

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, February 13, 2019 – 7:30 PM
Van Buren Township Hall
46425 Tyler Road**

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of January 23, 2019.

CORRESPONDENCE:

PUBLIC HEARING:

ITEM #1: ZONING ORDINANCE TEXT AMENDMENT

TITLE: A proposed amendment which modifies the requirements of section 7.205 of the Zoning Ordinance regarding the placement of fences in the front yard of non-single-family residential districts.

ACTION ITEMS:

- A. Public Hearing is opened.
- B. Public Comment.
- C. Public Hearing is closed.

NEW BUSINESS:

ITEM #1: Case 19-005- SITE PLAN AMENDMENT

TITLE: The applicant, Trowbridge Homes Construction, is requesting an amendment to the approved site plan for the Cobblestone Ridge Estates Development to allow for additional elevations to be constructed in the subdivision.

LOCATION: Cobblestone Ridge is located on the south side of W. Huron River Drive between Rawsonville and Sumpter Roads.

ACTION ITEMS:

- A. Presentation by Applicant.
- B. Presentation by Township Staff.
- C. Planning Commission discussion.
- D. Planning Commission considers the site plan amendment.

ITEM #2: Case 19-004- SITE PLAN AMENDMENT

TITLE: The applicant, BK Development Group, is requesting an amendment to the approved site plan for the Cobblestone Creek Woodlands Development to allow for a single additional elevation to be constructed in the subdivision.

LOCATION: Cobblestone Ridge is located on the south side of W. Huron River Drive between Rawsonville and Sumpter Roads.

ACTION ITEMS:

- A. Presentation by Applicant.
- B. Presentation by Township Staff.
- C. Planning Commission discussion.
- D. Planning Commission considers the site plan amendment.

ITEM #3: Case 19-003- PHANTOM FIREWORKS- TEMPORARY LAND USE

TITLE: The applicant, Phantom Fireworks, is requesting a temporary land use permit to operate a fireworks tent in a shopping center parking lot at 2095 Rawsonville Road.

LOCATION: 2095 Rawsonville. The site is located near the intersection of Rawsonville Road and I-94.

ACTION ITEMS:

- A. Presentation by Applicant.
- B. Presentation by Township Staff.
- C. Planning Commission Discussion.
- D. Planning Commission considers approval of the temporary land use.

ITEM #4: ZONING ORDINANCE AMENDMENT

TITLE: A proposed amendment which modifies the requirements of section 7.205 of the Zoning Ordinance regarding the placement of fences in the front yard of non-single-family residential districts.

ACTION ITEMS:

- A. Presentation by Township Staff.
- B. Planning Commission Discussion.
- C. Planning Commission considers recommendation to the Township Board.

GENERAL DISCUSSION:

ITEM #1: LOT SIZE REQUIREMENTS IN THE RM, MULTIPLE FAMILY ZONING DISTRICT

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
January 23, 2019
MINUTES - DRAFT**

Chairperson Thompson called the meeting to order at 7:31 p.m.

ROLL CALL:

Present: Franzoi, Jahr, Boynton, Kelley, Atchinson, Budd and Thompson.

Excused: None.

Staff: Director Akers and Secretary Harman.

Planning Representatives: McKenna Associate, Patrick Sloan and Fishbeck Associate, Paul Kammer.

Audience: Sixteen (16).

APPROVAL OF AGENDA:

Motion Kelley, Jahr second to approve the agenda of January 23, 2019 as presented.

Motion Carried.

APPROVAL OF MINUTES:

Motion Atchinson, Franzoi second to approve the regular meeting minutes of January 9, 2019 as presented. Motion Carried.

NEW BUSINESS:

ITEM # 1 18-039 – THE REAL MCCOY BBQ – TEMPORARY LAND USE

TITLE: THE APPLICANT, THE REAL MCCOY SOUTHERN BBQ, IS REQUESTING TEMPORARY LAND USE APPROVAL TO OPERATE AN OUTDOOR CARRYOUT RESTAURANT AT 39431 E. HURON RIVER DRIVE, VAN BUREN TOWNSHIP, MI 48111.

LOCATION: 39431 E. HURON RIVER DRIVE. THIS PROPERTY IS LOCATED ON THE SOUTHWEST CORNER OF HANNAN ROAD AND HURON RIVER DRIVE.

Owner and applicant, Mr. Langford, gave the presentation. Mr. Langford seeks temporary land use approval to utilize a trailer to operate an outdoor carryout service for The Real McCoy Southern BBQ restaurant from January 24, 2019 through May 15, 2019. The building located on the site will be open for water and restroom use.

Director Akers presented his review letter dated 1-9-19 recommending the Planning Commission approve the temporary land use request for the Real McCoy Southern BBQ to operate a BBQ trailer at 39431 E. Huron River Drive, from January 24, 2019 through May 15, 2019 with the following condition:

1. The applicant submit a copy of an active permit from the Wayne County Health Department.

Director Akers presented the Fire Department review letter dated 12-18-18, approving the plan as submitted.

Commissioner inquired if the applicant will be utilizing the building to make hot sanitizer buckets. Yes, the applicant will make hot sanitizer buckets every two hours.

Motion Kelley, Jahr second to grant temporary land use approval to The Real McCoy Southern BBQ to operate an outdoor carryout restaurant at 39431 E. Huron Rive Drive from January 24, 2019 through May 15, 2019, subject to the analysis and conditions in the staff review letter dated 1-9-19 and Fire Department review letter dated 12-18-18. Motion Carried. (Letters attached)

ITEM # 2 19-001 – PROJECT SYCAMORE – REVIEW AND COMMENT ON PROPOSED VARIANCE IN ASSOCIATION WITH SITE PLAN

TITLE: THE APPLICANT, JULIAN BEGLIN, IS REQUESTING REVIEW AND COMMENT ON A PROPOSED WALL HEIGHT VARIANCE IN ASSOCIATION WITH A PROPOSED SITE PLAN FOR IMPROVEMENTS ON AN EXISTING INDUSTRIAL SITE.

LOCATION: 9000 HAGGERTY ROAD. THE PROPERTY IS LOCATED AT THE NORTHWEST CORNER OF HAGGERTY ROAD AND TYLER ROAD.

Julian Beglin of HF Lenz Company gave the presentation. The applicant's primary reason for the variance request is to provide perimeter security to protect assets and data processing in the main building. Mr. Beglin displayed the layout of the site with the location of the wall. The applicant is requesting the wall be 14 feet in height to cover 13.6-foot vehicles coming in, the wall blocks are textured precast and weigh in excess of 1,000 pounds each. The applicant displayed color renderings of several different viewpoints from Haggerty Road to show how the wall will look from the almost 300-foot setback. There is also a landscape plan for the site.

Commissioners comments included: what if someone coming to work on the site happens to slide into the wall with their vehicle, has the applicant taken the time to investigate the ground in regards to settling over time and inquired why would the applicant like to add the wall now. There is a 10-foot section of unimproved area along the wall, which could intercept a vehicle. A geotechnical investigation of soil borings provided sampling results and composite strength showing high soil density, the applicant will prepare the surface and modify before putting the wall in place. The building has grown into a remote data processing location with higher security required by the FDIC.

The Planning Commissions comments will be forwarded to the Board of Zoning Appeals for the appeal meeting on February 12, 2019.

ITEM # 3 18-035 – COSTCO DRY DEPOT EXPANSION – FINAL SITE PLAN APPROVAL

TITLE: THE APPLICANT, MG2, IS REQUESTING FINAL SITE PLAN APPROVAL FOR THE CONSTRUCTION OF A 43,260 SQ FT ADDITION AND RELATED PARKING AREAS TO THE COSTCO DISTRIBUTION CENTER.

LOCATION: 5860 BELLEVILLE ROAD. THIS PROPERTY IS LOCATED ON THE WEST SIDE OF BELLEVILLE ROAD BETWEEN MICHIGAN AVENUE AND VAN BORN ROAD.

Brad Fishman and Ryan Hartsuff gave the presentation for the applicant. The applicant is requesting final site plan approval to construct an addition to the existing Costco Distribution Center, which was designed to have both a wet depot and dry depot. The addition of 43,260 is slightly larger than originally requested to accommodate an added break room and restroom for employees. Wayne County permitted the Costco Distribution Center as a full build out during the first phase, the applicant has gone back to Wayne County and they have no further requirements for the site. There will be water and sanitary sewer service with the break room and restroom, the 12-inch water main will be extended to the property and will be tied in at the west property line. The applicant is able to accommodate all comments from the planning engineers with the final set of plans.

Patrick Sloan of McKenna Associates presented his review letter dated 1-18-19 recommending preliminary site plan approval subject to the following items being satisfactorily addressed for administrative review:

1. That the discrepancy of the current number of dock doors be corrected on the plans.
2. That the plans clarify the use of 14 new dock areas marked as “future” doors.
3. That the paved surface maintenance agreement language from the Zoning Ordinance be noted on the plans.
4. That the tax parcel ID number be noted on the site plan.
5. That the discrepancy of the parking count in the parking data and project use statement notes be corrected.
6. That the discrepancy of the existing truck parking spaces and proposed truck parking spaces be corrected on the plans.

Paul Kammer of Fishbeck Associates presented his review letter dated 1-18-19 recommending the Planning Commission grant the Costco Dry Depot addition final site plan approval, subject to the review comments noted in the letter.

Director Akers presented the Fire Department review letter dated 12-3-18 recommending final site plan approval.

No comments from the Commission or the audience.

Motion Kelley, Boynton second to grant MG2 final site plan approval to construct a 43,260 square foot addition and related parking areas to the Costco Distribution Center located at 5860 Belleville Road, subject to the conditions and based on the analysis of the Fishbeck review letter dated 1-18-19, McKenna review letter dated 1-18-19 and Fire Department review letter dated 12-3-18. Motion Carried. (Letters attached)

ITEM # 4 18-036 – U.S. SIGNAL – PRELIMINARY SITE PLAN APPROVAL

TITLE: THE APPLICANT, US SIGNAL PROPERTIES, IS REQUESTING PRELIMINARY SITE PLAN APPROVAL TO CONSTRUCT A 25,000 SQ FT DATA PROCESSING BUILDING.

LOCATION: 9275 HAGGERTY ROAD. THIS SITE IS LOCATED AT THE NORTHEAST CORNER OF TYLER ROAD AND HAGGERTY ROAD.

Mike Knolls gave the presentation for the applicant. The applicant is requesting to construct a 100,000 square foot data center in 4 phases, this being the first phase at 25,000 square feet that will be utilized for storage of data servers. The applicant has applied to Wayne County, received review and is awaiting approval, has application in to MDEQ for water/sewer permits and is willing to meet all conditions presented by the planners and engineers.

Patrick Sloan of McKenna Associates presented his review letter dated 1-18-19 recommending the Planning Commission approve the preliminary site plan, subject to the following conditions:

1. The applicant must provide additional information regarding potential timeline for construction of the phases pursuant to the Zoning Ordinance.
2. The labels on the architectural drawings must correctly classify the use.
3. The correct setbacks of the OT district must be labeled and on the plans.
4. To meet the front yard setback of 75 feet from the right-of-way of Haggerty Road, the applicants must: move the building and parking lot eastward, which may also include moving 9 spaces facing Haggerty Road to the east side of the parking lot; or apply for a variance from the front yard setback requirement if the building and parking lot cannot feasibly be moved eastward.
5. The applicant must state the peak ingress period from Haggerty.
6. The applicant must clarify if the intent is to place large rocks along the two sides of the access drive.
7. In future phases, the driveway around the building must be upgraded to asphalt or concrete.
8. Any sidewalk located on the applicant's property outside the right-of-way must have a recorded access easement.
9. Construction of a crosswalk on the north side of Tyler Road to connect Haggerty Road is recommended.
10. The site plan parking calculations must include the 3 spaces on the north side of the building.
11. Pursuant to Section 9.101(J) and Section 9.101(H) of the Zoning Ordinance, we recommend that the applicant demonstrate the future levels of traffic for employees, customers, and other site users.
12. The irrigated areas must be clarified and must meet the requirements of the Zoning Ordinance.
13. The Viburnum shrubs around the mechanical equipment must be replaced with upright evergreens to meet the requirement of the Zoning Ordinance.
14. The landscaping plan should be labeled with an indication of which plans are for which requirements.
15. A photometric plan must be submitted in compliance with Section 8.105 of the Zoning Ordinance.
16. The architectural drawings must meet the requirements of Section 3.114 of the Zoning Ordinance.
17. The "wing wall" must either be replaced with evergreen screening, or be revised to comply with Section 7.205 of the Zoning Ordinance.
18. The applicant must clarify the dumpster enclosure materials and include the required bollards.
19. That the proposed fence height of 8 feet be approved by the Planning Commission if the Planning Commission determines that it meets the standards of Section 7.205 (B)(4).

20. If Section 7.205 of the Zoning Ordinance is not amended to allow fences in the front yard in the OT district, the applicant must apply for a variance for the proposed fence in the front yard.

Paul Kammer of Fishbeck Associates presented his review letter dated 1-18-19 recommending the Planning Commission grant US Signal Communications Data Center preliminary site plan approval, subject to the comments in the letter.

Director Akers presented the Fire Department review letter dated 1-14-19 recommending approval.

Commissioners inquired with there being no wall or monument signs, will there be an address. Yes, the address location will be addressed at final site plan review.

Motion Boynton, Jahr second to grant US Signal Properties preliminary site plan approval to construct a 25,000 square foot data processing building at 9275 Haggerty Road, located on the northeast corner of Tyler and Haggerty roads, subject to recommendations in the McKenna review letter dated 1-18-19, Fishbeck review letter dated 1-18-19 and Fire Department review letter dated 1-14-19. Motion Carried. (Letters attached)

GENERAL DISCUSSION:

ITEM # 1 ZONING ORDINANCE AMENDMENT REGARDING FENCES

Patrick Sloan of McKenna Associates presented proposed amendments to Section 7.205 (fences, walls, and other protective barriers) of the Zoning Ordinance.

Commissioners discussed adding MT to section (2)(b)(i), adding language to reconsider allowing for certain permitted uses within the OT district, recognizing that they have different security requirements, allowing the front yard fences in the OT district to come up to 8 feet with approval and adding language for energized barriers. Mr. Sloan will make the language more interactive and come up with examples.

Director Akers has the public hearing scheduled for February 13, 2019.

ADJOURNMENT:

Motion Boynton, Franzoi second to adjourn at 9:00 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
PUBLIC HEARING**

Notice is hereby given that the Charter Township of Van Buren Planning Commission will hold a public hearing on **Wednesday, February 13, 2019, at 7:30 p.m.** in the Board of Trustees Room, 46425 Tyler Road, Charter Township of Van Buren, Wayne County, Michigan to consider the following proposed amendments to the Charter Township of Van Buren's Zoning Ordinance:

1. Proposed amendment that would modify the requirements of section 7.205 of the Zoning Ordinance with regards to the placement of fences in the front yard of non-single family residential districts.

Please address any written comments to the Van Buren Township Planning Commission at, 46425 Tyler Road, Van Buren Township, MI 48111 or via e-mail at rakers@vanburen-mi.org. Written comments will be accepted until 4:00 p.m. on the hearing date. All materials related to this request are available for public inspection at the Van Buren Township hall prior to the hearing.

Van Buren Township will provide necessary reasonable auxiliary aides and services to individuals with disabilities who are planning to attend. Please contact Van Buren Township hall at 734-699-8913 at least seven (7) days in advance of the meeting if you need assistance.

Published: January 24, 2019

PLANNING & ZONING APPLICATION

Case number 19-005

Date Submitted _____

APPLICANT INFORMATION

Applicant TROWBRIDGE HOMES CONST. Phone 248-373-5080
Address 2617 BEACON HILL DR. Fax _____
City, State AUBURN HILLS, MI 48326 Zip _____
E-mail amie@Trowbridge-companies.com Cell Phone Number Amie 586-215-4046
Property Owner SHELDON ACQUISITIONS Phone _____
(if different than applicant)
Address 2617 BEACON HILL DR. Fax _____
City, State _____ Zip _____
Billing Contact _____ Phone _____
Address _____ Fax _____
City, State _____ Zip _____

SITE/ PROJECT INFORMATION

Name of Project COBBLESTONE RIDGE ESTATES.
Parcel Id No. V125-83- 114-04-0008 Project Address SEE ATTACHED

Attach Legal Description of Property

Property Location: On the South Side of W. HURON RIVER Road; Between RAWSONVILLE Road
and South ST / Sumpter Road. Size of Lot Width _____ Depth _____

Acreage of Site _____ Total Acres of Site to Review _____ Current Zoning of Site _____

Project Description: Minor Revisions to ELEVATIONS to keep
CURRENT.

Is a re-zoning of this parcel being requested? NO YES (if yes complete next line) NO
Current Zoning of Site _____ Requested Zoning _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? YES (if yes complete next line) NO

Section of Zoning Ordinance for which you are applying _____

Is there an official Woodland within parcel? _____ Woodland acreage _____

List total number of regulated trees outside the Woodland area? _____ Total number of trees _____

Detailed description for cutting trees _____

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Anthony F. B...



Memo

DATE: February 9, 2019
TO: Planning Commission
FROM: Ron Akers, AICP – Director of Planning & Economic Development
RE: SPR 19-005 Site Plan Amendment for Trowbridge Homes regarding Architectural Elevations in the Cobblestone Ridge Development.

The applicant, Trowbridge Homes, is requesting architectural approval for additional home plans and façade elevations for residential dwellings in the Cobblestone Ridge development. There is an existing Planned Residential Development (PRD) Agreement in place for the property which was approved in 2004 and there were several homes completed in the development around this time.

These plans are subject to the PRD agreement, and the standards of the Zoning Ordinance. The following is my review of the architectural plan based on the PRD agreement. I offer the following comments:

Comments

1. Site Plan

The setbacks, as described in the approved site plan for the Country Walk development, depict a required front yard setback of 25', a required rear yard setback of 35', and a required side yard setback of 5'. The standard lot size in this development is 80' wide by 120' deep.

The submitted plans do not include overall dimensions for the various floor plans. These will need to be verified prior to final approval that the width and depth of the floor plans will fit within the required setbacks of the subdivision.

2. Floor Area

The PRD agreement requires that the square footage of the detached single-family homes be a minimum of 1,800 square feet. Of the seven (7) additional models submitted staff was unable to verify that the square footages of the following models met this standard:

- A. Aspen
- B. Fairfax
- C. Greenbriar

The applicant will need to provide additional information regarding the square footage of these models prior to approval. The models Golfview, Stansfield A & B, and Winnick all met this requirement.

3. Façade Elevations

The Zoning Ordinance and the PRD agreement have specific requirements to ensure that the Township's "Substantially Different" architectural design standard is met. Section j(ix) of the PRD agreement specifically requires that the "Substantially Different" requirement be met by varying the following two (2) criteria:

- Roof pitch by varying three or more vertical units in twelve from one another (i.e. 6/12, 9/12, 12/12, etc.)
- Location of major design features relative to main mass by varying the location of at least two major design features that include, but are not limited to dormers, gables, garages (i.e. front-entry versus side-entry), and porches.

The Zoning Ordinance requires that this substantially different requirement be maintained from neighboring lots within three (3) lots of the proposed parcel and within three (3) lots of the property across the street. I have preliminarily reviewed the proposed elevations and offer the following:

The applicant still has several elevations which were approved during the initial approval of the development. Staff will continue to verify that each elevation meets the substantially different requirement on a lot to lot basis. If the applicant is unable to meet this requirement then the applicant will not receive a building permit.

4. Building Materials

The PRD agreement requires that all of the detached dwelling units provide brick on a minimum 50% of the façade. The following elevations do not meet the 50% brick on the façade requirement:

- A. Fairfax
- B. Winnick

These elevations will need to be revised to show that a minimum of the façade, exclusive of doors and windows, has 50% brick. The elevations Aspen, Golfview, Greenbriar, and Stansfield A & B meet the minimum brick requirement as proposed.

5. Side Entry Garages

The PRD agreement requires that at least 30% of the single-family detached units have side entry garages. Four (4) of the provided elevations include side entry garages. Staff will continue to monitor that this requirement is met subdivision wide, but at this time the applicant has submitted a sufficient number of elevations to meet this requirement.

6. Other Comments

The Greenbriar elevation has a note on top of the front elevation. It appears that a note was placed on top of it when it was copied. Please provide a revised drawing of the Greenbriar which is not covered and clearly depicts the front elevation.

Recommendation

Staff recommends that the Planning Commission postpone decision on this application until the applicant can provide the following information so we can ensure the elevations can meet the requirements of the PRD agreement:

1. Depictions of the width and length of each of the proposed homes to be built to determine that they will fit on a standard lot.
2. The proposed square footage of the Aspen, Fairfax, and Greenbriar plans to verify that these models meet the minimum floor area requirement of 1,800 square feet.
3. Revised elevations for the Fairfax and Winnick plans in order to demonstrate that these elevations meet the minimum 50% brick façade requirement exclusive of doors and windows.
4. Please provide a version of the Greenbriar plans which clearly depicts the elevations without obstruction.

TROWBRIDGE HOMES

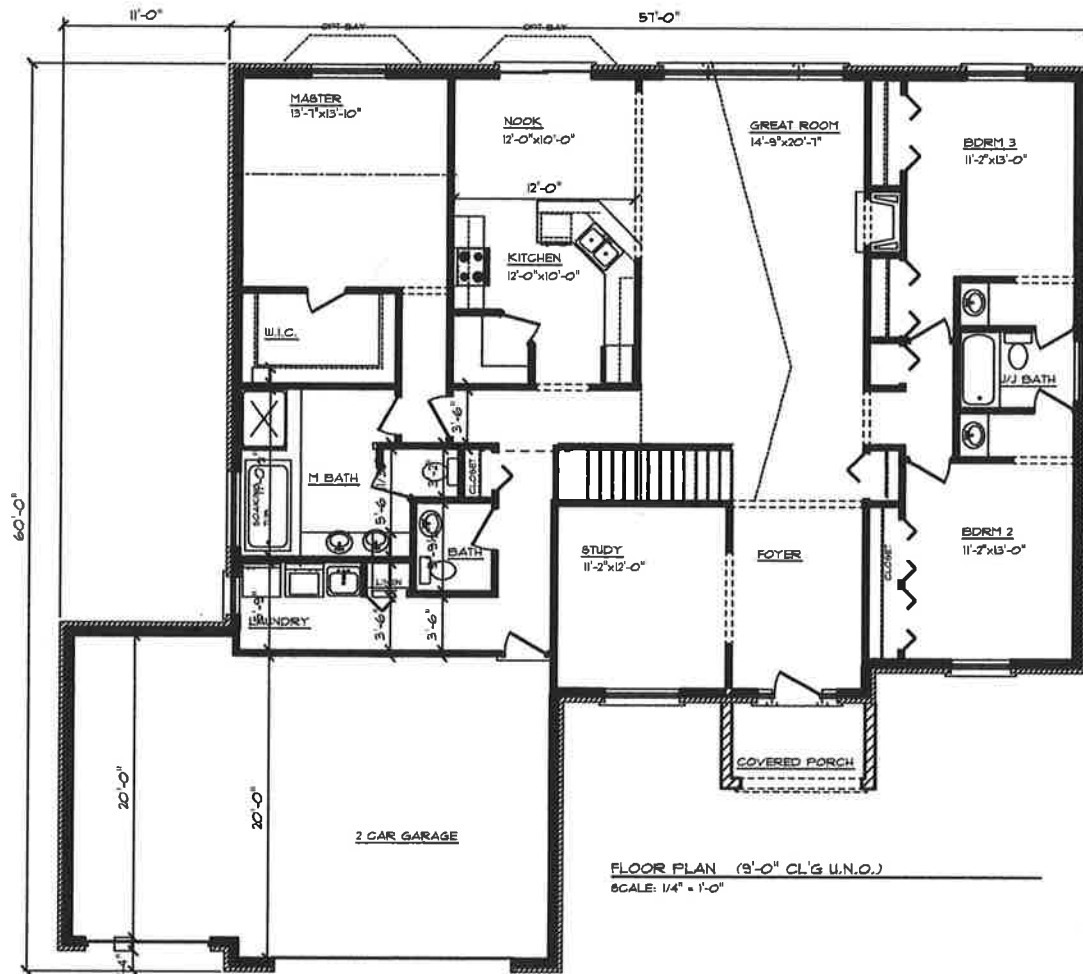
THE ASPEN

LOT# _____

SUB: _____

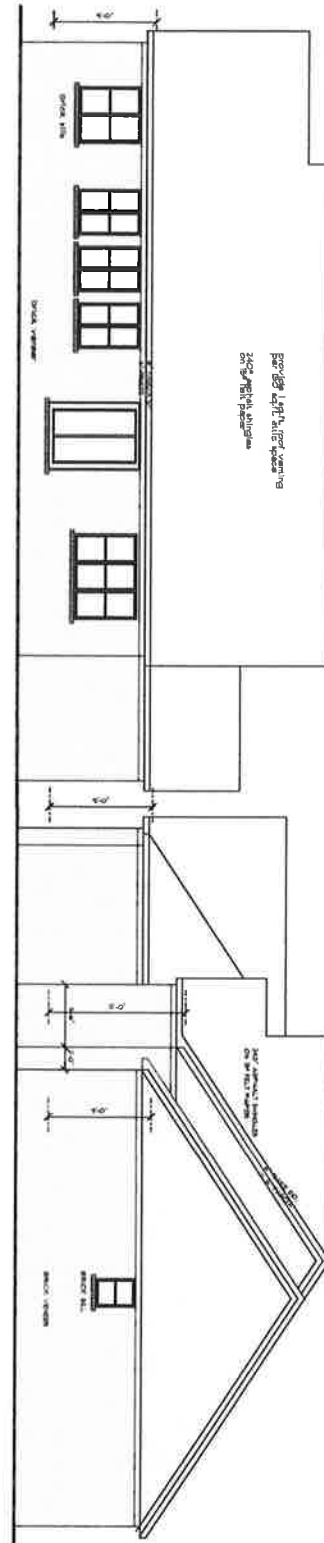


FRONT ELEVATION



Although deemed accurate at the time of publication, prices, plans and specifications are subject to change without notice or obligation. Renderings are an artist's conception, may vary in construction. Floor plan dimensions are approximate.

