

AGENDA
CITY OF STURGEON BAY
PLAN COMMISSION
Wednesday, February 16, 2022
6:00 p.m.
City Council Chambers
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from January 19, 2022.
4. Public comment on non-agenda Plan Commission related items.
5. Preliminary Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8th Avenue.
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
6. Combined Preliminary/Final Planned Unit Development for a 70-unit multiple-family residential development proposed by Cherry Point Investments, LLC for property located at 1048 Egg Harbor Road and the rear portion of 1116 Egg Harbor Road.
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
7. Consideration of: Initial presentation of zoning amendments to change the zoning classifications of all properties within the Commercial/Light Manufacturing (C-3) district to General Commercial (C-1) or Light Industrial (I-1).
8. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

2/11/22
2:30 p.m.
SM

<u>Plan Commission Members</u>	
Mayor David Ward	Mark Holey
Ald. Kirsten Reeths	Jeff Norland
Ald. Helen Bacon	Debbie Kiedrowski
Ald. Dennis Statz	

CITY PLAN COMISSION MINUTES January 19, 2022

A meeting of the City Plan Commission was called to order at 6:00p.m.on January 19, 2022, by Chairperson David J. Ward in the Council Chambers, City Hall, 421 Michigan Street, Sturgeon Bay.

Roll Call (#1): Members present: David Ward, Helen Bacon, Jeff Norland, Dennis Statz, Mark Holey, and Kirsten were present. Debbie Kiedrowski was excused. Also present were Community Development Director Marty Olejniczak, Zoning and Planning Administrator Christopher Sullivan-Robinson, and Administrative Assistant Suzanne Miller.

Agenda (#2): Motion was made by Bacon and seconded by Holey to accept the following agenda:

1. Roll call.
 2. Adoption of agenda.
 3. Approval of minutes from December 15, 2021.
 4. Public comment on non-agenda Plan Commission related items.
 5. Conditional use application for 4-unit multiple-family dwelling proposed by TTX Leasing Inc. for property located at 1921 Florida Street:
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
 6. Consideration of: Resolution regarding Relocation Order and Declaration of Necessity to the extension of S. Grant Avenue.
 7. Consideration of: Creation of Egg Harbor Road Tax Increment District.
 8. Adjourn.
- All ayes. Motion carried

Approval of minutes from December 15, 2021 (#3): Motion was made by Statz to approve the minutes from October 20, 2021, and seconded by Norland. All ayes. Motion carried.

Public Comment on non-agenda Plan Commission related items (#4): No citizens presented for public comment.

Conditional use application for 4-unit multiple-family dwelling proposed by TTX Leasing Inc. for property located at 1921 Florida Street (#5):

Presentation: Sullivan-Robinson described a petition by Therma-Tron-X Leasing to convert the former Community Based Residential Facility into a 4-unit multi-family dwelling. The proposed plan is compliant with the Comprehensive Plan for the site (Medium Density Residential), conforms with the current R-4 (Multiple Family Residential) zoning, and will reuse an empty building.

Chuck Wheaton, representing Therma-Tron-X Leasing at 1155 Neenah Ave., described the company's need to provide housing to aid in staff recruitment. He presented a plan to create four units in the existing building by adding two kitchens and one bathroom and replacing all exterior doors. He stated the building will look brand new.

Public Hearing: No speakers presented at the meeting.

Consideration: Reeths moved to approve the conditional use application proposed by Therma-Tron-X Leasing Inc. for a 4-unit multiple-family dwelling on the property located at 1921 Florida St. as presented. Holey seconded the motion. All ayes. Motion carried.

Consideration of Resolution regarding Relocation Order and Declaration of Necessity to the extension of S. Grant Avenue (#6):

Consideration: Olejniczak explained the required easement for an existing stormwater retention pond on the Ruenger parcel does not currently exist and the previously approved resolution for the right of way needed for the extension of S. Grant Ave must be revised to include the easement and then readopted.

Recommendation: Norland moved that the Commission recommend the Common Council adopt the revised Resolution of Relocation Order and Declaration of Necessity. Bacon seconded the motion. All ayes. Motion carried.

Consideration of Creation of Egg Harbor Road Tax Increment District [TID] (#7):

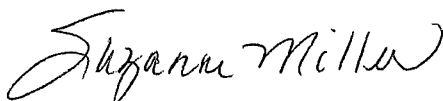
Presentation: Olejniczak described multiple planned and/or potential development projects including a number of new housing projects, Ace Hardware, Rogue Theater, improvements to buildings at 12th Ave. & Egg Harbor Rd., and new commercial development on vacant lots that could be included in the TID. He also reported on potential municipal infrastructure projects being considered for the area including storm water improvements and detention pond, sewer and water improvements, pedestrian and bike connections, street resurfacing, and streetscape improvements. Staff recommends use of tax incremental financing for the area while recognizing creation of TID is a multistep project with technical requirements that may require hiring a financial consultant.

The Commission discussed 1) Having the streetscape improvements match the look of the downtown 2) Addition of sidewalks and trails leading to Egg Harbor Rd. and 3) The feasibility of including a loan opportunity for commercial buildings similar to the home improvement loan program that has been part of other TIDs in the City.

Consideration: Holey moved the Commission make a recommendation to the Common Council to begin the planning process to create an Egg Harbor Road Tax Increment District to include hiring the City's financial consultants R. W Baird to prepare the project plan and proformas and lead the creation process. Norland seconded the motion. All ayes. Motion carried.

Adjourn (#8): Norland made the motion to adjourn, which was seconded by Reeths. All ayes. The motion carried. The meeting adjourned at 6:34p.m.

Respectfully submitted,

A handwritten signature in cursive script, reading "Suzanne Miller".

Suzanne Miller
Administrative Assistant

Executive Summary
Preliminary PUD – SCS Sunset Estates
February 8, 2022

Proposal: S.C. Swiderski, LLC is petitioning the City to approve a Planned Unit Development (PUD) for a 26-unit apartment project. The subject site is located at 827 N 8th Ave; parcel # 281-62-05000208, which is currently contains Sunset Elementary School. The project consists of two 8-unit buildings, a 6-unit building and a 4-unit building. All units will have an attached garage.

