

AGENDA
CITY OF STURGEON BAY
PLAN COMMISSION
Wednesday, March 30, 2022
6:00 p.m.
City Council Chambers
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from February 16, 2022.
4. Public comment on non-agenda Plan Commission related items.
5. Zoning map amendment from Commercial/Light manufacturing (C-3) to General Commercial (C-1) for the following parcels:
 - 281-12-06010001, 217 Green Bay Rd, Midwest Wire Products Inc.
 - 281-62-10000102A, 1121-1125 Egg Harbor Rd, Eric Hoogland Ltd Partnership
 - 281-62-10000102B, 1201 Egg Harbor Rd, River Valley One LLC
 - 281-62-11000113 (Portion of), 916 N 14th Ave, County of Door
 - 281-62-15000104A, 1023 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
 - 281-62-15000104B, 1033 Egg Harbor Rd, PT Tower LLC
 - 281-62-15000105, 911 N 14th Ave, City of Sturgeon Bay
 - 281-62-15000106, 835 N 14th Ave, City of Sturgeon Bay
 - 281-62-15000111A, 1019 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
 - 281-62-15000113, 514 N 12th Ave, Premier Sturgeon Bay LLC
 - 281-62-15000116, 664 N 12th Ave, Steven C Ehlers
 - 281-62-15000117, 606 N 12th Ave, Cornerstone Solutions Inc.
 - 281-62-15000123, 636 N 12th Ave, S&B Green Bay Investments LLP
 - 281-62-15000124, 620 N 12th Ave, Sturgeon Bay Community Church Inc.
 - 281-64-59000117A, Midwest Wire Products Inc.
 - 281-64-77000300A, 245 E Vine St, Skipper Properties LLC
 - 281-66-13000109 (Portion of), 941-951 S Duluth Ave, Phill-Mart of Sturgeon Bay
 - 281-66-13000110 (Portion of), 919 S Duluth Ave, Randal L Sahs
 - a. Presentation
 - b. Public Hearing
 - c. Consideration/Recommendation *(Note: The Plan Commission will not make a recommendation at this meeting, unless a motion is made and passed by $\frac{3}{4}$ of the members present to act on the request at this meeting.)*
6. Zoning map amendment from Commercial/Light manufacturing (C-3) to Light Industrial (I-1) for parcel 281-64-59000124C, 615 S. Lansing Ave owned by Midwest Wire Products Inc.:
 - a. Presentation
 - b. Public Hearing
 - c. Consideration/Recommendation *(Note: The Plan Commission will not make a recommendation at this meeting, unless a motion is made and passed by $\frac{3}{4}$ of the members present to act on the request at this meeting.)*

7. Project plan and boundaries for Tax Incremental District No. 6:
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
8. Consideration of: Combined Preliminary/Final Planned Unit Development for a 68-unit multiple-family residential development proposed by Cherry Point Investments, LLC for property located at 1048 Egg Harbor Road and the rear portion of 1116 Egg Harbor Road.
9. Consideration of: Final Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8th Avenue.
10. Consideration of: Conceptual Planned Unit Development for Premier Real Estate (Pre-3) for a 96-unit apartment complex located off S. Duluth Ave immediately east of Target; Parcel #281-66-12001605.
11. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

3/25/22
2:30 p.m.
SM

Plan Commission Members

Mayor David Ward
Ald. Kirsten Reeths
Ald. Helen Bacon
Ald. Dennis Statz
Mark Holey
Debbie Kiedrowski
Jeff Norland

CITY PLAN COMMISSION MINUTES February 16, 2022

A meeting of the City Plan Commission was called to order at 6:00p.m. on February 16, 2022, by Chairperson David J. Ward in the Council Chambers, City Hall, 421 Michigan Street, Sturgeon Bay.

Roll Call (#1): Members present: David Ward, Helen Bacon, Dennis Statz, Mark Holey, Debbie Kiedrowski, and Kirsten Reeths were present. Jeff Norland was excused. Staff present were Community Development Director Marty Olejniczak, Zoning and Planning Administrator Christopher Sullivan-Robinson, City Engineer Chad Shefchik and Administrative Assistant Suzanne Miller.

Agenda (#2): Motion by Holey and second by Statz to accept the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from January 19, 2022.
4. Public comment on non-agenda Plan Commission related items.
5. Preliminary Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8th Avenue.
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
6. Combined Preliminary/Final Planned Unit Development for a 70-unit multiple-family residential development proposed by Cherry Point Investments, LLC for property located at 1048 Egg Harbor Road and the rear portion of 1116 Egg Harbor Road.
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
7. Consideration of: Initial presentation of zoning amendments to change the zoning classifications of all properties within the Commercial/Light Manufacturing (C-3) district to General Commercial (C-1) or Light Industrial (I-1).
8. Adjourn.

Approval of minutes from January 19, 2022 (#3): Motion by Bacon and second by Kiedrowski to approve the minutes from January 19, 2022. All ayes. Motion carried.

Public Comment on non-agenda Plan Commission related items (#4): No citizens presented for public comment.

Chair Ward announced the March 2022 meeting of the City Plan Commission will be held on Wednesday, March 30, 2022 at 6pm.

Preliminary Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8th Avenue. (#5):

Presentation: Jaqui McElroy, Dir. of Business Development, Kortni Wolf, Business Development Manager, and Kallan McHugh, Project Engineer, representing S.C. Swiderski, LLC, 401 Ranger St., Mosinee, WI, presented plans to redevelop the former Sunset School property. They described the proposed development, SCS Sunset Estates, as consisting of four buildings of two different styles: 1) two Huntington buildings, each with four 2-bedroom townhome style units and four 2-bedroom units built over the garages, for a total of 16 units 2) one single-story Bedford building with four 2-bedroom units and two 3-bedroom units for a total of 6 units and 3) a second single-story Bedford unit with two 2-bedroom units and two 3-

bedroom units for a total of 4 units. All units have attached garages and additional parking spots in front of the garages. Wolf stated changes requested by the City were incorporated: 1) cedar privacy fencing 2) covered patios on the rear of the Bedford buildings and bright colors and 3) raised garden beds were added. McHugh presented responses to changes regarding parking and street access proposed by the City as: 1) exterior visitor parking was eliminated 2) Bedford driveways on 8th Ave. will be amended to meet aesthetic and safety concerns and he will work with the City to provide acceptable curb appeal 3) he will continue to work with SBU and SBFD to meet their requirements 4) the Bedford garage roofline cannot be changed, but upgraded garage doors with windows will be added and the façade of the building will be upgraded.

The complex will have on-site property managers and an in-house maintenance team. There is one fully ADA compliant unit in the complex. Luxury vinyl plank flooring and adjusted counter top heights add accessibility in the other units.

Public Hearing: No citizens presented to speak.

Consideration: The Commissioners questioned 1) the storm water plan and were told it would be submitted to the DNR and to the City for review 2) rents, which will range \$1,200 - \$1,500 including utilities except electric 3) possible addition of a community gathering area 4) possible use of pollinator and bird friendly plants rather than primarily conifers.

Reeths made a motion to approve the Preliminary Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8th Avenue with the following conditions: 1) elimination of off-street visitor parking 2) addition of landscape island/strips closer to the street to provide separation and curb appeal at the proposed driveways for the two Bedford buildings 3) developer meets SBU and SBFD requirements 4) upgraded garage doors with windows be used on the two Bedford buildings and 5) addition of a public green space for community gathering and grilling. Second by Statz. All ayes. Motion carried.

Combined Preliminary/Final Planned Unit Development for a 70-unit multiple-family residential development proposed by Cherry Point Investments, LLC for property located at 1048 Egg Harbor Road and the rear portion of 1116 Egg Harbor Road. (#6):

Presentation: Pete Hurth of Baudhuin Surveying and Engineering, 312 No. 5th Ave, City stated preliminary engineering including stormwater analysis and rough-in of sewer, water, and driveway location is complete. Soil is quite deep and stormwater management can be implemented on the east, uphill of Cherry Point Mall. He described working with the City to connect Alabama Pl. to N. 12th St., possible elimination of dead ends and a lift station, discussion of a proposed gap in the north-south driveway to prevent its being used as a connection to Egg Harbor Rd., and the possibility of a shared driveway with the Tall Pines Estates to the west with construction of a cul-de-sac. Doreen Phillips of 1634 Rustic Oaks Ct., Green Bay, WI. described a 70-unit project with two- and three-bedroom units and detached garages. She described the demand for 3-bedroom as endless. The apartment layout will be identical to Maritime Heights, but with a variety of exterior colors. There will be a sidewalk to provide a walking path to Egg Harbor Road and a gazebo gathering space. Rents will range \$800-850 for 2-bedroom units and ~\$1000 for 3-bedrooms. There will be an on-site maintenance manager on call.

Community Development Director Marty Olejniczak joined the meeting at 6:40pm.

Public Hearing: Peter Stoneman of 1233 Bluebird Place questioned how the number of units planned per the application increased from 60 to the current plan for 70, stated his belief that there will be an increase in traffic due to the road extension, and requested the road be moved a little to the south with a berm constructed at the border with his property to create a buffer for noise and light.

Sarah and Brian Bonovich of 1032 Egg Harbor Rd., owners of the adjacent Tall Pines Estates, requested the Commission require 1) a buffer or screening between the planned development and their complex to

prevent non-residents from crossing over onto their property to use the playground and other amenities 2) the planned development maintain the natural look of the immediate area 3) plantings to block headlights directed toward their complex 4) an onsite playground/play pavilion with vegetation buffer 5) Aesthetic Design and Site Review Board hold this development to the same standards for exterior appearance as the Tall Pines complex was (e.g. color, stone, masonry, roofing, pine trees). The Bonovich's stated they are not opposed to the planned development and recognize the need for 3-bedroom units, but are concerned with the number of units planned in light of the lack of green space.

Consideration: Olejniczak explained the Commission could make a recommendation during this meeting or hold the recommendation over until a later meeting. The Commissioners discussed the following: 1) who pays for the cul-de-sac on the proposed shared driveway and the possible berm and screening at Alabama St., 2) the need for additional green space, rain gardens, and a playground as proposed development will serve families with children, 3) their preference that Alabama St. be extended to connect the apartment complexes with 12th Pl., 4) their preference for the development to consist of five 12-unit buildings and two 4-unit buildings to increase the number of 3-bedroom end units and allow for smaller buildings nearest the single family dwellings to the north, 5) proposed development has more than adequate parking, 6) concern for additional curb cuts and the need to see an amended design without the cul-de-sac and shared driveway if the parties do not agree upon the shared entrance off Egg Harbor Rd., 7) the need to work with Chief, SBFD regarding safety of the non-connecting driveway to the west of the proposed development and with City Engineer to assess traffic flow.

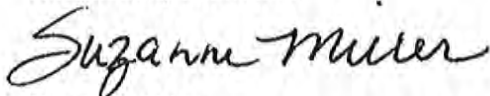
Recommendation: No motion was made. Consideration will be placed on the agenda of the March 30, 2022 meeting of the City Plan Commission.

Consideration of: Initial presentation of zoning amendments to change the zoning classifications of all properties within the Commercial/Light Manufacturing (C-3) district to General Commercial (C-1) or Light Industrial (I-1). (#7):

Consideration: Olejniczak explained the recently recommended changes in the text of the zoning code require alterations to the zoning map. This initial presentation and Commission review are of four areas proposed to be rezoned from C-3 Commercial/Light Manufacturing to C-1 General Commercial and one area proposed to be rezoned from C-3 Commercial/Light Manufacturing to I-1 Light Industrial. Sullivan-Robinson stated the affected property owners were contacted. The Commission offered no objections to the proposed zoning classifications. The public hearing will be held at the next meeting.

Adjourn (#8): Holey made the motion to adjourn, second by Statz. All ayes. The motion carried. The meeting adjourned at 7:40p.m.

Respectfully submitted,



Suzanne Miller
Administrative Assistant

EXECUTIVE SUMMARY

Title: Zoning Map Amendment - C-3 to C-1 – Various Parcels

Background: The Plan Commission recommended changes to the permitted uses within the various zoning district and the Common Council accepted that recommendation. One of the impacts of the changes is the elimination of the Commercial/Light Manufacturing (C-3) district. By adding light manufacturing/warehousing as a conditional use to the C-1 district, the C-1 and C-3 districts are identical so the C-3 district is being eliminated. That means that the properties that are currently zoned C-3 must be rezoned.

There are 4 areas of the City that have C-3 district zoning classification, comprising a total of 16 full parcels and portions of three other parcels. With the exception of one parcel, these are proposed to be rezoned to General Commercial (C-1). The 18 parcels are listed as follows:

- 281-12-06010001, 217 Green Bay Rd, Midwest Wire Products Inc.
- 281-62-10000102A, 1121-1125 Egg Harbor Rd, Eric Hoogland Ltd Partnership
- 281-62-10000102B, 1201 Egg Harbor Rd, River Valley One LLC
- 281-62-11000113 (Portion of), 916 N 14th Ave, County of Door
- 281-62-15000104A, 1023 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
- 281-62-15000104B, 1033 Egg Harbor Rd, PT Tower LLC
- 281-62-15000105, 911 N 14th Ave, City of Sturgeon Bay
- 281-62-15000106, 835 N 14th Ave, City of Sturgeon Bay
- 281-62-15000111A, 1019 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
- 281-62-15000113, 514 N 12th Ave, Premier Sturgeon Bay LLC
- 281-62-15000116, 664 N 12th Ave, Steven C Ehlers
- 281-62-15000117, 606 N 12th Ave, Cornerstone Solutions Inc.
- 281-62-15000123, 636 N 12th Ave, S&B Green Bay Investments LLP
- 281-62-15000124, 620 N 12th Ave, Sturgeon Bay Community Church Inc.
- 281-64-59000117A, Midwest Wire Products Inc.
- 281-64-77000300A, 245 E Vine St, Skipper Properties LLC
- 281-66-13000109 (Portion of), 941-951 S Duluth Ave, Phill-Mart of Sturgeon Bay
- 281-66-13000110 (Portion of), 919 S Duluth Ave, Randal L Sahs

The C-1 district causes the least disruption because it matches the current C-3 district. The list of permitted and conditional uses and the development standards are the same so there really is no impact to the property owners. In addition, nearly all of the affected parcels were zoned C-1 prior to being rezoned to C-3.

The only parcel that is not proposed to be rezoned to the C-1 district is the main Midwest Wire parcel at 615 S. Lansing Avenue. The parcel is proposed to be rezoned to Light Industrial (I-1) and will be considered under a separate action by the Plan Commission and Council.

Comprehensive Plan: The proposed C-1 district is generally consistent with the future land use map of the Comprehensive Plan, except for the City-owned Municipal Services buildings and storage yard. That site is planned for eventual redevelopment into multiple-family residential use, but that is a long-term recommendation and staff recommends keeping the current use conforming for the time being. If and when the City is ready for redevelopment of that site, it can rezone the property again at that time.

Recommendation: Staff recommends approval of the zoning map amendment for the 18 parcels or portions thereof as listed above to go from C-3 to C-1.

Prepared by: Marty Olejniczak
Marty Olejniczak
Community Development Director

3-24-2022
Date

Reviewed by: Christopher Sullivan-Robinson
Christopher Sullivan-Robinson
Planner/ Zoning Administrator

3.25.22
Date

Date Received: 2-10-2022Fee Paid: \$ N/AReceived By: CMS

CITY OF STURGEON BAY ZONING/REZONING APPLICATION

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	<u>Sturgeon Bay Plan Commission</u>	<u>See attached list</u>
Company		
Street Address	<u>421 Michigan St</u>	
City/State/Zip	<u>Sturgeon Bay WI 54235</u>	
Daytime Telephone No.	<u>920-746-2910</u>	
Fax No.	<u>N/A</u>	

STREET ADDRESS OF SUBJECT PROPERTY: Various - see attached list
Location if not assigned a common address:

TAX PARCEL NUMBER: see attached list

CURRENT ZONING CLASSIFICATION: C-3

CURRENT USE AND IMPROVEMENTS: See maps

ZONING DISTRICT REQUESTED: C-1

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: Regional Commercial, Neighborhood mixed use, Business Park, Public and Institutional, Higher Density Residential, Planned Neighborhood and Office

PROPOSED USE OF SURROUNDING PROPERTY UNDER COMPREHENSIVE PLAN:

North: Various
South: Various
East: Various
West: Various

ZONING AND USES OF ADJACENT SURROUNDING PROPERTIES:

North: Various
South: "
East: "
West: "

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? N/A IF YES, EXPLAIN:

Attach a full legal description (preferably on disk), 8-1/2" X 11" location map, and Agreement for Reimbursement of expenses.

Property Owner (Print Name)

Signature

Date

Martin Olejczak, Secretary
Applicant/Agent (Print Name)
Sturgeon Bay Plan Commission

Signature

Date

2-10-2022

I, _____, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

N/A

Date of review meeting

Applicant Signature

Staff Signature

Attachments:

Procedure & Check List

Agreement For Reimbursement of Expenses

STAFF USE ONLY

Application conditions of approval or denial:

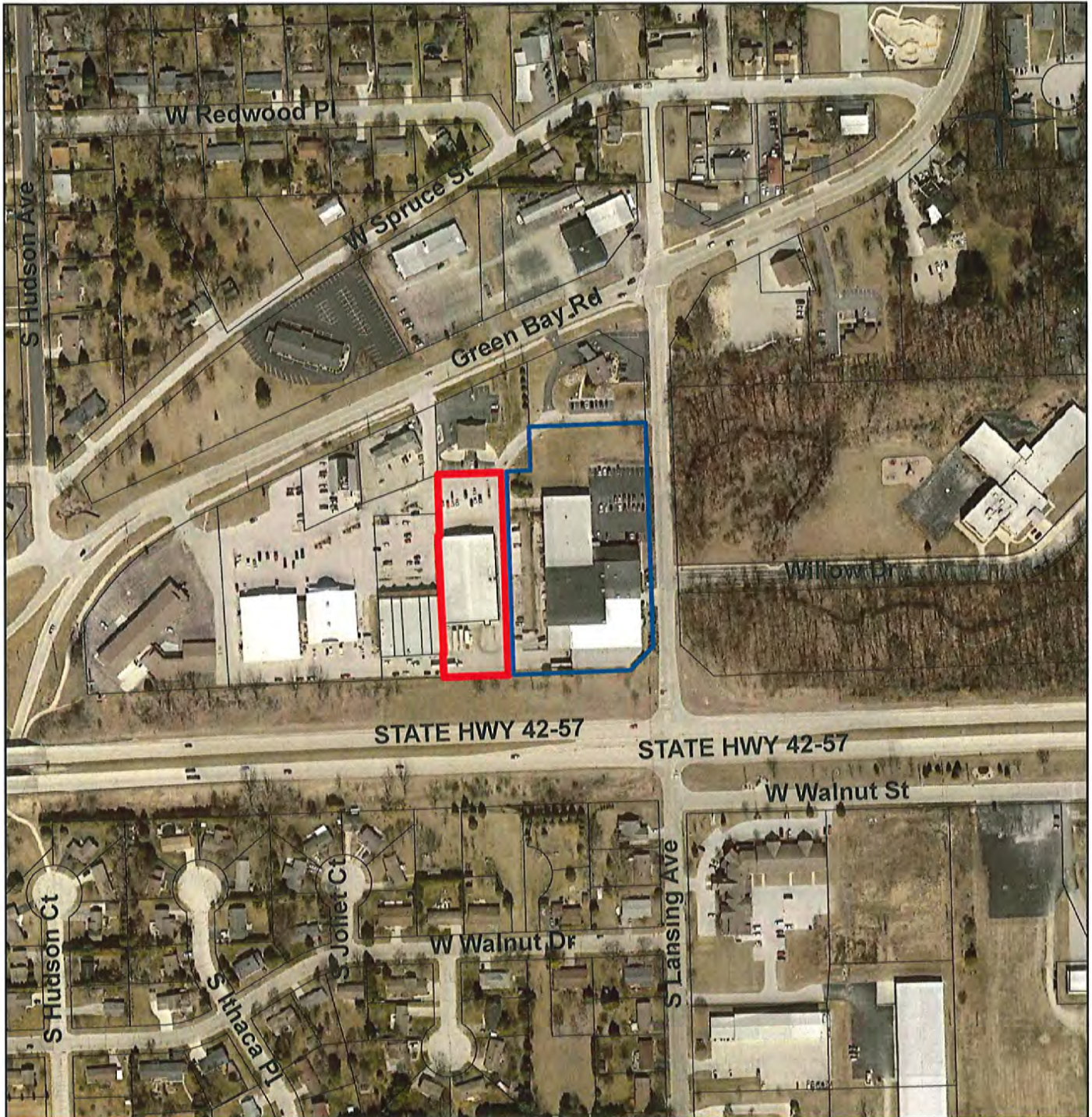
Date

Community Development Director

**Parcels proposed to be Rezoned from Commercial/Light
Manufacturing (C-3) to General Commercial (C-1)**

1. 281-12-06010001, 217 Green Bay Rd, Midwest Wire Products Inc.
2. 281-62-10000102A, 1121-1125 Egg Harbor Rd, Eric Hoogland Ltd Partnership
3. 281-62-10000102B, 1201 Egg Harbor Rd, River Valley One LLC
4. 281-62-11000113 (Portion of), 916 N 14th Ave, County of Door
5. 281-62-15000104A, 1023 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
6. 281-62-15000104B, 1033 Egg Harbor Rd, PT Tower LLC
7. 281-62-15000105, 911 N 14th Ave, City of Sturgeon Bay
8. 281-62-15000106, 835 N 14th Ave, City of Sturgeon Bay
9. 281-62-15000111A, 1019 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
10. 281-62-15000113, 514 N 12th Ave, Premier Sturgeon Bay LLC
11. 281-62-15000116, 664 N 12th Ave, Steven C Ehlers
12. 281-62-15000117, 606 N 12th Ave, Cornerstone Solutions Inc.
13. 281-62-15000123, 636 N 12th Ave, S&B Green Bay Investments LLP
14. 281-62-15000124, 620 N 12th Ave, Sturgeon Bay Community Church Inc.
15. 281-64-59000117A, Midwest Wire Products Inc.
16. 281-64-77000300A, 245 E Vine St, Skipper Properties LLC
17. 281-66-13000109 (Portion of), 941-951 S Duluth Ave, Phill-Mart of Sturgeon Bay
18. 281-66-13000110 (Portion of), 919 S Duluth Ave, Randal L Sahs

Location Map
Zoning Map Amendment
Midwest Wire Products Inc
C-3 to C-1 & I-1



February 9, 2022



615 S. Lansing Ave - Proposed to be rezoned from C-3
Commercial/Light Manufacturing to I-1 Light Industrial

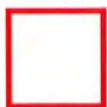
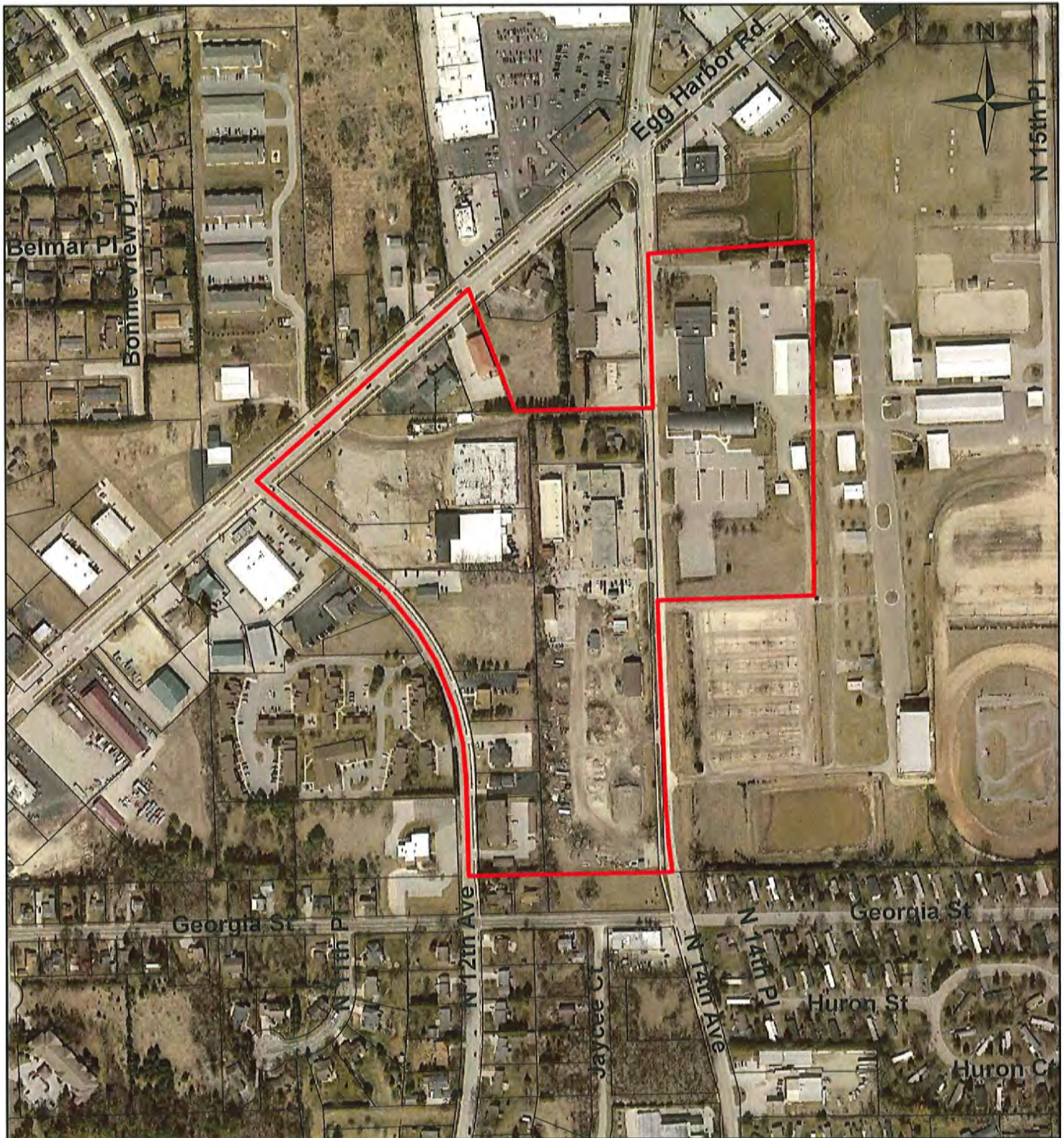


217 Green Bay Rd - Proposed to be rezoned from C-3
Commercial/Light Manufacturing to C-1 General Commercial

Location Map

Zoning Map Amendment

C-3 to C-1



Area proposed to be rezoned from C-3 Commercial/
Light Manufacturing to C-1 General Commercial

February 9, 2022

Location Map
Zoning Map Amendment
Skipper Properties, LLC
C-3 to C-1



245 E. Vine St - Proposed to be rezoned from C-3
Commercial/Light Manufacturing to C-1 General Commercial

February 9, 2022

Location Map

Zoning Map Amendment

Sahs Trust & Doorland Investments

C-3 to C-1



February 9, 2022



East half of 919 & 951 S. Duluth Ave- Proposed to be rezoned
from C-3 Commercial/Light Manufacturing to C-1 General Commercial

NOTICE OF PUBLIC HEARING

The City of Sturgeon Bay Plan Commission will hold a public hearing in the Council Chambers, 421 Michigan Street, Sturgeon Bay, Wisconsin on Wednesday, March 30, 2022, at 6:00 p.m. or shortly thereafter, regarding a petition from the City of Sturgeon Bay Plan Commission to rezone the following properties from Commercial / Light Industrial (C-3) to General Commercial (C-1) listed by parcel number, address, and property owner:

- 281-12-06010001, 217 Green Bay Rd, Midwest Wire Products Inc.
- 281-62-10000102A, 1121-1125 Egg Harbor Rd, Eric Hoogland Limited Partnership
- 281-62-10000102B, 1201 Egg Harbor Rd, River Valley One LLC
- 281-62-11000113 (Portion of), 916 N 14th Ave, County of Door
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- 281-62-15000124, 620 N 12th Ave, Sturgeon Bay Community Church Inc.
- 281-64-59000117A, Midwest Wire Products Inc.
- 281-64-77000300A, 245 E Vine St, Skipper Properties LLC
- 281-66-13000109 (Portion of), 941-951 S Duluth Ave, Phill-Mart of Sturgeon Bay Inc
- 281-66-13000110 (Portion of), 919 S Duluth Ave, Randal L Sahs

The rezoning application is on file with the Community Development Department and can be viewed at City Hall, 421 Michigan Street, weekdays between 8:00 a.m. and 4:30 p.m., or on the City's website: www.sturgeonbaywi.org. The public is invited to give testimony regarding the proposed conditional use request in person at the hearing or in writing.

By order of:
City of Sturgeon Bay Plan Commission

6

EXECUTIVE SUMMARY

Title: Zoning Map Amendment - C-3 to I-1 – Midwest Wire

Background: The Plan Commission recommended changes to the permitted uses within the various zoning district and the Common Council accepted that recommendation. One of the impacts of the changes is the elimination of the Commercial/Light Manufacturing (C-3) district. By adding light manufacturing/warehousing as a conditional use to the C-1 district, the C-1 and C-3 districts are identical so the C-3 district is being eliminated. That means that the properties that are currently zoned C-3 must be rezoned.

There are 4 areas of the City that have C-3 district zoning classification, comprising a total of 14 parcels and portions of three other parcels. With the exception of the Midwest Wire parcel, those are proposed to be rezoned to General Commercial (C-1). The C-1 rezoning will be acted upon under a different public hearing/agenda item.

The main Midwest Wire parcel at 615 S. Lansing Avenue (parcel #281-64-59000124C is proposed to be rezoned to Light Industrial (I-1). This property is actively used for light manufacturing and the company is proposing an addition that would be allowed under the I-1 district standards but not the C-1 standards due to the amount of impervious surface on the parcel. After speaking with the company, staff concluded that the I-1 district would be the proper zoning classification. The site is kitty-corner to I-1 zoning in the Sturgeon Bay Industrial Park. It is an existing manufacturer that has been located at the subject site for many years.

The adjoining property (former grocery store) that is also used and owned by Midwest Wire is proposed to be rezoned to C-1 and not I-1. This is because that parcel is part of the Bay Plaza Condominium, which has C-1 zoning for the other units. That building cannot be expanded without amending the condo declaration and the area surrounding the building is jointly owned by the condo association. Midwest Wire is not proposing any expansion of that building and, if the use of the building is proposed to change in the future, some sort of retail use is more likely than industrial.

Comprehensive Plan: The Comprehensive Plan recommends Regional Commercial development under the Future Land Use Map. Because proposed I-1 district is for an existing light manufacturing use that also conforms to other recommendations of the Comp Plan, it likely does not rise to a conflict with the Comp Plan.

Recommendation: Staff recommends approval of the zoning map amendment from C-3 to I-1 for Midwest Wire located at 615 S. Lansing Avenue.

Prepared by: Marty Olejniczak
Marty Olejniczak, Community Devel. Dir.

3-24-2022
Date

Reviewed by: Christopher Sullivan
Christopher Sullivan-Robinson, Planner/ZA

3-25-22
Date

Date Received: 2-10-2022Fee Paid: \$ N/AReceived By: GMG

CITY OF STURGEON BAY ZONING/REZONING APPLICATION

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	<u>Sturgeon Bay Plan Commission</u>	<u>Midwest Wire Products Inc</u>
Company		
Street Address	<u>421 Michigan St</u>	<u>P.O. Box 770</u>
City/State/Zip	<u>Sturgeon Bay WI 54235</u>	<u>Sturgeon Bay WI 54235</u>
Daytime Telephone No.	<u>920-746-2910</u>	
Fax No.		

STREET ADDRESS OF SUBJECT PROPERTY: 615 S. Lansing Ave
Location if not assigned a common address:

TAX PARCEL NUMBER: 281-64-59000/24C

CURRENT ZONING CLASSIFICATION: C-3

CURRENT USE AND IMPROVEMENTS:
Manufacturing bldg. and parking area

ZONING DISTRICT REQUESTED: I-1 Light Industrial

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: Regional Commercial

PROPOSED USE OF SURROUNDING PROPERTY UNDER COMPREHENSIVE PLAN:

North: Regional Commercial
South: Lower Density Residential
East: Open Space and Recreation
West: Regional Commercial

ZONING AND USES OF ADJACENT SURROUNDING PROPERTIES:North: C-1 - BankSouth: R-2 - Single Family DwellingsEast: R-4 and CON - Parkland and Sawyer Elementary SchoolWest: C-3 (proposed C-1) - Warehousing/Manufacturing

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? N/A IF YES, EXPLAIN:

Attach a full legal description (preferably on disk), 8-1/2" X 11" location map, and Agreement for Reimbursement of expenses.

Property Owner (Print Name)

Signature

Date

Martin Olejniczak SecretaryMartin Olejniczak2-10-22

Applicant/Agent (Print Name)

Signature

Date

Sturgeon Bay Plan Comm.

I, _____, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

N/A

Date of review meeting

Applicant Signature

Staff Signature

Attachments:

Procedure & Check List

Agreement For Reimbursement of Expenses

STAFF USE ONLY

Application conditions of approval or denial:

Date

Community Development Director

Location Map
Zoning Map Amendment
Midwest Wire Products Inc
C-3 to C-1 & I-1



February 9, 2022



615 S. Lansing Ave - Proposed to be rezoned from C-3
Commercial/Light Manufacturing to I-1 Light Industrial



217 Green Bay Rd - Proposed to be rezoned from C-3
Commercial/Light Manufacturing to C-1 General Commercial

NOTICE OF PUBLIC HEARING

The City of Sturgeon Bay Plan Commission will hold a public hearing in the Council Chambers, 421 Michigan Street, Sturgeon Bay, Wisconsin on Wednesday, March 30, 2022, at 6:00 p.m. or shortly thereafter, regarding a petition from the City of Sturgeon Bay Plan Commission to rezone 615 S Lansing Ave; parcel 281-64-59000124C owned by Midwest Wire Products Inc. from Commercial / Light Industrial (C-3) to Light Industrial (I-1). The rezoning application is on file with the Community Development Department and can be viewed at City Hall, 421 Michigan Street, weekdays between 8:00 a.m. and 4:30 p.m., or on the City's website: www.sturgeonbaywi.org. The public is invited to give testimony regarding the proposed conditional use request in person at the hearing or in writing.

By order of:

City of Sturgeon Bay Plan Commission

EXECUTIVE SUMMARY

Title: Tax Increment District #6

Background: The Plan Commission previously recommended that the City create a tax incremental district (TID) for the Egg Harbor Road region and the Council agreed to hire R. W. Baird to draft the project plan. The boundaries and project plan have been established by Baird with the assistance of city staff.

The project plan identifies a number of municipal improvements that are proposed to be undertaken in and near the TID that would benefit the TID. Many of these infrastructure improvements would be difficult to undertake without tax incremental financing. There are several vacant or underutilized parcels in the proposed TID that could be developed in the near future, particularly if the infrastructure improvements are accomplished. The tax increments generated from the new development would be used to cover the costs including financing costs of the projects.

TID #6 is being established as a mixed-use TID, which provides a 20-year timeframe to complete the projects and recover the expenditures. The financial proforma prepared by Baird shows that the TID's expenses would be recovered in the 11th year of the TID. It is also noted that the listed expenditures are not required to occur. Other sources of funds such as grants and special assessments can potentially offset some of the costs and projects can be scaled back if necessary.

The procedure for creation of Tax Increment District #6 is a public hearing before the Plan Commission followed by adoption of a resolution. The Common Council will then have to approve its own resolution. The final step is approval of a resolution by the Joint Review Board, which is comprised of representatives from the taxing jurisdictions.