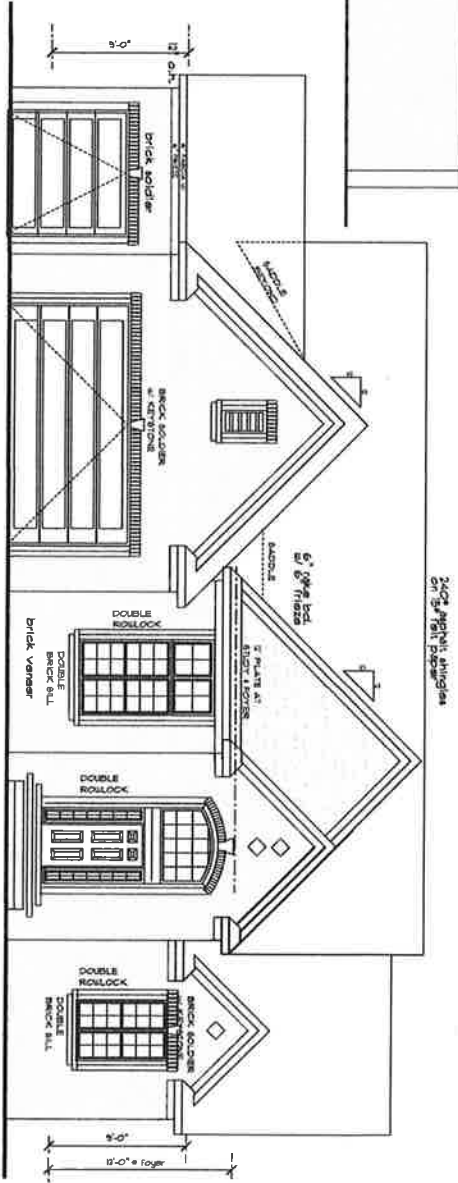
THE ASPEN



SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



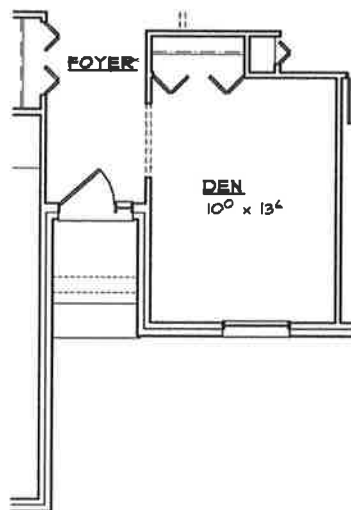
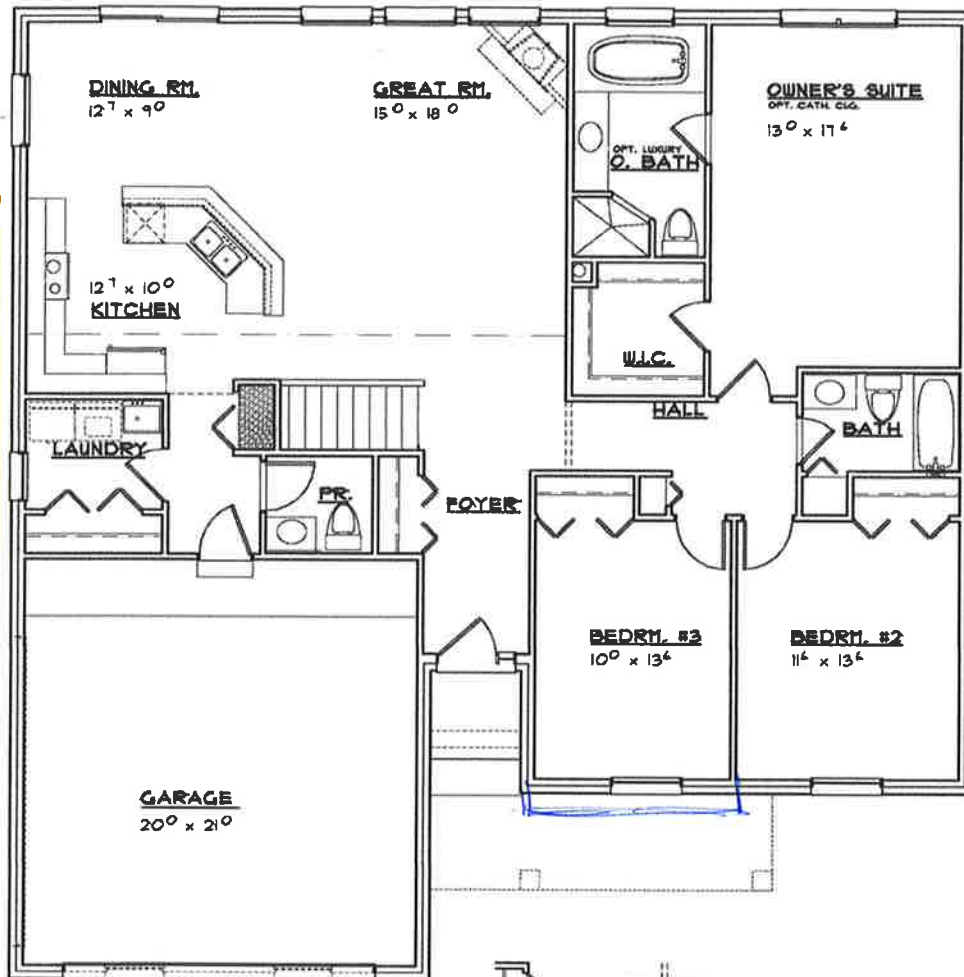
FRONT ELEVATION
SCALE 1/4" = 1'-0"

Date:	09-04-2018
Drawn:	AP
Check:	AP
Sheet #	A3
3CS	

THE ASPEN RANCH
3 CAR FRONT ELEVATIONS

3 COBBLESTONE
13497 BEACON TRAIL





PARTIAL FIRST FLOOR PLAN
OPTIONAL DEN

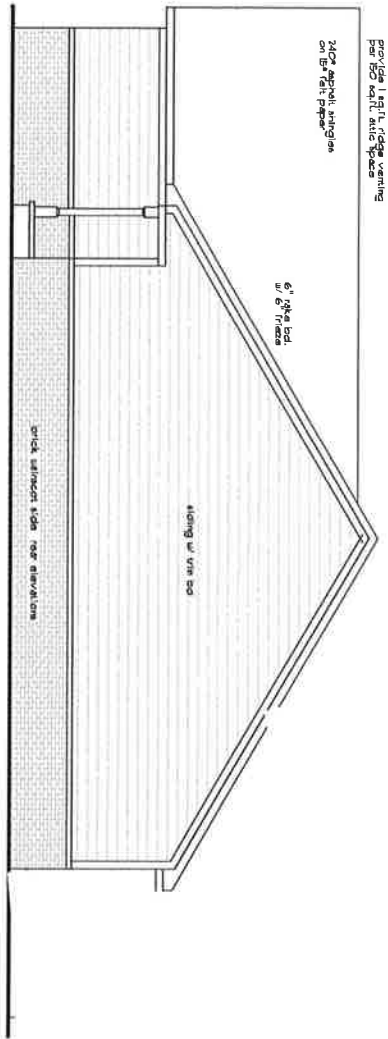


STANDARD OWNER'S BATH

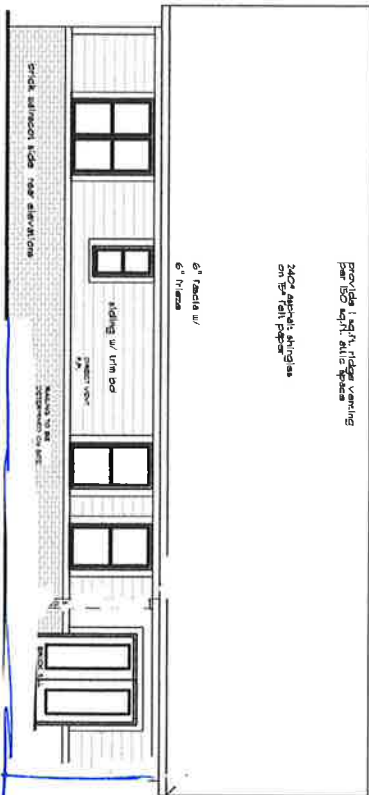
Ranch Style Home

THE FAIRFAX

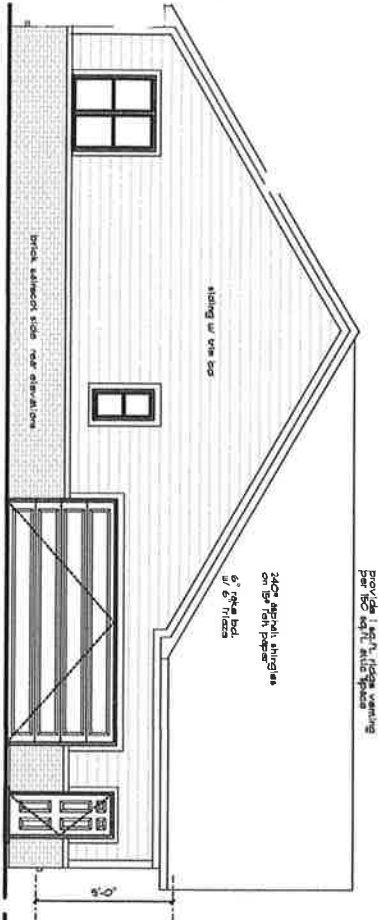
RIGHT ELEVATION



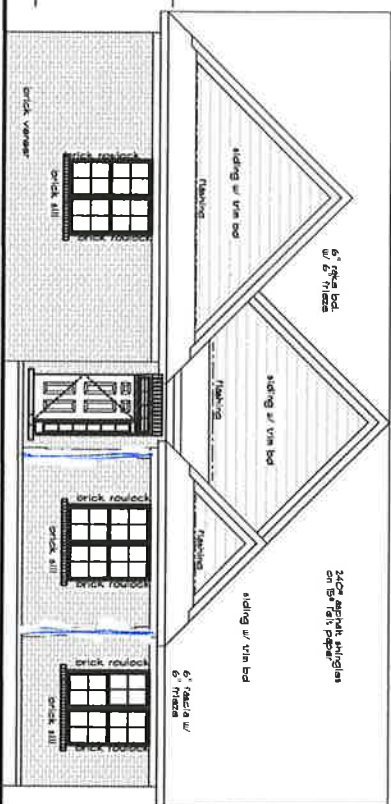
REAR ELEVATION



LEFT ELEVATION

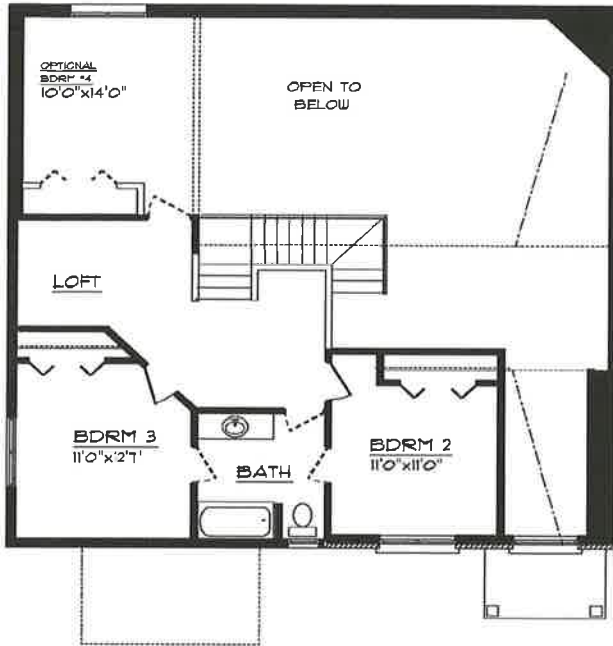


FRONT ELEVATION



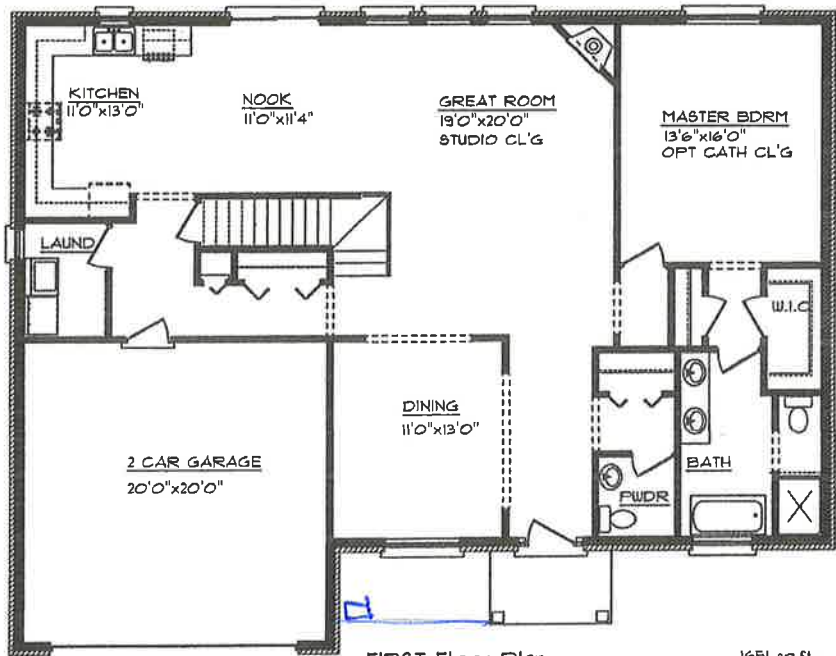
TROWBRIDGE HOMES

THE GOLFVIEW



SECOND Floor Plan

617 sq.ft.

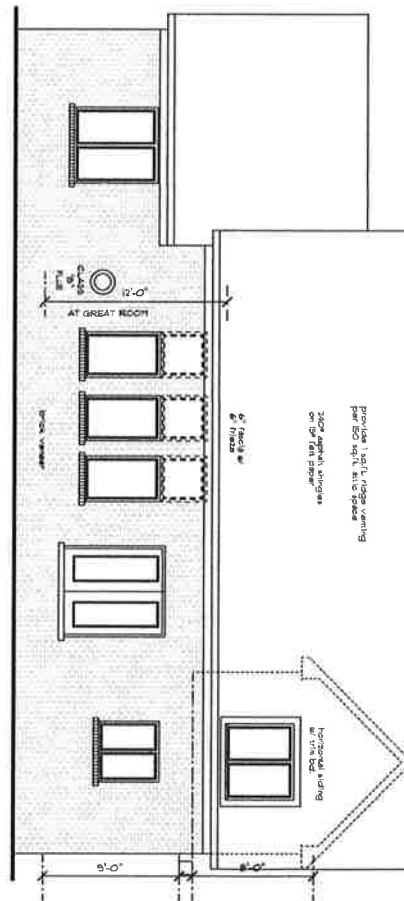
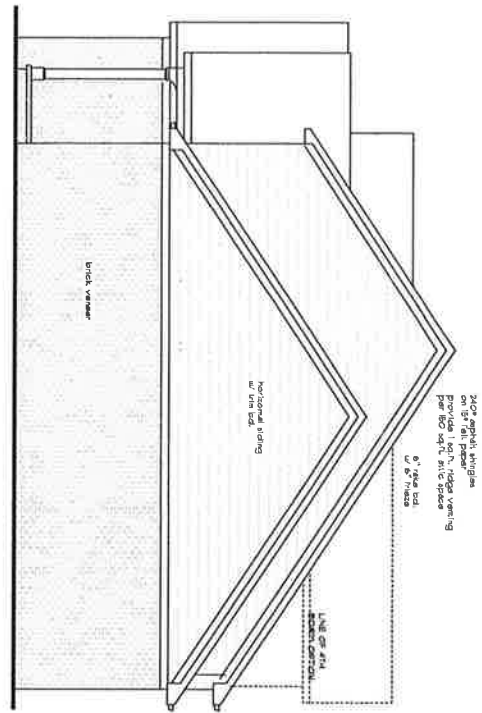
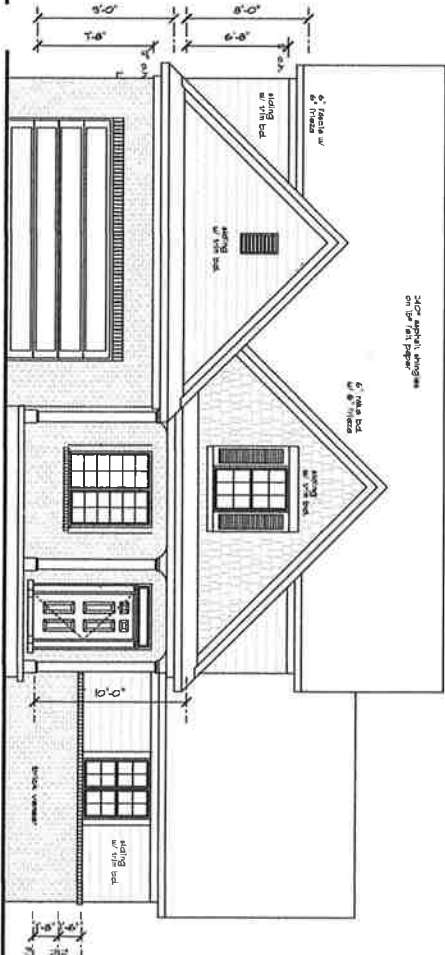
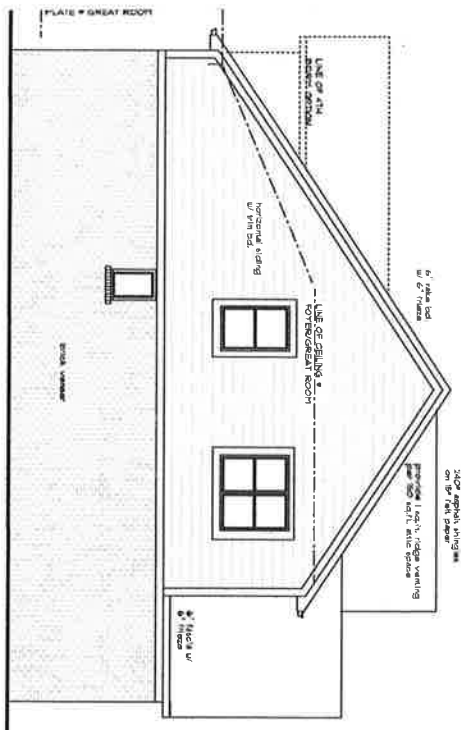


FIRST Floor Plan

1651 sq.ft.

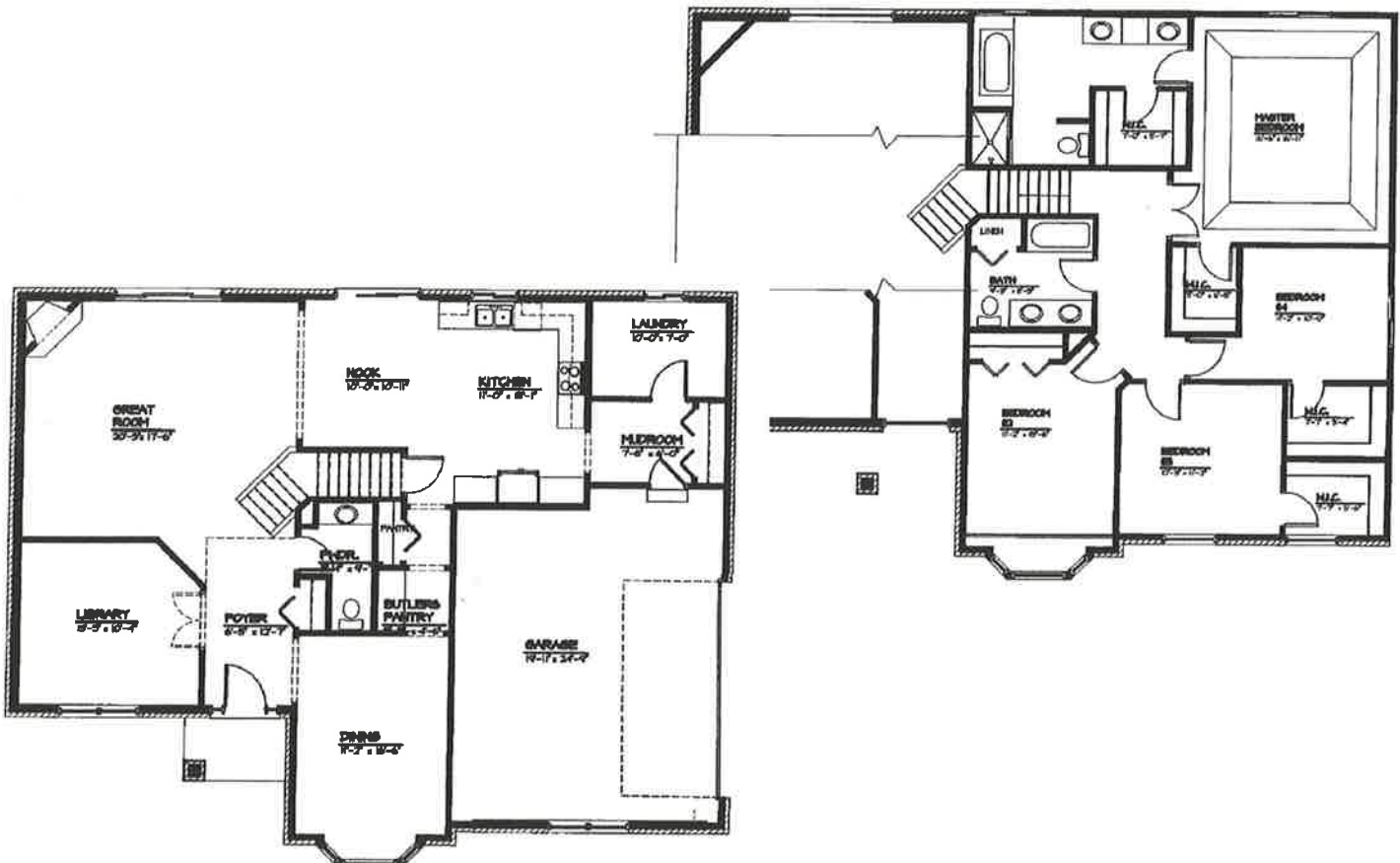
Although deemed accurate at the time of publication, prices, plans and specifications are subject to change without notice or obligation. Renderings are an artist's conception, may vary in construction. Floor plan dimensions are approximate.

THE GOLFVIEW

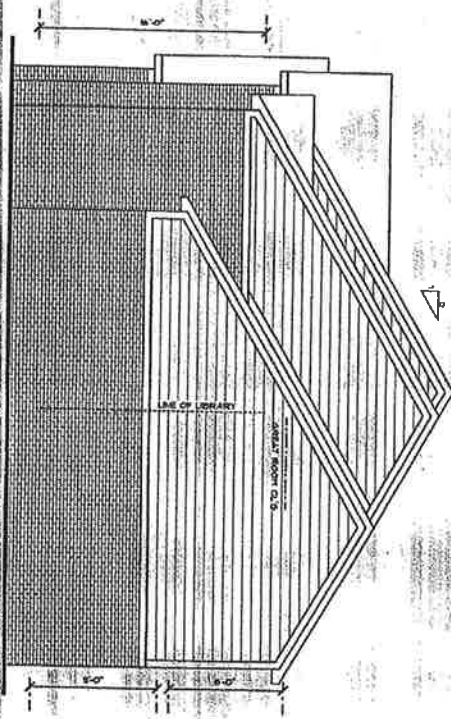




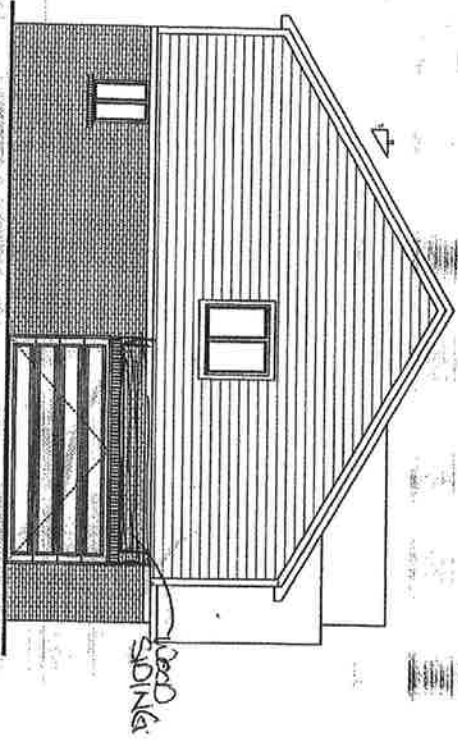
GREENBRIAR 'B'
TROWBRIDGE - ROGAERTS



LEFT ELEVATION



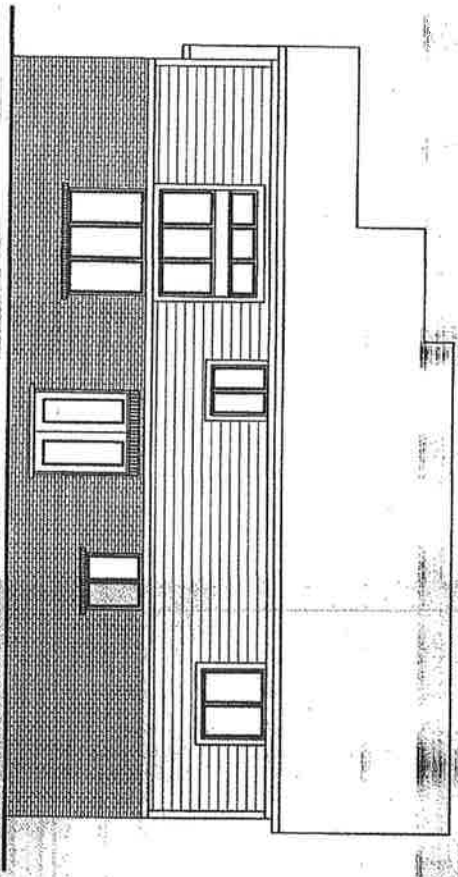
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

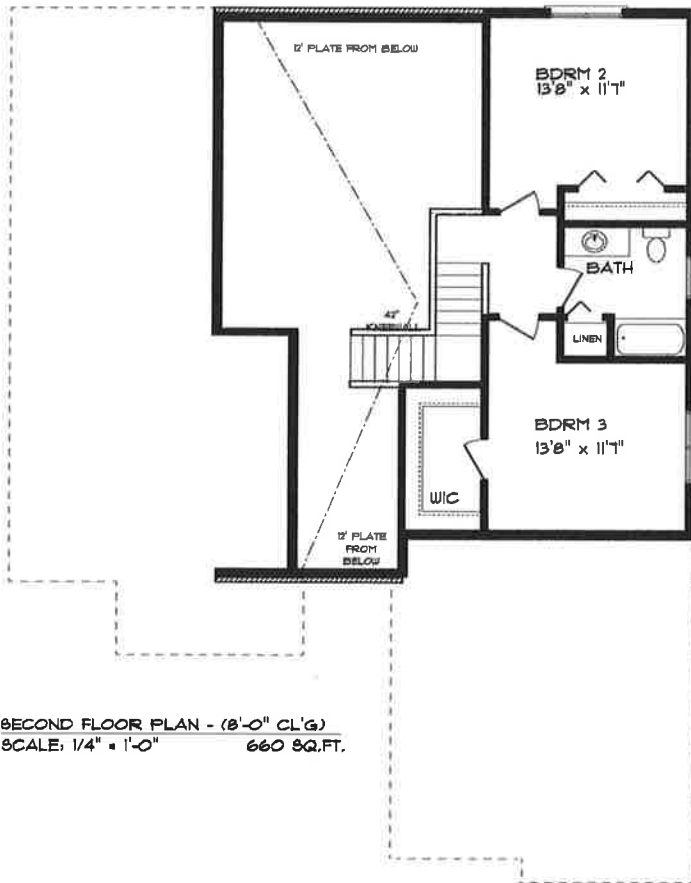


THE GREENBRIAR

THE GREENBRIAR
LOT 15 HUNTERWOOD
TITLE PAGE

THORNTON CONSTRUCTION

THE STANSFIELD "A"



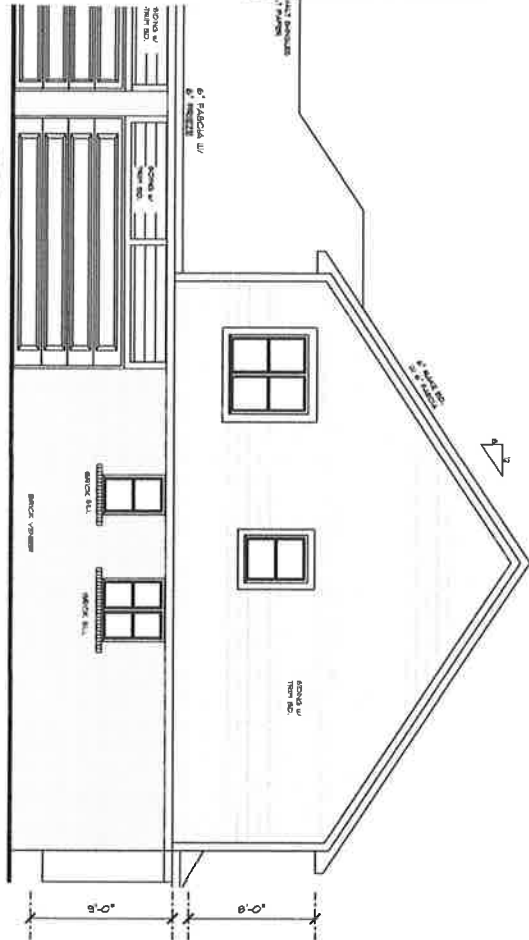
The first floor plan shows a large 3-car garage (19' x 31'6") on the right side. A central foyer provides access to several rooms: a study (11' x 12'), a master suite (13' x 16'-10") with a walk-in closet (WIC) and master bathroom (M. BATH), a great room (18' x 17') with a fireplace, a kitchen (13'4" x 10') with a breakfast room (13'4" x 9'4") and an optional island, and a laundry room. A powder room (PWDR) is also located near the study. Closets are shown in the master suite, study, and laundry areas. Stairs lead to the second floor from the foyer and laundry room.

FIRST FLOOR PLAN - (9'-0" CL'G)
 1725 SQ.FT. SCALE: 1/4" = 1'-0"

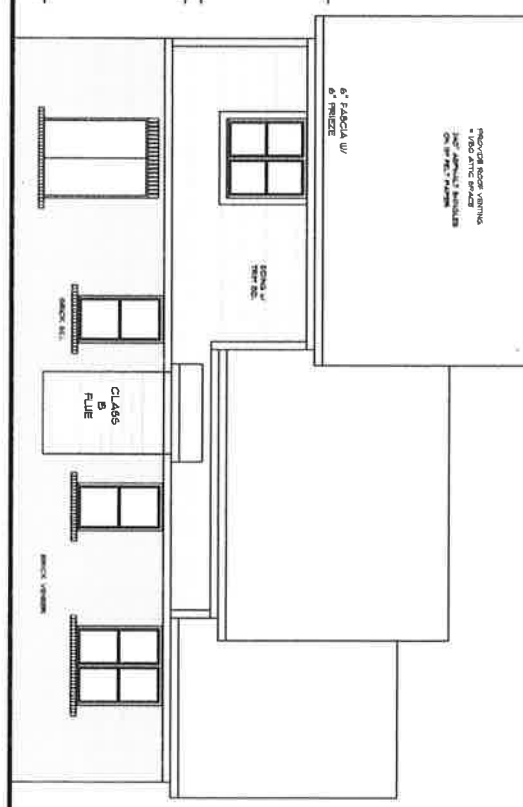
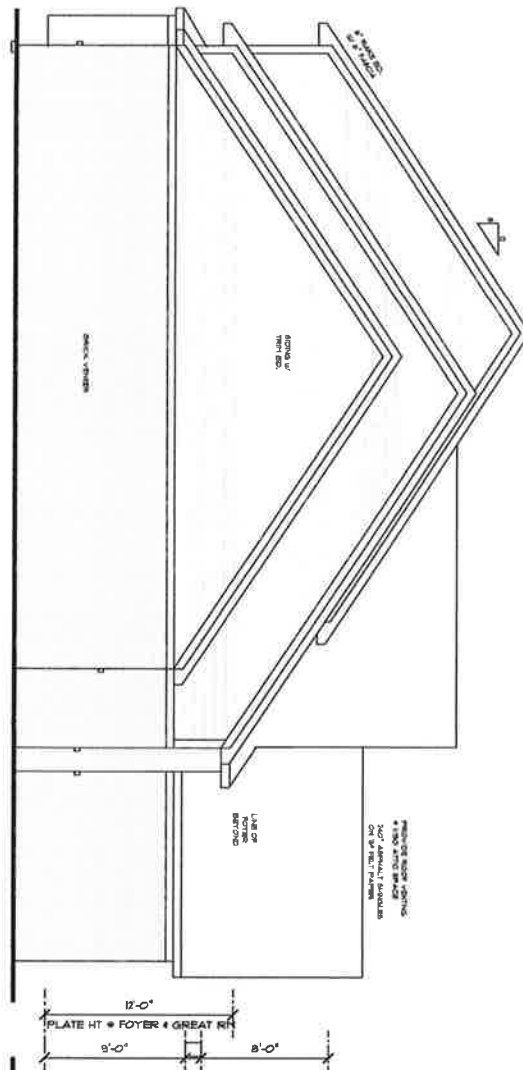
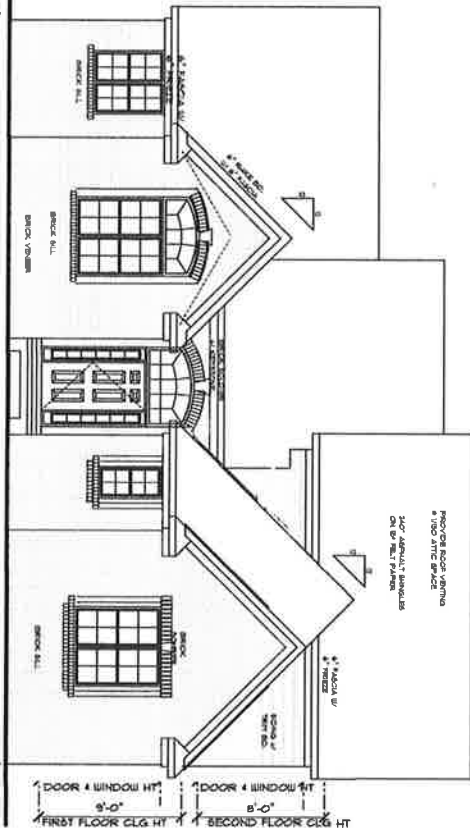
Although deemed accurate at the time of publication, prices, plans and specifications are subject to change without notice or obligation. Renderings are an artist's conception, may vary in construction. Floor plan dimensions are approximate.