Last year, the City worked cooperatively with the Sturgeon Bay School District in issuing a Request for Proposal (RFP) for both of the Sunset School parcels. Phillips Development LLC was chosen for the school parking lot south of Erie St, and the City Council chose to work with S.C. Swiderski, LLC on developing the main school site.

PUD Required: Planned Unit Developments are special zoning districts in which the allowed uses and district requirements are unique to, and based upon, the specific development proposal. PUD's allow for flexibility of development requirements, but also require a greater degree of scrutiny by the City prior to approval. Section 20.24 of the Zoning Chapter requires that this development proposal be approved via the PUD process since the number of residential units exceed 24 total units and since the existing zoning classification would not allow for multiple-family residential. No deviations of the general zoning code have been requested. During the Preliminary review process a public hearing is to occur which is scheduled for February 16, 2022 following a presentation from the applicant.

Existing Conditions: The subject site is zoned Single Family Residential (R-2) and contains 2.762 acres of land. The property fronts on Delaware St, N 8th Ave, and Erie St. Portions of the street frontage are designated as no parking allowed due to school bus loading zones. The site contains the existing Sunset School Building and a playground area. There are also several small accessory buildings and a chain-link fence surrounding the back half of the property.

The property is surrounding by Single-Family dwellings on all sides except for the VFW clubhouse to the north and multi-family dwellings toward the southwest. The zoning is R-2 on three side with PUD and Multiple-Family Residential (R-4) toward the south.

Comprehensive Plan: The Comprehensive Plan's Future Land Use Map identifies this site for Higher Density Residential Use. The Comp Plan describes this category" as *intended for a variety of residential units but ins primarily comprised of multi-family housing (3+ unit buildings), usually developed at a density of 12.4 units per acre*". Either an R-3 or R-4 zoning district would be the most applicable. The City recognizes that there is a housing shortage within City and County areas based on housing studies and Employer and Citizen feedback. The city should continue to pursue and support housing developments of all types address shortages and the needs of everyone.

Site Plan and Design Considerations: The following is a summary of the major site and design issues:

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Preliminary PUD – SCS Sunset Estates
February 8, 2022

Proposed Use: The project consists of a total of 26 apartments units contained in 4 buildings. The underlying zoning as part of the PUD Ordinance would be R-4 which matches the proposed development.

Building Layout: All buildings will face toward 8th Ave. The 4-unit and 6-unit building will be located closer to the street with the two 8-unit buildings closer to the rear lot line.

Density: The zoning code requires a minimum 12.4 units per acre (3500 square-feet per unit) At 26 units the density is 4,267 square feet per unit. The proposed density complies with the zoning code.

Building Design: There are two different building design including the Bedford and the Huntington. The Bedford is a single-story building with pitched roofs and garages attached to the front. Each dwelling unit has separated entries. The exterior is primarily a horizontal siding with stone accent around the base. The Bedford design is intended to blend with the ranch homes across the street. The Huntington has more of a traditional multi-family townhouse design. These are two-story buildings with pitched roofs and attached garage. Each dwelling has separate entries. Dormers are provided over the entries with shake shingles on the gable end. The building is sided with a combination of horizontal siding and a brick around the base of the building. Balconies are provided on the upper floor. 8' x 6' covered patios are provided on the back.

One design change that staff would like the Plan Commission and developer to consider is modifying the front of the Bedford units to include:

1. A different style of garage door that includes a row of windows; and
2. Add a mansard roof line above just above the garages

Mix of Units: The Huntington buildings have a total of 16 two-bedroom units. The Bedford buildings include a total of 6 two-bedroom units and 4 three-bedroom units.

Parking: The zoning code requires 46 parking stalls. The site plan identifies 38 off street parking spaces and 28 garage stalls for 66 total spaces. Off-street parking quantities are met. The Bedford buildings will be accessed with separate driveways to 8th Ave. However, the driveways for the interior Bedford units exceed the 35-ft maximum width allowed at the street. These wide driveways are a safety concern and snow storage concern and also pose an aesthetics issue compared to the driveways across the street. To address this issue, it is suggested that landscape islands or strips be used closer to the street to provide separation and curb appeal.

The Huntington buildings are accessed by a continuous driveway between Delaware and Erie Streets. There are no concerns with that access.

One other issue with the parking layout is the visitor parking shown on 8th Avenue. This parking does not conform to city standards and, when coupled with the Bedford driveways, creates a near continuous strip of asphalt along 8th Avenue. Staff recommends

Executive Summary
Preliminary PUD – SCS Sunset Estates
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eliminating this parking area altogether. The six parking spaces that are lost are partially offset by the three on-street spaces that are created.

Pedestrian Access: Public sidewalks are located on all street frontages. A new sidewalk will connect the Huntington parking area to 8th Avenue.

Traffic: The City Engineer is not requiring a traffic study for this project. No significant changes to the surrounding streets or traffic pattern are anticipated or planned.

Utilities: Sanitary sewer will be extended off of the existing main in Delaware Street. Water is extended off of the main in N 8th Ave. Electrical surfaces is already located on site. SBU has noted that all existing sanitary and sewer and water laterals on 8th will need to be abandoned at the mains. Existing sanitary sewer manholes on Delaware will need to be replaced with a “Y” pattern flow-line manhole. The proposed fire hydrant and control valve will need to be located closer to the proposed water main and meet the needs of the Fire Department. The 2” copper water laterals need to be “direct tapped” on the D.I. water main, not connected by a saddle. The 2” copper water laterals also need curb stop valves and curb box assemblies added near the main.

Stormwater Management: A stormwater management plan is required for this site. A preliminary design has been provided and appears to be on the right track. This plan utilizes underground storage tank versus typical bioswale / storm pond area. A network of storm pipes will be located under the parking areas and by the building downspouts with a spillway located on the northwest corner of the property. A final design submittal with completed engineering will need to be provided before obtaining a plan approval.

