section 3a. and the OMA provisions regarding nonelectronic (*in-person*) meetings, are valid under any circumstances, **including but not limited to**, absence of any member of the public body due to:
 - Military duty
 - Medical condition, defined as “an illness, injury, disability, or other health-related condition”
 - Statewide or local state of emergency or state of disaster declared pursuant to law or charter by the governor or a local official or local governing body that would risk the personal health or safety of the members of the public or public body if the meeting were held in person
 - Note that the only authority at the township level to declare a state of emergency is under the [Emergency Management Act](#), which provides that a township supervisor in a township that has appointed an emergency management coordinator under the act may declare a local state of emergency but only in the circumstances provided in the act and cannot be continued or renewed for more than seven days unless the township board consents. ([MCL 30.410](#), see excerpt below)

From Jan. 1, 2021, until Dec. 31, 2021:

Electronic meetings will be allowed **only in limited circumstances.**

- **Military duty and medical condition.** These circumstances apply to individual members, and only those members may participate remotely. The other members must be physically present to participate. A member of a public body may **participate** electronically due to the following:
 - Military duty (***Only the member absent due to military participation may participate remotely.***)
 - Medical condition defined as an illness, injury, disability or other health-related condition (***Only the member absent due to this reason may participate remotely.***)
 - Any other member who is not on military duty or does not have a medical condition must be physically present at the meeting to participate.
- **Statewide or local state of emergency or state of disaster.** This circumstance could apply to individual members or the entire public body, allowing a meeting to be held completely electronically, without a quorum physically present.
 - Statewide or local state of emergency or state of disaster declared that would risk the personal health/safety of the public or members of the public body.
 - Only to permit the electronic meeting of a public body that usually holds its meetings in the affected area, and only to permit the electronic attendance of a member of the public body who resides in the affected area.
 - Note that the only authority at the township level to declare a state of emergency is under the [Emergency Management Act](#), which provides that a township supervisor in a township that has appointed an emergency management coordinator under the act may declare a local state of emergency but only in the circumstances provided in the act and cannot be continued or renewed for more than seven days unless the township board consents. ([MCL 30.410](#), see excerpt below)

Starting Jan. 1, 2022:

Military duty. All meetings must be conducted in-person, including a quorum of all other attendees physically present in the meeting place, with the **sole exception** of a member participating electronically due to:

- Military duty (***Only the member absent due to military participation may participate remotely.***)
- Any other member who is not on military duty or does not have a medical condition must be physically present at the meeting to participate.

Conducting electronic meetings (and meetings with members participating electronically):

- An electronic meeting must be conducted in a manner that permits two-way communication between members and participants (*at a minimum--everyone can hear everyone else*).
- Technology may be used to facilitate typed public comments during the meeting submitted by members of the public participating in the meeting that may be read to or shared with members of the public body and other participants to satisfy the requirement that members of the public be permitted to address the electronic meeting (*public comment period and public hearings*) and be heard by others during the electronic meeting.
- Members of a public body and the public participating electronically in a meeting are considered present and in attendance at the meeting for all purposes. (*Including voting for members of the public body participating electronically*)
- Each member of the public body attending a meeting remotely must announce at beginning of meeting they are participating remotely and, except for military absence, must identify the county, city, township, or village and state from which they are attending remotely.
- If a public body directly or indirectly maintains an official internet presence that includes monthly or more frequent updates of public meeting agendas or minutes, the public body must, in addition to other notices that may be required under the OMA, post advance notice of a meeting held electronically on a portion of the website that is fully accessible to the public—on either the homepage or a separate webpage dedicated to public notices for special meetings or electronic public meetings with a “prominent and conspicuous” link on the website’s homepage that clearly describes its purpose for public notification of special meetings or electronic public meetings.
 - Any scheduled meeting of a public body to be held as an electronic meeting must have notice posted at least 18 hours before the meeting begins.
 - Notice must clearly explain all of the following:
 - Why the public body is meeting electronically
 - How members of the public may participate in the meeting electronically. If a telephone number, internet address, or both are needed to participate, that information must be provided specifically
 - How members of the public may contact members of the public body to provide input or ask questions on any business that will come before the public body at a meeting
 - How persons with disabilities may participate in the meeting
- If an agenda exists for an electronic meeting and the public body directly or indirectly maintains an official internet presence that includes monthly or more frequent updates of public meeting agendas or minutes, the public body must make the agenda available at least two hours before the electronic meeting begins on a portion of the website that is fully accessible to the public. This “publication” of the agenda does not prohibit subsequent amendment of the agenda at the meeting.
- A public body cannot require a person to register or provide his or her name or other information, or require a person to otherwise fulfill a “condition precedent” as a condition of participating in an electronic meeting, other than mechanisms established and required by the public body necessary to

permit the person to participate in a public comment period of the meeting. *(Log-in information may be required by the virtual meeting platform/software/service.)*

- Members of the public are excluded from participating in a closed session of a public body held electronically, if that closed session complies with the act.

Declaring a local state of emergency:

**EMERGENCY MANAGEMENT ACT (EXCERPT)
Act 390 of 1976**

30.410 Powers of county and municipality: mutual aid or reciprocal aid agreements or compacts; assistance of emergency management coordinator.

Sec. 10.

(1) **Each county and municipality that has appointed an emergency management coordinator under section 9 may do 1 or more of the following:**

(a) Direct and coordinate the development of emergency operations plans and programs in accordance with the policies and plans established by the appropriate federal and state agencies. Each department or agency of a county or municipality specified in the emergency operations plan to provide an annex to the plan shall prepare and continuously update the annex providing for emergency management activities, including mitigation, preparedness, response, and recovery, by the department or agency and those other emergency activities the department or agency is specified to coordinate. Emergency operations plans and programs developed under this subsection shall include provisions for the dissemination of public information and local broadcasters shall be consulted in developing such provisions. Emergency operations plans and programs developed under this subdivision shall include local courts.

(b) **Declare a local state of emergency if circumstances within the county or municipality indicate that the occurrence or threat of widespread or severe damage, injury, or loss of life or property from a natural or human-made cause exists and, under a declaration of a local state of emergency, issue directives as to travel restrictions on county or local roads. This power shall be vested in the chief executive official of the county or municipality or the official designated by charter and shall not be continued or renewed for a period in excess of 7 days except with the consent of the governing body of the county or municipality. The declaration of a local state of emergency shall be promptly filed with the emergency management division of the department, unless circumstances attendant upon the disaster prevent or impede its prompt filing.**

(c) Appropriate and expend funds, make contracts, and obtain and distribute equipment, materials, and supplies for disaster purposes.

(d) Provide for the health and safety of persons and property, including emergency assistance to the victims of a disaster.

(e) Direct and coordinate local multi-agency response to emergencies within the county or municipality.

(f) Appoint, employ, remove, or provide, with or without compensation, rescue teams, auxiliary fire and police personnel, and other disaster workers.

(g) Appoint a local emergency management advisory council.

(h) If a state of disaster or emergency is declared by the governor, assign and make available for duty the employees, property, or equipment of the county or municipality relating to fire fighting; engineering; rescue; health, medical, and related services; police; transportation; construction; and



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power– Director of Planning and Economic Development

RE: Planning Commissioner Trainings in 2021

DATE: November 30, 2020

All members of the Planning Commission should attend a minimum of two (2) Township approved training classes or sessions annually according to the Township's adopted Planning Commission bylaws. After delays and cancellations of several key training opportunities in the Spring of 2020, trainings have taken on a new and largely remote format over the course of the remainder of the year and are likely to continue to do so in 2021. I will keep a log of training opportunities and update the Planning Commission regularly of training opportunities in 2021. In the meantime, if you have questions about trainings or educational opportunities, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Power', written in a cursive style.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren

Applicant Plans and Submittals

Applicant Plans and Submittals for Planning Commission Review:

VBT Case 20-006

Ashley Crossroads South

41873 Ecorse Road

Final Site Plan

41965 ECORSE ROAD, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN

ITC CORRIDOR (PER VAN BUREN TOWNSHIP ASSESSOR) - A PARCEL OF LAND IN THE EAST HALF (E 1/2) OF SECTION 15, TOWN 3. SOUTH, RANGE 6. EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN.
DESCRIBED AS FOLLOWS:

COMMENCING FROM THE N 1/4 SECTION CORNER OF SAID SECTION 11; THENCE N89°21'W, 350.02 FEET; ; THENCE S01°24'E, 397.50 TO THE POINT OF BEGINNING; THENCE S01°24'E, 933.93 FEET; THENCE N89°18'E, 347.70 FEET; THENCE N01°24'W, 484.63 FEET; THENCE S89°24'28"W, 805.54 FEET; THENCE S89°48'35"W, 1403.49 FEET; THENCE N00°54'W, 238.18 FEET; THENCE N89°48'35"W, 1404.53 FEET; THENCE N89°24'28"W, 806.78 FEET; THENCE N01°24'W, 158.15 FEET; THENCE S89°21'W, 207.20 FEET; THENCE N45°11'45"W, 58.53 FEET TO THE POINT OF BEGINNING AND ALSO INCLUDING THE WESTERN 350 FEET. OF THE E 1/2 OF SEC 11 EXCLUDING THE NORTHERN 80 FEET; THENCE 59.62 AC

CROSSROADS SOUTH PARCEL #2 - A PARCEL OF LAND IN THE EAST ONE-HALF (1/2) OF SECTION 11, TOWN 9, SOUTH, RANGE 3, EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN.

[illegible]

CROSSROADS SOUTH PARCEL #2 - A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER (1/4) OF SECTION 11, TOWN 3, SOUTH, RANGE 8, EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN

COMMENCING AT THE EAST ONE-QUARTER (1/4) CORNER OF SECTION 11; TOWNS 3 SOUTH, RANGE 8 EAST, AND PROCEEDING THENCE ALONG THE EAST AND WEST ONE-QUARTER (1/4) LINE OF SAID SECTION 11, N. 89° 52' 30" W., 1.384,78; THENCE S. 00° 12' 44" W., 1.275,76 TO THE POINT OF BEGINNING OF THE PALMS HERE DESCRIBED; THENCE S. 00° 12' 44" W., 394,79; THENCE N. 89° 02' 33" W., 500,82; THENCE N. 00° 28' 45" E., 875,17; THENCE S. 89° 31' 15" W., 554,71; THENCE N. 00° 28' 45" E., 73,82; THENCE S. 89° 02' 33" E., 1,861,25 TO THE POINT OF BEGINNING, CONTAINING 115.56 ACRES.

1. SITE AT LOT CORRIDOR ARE ZONED AS A LIGHT INDUSTRIAL.

2. PROPOSED ACCESSORY USE (TRAILER STAGING) FOR THE EXISTING BUILDING NO. 5.

3. EXISTING BUILDING (PER USE AREAS BY SMITH GROUP PROJECT 202112103):

CRS SITE AREA = 7.25 ACRES

CRS BUILDING FLOOR AREA = 117,201 SF

WAREHOUSE AREA = 107,702 SF

OFFICE AREA = 10,763 SF (TWO STORIES)

GRS FLOOR AREA = 10,645 SF

CRS BUILDING COVERAGE = 34.9%

4. REQUIRED MINIMUM BUILDING SETBACKS:

FRONT = 80 FT

SIZE = 40 FT

REAR = 40 FT

5. PARKING REQUIREMENTS FOR BUILDING NO. 3

VAN/BIKEN PARKING REQUIREMENT FOR WAREHOUSE / OFFICE:

= 1 SPACE / 1,000 SF WAREHOUSE / 1 SPACE / 300 SF (OFFICE)

= 1 / 107,702 / 3,260 = 14.7811 - 116 SPACES REQUIRED

EXISTING PARKING AREAS = 116 SPACES (INCLUDING 6 A.D.A. SPACES)

6. LOADING & UNLOADING WILL OCCUR AT EXISTING LOADING DOCKS & GRADE DOORS ON REAR OF THE BUILDINGS.

MAXIMUM TRUCK DOCKS FOR WAREHOUSE PER VAN/BIKEN TRUCK CRANEAGE:

= 1 TRUCK DOCK / 1,000 SF DOCKS ON FLOOR AREA

= 10,645 / 1,000 = 10 TRUCK DOCKS ALLOWED

EXISTING TRUCK DOCKS = 10

7. NO ADDITIONAL DOCKS OR GRADE LEVELS ARE PROPOSED BY THIS SITE PLAN.

8. ALL SITE LIGHTING SHALL BE SHIELDED OR DIRECTED TO REMAIN WITHIN THE SITE BOUNDARIES. THIS SHALL INCLUDE SHIELDING FROM VIEW FROM OFF-SITE THE NORTH OR SOUTH.

9. SIGNAGE ARE PROPOSED BY THIS SITE PLAN.

10. OWNER AGREES TO REASONABLE MAINTENANCE PROGRAM AND WILL REPLACE ALL DESIGNED DRAIN, ON DAMAGED PLANTS, REFILL/REPLACE MULCH, CONTROL WEEDS, FERTILIZE AND PEST. BEGINNING UPON COMPLETION OF CONSTRUCTION OF LANDSCAPING.
11. PROPOSED MATERIALS ARE PROHIBITED TO BE USED, STORED, OR PLACED ON SITE BY THIS SITE PLAN.
12. OWNER AGREES TO PICK UP DEBRIS ON PROPERTY AND KEEP DEBRIS FROM BLOWING OFF PROPERTY WEEKLY OR AS NEEDED.
13. EXISTING LINES, UTILITIES, WALKWAYS, SIGNAL, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AND ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPS AND MARKING SHALL BE MAINTAINED IN A CLEANLY-VISIBLE CONDITION.
14. NO CUTTING OF GRASS OR MOWING OF LAWN ON THIS SITE PLAN.
15. NO UNDERGROUND STORAGE TANKS ARE PROPOSED, BY THIS SITE PLAN.
16. NO ADDITIONAL TRAIL COMPACTORS ARE PROPOSED BY THIS SITE PLAN.
17. THERE ARE NO KNOWN WETLANDS ON SITE.
18. WALKWAYS/BIKEWAYS PARKING SIGNS ARE PLACED IN FRONT OF A.D.A. ACCESSIBLE PARKING SPACES.
19. AT THE TIME THAT EXISTING PARKING LOTS ARE RE-SHIPPED (PAVING) THEY ARE TO BE DOUBLE STRIPPED PER ILL. BUREAU OF HIGHWAY REQUIREMENTS: ORAINANCE B6T, 11.010G, AND 11.010H AND TO BE TRULY FLAT AT THE SOUTHERN MOST END OF THE SITE NOT APPROVED BY THE TOWNSHIP.
20. PROPOSED CHANGES TO THE SITE OUTSIDE OF THE 2' BUILDING FOOTPRINT AREA (THE PROPOSED) BE TRULY STRIPPED GRASSY WITHIN 10' CONVEYANCE ARE EXCLUDED FROM THIS SITE PLAN.
21. TOPOGRAPHIC SURVEY COMPLETED BY RAD SURVEYORS, INC. PROJECT NO. 2014-04.
22. THE OWNER/DEVELOPER IS RESPONSIBLE FOR RESOLVING DRAINAGE PROBLEMS ON ADJACENT PROPERTIES THAT ARE A DIRECT RESULT OF THE PROPOSED IMPROVEMENTS SHOWN ON THIS SITE PLAN.
23. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL CONDITIONS OF ILL. BUREAU OF HIGHWAY.
24. THE APPLICATION FOR REVISIONS TO RESOLVE DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WILL BE A RESULT OF THE FOLLOWING ACTIONS.