Recommendation: Approval of the resolution regarding the boundaries and project plan for TID #6.

Prepared by: Martin Olejniczak 3-24-2022
Martin Olejniczak Date
Community Development Director

Reviewed by: Valerie Clarizio 3/24/22
Valerie Clarizio Date
Finance Director

PLANNING COMMISSION RESOLUTION #2022-01

Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax
Incremental District No. 6

RECOMMENDED ADOPTION OF THE PROJECT PLAN AND BOUNDARIES FOR TAX INCREMENTAL DISTRICT NO. 6 CITY OF STURGEON BAY, WISCONSIN

WHEREAS, pursuant to Wisconsin Statutes §66.1105 the City of Sturgeon Bay has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 6 ("the District") is proposed to be created as a "mixed-use district" where not less than fifty percent (50%) by area, of the real property within the District is suitable for industrial, commercial, residential development, and

WHEREAS, a Project Plan for Tax Incremental District No. 6 has been prepared that includes the following:

1. A statement listing the kind, number, and location of proposed public works or improvements within the District;
2. An economic feasibility study;
3. A detailed list of estimated project costs;
4. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
5. A map showing existing uses and conditions of real property in the District;
6. A map showing proposed improvements and uses in the District;
7. Proposed changes of zoning ordinance, master plan, map, building codes, and City Ordinances;
8. A statement of the proposed method for relocation of any person to be displaced;
9. A statement indicating how creation of the District promotes the orderly development of the City;
10. A list of estimated non-projects costs;
11. An Opinion of the City Attorney advising that the plan is complete and complies with Wis. Statute §66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of the public hearing by the Plan Commission was sent to the City of Sturgeon Bay, Door County, the Sturgeon Bay School District, and Northeast Wisconsin Area Technical College which constitutes all of the local governmental entities having the power to levy taxes on property located within the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on March 30, 2022, held a public hearing concerning the project plan and boundaries and proposed creation of the District providing interested parties a reasonable opportunity to express their views on the proposed creation of a tax incremental district and the proposed boundaries of the District.

PLANNING COMMISSION RESOLUTION #2022-01

Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax
Incremental District No. 6

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the City
of Sturgeon Bay that:

1. It recommends to the Common Council that Tax Incremental District No. 6, City of Sturgeon Bay, be created with boundaries as designated by Exhibit A, which is attached and incorporated herein by reference;
2. It approves the Project Plan as prepared by Robert W. Baird & Co, dated March 14, 2022, which is incorporated herein in its entirety by reference, and recommends its approval to the Common Council;
3. Creation of the District promotes orderly development in the City; and
4. That the City Clerk is hereby directed to provide the Common Council with a certified copy of this Resolution upon its adoption by the Plan Commission.

Adopted this 30th day of March, 2022

City of Sturgeon Bay

By _____
David J. Ward Ph. D., Plan Commission Chairman

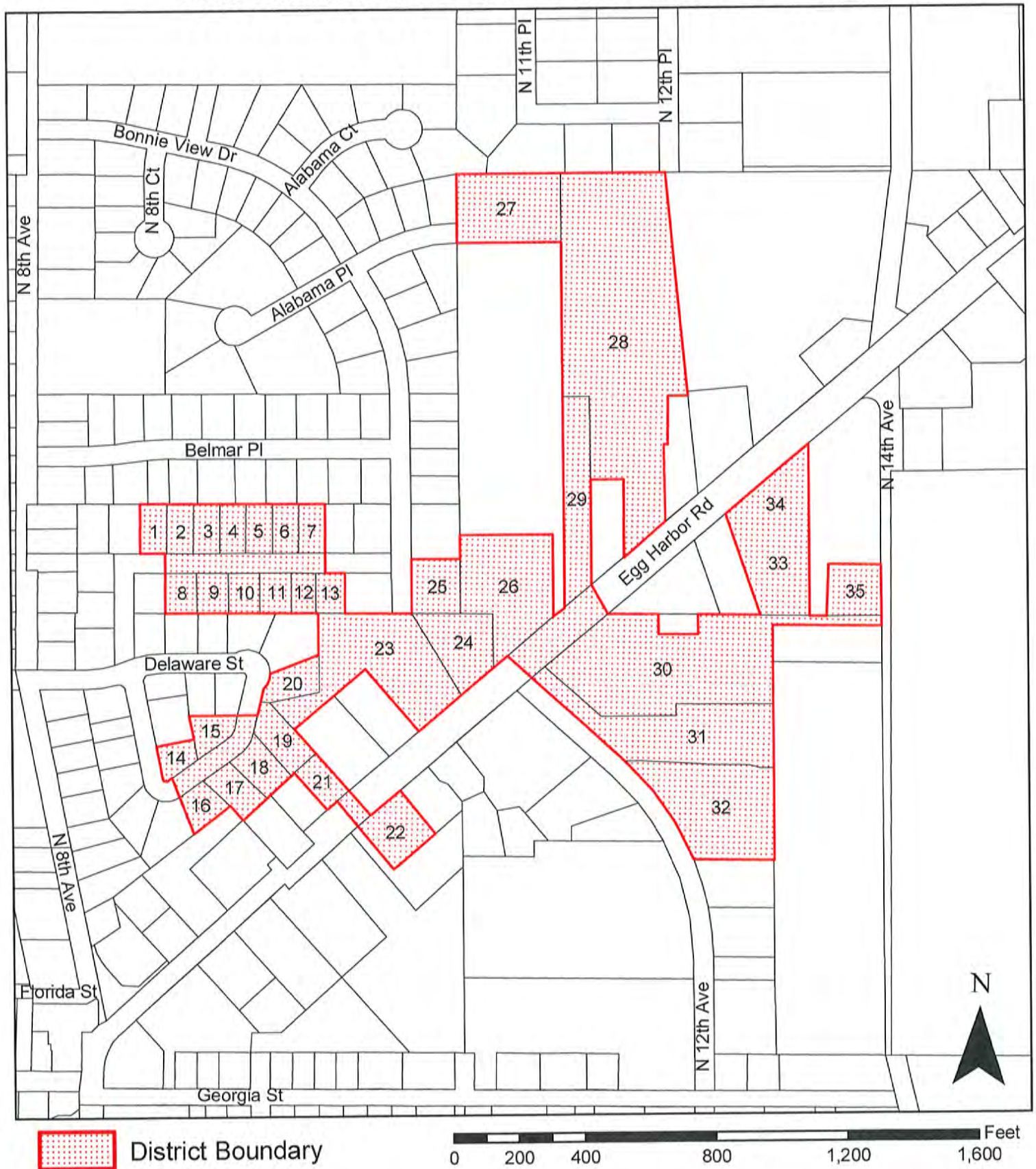
CERTIFICATION

I hereby certify that the foregoing Resolution was duly adopted by the Planning
Commission of the City of Sturgeon Bay on the 30th day of March, 2022.

Stephanie L. Reinhardt,
City of Sturgeon Bay
City Clerk

Exhibit A

Tax Increment District #6 Boundaries



**NOTICE OF PUBLIC HEARING AND JOINT REVIEW BOARD MEETING
REGARDING THE PROPOSED PROJECT PLAN AND BOUNDARY
FOR TAX INCREMENTAL DISTRICT (TID) NO. 6
IN THE CITY OF STURGEON BAY, WISCONSIN**

NOTICE IS HEREBY GIVEN, that the City of Sturgeon Bay will hold an organizational Joint Review Board (JRB) meeting on March 29, 2022 at 1:00 p.m. in the Council Chambers, City Hall, 421 Michigan St., Sturgeon Bay, WI 54235. The purpose of this meeting is to organize a JRB to consider the proposed Project Plan for TID No. 6. The meeting is open to the public.

NOTICE IS HEREBY GIVEN, that the Plan Commission of the City of Sturgeon Bay will hold a public hearing on March 30, 2022 at 6:00 p.m., or shortly thereafter, in the Council Chambers, City Hall, 421 Michigan St., Sturgeon Bay, WI 54235, regarding the proposed Project Plan and Boundary for TID No. 6 in the City.

City of Sturgeon Bay TID No. 6 is generally located in the area along and near Egg Harbor Road located within the City's limits.

TID No. 6 will be classified as a mixed-use district based on the identification and classification of the property proposed to be included within the District.

Proposed public project improvements may include, but are limited to: street construction and improvements; stormwater management facilities; water, sanitary sewer and other utility infrastructure; land acquisition; professional and organizational services; administrative costs; and finance costs.

As part of the Project Plan, developer funded tax increment incentive grants may be made by the City to developers of property within TID No. 6.

The proposed costs include projects within the proposed boundary and within the ½ mile radius of the proposed boundary of the District.

At the public hearing, all persons will be afforded a reasonable opportunity to be heard concerning the proposed Project Plan. A copy of the TID No. 6 Project Plan and Boundary is available for inspection and will be provided upon request. Arrangements for either inspection or receipt of a copy of the Project Plan may be made by contacting the Community Development Director, City Hall, 421 Michigan St, Sturgeon Bay, WI; Phone 920-746-6908. The Project Plan may also be viewed online via the City website at www.sturgeonbaywi.org.

Dated this 16th day of March 2022.

Martin Olejniczak
Community Development Director

Publication Dates: March 16, 2022 and March 23, 2022.

Project Plan & District Boundary
Tax Incremental District No. 6
in the
CITY OF STURGEON BAY, WISCONSIN



March 14, 2022

(Approved Actions)

Organizational Joint Review Board Meeting Held.....	March 29, 2022
Public Hearing Held.....	March 30, 2022
Adopted by Planning Commission.....	March 30, 2022
Adopted by City Council.....	April 19, 2022
Approved by Joint Review Board.....	April 26, 2022

Prepared in part by:



Robert W. Baird & Co.
Public Finance
777 E. Wisconsin Ave.
Milwaukee, WI 53202
800.792.2473

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City of Sturgeon Bay Officials

City Council

David J. Ward Ph.D	Mayor
Helen L. Bacon	Aldersperson District 1
Dennis Statz	Aldersperson District 2
Dan Williams	Aldersperson District 3
J. Spencer Gustafson	Aldersperson District 4
Gary Nault	Aldersperson District 5
Seth Wiederanders	Aldersperson District 6
Kirsten Reeths	Aldersperson District 7

City Staff

Josh Van Lieshout	City Administrator
Stephanie L. Reinhardt	City Clerk
Valerie J. Clarizio	Finance Director/City Treasurer
Martin J. Olejniczak	Community Development Director

Planning Commission

David J. Ward Ph.D, Chairperson	Jeff Norland
Helen L. Bacon	Kirsten Reeths
Mark Holey	Dennis Statz
Debbie Kiedrowski	

Joint Review Board

Josh Van Lieshout	City Representative
Ken Pabich	Door County
Bob Mathews	Northeast Wisconsin Area Technical College
Mike Stephani	Sturgeon Bay School District
Bill Chaudoir	Public Member

Introduction and Description of District

The City plans to use Tax Incremental Financing ("TIF") as a successful economic development programming tool by providing public improvements and development incentives to encourage and promote residential and commercial development. The goal is to increase the tax base, to create and enhance economic opportunities, and to increase housing options within the City. The City works with developers and property owners to provide infrastructure improvements and incentives for development. Public infrastructure and property improvements will be financed by a combination of TIF increments and debt financing.

The Tax Increment District ("TID") is being created as a "Mixed-Use District" based on the identification and classification of the property proposed to be included in the TID. The maximum life (absent extension) of the TID is 20 years from the date of adoption.

Tax incremental financing is proposed for several properties along and near Egg Harbor Road that are underutilized or vacant. Some of these likely need financial incentives or infrastructure improvements to be developed. The proposed and potential new development will generate additional property taxes (tax increment) that will be used to offset the cost of the public investments resulting from, or needed by, the new development. Planned or potential development projects are detailed in the Statement of Kind, Number and Location of Proposed Projects section of this project plan.

The City anticipates various public improvement project cost expenditures of approximately \$2,390,000 plus financing/interest costs during the TID's 15-year expenditure period. Proposed public project improvements may include, but not limited to infrastructure, professional and organizational services, administrative costs, and finance costs. As part of the project plan, developer incentives may be provided by the City to developers of property within the TID in the form of cash grants or TID loans.

As a result of the creation of this TID, the City projects a preliminary and conservative cash flow analysis indicating \$6,424,609 in increments. The TID increment will primarily be used to pay the debt service costs of the TID, and project development incentives. The City projects land and improvement values (incremental value) of approximately \$16,400,000 will be created in the TID by the end of 2028. This additional value will be a result of the improvements made and projects undertaken with the TID.

Maps depicting the boundaries and existing uses and conditions of the TID are found in the respective mapping sections of this project plan.

Summary of Findings



As required by s.66.1105 Wis. Stats., and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

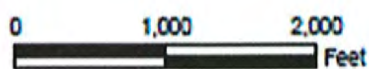
1. That "but for" the creation of this TID, the development projected as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City. In making this determination, the City has considered the following information:
 - Development within the TID has not occurred at the pace anticipated by the City. Infrastructure and other development related expenses are not likely to be borne exclusively by private developers; therefore, the City has concluded that public investment will be required to fully achieve the City's objectives for this area.
 - To achieve its objectives, the City has determined that it must take an active role in encouraging development by making appropriate public expenditures in the area. Without the availability of tax increment financing, these expenditures are unlikely to be made. Enhancement of this area will complement existing venues in the City, and benefit, not only the City, but all overlapping taxing jurisdictions. Accordingly, the costs to implement the needed projects and programs are appropriately funded through tax increment financing.
 - In order to make the area included within the TID suitable for development, the City will need to make a substantial investment to pay costs of some or all of the projects listed in the project plan and to maintain a rent structure that does not exceed the upper end of market levels. Due to the public investment that is required, the City has determined that development of the area will not occur at the pace or levels desired solely as a result of private investment.
2. The economic benefits of the Tax Incremental District, as measured by increased property values, are sufficient to compensate for the cost of the improvements. In making this determination, the City has considered the following information:
 - As demonstrated in the Economic Feasibility Section of this Project Plan, the tax increments projected to be collected and the debt issuance will be more than sufficient to pay for the proposed project costs. On this basis alone, the finding is supported.

City of Sturgeon Bay
TID #6 Project Plan & District Boundary

3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.
 - Since the development expected to occur is unlikely to take place without the use of Tax Incremental Financing (see Finding #1) and since the TID will generate economic benefits that are more than sufficient to compensate for the cost of the improvements (see Finding #2), the City reasonably concludes that the overall benefits of the TID outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the "but for" test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the TID is not created.
4. The improvements to be made within the TID are likely to significantly enhance the value of substantially all other real property in the City surrounding the TID.
5. The equalized value of taxable property of the TID does not exceed 12% of the total equalized value of taxable property within the City.
6. The Project Plan for the TID is feasible and is in conformity with the master plan of the City.
7. The City estimates that 43% of the territory within the District will be the maximum amount devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wisconsin Statutes Sections 66.1105(5)(b).
8. The City confirms less than 35 percent of the District is land proposed for newly platted residential development. Residential housing density is at least three units per acre.
9. The TID is being created as a Mixed-Use District. This project plan has met the definition and requirements for a Mixed-Use District. Not less than 50% of the proposed district's area land is suitable for industrial, commercial, and residential use.

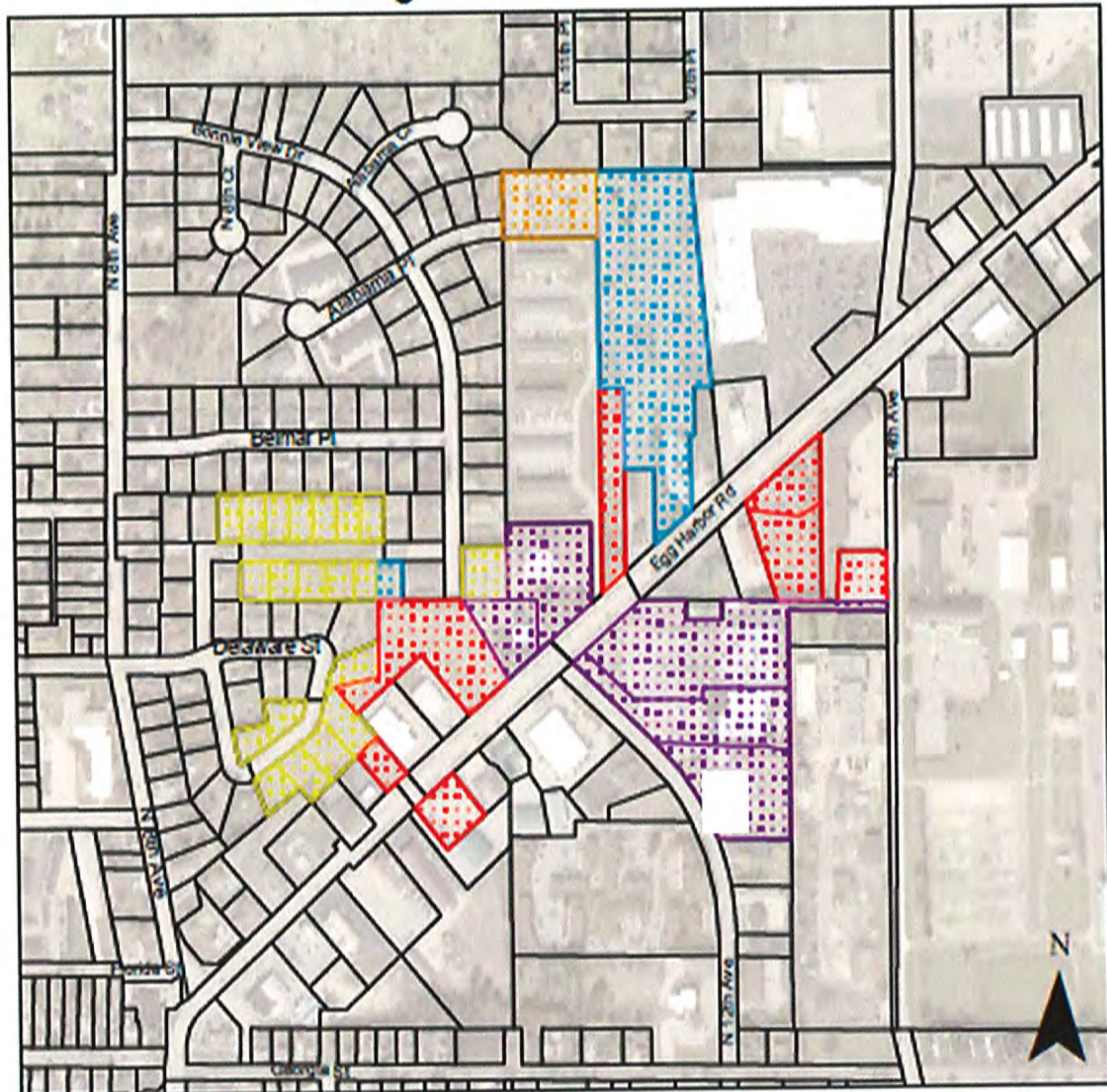
One Half Mile Radius Map of Proposed District Boundary

 Tax Increment District #5
 1/2 Mile Buffer



Map Showing Existing Uses and Conditions

Tax Increment District #6
Existing Uses and Conditions



- | | |
|---|---|
|  Vacant Residential Lot (previously platted) |  Vacant Commercial Parcel |
|  Vacant Residential Lot (unplatted) |  Commercially Developed Parcel |
|  Single-Family Residential |  Tax Increment District Boundary |

Air Photo = April, 2021

0 240 480 960 1,440 1,920 Feet

City of Sturgeon Bay
TID #6 Project Plan & District Boundary

Preliminary Parcel List and Analysis

As of the 01/01/2022 parcel list.

ID	Address	Parcel #	Valuation
1	N/A	2814690000400	\$ 2,000
2	N/A	2814690000500	\$ 2,000
3	N/A	2814690000600	\$ 2,000
4	N/A	2814690000700	\$ 2,000
5	N/A	2814690000800	\$ 2,000
6	N/A	2814690000900	\$ 2,000
7	N/A	2814690001000	\$ 2,000
8	N/A	2814690002100	\$ 2,000
9	N/A	2814690002000	\$ 2,000
10	N/A	2814690001900	\$ 2,000
11	N/A	2814690001800	\$ 2,000
12	N/A	2814690001701	\$ 2,000
13	927 Colorado Pl	2814690001601	\$ 123,500
14	N/A	2811430003200	\$ 0
15	N/A	2811430003300	\$ 0
16	N/A	2811430001401	\$ 21,000
17	N/A	2811430001300	\$ 0
18	N/A	2811430001200	\$ 0
19	N/A	2811430001100	\$ 0
20	N/A	2811430001000	\$ 23,500
21	N/A	2816216000109B	\$ 61,000
22	939 Egg Harbor Rd	2816216000117	\$ 153,500
23	N/A	2816216000111B1	\$ 184,500
24	1014 Egg Harbor Rd	2816216000111B2	\$ 181,000
25	N/A	2816209000110	\$ 15,000
26	1026 Egg Harbor Rd	2816210000105A	\$ 186,000
27	N/A	2816210000116	\$ 31,500
28	1116 Egg Harbor Rd	2816210000108	\$ 375,000
29	1048 Egg Harbor Rd	2816210000106	\$ 0
30	1023 Egg Harbor Rd	2816215000104A	\$ 460,500
31	1019 Egg Harbor Rd	2816215000111A	\$ 284,300
32	664 N 12 th Ave	2816215000116	\$ 324,000
33	N/A	2816210000117	\$ 126,500
34	1227 Egg Harbor Rd	2816210000103	\$ 176,500
35	917 N. 14 th Ave	2816210000101	\$ 52,000
Total Valuation			<u>\$2,803,300</u>

Equalized Valuation Test

The following calculations demonstrate that the City is in compliance with s.66.1105(4)(gm)4.c. Wis. Stats., which requires that the equalized value of the taxable property in the proposed TID, plus the value increment of any existing Tax Incremental Districts, does not exceed 12% of the total equalized value of taxable property within the City. With TID #6, the value increment of all existing Tax Increment Districts will be approximately 8.67%.

Valuation Test Compliance Calculation

2021 Equalized Valuation (TID IN)	\$ 1,029,653,800
Limit for 12% Test	\$ 123,558,456
Increment Value of Existing TIDs	\$ 86,464,200
Projected Base Value of New TID	<u>\$ 2,803,300</u>
Total Value Subject to Test	\$ 89,267,500
Compliance (\$89,267,500 < \$123,558,456)	Meets Requirement

Statement of Kind, Number and Location of Proposed Projects

The City expects to implement the following public project improvements. Any costs including eligible administrative costs necessary or convenient to the creation of the district or directly or indirectly related to the public works and other projects are considered "project costs" and eligible to be paid with tax increment revenues of the TID.

1. REGIONAL STORMWATER DETENTION POND

LOCATION: Approximately 1.6 acres along east side of N. 12th Ave, which is the vacant portion of parcel #2816215000116 located at 664 N. 12th Avenue

TOTAL: \$320,000

DESCRIPTION: Includes the acquisition of property, engineering/design, construction of wet detention pond along with storm sewer and related street repair. This detention pond will serve new and existing development in the general Egg Harbor Road region.

2. ALABAMA PLACE TO N 12TH PLACE STREET CONNECTION

LOCATION: East end of Alabama Place extended westerly to south end of N. 12th Place

TOTAL: \$285,000

DESCRIPTION: The project constructs about 800 feet of new street that connects two existing dead-end streets. It improves east-west traffic flow while creating street frontage for residential development. The project includes property acquisition, design/engineering, asphalt and curbing. Stormwater improvements to handle existing and new runoff from the street is also part of the project.

3. PUBLIC WATER AND SANITARY SEWER FACILITIES WITHIN ALABAMA PLACE EXTENSION REGION

LOCATION: Within or near the new street right-of-way for the Alabama Pl to N 12th Pl street extension

TOTAL: \$135,000

DESCRIPTION: The project includes the installation of sanitary sewer and water mains within the right-of-way of the new street in order to serve intended residential development. An existing sanitary sewer lift station is proposed to be eliminated and existing dead-end water main will be looped. The estimated total cost of \$135,000 is the City's portion of the project, with Sturgeon Bay Utilities anticipated to cover about \$70,000 in additional costs.

4. INFRASTRUCTURE IMPROVEMENTS FOR COLORADO PLACE

LOCATION: Unbuilt portion of platted Colorado Place between N. 8th Place and Bonnie View Drive

TOTAL: \$395,000

DESCRIPTION: Construction of approximately 650 feet new street to connect Bonnie View Drive to N. 8th Place. The project includes pavement and curb/gutter along with extensions of sanitary sewer main and water main to serve existing platted lots. These lots have existed since the 1980's but never have been developed due to lack of infrastructure.

5. PEDESTRIAN & BICYCLE PATH BETWEEN BONNIE VIEW DR AND EGG HARBOR RD

LOCATION: South end of Bonnie View Drive southeasterly to Egg Harbor Road

TOTAL: \$30,000

DESCRIPTION: This approximately 330-foot long paved path would provide a convenient connection to the Egg Harbor Road business district from the Bonnie View Heights neighborhood for pedestrians and bicyclists.

6. REPAVE CHERRY COURT & N. 8th PLACE

LOCATION: Cherry Court south of Delaware St and N. 8th Pl north of Delaware St

TOTAL: \$105,000

DESCRIPTION: Mill and pave 785 feet of Cherry Court and 335 feet of N. 8th Avenue.

7. 14TH AVE STREET IMPROVEMENTS

LOCATION: West side of N. 14th Ave along the Best Western Maritime Inn

TOTAL \$15,000

DESCRIPTION: Pave approximately 300 feet of existing gravel shoulder on the west side of 14th Ave and add street trees.

8. EGG HARBOR ROAD RESURFACING

LOCATION: Egg Harbor Road from N. 8th Avenue to N. 14th Avenue

TOTAL: \$225,000

DESCRIPTION: Resurface approximately 3,000 feet of the driving lanes of Egg Harbor Road.

9. STORMWATER DETENTION POND FOR CHERRY CT DEVELOPMENT

LOCATION: Vacant property east of Cherry Court

TOTAL: \$120,000

DESCRIPTION: This detention pond will serve new affordable housing development along Cherry Court. The project includes the acquisition of property, engineering/design, construction of detention pond along with storm sewer and associated street patching/repair.

10. DEVELOPER INCENTIVES.

LOCATION: Development and redevelopment sites within the District

TOTAL: \$620,000

DESCRIPTION: As an inducement to spur development or redevelopment in the District, incentives for developers may be required, especially for affordable and workforce housing projects. Incentives are proposed to be in the form of TIF-financed loans but may be cash grants or other incentives. Development agreements will be required and each development project that includes incentives will be negotiated separately. All financial incentives will be tied to the increment value of the proposed development.

11. FINANCING & INTEREST, CAPITALIZED INTEREST, COST OF ISSUANCE

LOCATION: Entire TID

TOTAL: \$891,791

DESCRIPTION: Debt financing and interest, capitalized interest, and cost of issuance fees.

12. ADMINISTRATIVE / ORGANIZATIONAL FEES

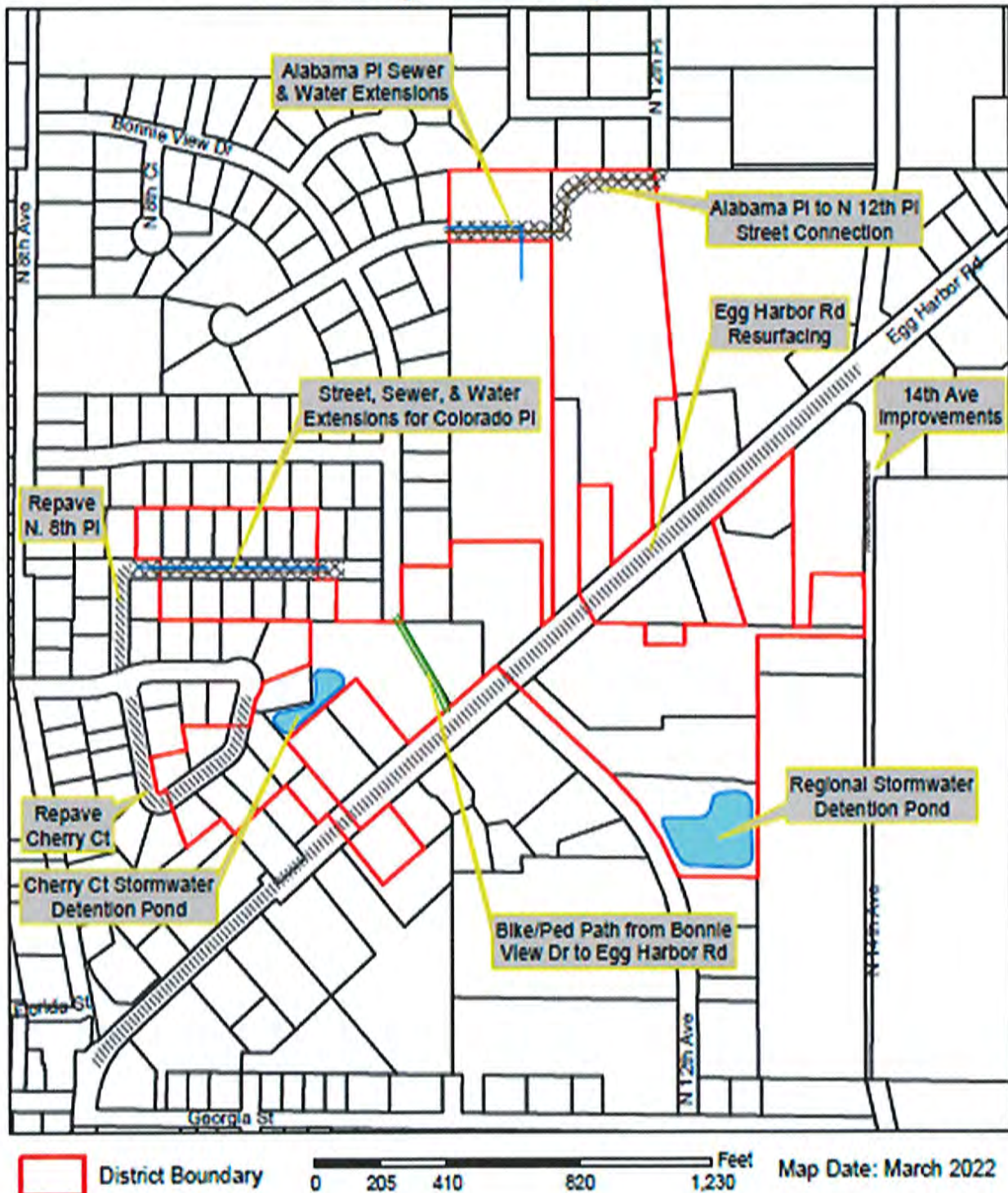
LOCATION: Entire TID

TOTAL: \$30,000

DESCRIPTION: Annual TID and City staff administration fees and professional fees for creation and organization, including legal fees.

Maps Showing Proposed Improvements and Uses

Tax Increment District #6
Proposed Projects



Detailed List of Project Costs

1. REGIONAL STORMWATER DETENTION POND	\$320,000
2. ALABAMA PLACE TO N. 12 TH PLACE STREET CONNECTION	\$285,000
3. PUBLIC WATER AND SANITARY SEWER FACILITIES WITHIN ALABAMA PLACE EXTENSION REGION	\$135,000
4. INFRASTRUCTURE IMPROVEMENTS FOR COLORADO PLACE	\$395,000
5. PEDESTRIAN BICYCLE PATH BETWEEN BONNIE VIEW DR AND EGG HARBOR RD	\$30,000
6. REPAVE CHERRY COURT & N. 8 TH PLACE	\$105,000
7. 14 TH AVE STREET IMPROVEMENTS	\$15,000
8. EGG HARBOR ROAD RESURFACING	\$225,000
9. STORMWATER DETENTION POND FOR CHERRY CT DEVELOPMENT	\$120,000
10.DEVELOPER INCENTIVES	\$620,000
11. FINANCING & INTEREST, CAPITALIZED INTEREST, COST OF ISSUANCE	\$891,791
12. ADMINISTRATIVE / ORGANIZATIONAL FEES	\$30,000
Total	\$3,171,791

The project cost is based on current prices and preliminary estimates. The City reserves the right to increase this cost to reflect inflationary increases and other uncontrollable circumstances between the creation of the TID and the time of construction. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of the Plan.

This Plan is not meant to be a budget nor an appropriation of funds for specific projects, but a framework within which to manage projects. All costs included in the Plan are estimates based on the best information available. The City retains the right to delete or pursue future projects listed in the prior paragraph, and shown on the map, or change the scope and/or timing of projects implemented as they are individually authorized by the Common Council, without amending the Plan.

The Plan authorizes the expenditure of funds for project costs within a 1/2-mile radius of the TID boundary.

Economic Feasibility

The information and exhibits contained within this project plan demonstrate that the proposed TID is economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan. A listing of "Method of Financing and Timing of When Costs are to be Incurred" follows.
- The development anticipated to occur as a result of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. This Plan identifies the following: 1) the development expected to occur, 2) a projection of tax increments to be collected resulting from that development and other economic growth within the TID, and 3) a cash flow model demonstrating that the projected tax increment collections and all other revenues available such as debt issuance will be sufficient to pay all Project Costs.

In order to evaluate the economic feasibility of TID #6 it is necessary to project the amount of tax revenue that can be reasonably generated over the legal life of the TID. Included in Exhibit A is a proforma analysis of TID #6. The proforma analyzes expenses based on project plan costs of TID #6 against projected TID revenue. Tax revenue is conservatively estimated. Cash received from future TID #6 tax increments will be used to fund project costs and implementation of this Plan will also require that the City issue debt obligations to provide direct or indirect financing for the Projects to be undertaken. In 2043, the final year of revenue collection for the TID, it is projected to have repaid all expenditures and is left with a positive surplus balance.

Method of Financing and Timing of When Costs are to be Incurred

The City plans to fund project costs with cash received from future TID #6 tax increments and to issue obligations to provide direct or indirect financing for the Projects to be undertaken. The following is a list of the types of obligations the City may choose to utilize.

General Obligation (G.O.) Bonds or Notes

The City may issue G.O. Bonds or Notes to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of G.O. and State Trust Fund Loan debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (including increment values).

City of Sturgeon Bay
TID #6 Project Plan & District Boundary

Board of Commissioners of Public Lands State Trust Fund Loans

The City may issue State Trust Fund Loans to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of State Trust Fund Loan and GO debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (including increment values).

Bonds Issued to Developers ("Pay as You Go" Financing)

The City may issue a bond to one or more developers who provide financing for projects included in this Plan. Repayment of the amounts due to the developer under the bonds are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the City's obligation is limited to not more than the agreed percentage of the actual increments collected. Bonds issued to developers in this fashion are not general obligations of the City and therefore do not count against the City's borrowing capacity.

Federal/State Loan Grant Programs

The State and Federal governments often sponsor grant and loan programs that municipalities may potentially use to supplement TID expenditures or provide financing for capital costs which positively impact the District. These programs include Wisconsin Community Development Block Grants, Rural Development Administration Community Facility Loan/Grants, Transportation Economic Assistance Grants, and Economic Development Administration Grants. These programs require local match funding to ensure State and Federal participation in the project.

The actual amount of debt issuance will be determined by the City at its convenience and as dictated by the nature of the projects as they are implemented.

Plan Implementation

Projects identified will provide the necessary anticipated governmental services to the area, and appropriate inducements to encourage development of the area. The City anticipates making total project expenditures of approximately \$2,390,000 plus financing/interest costs to undertake the projects listed in this Project Plan. The Expenditure Period of this District is 15 years from the date of adoption of the Creation Resolution by the Common Council. The projects to be undertaken pursuant to this Project Plan are expected to be financed primarily with tax increments and debt proceeds. The City reserves the right to alter the implementation of this Plan to accomplish this objective. Interest rates projected are based on current market

conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.

