

AGENDA
CITY OF STURGEON BAY
INDUSTRIAL PARK DEVELOPMENT REVIEW TEAM

Wednesday, July 8, 2020
12:00 Noon
Council Chambers, City Hall
421 Michigan Street

1. Roll call.
2. Adoption of agenda.
3. Consideration of: Addition for Dan's Fish, Inc., 152 Jib Street.
4. Consideration of: Industrial Park property maintenance.
5. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

IPDRT Members:
David Hayes
Bill Murrock
Sandy Hurley
Steve Jenkins, Alternate

7/2/20
1:30 p.m.
CN

CITY OF STURGEON BAY
INDUSTRIAL PARK DEVELOPMENT REVIEW TEAM
APPLICATION FOR *CERTIFICATE OF APPROPRIATENESS*

Name: Chris Herzog, A.C.E. Building Service (acting as agent for Dan's Fish)

Owner of Premises: Dan's Fish, Inc. (Sturgeon Bay Cold Storage)

Address or Legal Description of Premises:

152 Jib Street, Sturgeon Bay WI 54235

Statement of Specific Item Requested for Approval:

Request the approval of plans for a facility expansion to the West of the
existing facility operated by Dan's Fish, Inc. & Sturgeon Bay Cold Storage.
Request includes approval of expansion, exterior building elements, site
plan, landscaping requirements. Dan's Fish, Inc. will acquire the property
adjacent and West of their existing facility. Request that construction may
begin on this parcel of land if the land purchase cannot be completed in
a timely manner and the City of Sturgeon Bay is still the legal owner at time of the
scheduled ground breaking date (t.b.d.) The production portion of the
expansion must be complete by September 31 and as such time is of the essence.

6/23/2020

Date

Chris Herzog

Applicant

DATE RECEIVED _____

STAFF SIGNATURE _____

DATE APPROVED/DENIED _____

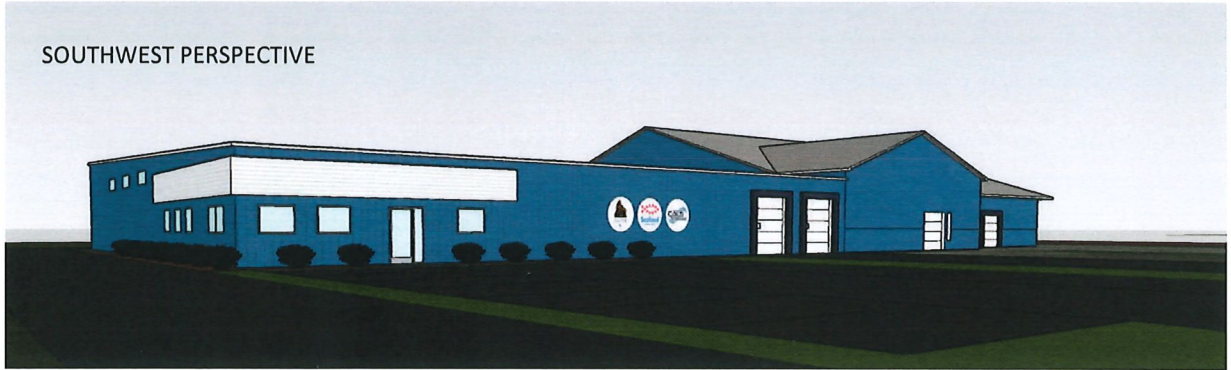


BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION

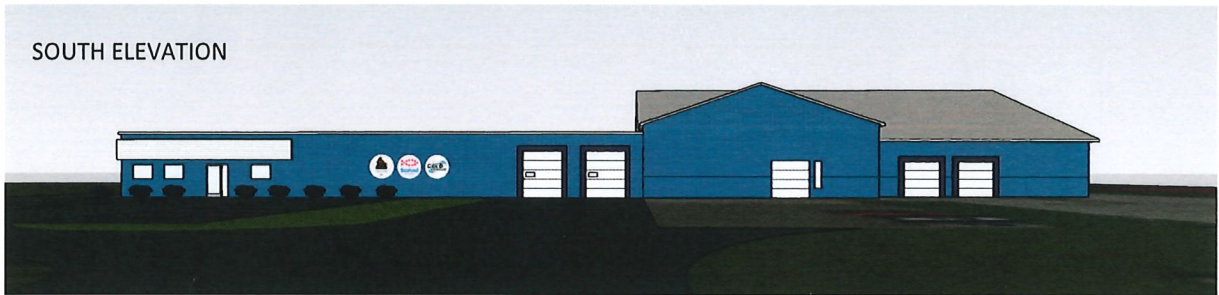
PROPOSED FACILITY EXPANSION

DAN'S FISH, INC.

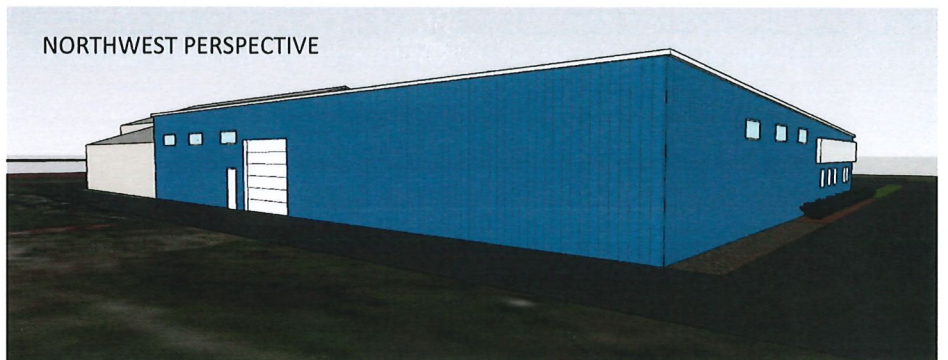
SOUTHWEST PERSPECTIVE



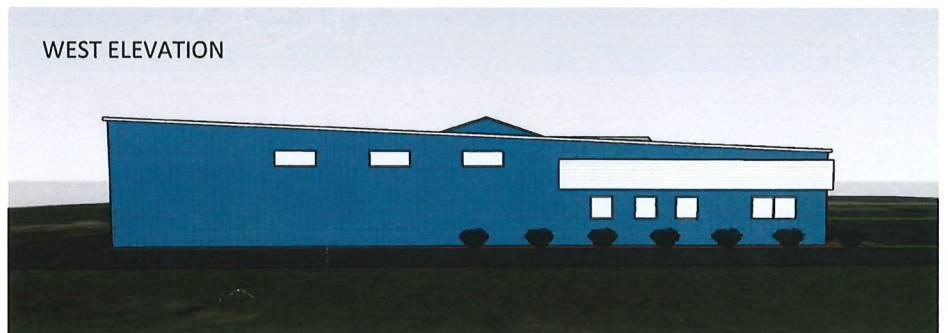
SOUTH ELEVATION



NORTHWEST PERSPECTIVE



WEST ELEVATION





City of Sturgeon Bay
Industrial Park Development Review Team
421 Michigan Avenue
Sturgeon Bay, WI 54235

Ladies and Gentlemen:

Attached please find information pertaining to the proposed building addition to Dan's Fish, Inc / Sturgeon Bay Cold Storage located at 152 Jib Street in Sturgeon Bay, WI.

Enclosed are the following items for review:

- Proposed building plan
- Proposed site development plans
- Proposed building rendering and materials list

Lighting plans are not yet complete. We request a conditional approval with the intent that exterior lighting plans will be made available for review and approval upon completion. Landscaping calculations are complete, but landscaping plans are not yet complete. We request that the conditional approval also be contingent on approved landscape plans.

Site plan documents have been prepared by Baudhuin Surveying and Engineering, Sturgeon Bay WI. Storm water calculations and documentation will be submitted to the City of Sturgeon Bay Engineering department for approval independent of this submission.

The expansion construction type will be a pre-engineered metal building with prefinished metal wall panels, gable trim, gutter, and downspouts. The addition will be a single slope structure sloping downward to the south. All downspouts will be plumbed underground and roof storm water will be directed to a proposed storm water management area on the west side of the expansion. There will be (2) new loading docks incorporated into the expansion with dock leveling plates and seals. The dock will be declining with storm water collection at the bottom of the slope that will direct storm water to underground storm sewer.



The west and south faces of the existing building will be painted to match the expansion wall color to create a uniform appearance. Architectural metal accent panel will be installed in a horizontal direction perpendicular to the building wall panel to create a visual feature meant to clearly identify the office area from the rest of the facility. Aluminum storefront entry and aluminum windows will be used for the office to create a maintenance free commercial appearance and landscape base plantings will be placed around the office area as well. Windows will be incorporated on the west and north faces of the expansion to bring natural light into the production area as well as add visual interest to the respective building faces.

The expansion will allow Dan's Fish to remove the trailers currently used as storage and freezer space from the west side of the existing building.

Please feel free to contact me with any questions regarding this project. Thank you in advance for your consideration.

Respectfully Submitted,

Christopher Herzog
A.C.E. Building Service, Inc.

Note: If questions arise between June 24th and July 3rd, please email cherzog@acebuildingservice.com and cc eaugusting@acebuildingservice.com & sjohnson@acebuildingservice.com

City of Sturgeon Bay
Industrial Park Development Review Team
421 Michigan Avenue
Sturgeon Bay, WI 54235

Materials List

- Exterior wall panel – semi concealed prefinished metal wall panel
- Exterior building trims – prefinished metal trims
- Roof – galvanized metal standing seam roof
- Entrances and windows
 - Aluminum Storefront building entrance
 - Painted or anodized aluminum office and production windows
 - Prefinished white insulated sectional steel overhead doors at loading docks on south elevation and at-grade overhead door on north elevation
 - Painted steel walk doors for emergency egress exits
- Existing Building – painted to match expansion wall panel color on west and south building elevations
- Exposed concrete retaining wall at east side of loading dock recessed area. Steel guard rail on top of wall in safety yellow paint
- Asphalt paved parking, driveway, and building access lane
- Concrete sidewalk and concrete pad at base of loading dock recessed area
- Landscaping to meet city requirements based on development size and parking. Landscape plan to be submitted with future separate submittal
- Exterior illumination will be low-watt LED fixtures mounted to the building face. Light will be directed in a downward manner and not to “flood” adjacent properties or create a visual nuisance. No light poles are planned at this time.
- Signage depicted in rendering is conceptual in nature only. A separate sign approval process will be handled directly by Dan’s Fish, Inc. if they choose to pursue building signage.

* Material panel samples and colors available upon request.

COMMITTED TO BUILDING GREEN

All standard Butler-Cote™ 25-year fluoropolymer color finishes feature a Solar Reflectance Index (SRI) of 29 or greater.