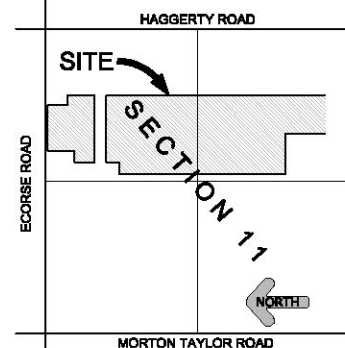
- SOIL EROSION PERMIT - W.C.D.P.R.A.FRM
- VAN BUREN TOWNSHIP SITE PLAN APPROVAL (UNOFFICIAL)
- VAN BUREN TOWNSHIP SITE INSPECTION APPROVAL
- VAN BUREN TOWNSHIP EROSION PERMIT

MR. DENNIS SCHULTZ
ASHLEY CROSSROADS SOUTH, L
2575 HAGGERTY ROAD, SUITE 60
CANTON, MICHIGAN 48116
T (734) 394-1900
F (734) 394-1225
E dschultz@ashleyscapital.com

C1 COVER SHEET & OVERALL SITE PLAN
C2 GENERAL PLAN - ITC CORRIDOR
C3 GENERAL PAVING DETAILS & CONSTRUCTION NOTES
C4 S.E.S.C. NOTES & DETAILS
ST-1 VBT STORM SEWER DETAILS
MD-1 VBT MISCELLANEOUS DETAILS

L1 LANDSCAPE PLAN (FELINO A. PASCUAL & ASSOCIATES)
P1 PHOTOMETRIC PLAN (MICHIGAN LIGHTING SYSTEMS)

WEBB ENGINEERING, INC. PROJECT No. 16.216
C3 EX. DETENTION BASIN & PROP. FIRST FLUSH
BASIN AS-BUILT, OCTOBER 18, 2019
06 STORM SEWER CALC'S & PROFILES



LOCATION MAP
NO SCALE

Shelley & Miller - Van Buren, Tennessee
734-754-0000
Fax: 734-688-0000 (after hours)

The Van Buren Job Development
734-754-0000 (after emergency)

Polson - Van Buren Job Development
734-754-0000 (after emergency)

Western Church (DPS)
8000 Madison Avenue
Madison, MI 48106
Tel: 734-982-0924
Fax: 734-982-0900

Telephones - AT&T
Local - 734-982-0924
Toll-free 1-800-445-7669
Toll-free 1-800-445-7669
Fax: 734-982-0900

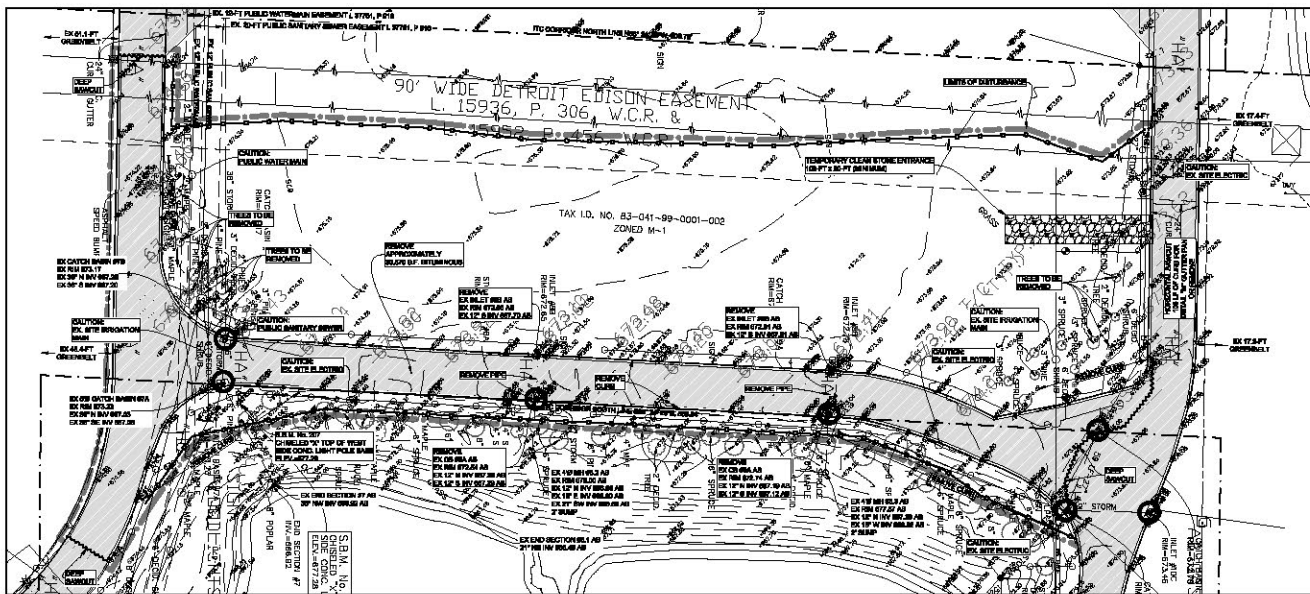
Telephones - AT&T, B.O.W. (Central, Customer)
734-982-0900

Miss - Community Center
1501 Parkview
Lynn, MI 49450
Tel: 734-954-6277
Fax: 734-954-6200
Emergency: 001-414-0000

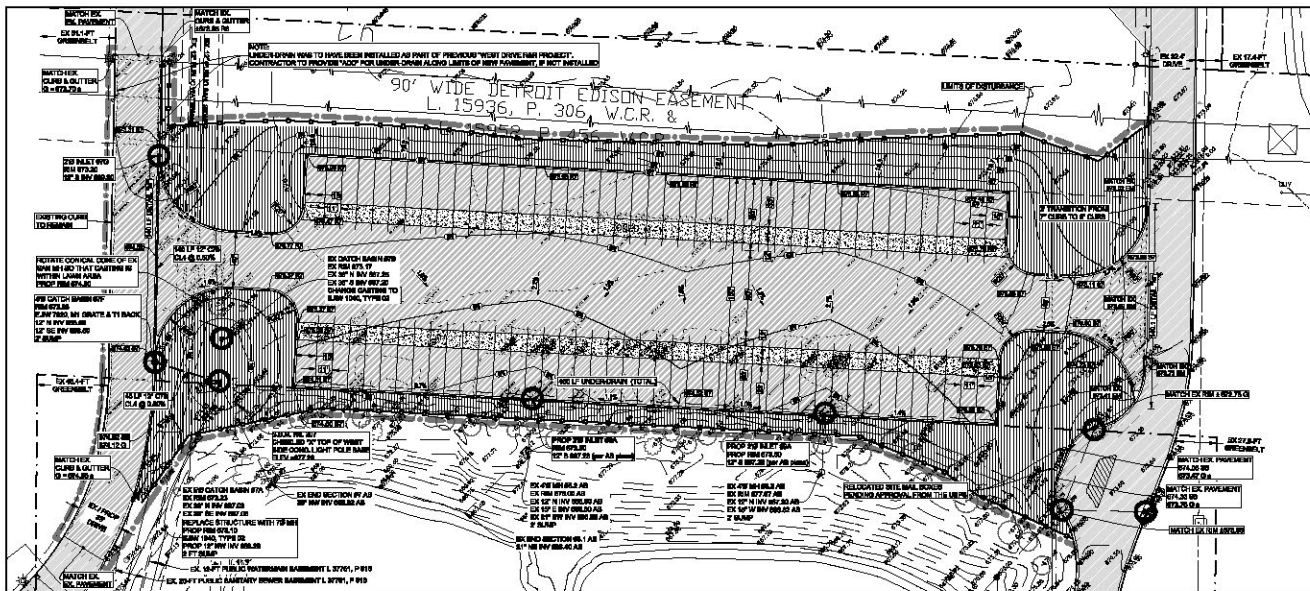
Director - DTE Energy
6001 Highway 50
Livonia, MI 48150
Tel: 734-980-0910
Fax: 734-987-0000

112 - Local Emergency and Crime
2715 E. Grand Ave.
Mad., MI 48207
Tel: 734-641-7676
Fax: 844-646-3600

Domestic Violence Department
4112 Concord Road
Plymouth, MI 48170
Tel: 734-982-2010
Fax: 944-983-0000

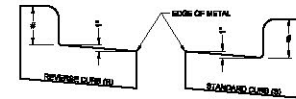


EXISTING CONDITIONS - ITC CORRIDOR



PROPOSED IMPROVEMENTS - ITC CORRIDOR

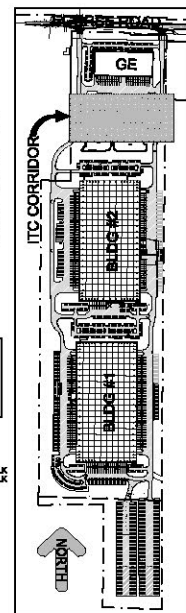
- GRADING NOTES:**
1. MINIMUM BITUMINOUS PAVEMENT SLOPE IS 1%.
 2. MINIMUM THICKNESS CONCRETE OUTLET PAV SLOPE IS 1%.
 3. PRIOR TO INSTALLATION OF CURBS OR PAVING, CONTRACTOR TO CONTACT OWNER AND PAIING CONSULTANT FOR INSPECTION OF SUBGRADE. AT THIS INSPECTION PAVING CONSULTANT MAY SPECIFY ADDITIONAL UNDER DRAINAGE BE INSTALLED.
 4. PROPOSED GRADES THAT MAY BE EXISTING FROM PREVIOUS INTERPOLATED FROM EXISTING TOPOGRAPHIC SURVEY DATA. DURING CONSTRUCTION STAGING SURVEYOR TO VERIFY GRADES AND INFORM DESIGN ENGINEER IF PROPOSED DRAINAGE PATTERN WILL NOT FUNCTION AS INTENDED.
 5. IT IS THE INTENTION OF THESE PLANS FOR THE EXISTING DRAINAGE PATTERN TO REMAIN FOR PAYMENT TO REMAIN. CONTRACTOR WILL BE RESPONSIBLE FOR ANY FLOODING OF WATER THAT MAY OCCUR. IF CONTRACTOR DETERMINES THAT POSITIVE DRAINAGE WILL NOT OCCUR, CONTACT DESIGN ENGINEER.



FOR OUTER GRADES
REVERSE CURB = EDGE OF METAL + 1 (CURB)
STANDARD CURB = MIDDLE OF METAL - 1 (CURB)

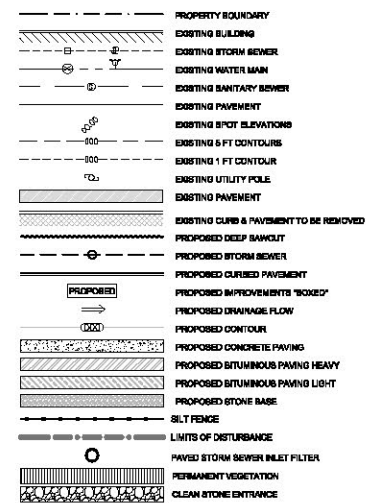
SEE CURB DETAILS FOR ADDITIONAL DIMENSIONS & DETAILS

PROPOSED CURB GRADES



KEY MAP
1 INCH = 500 FEET

LEGEND



Webb Engineering
call after 5pm
314 Pauline Boulevard
Ann Arbor, Michigan 48103
office 248.783.1105
fax 248.783.1109
email info@webbeng.com

811
Know what's below.
Call before you dig.

AshteyCapital
ASHLEY CARROLL
SOUTH, LLC
call each morning Mon. thru Sat.
248.783.1105
248.783.1109
info@ashteycapital.com

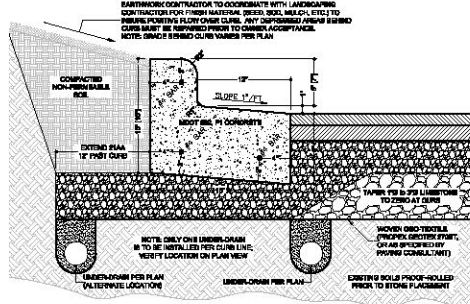
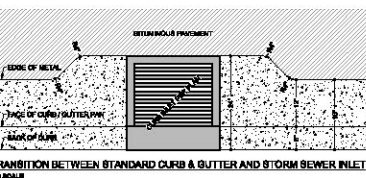
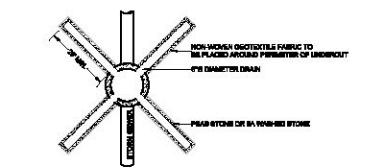
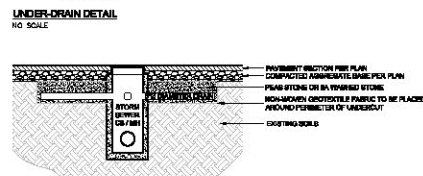
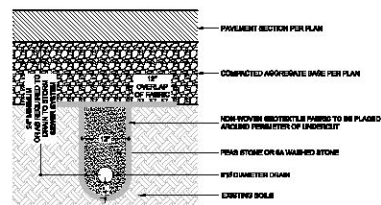
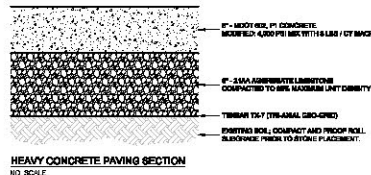
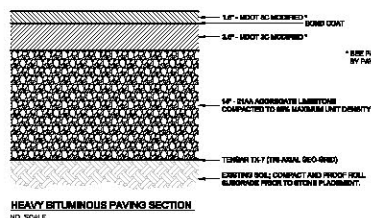
SUBMITTALS & REVISIONS

NO.	DATE	DESCRIPTION
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2	01/15/2019	ISSUED FOR PERMIT
3	01/15/2019	ISSUED FOR PERMIT
4	01/15/2019	ISSUED FOR PERMIT
5	01/15/2019	ISSUED FOR PERMIT
6	01/15/2019	ISSUED FOR PERMIT
7	01/15/2019	ISSUED FOR PERMIT
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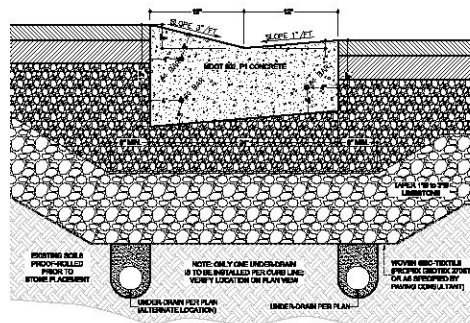
GENERAL PLAN
ITC CORRIDOR
CROSSROADS DISTRIBUTION CENTER - SOUTH
VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN

1 INCH = 40 FEET
MPL PROJECT NO. 20-292

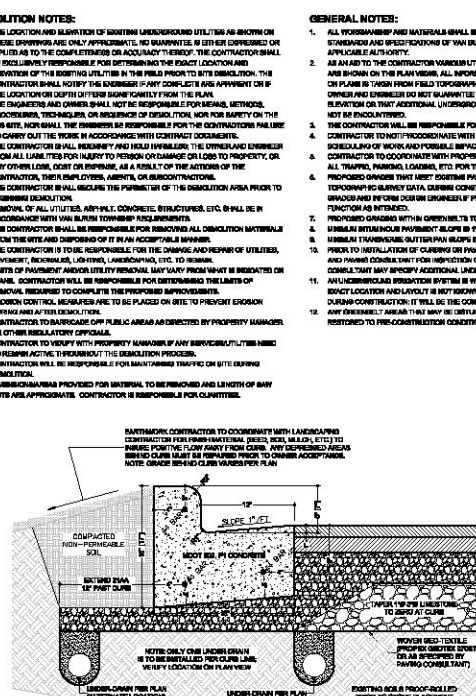
C2
CONSTRUCTION PLAN



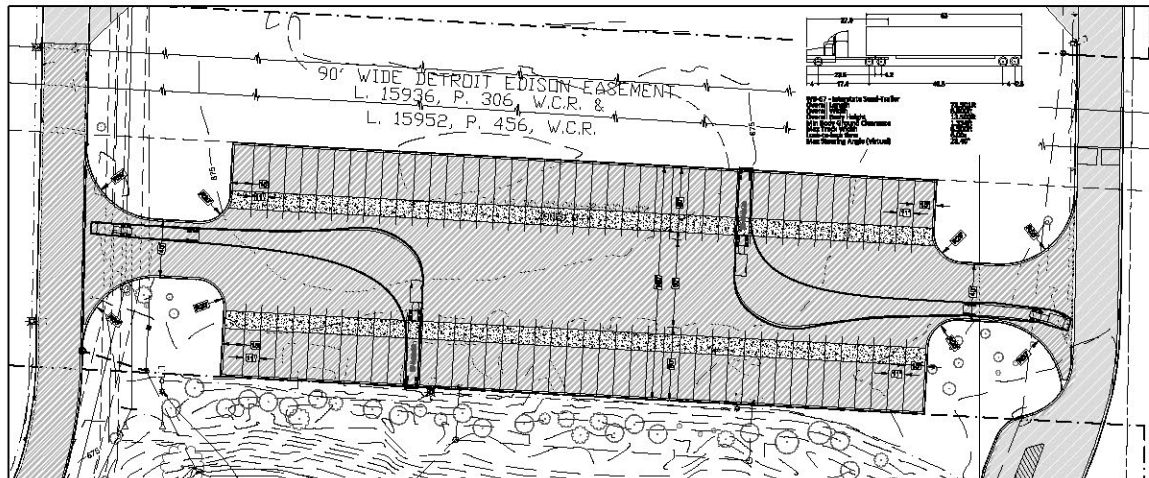
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NO SCALE



3" MOUNTABLE CURB DETAIL
NO SCALE



6" (7") CONCRETE CURB DETAIL
NO SCALE



TRACTOR - TRAILER "TRACKING PATH"

- DEMOLITION NOTES:**
1. THE LOCATION AND EXTENT OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO WARRANTY IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF THE EXISTING UTILITIES IN THE FIELD PRIOR TO SITE DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY AND ADVISE HIM OR HER OF THE LOCATION OR DEPTH OF ANY UTILITIES NOT SHOWN ON THE PLAN.
 2. THE ENGINEER AND OWNER SHALL NOT BE RESPONSIBLE FOR BEING, METHODS, PROCEDURES, TECHNIQUES, OR INCURRING OF DELAY, LOSS OR INJURY ON THE JOB SITE, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE EXISTING UNDERDRAIN FROM ALL LINES FOR INJURY TO PERSON OR DAMAGE TO LOSS TO PROPERTY OR ANY OTHER LOSS, COST OR INJURY, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS, OR SUBCONTRACTORS.
 4. THE CONTRACTOR SHALL SECURE THE PERIMETER OF THE DEMOLITION AREA PRIOR TO BEGINNING DEMOLITION.
 5. REMOVAL OF ALL UTILITIES, SANITARY, CONCRETE, STRUCTURES, ETC. SHALL BE IN ACCORDANCE WITH VAN BUREN TOWNSHIP REGULATIONS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEMOLITION MATERIALS FROM THE SITE AND DISPOSING OF IT IN AN ACCEPTABLE MANNER.
 7. THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE REMOVAL AND REPAIR OF UTILITIES, PROPERTY, STRUCTURES, UTILITIES, UNDERDRAINS, ETC. TO REMAIN.
 8. LIMITS OF PAYMENT AND/OR LIABILITY FOR REMOVAL MAY VARY FROM WHAT IS INDICATED ON PLANS. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE LIMITS OF REMOVAL, REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS.
 9. SLOPE CONTROL MEASURES ARE TO BE PLACED ON SITE TO PREVENT EROSION DURING AND AFTER DEMOLITION.
 10. CONTRACTOR TO MAINTAIN CLEAR OF PUBLIC AREAS AS DIRECTED BY PROPERTY MANAGER OR OTHER REGULATORY AGENCIES.
 11. CONTRACTOR TO VERIFY WITH PROPERTY MANAGER OF ANY SERVICES/UTILITIES NEEDED TO REMAIN ACTIVE THROUGHOUT THE DEMOLITION PROCESS.
 12. CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING TRAFFIC ON SITE DURING DEMOLITION.
 13. DIMENSIONS/AREAS PROVIDED FOR MATERIAL TO BE REMOVED AND LENGTHS OF ANY CUTS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR QUANTITIES.