If financing as outlined in this Plan proves unworkable, the City reserves the right to use alternate financing solutions for the projects as they are implemented.

Annexed Property

There are no lands proposed for inclusion within the TID that were annexed by the City on or after January 1, 2004.

Proposed Changes in Zoning Ordinances

The property located at 1048 Egg Harbor Rd (parcel #2816210000106) and a portion of the property located at 1116 Egg Harbor Rd (parcel # 2816210000108) are proposed to be changed from a combination of C-1, R-4, and R-1 to Planned Unit Development (PUD). That zoning map amendment is under consideration by the Plan commission and Common Council and may be implemented by the time of adoption of this project plan.

The properties at 664 N. 12th Ave (parcel # 2816215000116), 1019 Egg Harbor Rd (parcel # 2816215000111A), and 1023 Egg Harbor Rd (parcel #2816215000104A) are proposed to be changed from C-3 to C-1. That zoning map amendment is under consideration by the Plan commission and Common Council and may be implemented by the time of adoption of this project plan.

No other change in zoning is proposed for the current property in the TID.

Proposed Changes in Master Plan, Map, Building Codes and Town Ordinances

The City does not anticipate that the TID will require any changes in the master plan, map, building codes, and City ordinances to implement this project plan. The proposed development and uses are consistent with the adopted Sturgeon Bay Comprehensive Plan.

Relocation

The City does not anticipate the need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the City will follow applicable state statutes as required in Wisconsin Statutes Chapter 32.

Orderly Development of the City

The creation of the TID will enable the City to undertake projects in furtherance of the stated objectives of its Comprehensive Plan and other planning documents. To this extent, the creation of the TID promotes the orderly development of the City.

A List of Estimated Non-Project Costs

Non-Project costs are public works projects that only partly benefit the TID or are not eligible to be paid with tax increment, or costs not eligible to be paid with Tax Incremental Financing funds. The City does not anticipate any non-project costs for the TID.

City Attorney Opinion

Exhibit B contains a signed opinion from the City attorney advising whether the project plan amendment is complete and complies with Section 66.1105(4)(f) of the Wisconsin Statutes.



EXHIBIT A CASH FLOW PROFORMA ANALYSIS TID #6

Assumptions	
Annual Inflation During Life of TID	0.00%
2021 Gross Tax Rate (per \$1000 Equalized Value)	\$22.77
Annual Adjustment to tax rate	0.00%
Investment rate	0.50%
Data above dashed line are actual	

Example New Issue	
\$2,390,000	
General Obligation Bonds ⁽²⁾	
Dated October 1, 2022	
Amount for Projects	\$2,390,000
Bid Premium Available for D/S	\$121,716
Costs of Issuance (estimate)	\$66,291
Rounding	\$0
Less: Reoffering Premium	(\$188,007)

Year	Background Data				Revenues				Expenditures					TID Status			Year
	(a)	(b)	(c)	(d)	(e)	(f)	(g)	(h)	(i)	(j)	(k)	(l)	(m)	(n)	(o)	(p)	
	TIF District Valuation	Construction Increment	TIF Increment Over Base	Tax Rate	Tax Revenue	Land Sales	Investment Proceeds	Total Revenues	Principal	Interest	LESS: Hypothetical Bid Premium	Debt Service	Combined Expenditures	Annual Balance	Year End Cumulative Balance	Cost Recovery	
	(January 1)	(1)				(1)			(10/1)	(4/1 & 10/1)	TIC = 3.29%			(December 31)			
	Base Value \$2,803,300																
2022	\$2,803,300	\$2,100,000	\$2,100,000	\$22.77	\$0		\$0	\$0					\$0	\$0	\$0		2022
2023	\$4,903,300	\$2,600,000	\$4,700,000	\$22.77	\$0		\$0	\$0	\$40,000	\$105,250	(\$105,250)	\$0	\$0	\$4,025	\$4,025		2023
2024	\$7,503,300	\$3,500,000	\$8,200,000	\$22.77	\$47,809	\$85,000	\$0	\$132,809	\$85,000	\$103,250	(\$16,466)	\$128,784	\$128,784	\$3,771	\$7,796		2024
2025	\$11,003,300	\$3,500,000	\$11,700,000	\$22.77	\$107,001	\$85,000	\$20	\$192,021	\$170,000	\$99,000		\$188,250	\$188,250	\$2,721	\$10,517		2025
2026	\$14,503,300	\$900,000	\$12,600,000	\$22.77	\$186,682	\$85,000	\$39	\$271,721	\$235,000	\$90,500		\$325,500	\$325,500	\$917	\$11,434		2026
2027	\$15,403,300	\$700,000	\$13,300,000	\$22.77	\$266,364	\$60,000	\$53	\$326,417	\$205,000	\$78,750		\$283,750	\$283,750	\$3,161	\$14,595		2027
2028	\$16,103,300	\$3,100,000	\$16,400,000	\$22.77	\$286,854		\$57	\$286,911	\$230,000	\$68,500		\$298,500	\$298,500	\$4,363	\$18,957		2028
2029	\$19,203,300		\$16,400,000	\$22.77	\$302,790		\$73	\$302,863	\$265,000	\$57,000		\$322,000	\$322,000	\$51,460	\$70,417		2029
2030	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$95	\$373,460	\$275,000	\$46,400		\$321,400	\$321,400	\$52,317	\$122,734		2030
2031	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$352	\$373,717	\$285,000	\$35,400		\$320,400	\$320,400	\$53,579	\$176,313		2031
2032	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$614	\$373,979	\$295,000	\$24,000		\$319,000	\$319,000	\$55,246	\$231,559		2032
2033	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$882	\$374,246	\$305,000	\$12,200		\$317,200	\$317,200	\$57,323	\$288,882	Expenditures Recovered	2033
2034	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$1,158	\$374,523					\$0	\$374,809	\$663,691	Expenditures Recovered	2034
2035	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$1,444	\$374,809					\$0	\$376,683	\$1,040,375	Expenditures Recovered	2035
2036	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$3,318	\$376,683					\$0	\$378,567	\$1,418,941	Expenditures Recovered	2036
2037	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$5,202	\$378,567					\$0	\$380,460	\$1,799,401	Expenditures Recovered	2037
2038	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$7,095	\$380,460					\$0	\$382,362	\$2,181,763	Expenditures Recovered	2038
2039	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$8,997	\$382,362					\$0	\$384,274	\$2,566,037	Expenditures Recovered	2039
2040	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$10,909	\$384,274					\$0	\$386,195	\$2,952,232	Expenditures Recovered	2040
2041	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$12,830	\$386,195					\$0	\$388,126	\$3,340,358	Expenditures Recovered	2041
2042	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$14,761	\$388,126					\$0	\$390,067	\$3,730,424	Expenditures Recovered	2042
2043	\$19,203,300		\$16,400,000	\$22.77	\$373,365		\$16,702	\$390,067					\$0				2043
		\$16,400,000			\$6,424,609	\$315,000	\$84,600	\$6,824,209	\$2,390,000	\$825,500	(\$121,716)	\$3,093,784	\$3,093,784				

Type of TID: Mixed-Use
2022 TID Inception (4/26/2022)
2037 Final Year to Incur TIF Related Costs
2042 Maximum Legal Life of TID (20 Years)
2043 Final Tax Collection Year

(1) Per City estimates.
(2) May be preceded by Note Anticipation Note.

**City of Sturgeon Bay
TID #6 Project Plan & District Boundary**

**EXHIBIT B
CITY ATTORNEY OPINION**

**EXHIBIT C
TID #6 BOUNDARY LEGAL DESCRIPTION**

A tract of land located partly in the NE $\frac{1}{4}$ of the NW $\frac{1}{4}$ (Subdivision 9), partly in the SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ (Subdivision 16), partly in the NW $\frac{1}{4}$ of the NE $\frac{1}{4}$ (Subdivision 10) and partly in the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ (Subdivision 15) of Section 5, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin and described as follows;

Commencing at the North $\frac{1}{4}$ Corner of said Section 5, thence southerly along the $\frac{1}{4}$ section line 209.63 feet to the northwest corner of Lot 2 of Certified Survey No. 3180 recorded in Volume 19 of Certified Survey Maps, Page 247, thence along the boundary of said Lot 1 of CSM 3180 as follows; easterly 319 feet, and southerly 1107.31 to the intersection of the northwesterly right-of-way line of Egg Harbor Road, southwesterly along said right-of-way line 45.47 feet, northerly 248.84 feet, and westerly 284 feet to the intersection with the $\frac{1}{4}$ section line, thence southerly along the $\frac{1}{4}$ section line 72 feet +/- to the southeast corner of Lot 14 of Sunset Subdivision, thence westerly 150 feet to southwest corner of said Lot 14, thence southerly along the easterly right-of-way line of Bonnie View Drive 166' feet, thence westerly along the southerly line of Sunset Subdivision 203.45 feet to the southwest corner of Tract C of Certified Survey No. 512 recorded in Volume 3 of Certified Survey Maps, Page 11, thence northerly 124.08 feet to the southerly right-of-way line of Colorado Place, thence westerly along said right-of-way line 60 feet +/- to the intersection with the easterly line of Lot 10 of Sunset Subdivision extended, thence northerly 60 feet to the southeast corner of said Lot 10, thence northerly 150 feet to the northeast corner of said Lot 10, thence westerly along the northerly line of Sunset Subdivision 563.01 feet to the northwest corner of Lot 4 of Sunset Subdivision, thence along the boundary of said Lot 4 as follows; southerly 150 feet and easterly 80.43 feet to the southeast corner of said Lot 4, thence southerly 60 feet +/- to the northwest corner of Lot 21 of Sunset Subdivision, thence southerly 124.42 feet to the southwest corner of said Lot 21, thence easterly along the shared line between Sunset Subdivision and Cherry Hill Subdivision 466.15 feet to the northeast corner of Lot 9 of Cherry Hill Subdivision, thence along the boundary of said Lot 9 as follows; southerly 125.00 feet and southwesterly 159.70 feet to the southwest corner of said Lot 9, thence southerly along the easterly line of Cherry Court 133 feet +/- to the intersection with the northerly line of Lot 33 of Cherry Hill Subdivision extended, thence westerly 62 feet +/- to the northeast corner of said Lot 33, thence along the boundary of said Lot 33 as follows; westerly 147.63 feet, and southeasterly 72.62 feet to the northeast corner of Lot 32 of Cherry Hills Subdivision, thence westerly 115.00 feet to the northwest corner of said Lot 32, thence southerly and easterly along the right-of-way line of Cherry Court 134' +/- to the intersection with the westerly line of Lot 14 of

City of Sturgeon Bay
TID #6 Project Plan & District Boundary

Cherry Hill Subdivision extended, thence southerly 62 feet +/- to the northwest corner of said Lot 14, thence along the boundary of said Lot 14 as follows; southerly 119.99 feet, and northeasterly 139.15 feet, thence southeasterly 59.00 feet to the southwest corner of Lot 13 of Cherry Hill Subdivision, thence northeasterly 210.85 feet +/- to the northwest corner of Lot 2 of Certified Survey No. 3093 recorded in Volume 19 of Certified Survey Maps, Page 44, thence along the boundary of said Lot 2 as follows; southeasterly 150 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 37.33 feet, thence southeasterly 100 feet +/- to the northwest corner of Tract 1 of Certified Survey No. 481 recorded in Volume 2 of Certified Survey Maps, Page 387, thence along the boundary of said Lot 1 as follows; southeasterly 170.00 feet, northeasterly 166.80 feet, northwesterly 170.00 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, and southwesterly along said right-of-way line 114 feet +/-, thence northwesterly 100 feet +/- to the southeast corner of said Lot 2 of CSM #3093, thence northwesterly along the easterly line of said Lot 2 and the easterly line of Cherry Hill Subdivision 250.11 feet to the southwest corner of Lot 1 of Certified Survey No. 2993 recorded in Volume 18 of Certified Survey Maps, Page 154, thence along the boundary of said Lot 1 as follows: northeasterly 285.13 feet, thence southeasterly 250 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 355 feet +/- to the intersection with the easterly right-of-way line of North 12th Avenue extended, thence southeasterly along said easterly right-of-way line extended to the intersection with the southeasterly right-of-way line of Egg Harbor Road, thence southeasterly along the easterly right-of-way line of North 12th Avenue 748.96 feet to the northwest corner of Lot 1 of Certified Survey No. 549 recorded in Volume 3 of Certified Survey Maps, Page 89, thence easterly 245.99 feet to the northeast corner of said Lot 1, thence northerly 473 feet +/- to the southeast corner of Lot 1 of Certified Survey No. 3195 recorded in Volume 19 of Certified Survey Maps, Page 282, thence along the boundary of said Lot 1 as follows; northerly 241.5 feet, and easterly 331.75 feet to the intersection with the westerly right-of-way line of North 14th Avenue, thence northerly along said right-of-way line 187 feet, thence westerly 160.4 feet, thence southerly 157.13 feet to the intersection with the northerly line of said Lot 1 of CSM #3195, thence westerly along said northerly line 50.1 feet to the southeast corner of Lot 1 of Certified Survey No. 3529 recorded in Document No. 850606, thence along the boundary of said Lot 1 as follows; northerly 523.54 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, southwesterly along said right-of-way line 328.30 feet, southeasterly 329.14 feet to the intersection with the northerly line of aforementioned CSM #3195, thence westerly along said northerly line 191 feet +/- to the northeast corner of Outlot 1 of said CSM #3195, thence along the boundary of said Outlot 1 as

City of Sturgeon Bay
TID #6 Project Plan & District Boundary

follows; southerly 61.26, westerly 121.77 feet, and northerly 61.26 feet to the northwest corner of said Outlot 1, thence westerly along said northerly line of CSM #3195 158.27 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, thence northwesterly 102 feet +/- to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northerly 317.2 feet, thence easterly 100 feet, thence southerly 234.5 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 167.8 feet, thence northerly 233.4 feet, thence easterly 12.7 feet, thence northerly 150 feet, thence easterly 60.7 feet, thence northerly 681.3 feet to the intersection with the ¼ section line, thence westerly along the ¼ section line 637.8 feet to the point of commencement.

DISCLAIMER TEXT

Robert W. Baird & Co. Incorporated is providing this information to you for discussion purposes. The materials do not contemplate or relate to a future issuance of municipal securities. Baird is not recommending that you take any action, and this information is not intended to be regarded as "advice" within the meaning of Section 15B of the Securities Exchange Act of 1934 or the rules thereunder.



ADDENDUM

To: Plan Commission
From: Christopher Sullivan-Robinson
Date: Thursday, March 24, 2022
Subject: Preliminary / Final PUD for Cherry Point Investments, LLC

On February 16, 2022, a presentation and public hearing was held before the Commission. No decision was made at that time due to several items that needed to be addressed with the project designs. Attached is the revised site layout and a description of those changes below:

1. No agreement was made with Tall Pine Estates regarding the proposed street stub off of Egg Harbor Rd to serve both properties. The street stub / cul-de-sac have been removed from the site plan and redrawn as a separate driveway to connect to the existing curb cut off of Egg Harbor Rd.
2. The main driveway has been broken into two sections as discussed in the previous meeting. The southerly driveway will connect to Egg Harbor Rd and serve 48 apartment units. The northerly driveway will serve 20 apartment units and connect to the Alabama Place / 12th Place road connection. The Fire Chief has reviewed the new layout and doesn't have any major concerns; however, the north and south apartment groups will need separate names to limit access confusion in the event of an emergency.
3. Per the Commission direction, a 20 ft x 20 ft playground area is proposed in addition to the Gazebo to provide additional recreation space for the tenants. No specific items have been identified to go in that playground area. No additional green space has been added as the site is approximately 50 percent green space.
4. The final plan will utilize five 12-unit buildings and two 4-unit buildings with a total overall count of 68 units.
5. The City Engineer has reviewed the revised site plan and does not have any concerns with regard to the traffic flows in this area.
6. The waterflow analysis is in the process of being completed by Baudhuin Surveying and Engineering with coordination from the City Engineer. The final layout of stormwater management plan has been provided, which will require approval by the City Engineer with submittal of the final calculations.
7. The Alabama Pl / 12 Pl extension is shown with a 15-foot separation from the northerly residential properties. In addition, the road is designed to be sunken with a naturally formed berm along the north end.
8. Sturgeon Bay utilities have provided an alternative sewer and water layout, which will allow better access for hydrants and control closets. A draft of the plan has been provided and is under review. These revisions will have no affect on the layout of the project.
9. An evergreen vegetative line is shown between the main driveways and the west property line. A landscape plan is subject to review by the Aesthetic Design and Site Plan Review Board.

The staff report and recommendation has been updated with revised information to reflect the recent changes.

Executive Summary
Planned Unit Development – Cherry Point Investments
March 25, 2022

Proposal: Doreen Phillips representing Cherry Point Investments is petitioning the City to approve a Planned Unit Development to construct a 68-unit multi-family complex. The subject site includes two properties: 1048 Egg Harbor Road, which was recently agreed by the City to sell to the developer and 1116 Egg Harbor Rd except for the front portion. The project would include five 12-unit buildings and two 4-unit buildings.

The City has worked with this developer on two other approvals including the Maritime Heights Townhouses located on the former Amity Field and most recently additional townhomes on the former parking area for Sunset School. Their intent is to replicate that building design on this new site.

PUD Process: A Planned Unit Development (PUD) is a special type of overlay zoning which allows the creation of an ordinance using one of the general zoning districts as a baseline. The PUD ordinance can have specific requirements that fit the needs of the City and the proposed development. This developer was approved by the Plan Commission to use the combined preliminary / final review process which is a faster timeline and requires a more developed project plan. Following a presentation by the developer, the public hearing is held. The Commission makes a recommendation at the next meeting. However, a recommendation can also be made at the same meeting as the public hearing if all members agree to act.

Existing Conditions: 1048 Egg Harbor Rd is a long narrow commercially zoned (C-1) lot which is approximately (1.137 acres). There are no improvements on the lot but plenty of existing vegetation. The original house was demolished by the city last year. 1116 Egg Harbor Rd was formerly owned by the Peil family and includes a single-family dwelling and two accessory buildings off the Egg Harbor Rd frontage. The remainder of the property is undeveloped. The site is approximately (7.338 acres). This site has three zoning classifications including 1/3 General Commercial along the Egg Harbor Rd frontage, 1/3 Multiple-Residential (R-4) in the center, and 1/3 Single-Family Residential (R-1) in the back. The proposed development does not include the portion closest to the road, thus leaving the dwelling and one accessory building out of the proposed PUD.

The property to the west is zoned PUD and contains the Tall Pines Apartment Complex, except for a vacant parcel to the north of Tall Pines that is zoned R-1. To the east is General Commercial (C-1) including Packerland Chiropractor and Cherry Point Mall. To the south are several properties zoned Commercial including the former family video, Sure Store Storage facility and Virlee Gunworks. To the north are single family residences zoned R-1.

Comprehensive Zoning: The Future Land Use Map of the Sturgeon Bay Comprehensive plan designates this site for Planned Neighborhood.

The planned neighborhood future land use category is intended to provide for a variety of housing choices and a mix of non-residential uses such as parks, schools, religious

institutions, and small-scale shopping and service areas. They are really a collection of different land use categories listed in this chapter. Planned neighborhoods should be carefully designed as an integrated, interconnected mix of these use categories. They are by no means intended to justify an “anything goes” land use pattern. Overall, the composition and pattern of development should promote neighborhoods that instill a sense of community with their design.

The planned neighborhood concept encourages a mix of medium density single family residential, multi-family residential, public and institutional, parks and open space, and neighborhood mixed use categories. Senior housing, assisted living, and Community-Based Residential Facilities (CBRF) are also appropriate for these areas. Maintaining a minimum percentage of single-family residential uses has the effect of dispersing higher density development throughout the community and limiting the concentration of any one type of development in any one area. Appropriate non-residential uses include neighborhood-oriented shopping opportunities, such as a small grocery store and convenience store, bakery, or pharmacy; personal services such as barber shop or dentist office; smaller employment opportunities (usually located on the edges of these neighborhoods); and small-scale religious institutions and educational facilities (usually elementary schools) for area residents. Large areas of planned neighborhood area mapped at the edge of the City.

The proposal conforms to the intended future use of the site as defined in the Comp Plan and planning goals of the City. Housing availability is a huge concern within our community and continues effect the attraction of skilled workers and new families in our area.

Site Plan and Design Considerations: The following is a summary of the major site and design categories:

Building Layout: The layout includes five 12-unit and two 4-unit two-story townhouse buildings in a row from south to north. The 10-unit is the northern most building on the site. The buildings face the interior of the property with 3 double-sided 24-unit garages located in between. This forms three “pods”.

Access: there will be two access points for the property. A 20-foot driveway will be installed along the west property line which will serve the southerly 48 apartment units. The northerly 20 units will be served by a driveway along the west property line leading to the new Alabama PI / 12th PI roadway.

The developer intends to dedicate street right-of-way on the north end of the property allowing the City to connect North 12th Place to Alabama Place. The plan shows the main driveway would connect to that new street segment. The City is currently working on acquiring the adjoining property owned by the Dan Krueger, which is the other missing piece to making this connection. The exact location of the right-of-way needs to be finalized at a later date. It might be beneficial to shift it southerly to create a buffer from the property to the north, if desired by the neighboring property owners.

Executive Summary
Planned Unit Development – Cherry Point Investments
March 25, 2022

Density: The zoning code requires multiple family development to not exceed 12.4 units per acre (3500 ft² per dwelling unit). The exact density of the development will depend on how much property is converted to street right-of-way. The current plan shows approximately a density of 10.6 units per acre (4100 ft² per dwelling unit).

Building Design: The developer is utilizing the same building design as used on the Maritime Heights development. This is a 2-story townhouse with a cantilevered second floor and a standard pitched roof. The exterior will have horizontal vinyl siding and an asphalt shingle roof. Each unit will have a separate entry with a covered porch. A utility room will be located on one end of the building. Due to the grade change from west to east the building will "staircase" by dropping one foot in elevation every four units, thereby breaking up the long roof lines and walls.

The garage buildings are intended to match the maritime heights development. In your packet is an example of the previous design. This includes double loaded garage stalls with an attached garbage enclosure on the west end of the building. The exterior of the building will match the townhouses. The roofs will be two tiered to break up the long roof line.

Mix of Units: The unit mix will include 18 three-bedroom units and 50 two-bedroom units. As previously designed in the Maritime Heights project, the interior units would be the two-bedroom units and the end units are three-bedroom units with the exception of the 4-unit buildings which are all three-bedroom units.

Parking: Each townhouse building has a row of 18 - 19 outdoor parking stalls and a 12-unit row of garages in addition. They are proposing 114 outdoor spaces and 72 garage spaces (total 186 parking spaces). They are providing approximately 2.6 - 2.7 spaces per unit which more than meets the zoning codes off street parking requirements. In addition, they show the potential to add additional spaces the east of the garage buildings if needed.

Pedestrian Access: There will be sidewalks between the parking areas and the townhouses. A sidewalk is also proposed along the west property line along the driveway. If the cul-de-sac street is created, the City will want the sidewalk to extend around the cul-de-sac westerly to connect with the existing sidewalk.

Traffic: The City Engineer is not requiring a traffic study for this project. On the north end, the type of traffic controls will depend on the final design of the street. As currently shown, the proposed street connection would mainly produce more traffic from Bonnie view area and this residential development.

Utilities: The City will be looping sewer and water services with the new road connection which will eliminate the lift station at the dead end of Alabama. A revised utility layout has been provided per the comments from SBU and the Fire Chief. The new layout will have sewer and water mains extending down the driveway to serve all the buildings. This will

Executive Summary
Planned Unit Development – Cherry Point Investments
March 25, 2022

provide a better layout for utility access and fire hydrant layouts. Electric services will also extend off the west property line.

Stormwater Management: The final plan shows bio retention ponds on the east end of each pod. Several roof drain infiltration areas are also shown on the back yards of each townhouse. Before final stormwater management designs are approved an analysis must be completed which analyzes the water flows from Alabama Street through this site. A final Stormwater Management Plan will get reviewed by the City Engineer.

Landscaping: The developer will match the same design and types of plants that were approved for the Maritime Heights project. This includes landscape areas between the sidewalks and front of buildings. This will be planted with a variety of shrubs as shown on the site plan. Similar landscape areas will be located on either end of the parking areas. In addition, the developer is required to plan 20 canopy trees around the parking area which is shown on the site plan. Street trees are shown every 50 ft on either side of the proposed street connection to the north. A line of evergreens is shown along the west property line. A final landscape plan will get reviewed by the Aesthetic Design and Site Plan Review board

Lighting: The design board guidelines identify that lighting fixtures should be night sky friendly and generally contained within the site. A photometric plan has been provided by the developer which illustrates 70 wall mounted LED fixtures to be installed on the homes and garages. Based on the plan, there doesn't appear to be any conflict. This will also require approval by the Aesthetic Design and Site Plan Review Board

Signage: In general, wall signs and ground signs are allowed on this site. No signage plans have been provided and has no bearing on the ability to approve this project. Prior to any construction of new signage on this site, a sign permit is required and approval of a certificate of appropriateness from the Aesthetic Design and Site Plan Review board.

Fiscal Impact: The developer is required to pay a park and playground fee in the amount of 300.00 per residential unit created totaling 21,000.00. In addition, if TID #6 is created, then the tax revenue generated from the site would contribute to several public improvements planned within the area. The developer is not requesting financial assistance for construction, but if TID #6 is created, it is expected that public street improvements would be covered through the TID.

PUD Review Criteria: The Plan Commission and Council must consider whether the development is consistent with the spirit and intent of the City's ordinance, has been prepared with competent professional guidance, and produces benefits to the city compared to conventional development. In addition, there are specific criteria listed in the zoning code.

Recommendation: Staff recommends to approve the Combined Preliminary / Final PUD for Cherry Point Investments, LLC subject to the following conditions:

Executive Summary
Planned Unit Development – Cherry Point Investments
March 25, 2022

1. Completion of a Waterflow Analysis from Alabama Street throughout this site followed by approval of a final stormwater management plan.
2. Dedication of the necessary public right-of-way to complete the Alabama PI / 12th Place road connection, with exact location/dimension as determined by the City.
3. Approval of the final utility layout and providing the necessary easements for Sturgeon Bay Utilities for any public sanitary sewer or water mains, and electrical services.
4. Approval of final project designs by the Aesthetic Design and Site Plan Review Board.
5. Approval of a Certified Survey Map for the required property division.
6. Provide two separate names for the north and south group of apartments as requested by the Fire Chief.

Prepared by:  3-25-22
Christopher Sullivan-Robinson
City Planner/Zoning Administrator Date

Prepared by: _____
Marty Olejniczak
Community Development Director Date

Reviewed by: _____
Josh Van Lieshout
City Administrator Date

CITY OF STURGEON BAY PLANNED UNIT DEVELOPMENT APPLICATION

Date Received: _____
 Fee Paid \$ \$495 C220128 #4 cm
 Received By: _____

Application For: Conceptual ☒ Preliminary _____ Final _____ Combined Preliminary/Final ☒
 Note: There are different requirements for each of the above processes. A separate application is required for each.

NAME OF PROPOSED PLANNED UNIT DEVELOPMENT: Cherry Point Investments

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	<u>Doreen A. Phillips</u>	<u>Fire Lane Rentals</u>
Company	<u>Cherry Point Investments LLC</u>	
Street Address	<u>1634 Rustic Oaks Ct.</u>	
City/State/Zip	<u>Green Bay WI 54301</u>	
Daytime Telephone No.	<u>920-621-2800</u>	
Fax No.		

STREET ADDRESS(es) OF SUBJECT PROPERTY: 1116 Egg Harbor Rd
 Location if not assigned a common address: Sturgeon Bay WI 54235

TAX PARCEL NUMBER(s): 2816210000108

AREA OF SUBJECT PROPERTY AND NO. OF LOTS: 7.3 Acres

CURRENT ZONING CLASSIFICATION: R-4 - Multiple Family

CURRENT USE AND IMPROVEMENTS: 1 home, 2 outside storage
buildings in front - vacant land
in the rear.

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: REGIONAL COMMERCIAL
PLANNED NEIGHBORHOOD

WOULD APPROVAL OF THE PROPOSED PLANNED UNIT DEVELOPMENT CONFORM WITH THE
 COMPREHENSIVE PLAN? Yes ☒ No _____ Explain: there are 64
units next door

PLEASE IDENTIFY SPECIFIC PROPOSED LAND USES. USES MUST IDENTIFY AND CORRESPOND TO A PARTICULAR LOT, LOCATION, BUILDING, ETC.

to construct
60 town house rental units see site plan
from Baudhain Engineering.

CURRENT USE AND ZONING OF ADJACENT SURROUNDING PROPERTIES:

North: Vacant land zoned R-1

South: Commercial

East: Cherry Point Mall

West: Tall Pines 64 unit apartments

COMPREHENSIVE PLAN DESIGNATION OF ADJACENT SURROUNDING LAND USES:

North: Vacant land zoned R-1

South: Commercial

East: Cherry Point Mall

West: Tall Pines 64 units apartments - M-4

IS ANY VARIANCE FROM COMPREHENSIVE PLAN, SUBDIVISION ORDINANCE, OR ZONING ORDINANCE BEING REQUESTED? If yes, describe:

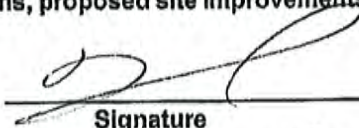
NO

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? IF YES, EXPLAIN:

N/A

Attach an 11" X 17" detailed site plan (If site plan is larger than 8-1/2" x 11", also include 20 copies folded to 8-1/2" X 11"), full legal description (preferably on disk), location map with site boundaries marked, proof of ownership, and Agreement for Reimbursement of expenses. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.

Doreen A. Phillips
Property Owner (Print Name)


Signature

11-15-2021
Date

Doreen A. Phillips
Applicant/Agent (Print Name)


Signature

11-15-2021
Date

I, _____, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

Date of review meeting

Applicant Signature

Staff Signature

Attachments:
Procedure & Check List
Agreement For Reimbursement of Expenses

STAFF USE ONLY

Application conditions of approval or denial:

Date

Community Development Director

NOTICE OF PUBLIC HEARING

The City of Sturgeon Bay Plan Commission will hold a public hearing in the Council Chambers at Sturgeon Bay City Hall, 421 Michigan Street, Sturgeon Bay, Wisconsin on February 16, 2021 at 6:00 p.m. or shortly thereafter in regard to a Planned Unit Development (PUD) zoning request from Cherry Point Investments LLC for a 70-unit multiple family residential development. The proposal includes five 12-unit buildings and one 10-unit building along with detached garage. The subject site includes parcel #281-62-10000106 at 1048 Egg Harbor Rd and the vacant rear portion of parcel #281-62-10000108 at 1116 Egg Harbor Rd. The PUD application and related material is on file with the Community Development Department and can be viewed weekdays between 8:00 a.m. and 4:30 p.m., or through the City website at www.sturgeonbaywi.org. The general public is invited to give testimony in-person at the public hearing or in writing. Written testimony can be mailed to City Hall attention Community Development Department or emailed to the Planner / Zoning Administrator at csullivan-robinson@sturgeonbaywi.org.

By order of:


City of Sturgeon Bay Plan Commission

Location Map

PUD - 70 Unit Multifamily Development

1048 & 1116 Egg Harbor Rd

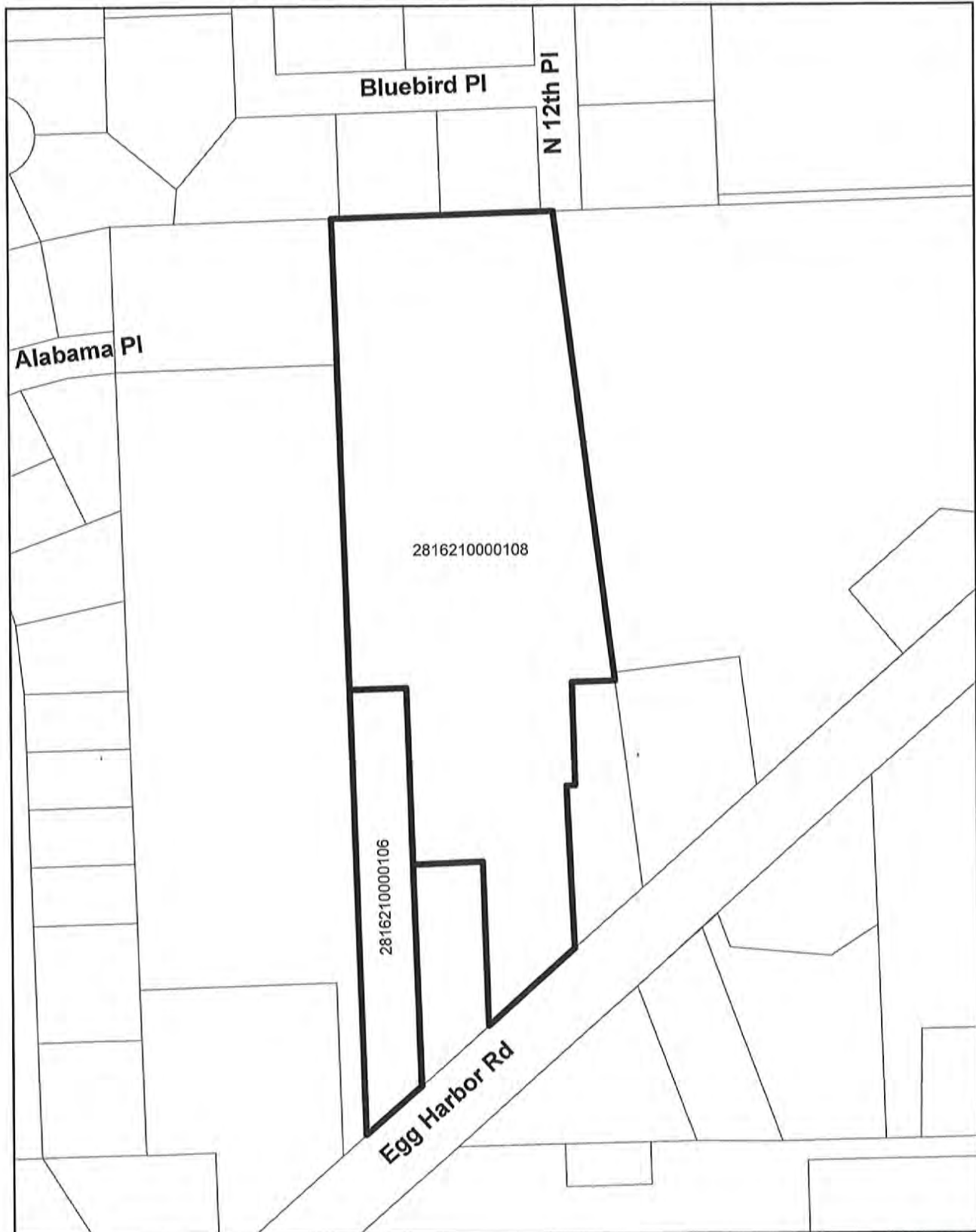



 Subject Property

NOTE: Public hearing to be held on February 16, 2022 @ 6:00pm or shortly thereafter.



Location Map
PUD - 70 Unit Multifamily Development
1048 & 1116 Egg Harbor Rd



 Subject Property

NOTE: Public hearing to be held on February 16, 2022 @ 6:00pm or shortly thereafter.