THE STANSFIELD "A"

RIGHT ELEVATION



FRONT ELEVATION



Drawn	10/18/2018
Check	
Revise	
Scale	
Sheet	A2
Project	AP
Client	
Architect	TCS

THE STANSFIELD 47
2385SF 2 CAR FRONT
FIRST FLOOR PLAN

7 COBBLESTONE
13579 BEACON TRAIL



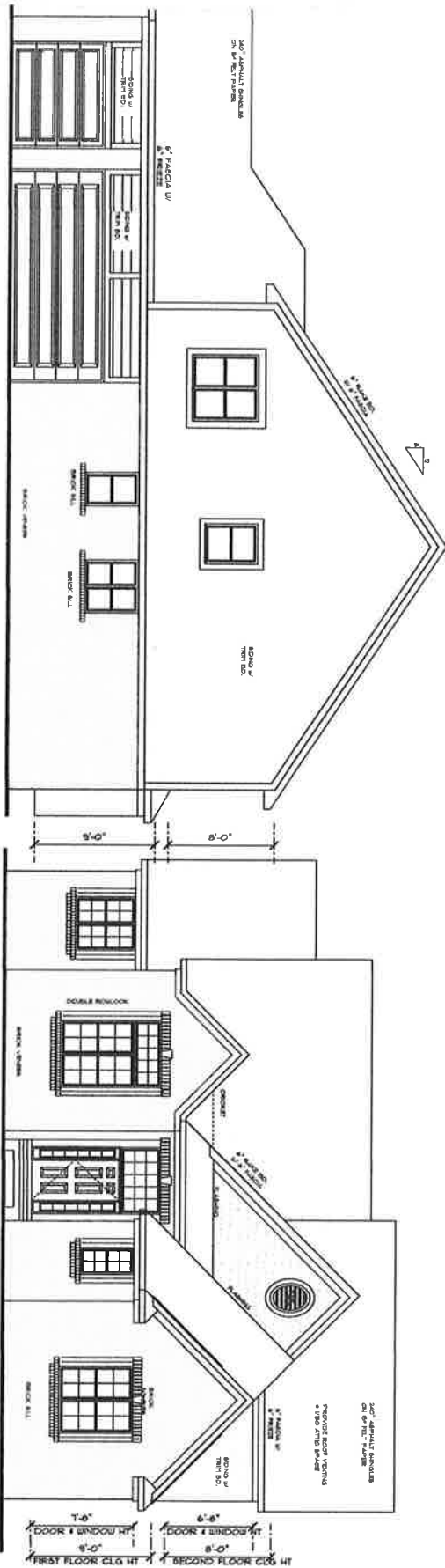
THE STANSFIELD "B"



Although deemed accurate at the time of publication, prices, plans and specifications are subject to change without notice or obligation. Renderings are an artist's conception, may vary in construction. Floor plan dimensions are approximate.

[illegible]

FRONT ELEVATION



2CS

Date	10/18/2018
Function	
Dept	AF
Class	
Zone	IF
	A2
Alt Ref	

THE STANSFIELD 47
2385SF 3 CAR SIDE
FIRST FLOOR PLAN

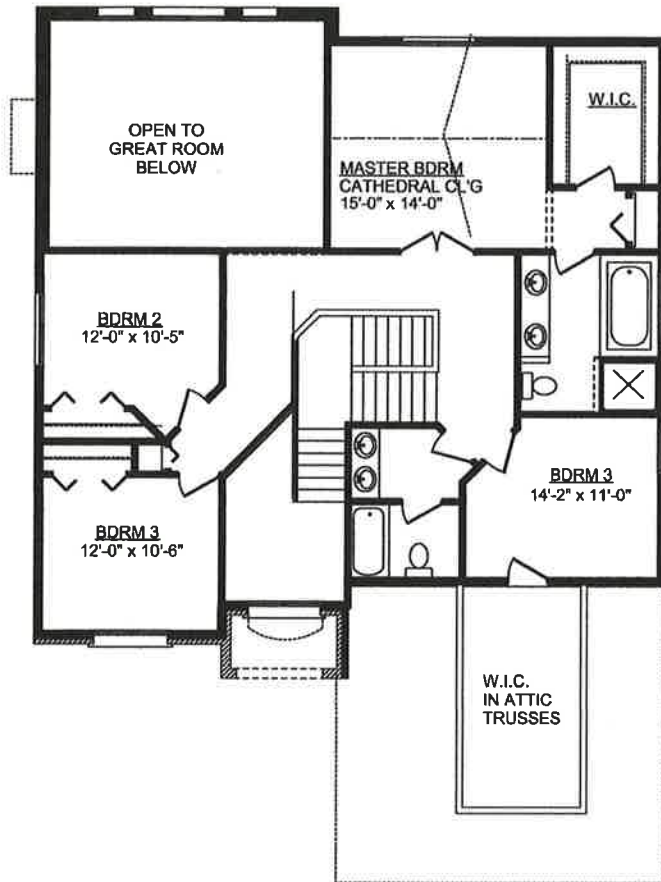
2 COBBLESTONE
13479 BEACON TRAIL



TROWBRIDGE HOMES

THE WINNICK

PB17-0992
FOR TRUSSES ONSITE
9-21-1018 AMIE



SECOND FLOOR PLAN - (8'-0" CL'G)

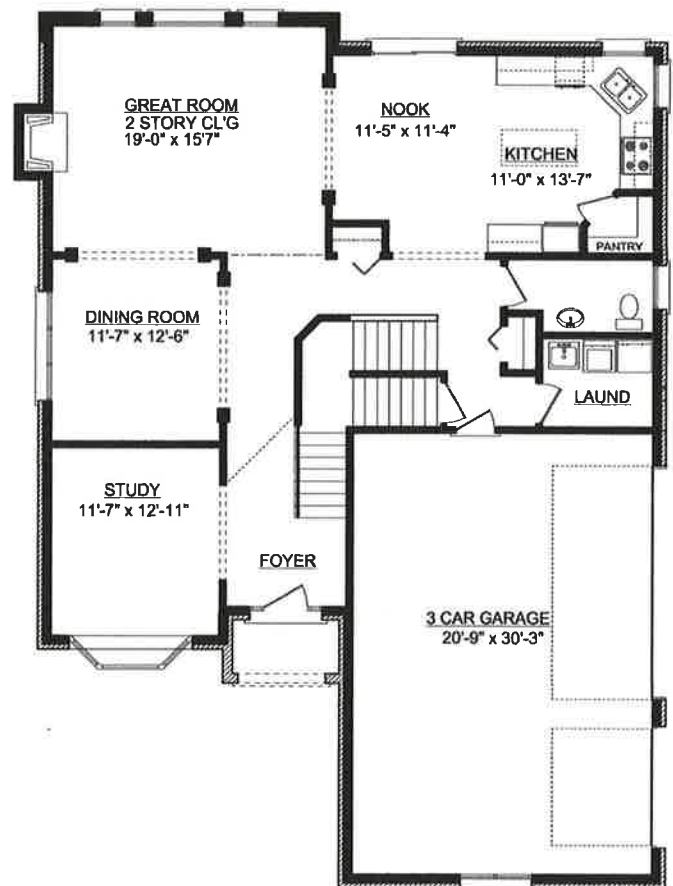
SCALE: 1/4" = 1'-0"

1650 SQ. FT.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

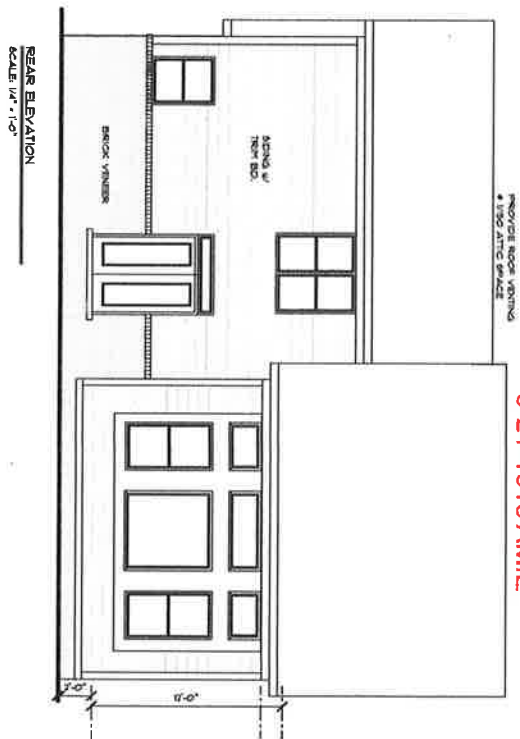
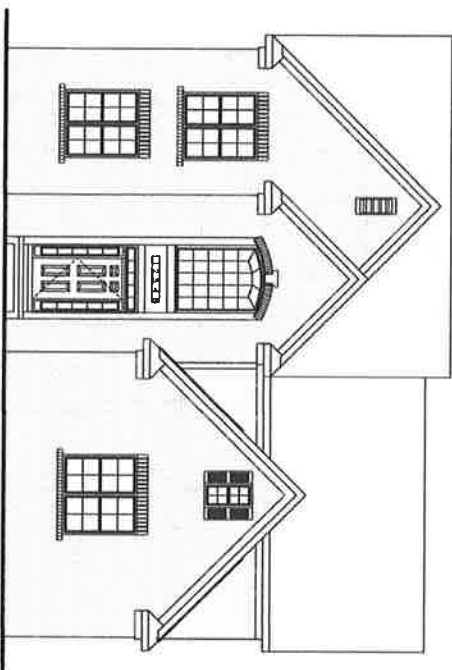
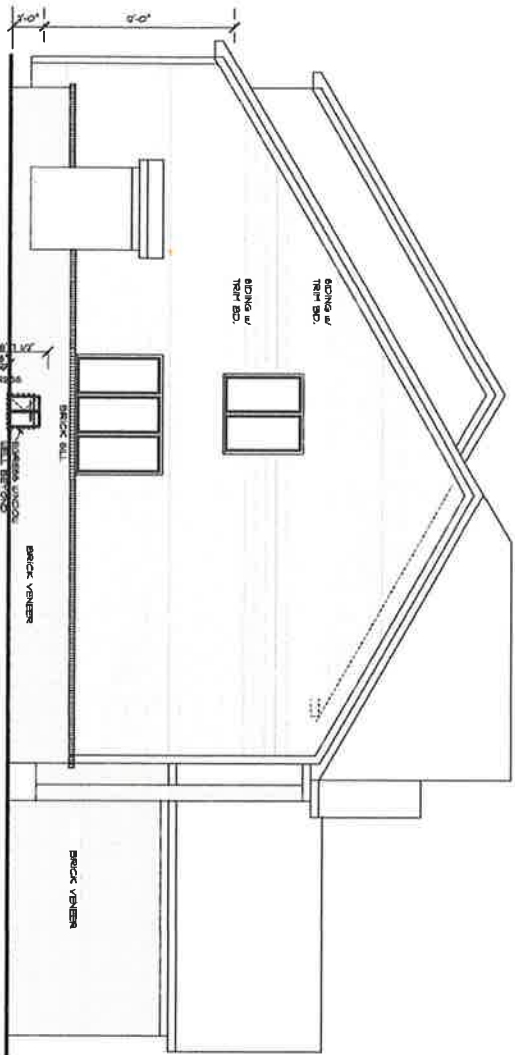
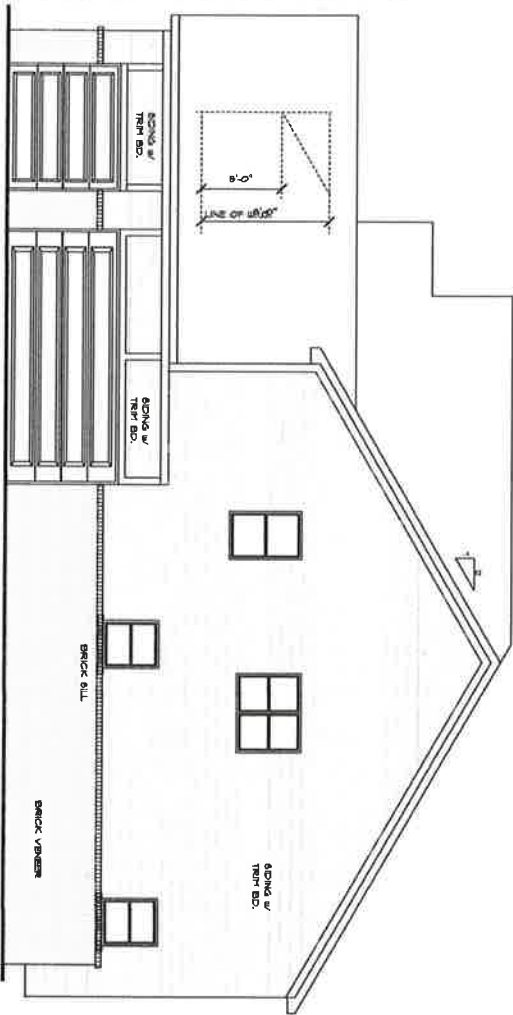


FIRST FLOOR PLAN - (9'-0" CL'G)

SCALE: 1/4" = 1'-0"

1460 SQ. FT.

THE WINNICK



PB17-0992
FOR TRUSSES ONSITE
9-21-1018 AMIE

Date: 08/14/2017
Drawn: AP
Check: [blank]
Scale: 1/4" = 1'-0"
Sheet: 8CS
A4

THE WINNICK - 2015
3WAY STAIR - 3 CAR SIDE
ELEVATIONS

8 COBBLESTONE
13557 BEACON TRAIL



PLANNING & ZONING APPLICATION

Case number 19-004

Date Submitted _____

APPLICANT INFORMATION

Applicant BK Development Group **Phone** 248-702-6919
Address 31000 Northwestern Hwy Suite 145 **Fax** 248-702-6369
City, State Farmington Hills, MI **Zip** 48334
E:mail joe@bojidevelopment.com **Cell Phone Number** 248-431-7175
Property Owner _____ **Phone** _____
(if different than applicant)
Address _____ **Fax** _____
City, State _____ **Zip** _____
Billing Contact Same as applicant **Phone** _____
Address _____ **Fax** _____
City, State _____ **Zip** _____

SITE/ PROJECT INFORMATION

Name of Project Cobblestone Creek Woodlands
Parcel Id No. V125-83- **Project Address** _____
Attach Legal Description of Property
Property Location: On the South Side of Huron River Dr Road; Between Hoelt Road
and Elwell Road. **Size of Lot** Width 80 Depth 120
Acreage of Site _____ **Total Acres of Site to Review** _____ **Current Zoning of Site** _____
Project Description: New construction single family home

Is a re-zoning of this parcel being requested? no **YES (if yes complete next line)** NO
Current Zoning of Site _____ **Requested Zoning** _____

SPECIAL PERMIT INFORMATION

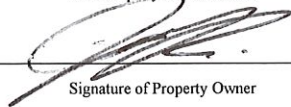
Does the Proposed Use Require Special Approval? **YES (if yes complete next line)** NO
Section of Zoning Ordinance for which you are applying _____
Is there an official Woodland within parcel? _____ **Woodland acreage** _____
List total number of regulated trees outside the Woodland area? _____ **Total number of trees** _____
Detailed description for cutting trees _____

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Joseph Boji

Print Property Owners Name


Signature of Property Owner

1/31/19

Date

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this _____ day of _____, 20____.

_____, Notary Public, _____ County, Michigan My Commission expires _____, 20____.
Rev 1/12/06



Memo

DATE: February 9, 2019
TO: Planning Commission
FROM: Ron Akers, AICP – Director of Planning & Economic Development
RE: SPR 19-004 Site Plan Amendment for BK Development in Cobblestone Creek Review.

The applicant, BK Development, is requesting architectural approval for a single additional home plan and façade elevations for residential dwellings in the Cobblestone Creek development. There is an existing Planned Residential Development (PRD) Agreement in place for the property which was approved in 2005 which outlines some of the requirements of the Township's Zoning Ordinance with regards to these elevations.

These plans are subject to the PRD agreement and the standards of the Zoning Ordinance, specifically section 4.54 which addresses specific architectural standards in these types of development.

The following is my review of the architectural plan based on Zoning Ordinance and PRD agreement. I offer the following comments:

Comments

1. Site Plan

The setbacks, as described in the approved site plan for the Cobblestone Creek development, depict a front yard setback of 25', a required rear yard setback of 35', and a required side yard setback of 5'. The typical lot size in the development are 80' in width and 120' in depth.

The applicant has submitted dimensions for all of the proposed house plans which are 43' X 57.5'. Based on those plans it appears the houses will fit on the lots and be able to meet the required setbacks.

2. Floor Area

The PRD agreement requires that the square footages of the detached single-family homes in Cobblestone Creek be a minimum of 1,800 square feet. The proposed Denton elevation has a total floor area of 2,010 square feet. This requirement has been met.

3. Façade Elevations

The Zoning Ordinance and the PRD agreement have specific requirements to ensure that the Township's "Substantially Different" architectural design standard is met. Section j(ix) of the PRD agreement specifically requires that the "Substantially Different" requirement be met by varying the following two (2) criteria:

- Roof pitch by varying three or more vertical units in twelve from one another (i.e. 6/12, 9/12, 12/12, etc.)
- Location of major design features relative to main mass by varying the location of at least two major design features that include, but are not limited to dormers, gables, garages (i.e. front-entry versus side-entry), and porches.

The Zoning Ordinance requires that this substantially different requirement be maintained from neighboring lots within three (3) lots of the proposed parcel and within three (3) lots of the property across the street. BK Development has previously submitted the minimum number of elevations to meet this requirement so any additional elevations would further this requirement. Staff reviews each individual elevation for compliance with this requirement and based on prior approvals the applicant can meet this standard.

4. Building Materials

The PRD agreement mirrors the Zoning Ordinance requirement that the detached dwelling units must have a minimum of 50% brick, stone, or other decorative material on the exterior façade of each unit.

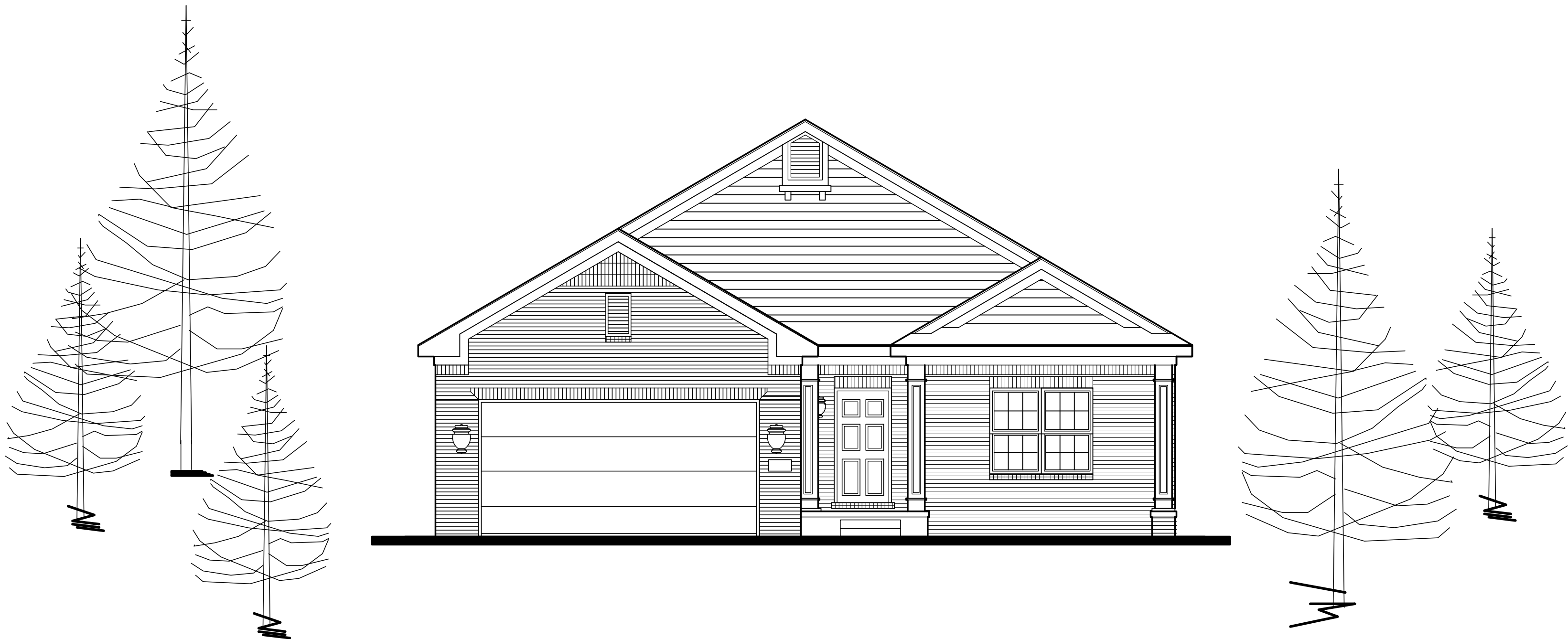
Based on the provided plans it does not appear that the total percentage of exterior material (total area of all walls minus the area of windows, doors, and gable ends) would meet the 50% requirement, but the applicant would easily be able to achieve this by making modifications to the plans in order to reflect this. I would recommend that the Planning Commission require that this item be satisfied as a condition of approval.

Recommendation

Based on the comments listed above, staff recommends that the Planning Commission approve an amendment to the site plan for the Cobblestone Creek development in order to allow the additional elevation depicted in the plans dated 1-22-2019. This approval should be based upon the staff review letter dated February 9, 2019 and conditioned upon the following:

1. That the applicant provides a revised plan which depicts the detached unit having a minimum of 50% brick, stone, or other decorative material on the exterior façade of the entire building measured by taking the total area of all walls minus the area of windows, doors, and gable ends.
2. Township Planning Staff shall review each application for a new single-family home in the Cobblestone Creek development in order to determine that the new home meets

the required setbacks and that the elevation meets the Township's "Substantially Different" architectural design standards set forth in the PRD agreement.



DENTON HOME

GENERAL NOTES:

- DO NOT SCALE DRAWINGS - USE GIVEN DIMENSIONS - ONLY.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. IF DISCREPANCIES OCCUR, CONTRACTOR SHALL NOTIFY ARCHITECT IF NECESSARY.
- CONTRACTOR SHALL CONSTRUCT THIS PROJECT IN ACCORDANCE W/ THE LATEST MICHIGAN BUILDING CODE 2009, MECHANICAL CODE AND LATEST EDITION OF THE N.E.C. CODE.
- APPROVED FIRE STOP MATERIAL SHALL BE PROVIDED IN ALL DROPS & CHASES FOR ELECTRICAL, PLUMBING, & HEATING.
- VERIFY LOCATION OF FURNACE & WATER HEATER W/ MECHANICAL CONTRACTOR.
- SMOKE DETECTORS SHALL BE AC/DC & INTERCONNECTING W/ ONE ANOTHER.
- HEADERS, JOISTS & RAFTERS SHALL BE No 2 SPF OR BETTER.
- MIN LUMBER Fb = 1050 PSI BENDING STRESS.
LVL Fb= 3100 PSI BENDING
- DOUBLE OR LADDER JOISTS UNDER ALL PARALLEL PARTITIONS.
- ALL WINDOW SIZES SHOWN ARE APPROX. UNIT SIZES ONLY (i.e. 3050x13-0"X 5'-0"11"). BEDROOM WINDOWS MUST MEET EMERGENCY EGRESS REQUIREMENTS, MANUFACTURERS TO VERIFY SIZES.
- ALL FIRST LEVEL INTERIOR DOORS ARE TO BE 2'-8" x 6'-8" (U.N.O.) 1ST. FLR. WINDOW HEIGHT IS 8'-0" A.F.F. (U.N.O.). SECOND FLOOR DOORS ARE TO BE 2'-8" x 6'-8" (U.N.O.), 2ND. FLR. WINDOW HEIGHT IS 6'-8" A.F.F. (U.N.O.).
- PRE-ENGINEERED WOOD BEAMS ARE BASED ON BOISE VERSA LAM 2.0 3100 SP.
- ALL GLASS IN HAZARDOUS LOCATIONS MUST COMPLY WITH SECTION R308 OF MEC 2015.
- ALL INTERIOR STUD WALLS ARE TO BE 2x4 CONSTRUCTION UNLESS OTHER WISE NOTED, ALL EXTERIOR STUD WALLS TO BE 2x6 CONSTRUCTION UNLESS OTHER WISE NOTED.
- TRUSS MANUFACTURER TO VERIFY ROOF FRAMING & NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- FINISHED FLOOR MATERIALS BY OWNER.
- POINT LOADS SHALL NOT BE ALTERED W/ OUT NOTIFYING ARCHITECT.
- 36" HIGH WOOD RAILING BALUSTER. CLEAR OPENING MUST BE LESS THAN 4" DIA., TYPICAL.
- ALL STAIRS TO HAVE HEAD HEIGHT OF 6'-8" CLEAR MINIMUM.

- ALL LINEN CLOSETS TO HAVE BOTTOM SHELF ON 3'-4", FURRING.
- PROVIDE SOFFIT (STEAM TRAP) OVER SHOWER & TUB (FINISH PER BUILDER/OWNER SPEC.).
- PROVIDE OUTSIDE COMBUSTION AIR FOR ALL FIREPLACES.
- LOCATE ATTIC ACCESS TO SUIT & MEET LOCAL CODE.
- VERIFY LOCATION OF FURNACE, WATER HEATER AND OTHER MECHANICAL EQUIPMENT W/ MECHANICAL CONTRACTOR.
- FIRST FLOOR LIVE LOAD: 40 PSF LIVE
SECOND FLOOR LIVE LOAD: 40 PSF LIVE
FIRST FLOOR DEAD LOAD: 10 PSF DEAD
SECOND FLOOR DEAD LOAD: 10 PSF DEAD
ROOF LOAD: 47 PSF TOTAL
- FLOORS WITH TILE OR STONE TO BE DESIGNED W/ DEFLECTION LIMITS OF L/480 ALL OTHERS @ L/360.
- INSULATION R-VALUES:
BOND WALLS R-19
CEILING LOCATIONS R-13
FOUNDATION WALLS R-38
R-II TOP 4 FEET
- 1/2" THIN BRICK, ADHERED TO WOOD FRAMED CHIMNEY AT ALL INTERIOR FIREPLACES WITHOUT FOOTINGS.

MASONRY NOTES:

- MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)", PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, DETROIT, MICHIGAN EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- MASONRY SHALL BE TESTED FOR NO EFFLORESCENCE.
- TYPE "S" MORTAR.
- SW BRICK, COLOR SELECTION BY OWNER. BRICK TECHNICAL DATA SHALL BE SUBMITTED TO ARCHITECT FROM SUPPLIER. MORTAR JOINTS SHALL BE CONCAVE.
- ARCHITECT APPROVAL IS REQUIRED FOR ALL LIMESTONE DETAILS. SHOP DRAWINGS TO BE SUBMITTED BY MANUFACTURER / SUPPLIER PRIOR TO BEGINNING JOB.
- PROVIDE KNEE HOLES @ 32" O.C. AND 8" ABOVE GRADE

FOUNDATION GENERAL NOTES:

- DO NOT SCALE DRAWINGS, USE GIVEN DIMENSIONS.
- ALL FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL. FOOTING DESIGN BASED ON MIN. 2500 PSF SOIL PRESSURE
- FOOTING & WALL COMPRESSIVE STRENGTH SHALL BE 3000 PSI MIN. AT 28 DAYS. BASEMENT SLABS 2500 PSI. GARAGE SLABS & OTHER EXTERIOR FLATWORK 3500 PSI.
- CONCRETE REINFORCING BARS SHALL BE A.S.T.M. A-615 GRADE 60, MIN.
- STEEL FABRICATION & ERECTION SHALL MEET ALL A.I.S.C. CODES.
- ALL BASEMENT WALLS SHALL BE BRACED PRIOR TO PLACING BACKFILL.

ABBREVIATIONS:

A.F.F. - ABOVE FINISH FLOOR
ALUM. - ALUMINUM
A.C.T. - ACOUSTICAL CEILING TILE
A.O. - ARCHED OPENING
AND. - ANDOIZED
B.C. - BOTTOM CHORD
BRD. - BOARD
B.F.F. - BELOW FINISH FLOOR
BLK. - BLOCK
BM. - BEAM
B.O. - BY OWNER
B.U. - BUILT UP
CAB. - CABINET
C.B. - CATCH BASINS
C. - COLD
CER. - CERAMIC
C.J. - CONTROL JOINT
C.L. - CENTER LINE
C.G. - CEILING
CLOS. - CLOSET
C.O. - CLEAN-OUT
COL. - COLUMN
CONC. - CONCRETE
CONT. - CONTINUOUS
CONN. - CONNECT
CONST. - CONSTRUCTION
CONTR. - CONTRACTOR
C.M.U. - CONCRETE MASONRY UNIT
DET. - DETAIL
DIM. - DIMENSION
D.L. - DEAD LOAD
DN. - DOWN
D.S. - DOWNSPOUT
DWG. - DRAWING

ELEV. - ELEVATION
EQUIP. - EQUIPMENT
E.V. - EACH WAY
EXH. - EXHAUST
EXIST. - EXISTING
EXT. - EXTERIOR
EA. - EACH
E.C. - ELEC. CONTRACTOR
E. CONST. - EXPOSED
EP. - CONSTRUCTION
E.J. - EXPANSION JOINT
E.F. - EACH FACE
ELEC. - ELECTRICAL
F.B. - FIRE BRICK
F41 - FURNISH AND INSTALL
F.D. - FLOOR DRAIN
F. - FLANGE
F.F. - FINISHED FLOOR
FIN. - FINISH
FLR. - FLOOR
FTS. - FOOTINGS
FND. - FOUNDATION
GALV. - GALVANIZED
G.C. - GENERAL CONTRACTOR
GLS. - GLASS
G.B. - GRAB BAR
GYP. - GYPSUM
H.M. - HOLLOW METAL
HVAC - HEATING, VENTILATION & AIR CONDITIONING
INT. - INTERIOR
INSUL. - INSULATION, INSULATE, INSULATED

DESIGN DATA:

GENERAL CONTR. TO COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- MICHIGAN RESIDENTIAL BUILDING CODE 2015
- MICHIGAN MECHANICAL CODE 2015 (M.M.C.)
- MICHIGAN PLUMBING CODE 2015 (M.P.C.)
- MICHIGAN ELECTRICAL CODE BASED ON 2015 N.E.C. W/ PART 8 AMENDMENTS

USE GROUP: R
CONSTRUCTION CLASS: 5B

AREA:		
FIRST FLOOR	2,010	SQ. FT.
GARAGE	431	SQ. FT.
BASEMENT	2,010	SQ. FT.
TOTAL GROSS	2,441	SQ. FT.