- GENERAL NOTES:**
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF VAN BUREN TOWNSHIP AND ANY OTHER APPLICABLE ACTIVITY.
 2. AS AN AID TO THE CONTRACTOR, UNDERGROUND UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THE PLAN VIEWS. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON PLANS IS TAKEN FROM FIELD TOPOGRAPHY AND AVAILABLE RECORDS. BUT THE OWNER AND ENGINEER DO NOT WARRANT THE EXACT LOCATION OR DEPTH OR THAT ADDITIONAL UNDERGROUND UTILITIES AND/OR STRUCTURES WILL NOT BE ENCOUNTERED.
 3. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
 4. CONTRACTOR TO NOTIFY PROCEEDING WITH THE PROPERTY MANAGER FOR SCHEDULE ANY WORK AND POSSIBLE IMPACT TO TRAFFIC AND ADJACENT PROPERTIES.
 5. CONTRACTOR TO COORDINATE WITH PROPERTY MANAGER TO MAINTAIN ACCESS FOR ALL TRAFFIC, TRAILERS, LOADS, ETC. FOR THE DURATION OF THE PROJECT.
 6. PROPOSED CHANGES THAT MUST BE MADE PRIOR TO BEGINNING DEMOLITION FROM TOPOGRAPHIC SURVEY DATA DURING CONTRACTOR'S SURVEY, SURVEYOR TO VERIFY CHANGES AND BEFORE DEMOLITION UNLESS IF PROPOSED CHANGES WILL NOT AFFECT FUNCTION AS INTENDED.
 7. PROPOSED CHANGES WITHIN CORRESPOND TO BE 1/4" IN OR FLATTER.
 8. SIMILAR MATERIALS TO EXISTING SHALL BE 1/4" IN OR FLATTER.
 9. SIMILAR MATERIALS TO EXISTING SHALL BE 1/4" IN OR FLATTER.
 10. PRIOR TO INSTALLATION OF CURBING OR PAVING CONTRACTOR TO CONTACT OWNER AND VANDERBILT COUNTY FOR APPROVAL OF SUBMITTALS. AT THE INSPECTION PHASE COMPLETE THAT MAY BE REQUIRED ADDITIONAL UNDERDRAIN BE INSTALLED.
 11. IF UNDERDRAIN PROTECTION SYSTEM IS WITHIN THE LIMITS OF CONTRIBUTION, THE EXISTING LOCATION AND DEPTH IS NOT KNOWN. IF THE UNDERDRAIN PROTECTION IS DAMAGED DURING CONSTRUCTION IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
 12. ANY CHANGES TO PLANS THAT MAY BE REQUIRED DURING CONSTRUCTION ARE TO BE RETURNED TO THE CONTRACTOR'S DESIGN OR BETTER.

Webb Engineering
call design & printing
314 Pauline Boulevard
Ann Arbor, Michigan 48103
office 248-793-1105
fax 248-793-1109
email 248-793-1109@webbeng.com

811
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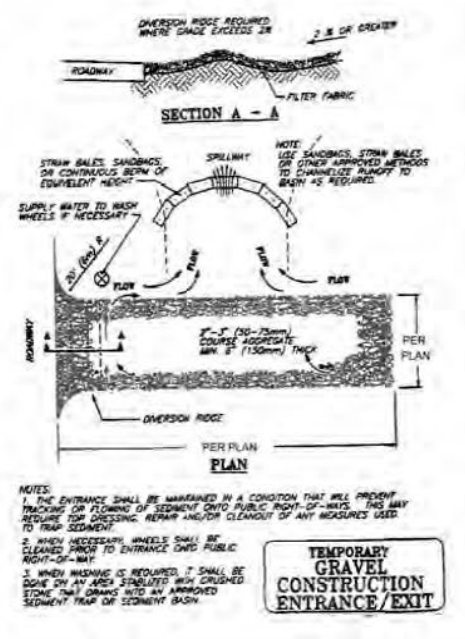
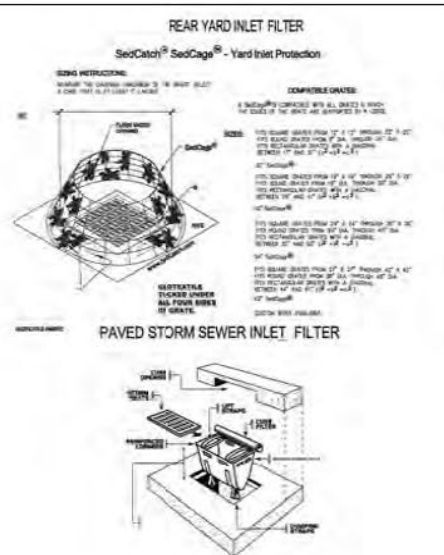
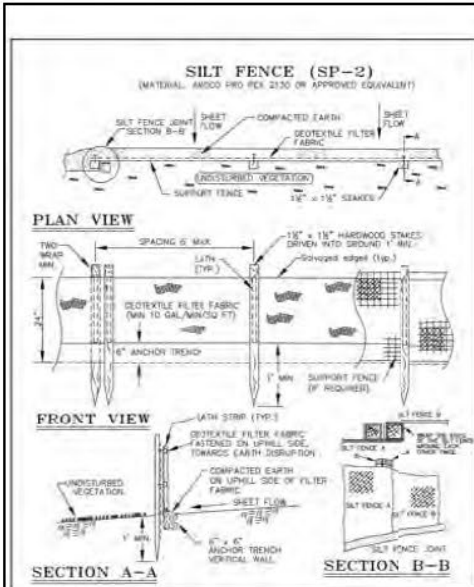
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ASHTLEY CAPITAL
SOUTH, LLC
201 South Main Street, Suite 100
Ann Arbor, MI 48106
Phone: 734.961.1000
Fax: 734.961.1001
Email: info@ashtleycapital.com

SUBMITTALS & REVISIONS
DATE: 10/01/2014
BY: J. L. SMITH
REVISION: 1
DESCRIPTION: 1.00
DATE: 10/01/2014
BY: J. L. SMITH
REVISION: 2
DESCRIPTION: 2.00
DATE: 10/01/2014
BY: J. L. SMITH
REVISION: 3
DESCRIPTION: 3.00

GENERAL PAVING DETAILS & CONSTRUCTION NOTES
CROSSROADS DISTRIBUTION CENTER - SOUTH
VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN

C3
CONSTRUCTION PLAN



GENERAL SOIL EROSION CONTROL NOTES:

1. CONTRACTOR MUST OBTAIN SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE WAYNE COUNTY DEPARTMENT OF ENVIRONMENT.
2. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF WAYNE COUNTY, IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
3. EROSION AND ANY SEDIMENT FROM WORK ON THE SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAIN LINES, LAKES, AND PONDS.
4. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION; SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORT OF SILT OFF SITE.
5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED AND AS DICTATED ON THESE PLANS. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED AND APPROVED BY THE AUTHORIZING AGENCY.
6. DURING THE PROJECT WILL BE LEFT ON THE SITE BY DELIVERY OR CONSTRUCTION VEHICLES THROUGH THE USE OF CLEAN STONE EXITS. SHOULD THE STONE BECOME LESS EFFICIENT IT WILL BE REPLACED. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE EXITS IMMEDIATELY AFTER BURNING, WHICH WILL BE MAINTAINED WITH UNWASHED SMALL DRIVEN STONE OR MAY SPREAD UNIFORMLY AT THE RATE OF 4-6 TONS PER ACRE FOR BEDROCK PER 1000 SF. ANOTHER METHOD WITH DIRT TYPE MULCH AND/OR STONE TOOL OR OTHER MEANS AS APPROVED BY THE AUTHORIZING AGENCY.
7. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGES HAVE BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY OCCURS, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN 90 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND/OR ESTABLISHED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
8. ALL CONTRACTORS ARE TO KEEP EXHAUSTED MATERIAL ON SITE. PARTICULAR CARE SHOULD BE TAKEN WHEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
9. ALL SEDIMENT BARRIERS, SLOPE SLOPES OF 8:1 OR STEEPER, DITCHES, SWALES, AND OTHER AREAS OF CONCENTRATED RUNOFF SHALL BE STABILIZED WITH REED AND MULCH (MINIMUM PER LINEAL FOOT, 100 LB).

SITE SPECIFIC - SOIL EROSION NOTES:

1. SOIL TYPE: SILTY BROWN CLAY
2. NO WETLANDS ARE ON SITE.
3. NO FLOOD PLAIN ON SITE.
4. LIMITS OF CONSTRUCTION AREA: SEE ACHS
5. STORM WATER OUTLETS TO THE MANHOLE/PIPE ORANGE 6 FEET FROM SITE BOUNDARY

MAINTENANCE REQUIREMENTS:

1. STREET GRADING - DAILY
2. STREET CLEANING - ONCE WEEKLY (MINIMUM)
3. STRUCTURAL SEDIMENT CONTROLS - REPORT AND MAINTAIN ON A WEEKLY BASIS. RECORD IN A LOGBOOK ONCE A WEEK AND WITHIN 90 DAYS OF A STORM EVENT AS REQUIRED BY A P.E. PERMIT.
4. SEDIMENT BASIN AND POND MAY CLEAN-OUT (MANUAL, MECHANICAL) - MUST HAVE PERMANENT ACCESS FOR CLEAN OUT AND PREVENT STONE REPLACEMENT OF THE PUMP PIPE (STANDARD)

RESTORATION REQUIREMENTS:

- PRIOR TO FINAL INSPECTION, THE FOLLOWING ITEMS PLUS ITEMS ON THE APPROVED S.E.R.C. PLAN & S.E.R.C. PERMIT:
1. ALL DISTURBED AREAS PERMANENTLY STABILIZED WITH VEGETATION OR LAID SUPPLIES.
 2. ACCUMULATED SEDIMENT REMOVED FROM THE ENTIRE STORM DRAIN SYSTEM.
 3. ACCUMULATED SEDIMENT REMOVED FROM THE SEDIMENT AND DETENTION BASINS.
 4. RETURN SEDIMENT AND DETENTION BASINS TO DESIGN STANDARD.
 5. REMOVE ALL TEMPORARY CONTROLS AFTER RECEIVING APPROVAL BY WAYNE COUNTY SOIL EROSION INSPECTOR.

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

START	END	SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION
10/1/2020	10/1/2020	1. INITIAL SILT FENCE AND EROSION CATCH BASIN FILTERS, DAY 1 OF EARTH DISTURBANCE.
10/1/2020	10/30/20	2. SITE & STOCKPILE TOP SOIL.
10/1/2020	10/30/20	3. MINOR GRADING.
10/30/20	10/30/20	4. INSTALL UTILITIES (I.E. STORM SEWERS).
10/30/20	10/30/20	5. PLACE SILT FILTERS ON NEW STORM SEWERS.
10/30/20	10/30/20	6. FINISH GRADING.
10/30/20	10/1/2021	7. INSTALL PAVEMENT BASE MATERIAL.
10/1/2021	10/1/2021	8. INITIAL PAVEMENT COMPLETE.
10/1/2021	10/1/2021	9. INSTALL TOP SOIL & GRASS IN ALL DISTURBED AREAS.
10/1/2021	10/1/2021	10. CLEAN OUT STORM DRAIN SYSTEM.
10/1/2021	10/1/2021	11. REMOVE SILT FENCE AND CATCH BASIN FILTERS FOLLOWING RECEIVING APPROVAL (CALL FOR FINAL INSPECTION).

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3115 N. Main Street
Ann Arbor, Michigan 48106
Office: 734.769.1100
Fax: 734.769.1100
www.webb-engineering.com

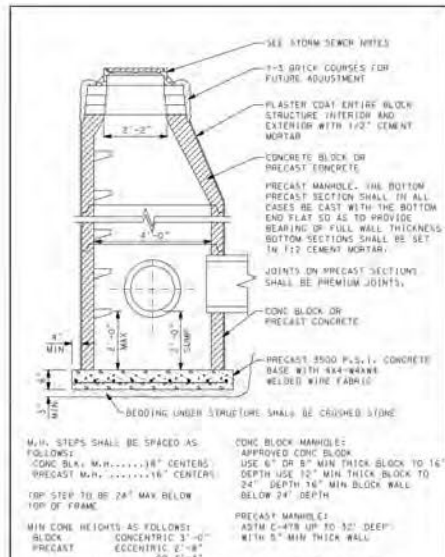
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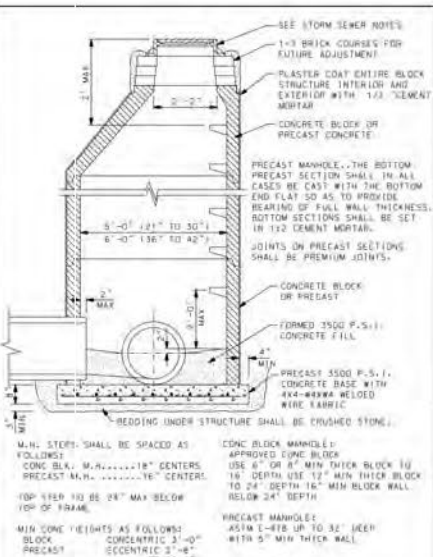
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S.E.R.C. NOTES & DETAILS
CROSS-SECTION DISTRIBUTION CENTER - SOUTH
WAYNE COUNTY, MICHIGAN

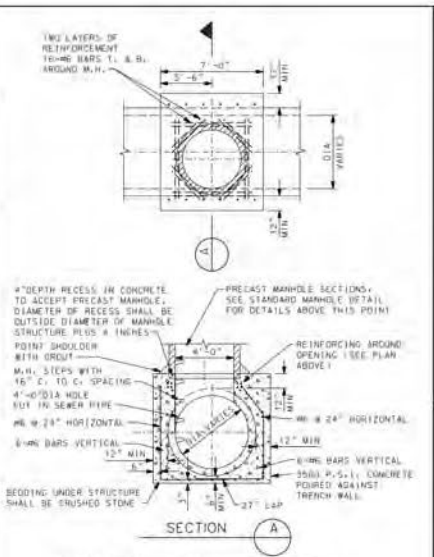
C4
CONSTRUCTION PLAN



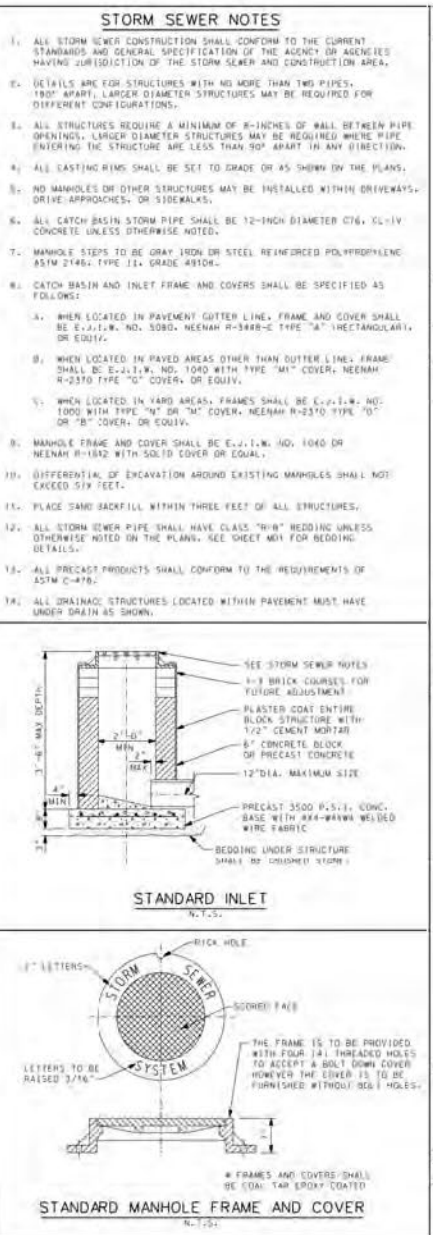
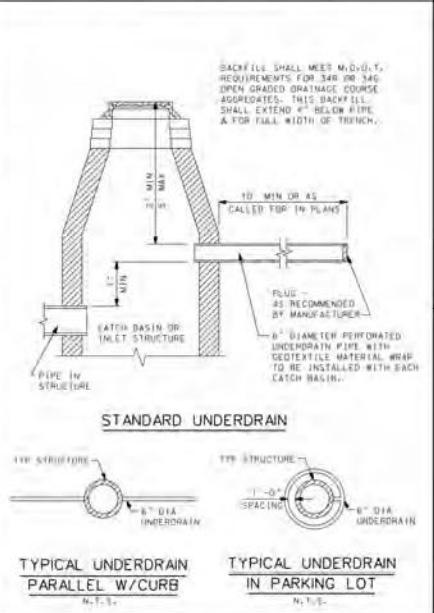
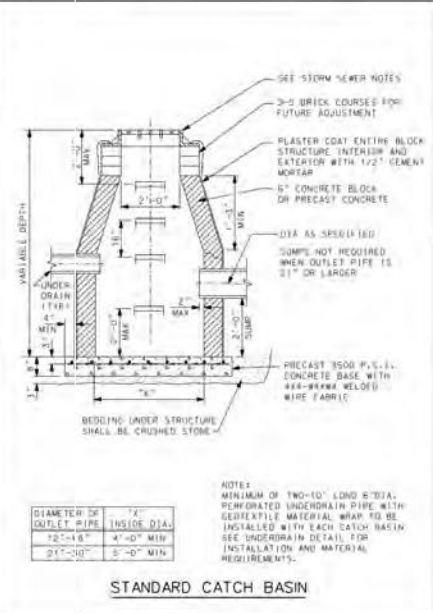
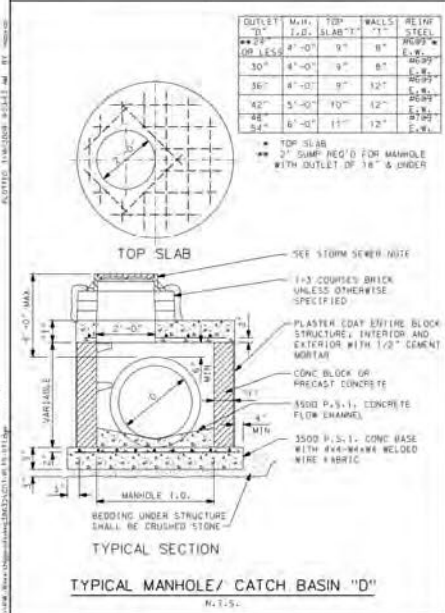
STANDARD STORM MANHOLE FOR SEWERS WITH OUTLETS OF 18" & UNDER
N.T.S.