JOB NO. 25034
1-26-22

XSP Series

XSPW™ LED Wall Mount Luminaire featuring Cree TrueWhite® Technology

Rev. Date: VersionB V5 12/13/2021

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

Applications: General area and security lighting

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the USA by Cree Lighting from US and imported parts

Initial Delivered Lumens: Up to 8,475

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty¹: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

¹ See <https://creeledighting.com/warranty> for warranty terms

Accessories

Field-Installed

Beauty Plate

WM-PLT12** - 12" [305mm] Square

WM-PLT14** - 14" [356mm] Square

- Covers holes left by incumbent wall packs

Synapse® SimplySnap 10V Interface

DIM10-220F

- 120V-277V

- Requires other Synapse components to complete system

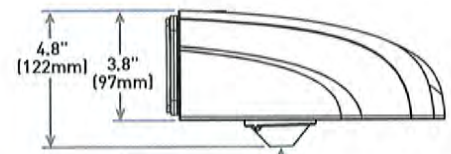
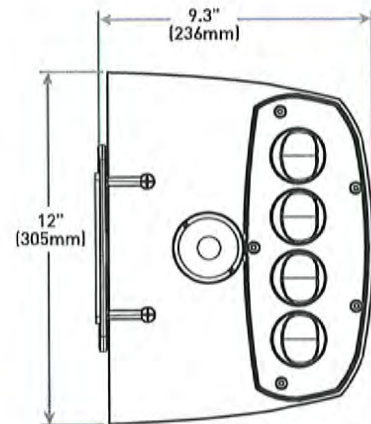
- Refer to [DIM10-220F](#) spec sheet for details

Hand-Held Remote

XA-SENSREM

- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

** Must specify color



Multi-Level Sensor location
(ordered as an option)

Lumen Package	Weight
2L, 4L, 6L	11.0 lbs. (5.0kg)
8L	11.8 lbs. (5.4kg)

Ordering Information

Example: XSPW-B-WM-2ME-2L-30K-UL-BK

XSPW	B	WM						
Product	Version	Mounting	Optic	Lumen Package*	CCT	Voltage	Color Options	Options
XSPW	B	WM Wall	2ME Type II Medium 3ME Type III Medium 4ME Type IV Medium	2L 2,490 lumens 4L 4,270 lumens 6L 6,100 lumens 8L 8,475 lumens	30K 3000K - 70 CRI 40K 4000K - 70 CRI 50K 5000K - 90 CRI 57K 5700K - 70 CRI	UL Universal 120-277V UH Universal 347-480V 34 347V - For use with P option only	BK Black BZ Bronze SV Silver WH White	ML Multi-Level - Refer to ML spec sheet for details - Available with UL voltage only P Button Photocell - Not available with ML or PML options - Available with UL and 34 voltages only PML Programmable Multi-Level - Refer to PML spec sheet for details - Available with UL voltage only

* Lumen Package selection codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values



CREE LIGHTING®

US: creeledighting.com (800) 236-6800

Canada: creeledighting-canada.com (800) 473-1234

XSPW™ LED Wall Mount Luminaire

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver
- Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" [5mm] screws [by others]
- Conduit entry from top, bottom, sides, and rear
- Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and bronze are available
- **Weight:** 2L, 4L, 6L – 11.0 lbs. [5.0kg]; 8L – 11.8 lbs. [5.4kg]

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV/5kA surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- **10V Source Current:** 0.15 mA
- Refer to [Dimming spec sheet](#) for details
- **Operating Temperature Range:** -40°C – +50°C [-40°F – +122°F]

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Designed for downlight applications only
- Enclosure rated IP66 per IEC 60598
- ANSI C136.2 10kV/5kA surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information
- DLC and DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*									
Lumen Package	CCT/CRI	System Watts	Efficacy	Total Current (A)					
		120-480V		120V	208V	240V	277V	347V	480V
2L	30K/70 CRI	20	125	0.17	0.10	0.08	0.07	0.06	0.05
	40K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
	50K/90 CRI	24	104	0.20	0.11	0.10	0.08	0.07	0.05
	57K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
4L	30K/70 CRI	33	129	0.28	0.16	0.14	0.13	0.10	0.07
	40K/70 CRI	31	138	0.27	0.15	0.13	0.12	0.09	0.07
	50K/90 CRI	40	107	0.34	0.20	0.17	0.16	0.12	0.09
	57K/70 CRI	31	138	0.26	0.15	0.13	0.12	0.09	0.07
6L	30K/70 CRI	51	120	0.43	0.25	0.22	0.19	0.14	0.11
	40K/70 CRI	47	130	0.40	0.23	0.20	0.18	0.14	0.10
	50K/90 CRI	60	102	0.51	0.29	0.25	0.23	0.17	0.13
	57K/70 CRI	47	130	0.40	0.23	0.20	0.17	0.14	0.10
8L	30K/70 CRI	77	110	0.65	0.38	0.32	0.28	0.22	0.16
	40K/70 CRI	72	118	0.61	0.35	0.31	0.27	0.21	0.15
	50K/90 CRI	78	89	0.66	0.37	0.33	0.29	0.22	0.16
	57K/70 CRI	71	119	0.60	0.35	0.30	0.26	0.20	0.15

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

XSPW Series Ambient Adjusted Lumen Maintenance Factors ¹					
Ambient	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C [41°F]	1.03	0.98	0.96	0.94	0.92
10°C [50°F]	1.03	0.98	0.96	0.94	0.92
15°C [59°F]	1.02	0.97	0.95	0.93	0.92
20°C [68°F]	1.01	0.96	0.95	0.93	0.91
25°C [77°F]	1.00	0.96	0.94	0.92	0.90
30°C [86°F]	0.99	0.95	0.93	0.91	0.89
35°C [95°F]	0.98	0.94	0.92	0.90	0.88
40°C [104°F]	0.97	0.93	0.91	0.89	0.87

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

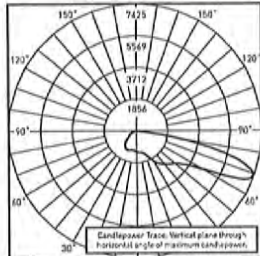
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

XSPW™ LED Wall Mount Luminaire

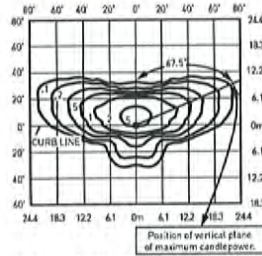
Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:
<http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall>

2ME



CESTL Test Report #: PL12798-001A
 XSPW-B-**-2ME-8L-40K-UL
 Initial Delivered Lumens: 8,622



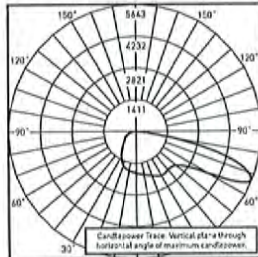
XSPW-B-**-2ME-8L-40K-UL
 Mounting Height: 15' (4.6) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type II Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

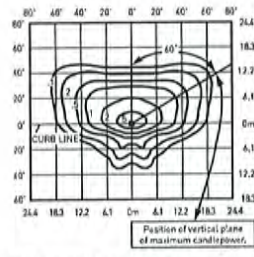
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

3ME



CESTL Test Report #: PL12366-007A
 XSPW-B-**-3ME-8L-40K-UL
 Initial Delivered Lumens: 8,543



XSPW-B-**-3ME-8L-40K-UL
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type III Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

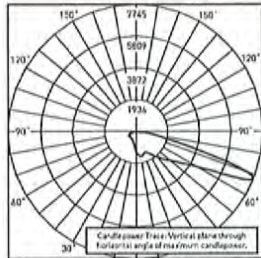
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XSPW™ LED Wall Mount Luminaire

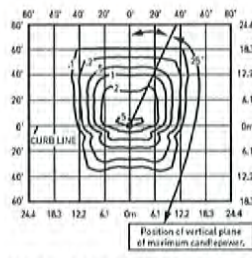
Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:
<http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall>

4ME



RESTL Test Report #: PL14415-001A
 XSPW-B-4ME-8L-40K-UL
 Initial Delivered Lumens: 8,763



XSPW-B-4ME-8L-40K-UL
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type IV Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B1 U0 G2	8,475	B1 U0 G2	6,925	B1 U0 G2	8,475	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

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US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

CREE  **LIGHTING**

A COMPANY OF IDEAL INDUSTRIES, INC.

Sullivan-Robinson, Christopher

From: Reinhardt, Stephanie
Sent: Friday, March 4, 2022 1:54 PM
To: Olejniczak, Marty; Sullivan-Robinson, Christopher; VanLieshout, Josh
Subject: FW: Cherry Point Investment property pedestrian considerations, etc.

Follow Up Flag: Follow up
Flag Status: Completed

From: Chesla Anschutz <canschutz99@att.net>
Sent: Friday, March 4, 2022 1:46 PM
To: SBMayor <sbmayor@sturgeonbaywi.org>; SBDistrict1 <sbdistrict1@sturgeonbaywi.org>; SBDistrict7 <sbdistrict7@sturgeonbaywi.org>; djkied@gmail.com; Debbie Kiedrowski <dkiedrowski@ctihospitality.com>; Mark Holey <mholey@sbcglobal.net>; Reinhardt, Stephanie <sreinhardt@sturgeonbaywi.org>
Cc: SBDistrict6 <sbdistrict6@sturgeonbaywi.org>; SBDistrict4 <sbdistrict4@sturgeonbaywi.org>
Subject: Cherry Point Investment property pedestrian considerations, etc.

Dear Plan Commission Members,

The Cherry Point Investment property will be soon coming again to the Plan Commission for discussion and consideration.

You received preliminary plans in your 2/16/22 Committee packet. The next meeting I believe is 3/30 although the City calendar still says it is 3/16(?). You have been given much to consider with this plan. But I wanted to reach out to you prior to your meeting to share a couple thoughts*.

Please give some thought to, if you were going to rent one of the apartments as to how the you the tenant will move around the neighborhood. Included with this email is the layout of the proposed buildings for your use. These apartments are well within walking distance of Cherry Point Mall businesses, McDonalds, Apple Valley Lanes, Associated Bank, Econo Foods, Walmart, CVS Pharmacy, Great Clips, ADRC, etc.. So in the spirit of promoting walking as the better form of transportation for health and the environment (and our City), there needs to be access points for pedestrians to the property other than the driveways in and out. Keep in mind that when predicting pedestrian flow, you need to think like deer in the woods. Pedestrians behave much like deer. Deer paths are most efficient and they won't follow the driveway to Egg Harbor Road to the sidewalk, to proceed to the above mentioned businesses. I'd like to recommend that the developer provide planned designated paths or sidewalks, leading to and from the apartments to the east property line (or west property line of the Cherry Point Mall) for the purpose of truly serving people of all ages and abilities, minimizing noise and air pollution, and fostering a great sense of community.

Now continuing on the subject of noise and air pollution - we the USA has rejoined the Paris Climate Accord and knowing our new administration is working admirably towards a goal of half of the new cars sold in the United States being zero emission by 2030. Offering Americans tax incentives for EVs that have significant emissions benefits, reducing harmful air pollution... So don't we as a City have an obligation to do our part? You, the Plan Commission, have the authority in the planning

requirements not only this development, but ALL that come before Commission to make it mandatory for them to provide EV charging stations. Now is a good time to start. Please don't wait.

Finally, at the 2/16/22 meeting it was stated that staff was in discussion with the owners of Tall Pines Apartments (Sarah and Brian Bonovich) about the possibility of shared driveway and culdesac. Currently the school bus picks up the children from Tall Pines at the end of the driveway on Egg Harbor Rd. With the added increase of children from Cherry Point Investments apartments (Doreen Phillips) having the school bus pull in and pick up children and turn around in the culdesac is a much safer location for the children. This may be a good negotiation point and mutual incentive the two parties may agree on.

Respectfully submitted,
Chesla Seely-Anschutz
Sturgeon Bay, WI 54235

*All input/thoughts propounded in this email are submitted just in case you have not already considered them.



CURRENT ZONING OF SUBJECT PARCELS
IS R-1, R-2, AND C-1.

PROPOSED ZONING OF SUBJECT PARCELS
IS R-1 R-2.

PROPOSED OUTDOOR PARKING SPACES
= 114. PROPOSED COVERED PARKING
SPACES = 72 (186 TOTAL).

CONSTRUCTION SEQUENCE:
TO CHIEF BUILDING, NORTHWARD 12 UNIT
BUILDING AND ASSOCIATED GARAGES IN
SPRING 2022.

CENTRAL 12 UNIT BUILDINGS
AND ASSOCIATED GARAGES -
SPRING 2011

SOUTHWEST 12 UNIT BUILDINGS
AND ASSOCIATED GARAGES -
SPRING, 2004

SEE STARTS

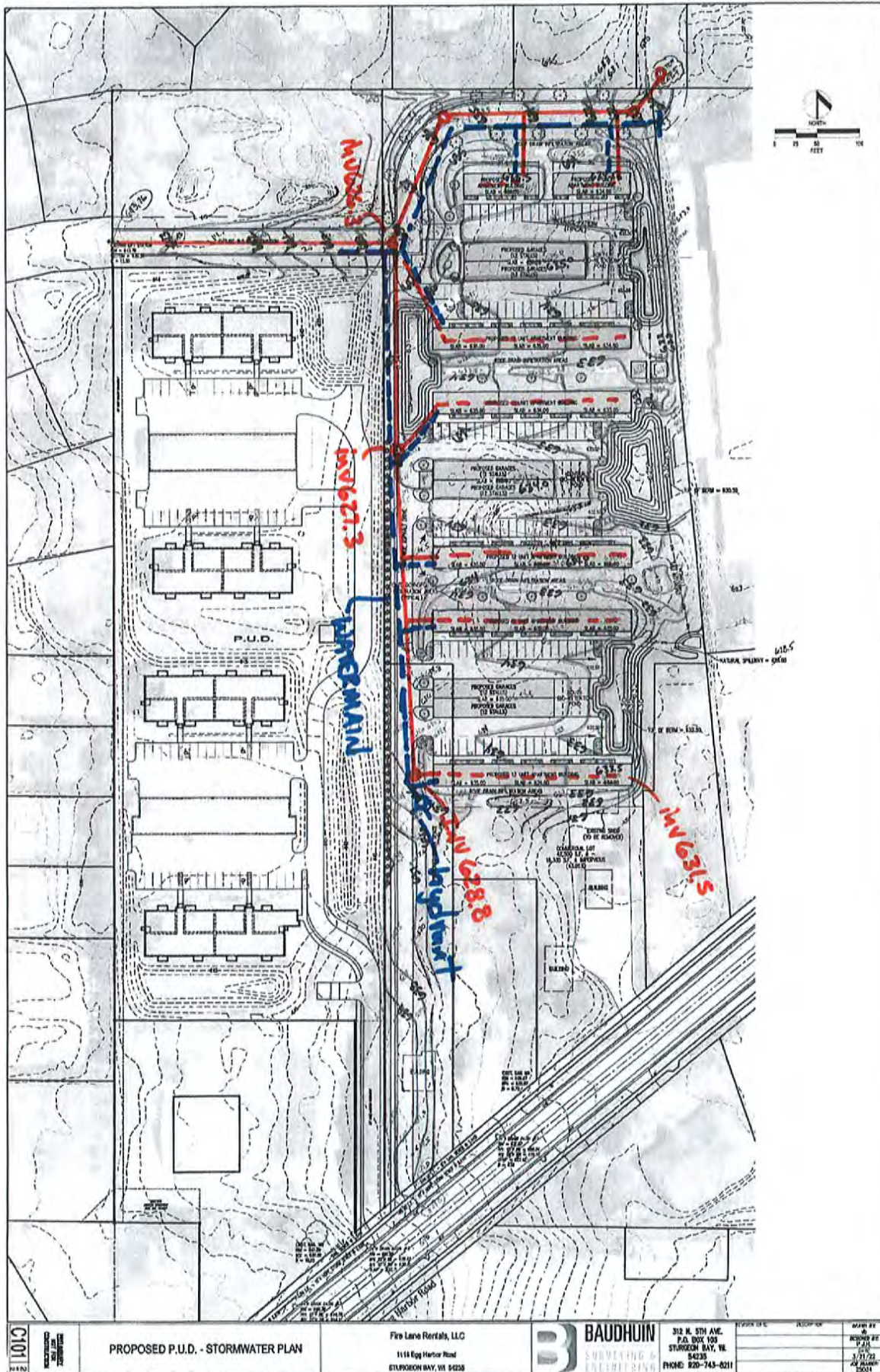
AREA OF PAPER	=	359,200 S.F. ±
AREA OF PROPOSED IMPERVIOUS SURFACE	=	137,700 S.F. ±
PER CENT IMPERVIOUS	=	38.47%

LANDSCAPE BEDS SHOWN TO BE PLANTED WITH
A MIXTURE OF THE FOLLOWING:

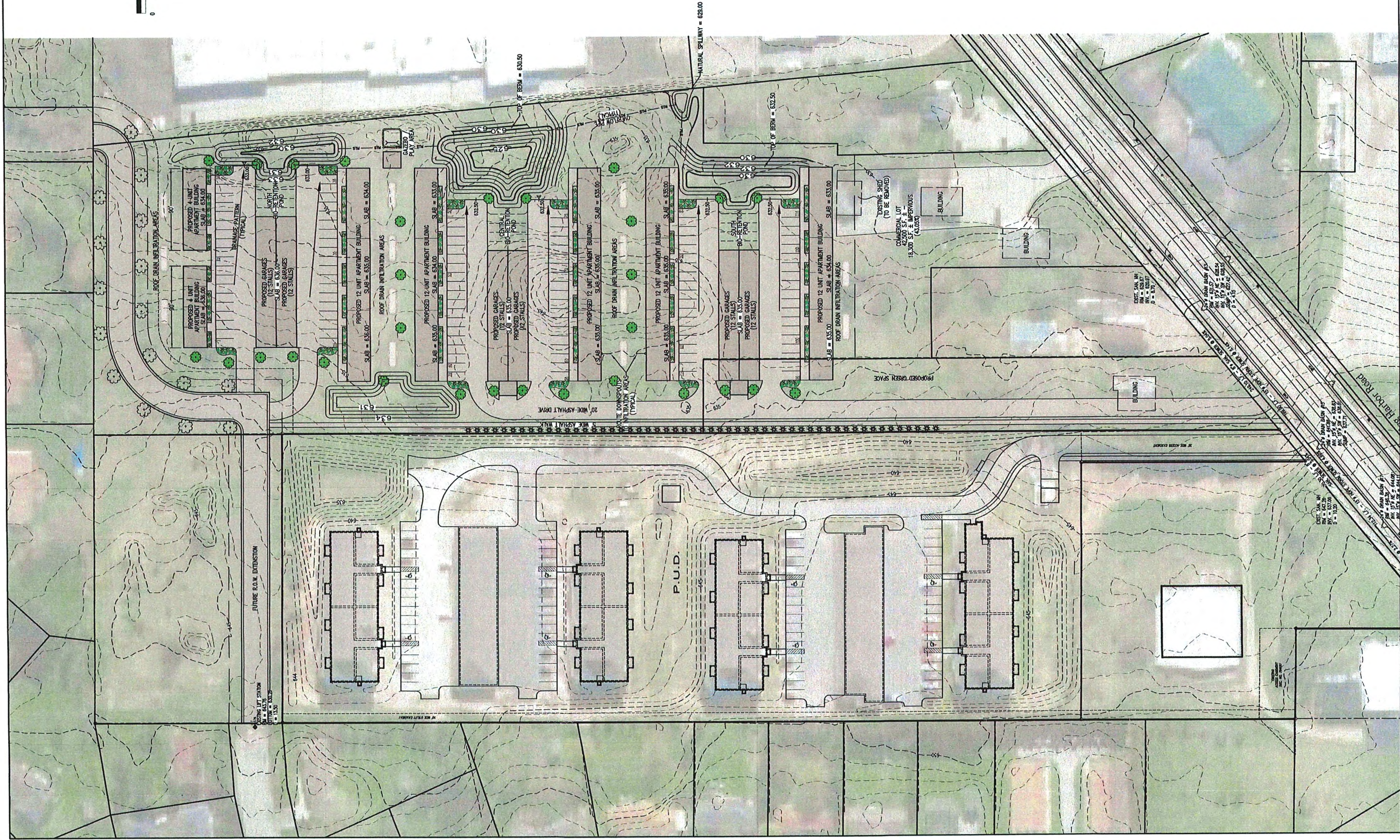
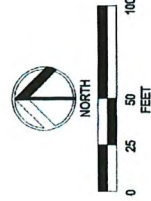
- A VARIETY OF THE FOLLOWING:
- MISS ION LUNG
 - WINE AND ROSE NIGELLA
 - STONE BUBBLING BUSH
 - SEA, GREEN JEWELRY
 - CAMELO KONGKARK
 - DARTLEY
 - KONGKOUT ROSE
 - JAPANESE NEW

ALL OF THE ABOVE TO BE PLACED UNDER THE
DISCRETION TO MAINTAIN COMPLIANCE WITH CITY
OF STURGEON BAY CODE.

ALL LANDSCAPE BEING TO BE EITHER LANDSCAPE
STONE OR MATCH OVER WITH BARRIER (UNLESS
OTHERWISE NOTED).



Alternate plan for utilities - Draft



PRELIMINARY
NOT FOR
CONSTRUCTION

C101

2

PROPOSED P.U.D. - STORMWATER PLAN

Fire Lane Rentals, LLC
1116 Egg Harbor Road
STURGEON BAY, WI 54235

BAUDHUIN
SURVEYING &
ENGINEERING

312 N. 5TH AVE.
P.O. BOX 105
STURGEON BAY, WI.
54235
PHONE: 920-743-8211

REVISION DATE: DESCRIPTION: DRAWN BY: NO. DESIGNED BY: P.L.H. 3/22/22 JOB NUMBER: 25034



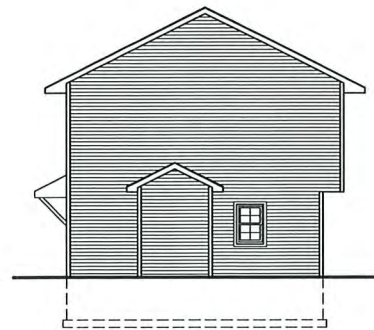
12 UNIT CONCEPTUAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"



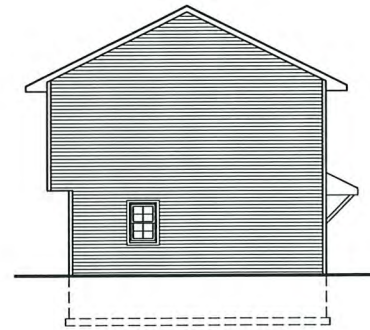
12 UNIT CONCEPTUAL BACK ELEVATION

SCALE: 1/8" = 1'-0"



12 UNIT CONCEPTUAL SIDE ELEVATION

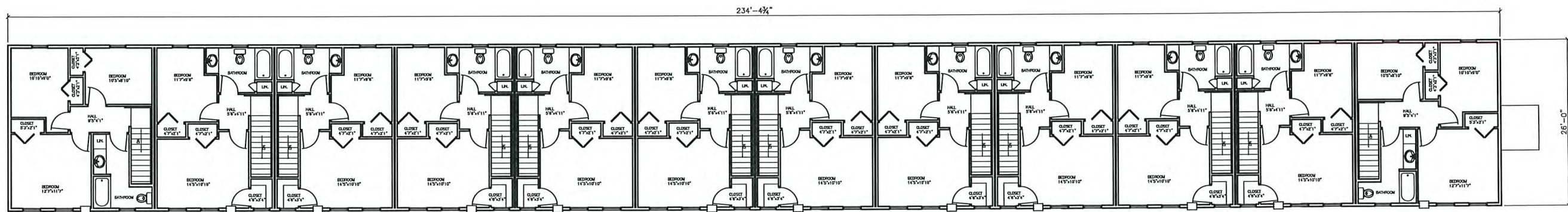
SCALE: 1/8" = 1'-0"



12 UNIT CONCEPTUAL SIDE ELEVATION

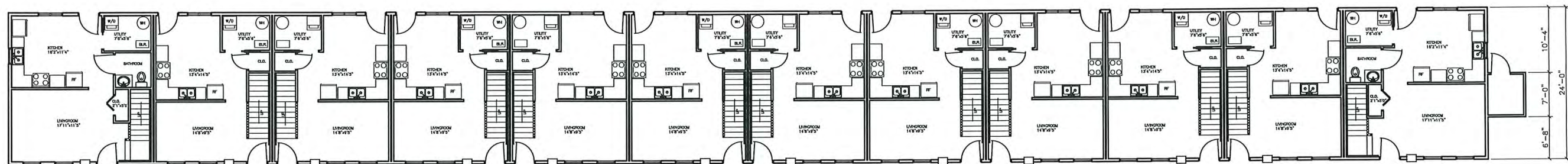
SCALE: 1/8" = 1'-0"

DATE:	NOTE:
3	THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
JOB:	
SHEET:	
<p>NEW 12 UNIT TOWNHOMES FOR: MARITIME HEIGHTS STURGEON BAY, WISCONSIN</p> <p>LLOYD CARPENTER-ARCHITECT, LLC 2663 MAPLE HILLS DRIVE, GREEN BAY, WI. 54313 CELL (920) 655-3829 CARPARCH@GMAIL.COM</p>	
<p>2</p>	



CONCEPTUAL SECOND FLOOR 12 UNIT

SCALE: 1/8" = 1'-0"



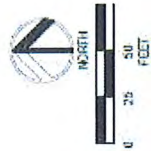
CONCEPTUAL FIRST FLOOR 12 UNIT

SCALE: 1/8" = 1'-0"

DATE: _____
 FILE: 3
 JOB: _____
 SHEET: 1

NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

NEW 12 UNIT TOWNHOMES FOR:
 MARITIME HEIGHTS
 STURGEON BAY, WISCONSIN
 LLOYD CARPENTER-ARCHITECT, LLC
 2663 MAPLE DRIVE, GREEN BAY, WI. 54313
 CELL (920) 655-3829
 CARPARCH@GMAIL.COM



NOTE:
CURRENT ZONING OF SUBJECT
IS R-4 AND C-1.

SITE STATISTICS:
AREA OF PARCEL:
AREA OF IMPROVED
PERCENT IMPROVEMENTS:
PER CENT IMPROVEMENTS:

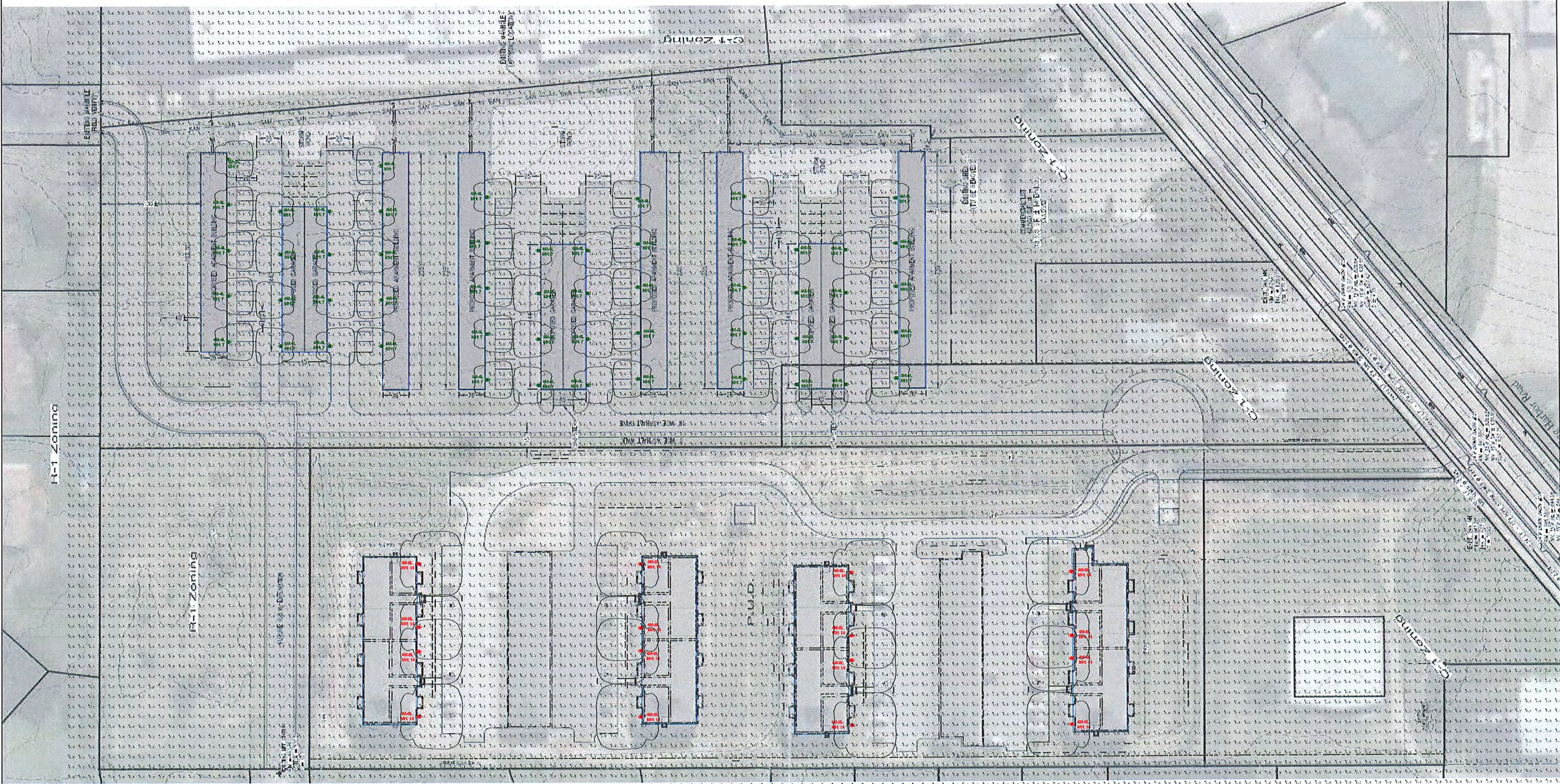
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	16	4M-8L	SINGLE	1.000	8475	77	XSPW-B-WM-4ME-8L-30K-UL-__
	54	4M-4L	SINGLE	1.000	4270	33	XSPW-B-WM-4ME-4L-30K-UL-__

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.34	14.1	0.0	N.A.	N.A.

*** Iso-Line Represents 0.5FC ***

Additional Equipment:

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



CREE LIGHTING

A COMPANY OF **IDEAL INDUSTRIES, INC.**
9201 Washington Ave, Racine, WI 53406 https://creeighting.com - (609) 236-6800

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with Luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Cherry Point - 1116 Egg Harbor Road STURGEON BAY, WI - EXT

Case #: 00468221

Footcandles calculated at grade

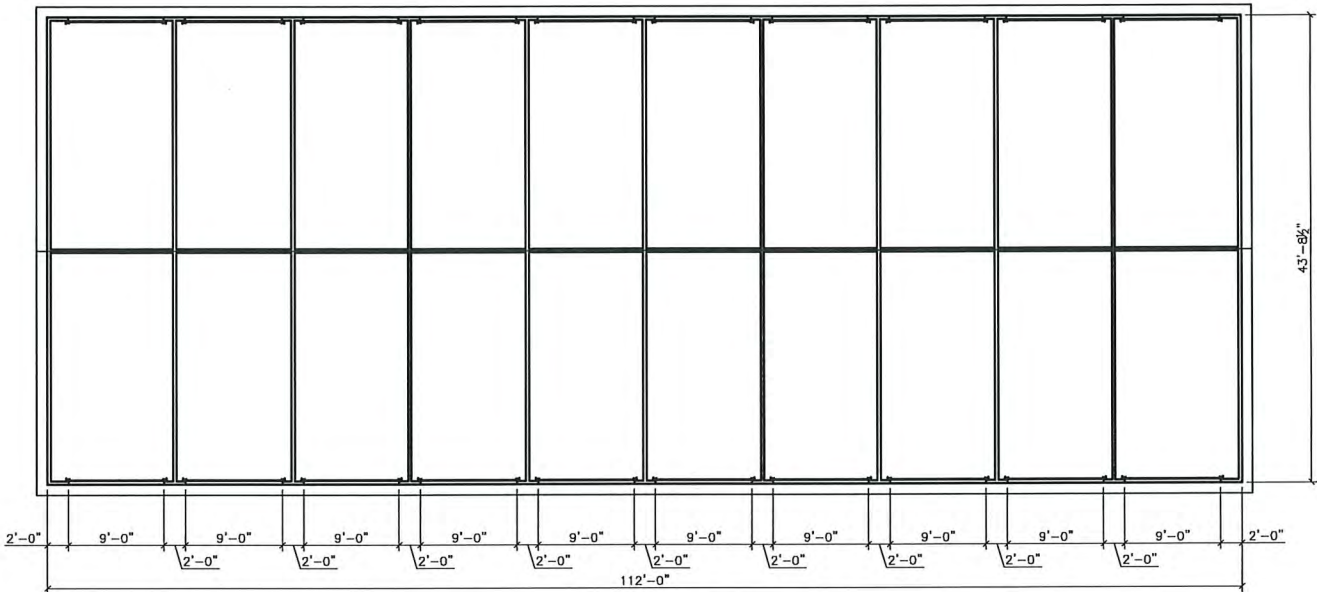
Filename: 211222CP1CJW.AGI

Layout By:
Collin Witherow

Date: 12/22/2021

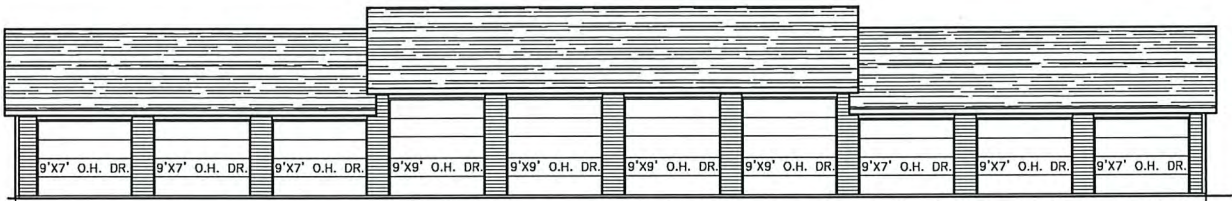
Scale 1" = 50'





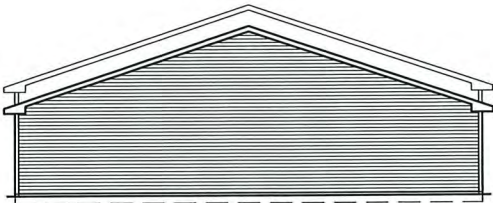
10 STALL CONCEPTUAL FLOOR PLAN

SCALE: 1/8" = 1'-0"



10 STALL CONCEPTUAL FRONT & BACK ELEVATION

SCALE: 1/8" = 1'-0"



10 STALL CONCEPTUAL SIDE ELEVATION

SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

PROPOSED TOWNHOMES FOR:

DOREEN A. PHILLIPS

CITY,

WISCONSIN

ISSUE NO	REVISIONS	ISSUE DATE

JOB NUMBER	2017013
DRAWN BY	GSH
ISSUE DATE	3/10/18
SHEET	4

Executive Summary
Final PUD – SCS Sunset Estates
March 24, 2022

9

Proposal: S.C. Swiderski, LLC is petitioning the City to approve a Planned Unit Development (PUD) for a 26-unit apartment project. The subject site is located at 827 N 8th Ave; parcel # 281-62-05000208, which is currently contains Sunset Elementary School. The project consists of two 8-unit buildings, a 6-unit building and a 4-unit building. All units will have an attached garage.

Last year, the City worked cooperatively with the Sturgeon Bay School District in issuing a Request for Proposal (RFP) for both of the Sunset School parcels. Phillips Development LLC was chosen for the school parking lot south of Erie St, and the City Council chose to work with S.C. Swiderski, LLC on developing the main school site.