JST. - JOIST
JT. - JOINT
LL. - LIVE LOAD
L.V. - LIVE VENT
MECH. - MECHANICAL
MIN. - MINIMUM
M.T. - MARBLE THRESHOLD
MTL. - METAL
N.I.C. - NOT IN CONTRACT
N.T.S. - NOT TO SCALE
PTD. - PAINTED
P.T. - PRESSURE TREATED
R.A. - RETURN AIR
R.S. - ROOF SUMP
REINF. - REINFORCING
REQ'D. - REQUIRED
RE-STL. - REINFORCING STEEL
S.A. - SUPPLY AIR
S & V - SEAL & VARNISH
SCHED. - SCHEDULE
SD. - SASH DIMENSIONS
SIM. - SIMILAR
SHT. - SHEET
STOR. - STORAGE
STD. - STANDARD
STL. - STEEL

STRUCT. - STRUCTURAL
T & B - TOP & BOTTOM
T.B. - TOWEL BAR
T.C. - TOP CHORD
T.O.F. - TOP OF FOOTING
O.C. - ON CENTER
PERIM. - PERIMETER
PERM. - PERMANENT
PL. - PLATE
PRE-MLD. - PRE-MOLDED
P.S.F. - POUNDS PER SQUARE FOOT
P.S.I. - POUNDS PER SQUARE INCH
T.O.P. - TOP OF PIER
T.O.M. - TOP OF MASONRY
T.O.W. - TOP OF WALL
TYP. - TYPICAL
UNO. - UNLESS NOTED OTHERWISE
V.I.F. - VERIFY IN FIELD
W/ - WITH
WD. - WOOD
MT. - WOOD THRESHOLD
WWF - WELDED WIRE FABRIC

AASHO - AMERICAN ASSOCIATION OF STATE HIGHWAY OFFICIALS
AIA - AMERICAN INSTITUTE FOR ARCHITECTS
ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS
AISC - AMERICAN INSTITUTE OF STEEL CONSTRUCTION
CRSI - CONCRETE REINFORCING SOCIETY INSTITUTE.

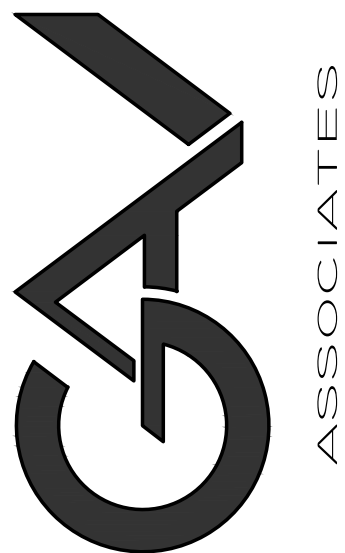
SHEET SCHEDULE

SHEET #	SHEET TITLE & DESCRIPTION
T.101	TITLE SHEET
ARCHITECTURAL PLANS	
A.101	FOUNDATION AND FIRST FLOOR PLAN
A.102	FIRST FLOOR PLANS OPTION A & B
A.201	BASIC ELEVATIONS OPTION A
A.202	A.201 UPGRADE ELEVATIONS OPTION D
A.203	A.202 UPGRADE ELEVATIONS OPTION E
A.204	A.203 UPGRADE ELEVATION OPTION G
A.205	A.203 UPGRADE ELEVATIONS OPTION F
A.301	BUILDING SECTION "A"
A.302	BUILDING SECTIONS "B"
A.303	BUILDING SECTIONS "C"
MECHANICAL PLANS	
M.101	HVAC FLOOR PLANS
M.102	MECHANICAL DETAILS & SCHEDULE
STRUCTURAL PLANS	
S.101	SHEAR WALLS DETAILS AND LOCATIONS

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

ARCHITECTURAL
DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC.
24001 ORCHARD LAKE RD., STE. 150A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-0101
WEB: WWW.GAVASSOCIATES.COM



DENTON HOME

MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BEA	BEA	SA/AV

SCALE : NOT TO SCALE

FILE NAME : 18075 T.101

JOB #: 18075

SHEET TITLE
TITLE
SHEET

SHEET #
T.101

DESIGN DATA

GENERAL CONTR. TO COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- * MICHIGAN RESIDENTIAL BUILDING CODE 2004
- * MICHIGAN MECHANICAL CODE 2012 (M.M.C.)
- * MICHIGAN PLUMBING CODE 2012 (M.P.C.)
- * MICHIGAN ELECTRICAL CODE BASED ON 2011 N.E.C. W/ EAST 2 MODIFICATIONS
- * MICHIGAN ENERGY CODE 2015

USE GROUP: R CONSTRUCTION CLASS: 5B

DESIGN LOADS:

FIRST FLOOR LIVE LOAD: 40 P.S.F. LIVE
FIRST FLOOR DEAD LOAD: 10 P.S.F. DEAD
ROOF LOAD: 47 P.S.F. TOTAL

MASONRY NOTES:

1. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)" PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, DETROIT, MICHIGAN EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.

2. MASONRY SHALL BE TESTED FOR NO EFFLORESCENCE.

3. TYPE "S" MORTAR.

5. PROVIDE KEEP HOLES @ 32" O.C. AND 8" ABOVE GRADE.

NOTES:

1. DO NOT SCALE DRAWINGS - USE GIVEN DIMENSIONS - ONLY.

2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. IF DISCREPANCIES OCCUR, CONTRACTOR SHALL NOTIFY ARCHITECT IF NECESSARY.

3. SMOKE DETECTORS SHALL BE AC/DC & INTERCONNECTING W/ ONE ANOTHER.

4. HEADERS, JOISTS & RAFTERS SHALL BE NO 2 SPF OR BETTER.

5. MIN LUMBER Fb = 1,000 PSI BENDING STRESS.

6. DOUBLE OR LADDER JOISTS UNDER ALL PARALLEL PARTITIONS.

7. ALL WINDOW SIZES SHOWN ARE APPROX. UNIT SIZES ONLY (I.E. 3050x53-0"X 5-0") BEDROOM WINDOWS MUST MEET EMERGENCY EGRESS REQUIREMENTS, MANUFACTURERS TO VERIFY SIZES.

8. PROVIDE CEMENT BOARD AT TUB AND SHOWER WALLS.

9. ENGINEERED LUMBER (HEADERS AND BEAMS) SIZED MIN BENDING STRESS 3,100 PSI

10. ALL GLASS IN HAZARDOUS LOCATIONS MUST COMPLY WITH SECTION 2406.2 MBC 2009

11. TRUSS MANUFACTURER TO VERIFY ROOF FRAMING & NOTIFY ARCHITECT OF ANY DISCREPANCIES

12. POINT LOADS SHALL NOT BE ALTERED W/ OUT NOTIFYING ARCHITECT.

13. 36" HIGH GUARDRAIL CLEAR OPENING WITHIN BALUSTERS MUST BE LESS THAN 4" DIA.

GENERAL NOTES

CONCRETE:

1. THE LATEST EDITION OF THE FOLLOWING CODES GOVERNS DESIGN, DETAILING, FABRICATION AND CONSTRUCTION OF ALL REINFORCED CONCRETE:

- a. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318/318R-15)
- b. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315-12)
- c. SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301-16)

2. UNLESS OTHERWISE NOTED ALL CONCRETE SHALL BE NORMAL WEIGHT AND SHALL DEVELOP MINIMUM COMPRESSIVE STRENGTH 28 DAYS AS FOLLOWS:

TRENCH FOOTINGS, PAD FOOTINGS MIN. 3,000 PSI
INTERIOR SLAB-ON-GRADE MIN. 2,500 PSI
EXTERIOR SLAB-ON-GRADE MIN. 3,500 PSI
FOUNDATION WALLS MIN. 3,000 P.S.I.

EXTERIOR CONCRETE TO BE AIR ENTRAINED

REINFORCEMENT:

- ALL REINFORCING STEEL SHALL BE DEFORMED BARS GRADE 60 CONFORMING TO THE LATEST EDITION OF ASTM A-615 OR ASTM-616 AND HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI
- WELDED WIRE FABRIC ASTM A-185

FOUNDATION NOTES

- THE CONTRACTOR SHALL CONFORM TO THE FOLLOWING REQUIREMENTS
- FOUNDATIONS SHALL BEAR ON FIRM, ORIGINAL BEARING MATERIAL.
- FOUNDATIONS ARE DESIGNED WITH ASSUMED SOIL CAPACITY OF 2500 PSF. NOTIFY ARCHITECT OF DISCREPANCY FOR POSSIBLE FOUNDATION REDESIGN.
- EXTERIOR FOUNDATIONS SHALL HAVE MINIMUM DEPTH OF 42" BELOW FINISHED GRADE OR SLAB.

INSULATION R-VALUES:
BOND
WALLS
CEILING LOCATIONS
FOUNDATION WALLS

R-19
R-13
R-38
R-11 TOP 4 FEET

INTERCONNECTED SMOKE DETECTOR R314 CODE REQUIREMENTS

INTERCONNECTED CARBON MONOXIDE ALARM R314 CODE REQUIREMENTS

INTERCONNECTED SMOKE DETECTOR AND CARBON MONOXIDE ALARM R315 CODE REQUIREMENTS

RECESSED LIGHT FIXTURE

CABLE CONNECTION

PHONE

OUTLET

PENDANT LIGHTING

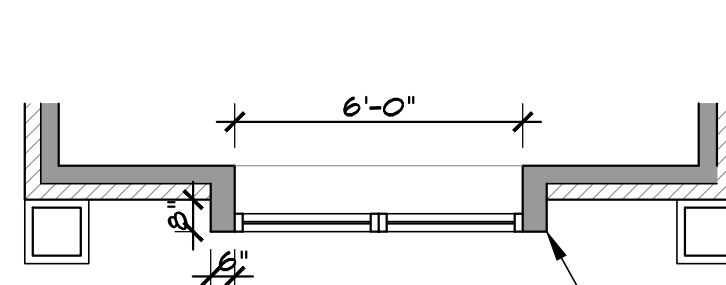
HOSE BIB

EXHAUST (HRV)

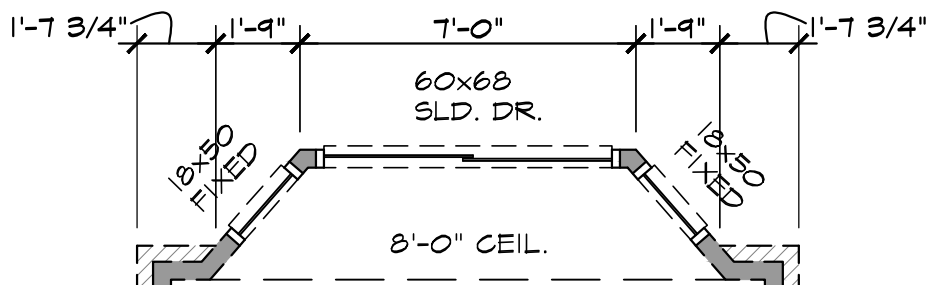
EXHAUST TERMINAL

DENTON HOME

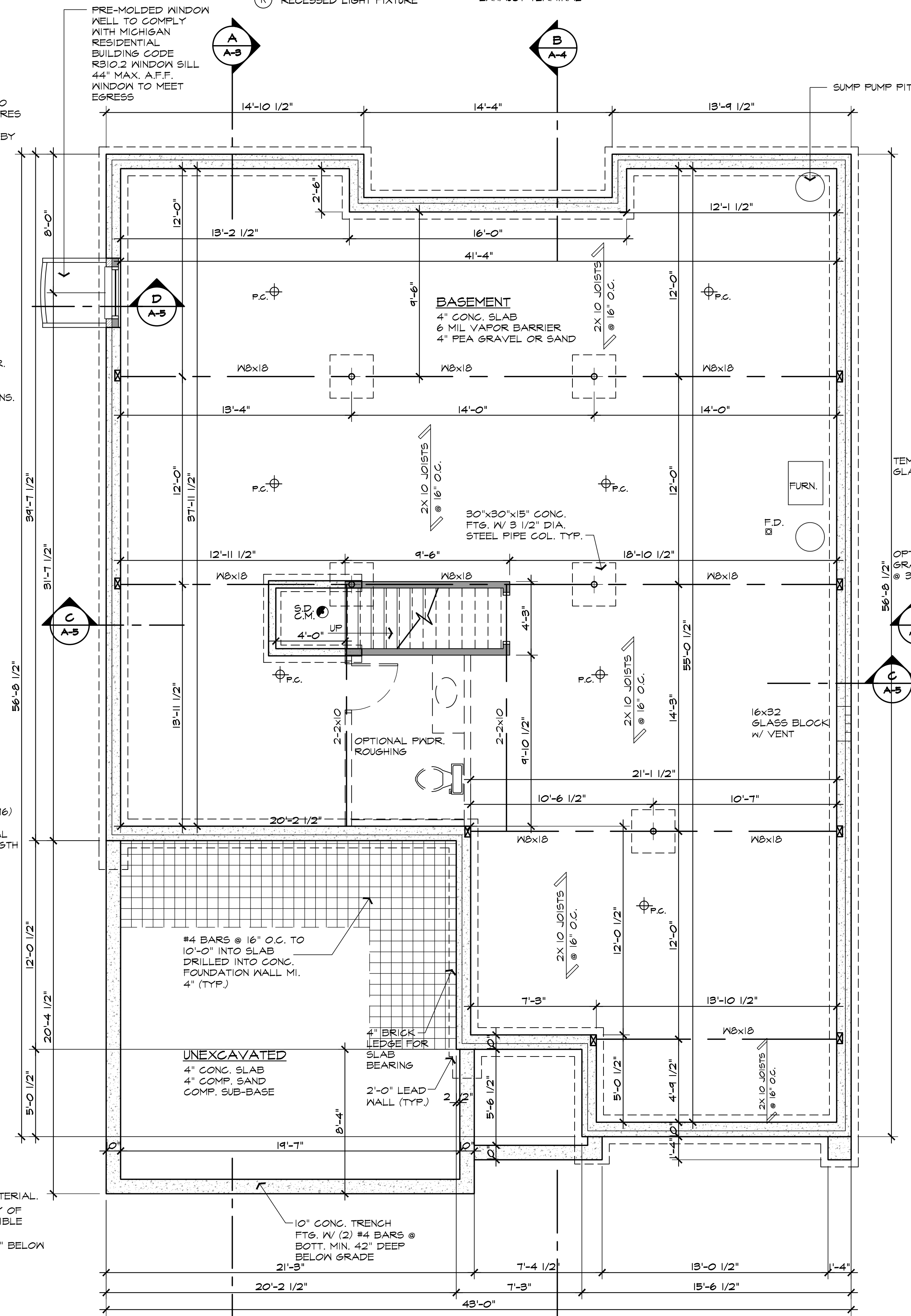
3 BEDROOM, 43'-0" WIDE RANCH - 2010 S.F.



OPTIONAL ELEVATION D'

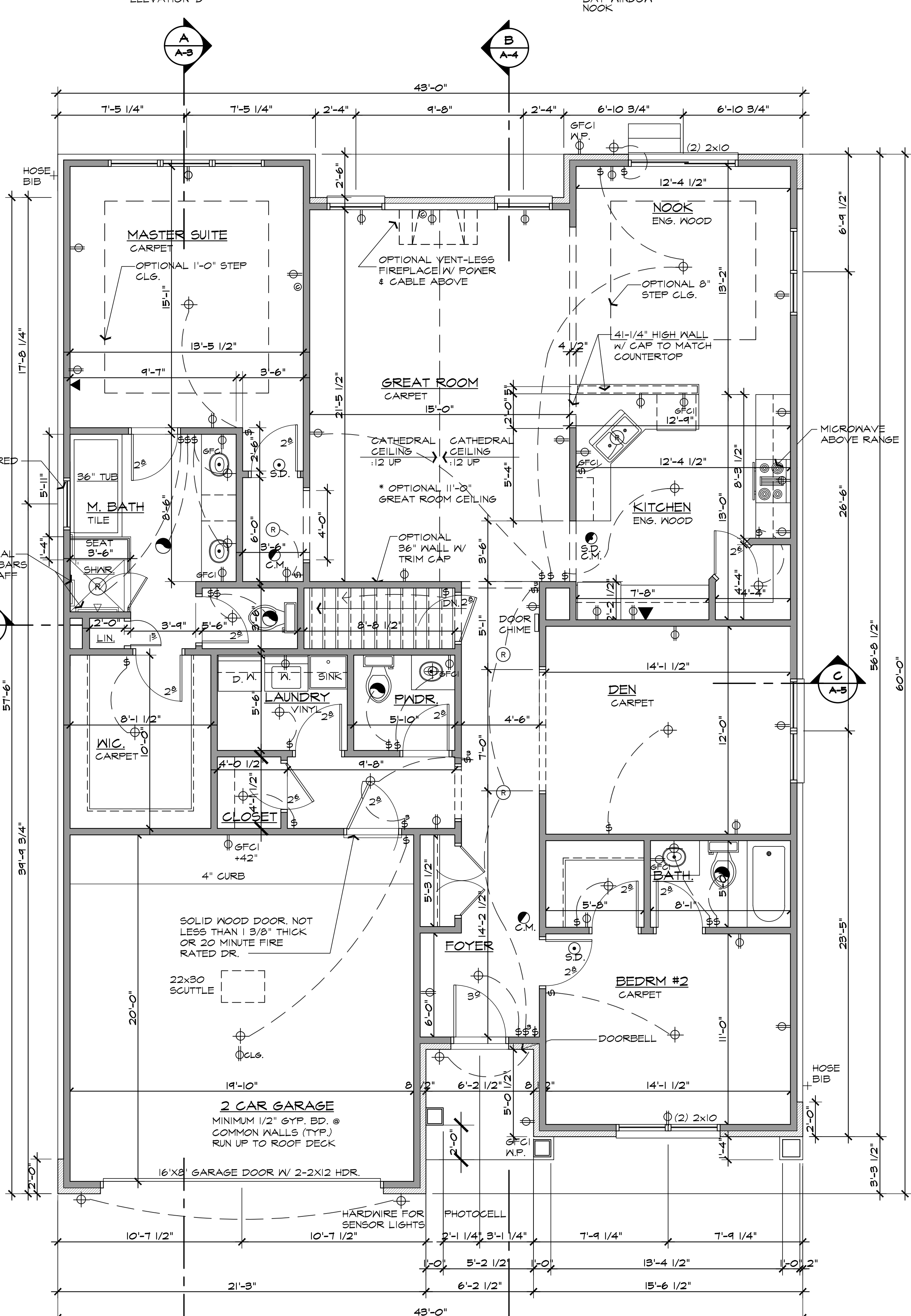


OPTIONAL BAY-WINDOW NOOK



FOUNDATION FLOOR PLAN OPTION DENTON

SCALE: 1/4" = 1'-0"



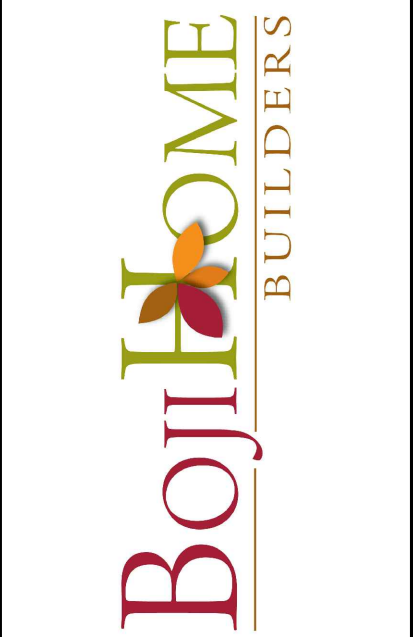
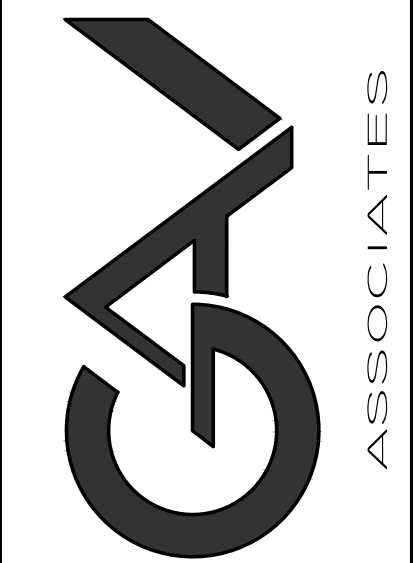
FIRST FLOOR PLAN DENTON - STANDARD LAYOUT WITH DEN

SCALE: 1/4" = 1'-0"

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	12.22.2019

ARCHITECTURAL DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC
24001 ORCHARD LAKE RD., STE. 100A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-0191
WEB: WWW.GAVASSOCIATES.COM



DENTON HOME
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
EKA	EKA	GA

SCALE: 1/4" = 1'-0"

FILE NAME: 18075_A.101

JOB #: 18075

SHEET TITLE
FOUNDATION
AND FIRST
FLOOR PLANS
SHEET #
A-101

DESIGN LOADS:

THE STRUCTURE IS DESIGNED FOR THE FOLLOWING LIVE LOADS, IN ADDITION TO THE LATERAL LOADS AND SUPERIMPOSED DEAD LOADS AND SELF-WEIGHT OF THE STRUCTURE.

BUILDING OCCUPANCY CATEGORY: II

LIVE LOADS

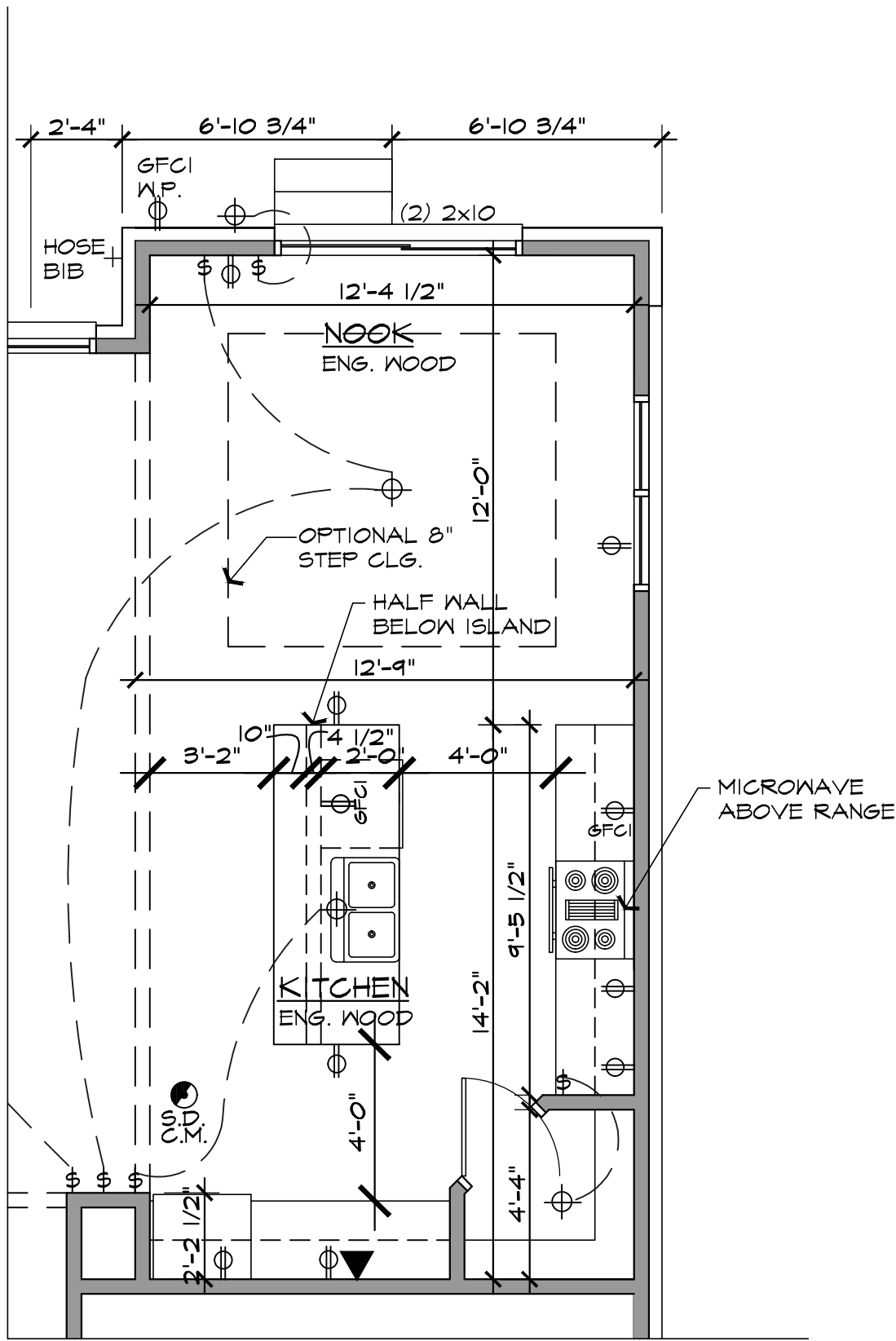
1. ROOF SNOW LOAD:
- a. GROUND SNOW LOAD: 25.0 PSF
 - b. ROOF TRUSS SNOW LOAD (PI): (MINIMUM ROOF LOAD): 15 PSF
 - c. SNOW EXPOSURE FACTOR (Ce): 1.0
 - d. SNOW LOAD IMPORTANCE FACTOR (I): 1.0
 - e. THERMAL FACTOR (Ct): 1.1
 - f. ADDITIONAL LOADING DUE TO DRIFTING AT CHANGES IN ROOF ELEVATIONS AND ICE AT OVERHANGS PER APPLICABLE CODE.
 - g. DEAD LOAD 10 PSF ATTIC LIVE LOAD 10 PSF
 - h. ATTIC LIVE LOAD 10 PSF
- TOTAL ROOF DESIGN LOAD: 35 PSF

WIND LOAD

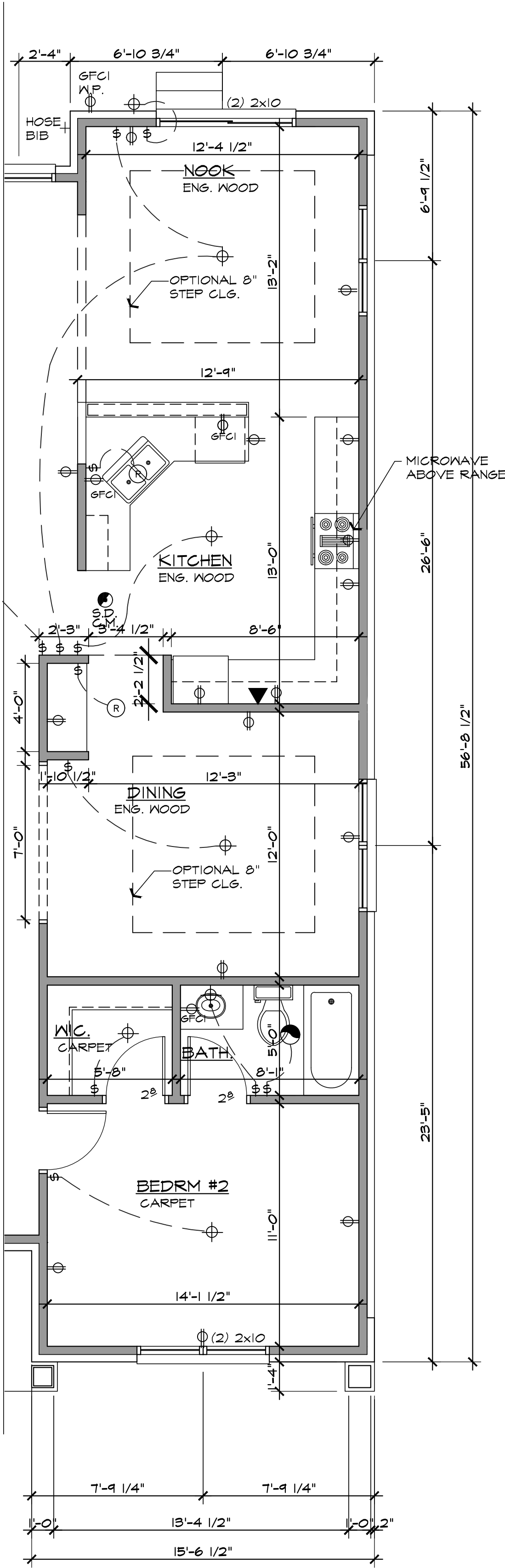
1. BASIC WIND SPEED (3-SECOND GUST): 115 MPH
2. RISK CATEGORY FACTOR: II
3. EXPOSURE CATEGORY: B
4. INTERNAL PRESSURE COEFFICIENT: +/- 0.18
5. MAIN FORCE RESISTING STRUCTURAL SYSTEM (EQUIVALENT STATIC FORCE):
- a. MINIMUM UNIFORM: 16.0 PSF

EARTHQUAKE DESIGN DATA

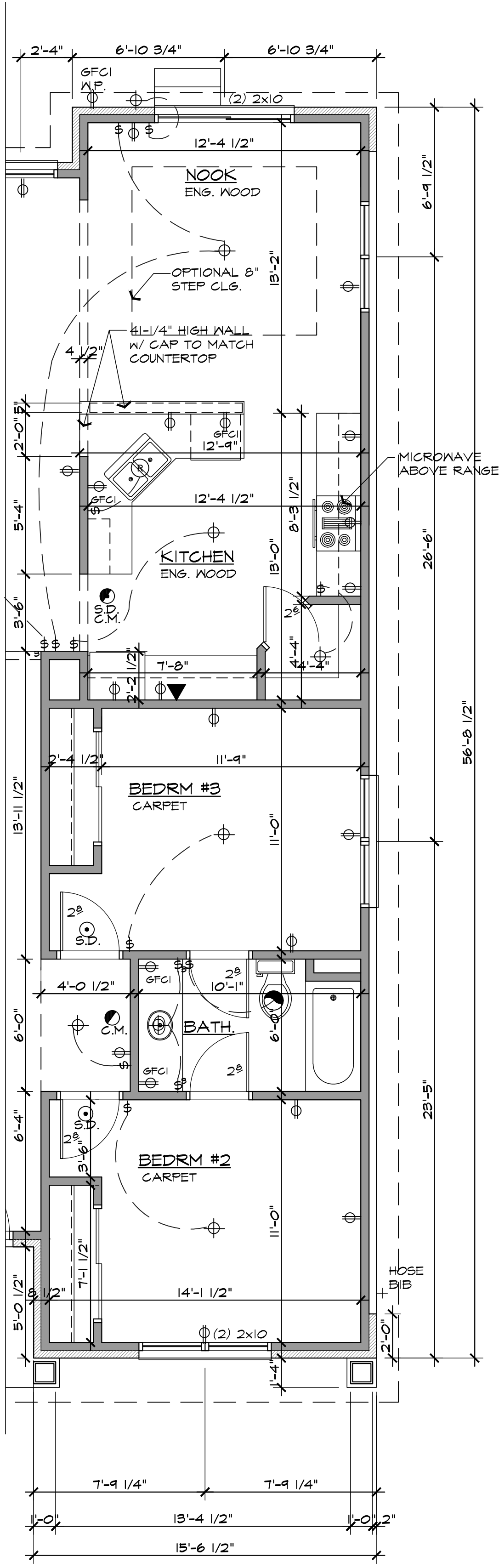
1. OCCUPANCY CATEGORY II
2. MAPPED SPECTRAL RESPONSE ACCELERATION $S_s=0.111g$ & $S_1=0.043g$
3. SITE CLASS D
4. SPECTRAL RESPONSE COEFFICIENTS $S_D=0.118g$ & $S_D1=0.067g$
5. SEISMIC DESIGN CATEGORY: B
6. SECTION 11.7 (ASCE7-05) DESIGN REQUIREMENT FOR SDC A
7. DESIGN BASE SHEAR $F_x = 0.01W_x$
8. $C_s=5D_s / (R/I)$
9. RESPONSE MODIFICATION FACTOR $R=5$
10. SECTION 11.7 (ASCE7-05) DESIGN REQUIREMENT FOR SDC A