STANDARD STORM MANHOLE FOR SEWERS 21" TO 42"
N.T.S.



STANDARD STORM MANHOLE FOR 48" & LARGER SEWERS
N.T.S.



STORM SEWER NOTES

1. ALL STORM SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE AGENCY OR AGENCIES HAVING JURISDICTION OF THE STORM SEWER AND CONSTRUCTION AREA.
2. DETAILS ARE FOR STRUCTURES WITH NO MORE THAN TWO PIPES, 180" APART. LARGER DIAMETER STRUCTURES MAY BE REQUIRED FOR DIFFERENT CONFIGURATIONS.
3. ALL STRUCTURES REQUIRE A MINIMUM OF 8-INCHES OF WALL BETWEEN PIPE OPENINGS. LARGER DIAMETER STRUCTURES MAY BE REQUIRED WHERE PIPE ENTERING THE STRUCTURE ARE LESS THAN 90° APART IN ANY DIRECTION.
4. ALL CASTING RIMS SHALL BE SET TO GRADE OR AS SHOWN ON THE PLANS.
5. NO MANHOLES OR OTHER STRUCTURES MAY BE INSTALLED WITHIN DRIVEWAYS, DRIVE APPROACHES, OR SIDEWALKS.
6. ALL CATCH BASIN STORM PIPE SHALL BE 12-INCH DIAMETER STD. XLV CONCRETE UNLESS OTHERWISE NOTED.
7. MANHOLE STEPS TO BE GRAY IRON OR STEEL REINFORCED POLYPROPYLENE ASTM 2446, TYPE II, GRADE 4910M.
8. CATCH BASIN AND INLET FRAME AND COVERS SHALL BE SPECIFIED AS FOLLOWS:
 - A. WHEN LOCATED IN PAVEMENT CUTTER LINE, FRAME AND COVER SHALL BE E.J.L.W. NO. 5080, NEENAH R-3488-C TYPE "A" (RECTANGULAR), OR EQUIV.
 - B. WHEN LOCATED IN PAVED AREAS OTHER THAN CUTTER LINE, FRAME SHALL BE E.J.L.W. NO. 1040 WITH TYPE "M" COVER, NEENAH R-3510 TYPE "D" COVER, OR EQUIV.
 - C. WHEN LOCATED IN HARD AREAS, FRAMES SHALL BE E.J.L.W. NO. 1000 WITH TYPE "M" OR "D" COVER, NEENAH R-3510 TYPE "D" OR "B" COVER, OR EQUIV.
9. MANHOLE FRAME AND COVER SHALL BE E.J.L.W. NO. 1040 OR NEENAH R-1842 WITH SOLID COVER OR EQUAL.
10. DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED 5/16 FEET.
11. PLACE SAME BACKFILL WITHIN THREE FEET OF ALL STRUCTURES.
12. ALL STORM SEWER PIPE SHALL HAVE CLASS "B" BEDDING UNLESS OTHERWISE NOTED ON THE PLANS. SEE SHEET M-1 FOR BEDDING DETAILS.
13. ALL PRECAST PRODUCTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
14. ALL DRAINAGE STRUCTURES LOCATED WITHIN PAVEMENT MUST HAVE UNDER DRAIN AS SHOWN.

WadeTrin

STANDARD STORM SEWER DETAILS (ST-1)

VAN BUREN CHARTER TOWNSHIP

STANDARD STORM SEWER DETAILS (ST-1)

STANDARD STORM SEWER DETAILS (ST-1)

ST-1



1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ATTEND A PRECONSTRUCTION MEETING, AT A TIME AND PLACE AS ARRANGED BY THE COMMUNITY, IN WHICH VARIOUS UTILITY COMPANIES AND GOVERNMENTAL AGENCY REPRESENTATIVES WILL BE PRESENT.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST HAVE IN HIS POSSESSION A COPY OF ALL PERMITS NECESSARY TO CONSTRUCT A CONNECTION TO, OR AN EXTENSION OF, THE WATER SUPPLY, SANITARY SEWER, OR STORM SEWER SYSTEMS.
3. THE CONTRACTOR SHALL MAINTAIN HIS CONSTRUCTION OPERATIONS WITHIN THE CURRENTLY EXISTING ROAD RIGHTS-OF-WAY AND EASEMENTS AS NOTED ON THE PLANS THROUGHOUT THE PROJECT. IN THE EVENT THAT THE CONTRACTOR DEEMS IT NECESSARY OR ADVISABLE TO OPERATE BEYOND THE BOUNDARIES OF THE EXISTING RIGHTS-OF-WAY, HE SHALL BE RESPONSIBLE FOR FURNISHING SPECIAL WRITTEN AGREEMENTS WITH THE PROPERTY OWNERS AND SHALL TURNISH SUCH COPIES OF AGREEMENTS TO THE COMMUNITY AND THE CITY.
4. THE CONTRACTOR SHALL NOTIFY "MISS OLSIE" (800-462-7711) 5 DAYS (NOT INCLUDING HOLIDAYS OR WEEKENDS) BEFORE STARTING CONSTRUCTION. HE SHALL MAKE ANY NECESSARY ARRANGEMENTS WITH UTILITY COMPANIES FOR RELICTION OF EXISTING UTILITIES. THESE ARRANGEMENTS SHALL BE MADE IN ADVANCE OF ANY CONSTRUCTION AND SHALL BE COMPLETED TO BE COMPLETED WITHOUT INTERFERING WITH OR DELAYING THE SEWER CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO UNDERGOING ANY EXISTING UTILITIES.
6. ON ALL WORK WITHIN THE ST. CLAIR COUNTY RIGHT-OF-WAY, THE COMMUNITY 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
7. THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC AT ALL TIMES AS PER THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
8. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE EMERGENCY ACCESS TO PROPERTY IN THE VICINITY OF THE CONSTRUCTION FOR POLICE AND FIRE COMPANIES, AMBULANCES OR OTHER EMERGENCY VEHICLES TO PROTECT LIFE, HEALTH AND PROPERTY.
9. THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AFFECTED BY THE CONSTRUCTION OPERATIONS IN A PASSABLE CONDITION UNTIL SUCH TIME AS FINAL RESTORATION OF THESE IMPROVEMENTS CAN BE MADE. IF THE PUBLIC ROADS IN DANGER OF BEING AFFECTED BY THE CONSTRUCTION ARE TRAFFIC, BACKFILL MUST BE COMPLETED IMMEDIATELY. IN THE EVENT THAT THE NECESSARY BACKFILL MATERIAL AND EQUIPMENT ARE NOT AVAILABLE WHEN SUCH RESTORATION IS OVERDUE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING WITH NATIVE MATERIAL TO PROVIDE FOR THE NECESSARY MAINTENANCE OF TRAFFIC AND SAFETY HOWEVER.
10. NATIVE MATERIAL SHALL BE REMOVED WITHIN 48 HOURS AND THE TRENCH PROPERLY BACKFILLED.

10. NO STREET, ROAD OR SECTION THEREOF SHALL BE CLOSED TO THROUGH TRAFFIC UNLESS AUTHORIZED BY THE AGENCY WITH JURISDICTION OVER THE ROAD. PROHIBITION OF ONE-WAY, ROAD CLOSURE OR DETOUR THEREOF. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A COPY OF A DETOUR PLAN APPROVED BY THE AGENCY HAVING JURISDICTION OVER THE ROADS.
11. IN THE EVENT ROADS ARE TO BE CLOSED, THE CONTRACTOR SHALL NOTIFY THE LOCAL FIRE DEPARTMENT, POLICE DEPARTMENT, LOCAL ROAD AUTHORITY, AND THE ENGINEER AND EACH DEPARTMENT OF PUBLIC WORKS, PUBLIC TRANSIT AUTHORITY, PUBLIC SCHOOL SYSTEM, LOCAL TRASH PICKUP AUTHORITY, AND PUBLIC AND PRIVATE UTILITIES. ONLY AS TO WHAT STREET SHALL BE PARTIALLY CLOSED. THE LENGTH OF TIME THE STREETS WILL BE BLOCKED OR CLOSED AND WHEN THE STREETS WILL BE REOPENED TO TRAFFIC.
12. PAVED STREETS AND DRIVEWAYS SHALL BE MAINTAINED IN A REASONABLE STATE OF CLEANLINESS, AND THE CONTRACTOR SHALL REMOVE ACCUMULATIONS OF DIRT OR DEBRIS CAUSED BY THE CONSTRUCTION OF PUBLIC WORKS, AS A MINIMUM, AN OPERATING SWEEPER BROOM ON THE SITE AT ALL TIMES. THE PAVEMENT SHALL BE CLEANED AT THE CLOSE OF EACH DAYS OPERATION AND WHEN AS NECESSARY AT ANY OTHER TIME. FAILURE TO COMPLY SHALL BE CAUSE TO STOP CONSTRUCTION. CONTRACTOR SHALL ALSO COMPLY WITH THE LOCAL AIR POLLUTION CONTROL ORDINANCE.
13. ALL GRAVEL AND DIRT ROADS, STREETS OR DRIVEWAYS USED SHALL BE MAINTAINED BY GRADING, PLACING DIRT FILLATIONS, AND MAINTENANCE SUFFICIENT TO PREVENT DIRT FROM BEING ELIMINATED DUE TO MAINTAIN TRAFFIC AS DIRECTED BY THE AGENCY.
14. CONTRACTOR SHALL PROVIDE ALL NECESSARY SHEETING, SHORING, BRACING, TRENGH BOXES, ETC., TO PERFORM WORK SAFELY AND PROTECT EXISTING UTILITIES AND IMPROVEMENTS.
15. THE FLOW IN THE EXISTING STREETS SHALL BE MAINTAINED AT ALL TIMES. ANY OBSTRUCTION OF THE FLOW, DOWNGRADES, DITCHES OR TRENCHES, TILE FIELDS, DRAINAGE STRUCTURES, ETC., THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE IMMEDIATELY RESTORED.
16. ALL PROPERTY IRONS AND MONUMENTS, IF DISTURBED OR DESTROYED BY THE CONTRACTOR'S OPERATIONS, SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
17. AFTER ALL THE PIPE, STRUCTURES, ETC., HAVE BEEN Laid, CONSTRUCTED, AND PROTECTED, THE TEAM SHALL BE TESTED AND FINAL INSPECTED. THE INSPECTION AND TESTING SHALL CONSIST OF A FIRST INSPECTION, TELEVISION INSPECTION (IF APPLICABLE) TESTING, AND FINAL INSPECTION AND TESTING. THE CONTRACTOR SHALL PROVIDE ALL THE PERSONNEL, SUPERVISION, LABOR, TOOLS, EQUIPMENT, AND THE MATERIALS NECESSARY FOR THE TESTS WHICH SHALL BE NOTIFIED IN THE PRESENCE OF THE ENGINEER AND THE ENGINEER SHALL BE CONDUCTED IN WORKING DAYS IN ADVANCE OF ALL TESTING.

18. THE FIRST INSPECTION SHALL BE COMPLETED AND ALL REPAIRS MADE IN AMPLIFIED TIME SO THAT THE TELEVISION INSPECTION OF THE UNDERGROUND PORTION OF THE SYSTEM CAN BE COMPLETED WITHIN FOUR (4) WEEKS OF THE COMPLETION OF THE CONSTRUCTION, WHEN RE-TELEVISION IS NECESSARY. AN ADDITIONAL TWO (2) WEEKS WILL BE ALLOWED FOR COMPLETION, TESTING OF THE SYSTEM AND RE-DESIGNED STRUCTURES. THE TESTING, REPAIRS, AND RE-TELEVISION INSPECTION SHALL BE COMPLETED WITHIN TWO (2) WEEK PERIOD.
19. FAILURE TO MAINTAIN A SCHEDULE IN COMPLIANCE WITH THESE TERMS WILL AUTOMATICALLY CAUSE THE STOPPAGE OF OTHER WORK AT THE PARTICULAR SITE IN QUESTION UNTIL SUCH TIME AS THE FINAL INSPECTION OF THE COMPLETE UNDERGROUND PORTION OF THE SYSTEM HAS PROCEEDED TO ACCEPTABLE LIMITS.
20. THE CONTRACTOR SHALL HAVE THE UNDERGROUND PORTION OF THE SEWER SYSTEM READY FOR THE FIRST INSPECTION WITHIN TWO (2) WEEKS AFTER THE COMPLETION OF UTILITY.
21. THE FIRST INSPECTION SHALL CONSIST OF A VISIBLE AND AUDIBLE CHECK OF SEWERS, MANHOLES, DATE WELLS, AND OTHER STRUCTURES TO ASCERTAIN THAT THE FOLLOWING STEPS HAVE BEEN PLACED: ALL LIFT HOLES STOPPED, THE CHANNELLING OF THE MANHOLE BOTTOMS COMPLETED, ALL VISIBLE OR AUDIBLE LEAKS STOPPED, ALL PIPE HAS BEEN PLACED STRAIGHT AND TRUE TO THE PROFILES AND RECORDS, AND THE REVISIONS TO THE STRUCTURE FRAME AND COVER PROPERTY INSTALLED. ALL TRENCHES AND STRUCTURES BACKFILLED IN AN ACCEPTABLE MANNER AND THAT THE SYSTEM HAS BEEN THOROUGHLY CLEANED.
22. THE FIRST INSPECTION SHALL BE CONSIDERED COMPLETED WHEN ALL THREE PAIRS HAVE BEEN MADE AND THE SYSTEM IS READY FOR A TELEVISION INSPECTION AND SUBSEQUENT TESTING.
23. TRENCH BACKFILL UNDER ROAD SURFACES, PAVEMENTS, CURBS, DRIVEWAYS, SIDEWALKS AND WHERE THE TRENCH DEPTH IS WITHIN 3-FEET OF THE PAVEMENT SURFACE SHALL BE DONE TO MEET THE REVISIONS TO SPECIFICATIONS SECTION 512339, TRENCHING AND BACKFILLING.
24. AFTER ALL TESTING, TELEVISION INSPECTIONS, FINAL RESTORATION AND CLEAN-UP HAS BEEN COMPLETED, A FINAL INSPECTION AND MEASUREMENT WILL BE DONE. THE FINAL INSPECTION SHALL BE REQUESTED BY THE OWNER AND CONDUCTED WITHIN THE FIRST TWO (2) WEEKS AFTER THE PROPER ALIGNMENT, PROPER GRADE, CLEANLINESS, LEAKS, CONFORMANCE TO THE PLANS AND SPECIFICATION, PROPER STRUCTURAL AND MECHANICAL CONSTRUCTION, AND RESTORATION OF THE SYSTEM INCLUDING STRUCTURE ELEVATIONS, DISTANCES BETWEEN STRUCTURES, AND FLOW (INLET) UTILITIES ARE LOCATED WITHIN EASEMENT AND RIGHT-OF-WAY AREAS.
25. SUCCESSFUL COMPLETION OF ANY TEST OR INSPECTION SHALL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO CORRECT ANY DEFICIENCY OR INADEQUACIES TO THE DESIGN AND SPECIFICATION WHICH MAY BE CREATED BEFORE KNOWN.

- NOTES:
1. NO WATER SHALL BE USED IN BORING UNDER RAILROADS.
2. MAINTAIN MINIMUM OF 5'-6" ON COVER BETWEEN BASE OF HAIL AND TOP OF CASING.
3. THE ENDS OF THE CASING SHALL BE SUITABLE PROTECTED AGAINST THE INTRUSION OF FOREIGN MATERIAL, BUT SHALL NOT BE TIGHTLY SEALED.
4. WHEN ADDING ALL VOIDS OUTSIDE OF CASING PIPE SHALL BE FILLED BY MEANS OF PRESSURE GROUTING WITH 1:3 CEMENT-SAND MORTAR. THE WORK MUST BE ACCOMPLISHED WITHIN 48 HOURS AFTER THE CROSSING HAS BEEN COMPLETED. BORING SHALL EXTEND A MINIMUM OF 10 FEET OUTSIDE THE EDGES OF THE PAVEMENT.
5. SAIDS ARE TO BE MINIMUM OF 80% OF PIPE LENGTH.
6. CASING SPACERS AS ALLOWED BY THE ENGINEER.