ENHANCE AND PROTECT THE BEAUTY

The standard exterior paint finish for all Butler panels and trim is the Butler-Cote system, consisting of a full strength 70% Kynar 500® or Hylar 5000® PVDF resin-base fluoropolymer finish.

The Butler-Cote system resists the chalking and fading that often leaves a building looking drab

and dated. Our 25-year warranty guarantees that, on roof and wall panel standard colors, chalking will not exceed a rating of #8 and fading will not exceed 5ΔE color difference units. The warranty also covers peeling, cracks, or chipping of the paint finish.

While many manufacturers' warranties are prorated after a certain period of time, we offer our Butler-Cote roof and wall panel warranty for a full 25 years—with no prorating. It's a testament to our high performance standards.

FLUOROPOLYMER FINISH VS. SILICONE POLYESTER AFTER 8 YEARS OF WEATHERING.

Butler-Cote™ Fluoropolymer Finish	Industry Standard Silicone Polyester Coating
Original Color	
Level of Chalking Alternative Within Warranty Terms	
Warranty Period	25 years
	10 years

BUTLER-COTE™ FINISH SYSTEM SOLAR REFLECTANCE DATA

Available Standard "Cool" Colors	Initial Solar Reflectance	Initial Emittance	Solar Reflectance Index (SRI)	Color Number
Cool Solar White - MR-24®	71.7	0.85	87	BN5W2048
Cool Solar White (Galvalume® substrate)	74.9	0.84	91	BN5W1948
Cool Igloo White	62.4	0.87	74	BN5W1838
Cool Ivory White	62.3	0.85	74	BN5T1378
Cool Birch White	63.7	0.85	75	BN5I1358
Cool Shell Gray	55.1	0.84	63	BN5A2218
Cool Country Wheat	60.3	0.84	71	BN5I1368
Cool Desert Beige	49.0	0.85	55	BN5M2358
Cool Gray Stone	37.1	0.85	39	BN5A2228
Cool Marsh Green	32.9	0.84	33	BN5G1758
Cool Emerald Green	29.7	0.85	29	BN5G1748
Cool Palm Green	28.7	0.86	29	BN5G1768
Cool Ocean Blue	33.0	0.84	33	BN5L1488
Cool Majestic Blue	30.8	0.85	30	BN5L1498
Cool Brick Red	32.9	0.84	33	BN5R1438
Cool Harvest	31.1	0.84	31	BN5M2398
Cool Onyx Black	29.6	0.84	29	BN5B1148
Galvalume® Plus	68.0	0.30	65	



Butler Manufacturing
Kansas City, MO
816-958-3000

Butler Buildings Canada
Burlington, ON, Canada
905-332-7756

www.butlermfg.com



Butler's building products are consistently being recognized. Therefore, the information contained herein is subject to change without notice. Before making any purchase, contact your nearest Butler Building or Butler Manufacturing for the latest information.

Star is a registered trademark of the United States EPA.

Kynar 5000 is a registered trademark of Akzo Chemicals, Inc. Hylar 5000 is a registered trademark of Solar Solutions. USGBC logo is a registered trademark owned by the U.S. Green Building Council and is used by permission. Energy Star is a registered trademark of the U.S. Green Building Council.

Butler Manufacturing is a division of BlueScope Buildings North America, Inc. Find your independent Butler Building at www.butlertools.com

Form 10-4828 08/16



BUTLER-COTE™ FINISH SYSTEM

for Butler® Building Systems

Featuring a full palette of Butler-Cote™ colors
each with an SRI of 29 or greater.



BUTLER-COTE™ FINISH SYSTEM

for Butler® Building Systems

All Butler-Cote™ fluoropolymer finishes have a Solar Reflectance Index of 29 or greater.



ROOF SYSTEMS

MR-24" AND CMR-24" ROOF SYSTEMS

Cool Solar White	22 & 24 ga.	Cool Ivory White	24 ga.	Cool Shell Gray	22 & 24 ga.	Cool Emerald Green	24 ga.
Cool Ocean Blue	24 ga.	Cool Brick Red	24 ga.	Cool Harvest	22 & 24 ga.		

BUILDING TRIM & ARCHITECTURAL
ACCENT PANEL COLOR

VSR II™ ROOF SYSTEM

Cool Solar White	24 ga.	Cool Igloo White	24 ga.	Cool Ivory White	24 ga.	Cool Shell Gray	24 ga.
Cool Country Wheat	24 ga.	Cool Desert Beige	24 ga.	Cool Gray Stone	24 ga.	Cool Marsh Green	24 ga.
Cool Emerald Green	24 ga.	Cool Palm Green	24 ga.	Cool Ocean Blue	24 ga.	Cool Majestic Blue	24 ga.
Cool Brick Red	24 ga.	Cool Harvest	24 ga.				

BUTLERIB® II ROOF SYSTEM

Cool Solar White	24 & 26 ga.	Cool Shell Gray	26 ga.
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MODULEZE™ II SOFFIT COLORS

Cool Solar White	24 ga.	Cool Ivory White	24 ga.	Cool Birch White	24 ga.
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WALL SYSTEMS

SHADOWWALL™ BUTLERIB® II, STYLWALL® II FLAT AND FLUTED WALL SYSTEMS, AND MOD-36 (GABLE TRIM, EAVE TRIM, GUTTER AND DOWNSPOUTS)

Cool Solar White*	Cool Igloo White*	Cool Ivory White*	Cool Birch White*	Cool Palm Green
Cool Shell Gray*	Cool Country Wheat*	Cool Desert Beige*	Cool Majestic Blue	Cool Marsh Green
Cool Emerald Green	Cool Ocean Blue	Cool Onyx Black (Trim Only)		
Cool Harvest*				

BUTLER THERMAWALL™ WALL SYSTEM

Cool Solar White	Cool Birch White	Cool Shell Gray	Cool Country Wheat
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WALL PANEL COLOR

INTERIOR FINISH COLORS (NOT FORMULATED FOR EXTERIOR USE)

Light Gray (Butler® II roof & wall, StylWall® II Fluted, ShadowWall™, MR-24", VSR II™ and MOD-36)	Igloo White (Butler ThermoWall™ & TextureWall™) USDA-approved	Interior White (CMR-24" Liner and MOD-36 in 22 or 28 gauge only)
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GAUGE AVAILABILITY

Butler® II & ShadowWall™ - 26 gauge
StylWall® II Flat - 26 gauge
StylWall® II Fluted - 24 gauge
MOD-36 - 22, 24, 26, and 28 gauge
Trim - 26 gauge

*Also available in 24 gauge for Butler® II, ShadowWall™ and MOD-36

All color selections are close representations, but are limited by processing and viewing conditions. Lead times may vary by product selection. Contact your Butler Builder® for more information.

For color, gauges, or color/panel combinations not shown, additional charges apply and a minimum order is required.

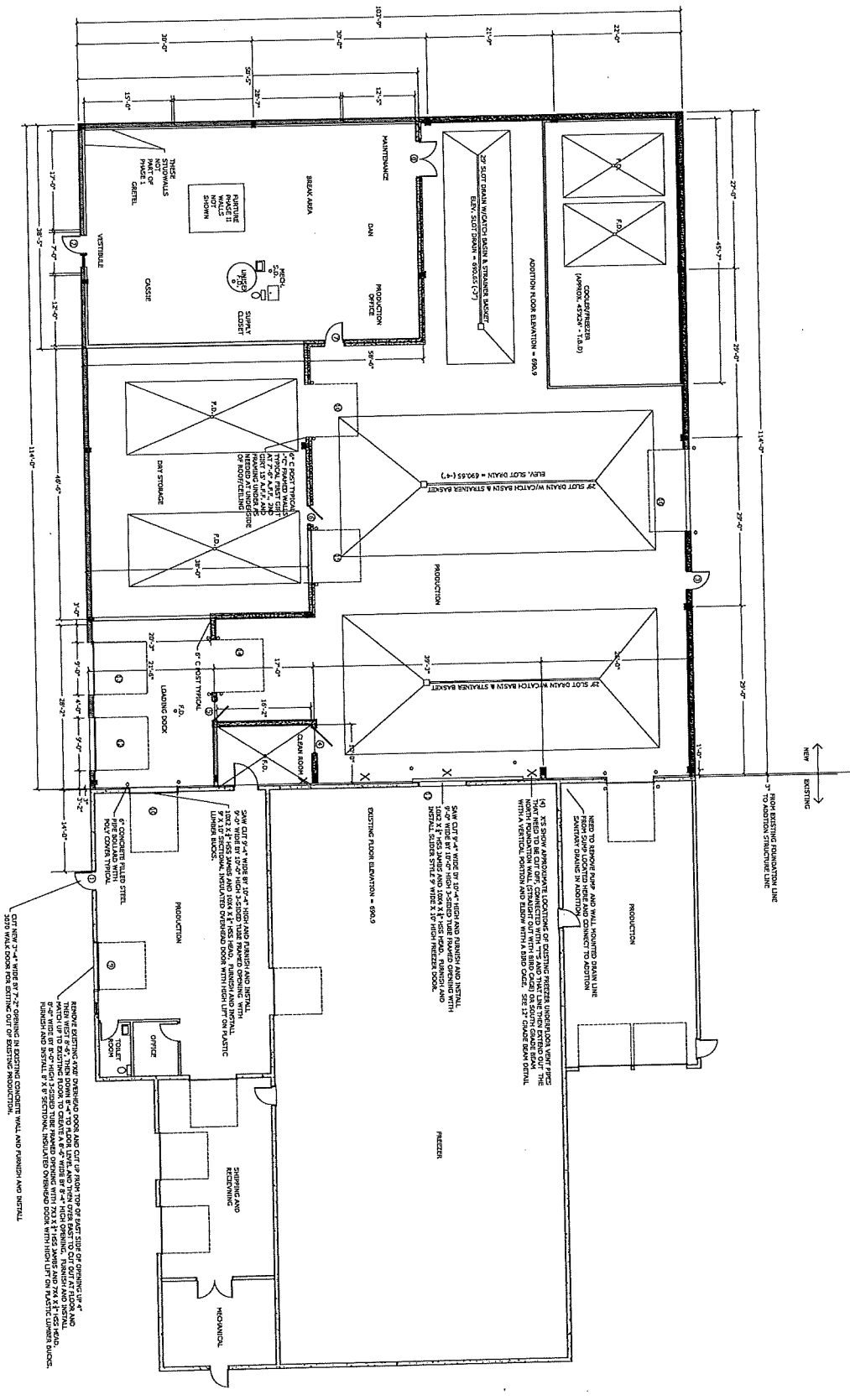






© AII F







 FLOOR PLAN

 1/8" = 1'-0"

PROJECT INFORMATION:

BUILDING ADDITION

 DAN'S FISH

 152 JIB ST.

 STURGEON BAY, WI 54235


ACE BUILDING SERVICE

 OUR REPUTATION IS OUR FOUNDATION

 2510 SOUTH 28TH STREET • MANITOWOC, WISCONSIN • 54220

 PHONE: 920-682-6103 • WWW.ACEBUILDINGSERVICE.COM

SUPERVISING PROFESSIONAL:


SMI Inc.