FIRST FLOOR PLAN DENTON - DELUXE KITCHEN OPTION
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN DENTON - DINING LAYOUT OPTION
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN DENTON - 3 BEDROOM LAYOUT OPTION
SCALE: 1/4" = 1'-0"

ISSUED FOR	DATE
PERMIT	12.22.2014

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DENTON HOME
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BKA	BKA	GA

SCALE : 1/4" = 1'-0"

FILE NAME : 18075_A.102

JOB #: 1875

SHEET TITLE
FIRST
FLOOR PLANS
OPTION A & B
SHEET #

A-102

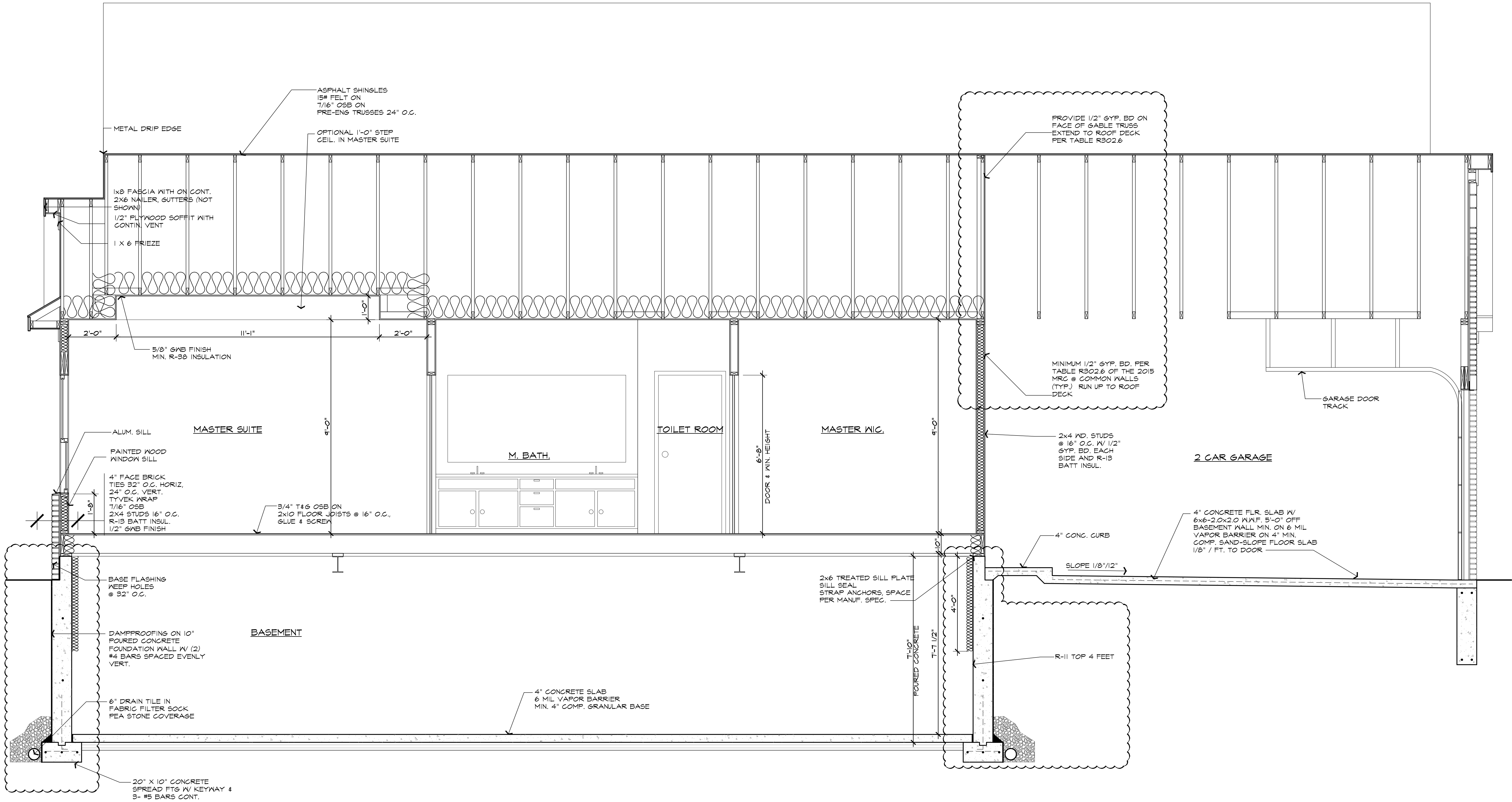
GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. IF DISCREPANCIES OCCUR, CONTRACTOR SHALL NOTIFY ARCHITECT IF NECESSARY.
2. ALL LIMESTONE SIZES SHOULD BE FIELD VERIFIED AFTER WINDOW AND DOOR INSTALLATION.
3. TRUSS MANUFACTURER TO VERIFY ROOF FRAMING & NOTIFY ARCHITECT OF ANY DISCREPANCIES
4. ALL WOOD SILLS IN CONTACT WITH CONCRETE SHALL BE TREATED. WOOD SIDING, SHEATHING AND FRAMING TO HAVE A CLEARANCE OF NO LESS THAN 6" FROM THE GROUND.

INSULATION R-VALUES:
BOND
WALLS
CEILING LOCATIONS
FOUNDATION WALLS

R-14
R-13
R-20
R-11 TOP 4 FEET

NOTE:
VERIFY ELEVATION OPTION
SELECTION FOR FINISH
MATERIALS



BUILDING SECTION DETAIL
SCALE: 1/2" = 1'-0"

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

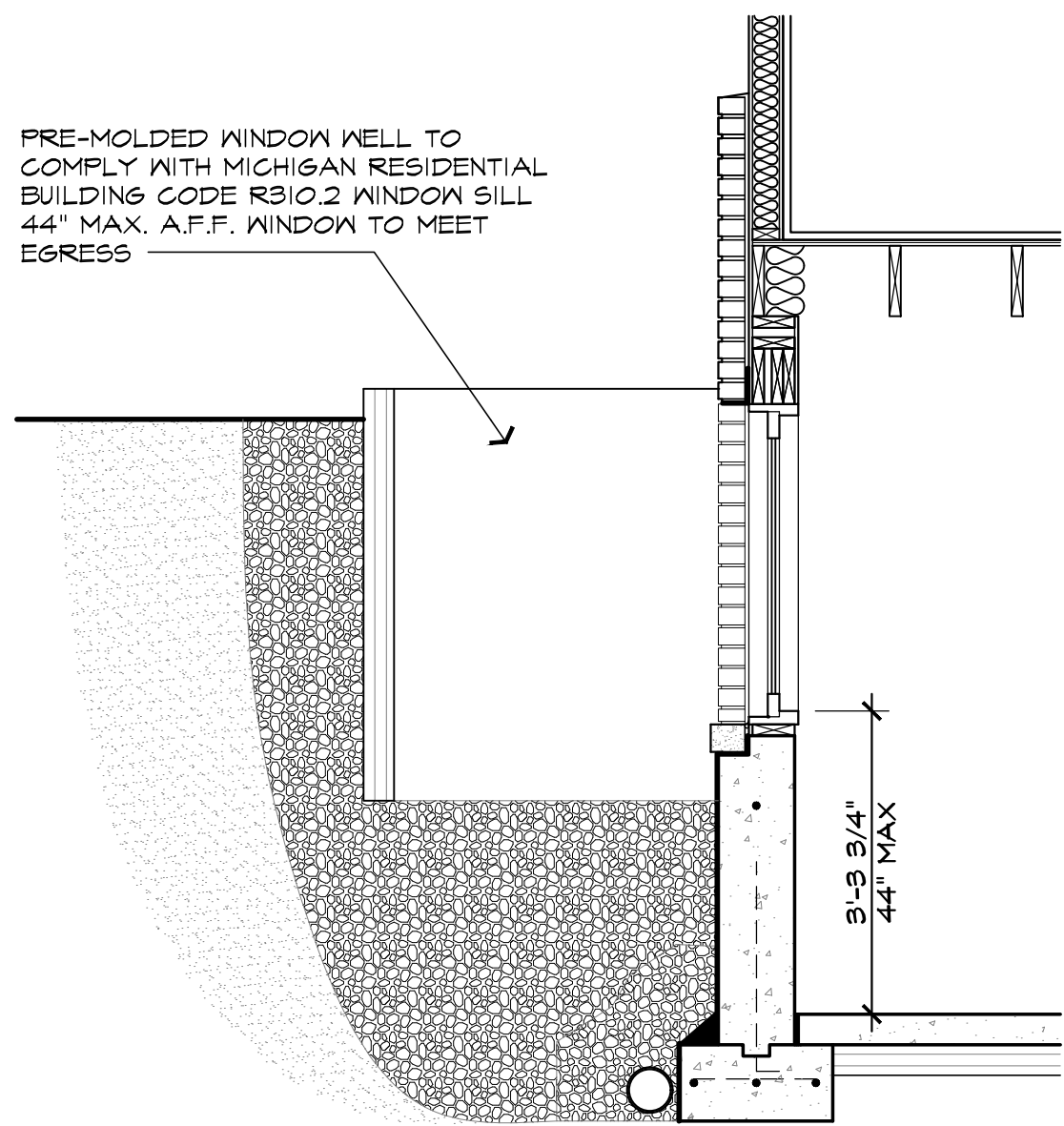
ARCHITECTURAL
DESIGN
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INDUSTRIAL

G.A.V. ASSOCIATES, INC
24001 ORCHARD LAKE RD., STE. 100A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-0101
WEB: WWW.GAVASSOCIATES.COM



DENTON HOME
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BKA	BKA	GA
SCALE : 1/2" = 1'-0"		
FILE NAME : 18075_A-301		
JOB # : 1875		
SHEET TITLE BUILDING SECTION 'A'		
SHEET # A-301		



D WALL SECTION DETAIL - EGRESS WELL
A-5 SCALE: 1/2" = 1'-0"

NOTE:
VERIFY ELEVATION OPTION
SELECTION FOR FINISH
MATERIALS

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. IF DISCREPANCIES OCCUR, CONTRACTOR SHALL NOTIFY ARCHITECT IF NECESSARY.
2. ALL LIMESTONE SIZES SHOULD BE FIELD VERIFIED AFTER WINDOW AND DOOR INSTALLATION.
3. TRUSS MANUFACTURER TO VERIFY ROOF FRAMING & NOTIFY ARCHITECT OF ANY DISCREPANCIES
4. ALL WOOD SILLS IN CONTACT WITH CONCRETE SHALL BE TREATED. WOOD SIDING, SHEATHING AND FRAMING TO HAVE A CLEARANCE OF NO LESS THAN 6" FROM THE GROUND.

INSULATION R-VALUES:
BOND
WALLS
CEILING LOCATIONS
FOUNDATION WALLS

R-19
R-13
R-30
R-11 TOP 4 FEET

ASPHALT SHINGLES
15# FELT ON
7/16" OSB ON
PRE-ENG TRUSSES 24" O.C.

ICE & WATER SHIELD
EXTEND UP ROOF MIN. 24"
FAST INSIDE WALL

METAL DRIP EDGE

1x8 FASCIA WITH ON CONT.
2X6 NAILER, GUTTERS (NOT
SHOWN)
1/2" PLYWOOD SOFFIT WITH
CONTIN. VENT

1 X 6 FRIEZE

ALUM. SILL
4" FACE BRICK
TIES 32" O.C. HORIZ,
24" O.C. VERT.
TY-VEK WRAP
7/16" OSB
2X4 STUDS 16" O.C.
R-13 BATT INSUL.
1/2" G&B FINISH

BASE FLASHING
KEEP HOLES
@ 32" O.C.

DAMP-PROOFING ON 10"
POURED CONCRETE
FOUNDATION WALL W/ (2) #4
BARS SPACED EVENLY
VERT.

6" DRAIN TILE IN
FABRIC FILTER SOCK
PEA STONE COVERAGE

20" X 10" CONCRETE
SPREAD FTG W/ KEYWAY &
3- #5 BARS CONT.

ASPHALT SHINGLES
15# FELT ON
7/16" OSB ON
PRE-ENG TRUSSES 24" O.C.

ICE & WATER SHIELD
EXTEND UP ROOF MIN. 24"
FAST INSIDE WALL

METAL DRIP EDGE

1x8 FASCIA WITH ON CONT.
2X6 NAILER, GUTTERS (NOT
SHOWN)
1/2" PLYWOOD SOFFIT WITH
CONTIN. VENT

1 X 6 FRIEZE

ALUM. SILL
4" FACE BRICK
TIES 32" O.C. HORIZ,
24" O.C. VERT.
TY-VEK WRAP
7/16" OSB
2X4 STUDS 16" O.C.
R-13 BATT INSUL.
1/2" G&B FINISH

BASE FLASHING
KEEP HOLES
@ 32" O.C.

DAMP-PROOFING ON 10"
POURED CONCRETE
FOUNDATION WALL W/ (2) #4
BARS SPACED EVENLY
VERT.

6" DRAIN TILE IN
FABRIC FILTER SOCK
PEA STONE COVERAGE

20" X 10" CONCRETE
SPREAD FTG W/ KEYWAY &
3- #5 BARS CONT.

SHWR.

MASTER
BATHROOM

TOILET ROOM

STAIR

36" HIGH WD.
RAILING

2X10 1/4" WD.
TREAD TYP.
1X WD. RISER TYP.

6'-0" MIN.

2X12 CONT.
STRINGER TYP.

8'-5 1/2" 13 EQ. RISERS

4'-0"

GREAT ROOM
BEYOND

CLST.
(W/
OPTIONAL
BEDROOM
#3)

BEDROOM #3 (OPTIONAL)
(DEN IS STANDARD)

5/8" G&B FINISH
MIN. R-30
INSULATION

2x6 TREATED SILL PLATE
SILL SEAL
STRAP ANCHORS, SPACE
PER MANUF. SPEC.

4" CONCRETE SLAB
6 MIL VAPOR BARRIER
MIN. 4" COMP. GRANULAR BASE

DOOR & MIN. HEIGHT

T-6"

C BUILDING SECTION DETAIL
A-5 SCALE: 1/2" = 1'-0"

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

ARCHITECTURAL
DESIGN
RESIDENTIAL
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INDUSTRIAL

G.A.V. ASSOCIATES, INC
24001 ORCHARD LAKE RD., STE. 100A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-0101
WEB: WWW.GAVASSOCIATES.COM



DENTON HOME

MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BKA	BKA	GA

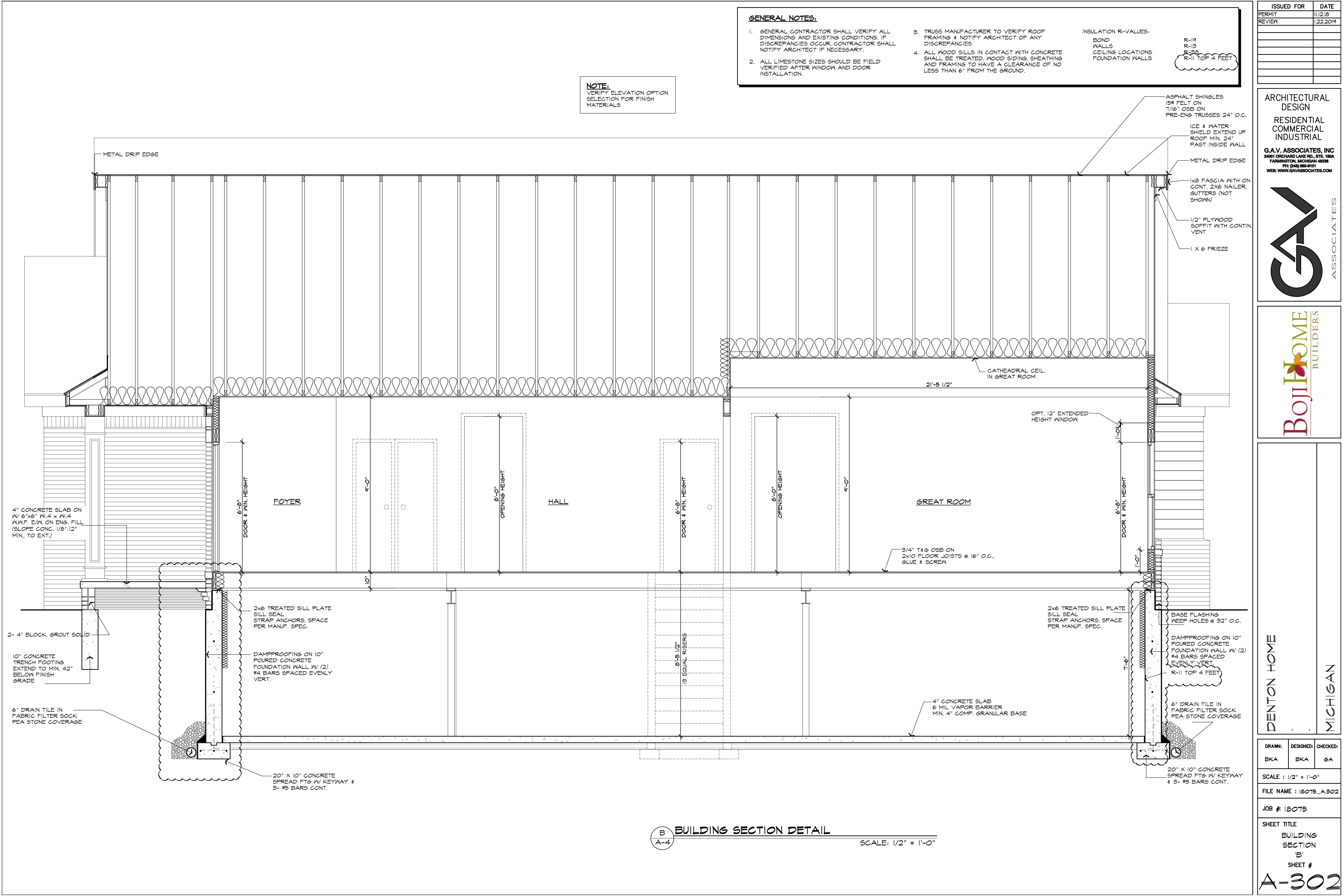
SCALE : 1/2" = 1'-0"

FILE NAME : 18075_A.33

JOB # : 18075

SHEET TITLE
BUILDING
SECTION
'C'
SHEET #

A-303



GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. IF DISCREPANCIES OCCUR, CONTRACTOR SHALL NOTIFY ARCHITECT IF NECESSARY.

2. ALL LIMESTONE SIZES SHOULD BE FIELD VERIFIED AFTER WINDOW AND DOOR INSTALLATION.

3. TRUSS MANUFACTURER TO VERIFY ROOF FRAMING & NOTIFY ARCHITECT OF ANY DISCREPANCIES

4. ALL WOOD SILLS IN CONTACT WITH CONCRETE SHALL BE TREATED. WOOD SIDING, SHEATHING AND FRAMING TO HAVE A CLEARANCE OF NO LESS THAN 6" FROM THE GROUND.

INSULATION R-VALUES:

BOND WALLS
CEILING LOCATIONS
FOUNDATION WALLS

R-19
R-13
R-38
R-11 TOP 4 FEET

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

ARCHITECTURAL DESIGN

RESIDENTIAL
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INDUSTRIAL

G.A.V. ASSOCIATES, INC
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FARMINGTON, MICHIGAN 48336
PH: (248) 985-0101
WEB: WWW.GAVASSOCIATES.COM

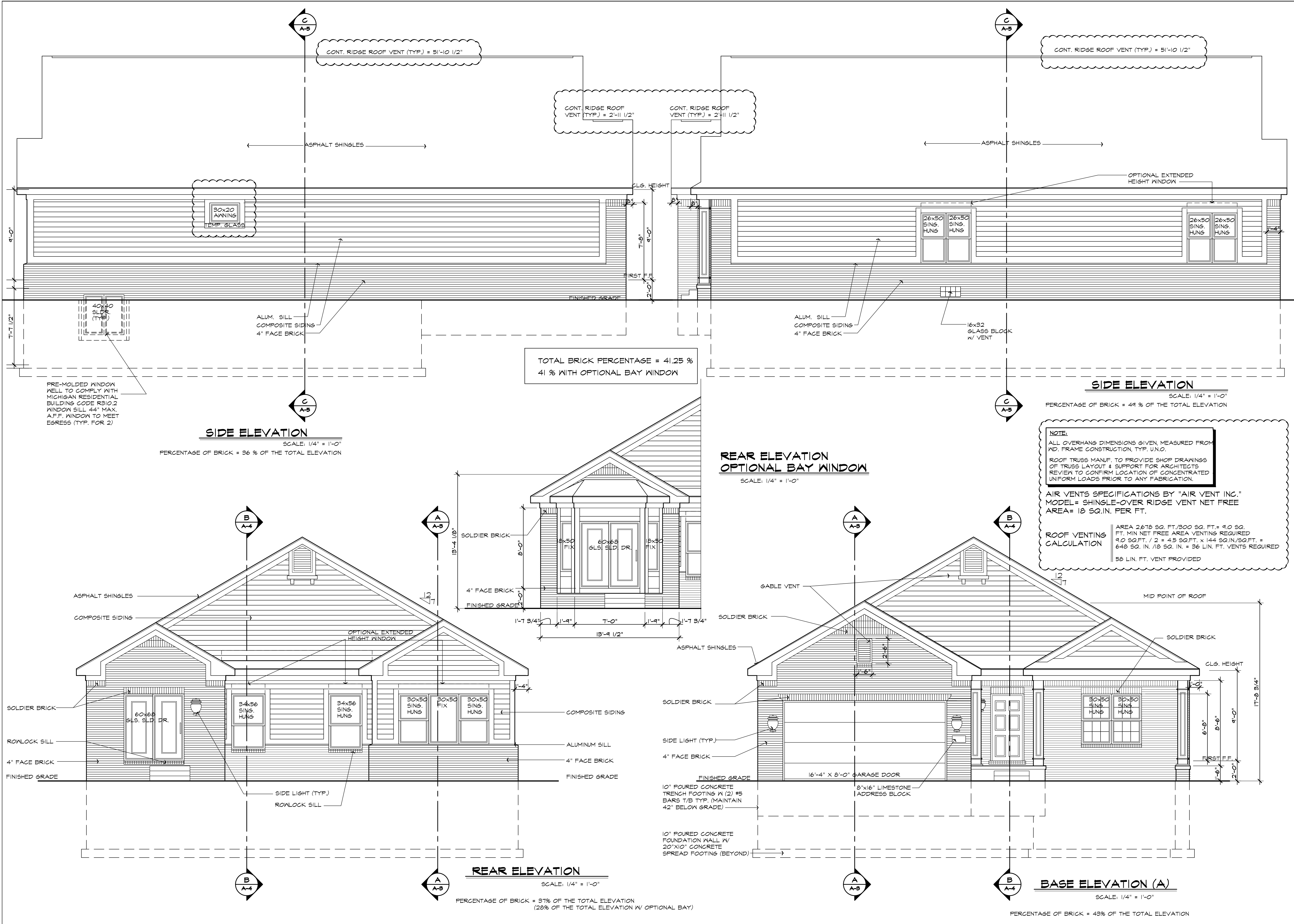
GAV ASSOCIATES

Boji HOME BUILDERS

DENTON HOME

MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BEA	BEA	GA
SCALE : 1/2" = 1'-0"		
FILE NAME : 18075_A.302		
JOB #: 18075		
SHEET TITLE		
BUILDING SECTION		
B		
SHEET #		
A-302		



ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

ARCHITECTURAL
DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. & ASSOCIATES, INC.
31471 NORTHWESTERN HWY., SUITE #2
FARMINGTON HILLS, MI. 48334
(248) 985-9101
FAX (248) 985-9105
EMAIL: GAV@GAVASSOCIATES.COM

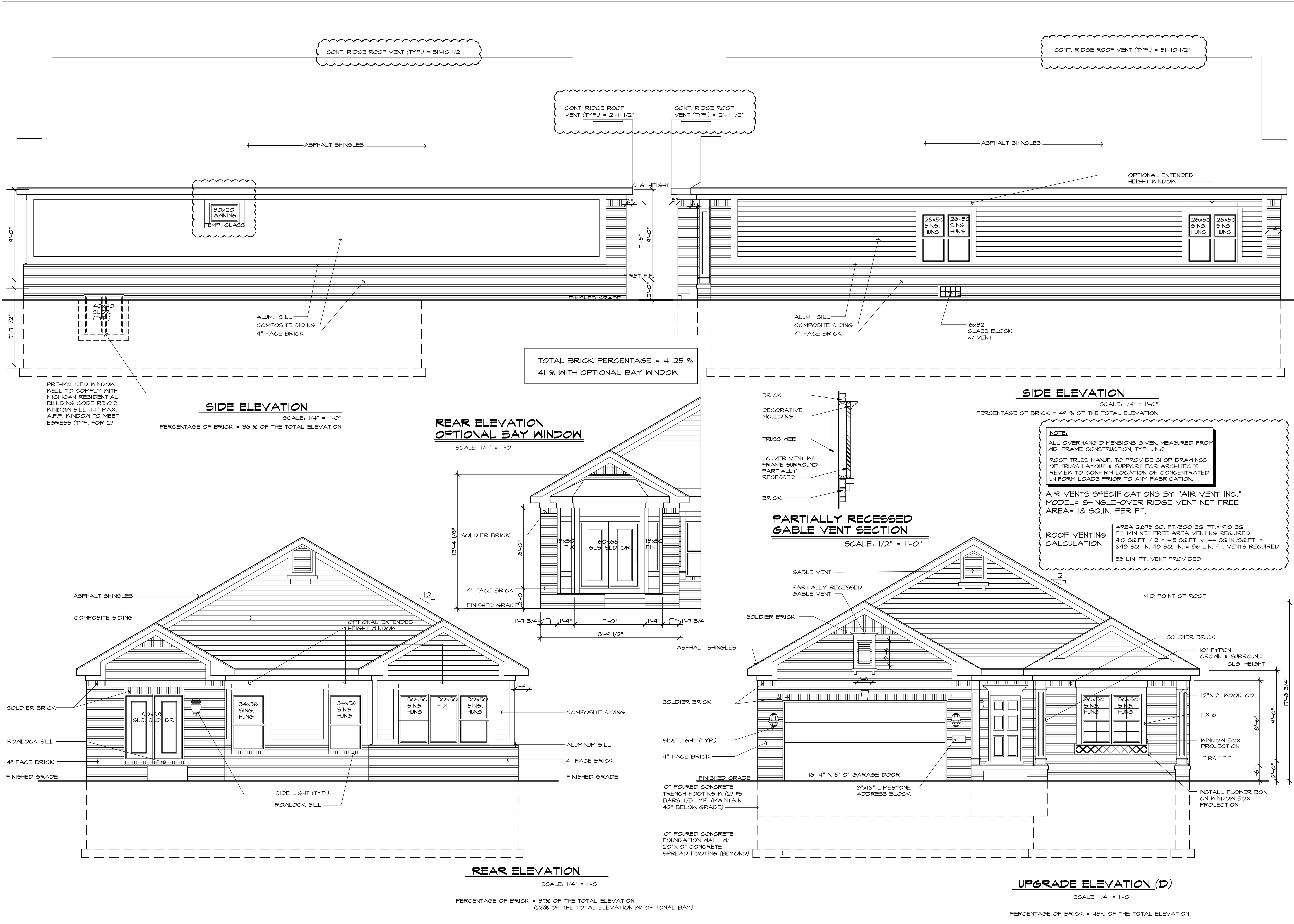
GAV
ASSOCIATES

Boji HOME
BUILDERS

DENTON HOME

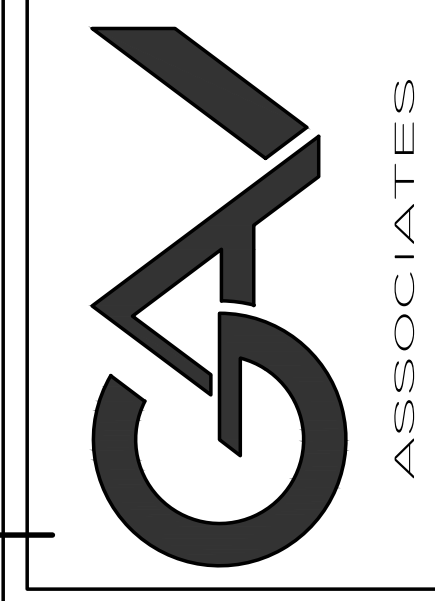
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BEA	BEA	GA
SCALE: 1/4" = 1'-0"		
FILE NAME: 18075-A.201		
JOB #: 18075		
SHEET TITLE		
BASIC ELEVATIONS OPTION "A"		
SHEET #		
A-201		