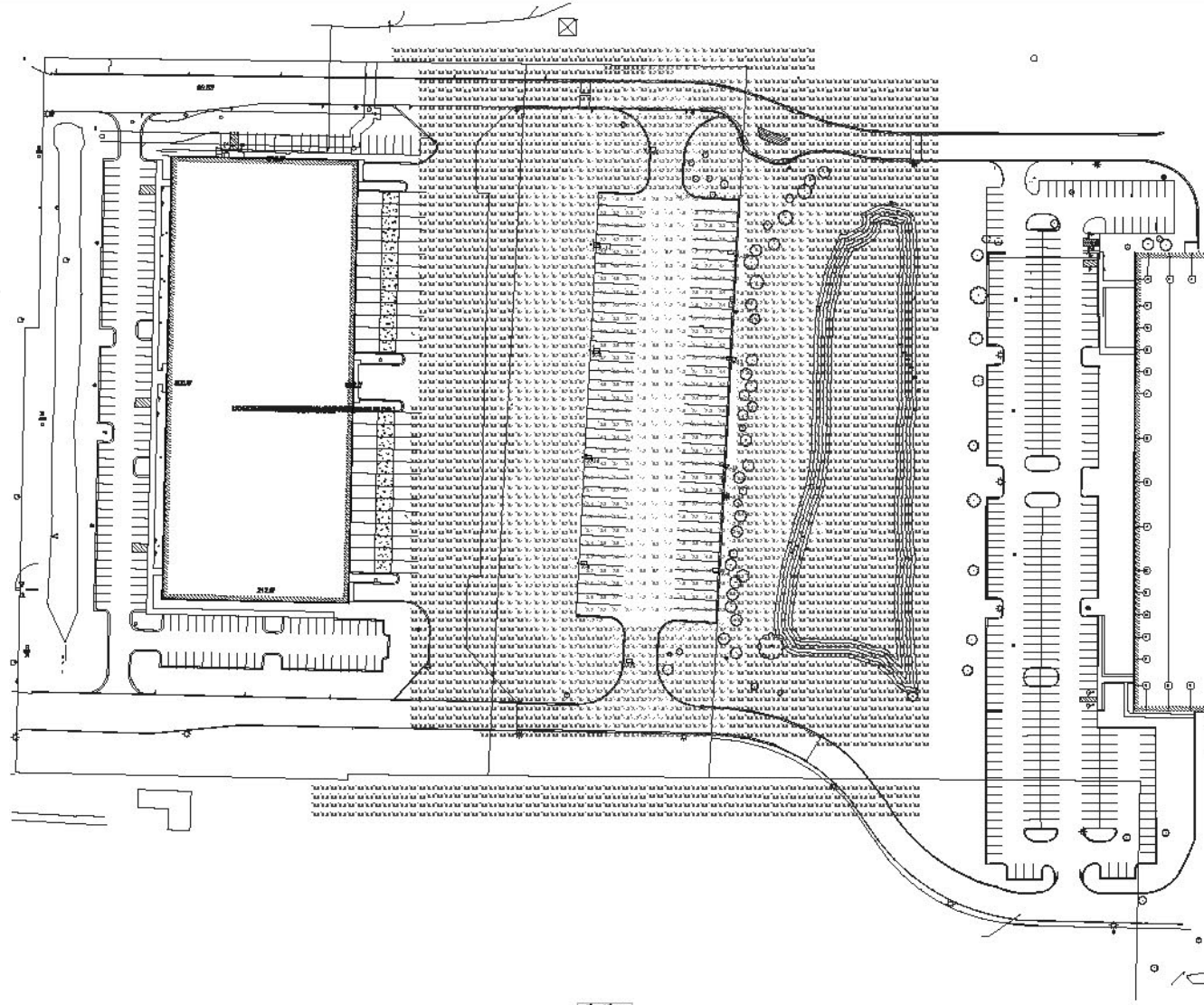
STANDARD CASING SECTION

RIGID PIPE BEDDING DETAILS

FLEXIBLE PIPE BEDDING DETAILS

VAN BUREN CHARTER
TOWNSHIP
MISCELLANEOUS DETAILS (MD-1)

MD-1



Site View
Scale: 1" = 20'

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lumens Per Luminaire	Light Loss Factor	Wattage
□	A	10	HARBELL OUTDOOR	8850-400-200-K7-W	2600	0.70	190.0

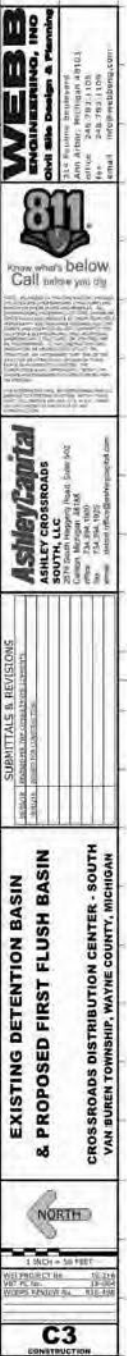
Luminaire Location		Location		Area	
No.	Label	X	Y	Area	Area
1	A	400.00	450.00	25.00	13.00
2	A	400.00	450.00	25.00	13.00
3	A	400.00	450.00	25.00	13.00
4	A	400.00	450.00	25.00	13.00
5	A	400.00	450.00	25.00	13.00
6	A	400.00	450.00	25.00	13.00
7	A	400.00	450.00	25.00	13.00
8	A	400.00	450.00	25.00	13.00
9	A	400.00	450.00	25.00	13.00
10	A	400.00	450.00	25.00	13.00

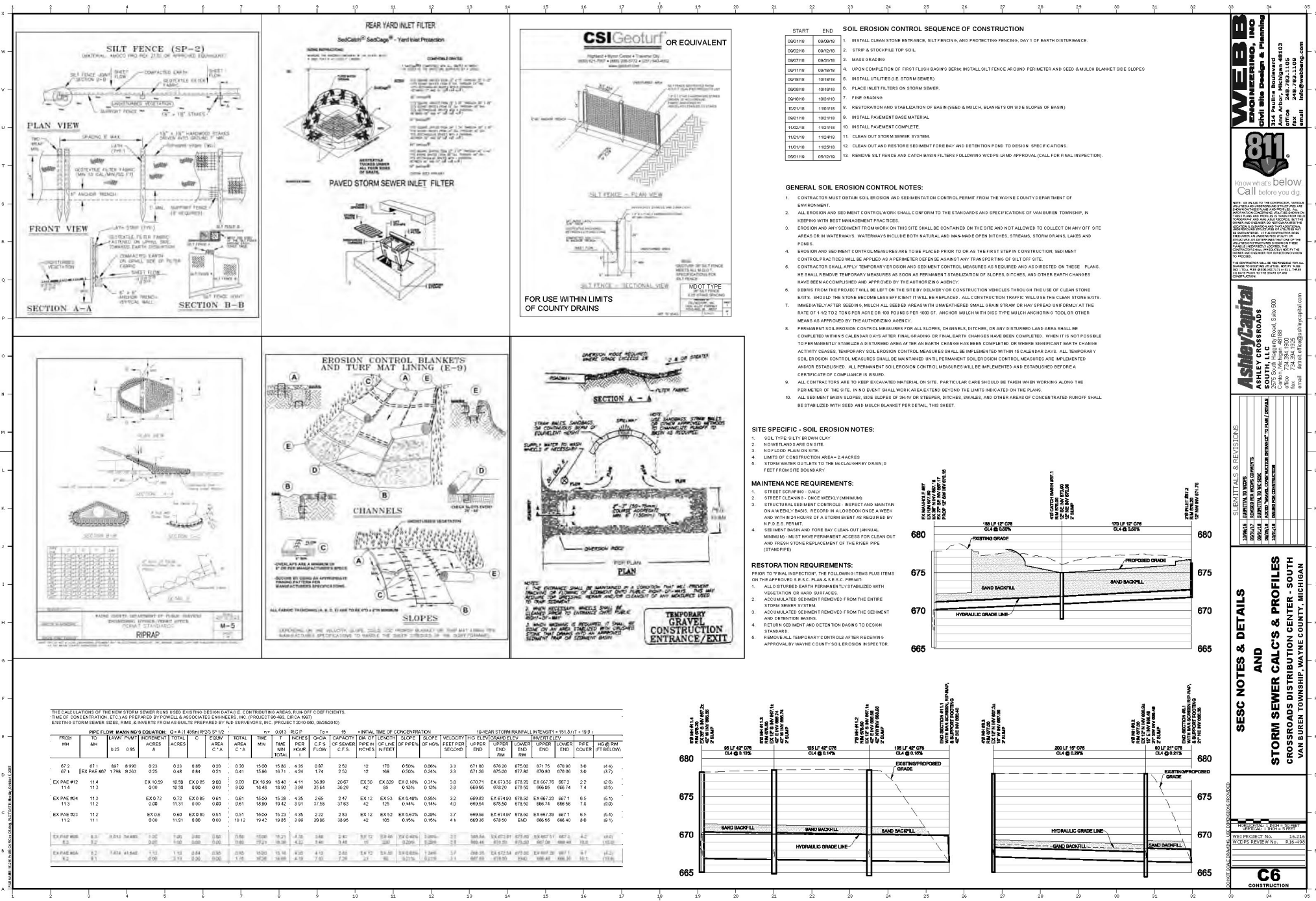
Symbol	Area	Area	Area	Area	Area
□	0.00	0.00	0.00	0.00	0.00
□	0.00	0.00	0.00	0.00	0.00
□	0.00	0.00	0.00	0.00	0.00
□	0.00	0.00	0.00	0.00	0.00
□	0.00	0.00	0.00	0.00	0.00



Site View
Scale: 1" = 20'

Owner	City of San Diego
Project	San Diego State University
Date	01/12/2010
Scale	1/4" = 1'-0"
Drawn by	W. J. Smith
Checked by	W. J. Smith
Summary	





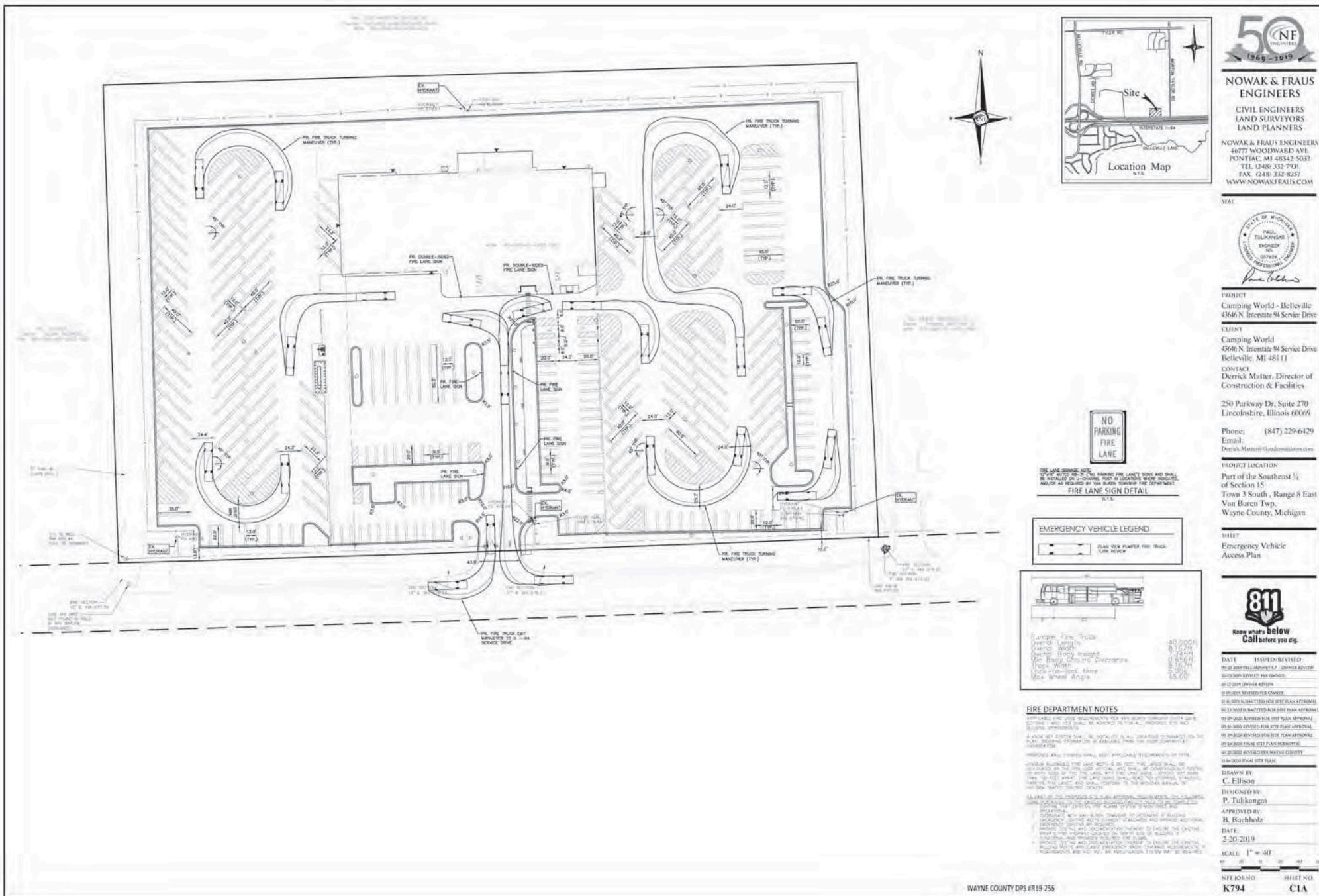
Applicant Plans and Submittals for Planning Commission Review:

VBT Case 19-038

Camping World

43646 North I-94 Service Drive

Final Site Plan



WAYNE COUNTY DPS #R19-235



*ALL OPERATIONS SHALL BE FIELD SERVICE
 *ALL OPERATIONS ARE A
 *EMPLOYEE WITH NO SERVICE PROVIDED
 *NO IF MEDICAL, SILENCE OF CHAIRMAN

<p>A. EL 24" STORM B/W/PP 67040 CLEARANCE: 3.2"</p>	<p>E. PP FIRST CONDUIT - FIELD SERVICE PP 12" STORM B/W/PP 67040 CLEARANCE: 1.5" (IN)</p>
<p>B. EL 6" EL. CLOSURE - EMP PP 24" STORM B/W/PP 67040 CLEARANCE: 1.5" (IN)</p>	<p>F. PP 12" STORM B/W/PP 67040 PP 1" SANITARY - FIELD SERVICE CLEARANCE: 1.5" (IN)</p>
<p>C. PP 4" STORM B/W/PP 67040 PP 4" B/W/PP 67040 - FIELD SERVICE CLEARANCE: 1.5" (IN)</p>	<p>G. EL. GLE - FIELD SERVICE PP 12" STORM B/W/PP 67040 CLEARANCE: 1.5" (IN)</p>
	<p>H. PP 4" CONDUIT - FIELD SERVICE</p>

[illegible][illegible]

LEGEND

MANHOLE

HYDRANT DATE VALVE

MANHOLE CATCH BASIN

UTILITY POLE OUT FITTER

C/I MANHOLE

HYDRANT DATE VALVE

INLET C/I MANHOLE

EXISTING SANITARY SEWER

SAN. CLEAN OUT

EXISTING WATERMAIN

EXISTING STORM SEWER

EX. R. & C. CATCH BASIN

EXISTING BURIED CABLE

OVERHEAD LINE

LIGHT POLE

SIGN

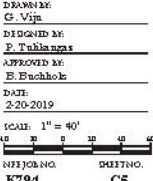
EXISTING GAS MAIN

SAN. SANITARY SEWER

HY. WATER MAIN

EX. STORM SEWER

EX. R. & C. CATCH BASIN



NAM
 1700 M STREET, N.W.
 WASHINGTON, D.C. 20036

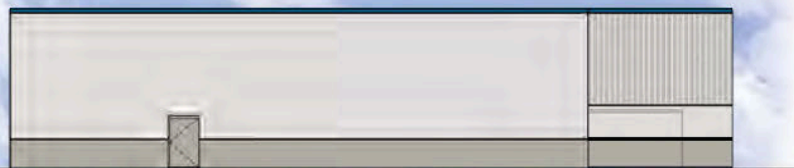
TEMPORARY CRUSHED CONCRETE
CONSTRUCTION ACCESS ROAD



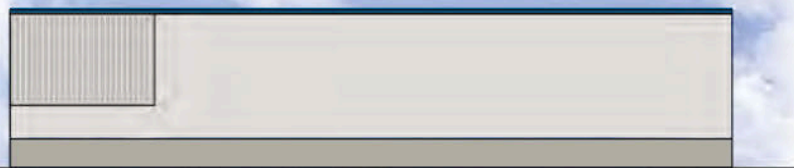
1 FRONT ELEVATION






2 REAR ELEVATION



3 RIGHT ELEVATION



4 LEFT ELEVATION

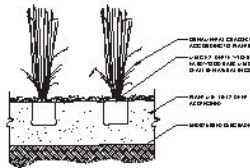
-  Sherwin Williams - Snowfall
(Exterior walls - main color)
-  Sherwin Williams - Pussywillow
(Exterior walls, doors)
-  Sherwin Williams - Blue Chip
(Exterior accent band, coping bollards)

CAMPING WORLD

Belleville, MI
Exterior Elevations

43646 N Interstate 94
Service Dr.
Belleville, MI

CORE STATES
GROUP
CORE STATES, INC.