PUD Required: Planned Unit Developments are special zoning districts in which the allowed uses and district requirements are unique to, and based upon, the specific development proposal. PUD's allow for flexibility of development requirements, but also require a greater degree of scrutiny by the City prior to approval. Section 20.24 of the Zoning Chapter requires that this development proposal be approved via the PUD process since the number of residential units exceed 24 total units and since the existing zoning classification would not allow for multiple-family residential. No deviations of the general zoning code have been requested. During the Preliminary review process a public hearing is to occur which was held on February 16, 2022. Council also approved the preliminary plan on March 1, 2022. The on items that needed to be addressed for the final project plan were per the staff comments included the garage design, visitors parking area and driveways off of 8th Ave.

Existing Conditions: The subject site is zoned Single Family Residential (R-2) and contains 2.762 acres of land. The property fronts on Delaware St, N 8th Ave, and Erie St. Portions of the street frontage are designated as no parking allowed due to school bus loading zones. The site contains the existing Sunset School Building and a playground area. There are also several small accessory buildings and a chain-link fence surrounding the back half of the property.

The property is surrounding by Single-Family dwellings on all sides except for the VFW clubhouse to the north and multi-family dwellings toward the southwest. The zoning is R-2 on three side with PUD and Multiple-Family Residential (R-4) toward the south.

Comprehensive Plan: The Comprehensive Plan's Future Land Use Map identifies this site for Higher Density Residential Use. The Comp Plan describes this category" as *intended for a variety of residential units but ins primarily comprised of multi-family housing (3+ unit buildings), usually developed at a density of 12.4 units per acre*". Either an R-3 or R-4 zoning district would be the most applicable. The City recognizes that there is a housing shortage within City and County areas based on housing studies and Employer and Citizen feedback. The city should continue to pursue and support housing developments of all types address shortages and the needs of everyone.

Site Plan and Design Considerations: The following is a summary of the major site and design issues:

Proposed Use: The project consists of a total of 26 apartments units contained in 4 buildings. The underlying zoning as part of the PUD Ordinance would be R-4 which matches the proposed development.

Executive Summary
Final PUD – SCS Sunset Estates
March 24, 2022

Building Layout: All buildings will face toward 8th Ave. The 4-unit and 6-unit building will be located closer to the street with the two 8-unit buildings closer to the rear lot line.

Density: The zoning code requires a minimum 12.4 units per acre (3500 square-feet per unit) At 26 units the density is 4,267 square feet per unit. The proposed density complies with the zoning code.

Building Design: There are two different building design including the Bedford and the Huntington. The Bedford is a single-story building with pitched roofs and garages attached to the front. Each dwelling unit has separated entries. The exterior is primarily a horizontal siding with stone accent around the base. The Bedford design is intended to blend with the ranch homes across the street. The Huntington has more of a traditional multi-family townhouse design. These are two-story buildings with pitched roofs and attached garage. Each dwelling has separate entries. Dormers are provided over the entries with shake shingles on the gable end. The building is sided with a combination of horizontal siding and a brick around the base of the building. Balconies are provided on the upper floor. 8' x 6' covered patios are provided on the back.

Mix of Units: The Huntington buildings have a total of 16 two-bedroom units. The Bedford buildings include a total of 6 two-bedroom units and 4 three-bedroom units.

Parking: The zoning code requires 46 parking stalls. The site plan identifies 32 off street parking spaces and 28 garage stalls for 60 total spaces. Off-street parking quantities are met. The Bedford buildings will be accessed with separate driveways to 8th Ave. The Huntington buildings are accessed by a continuous driveway between Delaware and Erie Streets. There are no concerns with that access.

Pedestrian Access: Public sidewalks are located on all street frontages. A new sidewalk will connect the Huntington parking area to 8th Avenue.

Traffic: The City Engineer is not requiring a traffic study for this project. No significant changes to the surrounding streets or traffic pattern are anticipated or planned.

Utilities: The current plan shows sanitary sewer will be extended off of the existing main in Delaware Street. Water is extended off of the main in N 8th Ave. Electrical surfaces is already located on site. SBU has noted that all existing sanitary and sewer and water laterals on 8th will need to be abandoned at the mains. Existing sanitary sewer manholes on Delaware will need to be replaced with a "Y" pattern flow-line manhole. The proposed fire hydrant and control valve will need to be located closer to the proposed water main and meet the needs of the Fire Department. The 2" copper water laterals need to be "direct tapped" on the D.I. water main, not connected by a saddle. The 2" copper water laterals also need curb stop valves and curb box assemblies added near the main.

SBU has reviewed the plan and believes there is an alternative means of providing sewer and water service to the buildings that will reduce the amount of network shown on the Plan. In addition, the Fire Chief has identified that no hydrant needs to be provided internally as there are several hydrants around the property that will be utilized.

Stormwater Management: A stormwater management plan is required for this site. A final design has been provided to the City Engineer. This plan utilizes underground storage tank versus typical

Executive Summary
Final PUD – SCS Sunset Estates
March 24, 2022

bioswale / storm pond area. A network of storm pipes will be located under the parking areas and by the building downspouts with a spillway located on the northwest corner of the property. A final design is subject to final approval by the City Engineer.

Landscape Design: All existing plants and trees will be removed from the site. The proposed landscape plan shows several groupings of evergreens along the west lot line. There are a couple groupings of evergreens, maple trees and couple of other deciduous trees along the south lot line. There will be a few other trees planted in between the buildings. The Bedford's will have landscaped areas with various shrubs by the entry ways in the front and on all other sides of the building. The Huntington's will have landscaped areas on the back and sides since the front is all paved. To soften the front planters could be established between the garage doors and entrance or small landscape beds installed instead. Per the zoning code, 6 canopy trees are required within 10 feet of the Huntington parking areas. This could be met by shifting or adding trees unless a deviation from the code is approved through the PUD. In addition, approximately 20 trees are required along the street frontages, based on 1 tree per 50 feet of street frontage. The Erie Street frontage has no tree terrace due to the wide sidewalk used for unloading students. This frontage should be restored to a standard residential look with 5-foot sidewalk and terrace lawn either by the developer or through the tax increment district.

Signage: The project includes two ground signs - one facing Delaware St and another on Erie St. Each is shown with a decorative base and landscaping. The sign designs and locations will require sign permits and review by the Aesthetic Design and Site Plan Review Board prior to start of construction.

Lighting: The lighting plans have been submitted which include 48 wall lanterns and 26 surface mounted disk lights. No free-standing lights are proposed. Lighting will get reviewed by the Aesthetic Design and Site Plan Review Board. In general, all lighting should be designed to be night sky friendly and contained within the site. This is accomplished with downward directed light fixtures and shielding if necessary. Based on the proposal this should comply.

Other Considerations:

1. A proposed fence is planned to be installed along the west lot line behind the proposed evergreen trees. It will be 6 feet tall and made from 1 x 6 Cedar Boards.
2. A proposed garbage enclosure is proposed near the south entrance off of Erie Street. Some vegetative screen is provided around the location.
3. A proposed mailbox structure will be located near the center of the property off of the rear parking area.
4. The developer intends to install a community garden in the center of the property as an amenity.
5. The visitors parking area has been converted into a patio space for the tenants.

PUD Review Criteria: The Plan Commission and Council must consider whether the development is consistent with the spirit and intent of the City's ordinance, has been prepared

Executive Summary
Final PUD – SCS Sunset Estates
March 24, 2022


with competent professional guidance, and produces benefits to the city compared to conventional development. In addition, there are specific criteria listed in the zoning code.

Fiscal Impact: This project will have to contribute \$300.00 per residential unit totaling \$7800.00, which goes toward the Park and Playground Fund. In addition, the taxes generated from the minimum \$2,500,000 project will contribute to the recently created TID #5 which will ultimately pay for several public improvements planned for this area, including street repairs, playground equipment, and neighborhood fix-up. The developer will receive financial incentive of \$7,700 for each unit upon completion.

Recommendation: City Staff recommends approval of the Final PUD subject to:

1. The developer must provide a revised utility plan that meet the requirements of Sturgeon Bay Utilities and the Fire Department.
2. Approval of a Certificate of Appropriateness by the Aesthetic Design and Site Plan Review Board.
3. Approval of a final stormwater management plan by the City Engineer.

Prepared by: _____


Christopher Sullivan-Robinson
Planner / Zoning Administrator

3-25-22
Date

Reviewed by: _____

Marty Olejniczak
Community Development Director

Date

Reviewed by: _____

Josh Van Lieshout
City Administrator

Date

CITY OF STURGEON BAY PLANNED UNIT DEVELOPMENT APPLICATION

Date Received: _____
Fee Paid \$ _____
Received By: _____

Application For: Conceptual ___ Preliminary ___ Final ___ Combined Preliminary/Final X
 Note: There are different requirements for each of the above processes. A separate application is required for each.

NAME OF PROPOSED PLANNED UNIT DEVELOPMENT: _____

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	Jacqui McElroy	S.C. Swiderski, LLC as of 1/28/22
Company	S.C. Swiderski, LLC	
Street Address	401 Ranger St.	
City/State/Zip	Mosinee, WI 54455	
Daytime Telephone No.	715-693-7838	
Fax No.		

STREET ADDRESS(s) OF SUBJECT PROPERTY: 827 N. 8th Avenue, Sturgeon Bay, WI
 Location if not assigned a common address: _____

TAX PARCEL NUMBER(s): 281-6205000208

AREA OF SUBJECT PROPERTY AND NO. OF LOTS: 2.762 Acres; 1 Lot

CURRENT ZONING CLASSIFICATION: R-2 Single-Family

CURRENT USE AND IMPROVEMENTS: Former school facility including building, parking lot, and playground

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: higher density residential

WOULD APPROVAL OF THE PROPOSED PLANNED UNIT DEVELOPMENT CONFORM WITH THE COMPREHENSIVE PLAN? Yes X No _____ Explain: Complies with future land use map and city's goal of providing high quality, affordable housing with a variety of options. This is a re-development of the Sunset Elementary School.

PLEASE IDENTIFY SPECIFIC PROPOSED LAND USES. USES MUST IDENTIFY AND CORRESPOND TO A PARTICULAR LOT, LOCATION, BUILDING, ETC. multi-family development consisting of apartments on 2.76 acres of land with 4 apartment buildings, 1 mail building, 1 trash receptacle, and 2 monument signs. 22, 2-bedroom units and 4, 3-bedroom units.. There will also be a rain garden amenity for tenants' use.

CURRENT USE AND ZONING OF ADJACENT SURROUNDING PROPERTIES:

North: R-2 Single-family dwelling

South: PUD/R4 multi-family dwelling

East: R-2 Single-family dwelling

West: R-2 Single-family dwelling

COMPREHENSIVE PLAN DESIGNATION OF ADJACENT SURROUNDING LAND USES:

North: Medium density residential

South: higher density residential

East: Lower density residential

West: Medium density residential

IS ANY VARIANCE FROM COMPREHENSIVE PLAN, SUBDIVISION ORDINANCE, OR ZONING ORDINANCE BEING REQUESTED? If yes, describe:
not at this time.

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? N IF YES, EXPLAIN: _____

Attach an 11" X 17" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 20 copies folded to 8-1/2" X 11"), full legal description (preferably on disk), location map with site boundaries marked, proof of ownership, and Agreement for Reimbursement of expenses. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.

S.C. Swiderski, LLC
Property Owner (Print Name)

J. McElroy
Signature Jacquie McElroy

1/26/22
Date

Jacqui McElroy
Applicant/Agent (Print Name)

J. McElroy
Signature Jacquie McElroy

1/26/22
Date

I, _____, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

Date of review meeting

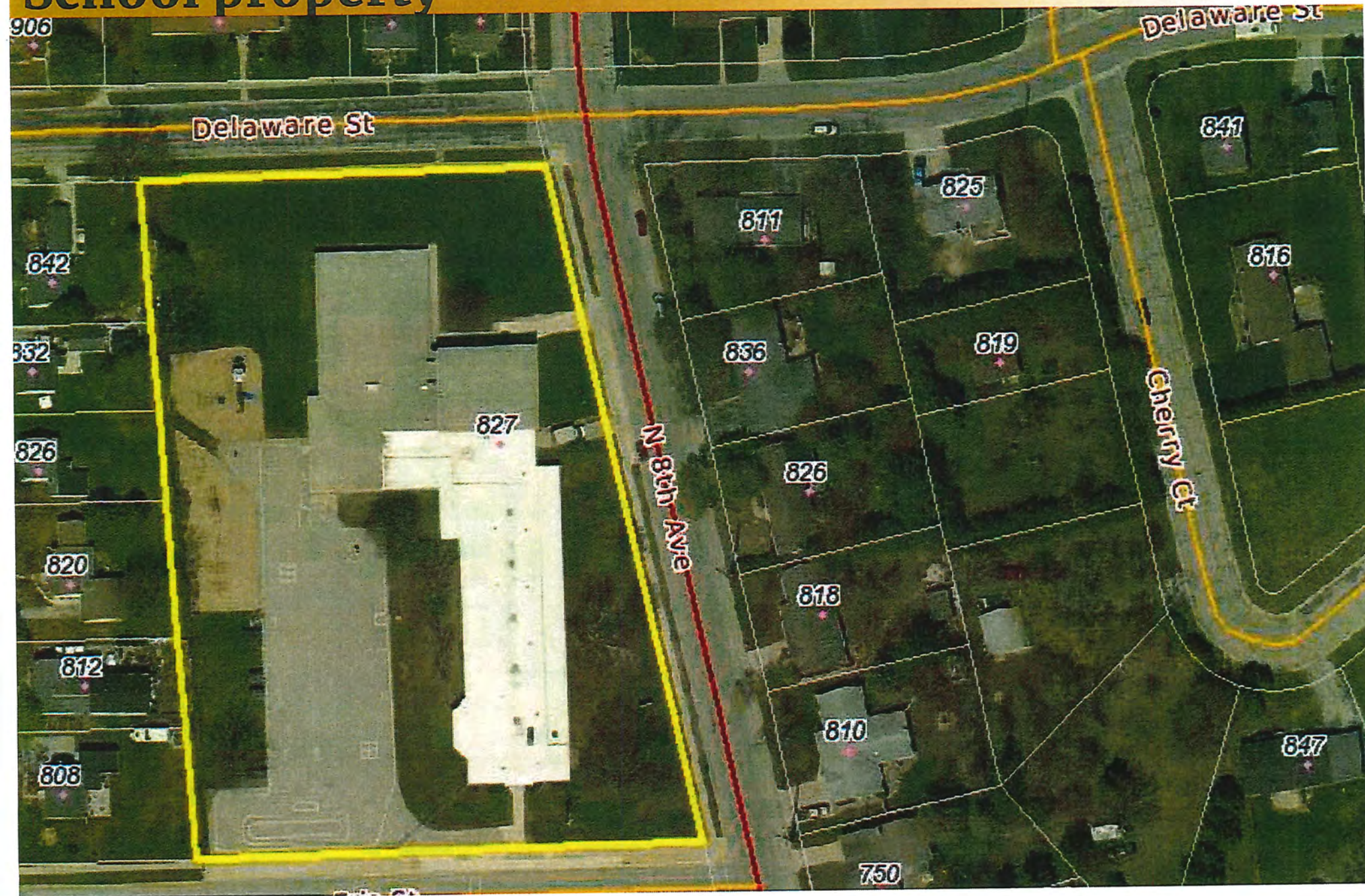
Applicant Signature

Staff Signature

SCS Sunset Estates



Location: ReDevelopment of Sunset Estates School property



CONFIDENTIAL

SETBACK, TIP

**EXPOSED
TO IT MEANS
FOR A DEAD
FIGHT**

1. **Introduction**
 2. **Methodology**
 3. **Results**
 4. **Discussion**
 5. **Conclusion**
 6. **References**
 7. **Appendix**
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 214. **Figure 205**
 215. **Figure 206**
 216. **Figure 207**
 217. **Figure 208**

LEDFORD BUILDING

CONFIDENTIAL
ATTORNEY-CLIENT

NORTH EIGHTH AVENUE

MAIL BUILDING

**PROPOSED WATER
A SANITARY UTILITY
EASEMENT, TIF**

— INHALT

EXCLUSIVE

BEDFORD BUILDING

ERIE STREET

23' TOWER
CLUB &
BATTLES, TN

STANTON
LORD &
LORD

Project Summary

LAND AND PARKING

- Zoning: Rezone to PUD
- 2.76 Acres
- 9.42 Units Per Acre
- 36 garage stalls
- 46 pavement spaces = 82 total parking
- 2 Entrances

BUILDING COUNT

- 2 Huntington Buildings
- 1 Bedford 6 Unit Building
- 1 Bedford 4 Unit Building
- 1 Refuse Enclosure
- 1 Mail Hut
- 2 Monument Signs
- Tenant grilling area
- Community Gardens
- Privacy cedar fencing

UNIT INFO

22-Two Bedroom

4 -Three Bedroom

26 Total Units

- 6 Floor plans
- 889-1244 sq ft
- Attached garages
- Private entrances
- In-Unit Laundry
- Rent includes heat and water, cable & wifi

Project Considerations

Cedar Privacy Fencing



Refreshed Huntington



Community Element



Project Considerations

- Improved Bedford Garage Look
- Added islands – Bedford driveways



Project Considerations

Added Community Area (removed 6 previously planned parking stalls)



Site Rendering



Site Rendering



Site Rendering



Huntington

8 Unit



Huntington

8 Unit



Bedford

1 - 6 UNIT and 1 - 4 Unit



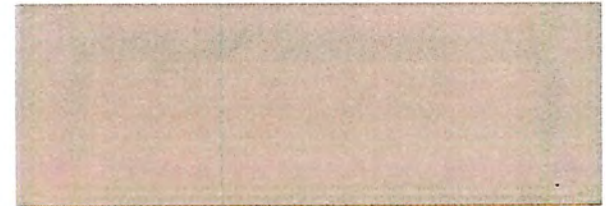
Bedford

1 - 6 UNIT and 1 - 4 Unit



Exteriors

SIDING | MASTIC BY PLY GEM



GARAGE DOORS



WHITE

WEATHEREDWOOD

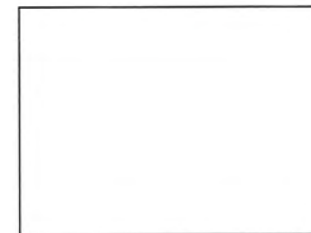


Mastic Aluminum Soffit & Fascia



WHITE

Trim



White



S.C. SWIDERSKI LLC

Construction & Demo Schedule

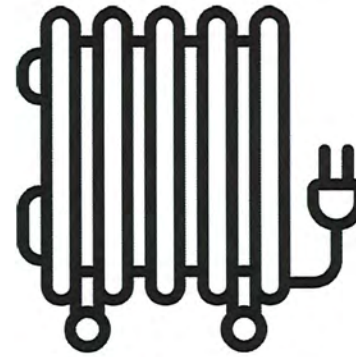
Prelim Demo Schedule: Out to Bid 3/31/22; Bid Due Date: 4/14/22; Expected Contract Date: 4/29 *Contract award date dependent upon project approval*

Task Name	Duration	Start	Finish
Sturgeon Bay 20-036 Preliminary Schedule	219 days	Mon 5/23/22	Fri 4/14/23
Demolition Work	33 days	Mon 5/23/22	Sat 7/9/22
Mass Grading	30 days	Mon 7/11/22	Fri 8/19/22
Huntington 8 Unit - H1	88 days	Mon 8/22/22	Tue 1/10/23
Bedford 6 Unit ADA - B2	105 days	Thu 9/1/22	Tue 2/14/23
Mail Building - M1	49 days	Wed 9/21/22	Mon 12/5/22
Huntington 8 Unit - H2	107 days	Mon 9/26/22	Fri 3/10/23
Property Fence	10 days	Fri 10/7/22	Thu 10/20/22
Dumpster - D1	9 days	Thu 10/6/22	Tue 10/18/22
Bedford 4 Unit - B1	121 days	Tue 10/11/22	Fri 4/14/23
Raised Garden	5 days	Fri 10/21/22	Thu 10/27/22
Monument Sign #1	5 days	Fri 10/28/22	Thu 11/3/22
Monument Sign #2	5 days	Fri 11/4/22	Thu 11/10/22

INCLUDED IN RENT RATES



Individual
Thermostats



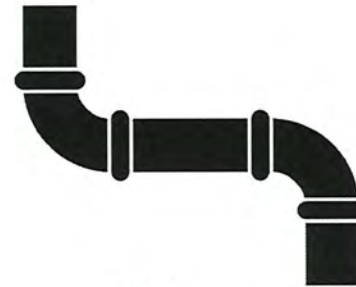
Hydronic
Heat



Trash
Removal



Wireless
Internet



Water



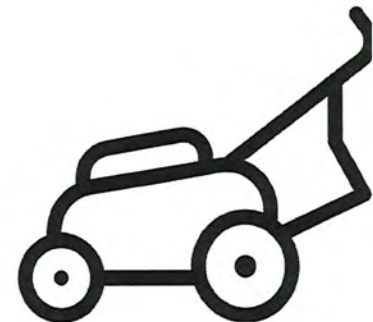
Cable



Sewer



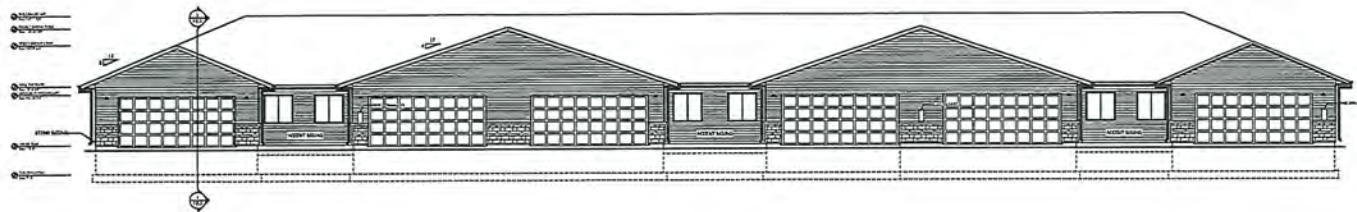
Snow
Removal



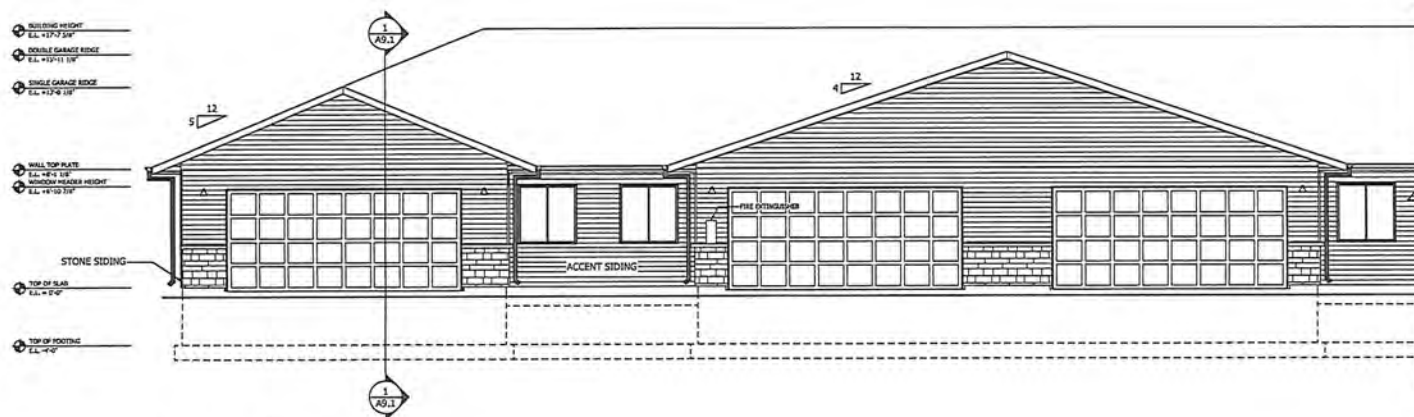
Lawn Care



S.C. SWIDERSKI LLC



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION - PARTIAL
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION	BY

401 BANGOR STREET
PO BOX 1, VT 54105
PH: 715-689-9302
WWW.SCSWIDERSKI.COM

SCS
S.C. SWIDERSKI LLC

PROJECT	20-036_SCS SUNSET ESTATES
MODEL	BEDFORD 6-UNIT (B2)
TITLE	FRONT ELEVATION

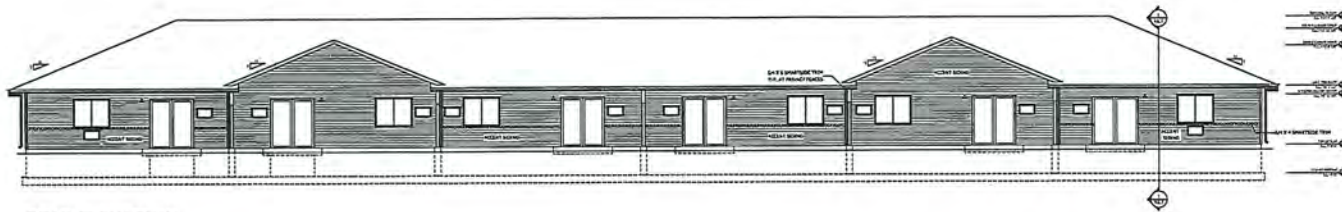
DATE	03/30/2021
DRAWN BY	SB
SCALE	AS SHOWN

SHEET NO.

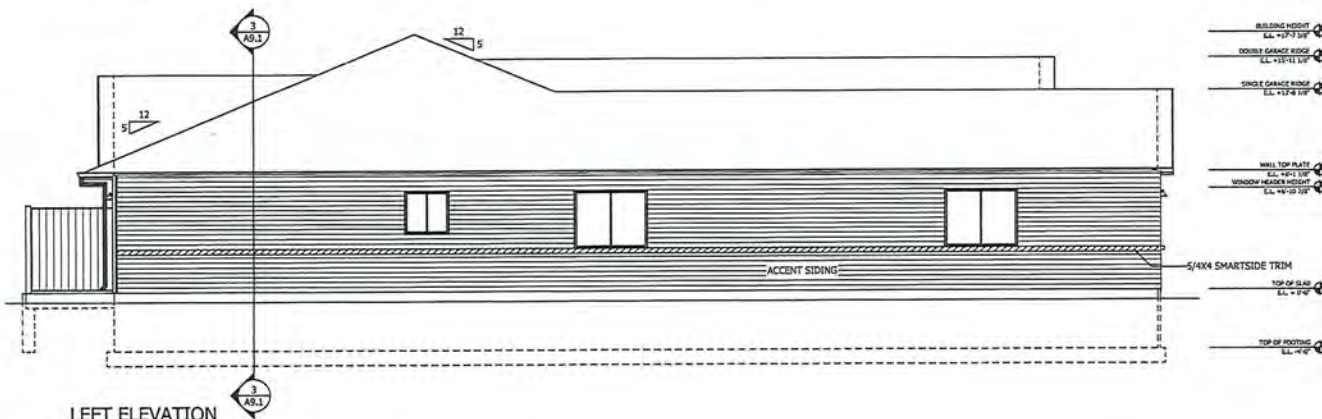
A2.1

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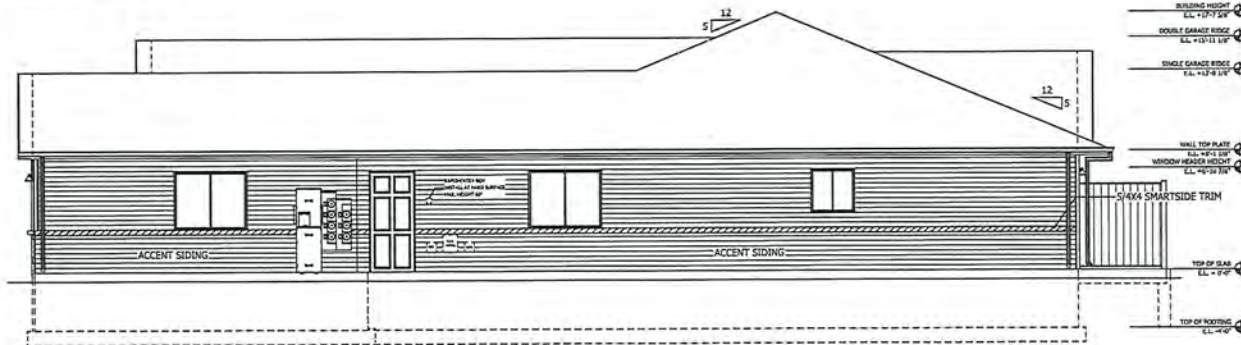
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REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

View_Sheet0422.dwg

REV	DATE	BY	DESCRIPTION

401 PAULINA STREET
PAULINA, IN 46367
PH: 317.543.9222
WWW.SCSBUILDING.COM

SCS
S.C. SWIDERSKI LLC

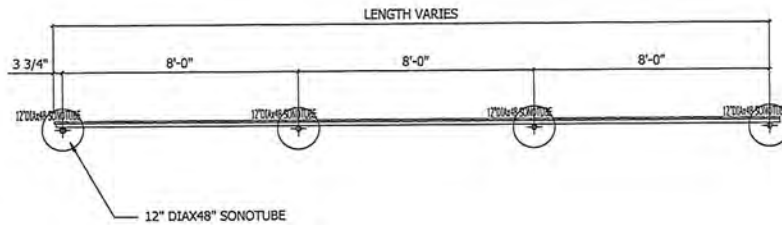
PROJECT: 20-036, SCS SUNSET ESTATES
PROJ#: BEDFORD 6-UNIT (B2)
TITLE: ELEVATIONS

DATE: 03/30/2021
DRAWN BY: SB
SCALE: AS SHOWN

SHEET NO.
A2.2

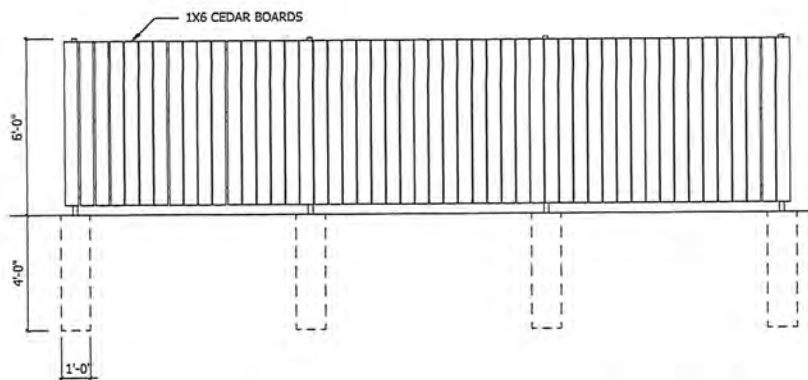
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FLOOR PLAN
SCALE: 1/2" = 1'-0"

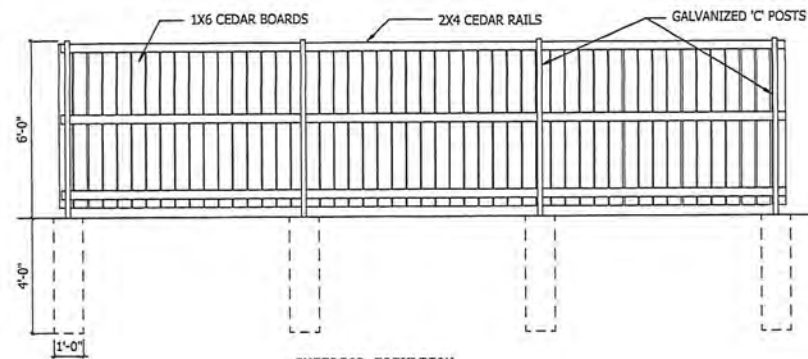


CEDAR FENCE CONSTRUCTION:

- 12" DIA. X 48" SONOTUBE
 - GALVANIZED 'C' POSTS DRIVE SET
 - 2x4 CEDAR RAILS
 - 1x6 CEDAR BOARDS
- 280'0" CEDAR FENCE, 6'-0" TALL ALONG SW PROPERTY LINE



EXTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



CEDAR FENCE DETAILS

SCALE: 1/2" = 1'-0"

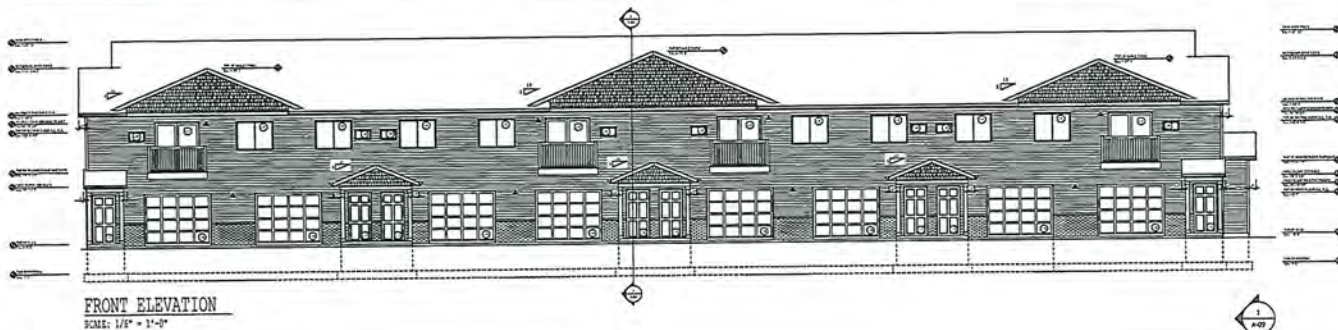
NO.	DATE	REVISION	BY

461 RANGER STREET
PO BOX 161, WILSON, NC 27157
PH: 714.683.5512
WWW.SCSUNSET.COM

SCS
S.C. SWIDERSKI LLC

PROJECT: 20-0316_SCS SUNSET ESTATES
DRAWN BY: KF
SCALE: 1/2" = 1'-0"
TITLE: CEDAR FENCE DETAILS

DATE: 05/24/2021
SHEET NO.: L1.4



A-02
1.02

FRONT ELEVATION
SCALE: AS SHOWN

DATE	REVISION	BY	APP'D
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03/24/2021	03	CDV	
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03/24/2021	100	CDV	

401 HANCOCK STREET
HUNTINGTON 8 UNIT (C2)
1602-310-8000
WWW.SWIDERSKI.COM

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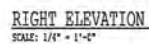
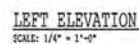
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MODEL: HUNTINGTON 8 UNIT (C2)
TITLE: FRONT ELEVATION

DATE: 03/24/2021
DRAWN BY: CDV
SCALE: AS SHOWN

SHEET NO.:
A-02
1.02

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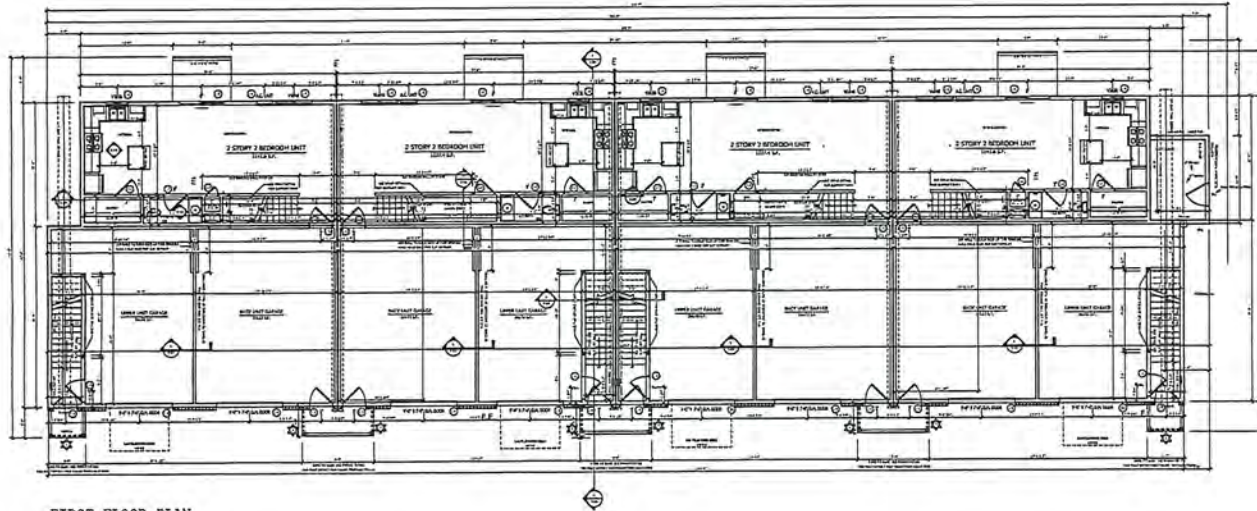
View: 03/24/2021-03/24/2021



SCALE: AS SHOWN

DATE	03/24/2021
DRAWN BY	CDV
SCALE	AS SHOWN
SHEET NO.	
A-02	
2.02	

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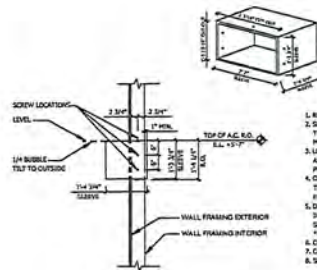
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

1. SEE HEADER SCHEDULE FOR MINIMUM BEARING REQUIREMENTS.
2. 8'-1 1/8" WALL HEIGHT, UNLESS NOTED OTHERWISE.
3. 82 7/8" HEADER HEIGHT, UNLESS NOTED OTHERWISE.
4. HOUSE-TO-GARAGE WALLS, MECHANICAL ROOM WALLS REQUIRE 5/8" TYPE-X SHEATHING.
5. INTERIOR STAIR WALL TO BE 2X6 FRAME AT GARAGE WALL.
6. GARAGE CEILING 2 LAYERS 5/8" TYPE X SHEATHING.
7. SILL SEALER TO BE INSTALLED AT EXTERIOR WALLS.