Landscape Design: All existing plants and trees will be removed from the site. The proposed landscape plan shows several groupings of evergreens along the west lot line. There are a couple groupings of evergreens, maple trees and couple of other deciduous trees along the south lot line. There will be a few other trees planted in between the buildings. The Bedford's will have landscaped areas with various shrubs by the entry ways in the front and on all other sides of the building. The Huntington's will have landscaped areas on the back and sides since the front is all paved. To soften the front planters could be established between the garage doors and entrance or small landscape beds installed instead. Per the zoning code, 6 canopy trees are required within 10 feet of the Huntington parking areas. This could be met by shifting or adding trees unless a deviation from the code is approved through the PUD. In addition, approximately 20 trees are required along the street frontages, based on 1 tree per 50 feet of street frontage. The Erie Street frontage has no tree terrace due to the wide sidewalk used for unloading students. This frontage should be restored to a standard residential look with 5-foot sidewalk and terrace lawn either by the developer or through the tax increment district.

Signage: The project includes two ground signs - one facing Delaware St and another on Erie St. Each is shown with a decorative base and landscaping. The sign designs and

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February 8, 2022

locations will require sign permits and review by the Aesthetic Design and Site Plan Review Board prior to start of construction.

Lighting: The lighting plans have been submitted which include 48 wall lanterns and 26 surface mounted disk lights. No free-standing lights are proposed. Lighting will get reviewed by the Aesthetic Design and Site Plan Review Board. In general, all lighting should be designed to be night sky friendly and contained within the site. This is accomplished with downward directed light fixtures and shielding if necessary. Based on the proposal this should comply.

Other Considerations:

1. A proposed fence is planned to be installed along the west lot line behind the proposed evergreen trees. It will be 6 feet tall and made from 1 x 6 Cedar Boards.
2. A proposed garbage enclosure is proposed near the south entrance off of Erie Street. Some vegetative screen is provided around the location.
3. A proposed mailbox structure will be located near the center of the property off of the rear parking area.
4. The developer intends to install a community garden in the center of the property as an amenity.

PUD Review Criteria: The Plan Commission and Council must consider whether the development is consistent with the spirit and intent of the City's ordinance, has been prepared with competent professional guidance, and produces benefits to the city compared to conventional development. In addition, there are specific criteria listed in the zoning code.

Fiscal Impact: This project will have to contribute \$300.00 per residential unit totaling \$7800.00, which goes toward the Park and Playground Fund. In addition, the taxes generated from the minimum \$2,500,000 project will contribute to the recently created TID #5 which will ultimately pay for several public improvements planned for this area, including street repairs, playground equipment, and neighborhood fix-up. The developer will receive financial incentive of \$7,700 for each unit upon completion.

Recommendation: City Staff recommends approval of the Preliminary PUD subject to:

1. The developer eliminating or modifying the layout of the off-street visitor parking lot.
2. All proposed driveways for the Bedford buildings must provide a landscape islands or strips closer to the street to provide separation and curb appeal.

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Preliminary PUD – SCS Sunset Estates
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3. The developer meet the requirements of Sturgeon Bay Utilities and the Fire Department as described above.
4. The developer must utilize an alternative garage door for the Bedford buildings that contains windows and is a non-traditional style of door. In addition, consider adding a mansard roof line above the garage doors.

Prepared by:  2.11.22
Christopher Sullivan-Robinson
Planner / Zoning Administrator Date

Reviewed by:  2-10-2022
Marty Olejniczak
Community Development Director Date

Reviewed by:  2/10/22
Josh Van Lieshout
City Administrator Date

CITY OF STURGEON BAY PLANNED UNIT DEVELOPMENT APPLICATION

Date Received: _____
Fee Paid \$ _____
Received By: _____

Application For: Conceptual ___ Preliminary ___ Final ___ Combined Preliminary/Final X
 Note: There are different requirements for each of the above processes. A separate application is required for each.

NAME OF PROPOSED PLANNED UNIT DEVELOPMENT: _____

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	Jacqui McElroy	S.C. Swiderski, LLC as of 1/28/22
Company	S.C. Swiderski, LLC	
Street Address	401 Ranger St.	
City/State/Zip	Mosinee, WI 54455	
Daytime Telephone No.	715-693-7838	
Fax No.		

STREET ADDRESS(s) OF SUBJECT PROPERTY: 827 N. 8th Avenue, Sturgeon Bay, WI
 Location if not assigned a common address: _____

TAX PARCEL NUMBER(s): 281-6205000208

AREA OF SUBJECT PROPERTY AND NO. OF LOTS: 2.762 Acres; 1 Lot

CURRENT ZONING CLASSIFICATION: R-2 Single-Family

CURRENT USE AND IMPROVEMENTS: Former school facility including building, parking lot, and playground

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: higher density residential

WOULD APPROVAL OF THE PROPOSED PLANNED UNIT DEVELOPMENT CONFORM WITH THE COMPREHENSIVE PLAN? Yes X No _____ Explain: Complies with future land use map and city's goal of providing high quality, affordable housing with a variety of options. This is a re-development of the Sunset Elementary School.

PLEASE IDENTIFY SPECIFIC PROPOSED LAND USES. USES MUST IDENTIFY AND CORRESPOND TO A PARTICULAR LOT, LOCATION, BUILDING, ETC. multi-family development consisting of apartments on 2.76 acres of land with 4 apartment buildings, 1 mail building, 1 trash receptacle, and 2 monument signs. 22, 2-bedroom units and 4, 3-bedroom units.. There will also be a rain garden amenity for tenants' use.

CURRENT USE AND ZONING OF ADJACENT SURROUNDING PROPERTIES:

North: R-2 Single-family dwelling

South: PUD/R4 multi-family dwelling

East: R-2 Single-family dwelling

West: R-2 Single-family dwelling

COMPREHENSIVE PLAN DESIGNATION OF ADJACENT SURROUNDING LAND USES:

North: Medium density residential

South: higher density residential

East: Lower density residential

West: Medium density residential


IS ANY VARIANCE FROM COMPREHENSIVE PLAN, SUBDIVISION ORDINANCE, OR ZONING ORDINANCE BEING REQUESTED? If yes, describe:
not at this time.


HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? N IF YES, EXPLAIN:

Attach an 11" X 17" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 20 copies folded to 8-1/2" X 11"), full legal description (preferably on disk), location map with site boundaries marked, proof of ownership, and Agreement for Reimbursement of expenses. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.