ORNAMENTAL GRASS PLANTING DETAIL

IRRIGATION NOTE:

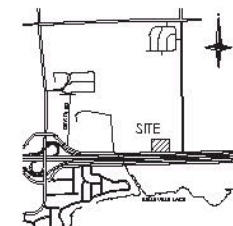
ALL PROPOSED PLANTING WITH IRRIGATION SYSTEMS SHALL BE INSTALLED WITH A DRAINAGE SYSTEM TO PREVENT WATER FROM ACCUMULATING UNDER THE PLANTING BEDS. THE DRAINAGE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGNER'S RECOMMENDATIONS.

TYPICAL SEEDED LAWN MIX:

ALL LAWN AREAS SHALL BE SEED WITH A MIXTURE OF 50% BENT GRASS, 30% PERENNIAL RYE GRASS, AND 20% CRYSTAL BERMUDA. THE SEED SHALL BE APPLIED AT A RATE OF 5000 LBS PER ACRE. THE SEED SHALL BE COVERED WITH A 1/2 INCH LAYER OF TOPSOIL AND WATERED FREQUENTLY TO KEEP THE SEED MOIST UNTIL IT HAS ESTABLISHED.

GENERAL SEED NOTE:

ALL LAWN AREAS SHALL BE SEED WITH A MIXTURE OF 50% BENT GRASS, 30% PERENNIAL RYE GRASS, AND 20% CRYSTAL BERMUDA. THE SEED SHALL BE APPLIED AT A RATE OF 5000 LBS PER ACRE. THE SEED SHALL BE COVERED WITH A 1/2 INCH LAYER OF TOPSOIL AND WATERED FREQUENTLY TO KEEP THE SEED MOIST UNTIL IT HAS ESTABLISHED.



LOCATION MAP



NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

4077 WOODWARD AVE.
TONTIC, MI 48242-5032
TEL: (248) 332-9331
FAX: (248) 332-9337
WWW.NOWAKFRAUS.COM

10/10



PROJECT

Camping World - Belleville

CLIENT

Camping World
43646 N. Interstate 94
Services Drive

CONTACT

Derrick Matter, Director of Construction & Facilities

250 Parkway Dr, Suite 270
Lincolnshire, Illinois 60069

Phone: (847) 229-6429

Email: Derrick.Matter@campingworld.com

PROJECT LOCATION

Part of the Southeast
of Section 15
Town 35 North, Range 8 East
Van Buren Twp
Wayne County, Michigan

CHIT

Landscape Plan



DATE: 10/10/2019

DESIGNED BY: G. Ostrowski

DRAWN BY: G. Ostrowski

APPROVED BY: G. Ostrowski

DATE: 10-02-2019

SCALE: 1" = 40'

NORTH ARROW

K794

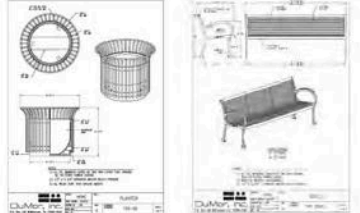
L1

CAMPING WORLD

ITEM	QTY	DESCRIPTION	UNIT	PLANTING	SOIL	COLOR
11	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
12	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
13	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
14	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
15	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
16	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
17	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
18	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
19	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
20	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
21	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
22	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
23	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
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25	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
26	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
27	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
28	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
29	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED
30	12	ORNAMENTAL GRASS	25 GAL	STRAIGHT	RED	RED

HEDGE PLANTING DETAIL

DECIDUOUS TREE PLANTING DETAIL



Applicant Plans and Submittals for Planning Commission Review:

VBT Case 20-033

Meijer Addition

9701 Belleville Road

Final Site Plan

meijer

Store 072 Addition MEIJER PROJECT #: 170930 9701 Belleville Road Belleville, MI 48111

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DATA		
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-	0-005	PROJECT GENERAL
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MECHANICAL		
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-	0-200	MECHANICAL GENERAL



Location Map
Not To Scale

REFERENCE:

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OWNER:

Meijer
2000 Thruway Blvd
Grand Rapids, MI 49501
PHONE: (616) 795-6400
CONTACT: ZACHARY HETTINGER

OWNER'S CONSTRUCTION MANAGER:

Siwak Construction
5000 Franklin Rd.
Farmington, MI 48334
PHONE: (313) 734-7116
CONTACT: THOMAS BURTON

ARCHITECT:

Siwak Construction
111 E. Wayne Street, Suite 300
Farmington, MI 48334
PHONE: (313) 734-7116
CONTACT: ORVILLE ARMSTRONG

MECH/ELECT/PLUMB:

MDA Engineering
1405 Holland Rd.
Troy, MI 48063
PHONE: (313) 333-3141
CONTACT:
-HVAC: CHAD GOSSIE
-PLUMBING: ROBERT VANBERT
-ELECTRICAL: CHUCK SCHULZ

STRUCTURAL & CIVIL ENGINEER:

Engineering Resources, Inc.
11000 Detroit Rd.
Farmington, MI 48334
PHONE: (313) 734-7116
FAX: (313) 734-7116
CONTACT:
-STRUCTURAL: SHANE BRAGER
-CIVIL: DANE REYNOLDS/OLIVIER TINS



ELEVATUS
ARCHITECTURE
1111 Apple Street, Suite 100, Grand Rapids, MI 49501
PH: 616.795.6400
WWW.ELEVATUSARCHITECTURE.COM

CONSULTANT



Store 072 Addition

MEIJER PROJECT #:
170930

2020 M9 ADDITION

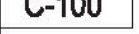
2020 M9 ADDITION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01/11/2020

DATE	BY	REVISION
01/11/2020	01/11/2020	170930

COVER SHEET

G-001



THE SPEED FABRICATOR'S SIMILAR DESIGN AND SUPPLY APPROPRIATE PRODUCTS FOR ALL SPEED AND WEIGHT FLOW
 RATE SELECTIONS ARE DETAIL IN THE DRAWINGS.

ALL ITEM NUMBERS MUST BE SUBMITTED CURRENT TO PROPO FOR INFORMATION. SHOP DRAWINGS MUST SHOW ALL MATERIALS, SIZES, WEIGHTS, AND STANDARDS AND SYMBOLS, DETAILS AND CROSS SECTIONS OF ALL SHOP DRAWINGS SHALL BE PREPARED FROM ORIGINALLY WITH THE ASSESSOR OF STANDARD PRACTICE FOR THE DESIGN AND CONSTRUCTION OF ALL STRUCTURES. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ALL LOADS AND STRESSING, ALSO TO WITHSTAND DRIVING FOR ALL STRUCTURAL STEEL. ALL DESIGN, METHODS AND MATERIALS SHALL BE APPROVED BY THE ARCHITECT BEFORE ANY WORK IS COMMENCED.

ALL WEIGHING SHALL COMPLY WITH CURRENT AND SPECIFICATIONS IATA, ETC. ALL SHIP AND FIELD NO. DATA SHALL BE PERFORMED BY ANS CERTIFIED WEIGERS UNLESS NOTED OTHERWISE. USE OF CIRCULARS.

IF A SIMPLE STEP, CONTAINING NO SUBSTEPS, IS EITHER AN ALPHABETIC LETTER OR THE END OF THE MESSAGE, CHANGING A
 LETTER, PUNCT, OR DIGIT TO ANOTHER OF THE SAME TYPE WILL NOT BE A MAJOR OFFENSE. BUT A MAJOR OFFENSE WILL BE
 IMPOSED IF THE MESSAGE, WHILE BEING TRANSMITTED, IS STOPPED BY THE OPERATOR. THE STOPPING OF THE MESSAGE, WHILE BEING
 TRANSMITTED, WILL BE CONSIDERED AS STOPPING THE MESSAGE. THE ACT OF STOPPING THE MESSAGE WILL BE CONSIDERED AS
 STOPPING THE MESSAGE, AND THE MESSAGE WILL BE CONSIDERED AS STOPPED. THE MESSAGE WILL BE CONSIDERED AS STOPPED
 IF THE MESSAGE IS STOPPED BY THE OPERATOR, OR IF THE MESSAGE IS STOPPED BY THE OPERATOR, OR IF THE MESSAGE IS
 STOPPED BY THE OPERATOR, OR IF THE MESSAGE IS STOPPED BY THE OPERATOR, OR IF THE MESSAGE IS STOPPED BY THE OPERATOR,

THE REACTION STRESS DESIGN (RSD) OF ALL CONNECTIONS WAS SPECIFICALLY DEVELOPED ON THE BASIS OF RESEARCH TESTS ON DRINKING-WATER ADDUCTS AND WAS BASED ON THE RESEARCH. THE RESEARCH WAS BASED ON THE RESEARCH DESIGN OF A BEAM-TO-BEAM CONNECTION FOR AT LEAST ONE OF THE FOLLOWING CONDITIONS: THE BEAM-TO-BEAM CONNECTION FOR THE WELDED CONNECTIONS (WELDED) - ALL CRITICAL STRESS DESIGN (ASD) CONNECTIONS FOR THE WELDED CONNECTIONS (WELDED) AND ALL CRITICAL STRESS DESIGN (ASD) CONNECTIONS FOR THE WELDED CONNECTIONS (WELDED).

MEASUREMENTS SHALL BE ALLOWED ONLY IF LOCATIONS SHOWN ON THE CONTRACT DRAWINGS, UNLESS APPROVED BY THE ENGINEER-IN-CHARGE.

THE SPEED CHECK CRASH I PROVIDED ALL FURTHER INFORMATION AS REQUESTED TO STAFF OF THE BUREAU DURING A CRASH RECALL.

ALL FIELD AND DRAINAGE AREAS SHALL BE FOLDED UP WITH TRIMMER BY THE STEEL ERECTOR.

SUPPLY WITH A FRAMES FOR ROOF CURBS AND ROOF TO MECHANICAL UNITS SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR.

ALL SET POINTS SHOULD BE SHOP DRAWN. REFER TO THE SPECIFICATIONS FOR SHOP DRAWING.

ALL METAL DECK ATTACHMENTS, ACCESSORIES, ETC. SHALL BE DESIGNED AND INSTALLED PER CURRENT STEEL DECK MANUFACTURER'S SPECIFICATIONS AND/OR OF COMPARABLE STRENGTH. ALL METAL DECK UNITS SHALL BE MADE FROM STEEL SHEET PILING CONFORMING TO ASTM A588 AND HAVING A MINIMUM YIELD POINT OF 48,000 PSI. DECK, WISOTRIP DECK, AND WISOTRIP DECK.

IF IT DEEMED TO BE SUPPLIED AND NOT FIT TO ENSURE A SPAN CONDITION LESS OTHERWISE NOTED, WHERE A SPAN CONDITION IS NOT POSSIBLE, THE DESIGN SHOP DRAWINGS SHALL INDICATE THE SPAN CONDITION TO THE ENGINEERS APPROVED DETAILED VIEW OF THE SHOP DRAWINGS.

ROOF DRAINAGE SHALL BE INSTALLED UP THE ROOF SLOPE WITH THE ROOF DRAIN SHEET AT THE HIGHER ELEVATION HAPPING ON TOP OF THE ROOF DRAIN SHEET AT THE LOWER ELEVATION. THE FLASHING WITH ROOF DRAINANTS WILL BE 18". THE DRAINAGE MANIFOLD SHALL BE 18" WITH A MINIMUM NET COVERAGE OF 50 PERCENT. IN ORDER TO ACHIEVE STRAIGHT DRAIN LINES, THE CREATOR MUST MAINTAIN A 10' COVERAGE.

USE ONLY FASTENING REQUIREMENTS SHOWN ON THE PLAN. WHERE ALTERNATE METHODS OF BEAM ATTACHMENT ARE DESIRED, THE ERECTOR SHALL SUBMIT FOR REVIEW THE PROPOSED ATTACHMENT WITH AN ANALYSIS OF THE EFFECTS THEREON OF THE STRENGTH TABLES FOR THE DIMENSIONS REVIEW AND APPROVE PROPOSED CREATION.

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COORDINATE #1 IS OF TOP MECHANICAL EQUIPMENT LOCATIONS, SIZES AND LOADS. MECHANICAL EQUIPMENT REPORT OF ASSIGNMENT OF SPEED AND SIZE JOISTS, AND E FLAVES ARE REQUIRED UNDER #1 IS OF TOP GRAPHIC PERIODS. ANY OTHER INFORMATION AND IF ANY COORDINATE SIZES OR LOCATIONS HAVE CHANGED OR IF ADDITIONAL EQUIPMENT HAS BEEN ADDED.

COORDINATE ALL DIVERGENCES WITH THE ARCHITECTURAL PLANS AND SECTIONS, NOTIFY THE ARCHITECTURAL OF ANY DIVERGENCES DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND

VERIFY ALL OPENINGS AND MECHANICAL CONTROLS PRIOR TO CONSTRUCTION

SEE ARCHIVE OF URBAN PLANS FOR DISCUSSING AND NEW SECTION REFERENCES.

THIS OFFER CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE LAWS AND ORDINANCES UNLESS NOTED OTHERWISE ON THE DRAWINGS. IT OR MAY VARY AFTER RAIN, DRY, WINDY, CLOUDY, FOG, ETC. FOR ADDITIONAL REQUIREMENTS, PLEASE CONTACT THE ARCHITECT.

MINIMUM COMPRESSIVE STRENGTH OF MASS CONCRETE, f'_m - MPa (PSI)

CONCRETE WAS ONLY 10 MPa STRENGTH AT THE TIME OF THE TEST. THE AVERAGE NET AREA OF THE CONCRETE WAS 10 MPa. THE CONCRETE WAS ONLY 10 MPa STRENGTH AT THE TIME OF THE TEST.

WORKFACOR LAMP WAS ONLY SHALL COMPLY WITH ASTM E 279 PROPORTION SPECIFICATION PROVIDED THE FOLLOWING TYPES OF WORKFACOR APPLICATIONS STATED:

FOR WAS GARY: B D ON C/PAGE OR: B D C/PAGE: F 15TH C/PAGE	TYPE W
FOR PETHO PCE WAS GARY:	TYPE S
FOR: B D PCE OR: H GAY: GAY: B D PCE: B D PCE: B D PCE	TYPE H

ORDER FOR THE WEATHERSHIELD COMPANY WITH THE CAP PROPORTION ORDER IN ACCORDANCE WITH ASTM CAP. ORDER STRENGTH SHALL BE EQUAL TO OR EXCEED THE LISTED σ_u , BUT NOT LESS THAN 1/2 σ_{uPSL}

WAS GARY JOINT RESEARCHER? SHALL WEET AS TO WHAT WE SEE SHALL BE IN THE MIND. USE EITHER
1. EITHER THE OR FLOSS TYPE WITH A SINGLE PUNCTURE SIDE ROAD.

ALL WOODEN CELL'S CONTAINING REINFORCING BARS SHALL BE TIED WITH GROUP 1, HOTSPOTTED REINFORCING SHALL BE CONFINED AS SHOWN WITH CORNERS AND THROUGHOUT PERIODICAL

VERTICAL BEAM FORCE MEMBERS SHALL BE PLACED AT EACH CORNER AND EACH SIDE OF ALL OPENINGS.

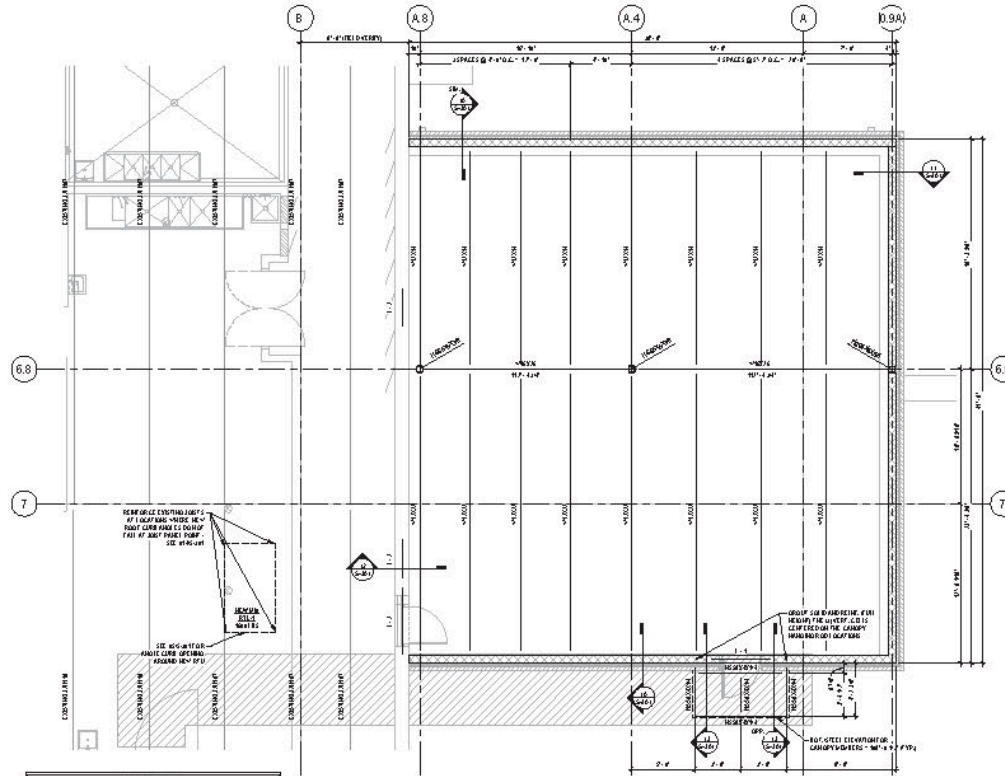
IF EXHAUST BEARING LOCATION, THERE SHALL BE A MINIMUM BEARING CLEARANCE OF 1/8" (0.125") IN ALL DIRECTIONS. IF TWO CONNECTING RODS ARE USED, THE BEARING SHALL BE LOCATED IN THE CENTER OF THE CONNECTING RODS.