PLAN NOTES:

1. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION
2. ALL EXTERIOR STUDS SHALL BE 2x6, UNLESS NOTED OTHERWISE.
3. ALL INTERIOR STUDS SHALL BE 2x4, UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE FRAMING-TO-FRAMING, UNLESS NOTED OTHERWISE.
5. SMOKE DETECTION REQUIRED PER FIRE CODE. CARBON MONOXIDE DETECTION REQUIRED IF COMBUSTION APPLIANCES ARE PROVIDED. CONTRACTOR TO COORDINATE WITH NFPA 921 SYSTEM.
6. PROVIDE UNIT WATER SHUT-OFF IN PANTRY CLOSET @ TWO STORY UNIT.
PROVIDE UNIT WATER SHUT-OFF IN LAUNDRY/BATHROOM AT UNITS ABOVE GARAGES.



AC SLEEVE DETAIL
SCALE: 1/2" = 1'-0"

1. REMOVE THE OUTSIDE ENCLOSING PANEL FROM THE WALL SLEEVE.
2. SLIDE THE WALL SLEEVE INTO THE WALL OPENING. DO NOT DISTORT THE CURVED SHAPE TO FIT THE WALL OPENING. THE UNIT CHASSIS MUST FIT SNUGLY AND UNIFORMLY INTO THE WALL SLEEVE.
3. LOCATE THE SLEEVE WITHIN THE RANGE OF MINIMUM PROJECTION FROM THE WALL.
ALL SHOWN IN DETAIL. SEE BOTH ENDS ARE AT LEAST THE MINIMUM PROJECTION FROM THE WALL.
4. CHECK THE LEVEL OF THE WALL SLEEVE. FOR PROPER DRAINAGE, THE SLEEVE SHOULD BE LEVEL FROM SIDE TO SIDE AND 1/4" RADIUS FROM TO BACK OUTSIDE.
5. DRILL TWO HOLES IN BOTH SIDES OF THE WALL SLEEVE AND ONE IN THE TOP. 15 SCREWS TOTAL. 10 MOUNTING SCREWS CAN BE SECURED TO WALL SUPPORTS. SEE DETAIL FOR LOCATION OF SCREW HOLES. "DO NOT DRILL THROUGH BOTTOM OF SLEEVE."
6. CHECK THE LEVEL OF THE WALL SLEEVE AND ADJUST IF NECESSARY.
7. GASKET OR SEAL AROUND THE OUTSIDE OF THE ENTIRE SLEEVE.
8. SNIP FOUR INSULATE AND GASKET AROUND INSIDE OF THE ENTIRE SLEEVE.

A-05
1.05

FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

REVISION	DATE	BY	APP'D
1	03/24/2021	CDV	
2	03/24/2021	CDV	

REVISION	DATE	BY	APP'D
1	03/24/2021	CDV	
2	03/24/2021	CDV	

401 RANGER STREET
HUNTINGTON, MS 38932
HUNTINGTON 8 UNIT (C2)
WWW.SCSWIDERSKI.COM

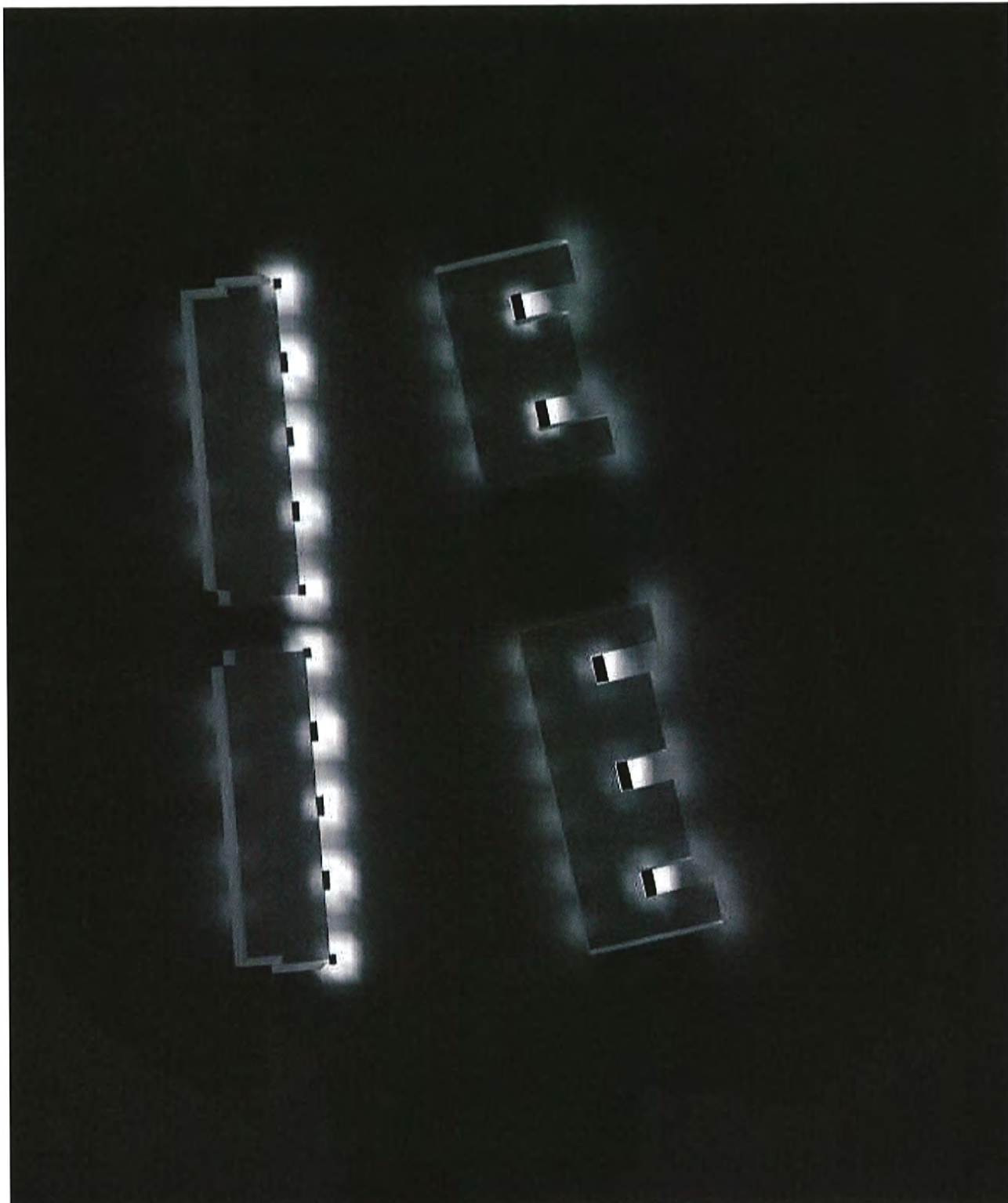
SCS
S.C. SWIDERSKI LLC

PROJECT	20-036, SUNSET ESTATES
FOOR	HUNTINGTON 8 UNIT (C2)
TITLE	FIRST FLOOR PLAN

DATE	03/24/2021
DRAWN BY	CDV
SCALE	1/8"=1'-0"

SHEET NO.	A-05
	1.05

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To request the Project Quotation for these materials or to place the order, please contact:
Sales@LightingDesignSolutions.com or call us at 1-888-337-7970

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These plans are not approved for construction unless specifically noted. They have not been reviewed or approved by any local or state agency, nor has the building owner confirmed final acceptance of the design or materials. Once approved, the final product details, voltages, accessories and quantities are the responsibility of the installing contractor and are to be fully verified by the contractor prior to release of order. Lead time for luminaires will vary but should be assumed to be 4-6 weeks after release unless specifically noted as "in stock" or "quick ship" on the LDS Project Quotation.

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LDS LIGHTING
 Design Solutions

Page 2 of 2	PROJECT INFORMATION:	DRAWN BY: A. THOMER	REVIEWED BY: A. THOMER	REV	DESCRIPTION	DATE
	SCS SUNSET ESTATES	CONTRACTOR:	APPROVED BY: D. DRUMEL			
	STURGEON BAY, WI					
			DATE: 01/31/2012			

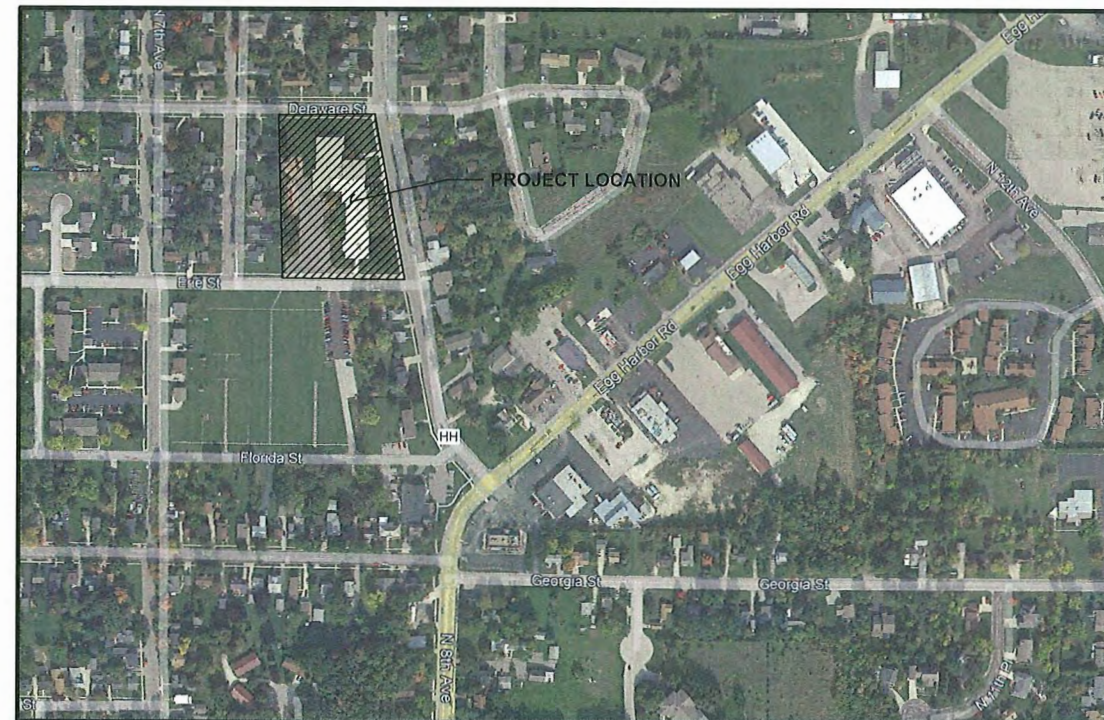
Lighting Design Solutions, Inc. (Schofield & Milwaukee)

P.O. Box 375
 Schofield, WI 54476
1.888.337.7070 Office
 715.693.2594 Fax

N78W14573 Appleton Ave #101
 Menomonee Falls, WI 53051
Design@LightingDesignSolutions.com
www.LightingDesignSolutions.com

SW 1/4, NW 1/4, SECTION 5, TOWNSHIP 27 NORTH, RANGE 26 EAST

C0.0	TITLE SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C1.1	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & EROSION CONTROL PLAN
C4.0	UTILITY PLAN - STORM & SANITARY
C4.1	UTILITY PLAN - WATER
C5.0	DETAILS
C5.1	DETAILS
C5.2	DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN ENLARGEMENTS
L1.2	LANDSCAPE PLAN ENLARGEMENTS
L2.0	LANDSCAPE DETAILS & NOTES



NOT TO SCALE



OWNER
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KALAN MCHUGH
401 RANGER STREET
MOSINEE, WI 54455
P: 715.693.7807
kmchugh@scswiderski.com

JSD PROFESSIONAL SERVICES, INC.
JUSTIN FRAHM
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CITY ENGINEER
CITY OF STURGEON BAY
CHAD SHEFCHIK
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STURGEON BAY, WI 54235
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WAUSAU REGIONAL OFFICE
7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WI 54476
P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC



CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI 54455

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
2	02.22.2022	MUNICIPAL SUBMITTAL
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Designed By: CEJ

Reviewed By: PMP

Approved By: JLF

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

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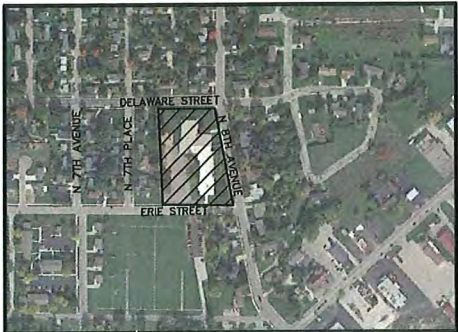
JSD PROJECT NO:

—10989



Toll Free (800) 242-8511

ALTA/NSPS LAND TITLE SURVEY
PART OF LOTS 2 AND 3, OF SUBDIVISION 5, CITY OF STURGEON BAY, LOCATED
IN SECTION 5, TOWNSHIP 27 NORTH, RANGE 26 EAST,
CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN.



VICINITY MAP
NOT TO SCALE

- LEGEND**
- CHISELED "X" SET
 - 3/4" x 24" REBAR SET (1.50 LBS/LF)
 - GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - 2" IRON PIPE FOUND
 - 3/4" REBAR FOUND
 - CONTROL POINT
 - BENCHMARK
 - FINISHED FLOOR SHOT LOCATION
 - FLAG POLE
 - SIGN
 - PLAYGROUND EQUIPMENT
 - SANITARY MANHOLE
 - HYDRANT
 - WATER VALVE
 - ROUND CASTED INLET
 - DOWNSPOUT
 - ELECTRIC PEDESTAL
 - POWER POLE
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - DECIDUOUS TREE
 - HANDICAP PARKING
 - PARCEL BOUNDARY
 - RIGHT-OF-WAY LINE
 - SECTION LINE
 - PROPERTY LINE
 - EASEMENT LINE
 - FENCE LINE
 - GUARD OR SAFETY RAIL
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - NATURAL GAS
 - OVERHEAD LINE
 - FIBER OPTIC
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - END OF FLAGGED UTILITIES
 - DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED ON NOVEMBER 29 AND 30, 2021.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DOOR COUNTY ZONE THE WEST LINE OF THE NORTHWEST QUARTER, SECTION 05, TOWNSHIP 27 NORTH, RANGE 26 EAST, RECORDED AS S013646"E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 202114613797, 202114613805, 202114613834, 202114613852, 202114613864, AND 202114613879 WITH A CLEAR DATE OF NOVEMBER 17, 2021.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 - DOOR COUNTY FIBER OPTIC UTILITY
 - AT&T DISTRIBUTION
 - CHARTER COMMUNICATIONS
 - STURGEON BAY UTILITIES
 - WISCONSIN PUBLIC SERVICE CORPORATION
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS SHOWN ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: CL-211436, COMMITMENT DATE: SEPTEMBER 2, 2021)

- (10) SUBJECT TO THE TERMS AND CONDITIONS OF THAT RIGHT OF FIRST REFUSAL BY AND BETWEEN THE CITY OF STURGEON BAY, A WISCONSIN MUNICIPAL CORPORATION AND THE SCHOOL DISTRICT OF STURGEON BAY, A WISCONSIN MUNICIPAL CORPORATION, DATED DECEMBER 14, 1983, IN VOLUME 386 ON PAGE(S) 613-618, AS DOCUMENT NO. 442217.

THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: CL-211436, COMMITMENT DATE: SEPTEMBER 2, 2021)

THE EAST 8 ACRES OF LOT TWO (2) AND THREE (3), IN SUBDIVISION FIVE (5) OF THE CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN, ACCORDING TO THE ASSESSOR'S MAP OF SAID CITY RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF DOOR COUNTY, WISCONSIN ON PAGE(S) 14 OF PLAT BOOKS:

WITH THE EXCEPTION OF 5 ACRES OF LAND ACQUIRED BY THE UNITED STATES OF AMERICA BY JUDGMENT IN THE DISTRICT COURT OF THE UNITED STATES FOR THE EASTERN DISTRICT OF WISCONSIN, ENTERED MARCH 30, 1942, A CERTIFIED COPY THEREOF HAVING BEEN FILED IN THE OFFICE OF THE REGISTER OF DEEDS IN AND FOR DOOR COUNTY, WISCONSIN ON APRIL 9, 1942, IN VOLUME 20 OF MISCELLANEOUS, ON PAGE(S) 210, AS DOCUMENT NO. 236507. SUBJECT TO EXISTING PUBLIC RIGHT-OF-WAY IN PUBLIC STREETS.

FOR INFORMATIONAL PURPOSES ONLY:

ADDRESS: 827 N. 8TH AVENUE, STURGEON BAY, WI

TAX KEY NUMBER: 281-6205000208

SURVEYOR'S CERTIFICATE

TO:

- SC SWIDERSKI LLC,
- FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS. THE FIELD WORK WAS COMPLETED ON NOVEMBER 30, 2021.

Todd J. Buhr
TODD J. BUHR, S-2614
PROFESSIONAL LAND SURVEYOR
Email: todd.buhr@jdsinc.com
Website: www.jdsinc.com

12/06/2021

DATE



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WAUSAU REGIONAL OFFICE
7402 STONE RIDGE DRIVE, SUITE 4
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P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC

CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

827 N. 8TH AVENUE,
STURGEON BAY, WI

MODIFICATIONS:

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Designed By: BRW 12/1/21

Reviewed By: TJB 12/2/21

Approved By: TJB 12/2/21

SHEET TITLE:

ALTA/NSPS LAND
TITLE SURVEY

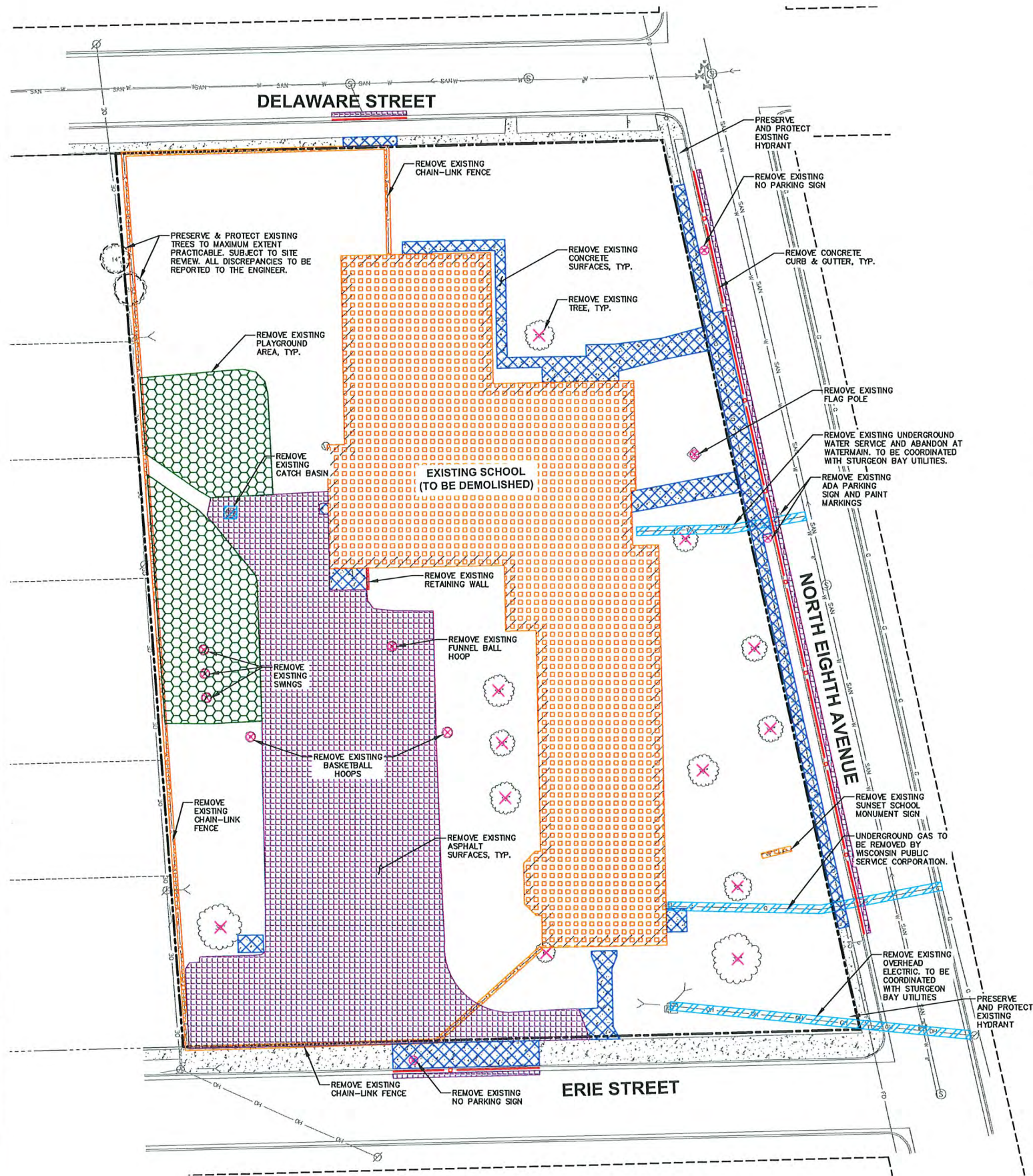
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PROJECT NO:

21-10989

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DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GRIND TO PROPOSED SUBGRADE.
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - 7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
8. ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
14. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF STURGEON BAY SPECIFICATIONS.
15. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF STURGEON BAY SPECIFICATIONS.
16. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES.
17. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE.
18. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
19. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	SAWCUT EXISTING PAVEMENT
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF PLAYGROUND AREA
	TREE REMOVAL
	REMOVAL - SEE PLAN FOR DETAILED NOTES
	PROTECT EXISTING TREE



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S.C. SWIDERSKI, LLC



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401 RANGER STREET
MOSINEE, WI 54455

PROJECT:

SCS SUNSET ESTATES

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Reviewed By: PMP

Approved By: JLF

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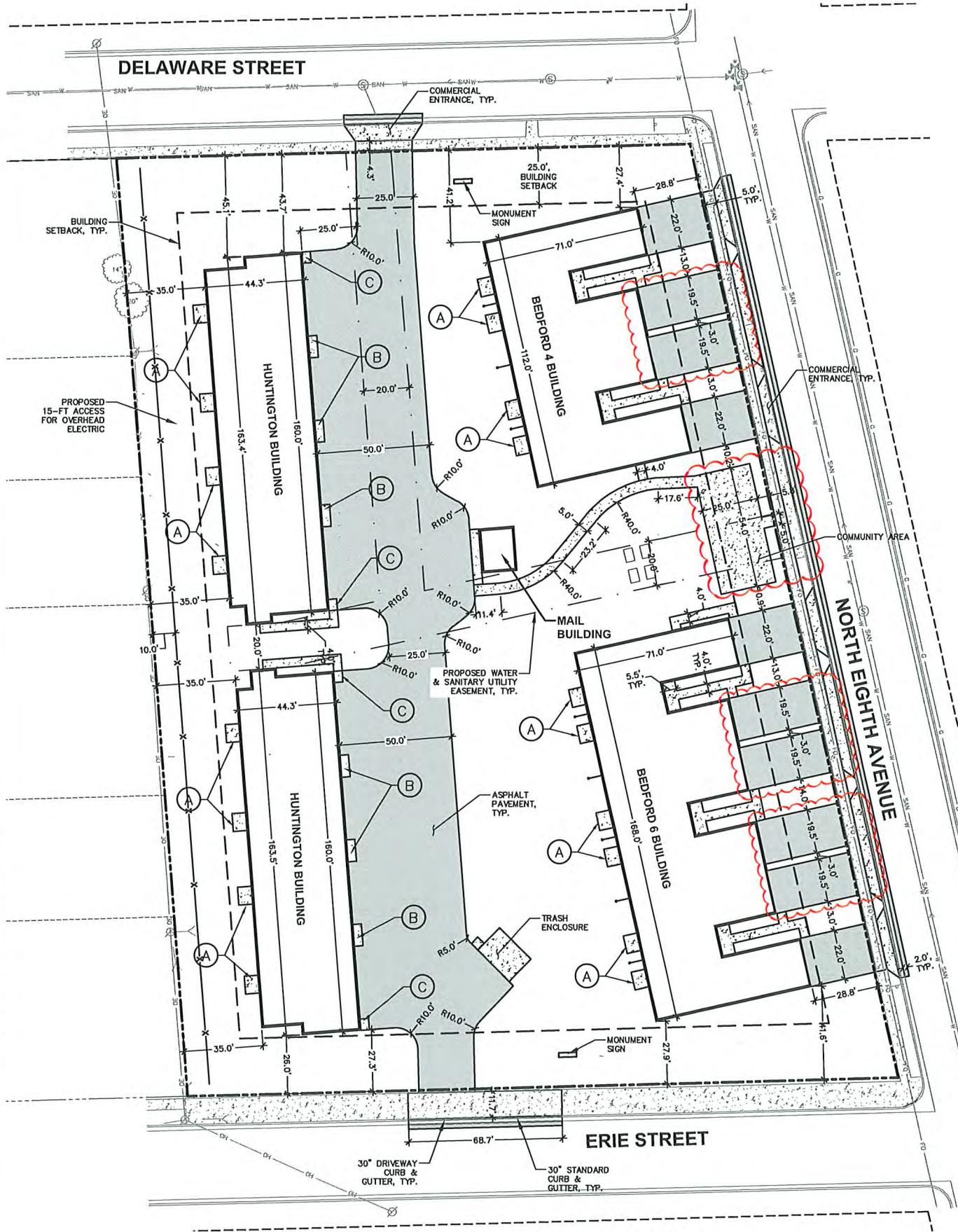
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JSD PROJECT NO: 21-10989



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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

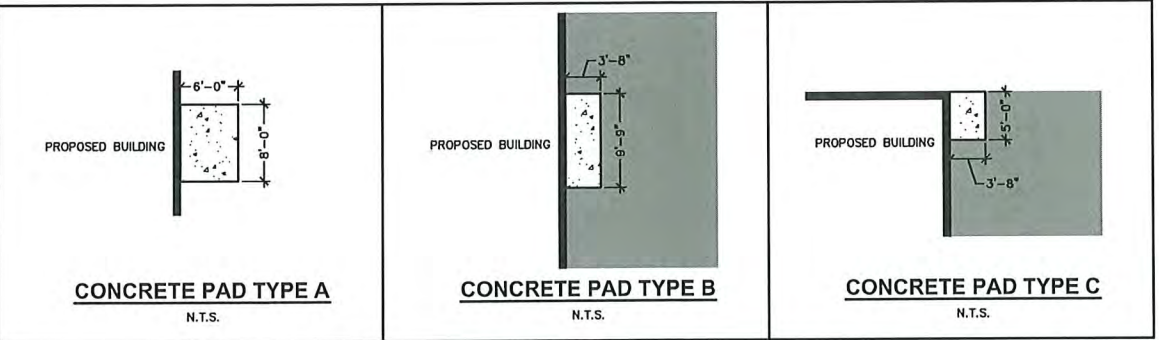
1. **GENERAL**
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF STURGEON BAY ORDINANCES AND THE GEOTECHNICAL REPORT TO BE PREPARED BY INTERTEK PSI.
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. **ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE - SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. **CONCRETE PAVING SPECIFICATIONS**
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 25' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
4. **PAVEMENT MARKING SPECIFICATIONS**
 - 4.1. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH EPOXY PAINT PER SPECIFICATIONS.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. USE 4" WIDE, HIGH VISIBILITY YELLOW EPOXY PAINT FOR STALL LINES.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	BUILDING SETBACK LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	RETAINING WALL
	ADA PARKING SIGN

SITE INFORMATION BLOCK

SITE ADDRESS	827 N. 8TH AVENUE
PROPERTY ACREAGE	2.744 ACRES
HUNTINGTON BUILDING	
NUMBER OF BUILDING STORIES	2
BUILDING FOOTPRINT SQUARE FOOTAGE	7,025
NUMBER OF UNITS	8
BEDFORD 4 BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	6,693
NUMBER OF UNITS	4
BEDFORD 6 BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	9,836
NUMBER OF UNITS	6
MAIL BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	312
TOTAL BUILDING FOOTPRINT SQUARE FOOTAGE	30,891
NUMBER OF PARKING STALLS	
SURFACE	36
GARAGE	36
TOTAL PARKING	72
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	51,916 SF
EXISTING PERVIOUS SURFACE AREA	67,617 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.43
PROPOSED IMPERVIOUS SURFACE AREA	62,634 SF
PROPOSED PERVIOUS SURFACE AREA	56,899 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.52



DIGGERS HOTLINE
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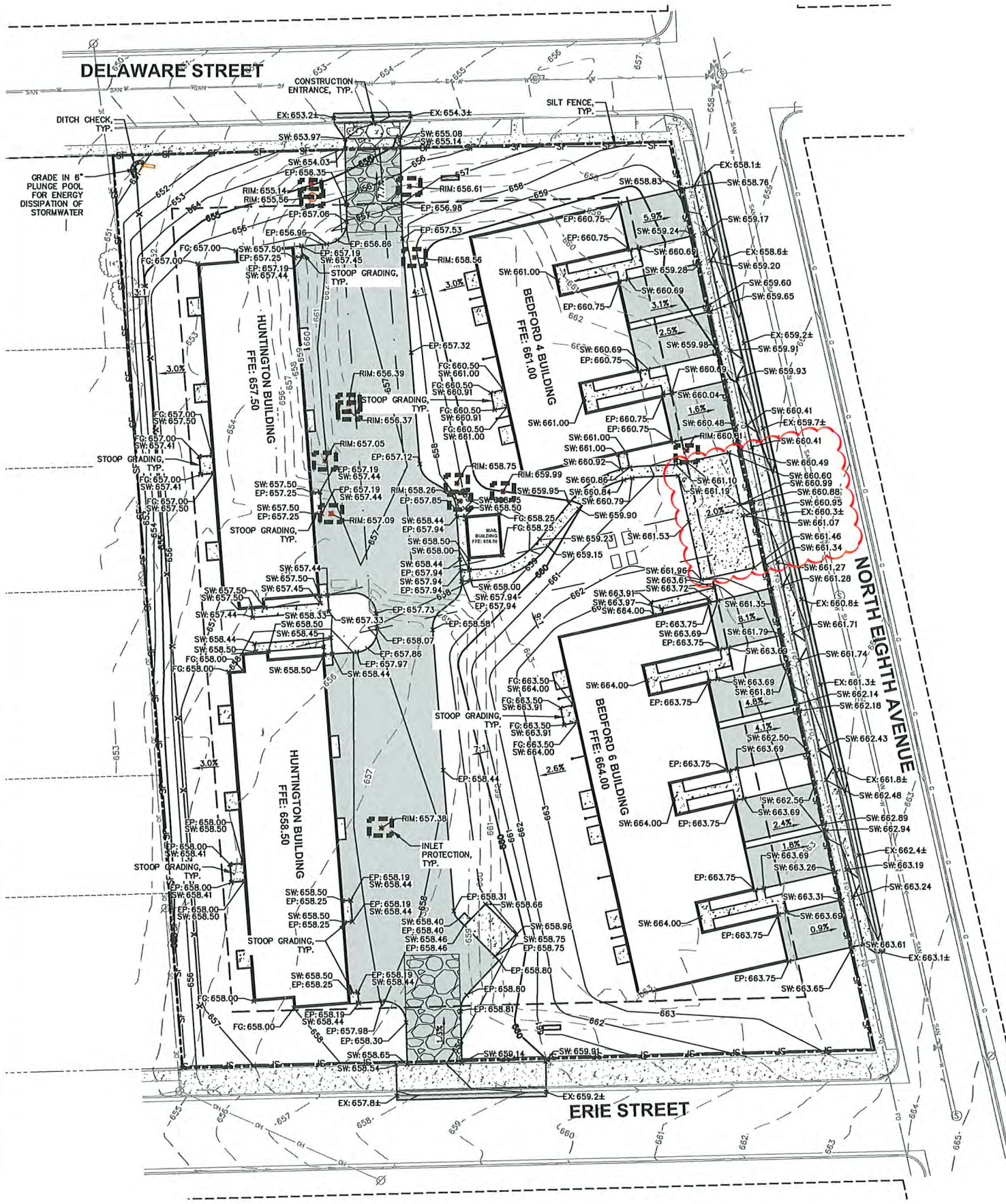
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SITE PLAN

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EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF STURGEON BAY OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF STURGEON BAY ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF STURGEON BAY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS NOT SHOWN ON THE PLANS MUST BE SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF STURGEON BAY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF STURGEON BAY.
- INLET PROTECTION SHALL BE IMMEDIATELY INSTALLED AT ALL STORM INLETS AND SILT FENCE SHALL BE IMMEDIATELY INSTALLED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - *PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - *TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - *HYDRO-MULCHING WITH A TACKIFIER
 - *GEOTEXTILE EROSION MATTING
 - *SODDING

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH OWNER SPECIFICATIONS.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF STURGEON BAY ORDINANCE.