 CIVIL AND STRUCTURAL ENGINEERS

 102 REVERE DRIVE, MANITOWOC, WI 54220-3147

 PHONE: (920) 684-5543 • WWW.SMITMANITOWOC.COM

REVISION	DESCRIPTION	DATE	REV. BY

SHEET

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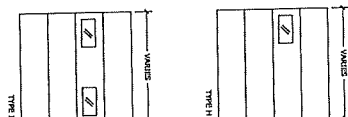
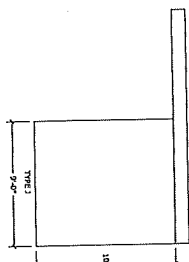
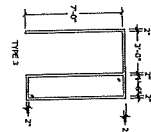
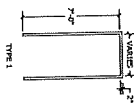
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HARDWARE NOTES

1. ALL LOCKSETS & LATCHES TO BE CHAGE 1 SERIES WITH SATIN CHROME FINISH
2. ALL DOOR HARDWARE INCLUDING HINGES, PLINIBULDS, KICK-DOWN DOOR STOPS, CLOSERS, ETC... ARE TO HAVE SATIN CHROME FINISH
3. ALL DOORS AND FRAMES TO BE MACHINED FOR DOOR HARDWARE.
4. LITES SHALL BE FACTORY INSTALLED IN DOORS.

FRAME TYPES



SECTION A

$$\frac{3}{16}'' = 1'-0''$$

A1.1

THIS PLAN AND LOGS DISCLOSED HEREIN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE REPRODUCED BY ANY MEANS OR BY ANY METHOD WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.	SHEET INFORMATION
A.C.E. JOB NO.	804/20
DATE:	06/24/20
DRAWN BY:	KMD/VA/EA
CHECKED BY:	SEE SHEET
SHEET	

PROJECT INFORMATION:

BUILDING ADDITION

DAN'S FISH
152 JIB ST.
STURGEON BAY, WI 54235

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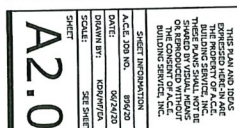
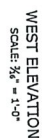
SIGNALSING PROFESSIONAL

SMI Inc.

CIVIL AND STRUCTURAL ENGINEERS
102 REVERE DRIVE MANITOWOC, WI. 54220-3147
PHONE (920) 684-5583 www.smmanitowoc.com

84-5583 WWW.BU
JOB # 20-212-BU

	REVISION DESCRIPTION	DATE	REV. BY
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ACE BUILDING SERVICE

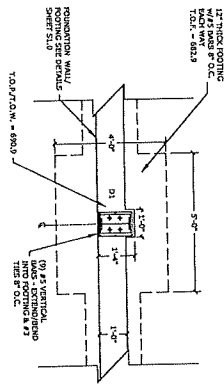
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 PHONE: 920.602.6105 • WWW.ACEBUILDINGSERVICE.COM

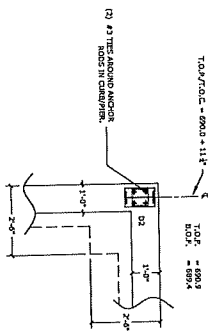
S&H Inc.

CIVIL AND STRUCTURAL ENGINEERS

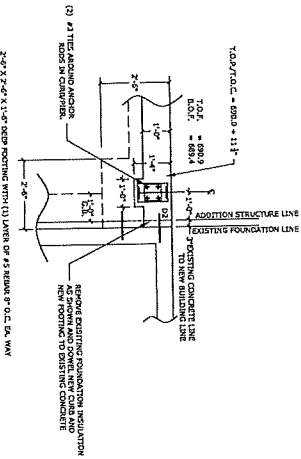
102 REVERE DRIVE • MANITOWOC, WI 54220-3147
 PHONE: (920) 664-5553 • www.smhincwi.com
 JOB # 20-12-BU



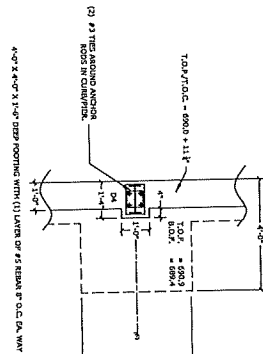
F5-P5 DETAIL
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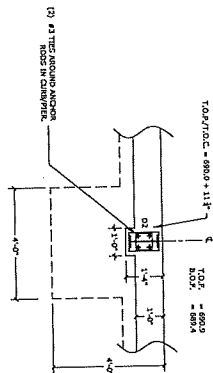
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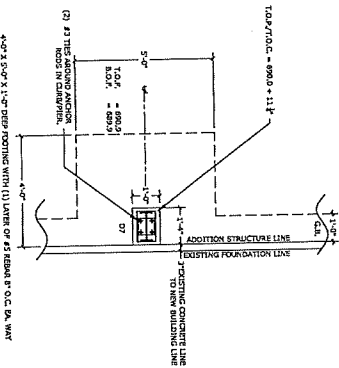
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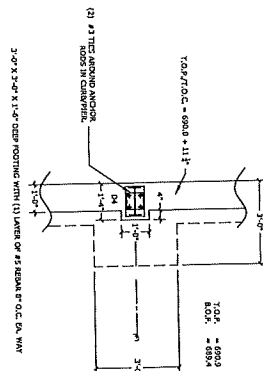
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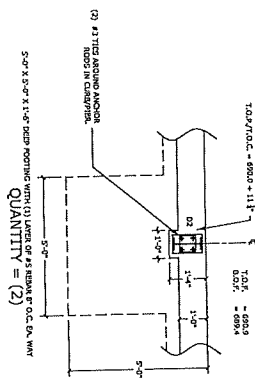
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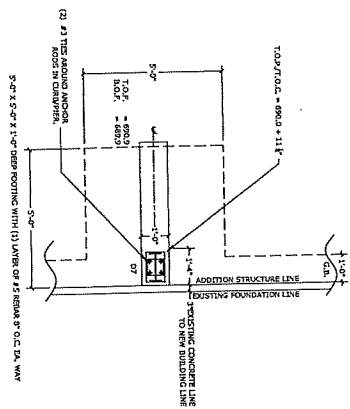
F4-P11 DETAIL
1/2" = 1'-0"



F6-P7 DETAIL
1/2" = 1'-0"



F8-P9 DETAIL
1/2" = 1'-0"



F9-P12 DETAIL
1/2" = 1'-0"

PROJECT INFORMATION:

BUILDING ADDITION
DAN'S FISH
152 JIB ST.
STURGEON BAY, WI 54235

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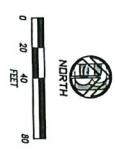
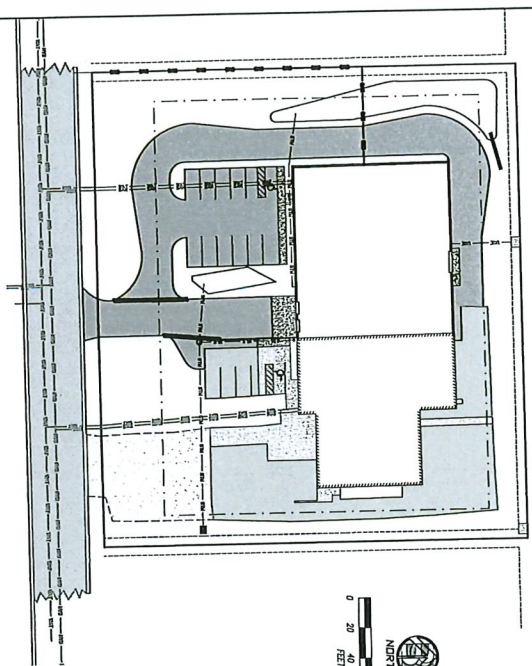
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JOB # 20-212-BU

REVISION DESCRIPTION	DATE	REV. BY

S1.2

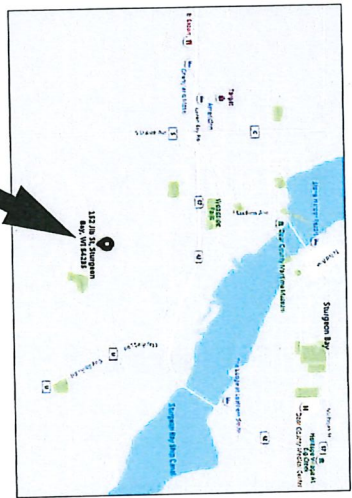
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SHEET INFORMATION
SCALE: 1/2" = 1'-0"
DRAWN BY: KEM/MTA
CHECKED BY: SBT/DET
DATE: 05/20/23

STURGEON BAY COLD STORAGE, LLC./DAN'S FISH MARKET CIVIL CONSTRUCTION PLAN SET



INDEX OF SHEETS

COVER SHEET	QUANTITIES	REMOVALS AND DEMOLITION	SITE PLAN	EROSION CONTROL PLAN	LANDSCAPING PLAN	UTILITY PLAN	GRADING PLAN	CONSTRUCTION DETAILS - SITE	CONSTRUCTION DETAILS - UTILITY
C001	C002	C100	C200	C201	C202	C300	C400	C500	C502



DIGGERS HOT LINE SHOULD BE CONTACTED TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION

SITE DATA
 OWNER: STURGEON BAY COLD STORAGE, LLC.
 SITE ADDRESS: 152 JIB STREET, STURGEON BAY, WI 54235
 PARCEL NUMBER: 28172182726003 (PROPOSED)
 28172182726002 (EXISTING)
 87,926 SF (2.02 ACRES)
 43,963 SF (PROPOSED)
 43,963 SF (EXISTING)

ZONING:
 I-1 (INDUSTRIAL)

LEGAL DESCRIPTION:
 2092 (FRESH OR FROZEN PREPARED FISH) WHITFORD'S 1ST ADDITION TO THE STURGEON BAY INDUSTRIAL PARK, LOT 3, SECTION 18 TOWNSHIP 27N RANGE 28E, SUBDIVISION 72, IN THE CITY OF STURGEON BAY, COUNTY OF DOOR, STATE OF WISCONSIN

EXISTING SITE:
 GREEN SPACE: 30,143 SF (68.8%)
 IMPERVIOUS AREA: BUILDING: PAVEMENT:

PROPOSED SITE:
 TOTAL DISTURBED AREA: 43,099SF (.989 ACRES)
 GREEN SPACE REQUIRED
 GREEN SPACE PROVIDED
 IMPERVIOUS AREA
 BUILDING
 PAVEMENT

PARKING
 PARKING REQUIRED:
 PARKING PROVIDED: 17 STALLS (INCLUDED 2 ADA COMPLIANT)

STURGEON BAY COLD STORAGE LLC
 152 JIB STREET
 STURGEON BAY, WI 54235



312 N. 5TH AVE.
 S.O. BOX 83
 STURGEON BAY, WI 54235
 PHONE: 920-743-6211

REVISION DATE	DESCRIPTION	DRAWN BY	CHECKED BY	DATE
		SSB	SSB	2020-05-19
		SSB	SSB	2020-05-19
		SSB	SSB	2020-05-19

COVER SHEET

REUSE OF DOCUMENTS
 THIS DOCUMENT HAS BEEN DEVELOPED FOR A SPECIFIC APPLICATION AND NOT FOR GENERAL USE. REUSE OF IT MAY NOT BE USED WITHOUT THE WRITTEN APPROVAL OF BAUDHUIN INCORPORATED. UNAUTHORIZED USE IS THE SOLE RESPONSIBILITY OF THE UNAUTHORIZED USER.