AT EACH ADULT, BEAM, AND BEAM 10 FEET BEHIND 1 LOCAL THERE SHALL BE A 7' X 7' BEAMING PLATE
WITH NO 1/2" STUCKED MEASURES, USED. DIMENSIONS: 10 FEET 5.

WAS GIVEN THE FOLLOWING BAR SPACE I CHOPING SHOULD BE AS FOLLOWS:
 1 BAR - 3' 6" 2 BAR - 3' 6" 3 BAR - 3'

SEE ENTIRE WEBSITE FOR A FULL ADDRESSING GUIDELINE

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE



TIMELINE SCHEDULE				
WEEK	CUMULATIVE SIZE	BEARING HEAD (TEACHING)		DETAILED REFERENCE
1 - 1	STANDARD BEARING STANDARD LOADS AND STRESS	8'		NONE
1 - 2	MUCH BEARING AND COMPLEX CASES OF PLATE MAY BE USED TO ILLUSTRATE THE THEORY	8'		NONE

1. IMPETUS FOR THE REFORMATION WAS GIVEN BY:

a) Church's struggle against heresy	b) Church's struggle against papal abuses
c) Church's struggle against clerical abuses	d) Church's struggle against papal abuses

FLOOR CONSTRUCTION 1.20 <u>900</u> GYPSUM BOARD/STEEL BEAMS <u>DECKFASTENING</u> - 200 PITCHES/WATER SLOPE AND 1/WATER SLOPE/STICK FASTENERS PER SPAN TOP OF BOARD - SLOPE 1:12 MAX
--

[illegible]

ROOF PLAN LEGEND AND GENERAL NOTES

ROOF MATERIAL LEGEND

SYMBOL	DESCRIPTION
	2" POLYSTYRENE INSULATION (PSI) (R=5)
	4" POLYSTYRENE INSULATION (PSI) (R=10)

ROOF ACCESSIBLE LEGEND

SYMBOL	DESCRIPTION
	1" POLYSTYRENE INSULATION (PSI) (R=5)
	2" POLYSTYRENE INSULATION (PSI) (R=10)
	3" POLYSTYRENE INSULATION (PSI) (R=15)
	4" POLYSTYRENE INSULATION (PSI) (R=20)

ROOF GENERAL NOTES

1. ROOF FLOORING AND FLOORING SHALL BE COMPLETED WITHIN 1000' AND THEREAFTER WITHIN 1000' OF THE ROOF FLOORING.
2. ROOF FLOORING SHALL BE COMPLETED WITHIN 1000' OF THE ROOF FLOORING.
3. ROOF FLOORING SHALL BE COMPLETED WITHIN 1000' OF THE ROOF FLOORING.
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6. ROOF FLOORING SHALL BE COMPLETED WITHIN 1000' OF THE ROOF FLOORING.
7. ROOF FLOORING SHALL BE COMPLETED WITHIN 1000' OF THE ROOF FLOORING.

ROOFING GENERAL NOTES

1. INSULATION FOR ROOFING WITHIN BUILDING PERIMETER SHALL BE R-25 (MIN).
2. CANOPY ROOFS OVER UNCONDITIONED SPACE SHALL HAVE 1" PGD INSULATION AT MINIMUM.

ROOM FINISH SCHEDULE

Room No.	Room Name	Floor	Base	Walls	Back	Front	Ceiling	Comments
101	RECEIVING	1ST	1" POLYSTYRENE	1" POLYSTYRENE	1" POLYSTYRENE	1" POLYSTYRENE	1" POLYSTYRENE	

INTERIOR FINISH NOTE SCHEDULE

FINISH	DESCRIPTION	SPECIFICATION	COMMENTS
101	RECEIVING	1" POLYSTYRENE	

DOOR SCHEDULE

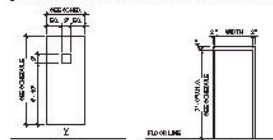
Door No.	Room Name	Qty	Width	Height	Thickness	Type	Material	Type	Material	Head	jamb	SW	Rating	Comments
101	RECEIVING	1	4'-0"	7'-0"	1-1/2"	SWP	1	SWP	1	SWP	1	SWP	1	N/A

DOOR COMMENTS

1. DOOR FRAME AND FLOOR FINISH SHALL BE COMPLETED WITHIN 1000' OF THE DOOR FRAME.
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10. DOOR FRAME SHALL BE COMPLETED WITHIN 1000' OF THE DOOR FRAME.

ABBREVIATIONS

- 1. ALUMINUM - CLAD (CLAD)
- 2. ALUMINUM - CLAD (CLAD)
- 3. ALUMINUM - CLAD (CLAD)
- 4. ALUMINUM - CLAD (CLAD)
- 5. ALUMINUM - CLAD (CLAD)
- 6. ALUMINUM - CLAD (CLAD)
- 7. ALUMINUM - CLAD (CLAD)
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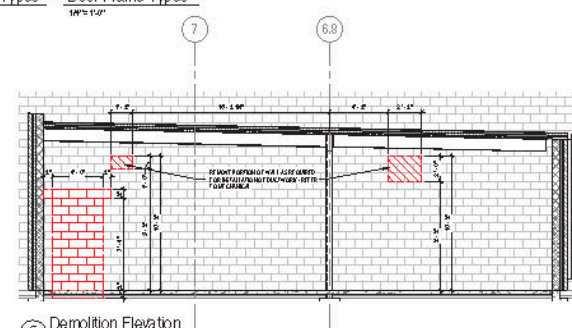


Door Leaf Types

1/4" = 1'-0"

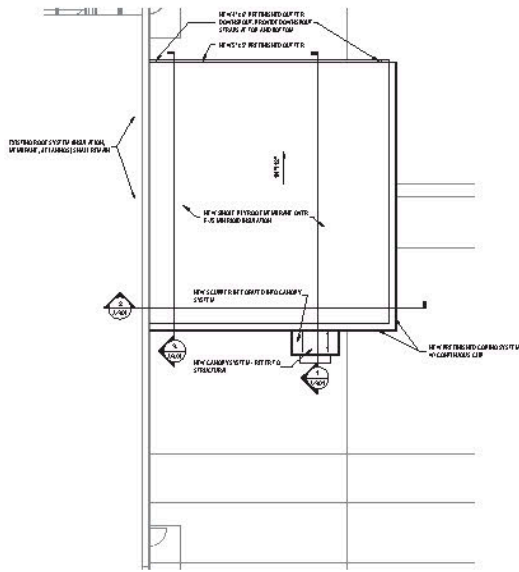
Door Frame Types

1/4" = 1'-0"



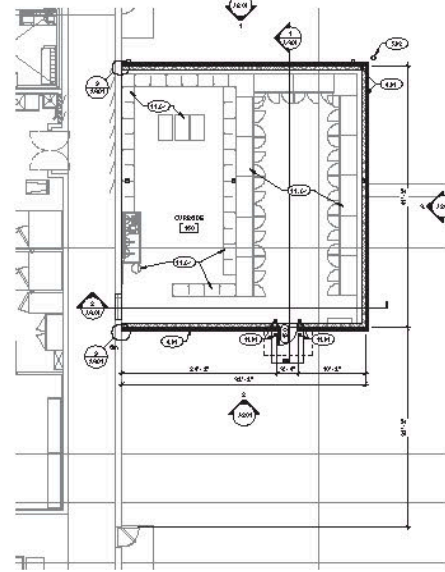
Demolition Elevation

1/4" = 1'-0"



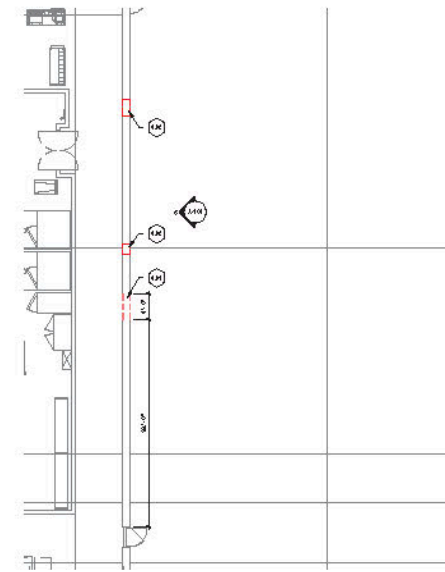
Roof Plan - Unit 'A' Addition

1/4" = 1'-0"



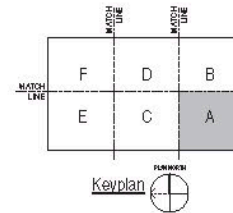
Construction Plan - Unit 'A' Addition

1/4" = 1'-0"



Demolition Plan - Area 'A' Addition

1/4" = 1'-0"



Keyplan

1/4" = 1'-0"

FLOOR PLAN NOTES

TAG	DESCRIPTION
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ELEVATUS
ARCHITECTURE
1111 Apple Court, Suite 100, San Jose, CA 95128
408.255.1111
info@elevatus.com

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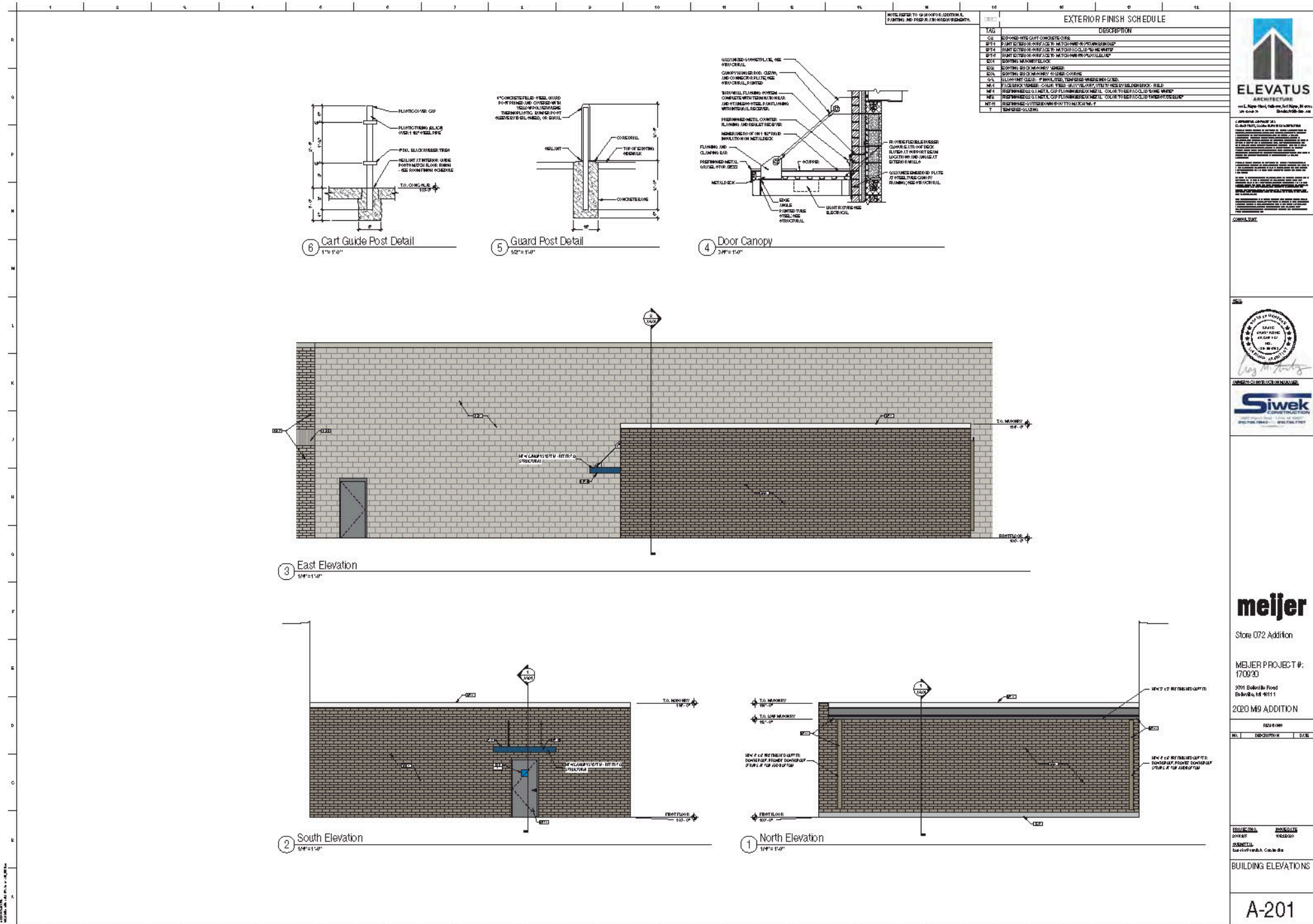
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ELEVATUS
ARCHITECTURE

1111 Apple Court, Suite 100, San Jose, CA 95128
408.255.1111
elevatus@elevatus.com

CONSULTANT

1. GENERAL CONTRACTOR
2. ARCHITECT
3. ENGINEER
4. LANDSCAPE ARCHITECT
5. INTERIOR DESIGNER
6. SPECIALTY CONTRACTOR
7. PAINT CONTRACTOR
8. GLASS CONTRACTOR
9. METAL CONTRACTOR
10. WOOD CONTRACTOR
11. STONE CONTRACTOR
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79. STEEL ERECTION INSTALLATION CONTRACTOR
80. WOODWORK INSTALLATION CONTRACTOR
81. CARPENTRY INSTALLATION CONTRACTOR
82. PAINTING INSTALLATION CONTRACTOR
83. GLASS INSTALLATION CONTRACTOR
84. METAL FABRICATION INSTALLATION CONTRACTOR
85. WOOD FABRICATION INSTALLATION CONTRACTOR
86. STONE FABRICATION INSTALLATION CONTRACTOR
87. TILE INSTALLATION CONTRACTOR
88. PLASTER INSTALLATION CONTRACTOR
89. CONCRETE INSTALLATION CONTRACTOR
90. ROOFING INSTALLATION CONTRACTOR
91. MECHANICAL INSTALLATION CONTRACTOR
92. ELECTRICAL INSTALLATION CONTRACTOR
93. PLUMBING INSTALLATION CONTRACTOR
94. HEATING AND COOLING INSTALLATION CONTRACTOR
95. FIRE PROTECTION INSTALLATION CONTRACTOR
96. ELEVATOR INSTALLATION CONTRACTOR
97. RAIL INSTALLATION CONTRACTOR
98. MARINE INSTALLATION CONTRACTOR
99. AVIT INSTALLATION CONTRACTOR
100. SPECIALTY INSTALLATION CONTRACTOR

Siwek
ARCHITECTURAL FIRM

1111 Apple Court, Suite 100, San Jose, CA 95128
408.255.1111
siwek@siwek.com

meijer

Store 072 Addition

MEIJER PROJECT #:
170930

2701 Salsburg Road
Bakerville, ME 04011

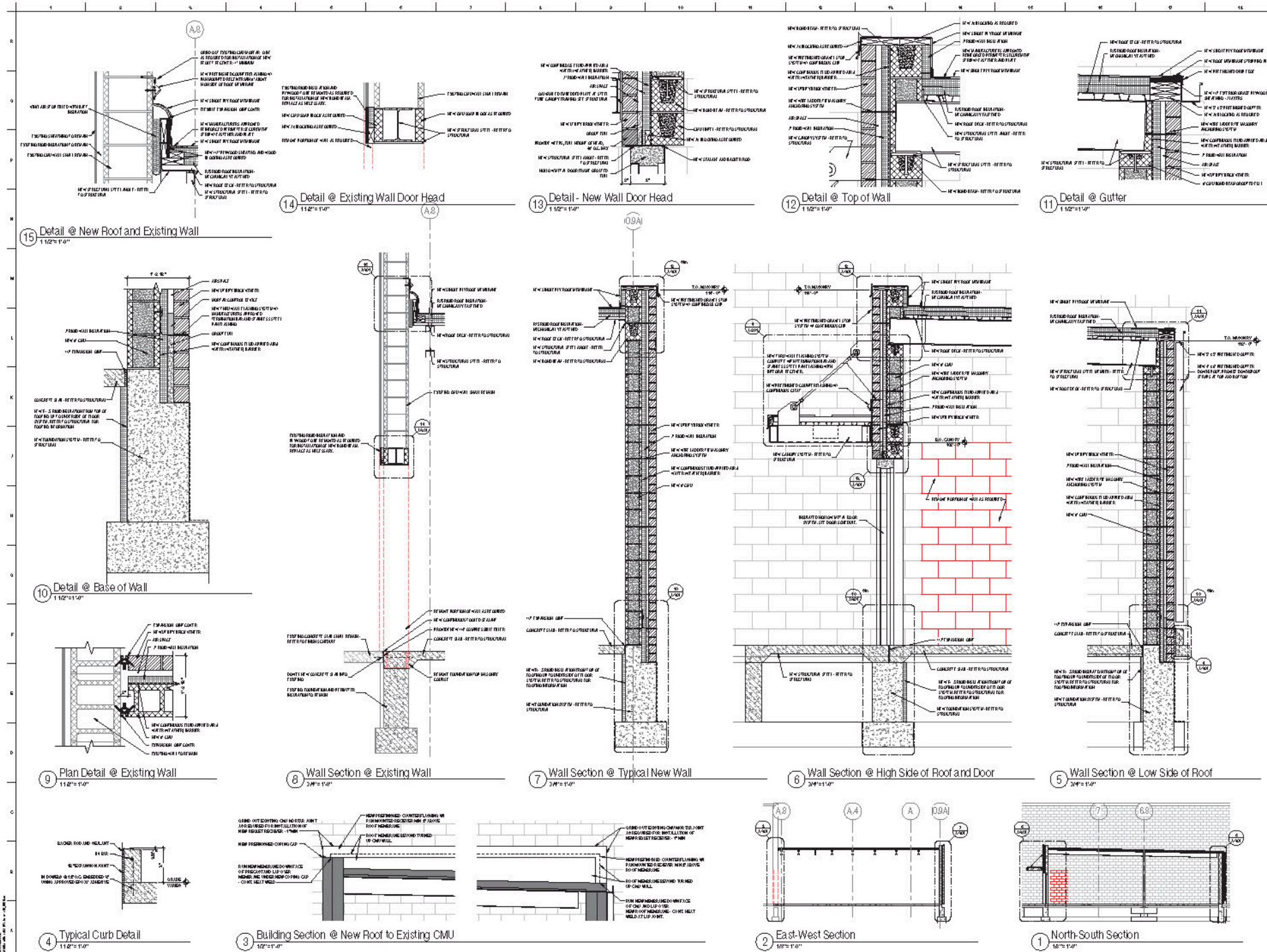
2020 M9 ADDITION

ISSUED FOR
NO. 00000000 DATE

DESIGNED BY
DRAWN BY
CHECKED BY
DATE

BUILDING ELEVATIONS

A-201





ELEVATUS
ARCHITECTURE

1. GENERAL NOTES:
A. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
C. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
D. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
F. ALL DIMENSIONS SHALL BE GIVEN IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED.
G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT.
I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT.
L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT.
O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
P. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
Q. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT.
R. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
T. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT.
U. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
V. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
W. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT.
X. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
Y. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
Z. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT.