LEGEND

---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY
- . - . -	EASEMENT LINE
=====	BUILDING OUTLINE
=====	BUILDING OVERHANG
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
=====	ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	PROPOSED 1 FOOT CONTOUR
=====	PROPOSED 5 FOOT CONTOUR
=====	EXISTING 1 FOOT CONTOUR
=====	EXISTING 5 FOOT CONTOUR
=====	DRAINAGE DIRECTION
=====	GRADE BREAK
=====	SILT FENCE
=====	RIP-RAP
=====	CONSTRUCTION ENTRANCE
=====	EROSION MATTING
=====	SPOT ELEVATION
=====	EP - EDGE OF PAVEMENT
=====	FG - FINISH GRADE
=====	EC - EDGE OF CONCRETE
=====	BC - BACK OF CURB
=====	EX - MATCH EXISTING GRADE
=====	HP - HIGH POINT
=====	SW - SIDEWALK
=====	DITCH CHECK
=====	INLET PROTECTION



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CLIENT:

S.C. SWIDERSKI, LLC



CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI 54455

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
2	02.22.2022	MUNICIPAL SUBMITTAL
3		
4		
5		
6		
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8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

SHEET TITLE:

GRADING & EROSION
CONTROL PLAN

SHEET NUMBER:

C3.0

JSD PROJECT NO:

21-10989



Toll Free (800) 242-8511

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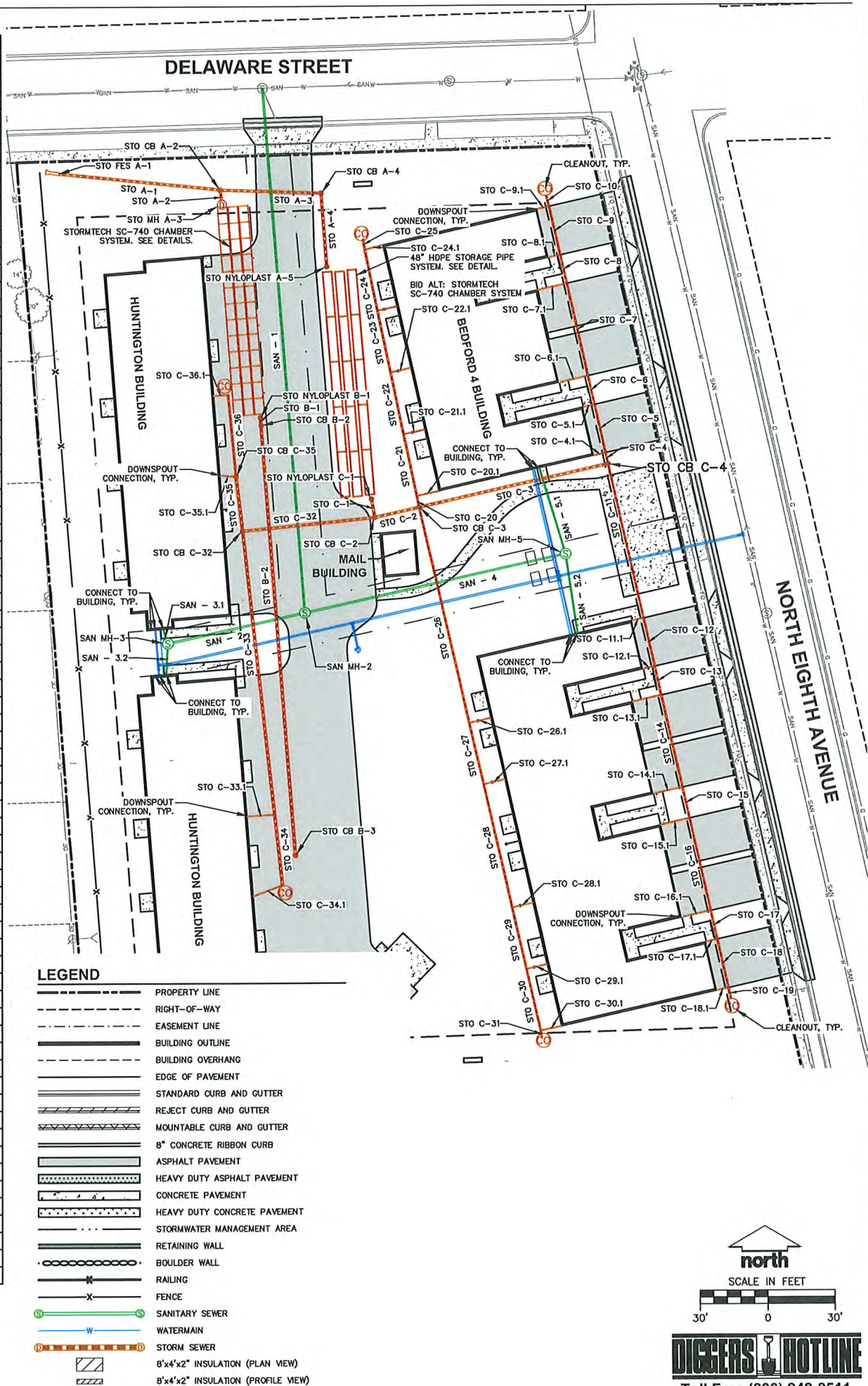
File: N:\PROJECTS\2021\10989\DWG\Civil Sheets\2110889 Con Docs.dwg Layout: C4.0 - Utility Plan - Storm and Sanitary User: jones Plotted: Feb 22, 2022 - 12:23pm Xref's:

PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN MH-2	657.52	W INV: 650.04 (8") E INV: 650.04 (8") N INV: 649.94 (8")	7.6	48 IN MH	R-1556 SOLID LID
SAN MH-3	657.65	N INV: 651.43 (6") S INV: 651.43 (6") E INV: 651.26 (8")	6.4	48 IN MH	R-1556 SOLID LID
SAN MH-5	661.70	N INV: 654.59 (6") S INV: 654.59 (6") W INV: 654.42 (8")	7.3	48 IN MH	R-1556 SOLID LID

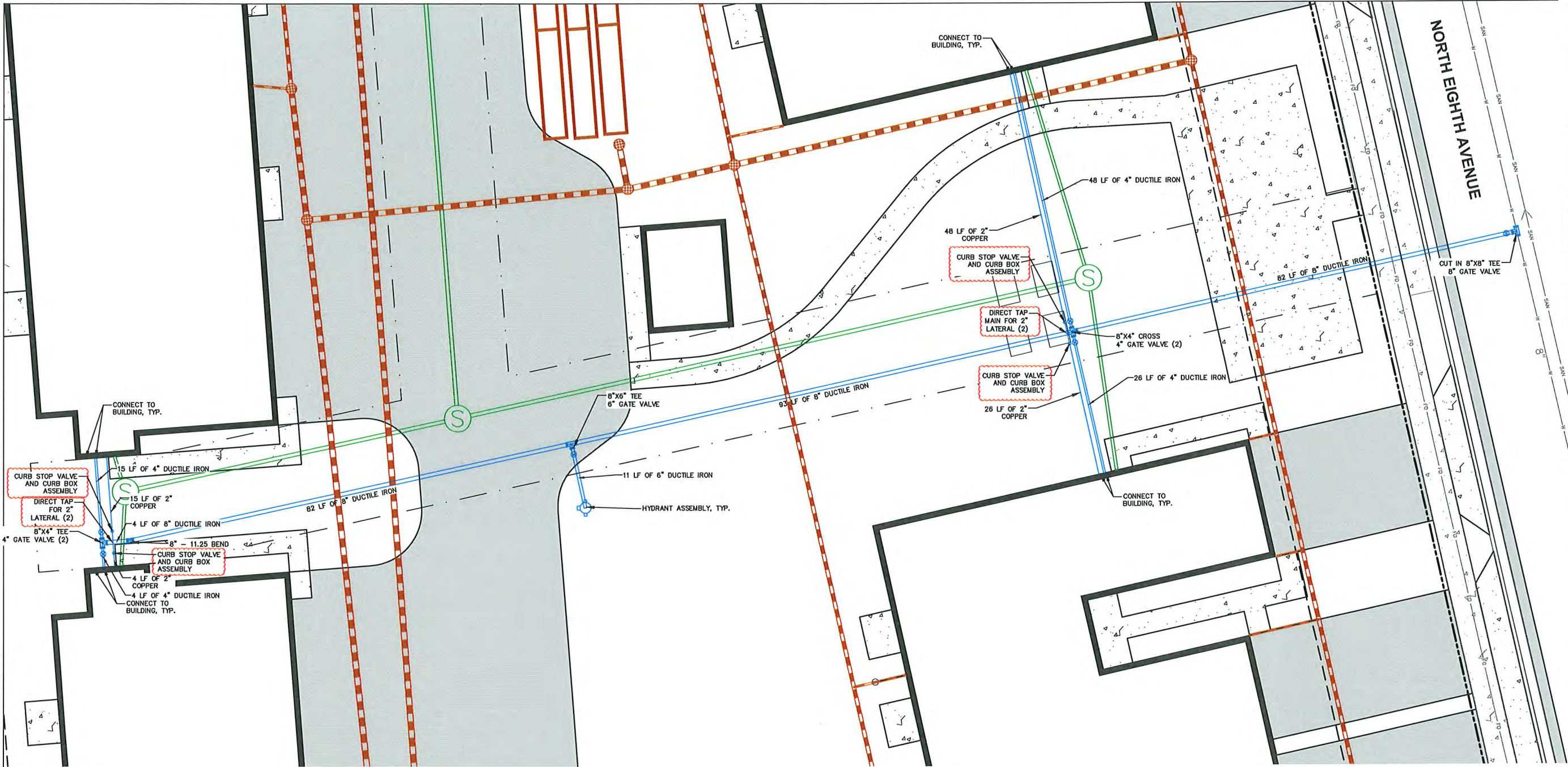
PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	TO	FROM	LENGTH	DISCHARGE EL. (FT)	INVERT EL. (FT)	SLOPE	SIZE & MATERIAL
SAN - 1	EX MH	SAN MH-2	233'	647.61	649.94	1.00%	8 IN PVC
SAN - 2	SAN MH-2	SAN MH-3	62'	650.04	651.26	1.96%	8 IN PVC
SAN - 3.1	SAN MH-3	BUILDING	7'	651.43	651.50	1.04%	6 IN PVC
SAN - 3.2	SAN MH-3	BUILDING	14'	651.43	652.50	7.89%	6 IN PVC
SAN - 4	SAN MH-2	SAN MH-5	119'	650.04	654.42	3.69%	8 IN PVC
SAN - 5.1	SAN MH-5	BUILDING	40'	654.59	655.00	1.04%	6 IN PVC
SAN - 5.2	SAN MH-5	BUILDING	36'	654.59	658.00	9.59%	6 IN PVC

PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO CB A-2	658.04	S INV: 651.98 (10") E INV: 651.38 (12") W INV: 651.28 (12")	6.8	36 IN MH (FLAT)	R-2050 TYPE D
STO CB A-4	654.48	S INV: 651.64 (12") W INV: 651.54 (12")	2.9	36 IN MH (FLAT)	R-2050 TYPE D
STO CB B-2	656.37	S INV: 652.60 (12") N INV: 652.50 (12")	3.9	36 IN MH (FLAT)	R-2050 TYPE D
STO CB B-3	657.38	N INV: 653.01 (12")	4.4	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-2	657.37	E INV: 654.89 (12") W INV: 654.89 (12") N INV: 654.79 (12")	2.6	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-3	657.47	E INV: 655.20 (12") N INV: 655.30 (8") S INV: 655.30 (8") W INV: 655.20 (12")	2.3	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-4	660.81	S INV: 656.83 (8") N INV: 656.83 (8") W INV: 656.50 (12")	4.3	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-32	657.09	N INV: 655.20 (12") S INV: 655.20 (12") E INV: 655.10 (12")	2.0	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-35	657.59	W INV: 655.42 (4") N INV: 655.42 (8") S INV: 655.32 (12")	2.3	36 IN MH (FLAT)	R-2050 TYPE D
STO FES A-1	652.10	E INV: 651.00 (12")		12 IN HDPE FES	
STO MH A-3	654.06	N INV: 652.00 (10")	2.1	48 IN MH (FLAT)	12" GRATE
STO NYLOPLAST A-5	653.62	N INV: 651.75 (12")	1.9	12 IN DB	12" GRATE
STO NYLOPLAST B-1	654.36	S INV: 652.48 (12")	1.9	12 IN DB	12" GRATE
STO NYLOPLAST C-1	656.62	S INV: 654.75 (12")	1.9	12 IN DB	12" GRATE

PROPOSED STORM SEWER PIPE TABLE							
LABEL	TO	FROM	LENGTH	DISCHARGE EL. (FT)	INVERT EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO FES A-1	STO CB A-2	72'	651.00	651.28	0.39%	12 IN HDPE
STO A-2	STO CB A-2	STO MH A-3	7'	651.98	652.00	0.30%	10 IN HDPE
STO A-3	STO CB A-2	STO CB A-4	45'	651.38	651.54	0.35%	12 IN HDPE
STO A-4	STO CB A-4	STO NYLOPLAST A-5	33'	651.64	651.75	0.35%	12 IN HDPE
STO B-1	STO NYLOPLAST B-1	STO CB B-2	4'	652.48	652.50	0.50%	12 IN HDPE
STO B-2	STO CB B-2	STO CB B-3	191'	652.60	653.01	0.22%	12 IN HDPE
STO C-1	STO NYLOPLAST C-1	STO CB C-2	8'	654.75	654.79	0.50%	12 IN HDPE
STO C-2	STO CB C-2	STO CB C-3	20'	654.89	655.20	1.51%	12 IN HDPE
STO C-3	STO CB C-3	STO CB C-4	86'	655.20	656.50	1.51%	12 IN HDPE
STO C-4	STO CB C-4	STO C-5	5'	656.83	656.86	0.50%	8 IN HDPE
STO C-4.1	STORM MAIN	DOWNSPOUT	5'	657.02	657.13	2.08%	4 IN HDPE
STO C-5	STO C-4	STO C-6	22'	656.86	656.97	0.50%	8 IN HDPE
STO C-5.1	STORM MAIN	DOWNSPOUT	5'	657.13	657.24	2.08%	4 IN HDPE
STO C-6	STO C-5	STO C-7	13'	656.97	657.03	0.50%	8 IN HDPE
STO C-6.1	STORM MAIN	DOWNSPOUT	13'	657.20	657.47	2.08%	4 IN HDPE
STO C-7	STO C-6	STO C-8	42'	657.04	657.25	0.50%	8 IN HDPE
STO C-7.1	STORM MAIN	DOWNSPOUT	13'	657.41	657.68	2.08%	4 IN HDPE
STO C-8	STO C-7	STO C-9	13'	657.25	657.31	0.50%	8 IN HDPE
STO C-8.1	STORM MAIN	DOWNSPOUT	5'	657.47	657.58	2.08%	4 IN HDPE
STO C-9	STO C-8	STO C-10	22'	657.31	657.42	0.50%	8 IN HDPE
STO C-9.1	STORM MAIN	DOWNSPOUT	5'	657.58	657.69	2.08%	4 IN HDPE
STO C-10	STO C-9	CLEANOUT	5'	657.42	657.44	0.50%	8 IN HDPE
STO C-11	STO CB C-4	STO C-12	70'	656.83	657.53	1.00%	8 IN HDPE
STO C-11.1	STORM MAIN	DOWNSPOUT	5'	657.70	657.81	2.08%	4 IN HDPE
STO C-12	STO C-11	STO C-13	22'	657.54	657.76	1.00%	8 IN HDPE
STO C-12.1	STORM MAIN	DOWNSPOUT	5'	657.92	658.03	2.08%	4 IN HDPE
STO C-13	STO C-12	STO C-14	13'	657.76	657.89	1.00%	8 IN HDPE
STO C-13.1	STORM MAIN	DOWNSPOUT	13'	658.05	658.32	2.08%	4 IN HDPE
STO C-14	STO C-13	STO C-15	42'	657.89	658.31	1.00%	8 IN HDPE
STO C-14.1	STORM MAIN	DOWNSPOUT	13'	658.47	658.74	2.08%	4 IN HDPE
STO C-15	STO C-14	STO C-16	14'	658.31	658.45	1.00%	8 IN HDPE
STO C-15.1	STORM MAIN	DOWNSPOUT	13'	658.61	658.88	2.08%	4 IN HDPE
STO C-16	STO C-15	STO C-17	42'	658.45	658.87	1.00%	8 IN HDPE
STO C-16.1	STORM MAIN	DOWNSPOUT	13'	659.03	659.30	2.08%	4 IN HDPE
STO C-17	STO C-16	STO C-18	13'	658.87	659.00	1.00%	8 IN HDPE
STO C-17.1	STORM MAIN	DOWNSPOUT	5'	659.16	659.27	2.08%	4 IN HDPE
STO C-18	STO C-17	STO C-19	22'	659.00	659.22	1.00%	8 IN HDPE
STO C-18.1	STORM MAIN	DOWNSPOUT	5'	659.38	659.49	2.08%	4 IN HDPE
STO C-19	STO C-18	CLEANOUT	5'	659.22	659.27	1.00%	8 IN HDPE
STO C-20	STO CB C-3	STO C-21	5'	655.30	655.33	0.50%	8 IN HDPE
STO C-20.1	STORM MAIN	DOWNSPOUT	10'	655.33	655.54	2.08%	4 IN HDPE
STO C-21	STO C-20	STO C-22	28'	655.33	655.47	0.50%	8 IN HDPE
STO C-21.1	STORM MAIN	DOWNSPOUT	10'	655.64	655.84	2.08%	4 IN HDPE
STO C-22	STO C-21	STO C-23	28'	655.47	655.61	0.50%	8 IN HDPE
STO C-22.1	STORM MAIN	DOWNSPOUT	9'	655.78	655.97	2.08%	4 IN HDPE
STO C-23	STO C-22	STO C-24	28'	655.61	655.75	0.50%	8 IN HDPE
STO C-23.1	STORM MAIN	DOWNSPOUT	9'	655.92	656.10	2.08%	4 IN HDPE
STO C-24	STO C-23	STO C-25	28'	655.75	655.89	0.50%	8 IN HDPE
STO C-24.1	STORM MAIN	DOWNSPOUT	8'	655.89	656.07	2.08%	4 IN HDPE
STO C-25	STO C-24	CLEANOUT	5'	655.89	655.91	0.50%	8 IN HDPE
STO C-26	STO CB C-3	STO C-27	98'	655.30	655.79	0.50%	8 IN HDPE
STO C-26.1	STORM MAIN	DOWNSPOUT	10'	655.96	656.16	2.08%	4 IN HDPE
STO C-27	STO C-26	STO C-28	28'	655.79	655.93	0.50%	8 IN HDPE
STO C-27.1	STORM MAIN	DOWNSPOUT	10'	656.10	656.30	2.08%	4 IN HDPE
STO C-28	STO C-27	STO C-29	56'	655.93	656.21	0.50%	8 IN HDPE
STO C-28.1	STORM MAIN	DOWNSPOUT	10'	656.38	656.58	2.08%	4 IN HDPE
STO C-29	STO C-28	STO C-30	28'	656.21	656.35	0.50%	8 IN HDPE
STO C-29.1	STORM MAIN	DOWNSPOUT	9'	656.52	656.71	2.08%	4 IN HDPE
STO C-30	STO C-29	STO C-31	28'	656.35	656.49	0.50%	8 IN HDPE
STO C-30.1	STORM MAIN	DOWNSPOUT	9'	656.49	656.68	2.08%	4 IN HDPE
STO C-31	STO C-30	CLEANOUT	3'	656.49	656.50	0.50%	8 IN HDPE
STO C-32	STO CB C-2	STO CB C-32	59'	654.89	655.10	0.36%	12 IN HDPE
STO C-33	STO CB C-32	STO C-34	127'	655.20	655.83	0.50%	12 IN HDPE
STO C-33.1	STORM MAIN	DOWNSPOUT	12'	655.83	656.08	2.08%	4 IN HDPE
STO C-34	STO C-33	STO C-34.1	31'	655.99	655.83	0.50%	12 IN HDPE
STO C-34.1	STORM MAIN	DOWNSPOUT	14'	655.99	656.28	2.08%	4 IN HDPE
STO C-35	STO CB C-32	STO CB C-35	24'	655.20	655.32	0.50%	12 IN HDPE
STO C-35.1	STO CB C-35	DOWNSPOUT	7'	655.42	655.57	2.08%	4 IN HDPE
STO C-36	STO CB C-35	STO C-36.1	37'	655.42	655.60	0.49%	8 IN HDPE
STO C-36.1	STORM MAIN	DOWNSPOUT	6'	655.70	655.83	2.08%	4 IN HDPE



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UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.


- ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -
 - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- WATER MAIN SPECIFICATIONS -
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS".
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF STURGEON BAY. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A


- POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212 FOR PIPE SIZES 8" TO 15", SCHEDULE 40 FOR PIPE SIZES 4" AND 6".
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF STURGEON BAY.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEEHAW R-1556 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

LEGEND

- | | |
|-----------|------------------------------------|
| --- | PROPERTY LINE |
| - - - - - | RIGHT-OF-WAY |
| - . - . - | EASEMENT LINE |
| ===== | BUILDING OUTLINE |
| ===== | BUILDING OVERHANG |
| ===== | EDGE OF PAVEMENT |
| ===== | STANDARD CURB AND GUTTER |
| ===== | REJECT CURB AND GUTTER |
| ===== | MOUNTABLE CURB AND GUTTER |
| ===== | 8" CONCRETE RIBBON CURB |
| ===== | ASPHALT PAVEMENT |
| ===== | HEAVY DUTY ASPHALT PAVEMENT |
| ===== | CONCRETE PAVEMENT |
| ===== | HEAVY DUTY CONCRETE PAVEMENT |
| ===== | STORMWATER MANAGEMENT AREA |
| ===== | RETAINING WALL |
| ===== | BOULDER WALL |
| ===== | RAILING |
| ===== | FENCE |
| ===== | SANITARY SEWER |
| ===== | WATERMAIN |
| ===== | STORM SEWER |
| ===== | 8"x4"x2" INSULATION (PLAN VIEW) |
| ===== | 8"x4"x2" INSULATION (PROFILE VIEW) |






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WESTON, WI 54476
P. 715.298.6330

CLIENT:
S.C. SWIDERSKI, LLC


CLIENT ADDRESS:
401 RANGER STREET
MOSINEE, WI 54455

PROJECT:
SCS SUNSET ESTATES

PROJECT LOCATION:
**STURGEON BAY, WI
DOOR COUNTY**

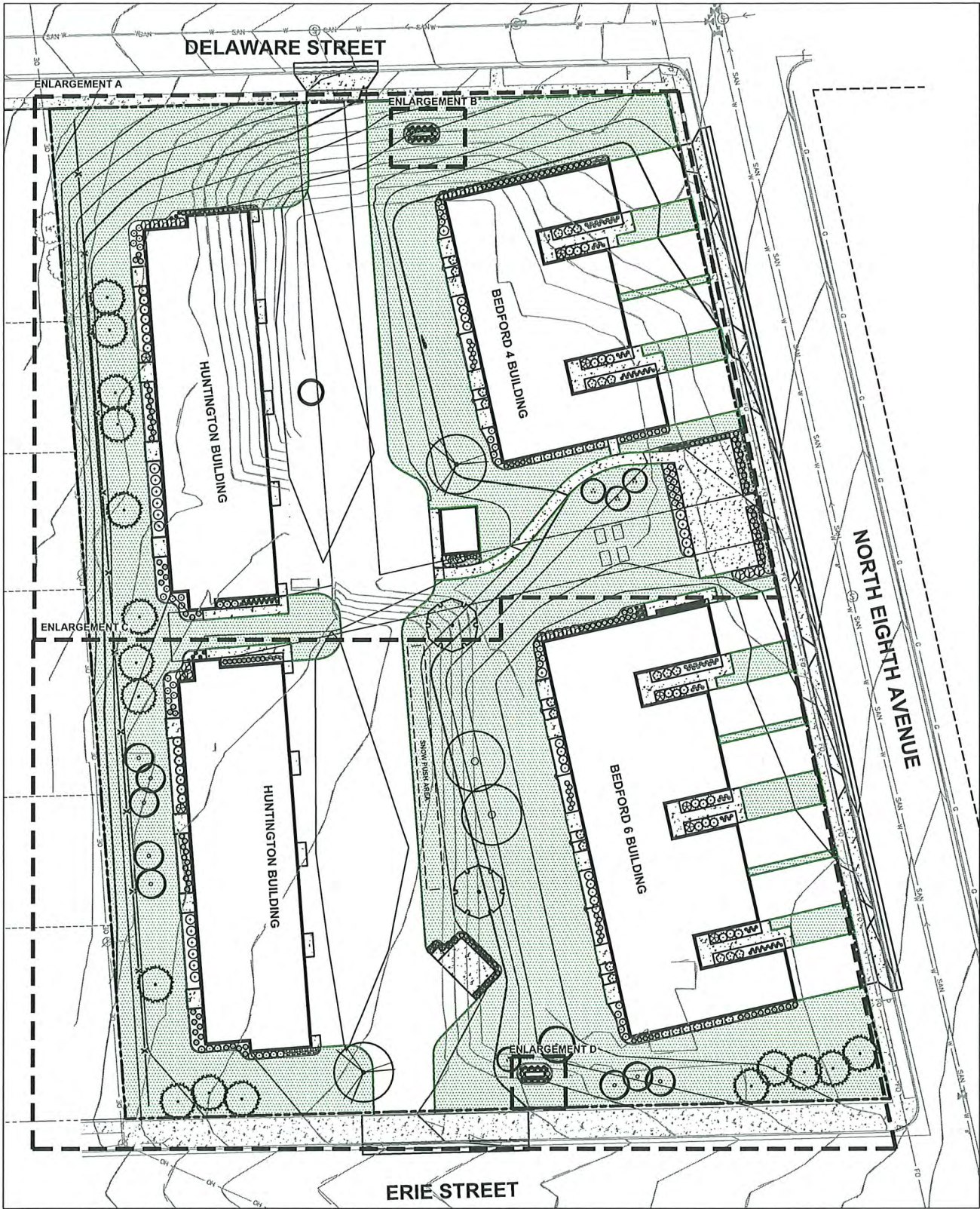
PLAN MODIFICATIONS:

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1	01.24.2022	CONSTRUCTION DOCUMENTS
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Designed By: CEJ
Reviewed By: PHF
Approved By: JLF
SHEET TITLE:
UTILITY PLAN
SHEET NUMBER:
C4.1
JSD PROJECT NO: 21-10989

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- GENERAL NOTES**
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 4. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
 6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
 7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT AND SCS. ANY SUBSTITUTIONS OF PLANT TYPE, LOCATION OR SIZE TO BE APPROVED BY SCS PRIOR TO INSTALLATION. BE AWARE OF MUNICIPALITY POINT REQUIREMENTS AND PLACEMENT OF PLANTINGS, REPOSITIONING OF PLANTINGS TO BE APPROVED BY SCS PRIOR TO INSTALLATION.
 8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
 9. CONCRETE CURB EDGING FOR LANDSCAPE AREAS, BEDS AND TREE RINGS AS SHOWN ON PLAN.

PLANT SCHEDULE					
CLIMAX TREE	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	ACRU	Acer rubrum 'Armstrong' / Armstrong Red Maple	Container	1.5' Cal	2
	GLTR	Gleditsia triacanthos inermis 'Skycole' TM / Skyline Thornless Honey Locust	Container	2' Cal	2
	TICO	Tilia cordata / Littleleaf Linden	Container	2' Cal	2
MEDIUM DECIDUOUS TREE	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	AMAL	Amelanchier alnifolia 'Saskatoon' / Serviceberry	Container	1.5' Cal/Multi-stem	4
	CECA	Cercis canadensis / Eastern Redbud	Container	1.5' Cal/Multi-stem	1
	SIIR	Syringa reticulata Ivory Silk / Ivory Silk Japanese Tree Lilac	Container	1.5' Cal	8
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	PIGL	Pinus glauca 'Densata' / Black Hills Spruce	Container	5' Ht	17
	THOS	Thuja occidentalis 'Emerald' / Emerald Green Arborvitae	Container	3-4 ft. Is1	11
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	PHDP	Physocarpus opulifolius 'Dorica May' TM / Little Devil Ninebark	#022 gal.	Min. 12"	24
	PHTW	Physocarpus opulifolius 'SIMPOTW' TM / Tiny Wine Ninebark	#022 gal.	Min. 12"	8
	SPJA	Spiraea japonica 'Walburna' / Magic Carpet Japanese Spirea	#022 gal.	Min. 12"	5
	SPBU	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	#022 gal.	Min. 12"	36
	SYXS	Syringa x 'SMISDITL' TM / Little Darling Lilac	#022 gal.	Min. 12"	19
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	JUCHP	Juniperus chinensis 'Pfitzerana Kallays Compacta' / Kally Pfitzer Compact Juniper	#033 gal.	Min. 18"-24"	14
	JUSQ	Juniperus squamata 'Blue Star' / Blue Star Juniper	#033 gal.	Min. 18"-24"	13
	TADY	Taxus x media 'Densiformis' / Dense Yew	#033 gal.	Min. 18"-24"	18
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	CAKA	Calamagrostis x acutiflora Karl Foerster / Karl Foerster Feather Reed Grass	#011 gal.		50
	CHSU	Oxyanthemum x superbum / Shasta Daisy	#011 gal.		32
	HEAT	Hemerocallis x 'Afania Moonlight' / Afania Moonlight Daylily	#011 gal.		41
	HEND	Hemerocallis x 'Nosterrati' TM / Rainbow Rhythm Nosterrati Daylily	#011 gal.		61
	PAVI	Panicum virgatum 'Shenandoah' / Switch Grass	#011 gal.		15
	PELI	Parosela eriophylla 'Little Spire' / Little Spire Russian Sage	#011 gal.		25
	RUSP	Rudbeckia speciosa 'Vieta's Little Suzie' / Black-eyed Susan	#011 gal.		71
	SCSC	Schizanthum scoparium / Little Bluestem	#011 gal.		42
	SPHE	Sporobolus heterostachys / Prairie Dropseed	#011 gal.		118
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	GECE	Geranium ornatum 'Ballerina' / Ballerina Hardy Geranium	#011 Gal.		27
	SEXF	Sedum x 'Firecracker' TM / Sunsparkler Firecracker Stonecrop	#011 Gal.		68

LEGEND	
	KENTUCKY BLUEGRASS BLEND (SEED)





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P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC



CLIENT ADDRESS:
**401 RANGER STREET
MOSINEE, WI 54455**

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

**STURGEON BAY, WI
DOOR COUNTY**

PLAN MODIFICATIONS:

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2	02.22.2022	MUNICIPAL SUBMITTAL
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Designed By: MJH
Reviewed By: LMW/JLF
Approved By: JLF

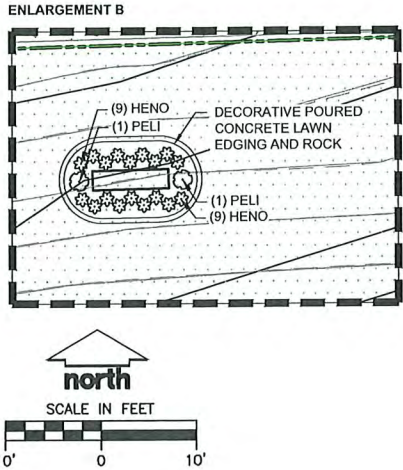
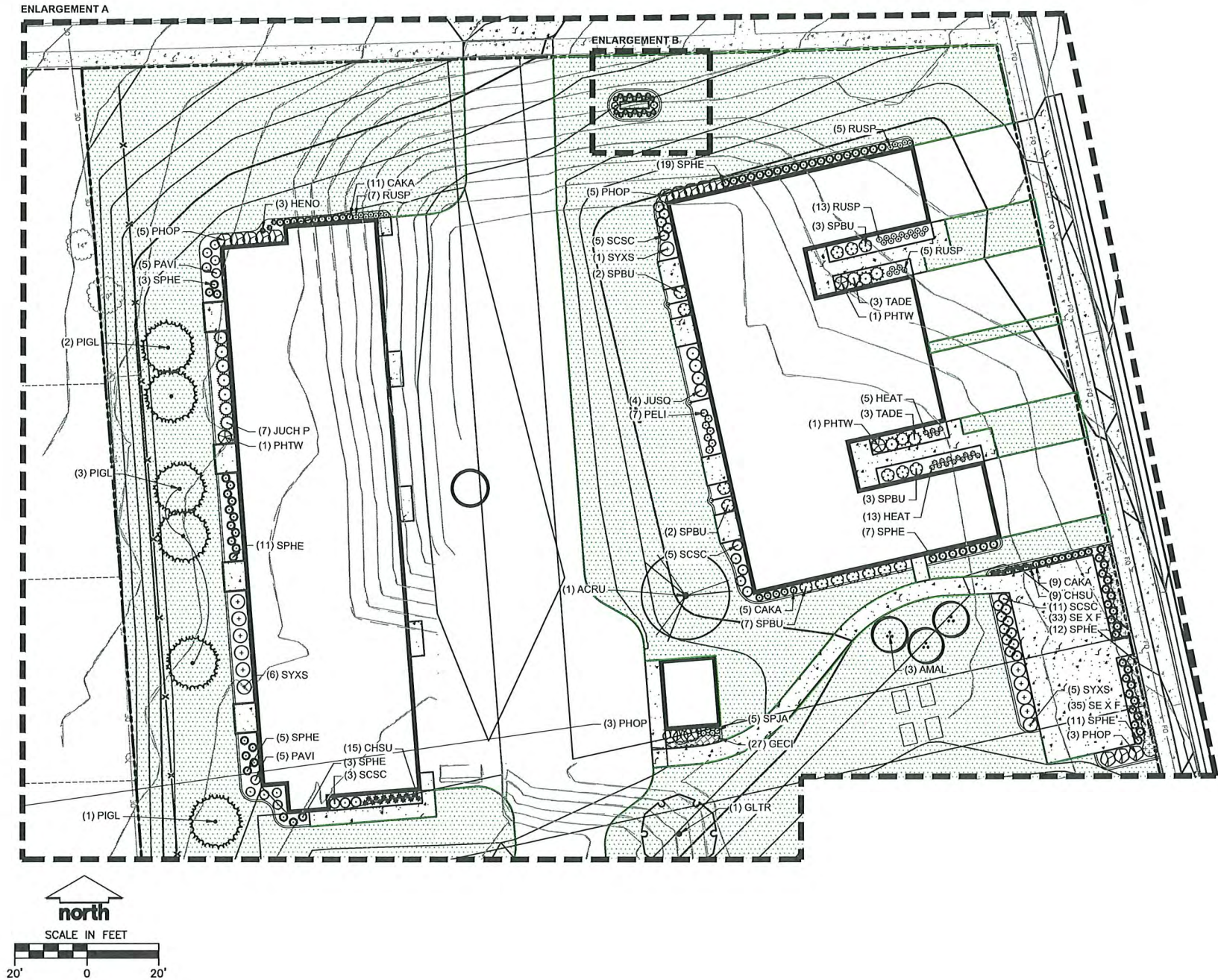
SHEET TITLE:
**OVERALL LANDSCAPE
PLAN**

SHEET NUMBER:
L1.0

JSD PROJECT NO: 21-10989

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Designed By: MJH
Reviewed By: LMV/JLF
Approved By: JLF

SHEET TITLE:
LANDSCAPE PLAN
ENLARGEMENTS

SHEET NUMBER:
L1.1

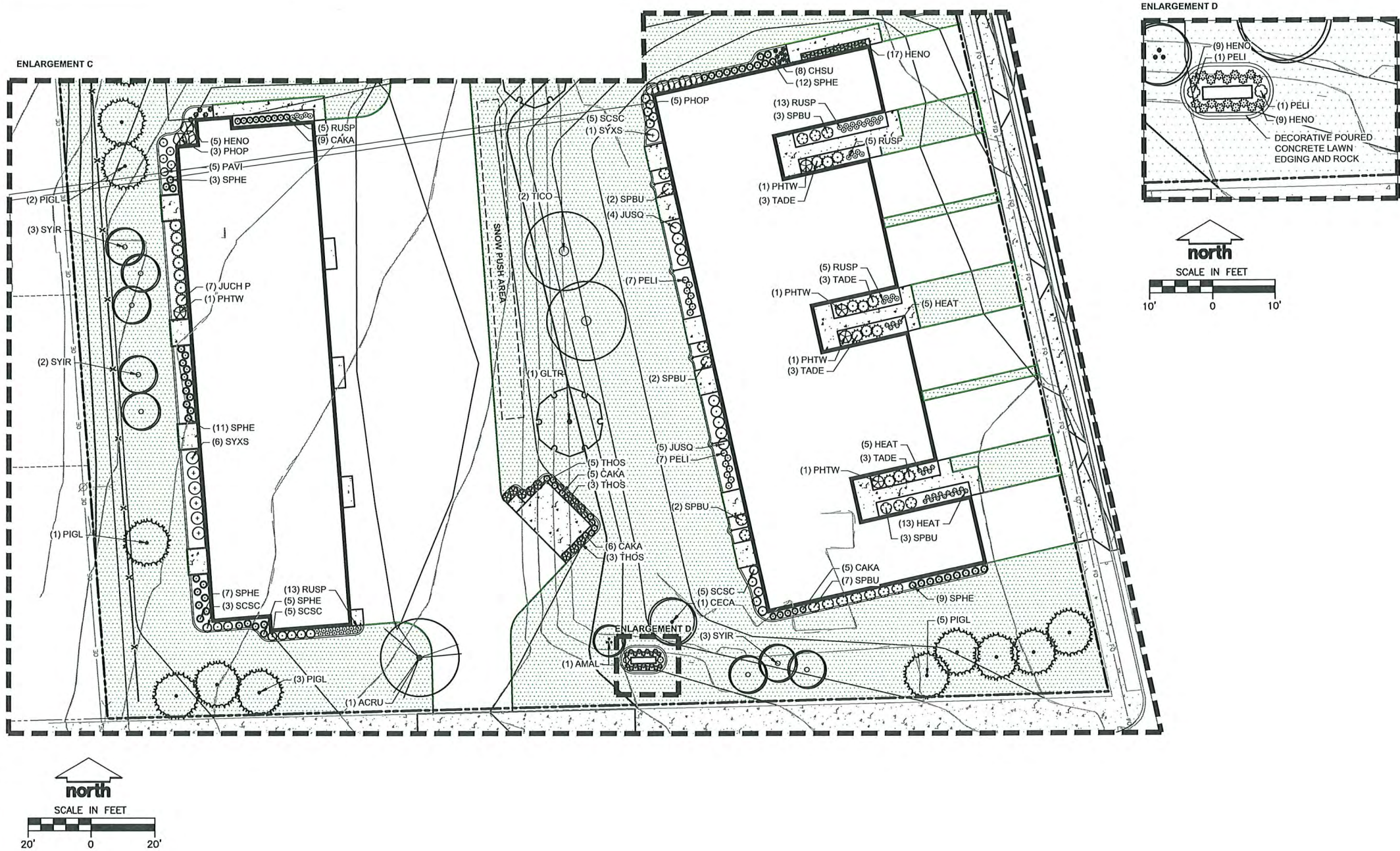
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Designed By: MJH
Reviewed By: LMV/JLF
Approved By: JLF

SHEET TITLE:
**LANDSCAPE PLAN
ENLARGEMENTS**

SHEET NUMBER:
L1.2

JSD PROJECT NO: 21-10989



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10

MEMO

To: City Plan Commission
From: Marty Olejniczak, Community Development Director *mo*
Date: March 23, 2022
Subject: Conceptual Planned Unit Development for Apartment Buildings – Pre-3

Premier Real Estate – a.k.a. Pre-3 – with Jared Schmidt of REL as agent is initiating a Planned Unit Development (PUD) to facilitate the development of a 96-unit apartment complex on a 12.6-acre site on the west side of S. Duluth Avenue. The site is immediate east of Target and is vacant. It has access to Ashland Avenue and Duluth Avenue via private easements along the north and south edges of the site.