C001 1

QUANTITIES
PROJECT: STURGEON BAY COLD STORAGE/DAVIS FISH MARKET

SHEET	ITEM	UNIT	QUANTITY	BID PRICE	TOTAL
C100 REMOVALS	SAWCUT PAVEMENT	LF	120		
	CURB CUT	LF	14		
	REMOVE ASPHALT	SF	5,364		
	REMOVE CONCRETE	SF	375		
C200 SITE PLAN	REMOVE/SALVAGE GRAVEL	SF	7,745		
	HEAVY DUTY ASPHALT	SF	3,223		
	LIGHT DUTY ASPHALT	SF	13,945		
	CONCRETE PAVEMENT 4"	SF	468		
C201 EROSION CONTROL	CONCRETE PAVEMENT 6"	SF	562		
	PAVEMENT STRIPING	LF	330		
	LIGHT DUTY RIP RAP	SF	70		
	BOLLARD	EACH	1		
C202 LANDSCAPING	SILT FENCE	LF	370		
	SEDIMENT BALE BARRIER	LF	38		
	STONE TRACKING PAD	EACH	1		
	EROSION MAT	SF	13,180		
C300 UTILITY PLAN	HONEY LOCUST (TREE)	EACH	2		
	RAIN GARDEN	EACH	2		
	WATER LATERAL - 2" DIA.	LF	132		
	DOWNSPOUT CONNECTOR	LF	1		
C400 GRADING PLAN	STORM PIPE - 8" PVC	LF	228		
	STORM PIPE - 6" PVC	LF	80		
	STORM PIPE - 6" PVC SCH. 80	LF	35		
	APRON END WALL - 6" STM PIPE	EACH	1		
C400 GRADING PLAN	APRON END WALL - 8" STM PIPE	EACH	2		
	ROBERT CAP - 8" STM PIPE	EACH	1		
	STORM MANHOLE - 42"	EACH	1		
	GAS LINE	LF	242		
C400 GRADING PLAN	GAS SERVICE METER	EACH	1		
	ELECTRIC LINE	LF	41		
	ELECTRIC SERVICE METER	EACH	1		
	SAINTARY LINE - 6" PVC	LF	132		
EXCAVATION/GRADING		LS	1		
QUANTITIES TO BE ESTIMATED BY EXCAVATION CONTRACTOR*					

PROCEDURES OF CONSTRUCTION

1. INSTALL EROSION CONTROL MEASURES PER PHASE OF CONSTRUCTION WORK PER PLAN.
2. STRIP TOPSOIL IN STORMWATER POND PER PHASE AND STOCKPILE.
3. EXCAVATE STORMWATER POND, INSTALL LINERS AND OUTLET STRUCTURES PER PHASE.
4. UTILIZE WET DETENTION PONDS AS SEDIMENT TRAP DURING CONSTRUCTION.
5. INSTALL SEWER, WATER, & UTILITIES PER PHASE.
6. STRIP TOPSOIL IN REMAINING AREAS AND STOCKPILE.
7. GRADE SITE TO SUB GRADE PER PHASE.
8. PLACE GRAVEL IN ENTRANCE DRIVE, ACCESS DRIVES, RV PADS, AND PARKING LOTS PER PHASE.
9. TOPSOIL, SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.
10. INSTALL STABILIZATION MEASURES (EROSION MATTING PER PHASE OF PLAN).
11. EXCAVATE SEDIMENT FROM CONSTRUCTION SITE RUNOFF OUT OF DETENTION PONDS TO MATCH PLAN GRADE AFTER AT LEAST 75% OF THE PERMANENT VEGETATION HAS BEEN ESTABLISHED. (AS NEEDED)
12. TOPSOIL, SEED, FERTILIZE AND MULCH ALL REDISTURBED AREAS.
13. REMOVE EROSION CONTROL MEASURES WHEN GRASS HAS BEEN WELL ESTABLISHED.

SITE DEWATERING (IF NECESSARY)

- DEWATERING FOR POND & UTILITY CONSTRUCTION SHALL CONFORM TO REQUIREMENTS SET FORTH IN WDMA TECHNICAL STANDARD 1061.
- THE CONTRACTOR HAS THE OPTION TO UTILIZE WDMA APPROVED METHODS INCLUDING:
 - GEOTEXTILE BAGS (SEE TECHNICAL STANDARD 1061)
 - SEDIMENT TRAPS (SEE TECHNICAL STANDARD 1061)
 - SEDIMENT BASINS (SEE TECHNICAL STANDARD 1064)
 - CONTRACTOR HAS OPTION TO UTILIZE STORM PONDS CONSTRUCTED ON THIS SITE AS SEDIMENT BASINS FOR DEWATERING.
 - CONTRACTOR SHALL LIMIT PUMP RATE TO BE LESS THAN 7 G.P.M. TO PREVENT NEED FOR WDMA WELL PERMIT.
 - IN NO EVENT SHALL UNTREATED DISCHARGE BE ALLOWED TO FLOW DIRECTLY INTO WETLANDS OR WATERWAYS

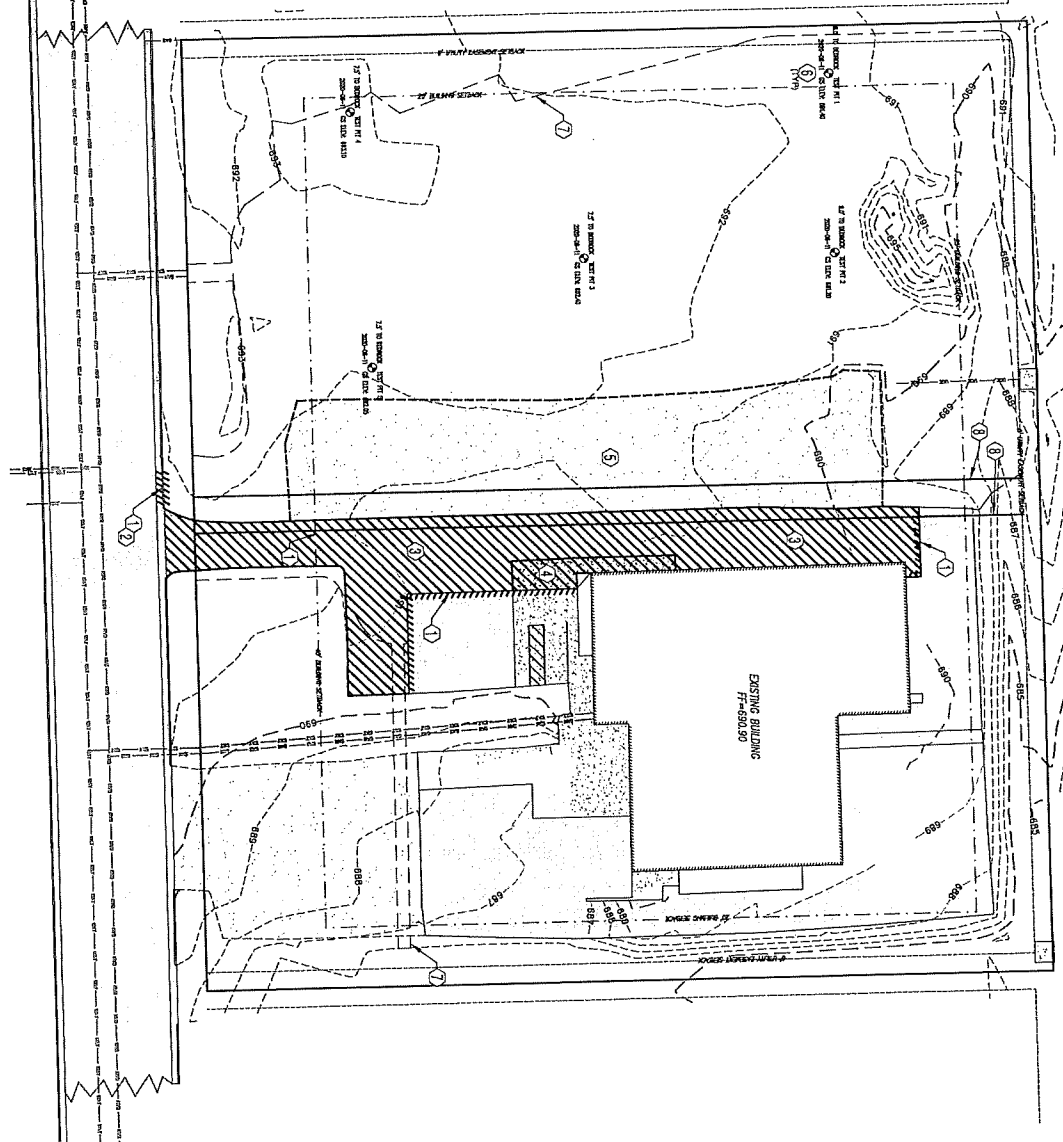
QUANTITIES

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162 JIB STREET
STURGEON BAY, WI 54235

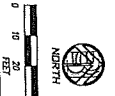
BAUDHUI
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DESIGN DATE:	10/30/2017	DESIGN BY:	SPM
		CHECKED BY:	SPM
		DATE:	11/15/17
		2020-05-19	
		JOB NUMBER:	24235