S.C. Swiderski, LLC
Property Owner (Print Name)

Jacqui McElroy
Applicant/Agent (Print Name)


Signature Jacquie McElroy


Signature Jacquie McElroy

1/26/22
Date

1/26/22
Date

I, _____, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

Date of review meeting

Applicant Signature

Staff Signature

- _____ b. Recommendation to Common Council for approval of final PUD and preliminary plat within (this may be done with preliminary PUD at the developer's request).
- _____ c. Recommendation to Common Council for final plat.
- _____ 16. Approval/denial of final PUD and final plat by Common Council within 60 days of receipt of Plan Commission recommendation (may be in conjunction with preliminary approval). Approval of final PUD shall be considered a preliminary plat and final plat of subdivision.
- _____ 17. Applicant provides 20 full blueprint size folded copies (with 2 copies no larger than 11 by 17 inches to Community Development Department) of PUD plan in recordable format.
- _____ 18. Community Development Secretary prepares ordinance and documentation for recording, and schedules first and second readings.
- _____ 19. First reading of zoning ordinance.
- _____ 20. Second reading of zoning ordinance.
- _____ 21. City Clerk publishes ordinance, and records PUD and preliminary and final plat with Register of Deeds.
- _____ 22. Rezoning is effective on the day after publication.
- _____ 23. City Clerk distributes copies of ordinance to staff and Council.
- _____ 24. City Engineer records PUD on Zoning Map.

NOTICE OF PUBLIC HEARING

The City of Sturgeon Bay Plan Commission will hold a public hearing in the Council Chambers at Sturgeon Bay City Hall, 421 Michigan Street, Sturgeon Bay, Wisconsin on February 16, 2022 at 6:00 p.m. or shortly thereafter in regard to a Preliminary Planned Unit Development request from S.C. Swiderski LLC to approve a 26-unit Multiple Family Residential development. The project includes two 8-unit buildings, one 4-unit building and one 6-unit building, all with attached garages. The subject site is located at 827 N 8th Ave (Sunset School Property); parcel #281-62-05000208. The PUD application and related material is on file with the Community Development Department and can be viewed weekdays between 8:00 a.m. and 4:30 p.m., or visit the City website at www.sturgeonbaywi.org for more details. The general public is invited to give testimony in-person at the public hearing or in writing. Written testimony can be mailed to City Hall attention Community Development Department or emailed to the Planner / Zoning Administrator at csullivan-robinson@sturgeonbaywi.org.

By order of:
City of Sturgeon Bay
Plan Commission

Location Map
PUD - 26 Unit Multifamily Development
827 N 8th Ave

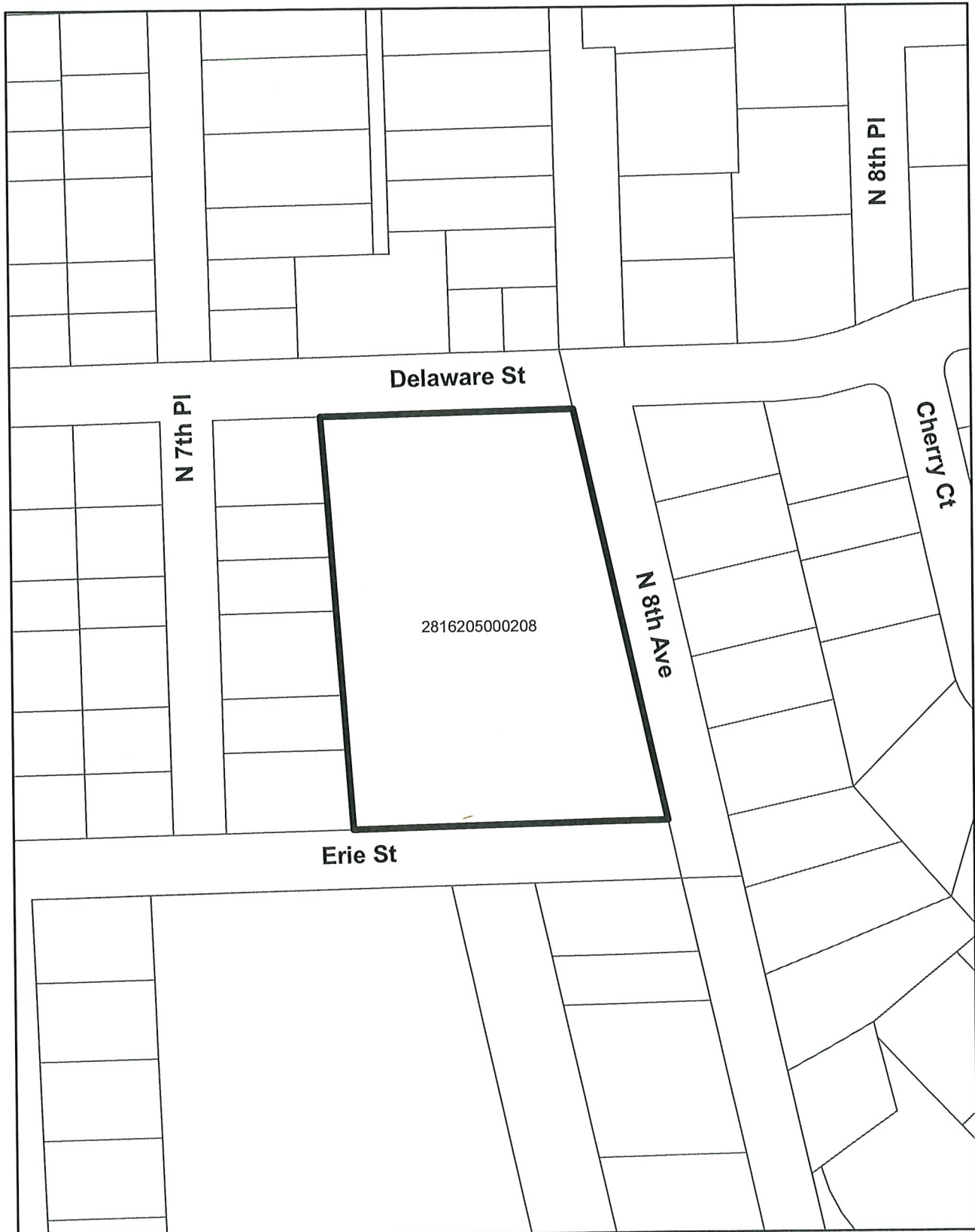


Subject Property



NOTE: Public hearing to be held on February 16, 2022 @ 6:00pm or shortly thereafter.