The current General Commercial (C-1) zoning classification allows the proposed multiple-family dwellings as a conditional use. But the zoning code requires a PUD for multiple-family dwellings with 25 or more units on a lot. An amendment to the zoning code that would eliminate the PUD requirement is under consideration by the Common Council and, if approved, would go into effect in late April. In the event that a PUD is no longer required for this proposed apartment complex, then this conceptual submittal will serve as a preliminary review for the conditional use permit that would still be required.

The first formal step in a PUD process is a conceptual review. The conceptual review allows for the applicant to provide an overview of the project and for Plan Commission members to provide feedback and direction to the petitioner prior to proceeding with detailed drawings, formal hearing and review/recommendation. Official action is not necessarily required during a conceptual review, but it allows any pertinent issues to be discussed. It allows for feedback on the general acceptability of the concept and on specific aspects that should be included, excluded, or otherwise addressed as the project moves along.

The applicants are also seeking permission to follow the combined preliminary/final PUD procedures for the next phase of the PUD process. This is an option within the zoning code, but it requires approval of the Plan Commission at the time of conceptual review. Because this proposal involves single use with the same building design for each building on a single lot, using the combined preliminary/final procedures is appropriate. With the combined review the developer needs to submit the plans for the site development (e.g. landscaping, utilities, etc.) and the plans for the building (e.g. elevations, floor plans, etc.) at the same time.

CITY OF STURGEON BAY PLANNED UNIT DEVELOPMENT APPLICATION

Date Received: _____
Fee Paid \$ N/A
Received By: _____

Application For: Conceptual ☒ Preliminary _____ Final _____ Combined Preliminary/Final _____
Note: There are different requirements for each of the above processes. A separate application is required for each.

NAME OF PROPOSED PLANNED UNIT DEVELOPMENT: Premier SB Duluth Ave, LLC

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	<u>Chris Slater</u>	<u>Wallace Enterprises, Inc.</u>
Company	<u>Pre / 3</u>	
Street Address	<u>3120 GATEWAY ROAD</u>	<u>5370 Oakdale Rd.</u>
City/State/Zip	<u>BROOKFIELD WI 53045</u>	<u>Smyrna, GA 30082</u>
Daytime Telephone No.	<u>262-790-4560</u>	
Fax No: email	<u>CHRISTOPHER.SLATER@PRE-3.COM</u>	

STREET ADDRESS(es) OF SUBJECT PROPERTY: N/A
Location if not assigned a common address: S. Duluth Ave immediately east of Target

TAX PARCEL NUMBER(s): 281-66-12001605

AREA OF SUBJECT PROPERTY AND NO. OF LOTS: 12.6 acres - one parcel

CURRENT ZONING CLASSIFICATION: C-1 General Commercial

CURRENT USE AND IMPROVEMENTS: Vacant

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: Planned Neighborhood

WOULD APPROVAL OF THE PROPOSED PLANNED UNIT DEVELOPMENT CONFORM WITH THE COMPREHENSIVE PLAN? Yes ☒ No _____ Explain: Apartment is consistent with the description of planned Neighborhood, which calls for a variety of housing types

PLEASE IDENTIFY SPECIFIC PROPOSED LAND USES. USES MUST IDENTIFY AND CORRESPOND TO A PARTICULAR LOT, LOCATION, BUILDING, ETC. Eight 12-unit apartment buildings with parking, access driver, and stormwater pond.

CURRENT USE AND ZONING OF ADJACENT SURROUNDING PROPERTIES:

North: Storage bldg/Vacant land - unzoned in the Town of Nasewaupsee
South: Manufacturing/Storage bldgs - I-1 and unzoned in T. Nasewaupsee
East: Single family dwellings - unzoned in the T. Nasewaupsee
West: Target Store - Planned Unit Development

COMPREHENSIVE PLAN DESIGNATION OF ADJACENT SURROUNDING LAND USES:

North: Planned neighborhood
South: Regional Commercial
East: Regional Commercial
West: Medium density residential

IS ANY VARIANCE FROM COMPREHENSIVE PLAN, SUBDIVISION ORDINANCE, OR ZONING ORDINANCE BEING REQUESTED? If yes, describe:

Not at this time

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? No IF YES, EXPLAIN:

Attach an 11" X 17" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 20 copies folded to 8-1/2" X 11"), full legal description (preferably on disk), location map with site boundaries marked, proof of ownership, and Agreement for Reimbursement of expenses. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.

Property Owner (Print Name)

Christopher M Slater- PRE/3
Applicant/Agent (Print Name)

Signature

Signature

Date

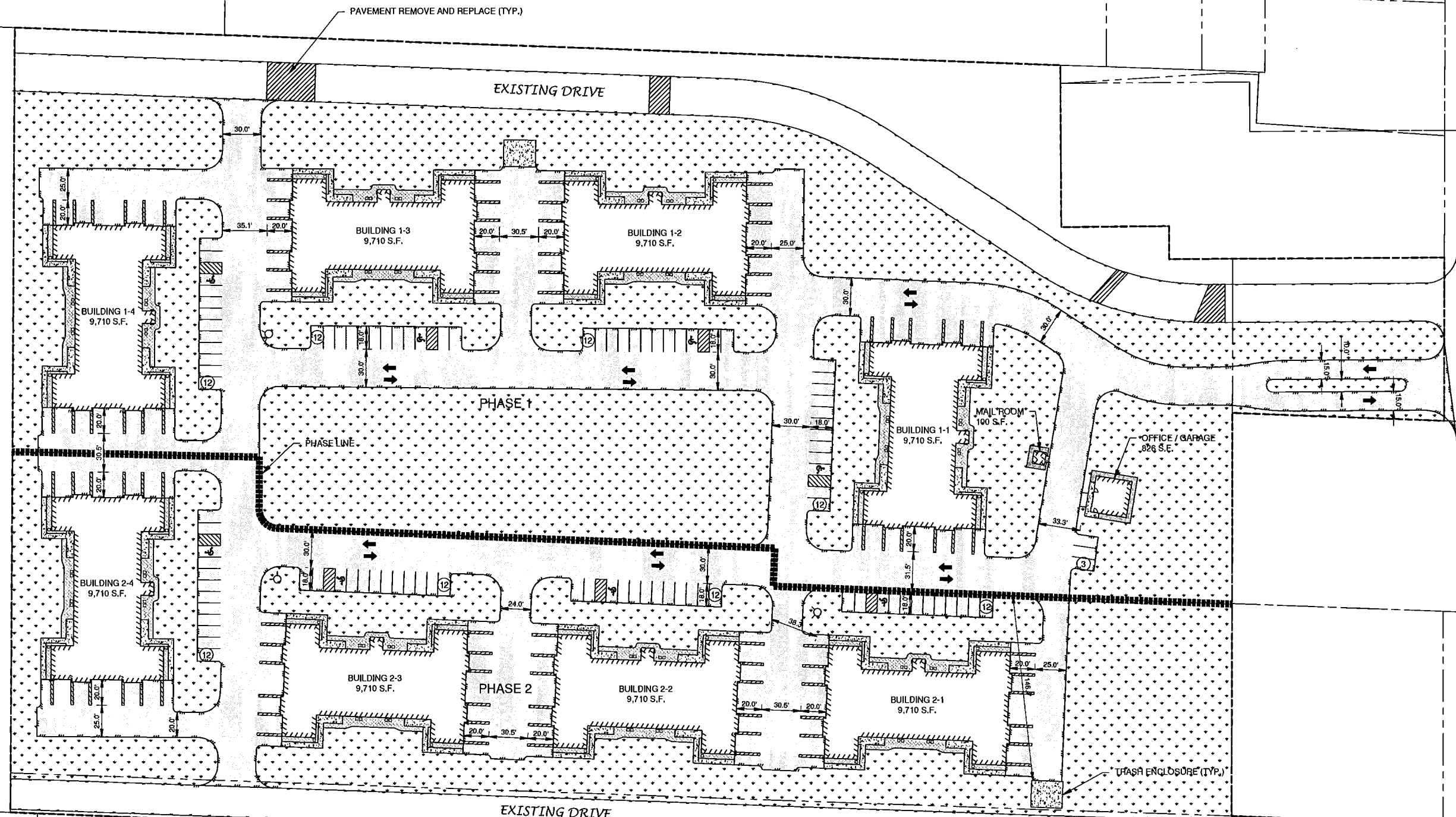
3/24/22
Date

I, N/A, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

Date of review meeting

Applicant Signature

Staff Signature

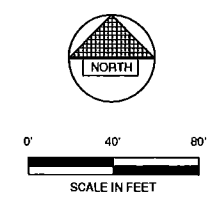


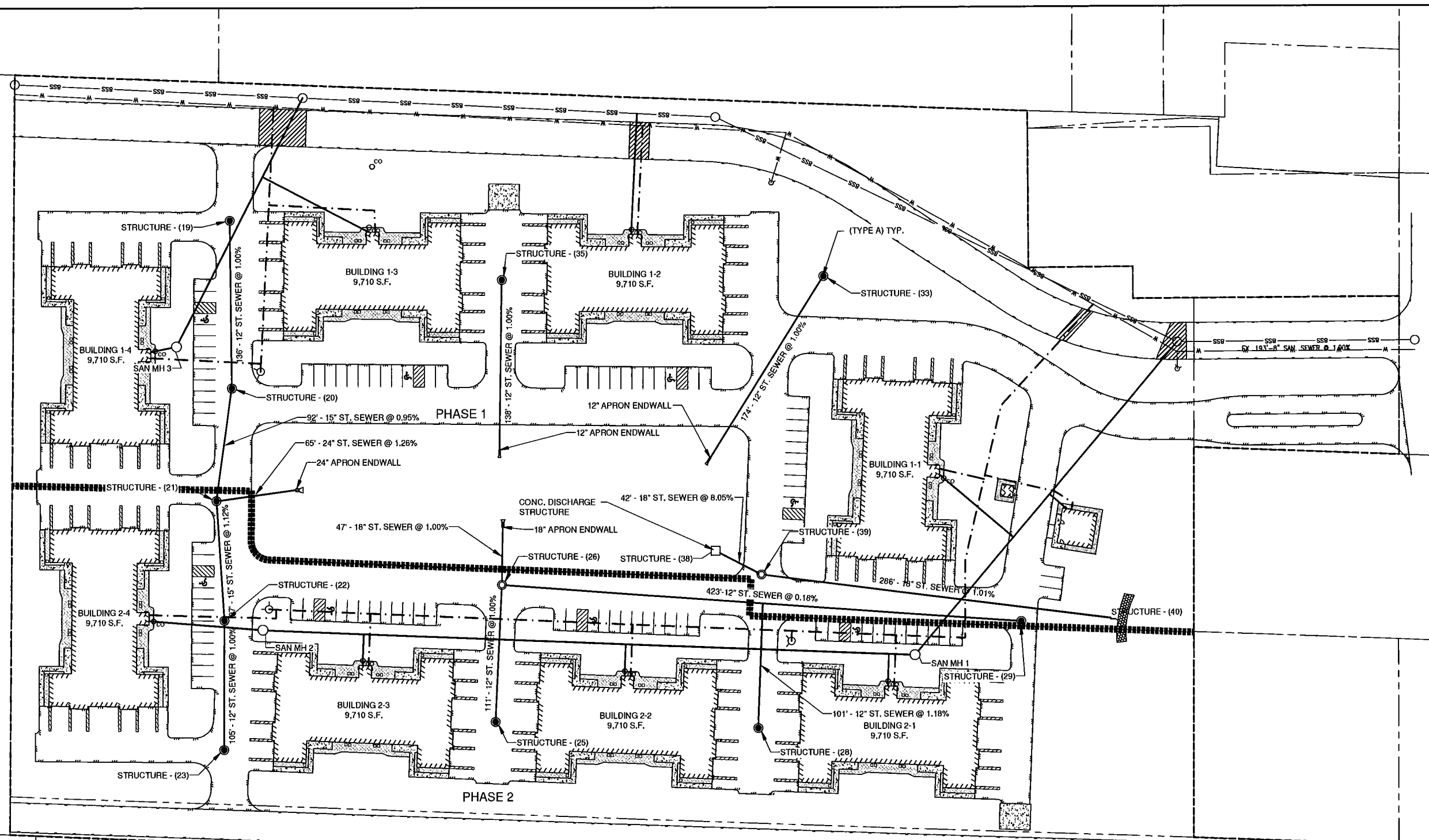
NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
TOTAL PARKING STALLS PROVIDED = 195 (96 COVERED, 99 SURFACE)
HANDICAP ACCESSIBLE PARKING STALLS = 8
TOTAL PARKING STALLS REQUIRED = X

SITE DATA
TOTAL AREA = 13.85 ACRES, 603,227 S.F.
BUILDING AREA = 1.81 ACRES, 78,606 S.F. (13.1%)
SIDEWALK/PARKING LOT AREA = 3.87 ACRES, 168,708 S.F. (27.9%)
GREEN SPACE = 8.17 ACRES, 355,913 S.F. (59.0%)

- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT (LIGHT) (156,009 S.F.)
 - ASPHALT PAVEMENT (HEAVY) (S.F.)
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED 18" STANDARD CURB AND GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - INDICATES NUMBER OF PARKING STALLS
- *NOTE:** ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

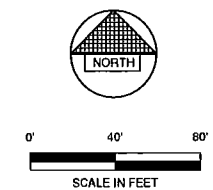


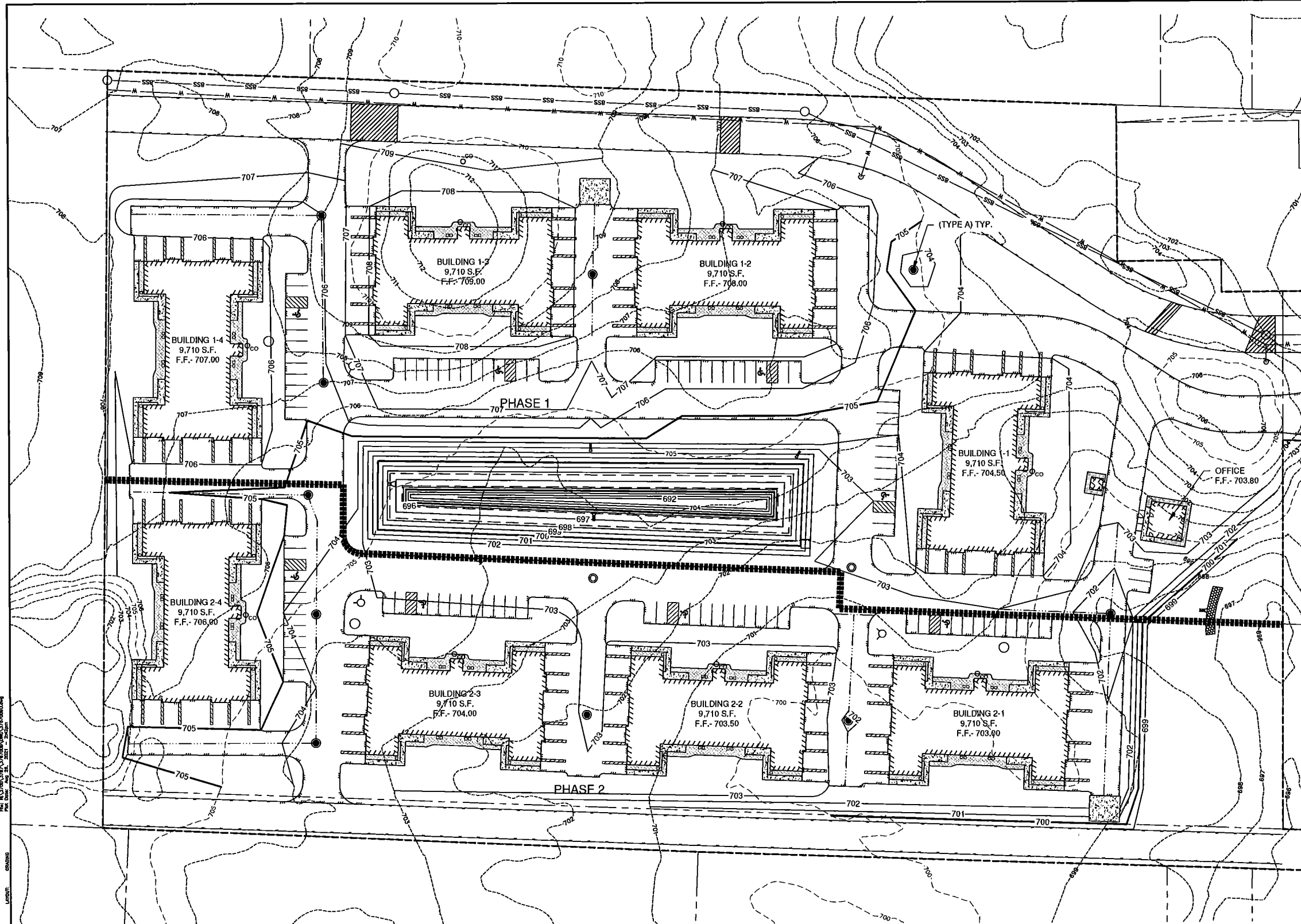


- LEGEND**
- | | | | |
|--------|-------------------------|--------|--------------------------------------|
| —SSS— | PROPOSED SANITARY SEWER | —SSS— | EXISTING SANITARY SEWER (SIZE NOTED) |
| —10ST— | PROPOSED STORM SEWER | —10ST— | EXISTING STORM SEWER (SIZE NOTED) |
| —6W— | PROPOSED WATERMAIN | —6W— | EXISTING WATERMAIN (SIZE NOTED) |
-
- | | | | |
|---|--------------------------------|---|------------------------------|
| ○ | PROPOSED FIRE HYDRANT | ● | PROPOSED STORM CATCH BASIN |
| ⊗ | EXISTING FIRE HYDRANT | ⊗ | EXISTING STORM CATCH BASIN |
| ⊕ | PROPOSED WATER VALVE/CURB STOP | ⊕ | PROPOSED STORM INLET |
| ⊖ | EXISTING WATER VALVE/CURB STOP | ⊖ | EXISTING STORM INLET |
| ⊙ | PROPOSED WATER MANHOLE | ⊙ | PROPOSED STORM INLET MANHOLE |
| ⊘ | EXISTING WATER MANHOLE | ⊘ | EXISTING STORM INLET MANHOLE |
| ▽ | PROPOSED REDUCER/INCREASER | ▽ | PROPOSED YARD DRAIN |
| ○ | EXISTING REDUCER/INCREASER | ○ | EXISTING YARD DRAIN |
| ○ | PROPOSED SANITARY MANHOLE | ○ | PROPOSED STANDPIPE |
| ○ | EXISTING SANITARY MANHOLE | ○ | EXISTING STANDPIPE |
| ○ | PROPOSED CLEANOUT | ○ | PROPOSED ROOF DOWNSPOUT |
| ○ | EXISTING CLEANOUT | ○ | EXISTING ROOF DOWNSPOUT |
| ○ | PROPOSED STORM MANHOLE | ○ | PROPOSED DISCHARGE STRUCTURE |
| ○ | EXISTING STORM MANHOLE | ○ | EXISTING DISCHARGE STRUCTURE |

PLUMBING DATA
DRAINAGE FIXTURE UNITS =
WATER FIXTURE UNITS =

- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.





LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW

POND CONSTRUCTION NOTE

IF SAND OR BEDROCK IS ENCOUNTERED WITHIN TWO FEET OF THE EXCAVATION LIMITS OF THE POND, MODIFICATIONS TO THE DESIGN MAY BE REQUIRED. CONTACT ENGINEER FOR FURTHER DIRECTION PRIOR TO COMPLETION OF POND CONSTRUCTION.

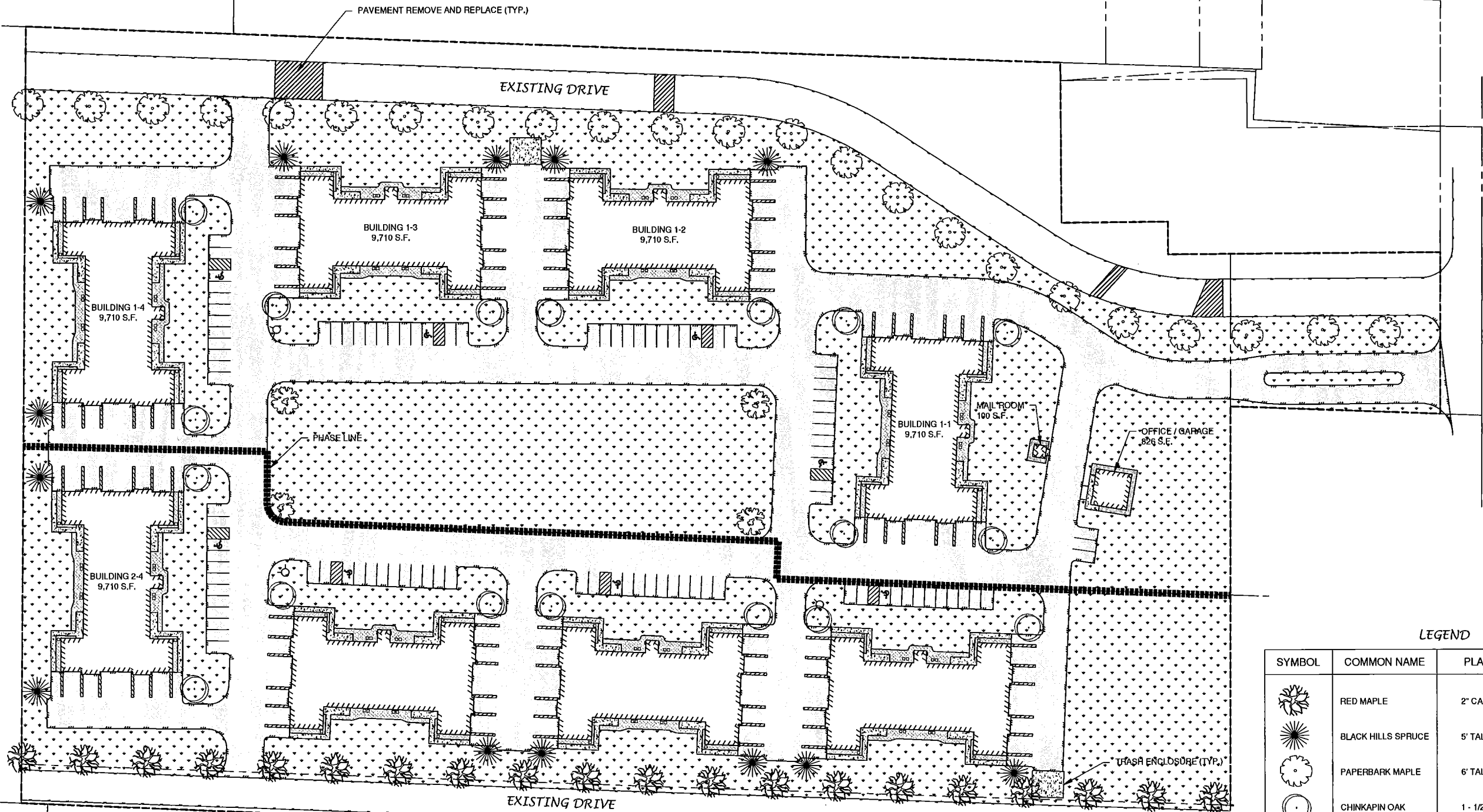


0' 40' 80'
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	DATE	FILE	JOB NO.	3787009	Robert E. Lee & Associates, Inc.	ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES	1250 CENTENNIAL CENTRE BOULEVARD	HOBART, WI 54155	920-662-9841	www.releelnc.com	SHEET NO.
								LLP	07/2021	3787009D	3787009								3
								CHECKED											
								DESIGNED											
								AJB											

STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

Grading
STORM SEWER PLAN



LEGEND

SYMBOL	COMMON NAME	PLANT SIZE	QUANTITY
	RED MAPLE	2" CALIPER	20
	BLACK HILLS SPRUCE	5' TALL	13
	PAPERBARK MAPLE	6' TALL	23
	CHINKAPIN OAK	1 - 1/2" CALIPER	18
	CALLERY PEAR	6' TALL	4
TOTAL			78



0' 40' 80'
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LLP
								CHECKED
								DESIGNED
								ASB

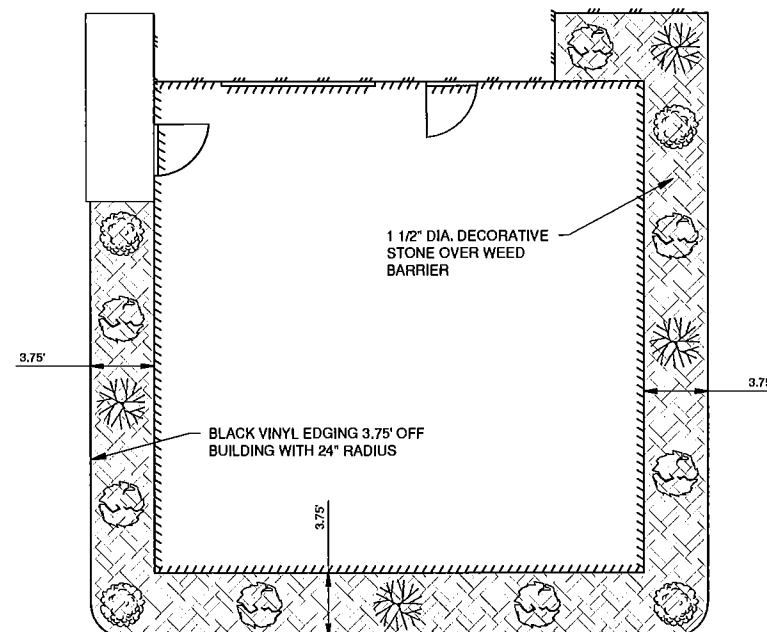
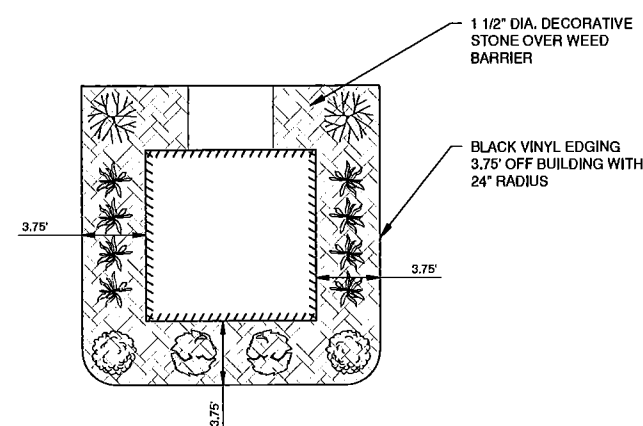
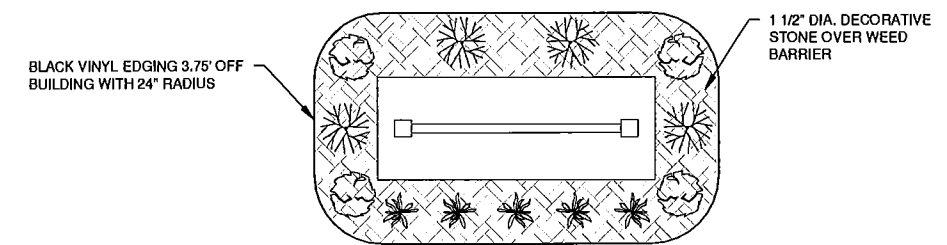
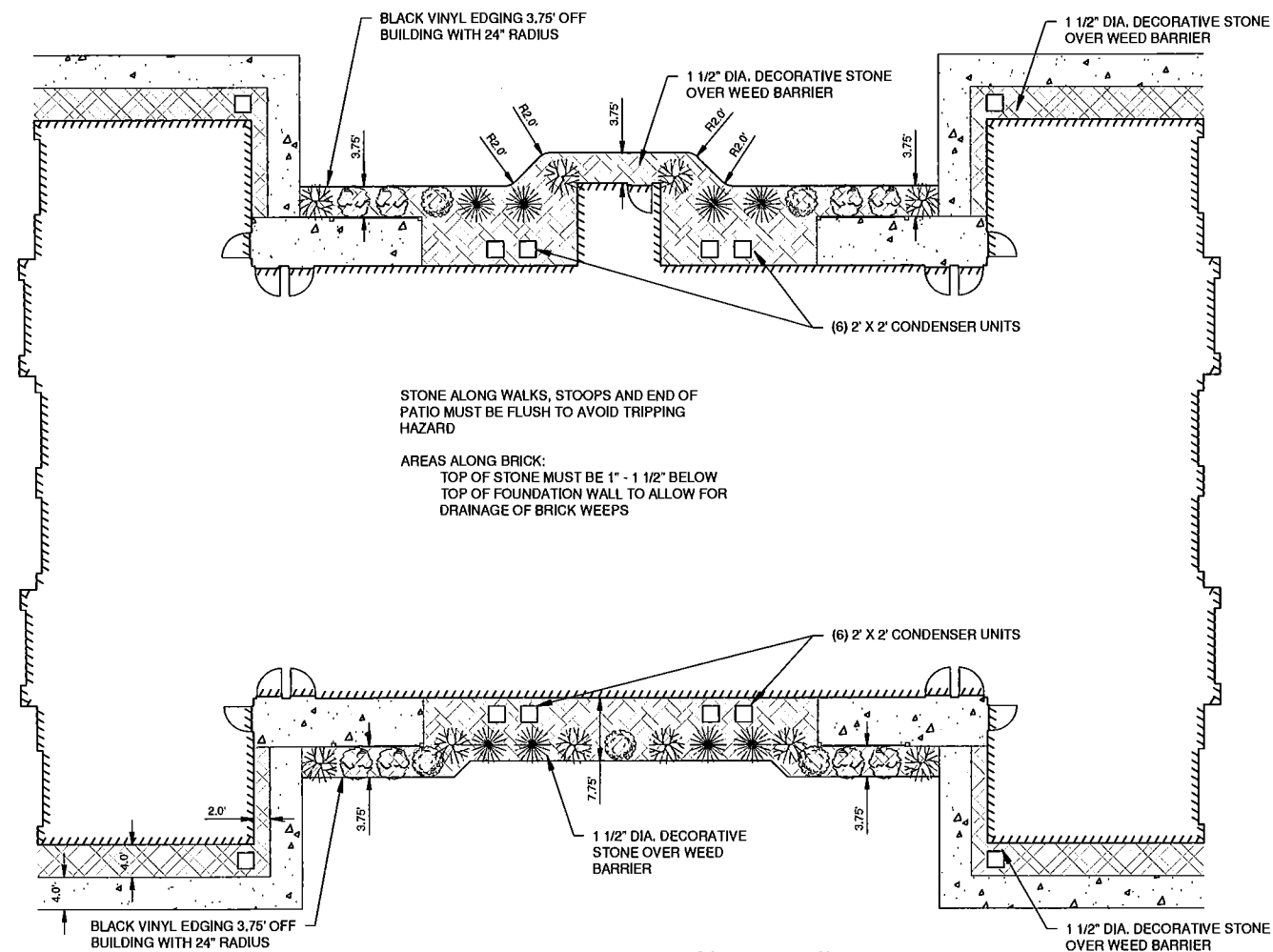
STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN






LANDSCAPE PLAN

DATE
07/2021
FILE
3787009D
JOB NO.
3787009

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ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
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SHEET NO.
L



LEGEND			
SYMBOL	SPECIES		PLANT SIZE
	COMMON NAME	SCIENTIFIC NAME	
	Goldfinger Potentilla	<i>Potentilla Fructicosa 'Goldfinger'</i>	3 GAL.
	Hetz Midget Arborvitae	<i>Thuja Occidentalis 'Hetz Midget'</i>	5 GAL.
	Bluemuffin Arrowwood Viburnum	<i>Viburnum Dentatum 'Christom'</i>	5 GAL.
	Goldflame Spirea	<i>Spirea x Bumala 'Goldflame'</i>	3 GAL.
	Stella D' Oro Dwarf Daylily	<i>Heemerocallis x 'Stella de Oro'</i>	1 GAL.

[illegible]