- SHEET KEY NOTES**
1. SAWCUT PAVEMENT, BOTH CONCRETE AND ASPHALT
 2. PRECISION CUT CURB FOR DRIVEWAY OPENING (BACK SIDE OF CURB) WITH 18" TAPER SECTION; OR REMOVE AND RECONSTRUCT CURB AND GUTTER SECTION
 3. REMOVE ASPHALT
 4. REMOVE CONCRETE
 5. REMOVAL/VLAGE GRAVEL
 6. SOIL BORINGS, COMPLETED 2020-06-11 TO ESTABLISH DEPTH TO BEDROCK
 7. LIMITS OF GRADING/DISTURBANCE
 8. REMOVAL OF UTILITY EASEMENT BY SEPARATE INSTRUMENT, NOT PART OF PROJECT SCOPE



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REMOVALS AND DEMOLITION PLAN

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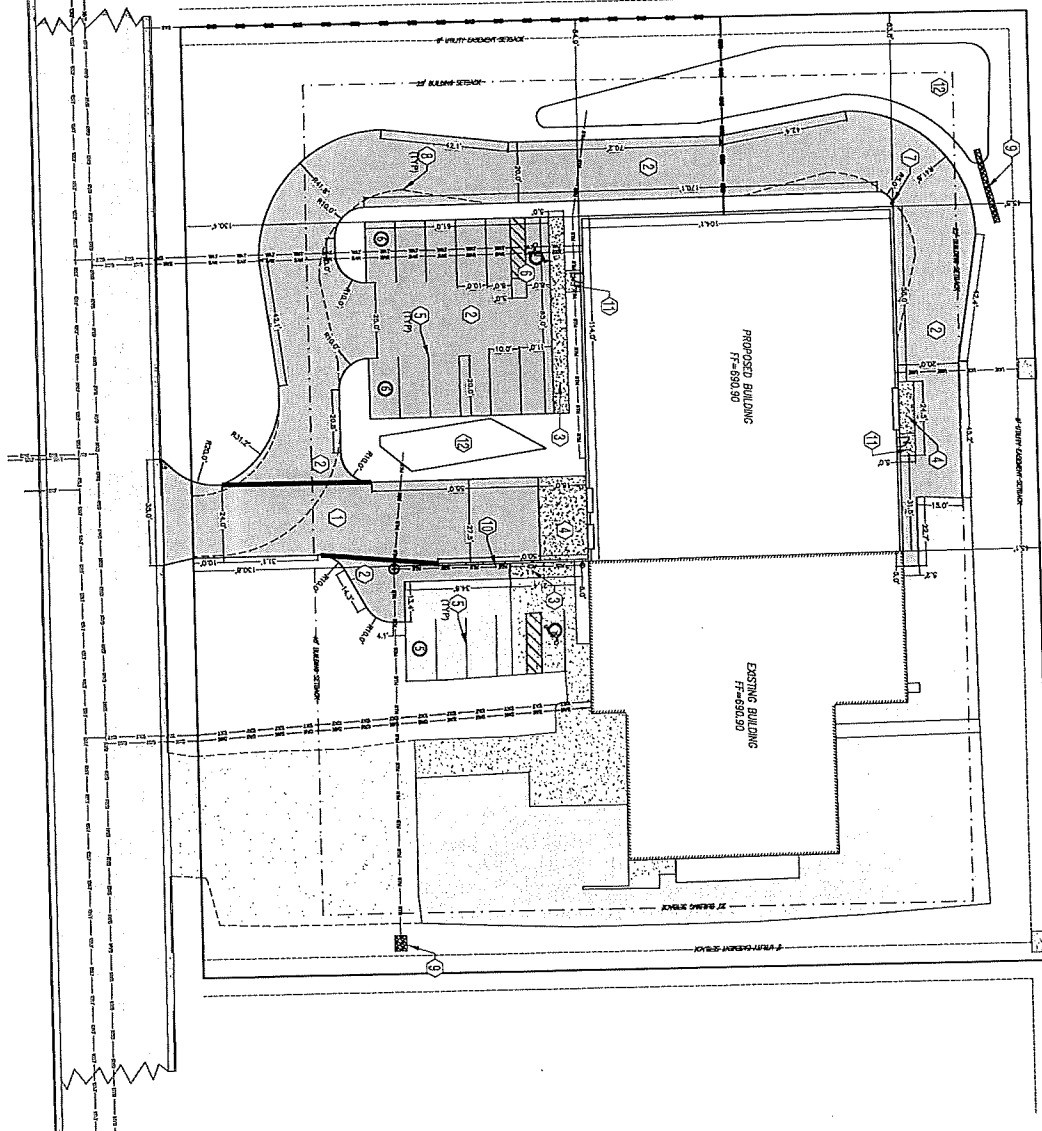
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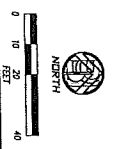
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SHEET KEY NOTES

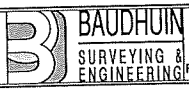
1. HEAVY DUTY ASPHALT PAVEMENT: SEE DETAIL A SHEET C501
2. STANDARD DUTY ASPHALT PAVEMENT: SEE DETAIL B SHEET C501
3. CONCRETE SIDEWALK/PAVEMENT - 4": SEE DETAIL C SHEET C501
4. CONCRETE PAVEMENT - 6": SEE DETAIL D SHEET C501
5. PARKING STRIPE - 4" WIDE: COLOR BY OWNER PREFERENCE
6. ADA PARKING STALL/LOADING AREA: CONTRACTOR TO INSTALL ALL REQUIRED ADA SIGNAGE
7. PIPE BOLLARD - 6" Ø: SEE DETAIL E SHEET C501
8. FIRE ACCESS LANE: TURNING RADIUS/PATH SHOWN FOR SL-30 DESIGN VEHICLE
9. LIGHT DUTY RIPRAP: PER WDOT FDM SPECIFICATIONS
10. RETAINING WALL: REFER TO ARCHITECTURAL PLANS
11. STOOP LOCATION: REFER TO ARCHITECTURAL PLANS
12. RAIN GARDEN: CONSTRUCTION AND PLANTINGS SHALL BE IN ACCORDANCE WITH WIDNR TECHNICAL STANDARD 1005: RAIN GARDENS



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SITE PLAN

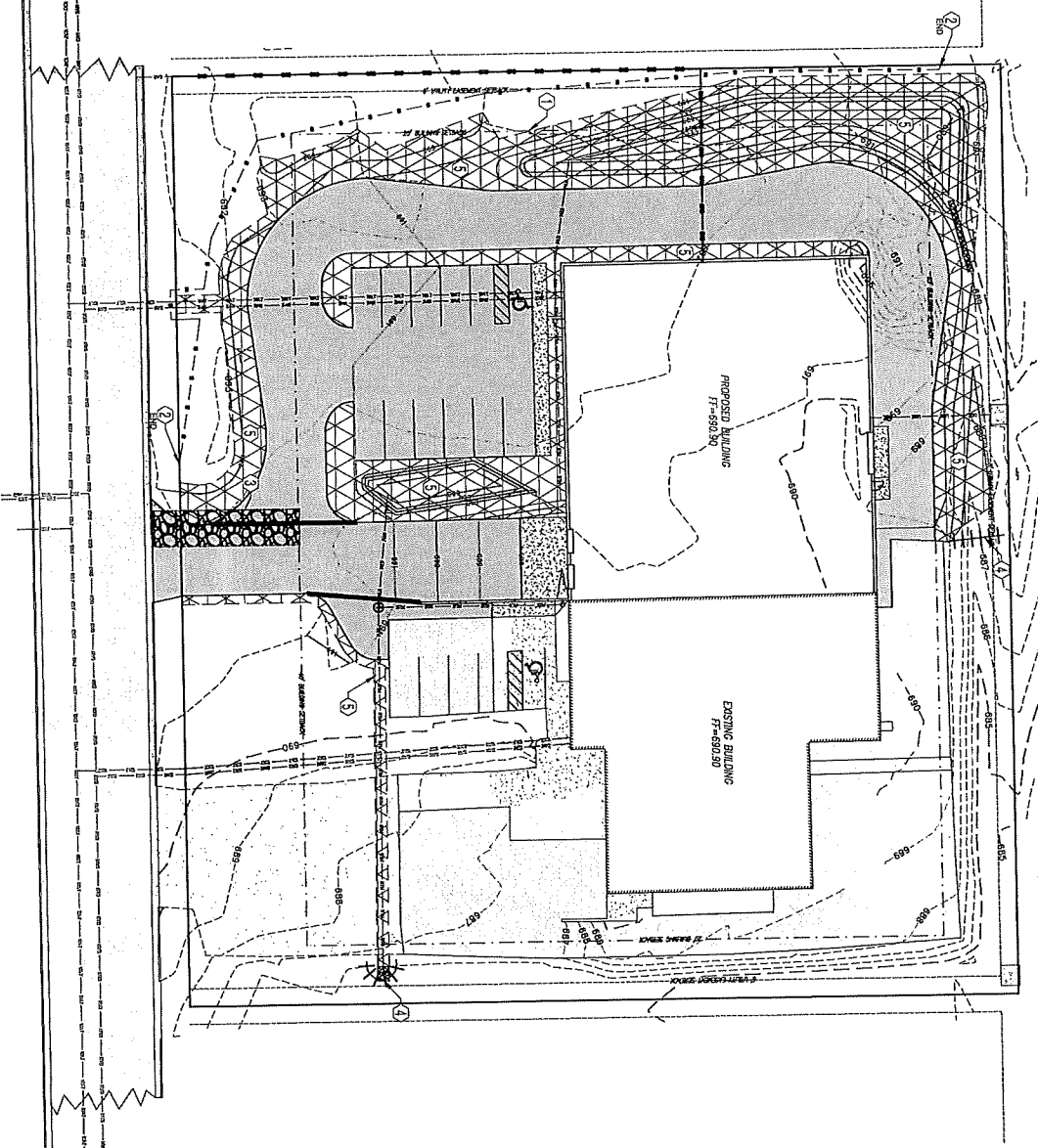
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CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND DOCUMENTATION OF EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION PHASE. OWNER IS RESPONSIBLE FOR MAINTENANCE AFTER CONTRACTOR LEAVES THE SITE.