Location Map
PUD - 26 Unit Multifamily Development
827 N 8th Ave



Subject Property



NOTE: Public hearing to be held on February 16, 2022 @ 6:00pm or shortly thereafter.



SCS
S.C. SWIDERSKI LLC

SCS SUNSET ESTATES

COO & Advisory Board of Directors



Nathanael Popp

Chief Operating Officer

Experience: 17 years of construction and management
University of Wisconsin- Stout, Bachelor of Science in Industrial Management
WI Real Estate License
Role: Handles company strategic direction and project financing



Jacqui McElroy

Director of Business Development

Experience: 23 years of real estate and development
St. Cloud State University, Bachelor of Science in Marketing
WI Real Estate License
Role: Handles project selection, planning and feasibility



Tom Woller

Director of Construction

Experience: 32 years of construction and project management
Role: Handles project budgets, schedules, materials and contracting

Leadership Team

SCS has an experienced leadership team with diverse backgrounds covering different areas of the business.



**Samantha
Cricks**

Managing Real
Estate Broker



**Gail
Zettler**

Accounting Manager



**Kari
Kussow**

Leasing Manager



**Ryan
Schultz**

IT Manager



**Jon
Sawicky**

Maintenance & Grounds
Manager

Development Team

SCS has a dedicated and experienced development team to work through the planning and entitlement process, ensuring clear communication and efficiencies for the municipality.



**Kortni
Wolf**

Business Development
Manager



**Madeline
Check**

Development Designer



**Kal
McHugh**

Civil Project Engineer



**Shayne
Fellenz**

SCS Homes Coordinator



**Morgan
Wardall**

SCS Homes Concierge

LOCATION — Re-Development of Sunset Estates School property





SCS SUNSET ESTATES SITE

(2) 8- UNIT BUILDINGS
 (1) 4- UNIT BUILDINGS
 (1) 6 - UNIT BUILDINGS
 TOTAL= 26 UNITS

AREA = 2.76 ACRES TOTAL

9.42 UNITS/ACRE

PARKING
 REGULAR= 38 SPACES
 GARAGE= 28 STALLS
 TOTAL= 66 SPACES/STALLS
 2.53 PARKING/UNIT

8 UNIT HUNTINGTON

8-2 BEDROOM UNITS PER BUILDING
 2 BUILDINGS ON SITE
 = 16 - 2 BEDROOM UNITS

4 UNIT BEDFORD

2-2 BEDROOM UNITS PER BUILDING
 2-3 BEDROOM UNITS PER BUILDING
 1 BUILDING ON SITE
 =4 - 2 BEDROOM UNITS

6 UNIT BEDFORD

4-2 BEDROOM UNITS PER BUILDING
 2-3 BEDROOM UNITS PER BUILDING
 1 BUILDING ON SITE
 =4 - 2 BEDROOM UNITS
 2 - 3 BEDROOM UNITS

TOTAL= 22 - 2 BEDROOM UNITS
 4 - 3 BEDROOM UNITS



PLAN FOR REFERENCE ONLY; FOR ACCURATE LOCATIONS
 AND DETAILS, SEE CIVIL SITE PLAN**



SITE PLAN

SITE RENDERING



SITE RENDERING



SITE RENDERING



SITE RENDERING



Project Summary

LAND AND PARKING

- Zoning: Rezone to PUD
- 2.76 Acres
- 9.42 Units Per Acre
- 32 Parking Spaces
- 28 Garage Stalls
- Total: 60 Spaces/Stalls
- 2.5 Parking Stalls per Unit
- 2 Entrances

BUILDING COUNT

- 2 Huntington Buildings
- 1 Bedford 6 Unit Building
- 1 Bedford 4 Unit Building
- 1 Refuse Enclosure
- 1 Mail Hut
- 2 Monument Signs
- Community Gardens

UNIT INFO

22 Two Bedroom

4 Three Bedroom

26 Total Units

- 6 Floor plans
- 889-1244 sq ft
- Attached garages
- Private entrances
- In-Unit Laundry
- Rent includes heat and water, cable & wifi

HUNTINGTON

8 UNIT



HUNTINGTON

8 UNIT









BEDFORD

1, 6 UNIT and 1, 4 Unit



BEDFORD

1, 6 UNIT and 1, 4 Unit

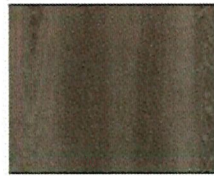








INTERIORS



Luxury Vinyl Plank (LVP)
Aladdin Sohana II
Reed (Available In: 12 mil)

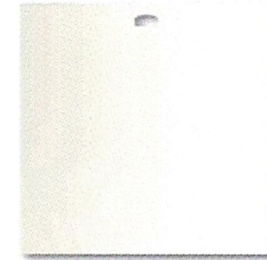


Carpet
Mowhawk, Aladdin
Style: 3B53 Color Fusion II
Color: 927 Iron Side



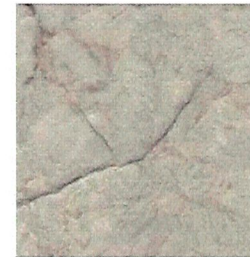
Interior Paint
Hallman Lindsey
Velvet Armor – Lo Sheen
Swiderski Antique Ivory