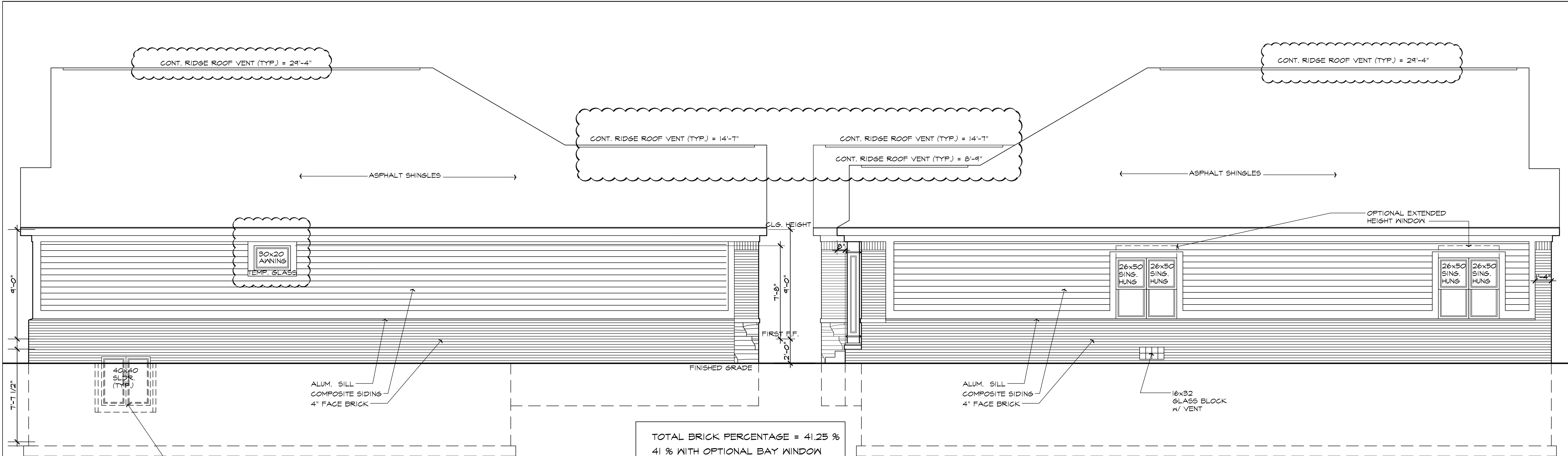
ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

ARCHITECTURAL
DESIGN
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COMMERCIAL
INDUSTRIAL
G.A.V. & ASSOCIATES, INC.
31471 NORTHWESTERN HWY., SUITE #2
FARMINGTON HILLS, MI. 48334
(248) 985-9101
FAX (248) 985-9105
EMAIL: GAV@GAVASSOCIATES.COM



DENTON HOME
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BKA	BKA	GA
SCALE : 1/4" = 1'-0"		
FILE NAME : 18075_A.202		
JOB # : 18075		
SHEET TITLE A-201 UPGRADE ELEVATIONS OPTION "D" SHEET # A-202		



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PERCENTAGE OF BRICK = 36 % OF THE TOTAL ELEVATION

TOTAL BRICK PERCENTAGE = 41.25 %
41 % WITH OPTIONAL BAY WINDOW

REAR ELEVATION
OPTIONAL BAY WINDOW

SCALE: 1/4" = 1'-0"

SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PERCENTAGE OF BRICK = 49 % OF THE TOTAL ELEVATION

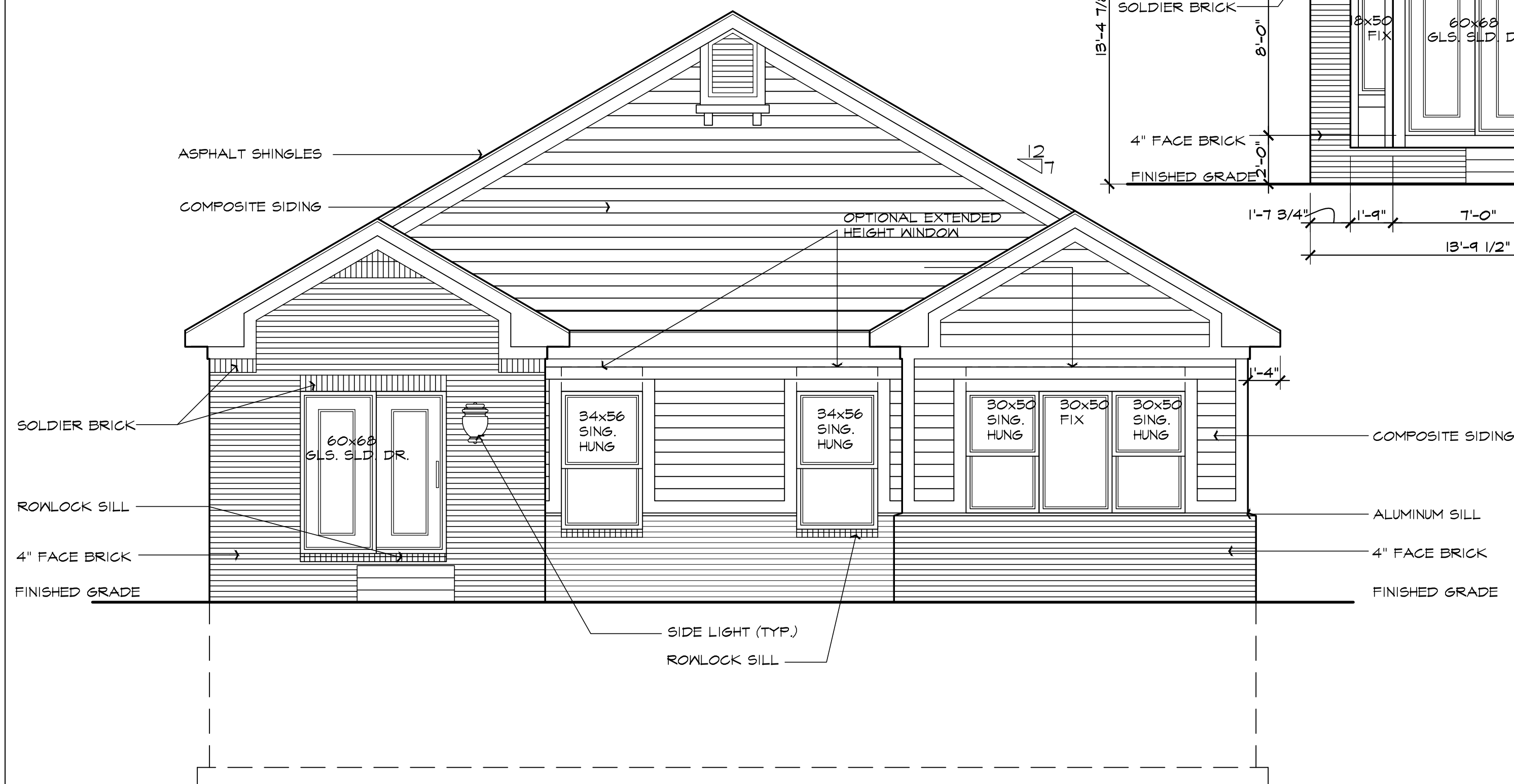
NOTE:

ALL OVERHANG DIMENSIONS GIVEN, MEASURED FROM
WD. FRAME CONSTRUCTION, TYP. U.N.O.
ROOF TRUSS MANUF. TO PROVIDE SHOP DRAWINGS
OF TRUSS LAYOUT & SUPPORT FOR ARCHITECTS
REVIEW TO CONFIRM LOCATION OF CONCENTRATED
UNIFORM LOADS PRIOR TO ANY FABRICATION.

AIR VENTS SPECIFICATIONS BY "AIR VENT INC."
MODEL = SHINGLE-OVER RIDGE VENT NET FREE
AREA = 18 SQ.IN. PER FT.

ROOF VENTING
CALCULATION

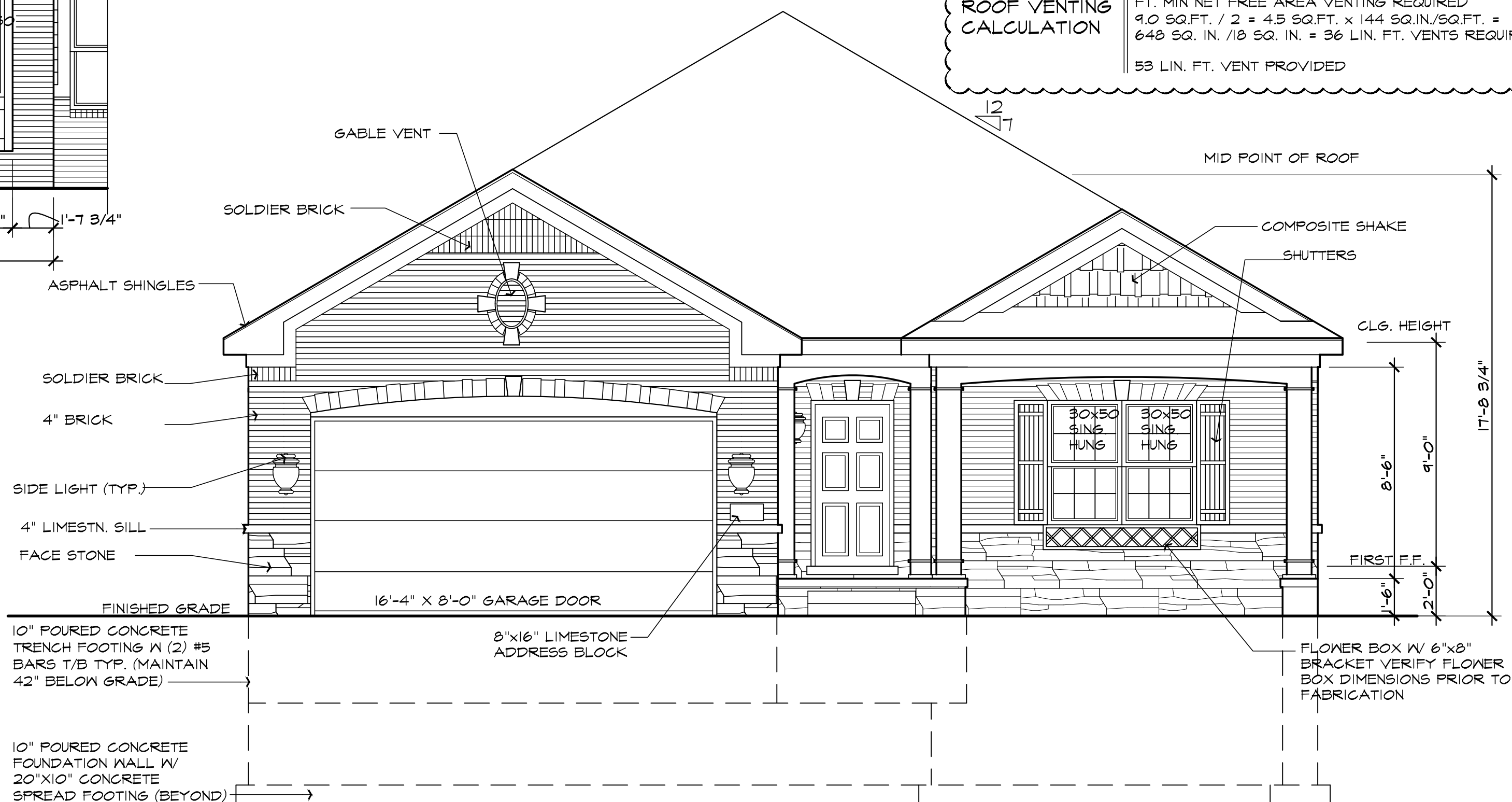
AREA 2678 SQ. FT./300 SQ. FT. = 9.0 SQ.
FT. MIN NET FREE AREA VENTING REQUIRED
9.0 SQ.FT. / 2 = 4.5 SQ.FT. x 144 SQ.IN./SQ.FT. =
648 SQ. IN. /18 SQ. IN. = 36 LIN. FT. VENTS REQUIRED
53 LIN. FT. VENT PROVIDED



REAR ELEVATION

SCALE: 1/4" = 1'-0"

PERCENTAGE OF BRICK = 31% OF THE TOTAL ELEVATION
(28% OF THE TOTAL ELEVATION W/ OPTIONAL BAY)



UPGRADE ELEVATION (G)

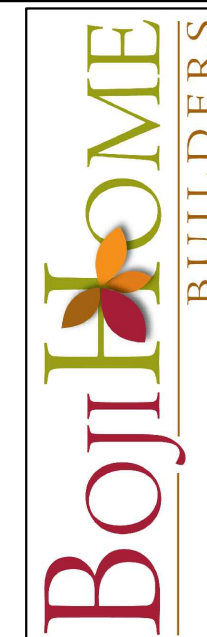
SCALE: 1/4" = 1'-0"

PERCENTAGE OF BRICK = 43% OF THE TOTAL ELEVATION

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

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(248) 985-9101
FAX (248) 985-9105
EMAIL: GAV@GAVASSOCIATES.COM



DENTON HOME

MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BEA	BEA	GA

SCALE : 1/4" = 1'-0"

FILE NAME : 18075_A.204






JOB # : 18075

SHEET TITLE
A-203 UPGRADE
ELEVATIONS
OPTION "G"
SHEET #

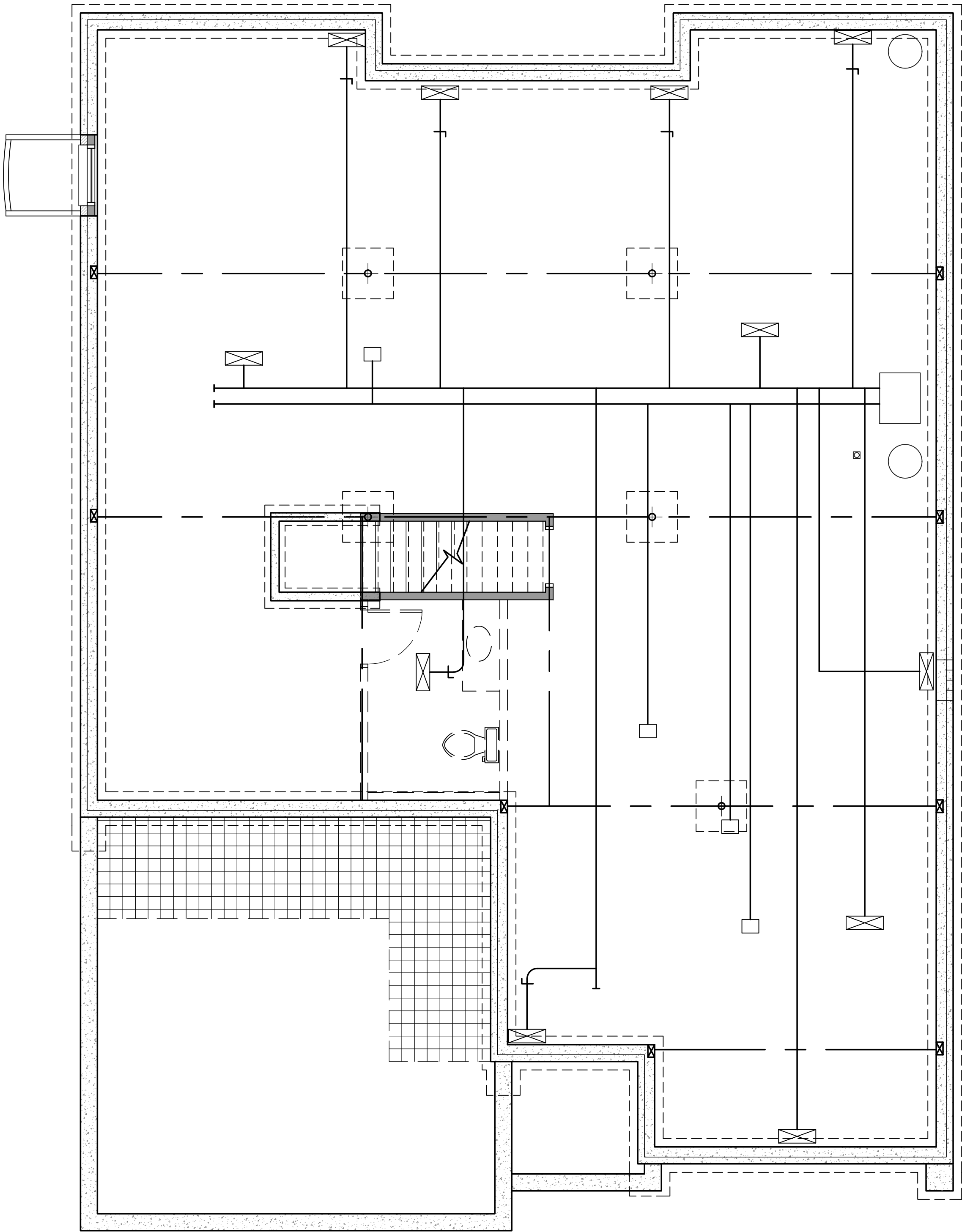
A-204

DENTON HOME

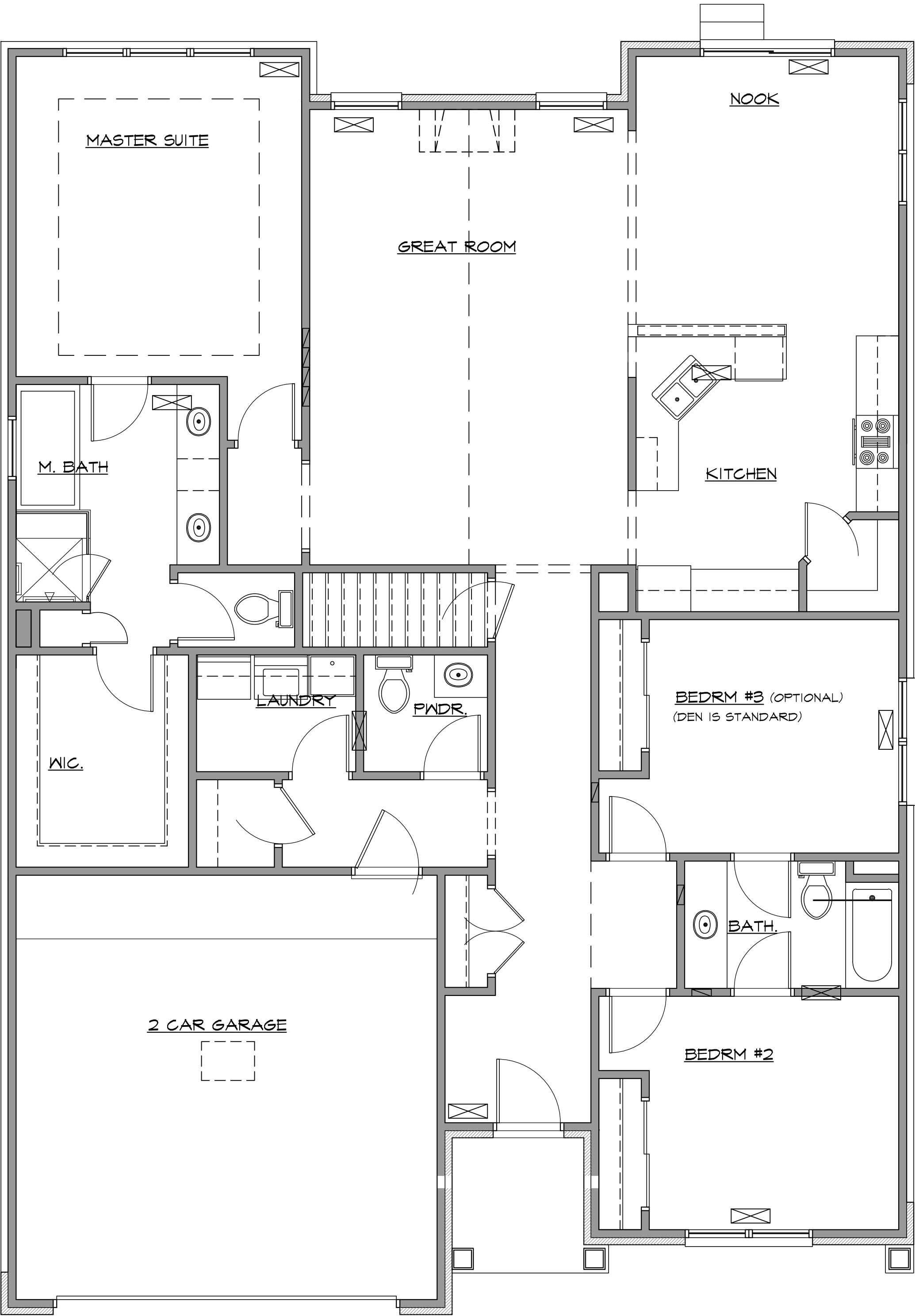
HVAC SYMBOL LIST

SYMBOL	DESCRIPTION
	VOLUME DAMPER
	THERMOSTAT
	SUPPLY AIR DIFFUSER
	RETURN AIR OR EXHAUST GRILLE
	EXHAUST FAN, CFM AS INDICATED DUCT TO EXTERIOR
EF	EXHAUST FAN
SA	SUPPLY AIR
RA	RETURN AIR
CFM	CUBIC FEET PER MINUTE

NOTES:
1. SIDENALL TERMINATION CONCENTRIC KIT FOR FURNACE.
INSTALL PER MANUFACTURER RECOMMENDATION



HVAC BASEMENT PLAN
SCALE: 1/4" = 1'-0"



HVAC FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

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WEB: WWW.GAVASSOCIATES.COM



DENTON HOME
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	BKA	GA
SCALE : 1/4" = 1'-0"		
FILE NAME : 18075_M.101		
JOB #: 18075		
SHEET TITLE HVAC FLOOR PLANS		
SHEET # M-101		

DESIGN LOADS:

THE STRUCTURE IS DESIGNED FOR THE FOLLOWING LIVE LOADS, IN ADDITION TO THE LATERAL LOADS AND SUPERIMPOSED DEAD LOADS AND SELF-WEIGHT OF THE STRUCTURE.

BUILDING OCCUPANCY CATEGORY: II

LIVE LOADS

I. ROOF SNOW LOAD:

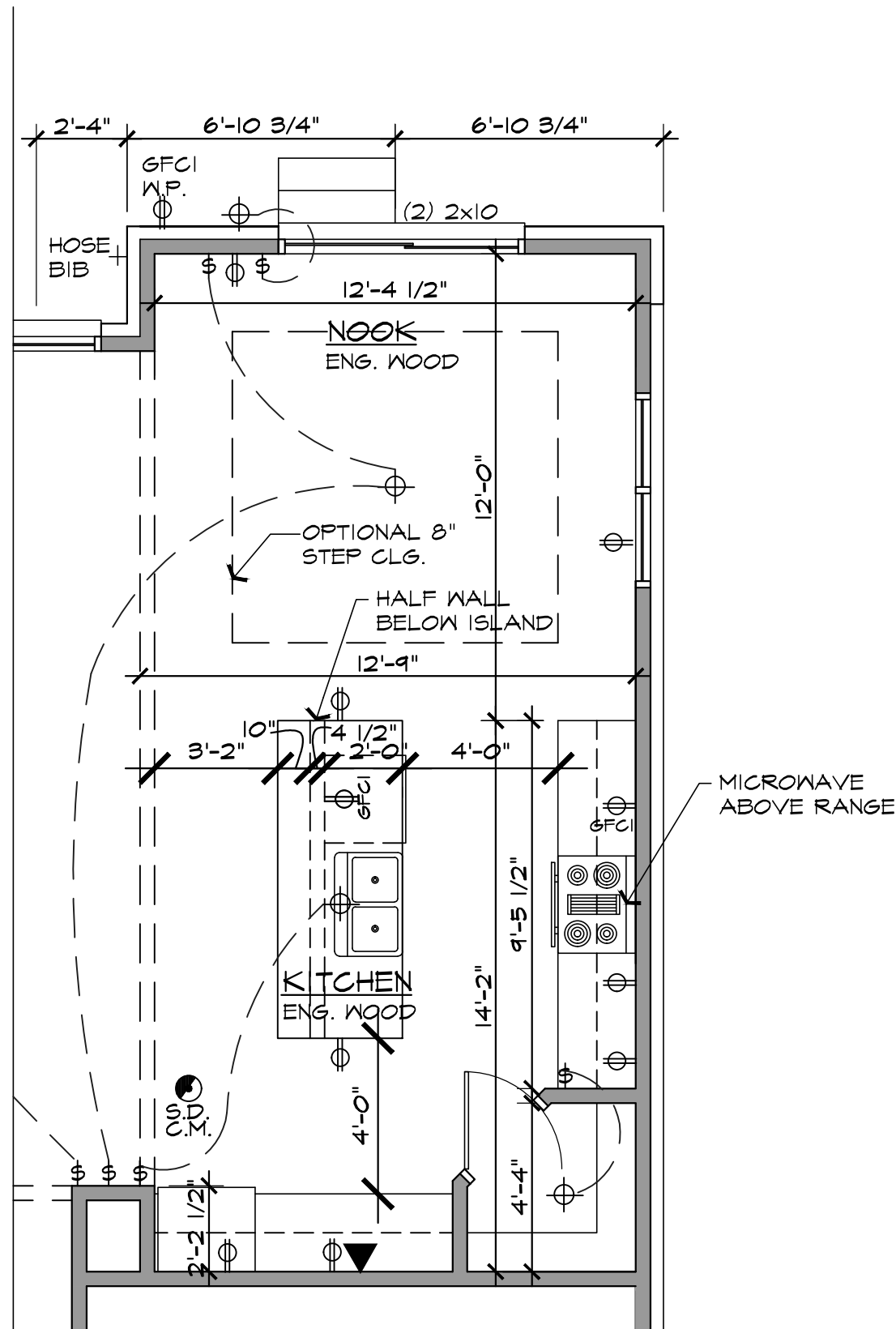
- GROUND SNOW LOAD: 25.0 PSF
 - ROOF TRUSS SNOW LOAD (PI): (MINIMUM ROOF LOAD): 15 PSF
 - SNOW EXPOSURE FACTOR (C_e): 1.0
 - SNOW LOAD IMPORTANCE FACTOR (I): 1.0
 - THERMAL FACTOR (C_t): 1.1
 - ADDITIONAL LOADING DUE TO DRIFTING AT CHANGES IN ROOF ELEVATIONS AND ICE AT OVERHANGS PER APPLICABLE CODE.
 - DEAD LOAD 10 PSF ATTIC LIVE LOAD 10 PSF
 - ATTIC LIVE LOAD 10 PSF
- TOTAL ROOF DESIGN LOAD: 35 PSF

WIND LOAD

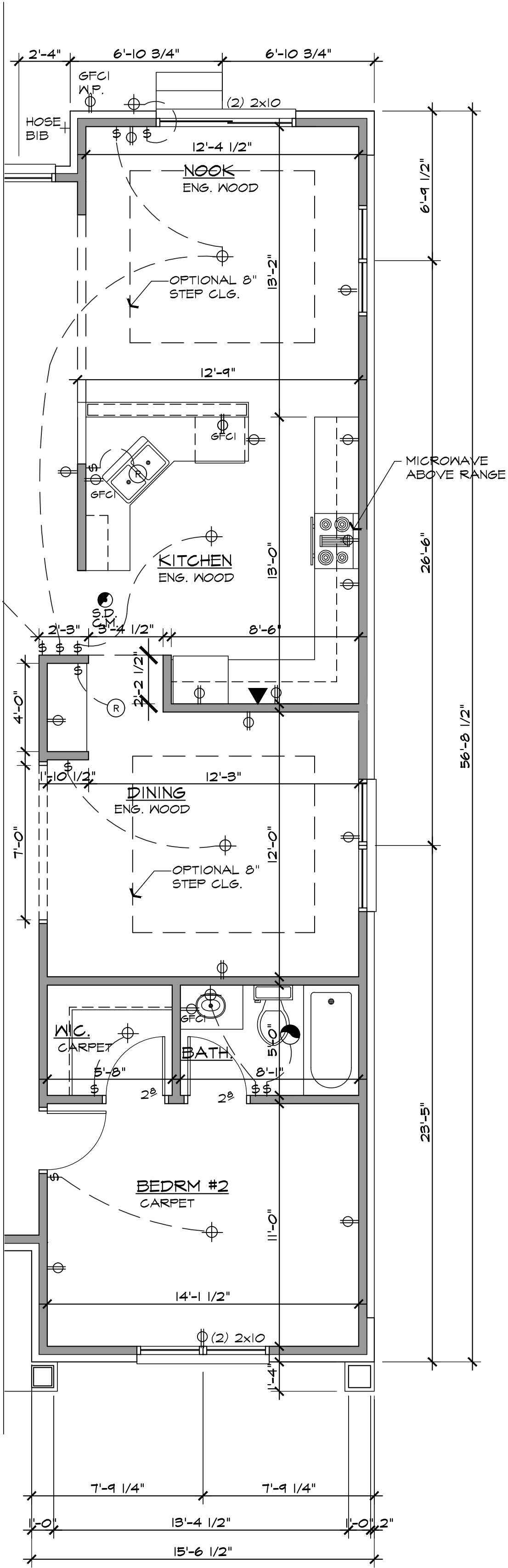
- BASIC WIND SPEED (3-SECOND GUST): 115 MPH
- RISK CATEGORY FACTOR: II
- EXPOSURE CATEGORY: B
- INTERNAL PRESSURE COEFFICIENT: +/- 0.18
- MAIN FORCE RESISTING STRUCTURAL SYSTEM (EQUIVALENT STATIC FORCE):
 - MINIMUM UNIFORM: 16.0 PSF

EARTHQUAKE DESIGN DATA

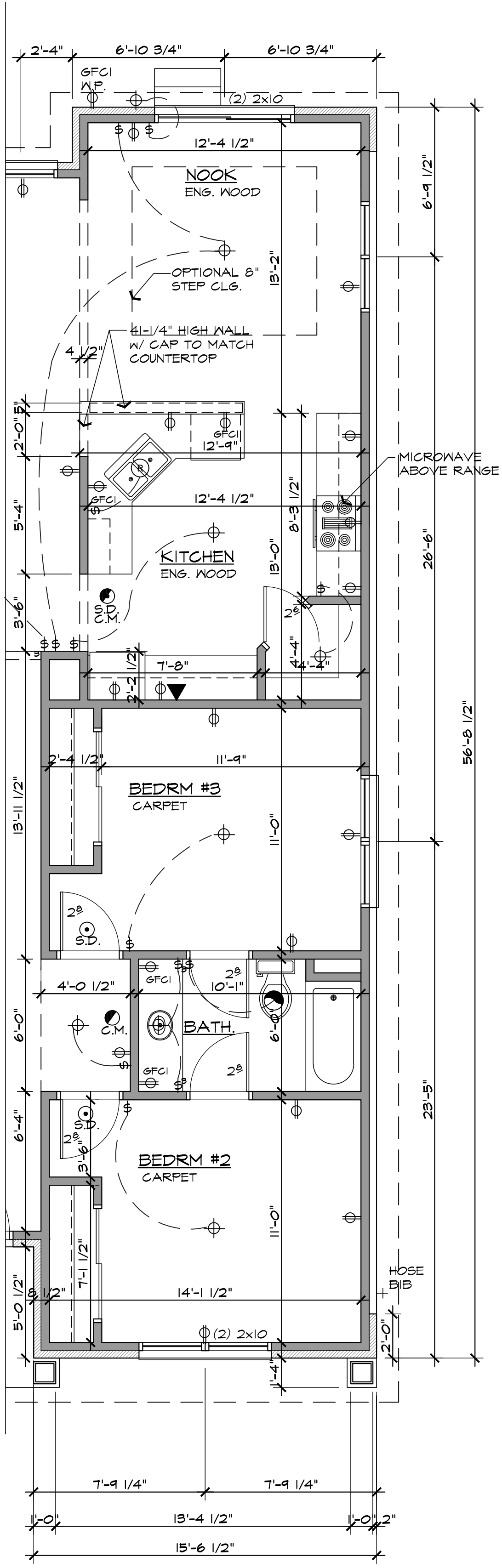
- OCCUPANCY CATEGORY II
- MAPPED SPECTRAL RESPONSE ACCELERATION $S_s=0.111g$ & $S_1=0.043g$
- SITE CLASS D
- SPECTRAL RESPONSE COEFFICIENTS $S_D=0.118g$ & $S_{D1}=0.067g$
- SEISMIC DESIGN CATEGORY: B
- SECTION 11.7 (ASCE7-05) DESIGN REQUIREMENT FOR SDC A
- DESIGN BASE SHEER $F_x = 0.01W_x$
- $C_s=5D_s / (R/I)$
- RESPONSE MODIFICATION FACTOR $R=5$
- SECTION 11.7 (ASCE7-05) DESIGN REQUIREMENT FOR SDC A