SHEET KEY NOTES

1. LIMITS OF GRADING/DISTURBANCE
2. SILT FENCE: SEE DETAIL A SHEET C500
3. STONE TRACKING PAD (IF REQUIRED): TO BE PLACED ADJACENT TO EXISTING ASPHALT DRIVEWAY; SEE DETAIL B SHEET C500
4. SEDIMENT BALE BARRIER: SEE DETAIL C SHEET C500
5. EROSION CONTROL MAT: SEE DETAIL D SHEET C500

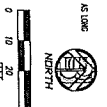
Erosion Control Notes

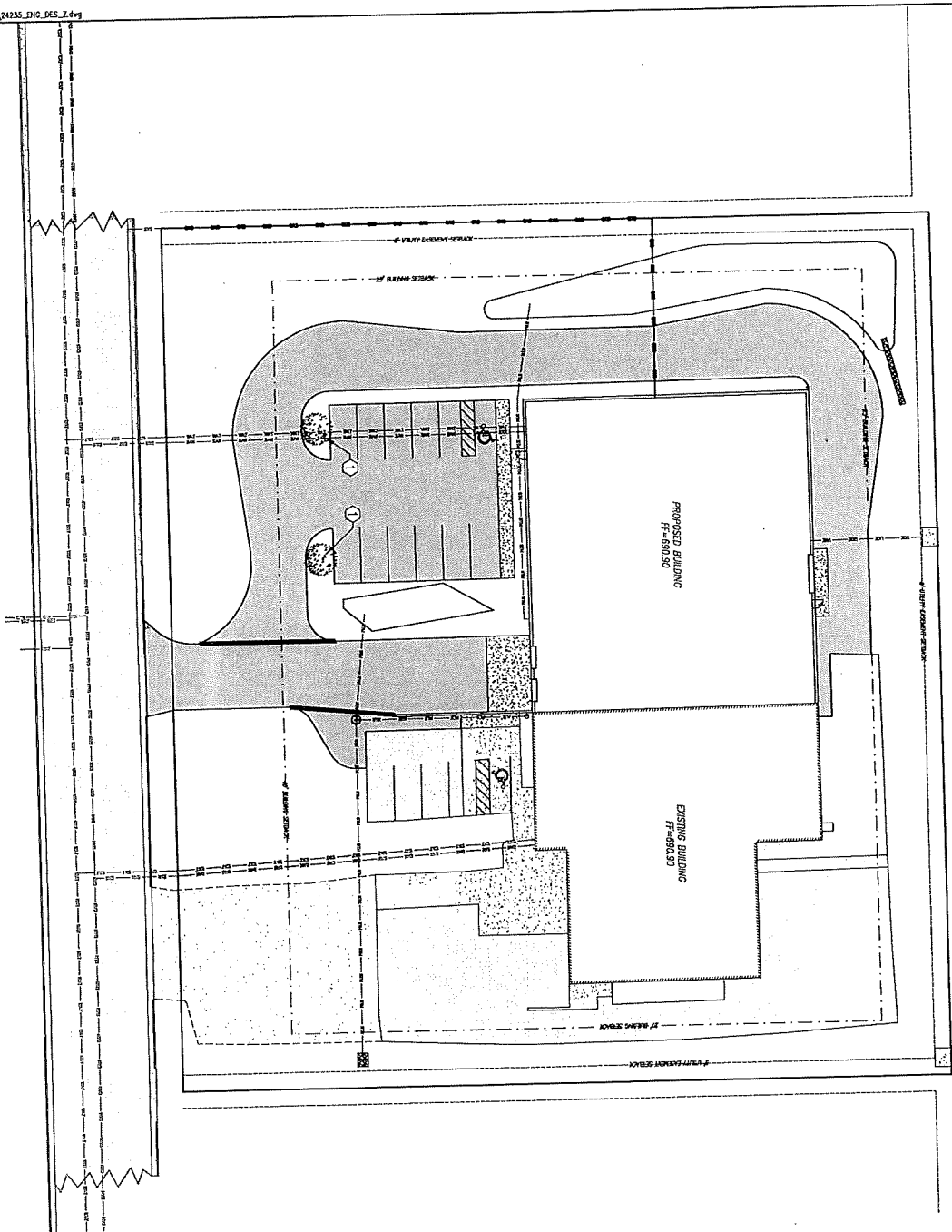
1. IN ACCORDANCE WITH NE 216.460 AND NE 216.461, THE LANDOWNER OR THE LANDOWNER'S AGENT SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES DURING CONSTRUCTION. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
2. ANY SOIL, STORMWATER, THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRODUCTS SUCH AS TURFGRASS OR TURFGRASS SEED AND MULCH AND THE TREATED STABILIZATION PRODUCTS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
3. A MINIMUM OF 4 TO 6 INCHES OF TURFGRASS SEED SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
4. ALL OF THE SEEDS OR SODS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
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13. ALL OF THE SEEDS OR SODS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.

Stabilization Specifications

(REFER TO EROSION CONTROL PLAN FOR APPLICABLE AREAS)

1. MULCH: MULCH SHALL COVER ALL AREAS OF SOIL EXPOSED BY DISTURBANCE. MULCH SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. MULCH SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
2. STABILIZATION PRODUCTS: STABILIZATION PRODUCTS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
3. SEEDS: SEEDS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
4. SODS: SODS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
5. TURFGRASS: TURFGRASS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
6. MULCH: MULCH SHALL COVER ALL AREAS OF SOIL EXPOSED BY DISTURBANCE. MULCH SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. MULCH SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. STABILIZATION PRODUCTS: STABILIZATION PRODUCTS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
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9. SODS: SODS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
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11. MULCH: MULCH SHALL COVER ALL AREAS OF SOIL EXPOSED BY DISTURBANCE. MULCH SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. MULCH SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
12. STABILIZATION PRODUCTS: STABILIZATION PRODUCTS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
13. SEEDS: SEEDS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
14. SODS: SODS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.
15. TURFGRASS: TURFGRASS SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SODS.





SHEET KEY NOTES
1. HONEY LOCUST; MINIMUM 2" @ CALIPER AT TIME OF PLANTING

LANDSCAPING REQUIREMENTS

- 285 SF OF LANDSCAPING AREA (5% OF INTERIOR PARKING AREA INTO LANDSCAPE TREATMENT)
- 2 CANOPY TREES (CANOPY TREES SHALL BE PROVIDED AT THE RATE OF 1 TREE PER SIX PARKING STALLS, PLANTED WITHIN 10' OF PERIMETER OF PARKING LOT)

LANDSCAPING PROVIDED

- 540 SF LANDSCAPED AREA
- 2 CANOPY TREES

LANDSCAPING PLAN

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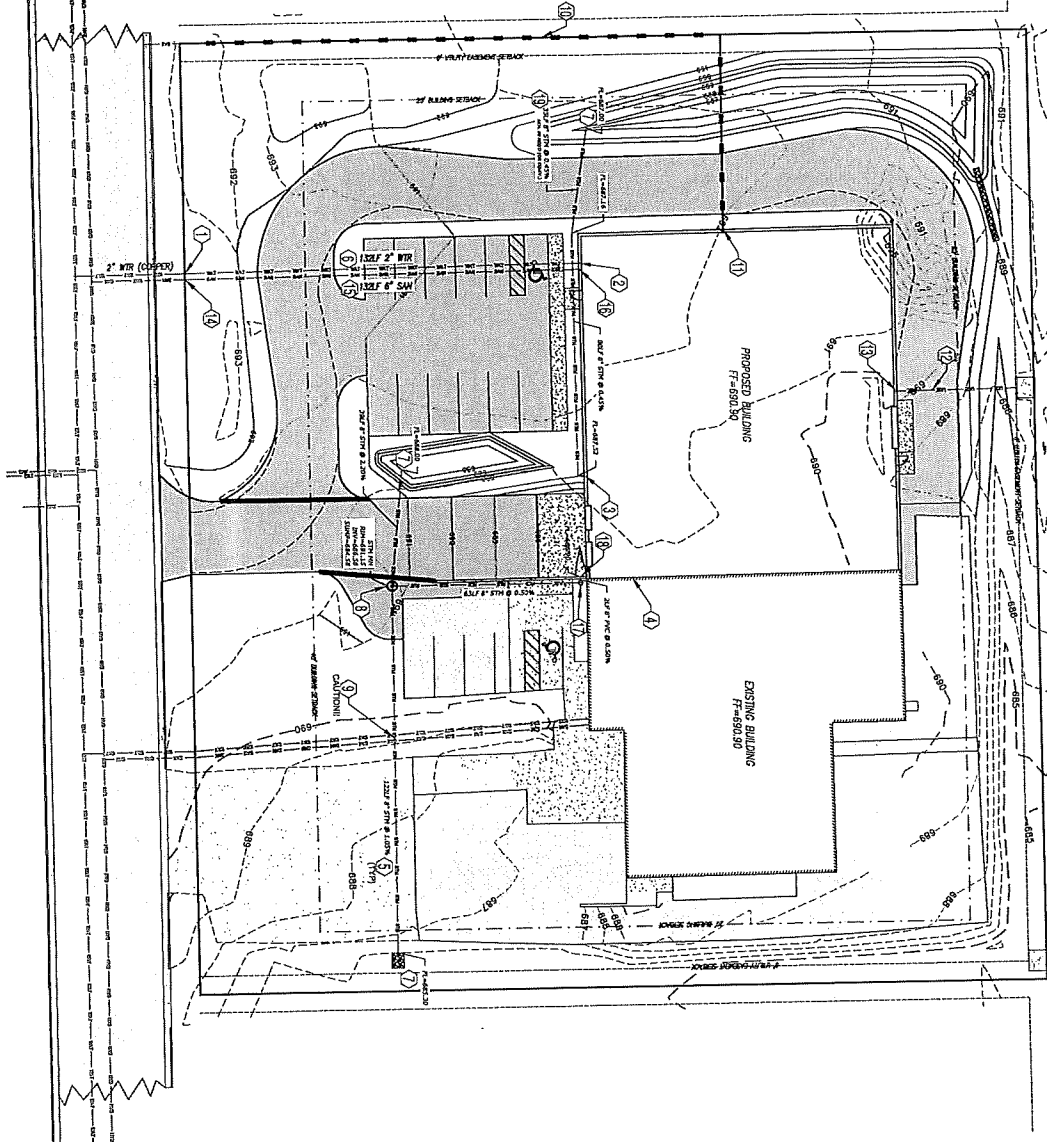
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		FAH
		CHECKED BY
		SPR
		DATE
		2020-05-18
		JOB NUMBER
		24733

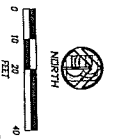
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SHEET KEY NOTES