Vertical Blinds

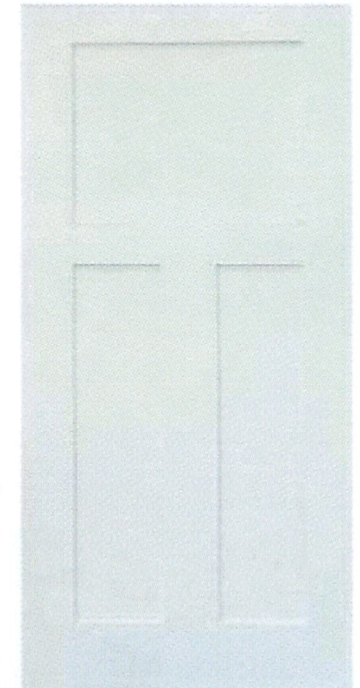


Alabaster

Standard Laminate
Formica
Silver Quartzite

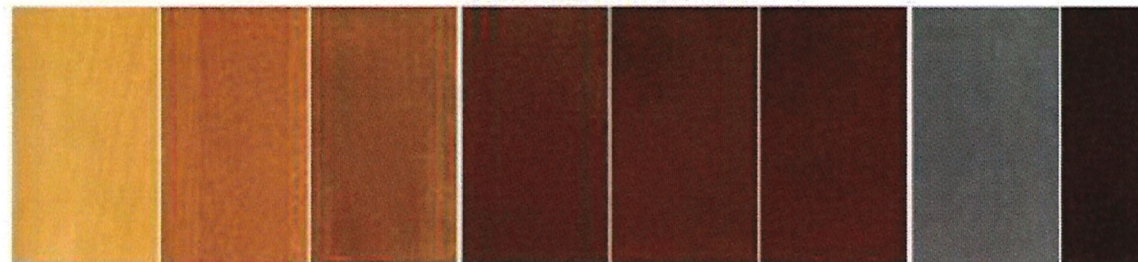


Interior Door Style



SMART CABINETRY | Brighton Maple

STAINED FINISHES



GINGER

HONEY

PECAN

CARMEL

ROOT BEER

CHESTNUT

SLATE

COFFEE

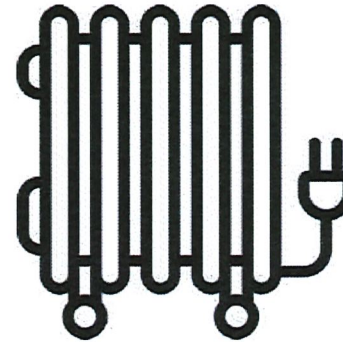
3 Panel Shaker
WHITE

SCS
S.C. SWIDERSKI LLC

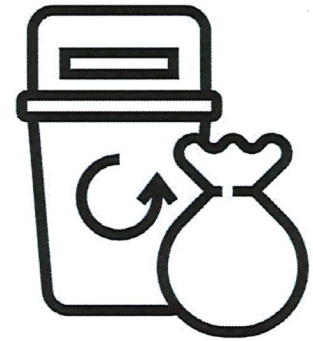
Included in Rent Rates



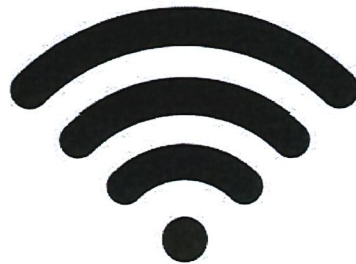
Individual
Thermostats



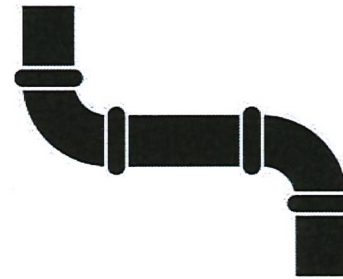
Hydronic
Heat



Trash
Removal



Wireless
Internet



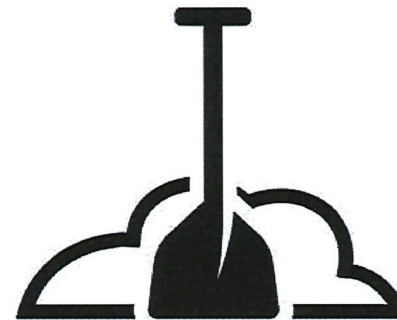
Water



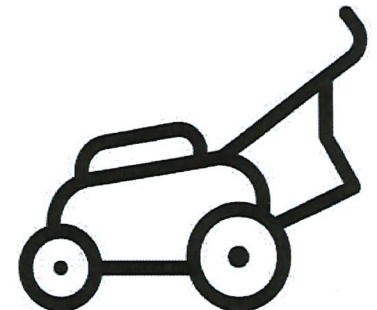
Cable



Sewer



Snow
Removal



Lawn Care

SCS Leasing Department



- Professionally trained on-site staff.
- Highly experienced area manager and administrative support staff.
- Comprehensive applicant screening process:
 1. income guideline
 2. background check
 3. credit check
- Extensive rules and regulations enforced for all tenants.
- In compliance with all Equal Housing Opportunity criteria.
- Tenant portal for on-line payments and maintenance requests.
- Virtual tours and contactless transactions available.



SCS Maintenance



To keep our sites secure and ensure peace of mind, SCS Maintenance and Grounds Crews operate SCS marked vehicles and wear SCS attire. This also assures tenants that staff present is from SCS.

REGULARLY SCHEDULED Maintenance

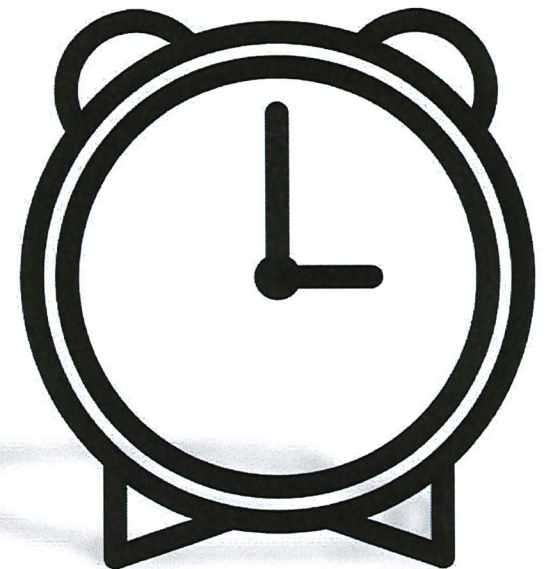
- Pressure washing of building.
- Annual dryer vent cleaning.
- Monthly building lighting and general building inspections.
- Regular landscape inspections.
- Annual inspection of asphalt parking and driveway areas.
- Filter changes per type of equipment specifications.
- Annual testing of fire alarms & fire suppression systems.