Siwek
ARCHITECTS



meijer

Store 072 Addition

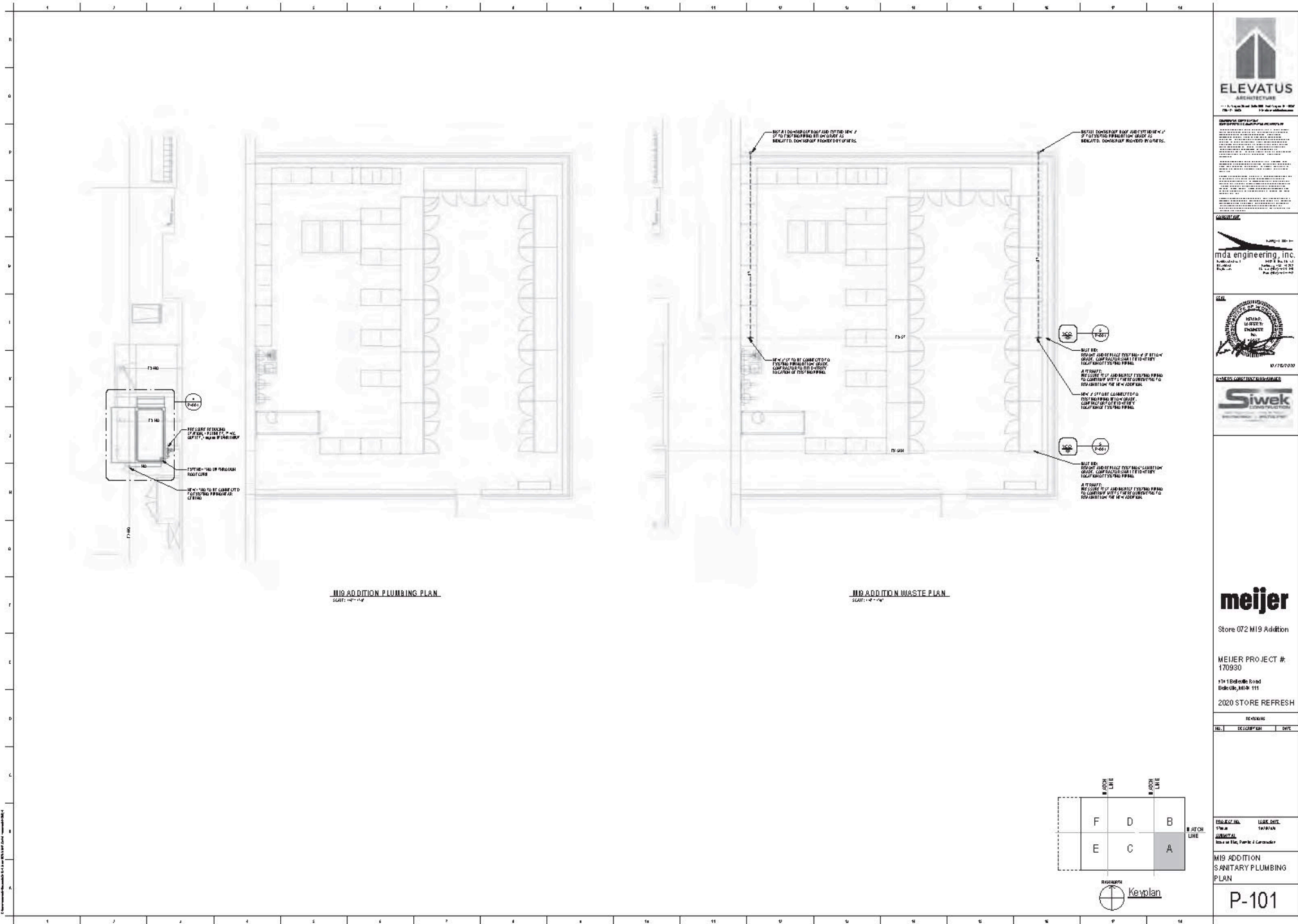
MEIJER PROJECT #: 170030
3071 Suburban Road
Baltimore, MD 21111

2020 M9 ADDITION

10/10/2020
NO. 0000000000 DATE

WALL SECTIONS AND DETAILS

A-301



ELEVATUS
ARCHITECTURE
11111 1st Avenue South, Suite 100, Fort Worth, TX 76116
(817) 336-1000
www.elevatusarch.com

mda engineering, inc.
11111 1st Avenue South, Suite 100, Fort Worth, TX 76116
(817) 336-1000
www.mda-engineering.com



Store 072 M19 Addition

MEIJER PROJECT #:
170930
11111 1st Avenue South
Fort Worth, TX 76116

2020 STORE REFRESH

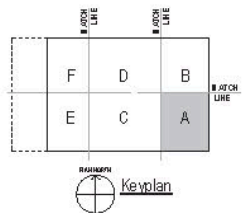
REVISIONS

NO.	DESCRIPTION	DATE
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DESIGNED BY: **MDA**
DATE: 11/11/2020

M19 ADDITION
SANITARY PLUMBING
PLAN

P-101



117



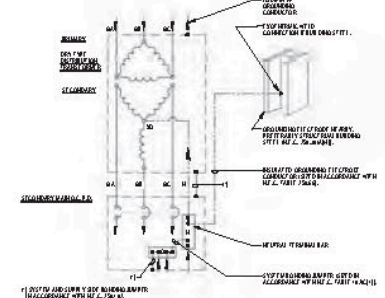
- E-201



MECHANICAL CONNECTION SCHEDULE (ELECTRICAL)												
EQUIP. NAME	EQUIPMENT DESCRIPTION	POWER REQUIREMENTS	VOLTAGE	PHASE	STARTERS	D-CONNECT DISPOSITION	PANEL	CIRCUITS	CIRCUITBREAKER / FUSE SIZE	CONDUIT & WIRING INFORMATION	MAX ASSUMED CONDUCTOR LENGTH	REMARKS
Boiler #1	Boiler #1	100 kW	480V	3	NEMA D	TO BE DETERMINED	MAIN	2/0 AL	100A	SEE ELECTRICAL SPEC.	75'	NOT YET

MECHANICAL EQUIPMENT CONNECTION NOTES:

- | | |
|----------|--|
| PACKAGED | W/ OIL AND COMPRESSOR CONTROLS, STAYERS AND STAYS TURNING AS PART OF COMBINE CONTROL PANEL OR PACKAGE. |
| W/ OIL | DISCONNECT SWY CH TURNED AS PART OF COMBINE CONTROL PANEL OR PACKAGE. |
| W/ OIL | W/ OIL MOTOR OF 100 HP. |
| UNIT | W/ OIL UNIT CONTROL PANEL. |
| SWY | SWAY SWITCH UNIT. |



2011年10月5日 星期三

GENERAL

- ONE-LINE DIAGRAM NOTES

1. BEAT ALL NEW CIRCULAR BRISTLES BY USING THE PART AS SHOWN
MATCH THE BEAT TYPE AND BEAT SPACING ROUNDS.
2. NEW BRISTLE FRONTIER RECORDS TWO PAIR OF BEATS:
SPRINGING TO G O F T I O N A S E FLASHLIGHT AND THE AD

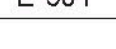
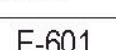
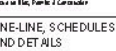
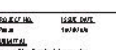
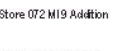
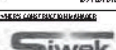
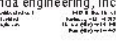
Branch Panel: PANEL A-3										NEW PANEL BOARD	
Voltage: 120/240V/3-Phase											
New Rating 2 Type: 600 H.A.O.											
Sec. Panel	OUT	Chassis Configuration	Panel Depth	X	D	C	Breaker	Panel Chassis Configuration	OUT Panel	Sec	
0-1	120V 1400 AMP 600 H.A.O.	2-1	160	1	110	1	1	2-1 120V 1400 AMP 600 H.A.O.	0-1	1	
0-2	120V 1400 AMP 600 H.A.O.	2-2	1	1	110	1	1	2-2 120V 1400 AMP 600 H.A.O.	0-2	1	
0-3	120V 1400 AMP 600 H.A.O.	2-3	1	1	110	1	1	2-3 120V 1400 AMP 600 H.A.O.	0-3	1	
0-4	120V 1400 AMP 600 H.A.O.	2-4	1	1	110	1	1	2-4 120V 1400 AMP 600 H.A.O.	0-4	1	
0-5	120V 1400 AMP 600 H.A.O.	2-5	1	1	110	1	1	2-5 120V 1400 AMP 600 H.A.O.	0-5	1	
0-6	120V 1400 AMP 600 H.A.O.	2-6	1	1	110	1	1	2-6 120V 1400 AMP 600 H.A.O.	0-6	1	
0-7	120V 1400 AMP 600 H.A.O.	2-7	1	1	110	1	1	2-7 120V 1400 AMP 600 H.A.O.	0-7	1	
0-8	120V 1400 AMP 600 H.A.O.	2-8	1	1	110	1	1	2-8 120V 1400 AMP 600 H.A.O.	0-8	1	
0-9	120V 1400 AMP 600 H.A.O.	2-9	1	1	110	1	1	2-9 120V 1400 AMP 600 H.A.O.	0-9	1	
0-10	120V 1400 AMP 600 H.A.O.	2-10	1	1	110	1	1	2-10 120V 1400 AMP 600 H.A.O.	0-10	1	
0-11	120V 1400 AMP 600 H.A.O.	2-11	1	1	110	1	1	2-11 120V 1400 AMP 600 H.A.O.	0-11	1	
0-12	120V 1400 AMP 600 H.A.O.	2-12	1	1	110	1	1	2-12 120V 1400 AMP 600 H.A.O.	0-12	1	
0-13	120V 1400 AMP 600 H.A.O.	2-13	1	1	110	1	1	2-13 120V 1400 AMP 600 H.A.O.	0-13	1	
0-14	120V 1400 AMP 600 H.A.O.	2-14	1	1	110	1	1	2-14 120V 1400 AMP 600 H.A.O.	0-14	1	
0-15	120V 1400 AMP 600 H.A.O.	2-15	1	1	110	1	1	2-15 120V 1400 AMP 600 H.A.O.	0-15	1	
0-16	120V 1400 AMP 600 H.A.O.	2-16	1	1	110	1	1	2-16 120V 1400 AMP 600 H.A.O.	0-16	1	
0-17	120V 1400 AMP 600 H.A.O.	2-17	1	1	110	1	1	2-17 120V 1400 AMP 600 H.A.O.	0-17	1	
0-18	120V 1400 AMP 600 H.A.O.	2-18	1	1	110	1	1	2-18 120V 1400 AMP 600 H.A.O.	0-18	1	
0-19	120V 1400 AMP 600 H.A.O.	2-19	1	1	110	1	1	2-19 120V 1400 AMP 600 H.A.O.	0-19	1	
0-20	120V 1400 AMP 600 H.A.O.	2-20	1	1	110	1	1	2-20 120V 1400 AMP 600 H.A.O.	0-20	1	
0-21	120V 1400 AMP 600 H.A.O.	2-21	1	1	110	1	1	2-21 120V 1400 AMP 600 H.A.O.	0-21	1	
0-22	120V 1400 AMP 600 H.A.O.	2-22	1	1	110	1	1	2-22 120V 1400 AMP 600 H.A.O.	0-22	1	
0-23	120V 1400 AMP 600 H.A.O.	2-23	1	1	110	1	1	2-23 120V 1400 AMP 600 H.A.O.	0-23	1	
0-24	120V 1400 AMP 600 H.A.O.	2-24	1	1	110	1	1	2-24 120V 1400 AMP 600 H.A.O.	0-24	1	
0-25	120V 1400 AMP 600 H.A.O.	2-25	1	1	110	1	1	2-25 120V 1400 AMP 600 H.A.O.	0-25	1	
0-26	120V 1400 AMP 600 H.A.O.	2-26	1	1	110	1	1	2-26 120V 1400 AMP 600 H.A.O.	0-26	1	
0-27	120V 1400 AMP 600 H.A.O.	2-27	1	1	110	1	1	2-27 120V 1400 AMP 600 H.A.O.	0-27	1	
0-28	120V 1400 AMP 600 H.A.O.	2-28	1	1	110	1	1	2-28 120V 1400 AMP 600 H.A.O.	0-28	1	
0-29	120V 1400 AMP 600 H.A.O.	2-29	1	1	110	1	1	2-29 120V 1400 AMP 600 H.A.O.	0-29	1	
0-30	120V 1400 AMP 600 H.A.O.	2-30	1	1	110	1	1				

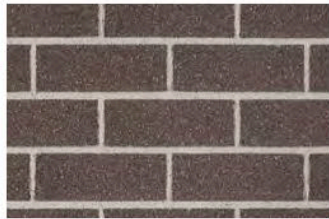
¹ For all i the two branches of Γ_i are at a fixed distance from each other.

- [illegible]

A. SCIENTISTS WANT TO COMPARE THE TWO BIRD SPECIES AND
 HAVE 5000 PAIRS OF EGGS OF EACH SPECIES. HOW MANY EGGS OF EACH SPECIES
 SHOULD THEY HAVE?

- A. SANCHEZ'S MAIN BELIEF COMPILED FROM THE BUREAU RECORDS AND PREVIOUS DEBATING SETS, WHICH HE USED TO ARGUE FOR HIS POSITION IN STUDENT LEADERSHIP THROUGHOUT HIS SCHOOLING WAS THAT AN ABILITY TO COMMUNICATE IS NOT NECESSARY AS SANCHEZ DID PROVIDE HIM INFORMATION AS REQUIRED. WHEN SANCHEZ'S APT FOR REFINED ORAL Y.





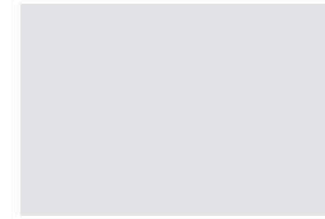
FIELD BRICK COLOR:
BELDEN BRICK
FIELD GRAY VELOUR



PAINT: SW 7640
FAWN BRINDLE



CANOPY: PAC-CLAD
INTERSTATE BLUE.
PAINT COLOR MATCH:
SW#7510 LOYAL BLUE



PAC-CLAD "BONE WHITE"

New Exterior Color Palette



Proposed Front Elevation

MEIJER 072
BELLEVILLE, MI
2020-10-29



NEW METAL CAP FLASHING/BREAK METAL,
COLOR PAC-CLAD "BONE-WHITE"

NEW FACE BRICK VENEER,
COLOR "FIELD GRAY VELOUR",
UTILITY SIZE BY BELDEN BRICK



NEW CANOPY PAINTED PAC-CLAD
INTERSTATE BLUE.
PAINT COLOR MATCH: SW#7510
LOYAL BLUE

NEW EXTERIOR METAL
DOOR PAINTED SW 7640
FAWN BRINDLE

NEW METAL CAP FLASHING/BREAK METAL,
COLOR PAC-CLAD "BONE-WHITE"

NEW FACE BRICK VENEER,
COLOR "FIELD GRAY VELOUR",
UTILITY SIZE BY BELDEN BRICK



NEW METAL GUTTER AND DOWNSPOUT
PAINTED TO MATCH NEW FACE BRICK

MEIJER 072

BELLEVILLE, MI

2020-10-29

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