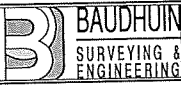
1. CONNECT TO EXISTING 2" WATER LATERAL STUB-OUT (COPPER)
2. CONNECT WATER TO PROPOSED BUILDING. VERIFY LOCATION WITH BUILDING PLUMBER, WATER METER PER INTERIOR PLUMBING DESIGN.
3. DOWNSPOUT CONNECTOR: VERIFY DOWNSPOUT LOCATION WITH ARCHITECTURAL PLANS
4. CONNECT EXISTING ROOF GUTTER TO GUTTERDOWNSPOUT IDENTIFIED IN KEYNOTE 3, THIS SHEET
5. STORM SEWER PIPE, SEE PLAN FOR SIZE AND SLOPE, SEE DETAIL A SHEET CS02
6. WATER LATERAL PIPE, SEE PLAN FOR SIZE; SEE DETAIL B SHEET CS02
7. APRON ENDWALL FOR STORM PIPE
8. 42" x 6" STORM MANHOLE - PRECAST: SEE DETAIL C SHEET CS02
9. CAUTION! CROSSING OF EXISTING UTILITIES. VERIFY ELEVATIONS BEFORE INSTALLATION.
10. GAS LINE: VERIFY INSTALLATION LOCATION WITH UTILITY PROVIDER; INSTALL AT APPROPRIATE DEPTH BELOW FINISH GRADING (RAIN GARDEN AREA)
11. GAS METER SERVICE LOCATION & CONNECTION TO BUILDING; VERIFY LOCATION WITH UTILITY PROVIDER AND BUILDING PLUMBER
12. UNDERGROUND ELECTRICAL LINE: VERIFY INSTALLATION LOCATION WITH UTILITY PROVIDER
13. ELECTRICAL SERVICE METER AND CONNECTION TO BUILDING; VERIFY LOCATION WITH UTILITY PROVIDER AND BUILDING ELECTRICIAN
14. CONNECT TO EXISTING SANITARY SERVICE LINE STUB-OUT
15. SANITARY SERVICE LINE: SEE PLAN FOR SIZE; SEE DETAIL B SHEET CS02
16. CONNECT SANITARY TO PROPOSED BUILDING; VERIFY LOCATION WITH BUILDING PLUMBER
17. STORM CLEAN OUT: SEE DETAIL D SHEET CS02
18. RODENT CAP FOR STORM PIPE
19. HIGH STRENGTH STORM PIPE REQUIRED DUE TO SHALLOW DEPTH OF BURIAL; OPTIONS INCLUDE: SCHEDULE 80 PVC, CORRUGATED METAL PIPE, OR SCHEDULE 80 PVC EMBEDDED IN A CONCRETE FILLED TRENCH



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UTILITY PLAN

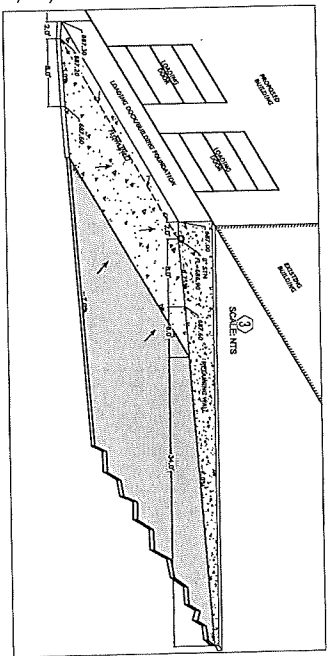
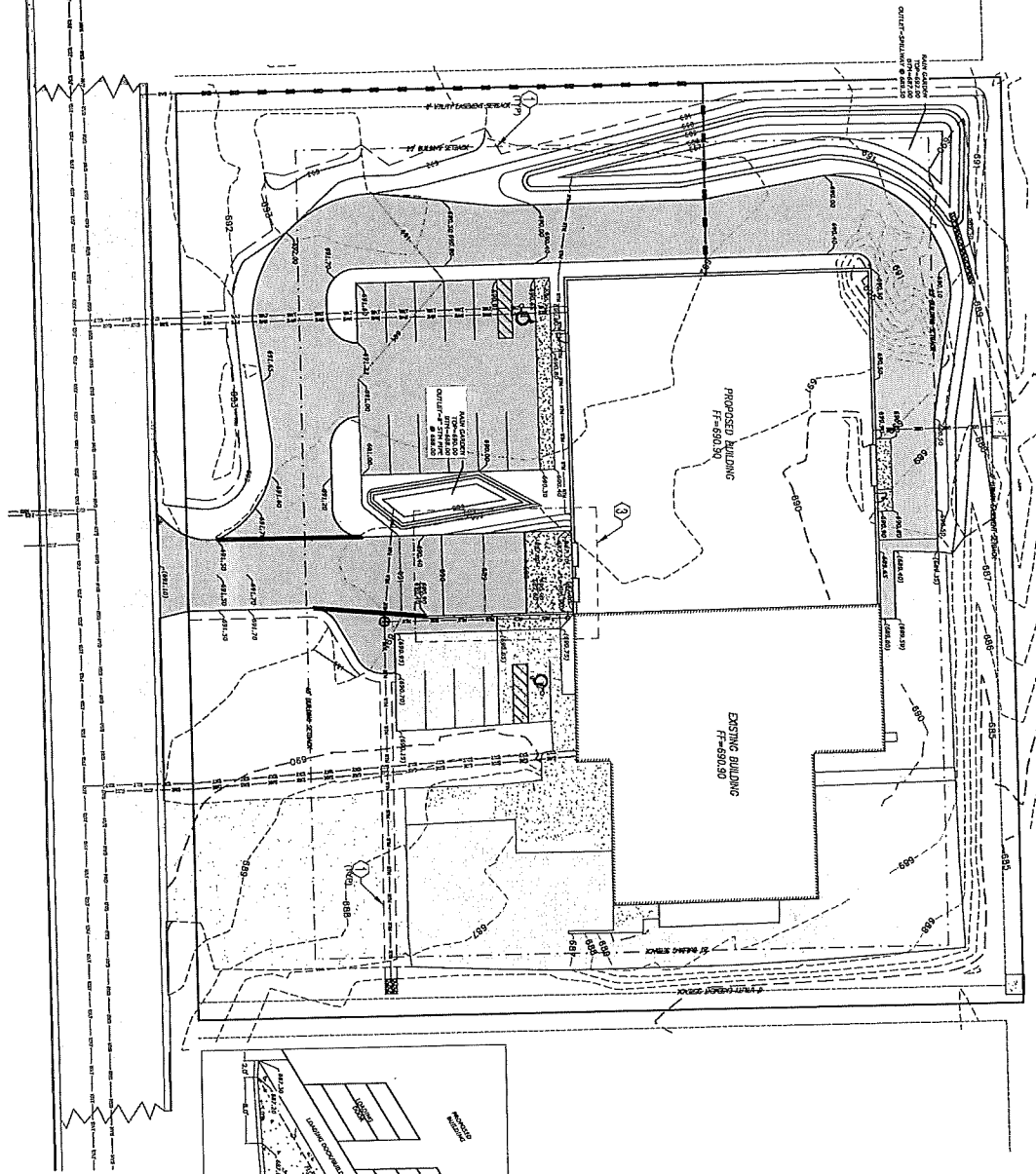
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2020-05-19	CHECK	BA	BA
2020-05-19	PRINT	BA	BA

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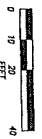


A POINT ELEVATION KEY

- 690.70 FINISHED GRADE
- 690.60 TOP OF CURB OR WALL
- 690.10 GUTTER OR PAVEMENT
- (699.00) EXISTING GRADE

SHEET KEY NOTES

1. LIMITS OF GRADING DISTURBANCE
2. POINT ELEVATION: SEE DETAIL A THIS SHEET
3. LOADING DOCK ELEVATION ISOMETRIC PLAN: SEE INSET THIS SHEET



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GRADING PLAN

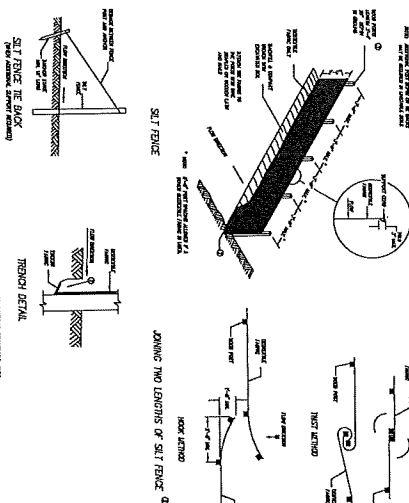
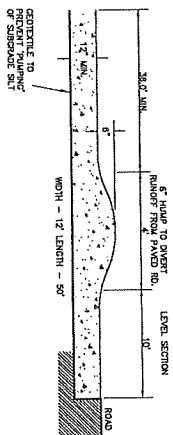
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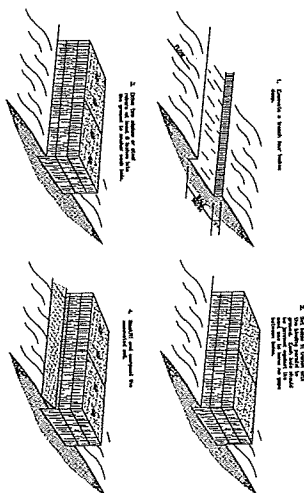
A^{N.T.S.}
SILT FENCE

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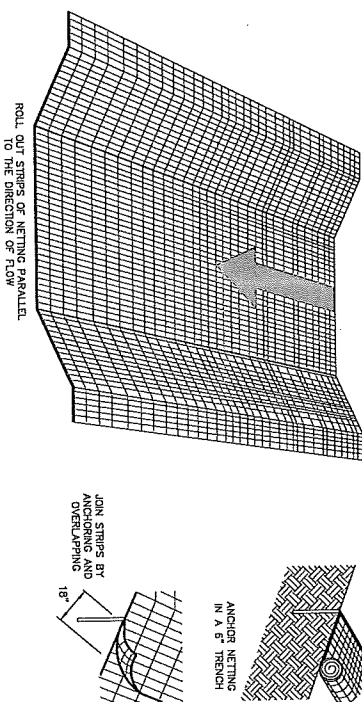
B ^{NIS} TEMPORARY STONE TRACKING PAD

- **STANDARD PREPARE / CUT AREA** OF ALL VEGETATION, ROOTS, AND OTHER OBSTRUCTIONS WITHIN.
- **GRAD** THE ROAD FOUNDATION SO THAT THE DRAINAGE DITCH WILL HAVE A CROSS SLOPE.
- **3:1 SLOPE**
- **PLACE STONE** TO THE DRAINAGE, GRAD, AND ELEVATION SHOWN.
- **USE WICKED STONE** 3" TO 8" IN SIZE, DO NOT USE COARSE STONE.
- **LANDING** THE STONE PAVEMENT IN A CONTINUOUS FLOW AND OR SEDIMENT FROM
- **LAND OR SEDIMENT** THAT IS TRAPPED ON ROAD MUST BE REMOVED IMMEDIATELY.
- **TRAFFIC** PAVD SHALL CONFORM TO MORE TECHNICAL STANDARD 1037.