AVERAGE RESPONSE TIME

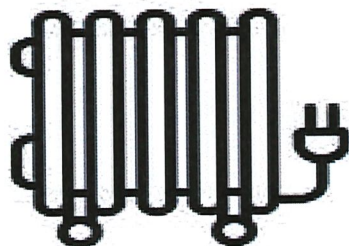
2 days 20 hours and 50 minutes

AVERAGE WORK ORDER COMPLETION

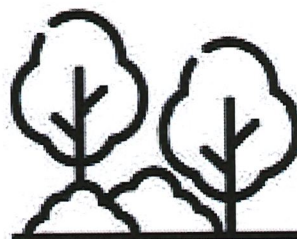
55 minutes



SUSTAINABLE & GREEN MEASURES



**EFFICIENT HYDRONIC
HEATING AND HOT
WATER**



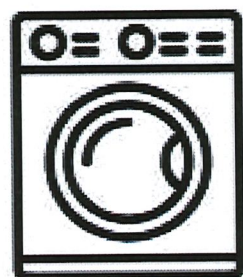
**PLANTING TREES
AND SHRUBS**



**MONITORED
THERMOSTAT
SETTINGS**



**FULL BLOWN
INSULATION IN
FLOOR TRUSSES**



**ENERGY STAR
APPLIANCES**



LED LIGHT FIXTURES



**LOW FLOW
WATER FIXTURES**



**R50 INSULATION
TO CONSERVE
ENERGY**

Accessibility Measures



SCS Apartments Include:

- ✓ One-level living featured in many building styles.
- ✓ Lever doors vs. turn handles.
- ✓ Low threshold entries in first floor units (Type B).
- ✓ Tubs and shower surrounds are ready for grab bar installation (Type B).
- ✓ Open-concept floorplans.
- ✓ 36-inch door width in all bedrooms and bathrooms.
- ✓ 55-inch hallway widths in many units.
- ✓ Elongated and raised toilets in all units.
- ✓ LVP flooring in main living areas for ease of movement.
- ✓ SCS is prepared to add visual alarms, grab bars, and further accommodations to Type B apartments as requested.



RANGE

Accessibility Measures

All “Type A” Fully Accessible Apartments Include:

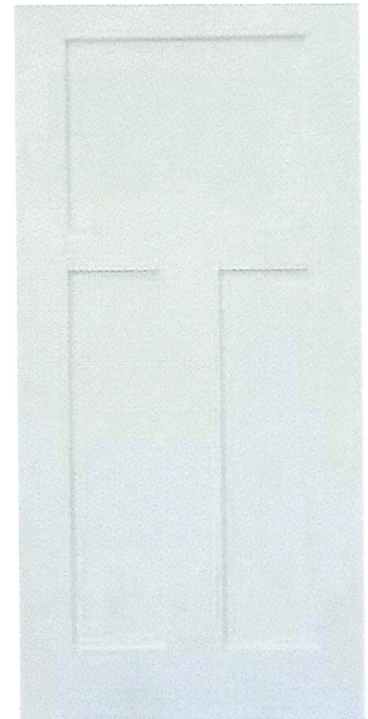


WASHER



DRYER

- ✓ Removable sink panels in kitchens and bathrooms.
- ✓ French swing-style patio door.
- ✓ Front-loading washer and dryer.
- ✓ Bump pads adjacent to handicap parking spots.
- ✓ Adjusted countertop height.
- ✓ Accessible appliances.
- ✓ 24 ft. wide detached garages.



SCS LOCATIONS & OCCUPANCY

As a fully integrated company, S.C. Swiderski, LLC owns and manages all of its apartment locations. S.C. Swiderski is steadily expanding throughout Wisconsin, with multi-family locations in 20 cities across the state. S.C. Swiderski manages a total of 2,273 individual apartment units throughout our multi-family locations.

S.C. Swiderski aims to provide a unique rental experience to our tenants by exceeding expectations with our professional on-site staff and dedicated maintenance team. In correlation with our exceptional customer services, the company holds an above-average occupancy rate of 98% in all of our stabilized properties.