FIRST FLOOR PLAN DENTON - DELUXE KITCHEN OPTION
SCALE: 1/4" = 1'-0"



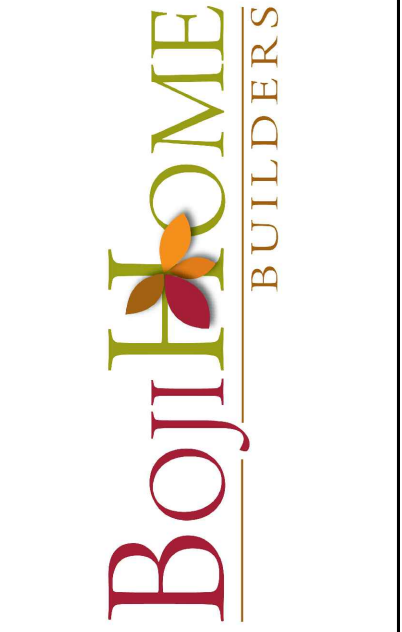
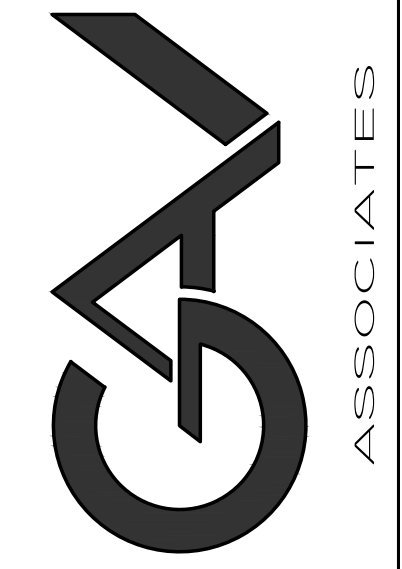
FIRST FLOOR PLAN DENTON - DINING LAYOUT OPTION
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN DENTON - 3 BEDROOM LAYOUT OPTION
SCALE: 1/4" = 1'-0"

ISSUED FOR	DATE
PERMIT	11.12.18
REVIEW	1.22.2019

ARCHITECTURAL
DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL
G.A.V. ASSOCIATES, INC.
24001 ORCHARD LAKE RD., STE. 150A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-0101
WEB: WWW.GAVASSOCIATES.COM



DENTON HOME
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
BKA	BKA	GA

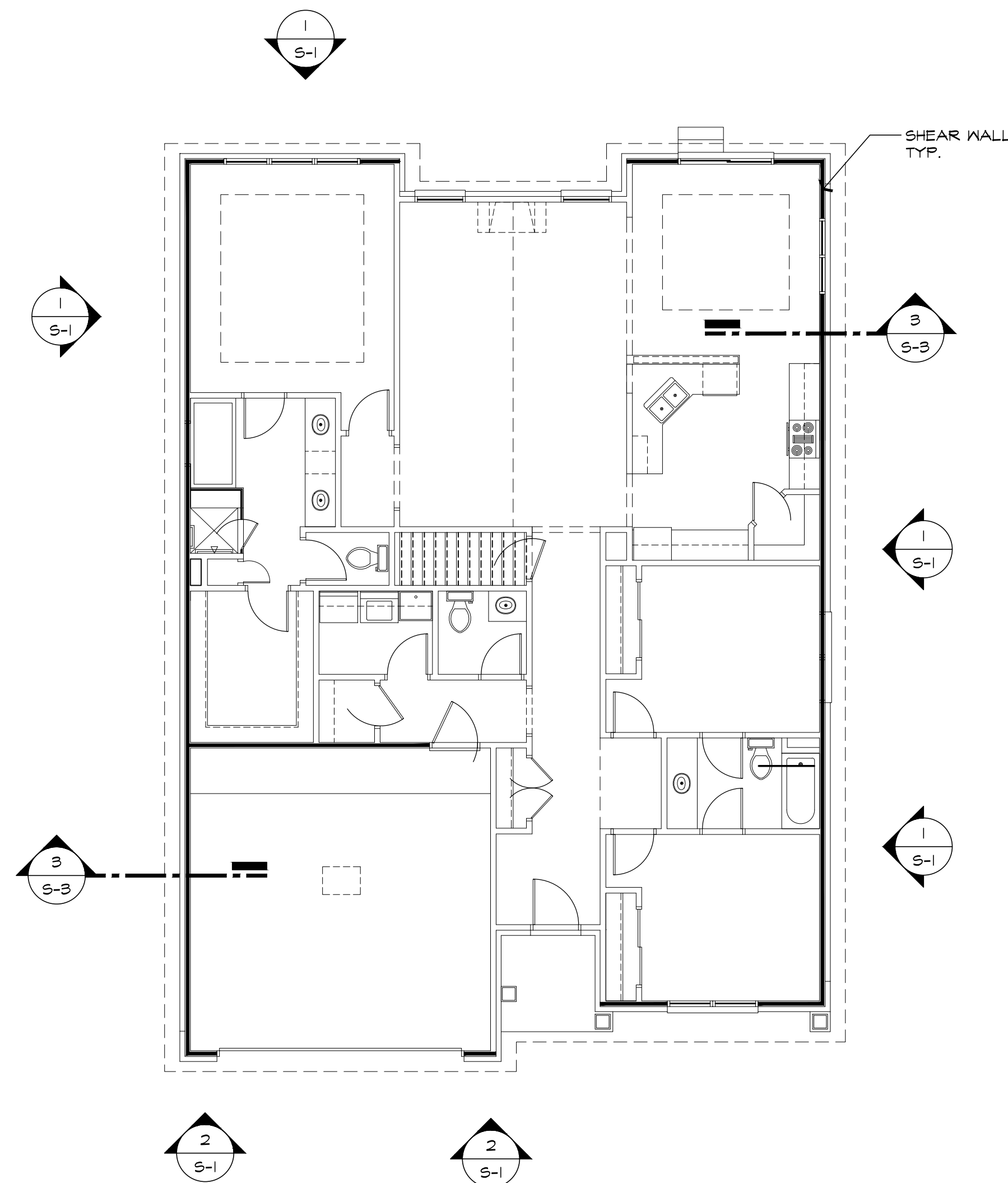
SCALE : 1/4" = 1'-0"

FILE NAME : 18075_A.102

JOB #: 1875

SHEET TITLE
FIRST
FLOOR PLANS
OPTION A & B
SHEET #

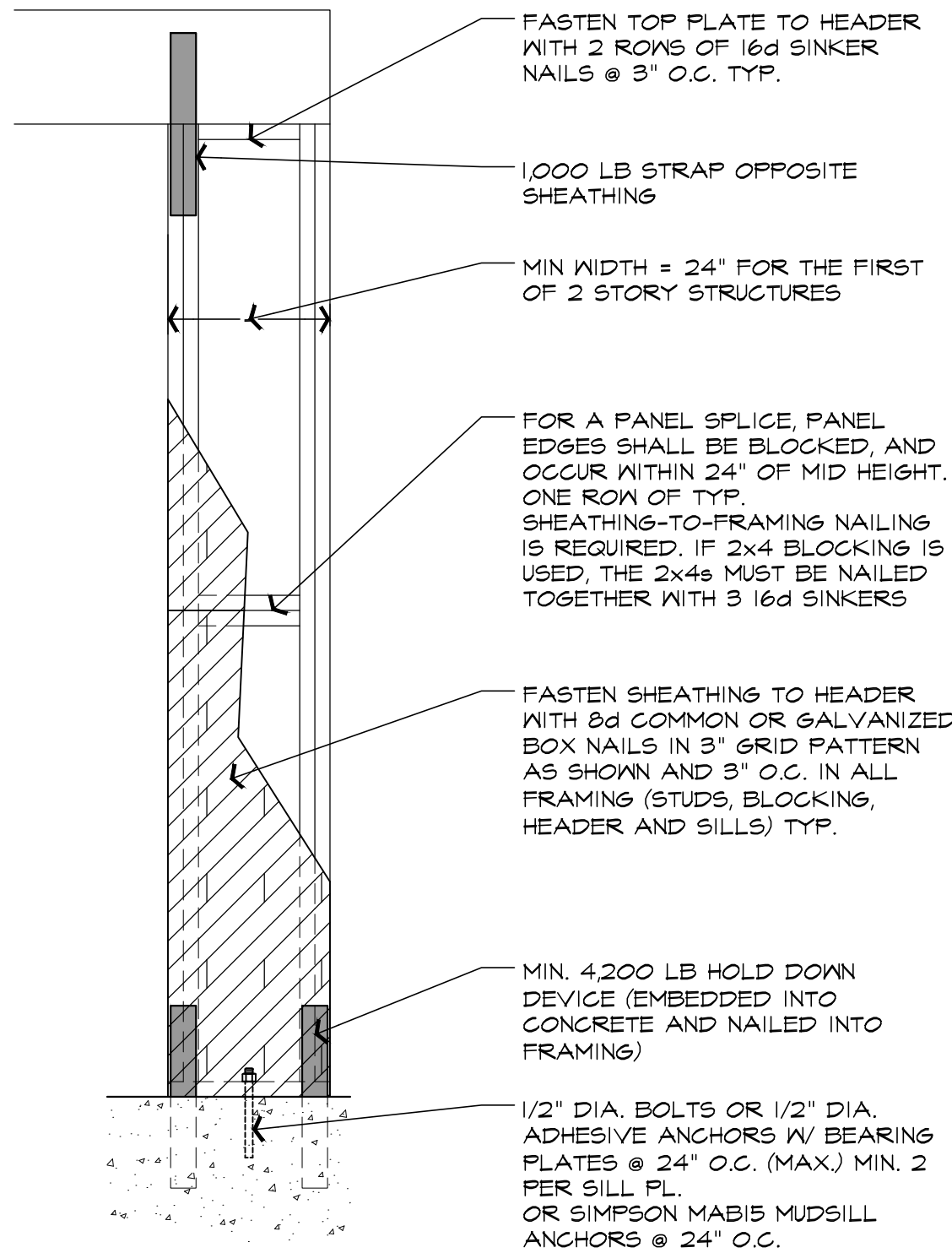
A-102



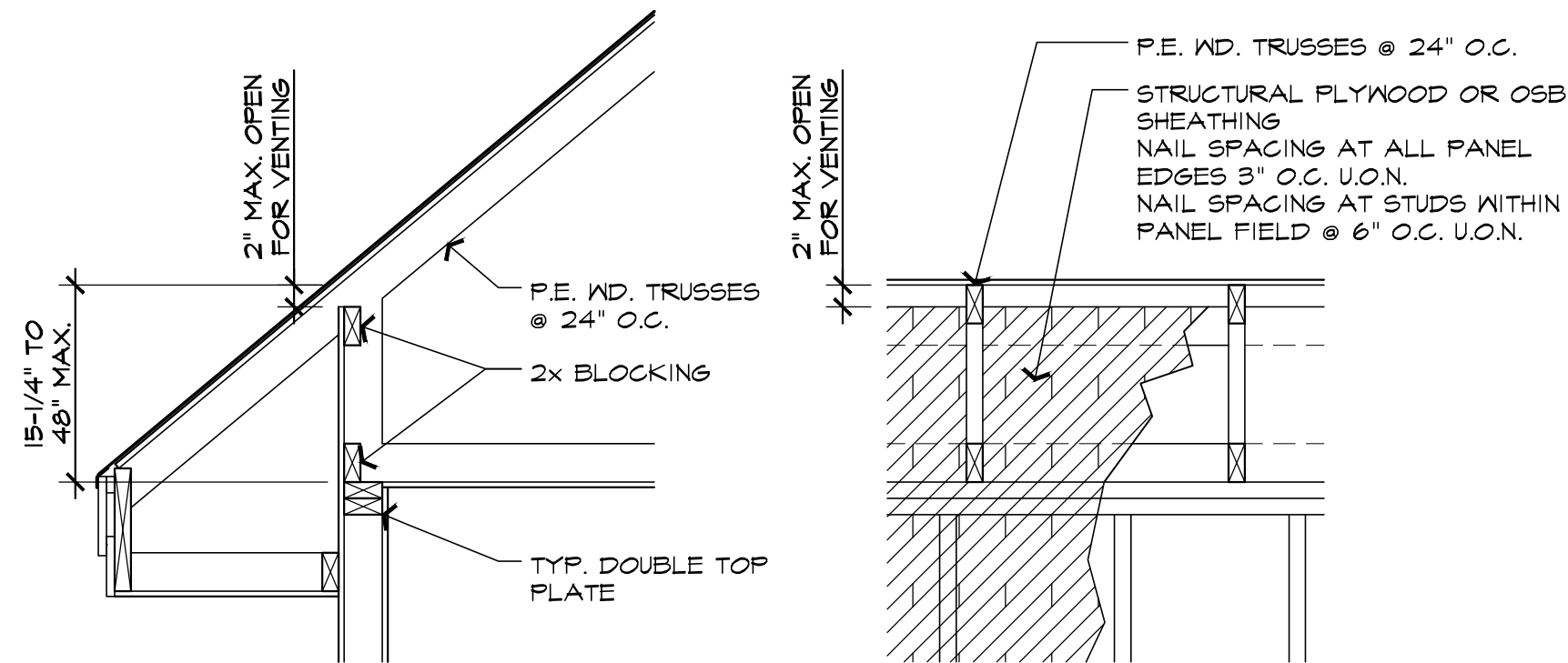
FIRST FLOOR SHEAR WALL LOCATIONS
SCALE: NONE

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL DETERMINE FOUNDATION ANCHOR SYSTEM.
2. FOUNDATION CONTRACTOR SHALL INSTALL SILL PLATE ANCHORS OF TYPE CHOSEN WITH CORRECT SPACING AND EMBEDMENT DEPTH AS REQUIRED BY CODE OR MANUFACTURER'S SPECIFICATIONS.
3. PROVIDE FURRING OR BACKING OF THICKNESS AS REQUIRED TO MAINTAIN A COMMON WALL PLANE AT ALL WOOD STUD WALL SURFACES WHICH ARE ONLY PARTIALLY SHEATHED WITH WOOD STRUCTURAL PANEL COORDINATE AND ADJUST HEAD, JAMB AND SILL DETAILS AS REQUIRED FOR PROPER OVERALL WALL THICKNESS.

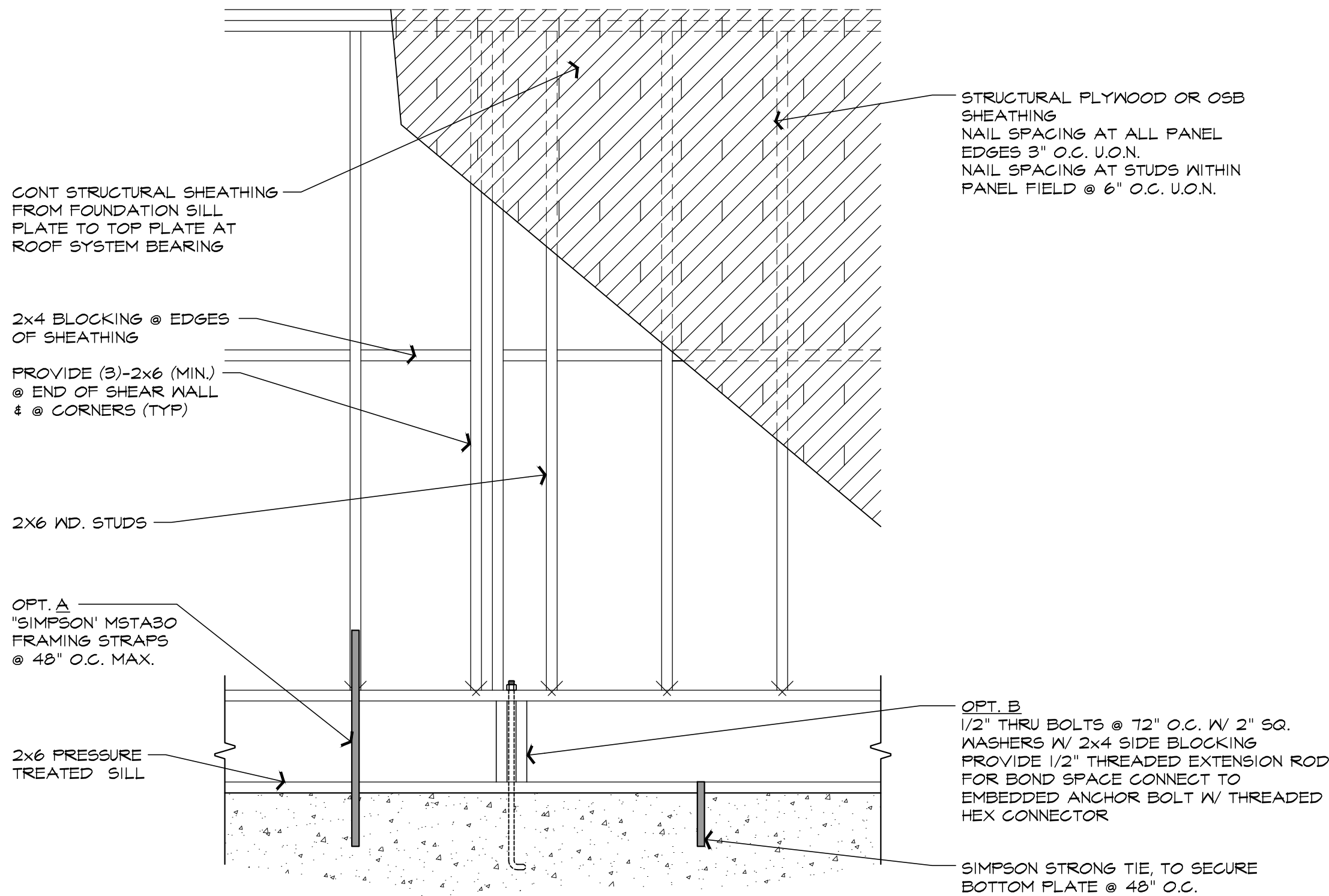


2 SHEAR WALL DETAIL
SCALE: 3/4\"/>



3 SHEAR WALL DETAIL AT ROOF TRUSSES
SCALE: 3/4\"/>

USE THIS DETAIL WHERE HEEL HEIGHT EXCEEDS 15-1/4\"/>

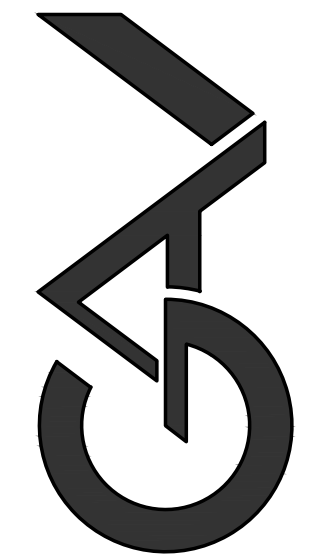


1 SHEAR WALL DETAIL
SCALE: 3/4\"/>

ISSUED FOR	DATE
REVIEW	1/22/2019

ARCHITECTURAL
DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. & ASSOCIATES, INC.
31471 NORTHWESTERN HWY., SUITE #2
FARMINGTON HILLS, MI. 48334
(248) 985-9101
FAX (248) 985-9105
EMAIL: GAV@GAVASSOCIATES.COM



DENTON HOME
MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
CS	BKA	GA

SCALE : AS SHOWN

FILE NAME : 18075_S.101

JOB # : 18075

SHEET TITLE
SHEAR WALL
DETAILS AND
LOCATIONS
SHEET #

S.101

**CHARTER TOWNSHIP OF VAN BUREN
APPLICATION FOR
TEMPORARY LAND USE/SPECIAL EVENT
46425 TYLER ROAD
BELLEVILLE, MI 48111**

DATE: 1/3/19

BUSINESS NAME: Phantom Fireworks Eastern Region

CONTACT PERSON: Richard Tapper PHONE # 330-559-0776

SUPERVISOR FOR SITE: Richard Tapper PHONE # 330-559-0776

EVENT TITLE: Fireworks Sale

TYPE OF EVENT: Tent Sale DATE(S): June 21- July 5 20

LOCATION OF EVENT: Lakewood Shopping Plaza Parking lot

ADDRESS OF LOCATION: 1-94 and 2095 Rawsonville Road, Belleville, MI, 48111

PROPERTY OWNER REPRESENTATIVE: Dorian Kilgore PHONE # 734-345-0900

ARE SIGNS PROPOSED FOR ADVERTISING: ☒ YES ☐ NO IF YES, INCLUDE LOCATIONS & DETAILS

OTHER Banner on tent 5'X16'


IF OUTSIDE USE OF THE SITE IS PROPOSED SUBMIT DRAWING OF LAYOUT AND INCLUDE CRITERIA ITEMS (ATTACHED)

NOTES:

IF NOISE ABOVE 65 DB, ODOR, GLARE, SMOKE, VIBRATION ARE EXPECTED BEYOND THE PROPERTY BOUNDRIES PLEASE EXPLAIN IN SEPARATE LETTER.

ALL STRUCTURES INSTALLED FOR THE SPECIAL EVENT MUST BE REMOVED FROM SITE
NO LATER THAN THREE (3) DAYS AFTER THE EVENT.

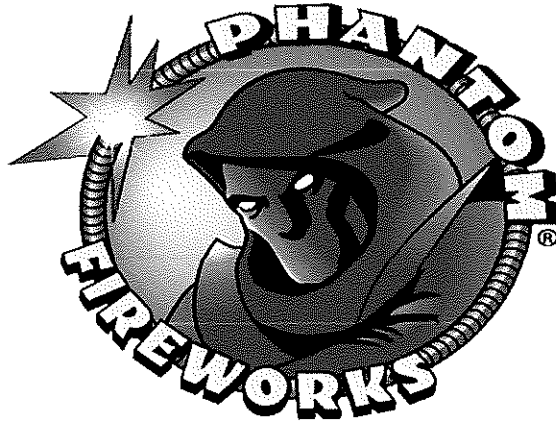
PROCESSING FEE \$ _____ BOND FEE \$ _____ TOTAL \$ 1650.00


(SIGNATURE OF APPLICANT)

1/29/19
(DATE SIGNED)

(APPROVED BY) _____

(DATE SIGNED)



Property Name: Lakewood Shopping Center

Address: I-94 and 2095 Rawsonville Road, Belleville, MI. 48111

Landlord Lease Terms: June 10th, 2019 through July 16th, 2019

Hours of Operation: June 21th – July 5th 10 am –10 pm

Size of Equipment: Flame Retardant Tent: 40' x 40'

Fire Proof Storage Unit 8'X 40'

Use Clause: The retail sale of consumer sparklers, novelties, and Class C fireworks as permitted by the state of Michigan.

Insurance: \$10 million dollars in product, personal and property liability.

Participants-2-4 people

We follow NFPA 1123, 1124, and 1125 regulations.

Thank You,

Richard Tapper

State Regional Manager/ Michigan

330-559-0776



Memo

TO: Van Buren Township Planning Commission
FROM: Ron Akers, AICP - Director of Planning and Economic Development
RE: Review of Temporary Land Use Request #TLU19-001 – Phantom Fireworks

DATE: February 9, 2019

Phantom of Michigan, Inc. is requesting a Temporary Land Use permit for a tent sale of fireworks at the Lakewood Shopping Plaza at 2095 Rawsonville Road. The use is proposed to be from June 21, 2019 through July 5, 2019, 10:00 a.m. to 10:00 p.m. Per the Zoning Ordinance, temporary uses that operate for more than seven (7) consecutive days require Planning Commission approval.

Under Section 7 of Michigan Public Act 256 of 2011, local units of government are limited in their ability to regulate the sale of fireworks within their communities. The Michigan Attorney General has issued an Opinion on this section of the Act (Opinion #7266), which states, “so long as the local ordinance does not prohibit fireworks vendors from undertaking their commercial operations in any way that other vendors may undertake their operations, the ordinance is not preempted by the Act.” Therefore, fireworks vendors are subject to the same Zoning Ordinance regulations as any other temporary land use.

In reviewing past applications for this temporary land use, the current application and the requirements of the Zoning Ordinance for temporary use approval, the following comments are pertinent to the Planning Commission.

1. Adequacy of parking and access

The site currently has 877 public parking spaces, 31 of which are handicapped reserved. The tent, portable storage container, and surrounding space will only remove approximately 39 regular parking spaces, the site will still have adequate parking while the temporary land use is ongoing.

2. Adequate drainage

The site is in an existing parking lot that already has storm water drainage. The tent and storage container will not affect the amount of impervious surface or water that would be diverted into the storm system.

3. Compatibility with surrounding land uses

The proposed use is retail sales in a parking lot of an existing shopping plaza. Therefore, the uses are compatible.

4. Size, height, and type of construction of proposed buildings and structures in relation to surrounding site

The tent and portable storage container are temporary in nature and tent sales regularly take place in parking lots, so no impacts are expected to the surrounding sites.

5. Sufficient setbacks from road right-of-ways and lot lines

The sales area is setback 50 feet from the right-of-way of the South I-94 Service Drive and 30 feet from the adjoining outlot of the plaza to the east.

6. Adequate utilities

Phantom will supply its own electrical generation. The generator and electrical hook-up will be inspected to ensure compliance with National Fire Protection Association requirements.

7. Trash disposal and site clean-up

Phantom will be responsible for all trash disposal and site clean-up in relation to their agreement with Schostak Brothers and Company, managing agent for Lakewood Shopping Center.

8. Sanitary facilities

Due to the short nature of the customer shopping, no sanitary facilities will be provided.

9. Hours of operation

From 10:00 a.m. to 10:00 p.m. Although Van Buren Township has a Fireworks Ordinance (adopted in 1986) which requires fireworks sales to conclude at 9:00 p.m., Act 256 preempts this requirement as there is no restriction on the hours of operation for other temporary uses. However, we are not aware of any complaints with Phantom closing at 10:00 p.m. in previous years, so the hours of operation are reasonable.

10. Outdoor light and signs

No exterior lights are provided. Interior lights will be hung by the tent company. The Zoning Ordinance permits one (1) 32 sq. ft. temporary sign for a period not to exceed 30 days. Phantom requests a banner to measure 5' x 16' (80 sq. ft.). Phantom's temporary signage must comply with the Zoning Ordinance before it obtains a sign permit from the Building Department.

11. Other licenses and permits required

A current Consumer Fireworks Retail Facility: Non-Permanent license must be provided by the applicant prior to the establishment of the temporary use. The Van Buren Fire Marshall shall be separately issuing a review letter.

12. Potential noise, odor, dust, and glare

The proposed temporary use should not increase the noise, odor, dust or glare from their use.

13. Fire lanes, fire protection, and security

The Van Buren Fire Marshall shall review the application for adequacy of fire lanes and fire protection. The site will be staffed with 3-6 employees during open hours. During non-operating hours, all products will be returned to their fire-proof storage unit and locked up until the materials are returned for redisplay the following day.

14. Off-site impacts of traffic volumes

The roads in the immediate vicinity are major Township roads, and this temporary use will not impact their flow or travel volumes.

15. Necessity of performance bond to ensure prompt removal

The property owner will be responsible for ensuring the site is returned to its pre-sale condition.

16. Other concerns which may impact the public health, safety, or general welfare

There are no additional concerns; however, the applicant is subject to the regulations of Act 256 and applicable regulations of the Fire Department.

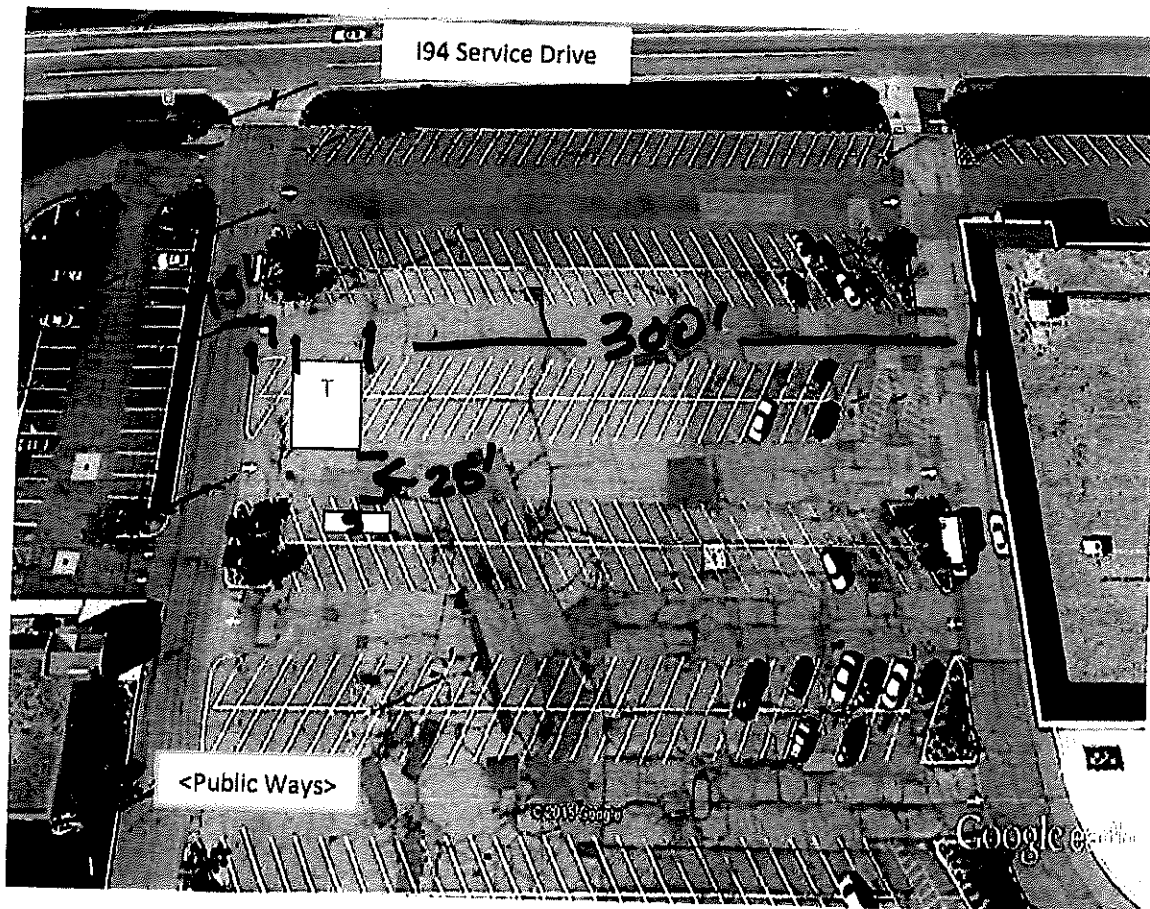
Recommendation

This will be the seventh (7) year that Phantom has operated at this location, and I am not aware of any complaints or issues that have taken place in the previous years. Based on this review dated February 9, 2019, I recommend approval of this application subject to the following three (3) conditions:

1. That the applicant obtains approval from the Van Buren Township Fire Marshall.
2. That the applicant provides the Township with a current Consumer Fireworks Retail Facility: Non-Permanent license prior to the establishment of the temporary use.
3. That all proposed signage complies with the Zoning Ordinance.