C^{NIS} SEDIMENT BALE BARRIER

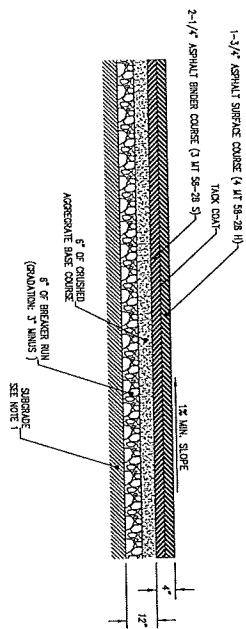


NOTES
• SEDIMENT BULK BARBERS SHALL CONFORM TO MORTI TECHNICAL STANDARD 1035



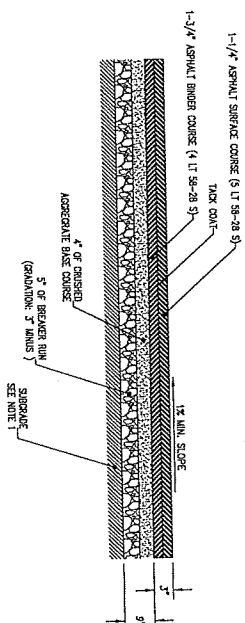
D^{M.S.} EROSION CONTROL MAT

- NOTES:
- USE URBAN GRADE EROSION CONTROL MAT (MANUFACTURED WITHOUT PLASTIC NETTING)
 - EROSION CONTROL MAT TYPE AND APPLICATION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FOR OVERLAPPING OF STRIPS SHALL BE SPACE-STYLE WITH UPENDMOST STRIP OVERLAPPING LONGER LYING STRIP



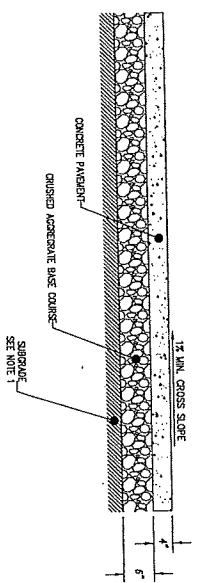
NOTE: CONSTRUCTION TO BE STANDARD PRACTICE. SURFACE TO BE FINISHED BY FILLING WITH ASPHALTIC BASE COURSE.
 SPECIFICATIONS: ASPHALT COURSE SHALL BE 4.75 TO 5.25 INCHES THICK.
 ASPHALT BINDER COURSE SHALL BE 3.75 TO 5.25 INCHES THICK.
 ASPHALT FILL COURSE SHALL BE 4.75 TO 5.25 INCHES THICK.

A MTS
 ASPHALT PAVEMENT - HEAVY DUTY



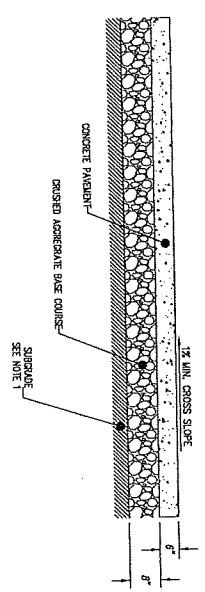
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 ASPHALT FILL COURSE SHALL BE 4.75 TO 5.25 INCHES THICK.

B MTS
 ASPHALT PAVEMENT - STANDARD DUTY



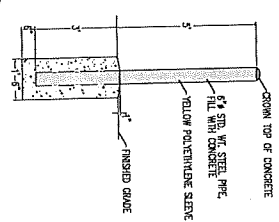
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 ASPHALT FILL COURSE SHALL BE 4.75 TO 5.25 INCHES THICK.

C MTS
 CONCRETE SIDEWALK/PAVEMENT/SLAB - 4" THICKNESS

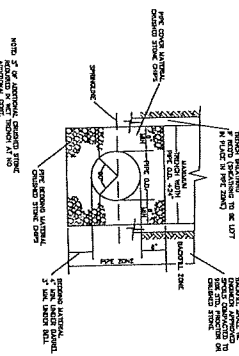


NOTE: CONSTRUCTION TO BE STANDARD PRACTICE. SURFACE TO BE FINISHED BY FILLING WITH ASPHALTIC BASE COURSE.
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 ASPHALT FILL COURSE SHALL BE 4.75 TO 5.25 INCHES THICK.

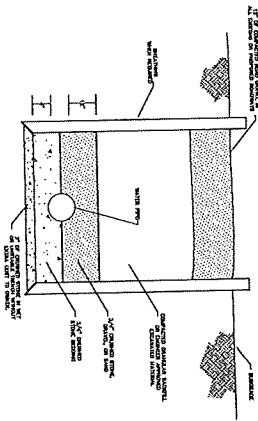
D MTS
 CONCRETE SIDEWALK/PAVEMENT/SLAB - 6" THICKNESS



E MTS
 PIPE BOLLARD



A STORM SEWER PIPE INSTALLATION



B WATER LATERAL INSTALLATION

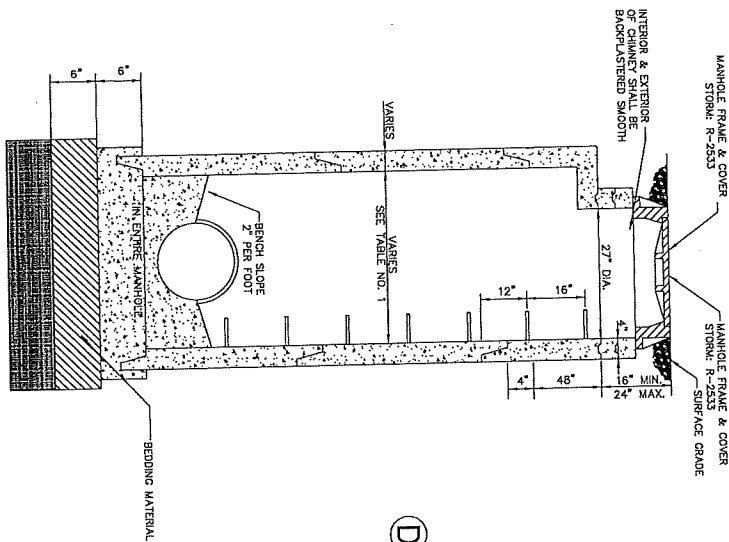
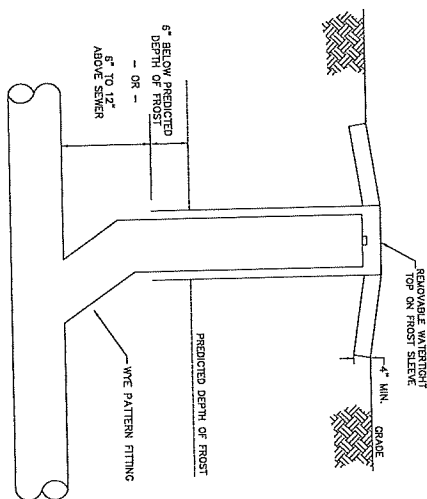


TABLE NO. 1

PIPE DIA.	MIN. MANHOLE DIA.	WALL THICKNESS
8" THRU 12"	3" - 8"	4 1/2"
14"	4" - 10"	5"
16"	5" - 12"	6"
18"	6" - 14"	7"
20"	7" - 16"	8"
22"	8" - 18"	9"
24"	9" - 20"	10"
26"	10" - 22"	11"
28"	11" - 24"	12"
30"	12" - 26"	13"
32"	13" - 28"	14"
34"	14" - 30"	15"
36"	15" - 32"	16"
38"	16" - 34"	17"
40"	17" - 36"	18"
42"	18" - 38"	19"
44"	19" - 40"	20"
46"	20" - 42"	21"
48"	21" - 44"	22"
50"	22" - 46"	23"
52"	23" - 48"	24"
54"	24" - 50"	25"
56"	25" - 52"	26"
58"	26" - 54"	27"
60"	27" - 56"	28"
62"	28" - 58"	29"
64"	29" - 60"	30"
66"	30" - 62"	31"
68"	31" - 64"	32"
70"	32" - 66"	33"
72"	33" - 68"	34"
74"	34" - 70"	35"
76"	35" - 72"	36"
78"	36" - 74"	37"
80"	37" - 76"	38"
82"	38" - 78"	39"
84"	39" - 80"	40"
86"	40" - 82"	41"
88"	41" - 84"	42"
90"	42" - 86"	43"
92"	43" - 88"	44"
94"	44" - 90"	45"
96"	45" - 92"	46"
98"	46" - 94"	47"
100"	47" - 96"	48"

D CLEANOUT



C STORM MANHOLE - PRECAST CONCRETE

Nault, Cheryl

From: Sandy Hurley <HurleyS@proproducts-inc.com>
Sent: Monday, June 29, 2020 2:30 PM
To: Olejniczak, Marty; Sullivan-Robinson, Christopher; Nault, Cheryl; SBDistrict2; steve@doorcountybusiness.com; billmurrock@hotmail.com
Subject: IPDRT

Hello All,

I mentioned to Cheryl it may be a good idea to address industrial park maintenance and housekeeping as an agenda item at our meeting. I feel if this committee is to be effective, the long term care of the park is ours, is it not? We have attended to some of these items in the past but need to address some again.

As a 30+ year property owner in the industrial park I am very mindful of the financial wherewithal of property owners, but some of these items simply need to be addressed with honest manual labor for clean up or consideration of respectfulness of those property owners that do keep their properties of a standard we aim to meet or surpass. We should continually strive for a great and beautiful place to work for our many workers, prospective employees and visitors that commute throughout our area each and every day.

- 1) The vacant property on the corner of Neenah and E. Yew behind Exactech desperately needs attention with regard to the weeds and the several sections of fallen down fencing. This was addressed a few years back and was taken care of but needs it again.
- 2) We had asked Door County Scrap to paint the fencing all one color and clean up weeds. The weeds had been taken care of when asked and with regard to the fence I believe was going to be done in the next year budget but was not done.
- 3) Without addressing each property, there are some that never planted the trees we have as a bullet item for each place. This is an easy list with a drive thru the park.
- 4) A few places have several excess items that are not typical and expected for outside storage such as our reason for the meeting (Dan's Fish) so maybe we can address that. i.e.: boat, trailer, hot tub, defunct refrigerator trailers, etc.

We need to be understanding of the normal and expected outside storage items all businesses need such as garbage, raw material scrap bins, pallets, etc, but not the extraordinary non typical items.

Additionally, with regard to signs and facades, did we receive any communication for the NEI sign on the property he purchased from Murrock? Did we receive any communication for the facade improvement Sunshine House Resale did on Walnut street on the Wulf building? Perhaps it is not necessary but I'm just asking...

I invite the rest of you to drive thru the park and make your own assessment.

Thanks you.

Regards,

SANDY HURLEY

Vice President

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