Exhibit A

Van Buren Twp, I-94 & 2095 Rawsonville Road Lakewood Center 48111



T- Frame Tent 40'X40' S- Storage Unit 8'X40' X- Generator
There are no gas stations, propane stations, flammable gas bulk dispenser, etc on this property or surrounding properties within 300 feet.

Over 800 parking spaces available on the asphalt, using 30 parking spaces. There is no parking within 10 feet of the tent. There are public ways within 150 feet of the tent and storage unit.

Schostak Brothers + Co, Inc.
as managing agent for
Lakewood Shopping Center LLC

x Thomas Ditzler
Executive Vice President/
Chief Operating Officer

Phantom Fireworks Eastern Region, LLC

2445 Belmont Ave, Youngstown, Ohio 44505
330-746-1064

PROPERTY PERMISSION FORM

The undersigned, owner and/or controlling party, of the property listed below hereby grants permission to Phantom Fireworks Eastern Region, LLC to use the property for the temporary sale of fireworks at the following location:

Name: Lakewood Shopping Center

Address: 1-94 and Rawsonville Road

City: Belleville

ST: MI.


Zip: 48111

County: Wayne

This Temporary Use Permission Form is for the purposes of obtaining state and local licenses, permits, and other uses pertinent to the retail sale of Class C state approved fireworks at the location for the 2019 season.

Schostak Brothers & Co., INC

As managing agent for Lakewood Shopping Center LLC

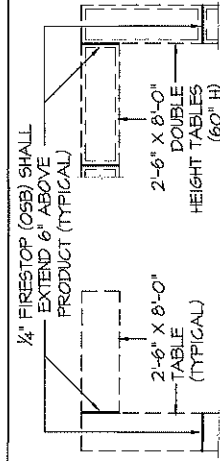
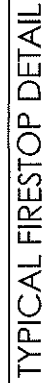
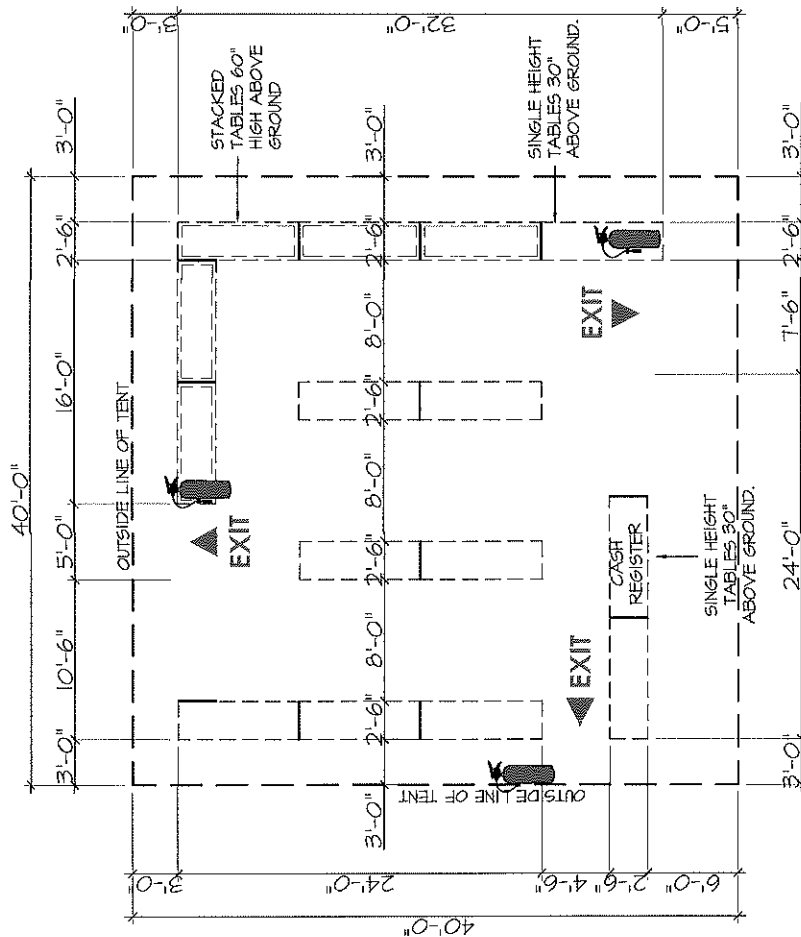
X 
Signature

Lynore M Clark, CSM, CRX

Name- Please Print – Property Owner/Controller of Property

Director of Property Management - Shopping Centers
Company/Title

11-19-18
Date





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/27/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Britton-Gallagher and Associates, Inc. One Cleveland Center, Floor 30 1375 East 9th Street Cleveland OH 44114	CONTACT NAME:	
	PHONE (A/C, No, Ext): 216-658-7100	FAX (A/C, No): 216-658-7101
INSURED Phantom Fireworks Eastern Region, LLC 2445 Belmont Avenue Youngstown OH 44505	E-MAIL ADDRESS: info@brittongallagher.com	
	INSURER(S) AFFORDING COVERAGE	
	INSURER A: Everest Indemnity Insurance Co.	
	INSURER B: Maxum Indemnity Company	
	INSURER C: Axis Surplus Ins Company	
	INSURER D:	
INSURER E:		
INSURER F:		

COVERAGES

CERTIFICATE NUMBER: 247152896

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Non-Owned Stand <input type="checkbox"/> Endt Included GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC	Y	Y	SI8GL00643-181	10/30/2018	10/30/2019	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$500,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$	Y	Y	EXC6025343-05	10/30/2018	10/30/2019	EACH OCCURRENCE \$4,000,000 AGGREGATE \$4,000,000 \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
C	Excess Liability #2	Y	Y	P-001-000046155-01	10/30/2018	10/30/2019	Each Occ/ Aggregate \$5,000,000 Total Limits \$10,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Additional Insured extension of coverage is provided by above referenced General Liability policy were required by written agreement.
Tent Location: Lakewood Shopping Center, 2095 Rawsonville Rd, Belleville MI 48111
Dates of Operation: June 21, 2019 through July 5, 2019
Lakewood Shopping Center LLC; Schostak Brothers & Company Inc, Van Buren Township, Schostak Brothers & Co. Inc,
The above listed are Additional Insureds with respect to General Liability as required by written contract.
Products/Completed Operations Coverage follows form through both excess policies listed on certificate.

CERTIFICATE HOLDER**CANCELLATION**

Shostak Brothers & Co Inc
17800 Laurel Park Drive North Suite 200C
Livonia MI 48152

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2010 ACORD CORPORATION. All rights reserved.



Sign Banner on Tent- Tent is 18' High
5'X16'



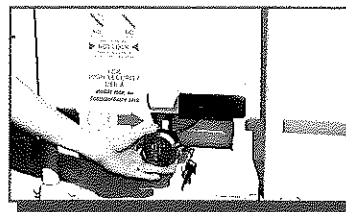
PORTABLE STORAGE CONTAINERS



- Container delivered to your home or business provides secure & convenient ground level access.
- Units available with shelving and painted light beige for quality appearance.
- All steel containers include your choice of patented door & locking systems.
- Easy opening, waist high, single lever doors on one end, both ends or sides.
- Sizes range from 10' to 40' lengths and 8' or 10' widths.

ANYONE CAN SELL STORAGE - WE SELL SECURE STORAGE!

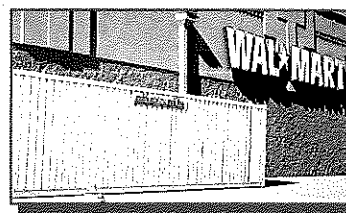
Our patented high security locking system includes three solid interior locking bars, padlock pocket and concealed lever lock. It also utilizes Mobile Mini's exclusive high security ContainerGuard Lock™.



COMMERCIAL APPLICATIONS

Trusted for Over 25 Years

Ideal for job site, additional warehouse or seasonal storage needs. Mobile Mini's secure containers are available in 100 different sizes and configurations to meet your needs at your location. Our high security containers are used by over 100,000 customers nationwide.



RESIDENTIAL APPLICATIONS

Storage Made Easy

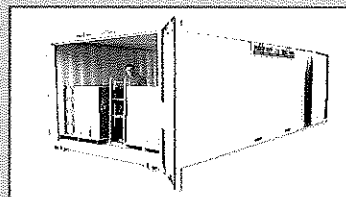
Ideal for home remodels! A Mobile Mini storage container delivered to your home provides easy and convenient, ground-level access and easy opening doors. Our hassle free low cost service allows you to access your belongings anytime at your location and eliminates the need to rent a truck or drive to a self storage facility.



WIDER IS BETTER

10' Wide Storage Units

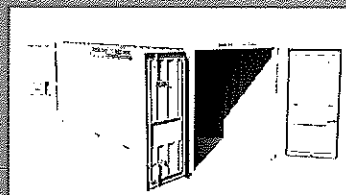
An exclusive Mobile Mini product, our extra-wide storage units are ideal for palletized storage. 20% more square footage, but 40% more usable space compared to a standard 8' wide unit! Units are 10' wide and available in lengths of 18' or 25'.



DOORS WHERE YOU NEED THEM

Maximize your Storage Space

Our standard rental units are equipped with our exclusive high-security doors on one end. We also offer rental units with our doors on both ends or on the sides for efficient storage and convenient side or end access. Side door configurations are available with one to four side double doors. The choice is yours!





MCKENNA

February 8, 2019

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: Proposed Amendments to Section 7.205 (Fences, Walls, and Other Protective Barriers) of the Zoning Ordinance

Dear Commissioners:

Enclosed for your review are several proposed amendments to Section 7.205 (Fences, Walls, and Other Protective Barriers) of the Zoning Ordinance. There are two (2) versions of the proposed amendments enclosed, which are the same: one (1) version includes "tracking" of all proposed deletions and additions; and one (1) version is a clean version of the same proposed amendments but without the deletions or additions. At its meeting on January 23, 2019, the Planning Commission reviewed the proposed text amendments and made minor modifications.


A summary of the proposed Zoning Ordinance amendments is as follows:

- **Security Fencing.** Currently all districts except the AP, M-1, and M-2 prohibit "barbed wire, spikes, nails, or any other sharp instrument of any kind." We recommend moving this prohibition to the general requirements, which would apply to all zoning districts. However, in the new sub-section on zoning districts, we recommend text that allows this type of fencing in the AP, M-1, M-T, and M-2 Districts only if the Planning Commission determines that it is necessary for the safety and security of the site in those districts. Also, in the provisions for security fencing, the Planning Commission previously recommended prohibiting electric fences and energized fences, except for low voltage fences on a commercial farm.
- **Standards Applicable to Specific Zoning Districts.** Currently, there are several cross-references in Section 7.205 that leads to the use flipping back and forth between sections (e.g., there are separate, though linked, provisions regarding fences in Nonresidential Districts and fences in the AP, M-1, and M-2 Districts). To make the standards simpler, we recommend deleting the sub-section for "Fences and Walls in Nonresidential Districts" and putting these standards appropriately into the preceding sub-sections for specific zoning districts. While this results in some duplicative text, it will be more user-friendly. Major changes include:
 - **New Sub-Section for Fences and Walls in the M-U, C, C-1, C-2, and FS Districts.** This subsection includes the following, which includes provisions from the current sub-section for "Fences and Walls in Districts Other Than AP, M-1, or M-2:"
 - It still allows the height of the fence to be increased from 6 feet to 8 feet (side and rear yard only), but only if the Planning Commission permits the increased height for safety purposes.
 - The standards for front yard fences are preserved, which allow a maximum of 2.5 feet in the front yard provided the front yard fence is decorative.
 - Fence material must be decorative, but the Planning Commission can approve chain link fence in a side or rear yard.
 - **OT District Added to the Sub-Section on Fences and Walls in the AP, M-1, M-T, and M-2 Districts.** This subsection includes the following:
 - As previously stated, this sub-section still allows the height of the fence to be increased from 6 feet to 8 feet, but only if the Planning Commission determines that it is necessary for the safety and security of the site (for example, a data center).

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.

- 
- Fences in the AP, M-1, and M-2 Districts can still be constructed in the front yard per the current regulations, provided they are decorative, and the M-T District has been added to this list of districts. However, fences in the OT District can now be constructed in the front yard only if the Planning Commission approves the front yard location and the fence is decorative (chain link prohibited).
 - **Existing Sub-Section for Fences and Walls in the Residential Districts.** Although there are some existing sub-sections added from the current sub-section for “Fences and Walls in Districts Other Than AP, M-1, M-T, or M-2,” the provisions for these districts remain the same except that M-T has been added to the list of districts.

We look forward to reviewing these proposed amendments with you.

Respectfully submitted,

McKENNA



Patrick J. Sloan, AICP
Senior Principal Planner

c: Ron Akers, Van Buren Township Director of Planning & Economic Development
Matt Best, Van Buren Township Director of Public Services



Section 7.205 Fences, Walls, and Other Protective Barriers

All fences, walls and other protective barriers (referred to in this Section as fences) of any nature, description located in the Township of Van Buren shall conform to the following regulations:

(A) General Requirements: The following requirements apply to all fences in Van Buren Township:

- (1) Permit and Approving Authority.** The erection, construction or alteration of any fence or wall shall require a permit and be approved by the Building Inspector as to compliance with the provisions this Ordinance.
- (2) Clear Vision Triangle Area.** No fence or wall shall be erected, established or maintained within the clear vision triangle area of any lot except in compliance with [Section 7.108](#).
- (3) Maintenance.** Walls and fences shall be maintained in good condition and shall not constitute an unreasonable hazard. Rotten, crumbled, or broken compounds shall be replaced, repaired, or removed.
- (4) Orientation of Finished Side.** Where a fence or wall has a single finished or decorative side, it shall be oriented to face outward toward adjacent parcels or road rights-of-way (i.e., away from the interior of the lot to which the fence or wall is associated).
- (5) Security Fencing:** Unless explicitly permitted elsewhere in this Ordinance, barbed wire, spikes, nails, or any other sharp instrument of any kind are prohibited on top of or on the sides of any fence, provided that barbed wire cradler may be placed on top of fences enclosing public utility buildings or equipment in any district. Electric fences and similar energized fences that could cause injury are prohibited, except that low voltage fences are permitted on a commercial farm that meets all of the requirements of the Michigan Right to Farm Act. This Section does not apply to underground invisible fences designed for household pets.

(B) Requirements Applicable to Specific Zoning Districts.

- (1) Fences and Walls in the M-U, C, C-1, C-2, and FS Districts.** In addition to the requirements of [Section 7.205\(A\)](#), fences or walls in the M-U, C, C-1, C-2, and FS districts, unless specifically provided otherwise, must conform to the following requirements:
 - (a) Maximum Height.** No fence or wall shall hereafter be erected in excess of six (6) feet in height above the grade of the surrounding land, except that the Planning Commission may approve a height of up to eight (8) feet when required for security.
 - (b) Location.** No fence or wall shall hereafter be located in the front yard or on the side of a front yard, except that decorative fences (e.g. wrought iron, picket, split rail) are permitted in a front yard where they do not exceed two and one half (2 1/2) feet in height and the vertical surface in any five (5) foot section measured from the finished ground grade to the top of the fence has openings of at least fifty (50) percent of the total surface of each five (5) foot section of fence and that all framing members

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including post, horizontal or vertical supports and fencing be considered in the calculation. Decorative fencing excludes chain link fences.

- (c) **Fence Material.** All fences or walls hereafter erected shall be of a decorative nature, which excludes chain linked fences. Fences located in the side yard or rear yard may, at the discretion of the Planning Commission, be non-decorative (e.g., chain linked), provided they are not directly visible from public rights-of-way.

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Deleted: or chain linked unless otherwise prohibited. Barbed wire, spikes, nails or any other sharp instrument of any kind are prohibited on top of or on the sides of any fence, provided that barbed wire cradler may be placed on top of fences enclosing public utility buildings or equipment in any district

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- (2) **Fences and Walls in the O-T, AP, M-1, M-T, or M-2 Districts.** In addition to the requirements of Section 7.205(A), fences and walls in the O-T, AP, M-1, M-T, or M-2 District must meet the following requirements.

- (a) **Maximum Height.** No fence or wall shall hereafter be erected in excess of six (6) feet in height above the grade of the surrounding land, except that the Planning Commission may approve a height of up to eight (8) feet if the Planning Commission determines that a higher fence is necessary for the safety and security of the site based on the use of the site.

(b) Location Requirements.

- (i) **O-T District.** No fence or wall shall hereafter be located in the front yard or on the side of a front yard, except that the Planning Commission may permit decorative fences (e.g. wrought iron, picket, split rail) in a front yard if the Planning Commission determines that the fence in the front yard is necessary for the safety and security of the site based on the use of the site (for example, a secure data center). Decorative fencing excludes chain link fences.

- (ii) **AP, M-1, M-T, and M-2 Districts.** Fences and walls in the AP, M-1, M-T, or M-2 District may be located on property or road right-of-way lines of a lot.

- (c) **Fence Material.** All fences or walls hereafter erected shall be of a decorative nature, which excludes chain linked fences. Fences located in the side yard or rear yard may, at the discretion of the Planning Commission, be non-decorative (e.g., chain linked), provided they are not directly visible from public rights-of-way.

- (d) **Security Fences in the AP, M-1, M-T, and M-2 Districts.** The Planning Commission may permit barbed wire, spikes, nails, or any other sharp instrument on top of or on the sides of a fence in the AP, M-1, M-T, and M-2 Districts, provided the Planning Commission determines that the barbed wire, spikes, nails, or other sharp instrument is necessary for the safety and security of the site.

- (3) **Fences and Walls in AG, R-1A, R-2A, R-1B, R-1C, RM, and RMH Districts.** In addition to the requirements of Section 7.205(A), fences and walls in the AG, R-1A, R-2A, R-1B, R-1C, RM, and RMH zoning districts must comply with the following:

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VERSION 1. With Changes Tracked

- (a) **Maximum Height.** Fences and walls on all lots of record which enclose property and/or are within a side or rear yard, shall not exceed six (6) feet in height, measured from the surface of the ground.
- (b) **Location.** Fences and walls shall not extend toward the front of the lot nearer than the front of the principal building or the required minimum front yard setback, whichever is greater, except that decorative fences (e.g. wrought iron, picket, split rail) are permitted in a front yard where they do not exceed two and one half (2 1/2) feet in height and the vertical surface in any five (5) foot section measured from the finished ground grade to the top of the fence has openings of at least fifty (50) percent of the total surface of each five (5) foot section of fence and that all framing members including post, horizontal or vertical supports and fencing be considered in the calculation. Decorative fencing excludes chain link fences.
- (c) **Fence Material.** All fences hereafter erected shall be of a decorative nature or chain linked unless otherwise prohibited.
- (d) **Brick or Stone Walls.** Notwithstanding the foregoing provisions, a wall composed of brick, fieldstone or similar natural material may be permitted in the front yard where it does not exceed eighteen (18) inches in height.
- (e) **Subdivisions and Site Condominiums.** Residents of a subdivision or condominium may be subject to additional requirements of the homeowners association, which are not enforced by the Township or this Ordinance.

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Deleted: Fences and Walls in Nonresidential Districts. In addition to the requirements of [Section 7.205\(B\)\(1\)](#) and [Section 7.205\(B\)\(2\)](#), fences and walls in all nonresidential districts when required for security shall be constructed of ornamental/decorative materials such as rod and rail, stockade, or brick; however, such fencing shall not exceed a height of eight (8) feet. Fences located in the rear may, at the discretion of the Planning Commission, be non-decorative, provided they are not directly visible from public rights-of-way.¶

Section 7.205 Fences, Walls, and Other Protective Barriers

All fences, walls and other protective barriers (referred to in this Section as fences) of any nature, description located in the Township of Van Buren shall conform to the following regulations:

(A) General Requirements: The following requirements apply to all fences in Van Buren Township:

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- (3) Maintenance.** Walls and fences shall be maintained in good condition and shall not constitute an unreasonable hazard. Rotten, crumbled, or broken compounds shall be replaced, repaired, or removed.
- (4) Orientation of Finished Side.** Where a fence or wall has a single finished or decorative side, it shall be oriented to face outward toward adjacent parcels or road rights-of-way (i.e., away from the interior of the lot to which the fence or wall is associated).
- (5) Security Fencing:** Unless explicitly permitted elsewhere in this Ordinance, barbed wire, spikes, nails, or any other sharp instrument of any kind are prohibited on top of or on the sides of any fence, provided that barbed wire cradler may be placed on top of fences enclosing public utility buildings or equipment in any district. Electric fences and similar energized fences that could cause injury are prohibited, except that low voltage fences are permitted on a commercial farm that meets all of the requirements of the Michigan Right to Farm Act. This Section does not apply to underground invisible fences designed for household pets.

(B) Requirements Applicable to Specific Zoning Districts.

- (1) Fences and Walls in the M-U, C, C-1, C-2, and FS Districts.** In addition to the requirements of [Section 7.205\(A\)](#), fences or walls in the M-U, C, C-1, C-2, and FS districts, unless specifically provided otherwise, must conform to the following requirements:
 - (a) Maximum Height.** No fence or wall shall hereafter be erected in excess of six (6) feet in height above the grade of the surrounding land, except that the Planning Commission may approve a height of up to eight (8) feet when required for security.
 - (b) Location.** No fence or wall shall hereafter be located in the front yard or on the side of a front yard, except that decorative fences (e.g. wrought iron, picket, split rail) are permitted in a front yard where they do not exceed two and one half (2 1/2) feet in height and the vertical surface in any five (5) foot section measured from the finished ground grade to the top of the fence has openings of at least fifty (50) percent of the total surface of each five (5) foot section of fence and that all framing members

VERSION 2. Changes Not Tracked

including post, horizontal or vertical supports and fencing be considered in the calculation. Decorative fencing excludes chain link fences.

- (c) **Fence Material.** All fences or walls hereafter erected shall be of a decorative nature, which excludes chain linked fences. Fences located in the side yard or rear yard may, at the discretion of the Planning Commission, be non-decorative (e.g., chain linked), provided they are not directly visible from public rights-of-way.
- (2) **Fences and Walls in the O-T, AP, M-1, M-T, or M-2 Districts.** In addition to the requirements of [Section 7.205\(A\)](#), fences and walls in the O-T, AP, M-1, M-T, or M-2 District must meet the following requirements.
 - (a) **Maximum Height.** No fence or wall shall hereafter be erected in excess of six (6) feet in height above the grade of the surrounding land, except that the Planning Commission may approve a height of up to eight (8) feet if the Planning Commission determines that a higher fence is necessary for the safety and security of the site based on the use of the site.
 - (b) **Location Requirements.**
 - (i) **O-T District.** No fence or wall shall hereafter be located in the front yard or on the side of a front yard, except that the Planning Commission may permit decorative fences (e.g. wrought iron, picket, split rail) in a front yard if the Planning Commission determines that the fence in the front yard is necessary for the safety and security of the site based on the use of the site (for example, a secure data center). Decorative fencing excludes chain link fences.
 - (ii) **AP, M-1, M-T, and M-2 Districts.** Fences and walls in the AP, M-1, M-T, or M-2 District may be located on property or road right-of-way lines of a lot.
 - (c) **Fence Material.** All fences or walls hereafter erected shall be of a decorative nature, which excludes chain linked fences. Fences located in the side yard or rear yard may, at the discretion of the Planning Commission, be non-decorative (e.g., chain linked), provided they are not directly visible from public rights-of-way.
 - (d) **Security Fences in the AP, M-1, M-T, and M-2 Districts.** The Planning Commission may permit barbed wire, spikes, nails, or any other sharp instrument on top of or on the sides of a fence in the AP, M-1, M-T, and M-2 Districts, provided the Planning Commission determines that the barbed wire, spikes, nails, or other sharp instrument is necessary for the safety and security of the site.
- (3) **Fences and Walls in AG, R-1A, R-2A, R-1B, R-1C, RM, and RMH Districts.** In addition to the requirements of [Section 7.205\(A\)](#), fences and walls in the AG, R-1A, R-2A, R-1B, R-1C, RM, and RMH zoning districts must comply with the following:

VERSION 2. Changes Not Tracked

- (a) **Maximum Height.** Fences and walls on all lots of record which enclose property and/or are within a side or rear yard, shall not exceed six (6) feet in height, measured from the surface of the ground.
- (b) **Location.** Fences and walls shall not extend toward the front of the lot nearer than the front of the principal building or the required minimum front yard setback, whichever is greater, except that decorative fences (e.g. wrought iron, picket, split rail) are permitted in a front yard where they do not exceed two and one half (2 1/2) feet in height and the vertical surface in any five (5) foot section measured from the finished ground grade to the top of the fence has openings of at least fifty (50) percent of the total surface of each five (5) foot section of fence and that all framing members including post, horizontal or vertical supports and fencing be considered in the calculation. Decorative fencing excludes chain link fences.
- (c) **Fence Material.** All fences hereafter erected shall be of a decorative nature or chain linked unless otherwise prohibited.
- (d) **Brick or Stone Walls.** Notwithstanding the foregoing provisions, a wall composed of brick, fieldstone or similar natural material may be permitted in the front yard where it does not exceed eighteen (18) inches in height.
- (e) **Subdivisions and Site Condominiums.** Residents of a subdivision or condominium may be subject to additional requirements of the homeowners association, which are not enforced by the Township or this Ordinance.



MCKENNA

February 8, 2019

Ron Akers, AICP, Director of Planning & Economic Development
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: Review and Comparison of Multi-Family Residential Standards

Ron:

As a follow up to our previous conversations about lot sizes and lot widths for multi-family residential use, we have compared the regulations of the Van Buren Township Zoning Ordinance with two (2) other communities. Currently, multi-family residential uses are only permitted in the RM, Multiple-Family Residential and M-U, Mixed-Use zoning districts. While the M-U district encourages higher density and mixed use, the RM district is predominantly a multi-family residential district that has been in existence far longer. The current Zoning Ordinance requirements for multi-family use in the RM zoning district area as follows:

- **Minimum Lot Size:** 10 acres
- **Minimum Lot Width:** 400 feet
- **Maximum Density:** The maximum density is as follows, depending on housing type:
 - Attached Single-Family: Approximately 10 units per acre.
 - Apartment Houses: Approximately 15 units per acre.
 - Multiple-Family High Rise: Up to 40 units per acre.

A major concern with the above standards is that, because the minimum lot area is 10 acres, the size of the smallest multi-family development can be between 100-400 units. As a result, these standards make it difficult to develop smaller multi-family developments because a multi-family residential developer will likely maximize the density if the minimum lot area is 10 acres and the minimum lot width is 400 feet. Therefore, we recommend that the Township consider a sliding scale that allows for smaller lot areas and lot widths for multi-family residential development. While having a minimum lot size and lot width are appropriate, the current minimums could be reduced to allow smaller multi-family developments while upholding all of the other requirements of the Zoning Ordinance.

To determine whether it is appropriate to consider reducing the minimum lot size and lot width of multi-family residential developments, it is helpful to review the zoning standards of other communities that have established multi-family residential housing. The following table compares the multi-family residential standards of two (2) communities with which I am familiar. Garden City is a community that is mostly built out, but has many sites that have recently redeveloped; conversely, Lyon Township is one of the fastest growing communities in Michigan and has seen a recent demand for multi-family housing. Both communities have a variety of established multi-family residential developments.

HEADQUARTERS
235 East Main Street
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Northville, Michigan 48167

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MCKA.COM

Communities for real life.

	Garden City (Wayne County)	Lyon Township (Oakland County)	
Current Population	26,913 (SEMCOG)	18,897 (SEMCOG)	
Zoning District	R-3, Multiple-Family Residential District	RM-1, Suburban Townhouse District	RM-2, Multiple-Family Residential District
Minimum Lot Area	Dependent on number of units, though the minimum width and setbacks will likely require at least one-quarter acre.	Dependent on number of units, though the minimum width and setbacks will likely require at least 1 acre.	
Minimum Lot Width	100 ft.	200 ft.	200 ft.
Maximum Density	Approx. 17 units/acre	Approx. 4 units/acre	Approx. 13 units/acre
Density Formula	3,000 sq. ft. for the first unit and 2,500 sq. ft. for each additional unit.	Maximum number of rooms (i.e., bedrooms and living rooms) is lot area divided by 3,600, and not more than 25% of units may be 1-bedroom.	Maximum number of rooms (i.e., bedrooms and living rooms) is lot area divided by 1,800, and not more than 10% of units may be efficiency.

As you can see, the allowable densities in Van Buren Township are similar in many respects to Garden City and Lyon Township. However, both Garden City and Lyon Township have smaller minimum lot areas and lot widths, with the minimum lot area dependent on the number of units.

If you would like to see comparisons from other communities, we would be happy to provide them. Also, we would be glad to prepare sample text amendment proposals for your review.

Respectfully submitted,

McKENNA



Patrick J. Sloan, AICP
Senior Principal Planner