Eagle River



Medford



Stanley



Edgar



Merrill



Stevens Point



Eau Claire



Mosinee



Sturgeon Bay



Kronenwetter



Oshkosh



Waupaca



Hortonville



Plover



Wausau



Marathon City



Rice Lake



Weston



Marshfield



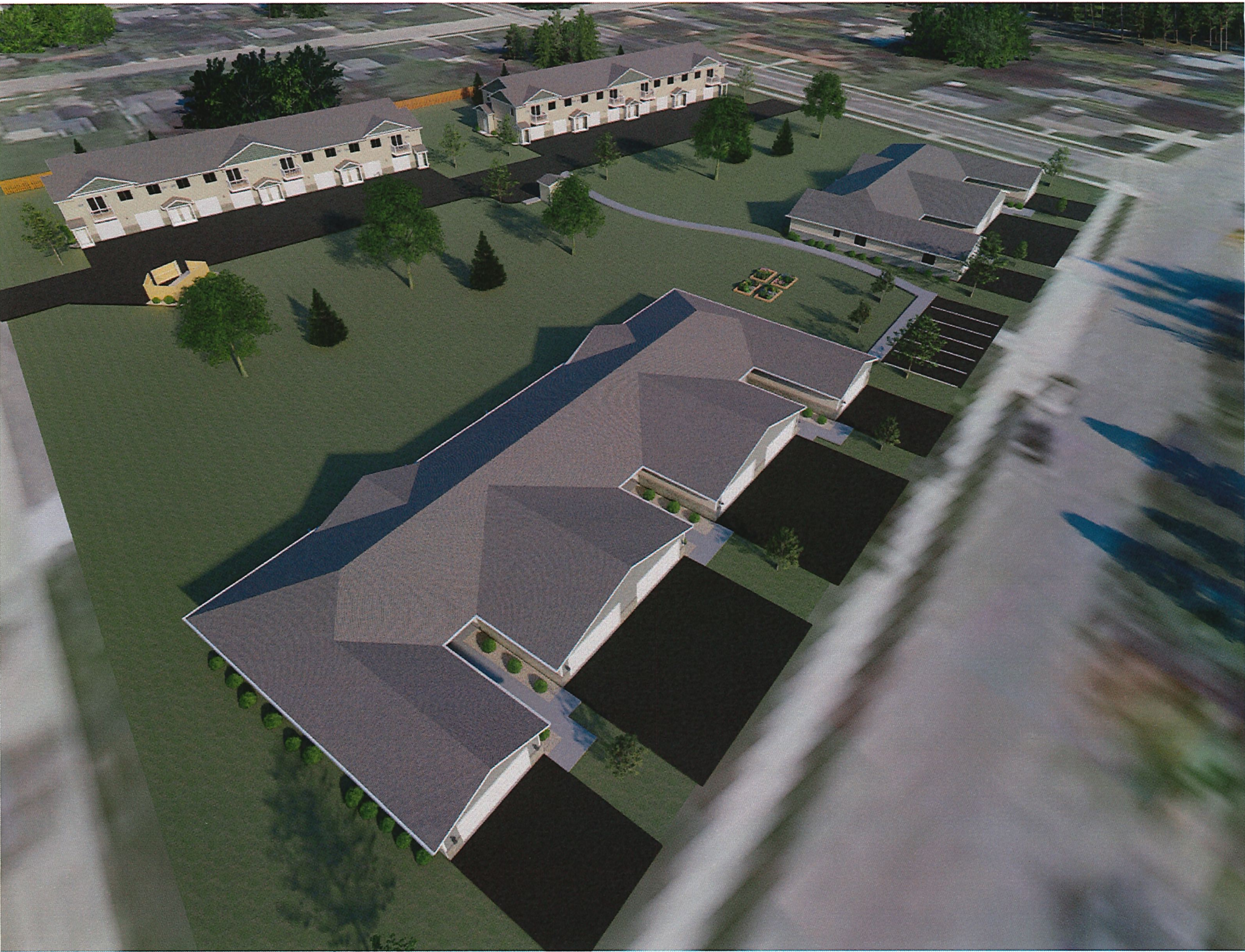
Shawano



Wisconsin Rapids











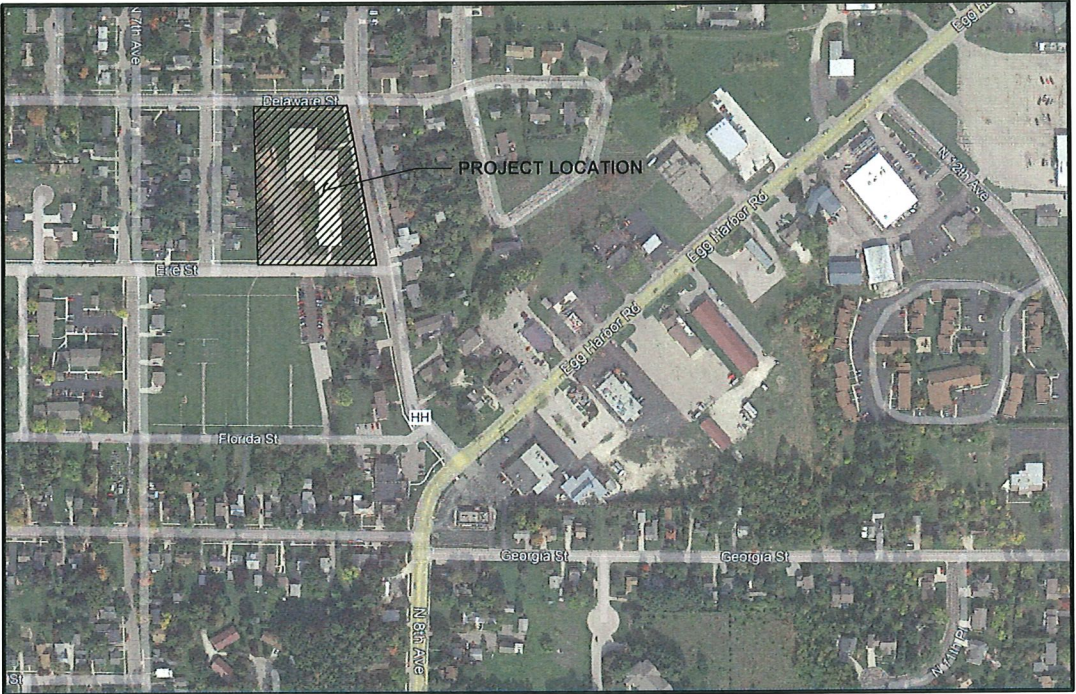
SUNSET ESTATES

CITY OF STURGEON BAY, WISCONSIN

SW 1/4, NW 1/4, SECTION 5, TOWNSHIP 27 NORTH, RANGE 26 EAST

DRAWING INDEX

C0.0	TITLE SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C1.1	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & EROSION CONTROL PLAN
C4.0	UTILITY PLAN - STORM & SANITARY
C4.1	UTILITY PLAN - WATER
C5.0	DETAILS
C5.1	DETAILS
C5.2	DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN ENLARGEMENTS
L1.2	LANDSCAPE PLAN ENLARGEMENTS
L2.0	LANDSCAPE DETAILS & NOTES



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER
S.C. SWIDERSKI
KALAN MCHUGH
401 RANGER STREET
MOSINEE, WI 54455
P: 715.693.7807
kmchugh@scswiderski.com

CIVIL CONSULTANT
JSD PROFESSIONAL SERVICES, INC.
JUSTIN FRAHM
7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WI 54476
P: 715.298.6330
justin.frahm@jsdinc.com

CITY ENGINEER
CITY OF STURGEON BAY
CHAD SHEFCHIK
421 MICHIGAN STREET
STURGEON BAY, WI 54235
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cshefchik@sturgeonbaywi.com



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CLIENT:
S.C. SWIDERSKI, LLC



CLIENT ADDRESS:
401 RANGER STREET
MOSINEE, WI 54455

PROJECT:
SCS SUNSET ESTATES

PROJECT LOCATION:
STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
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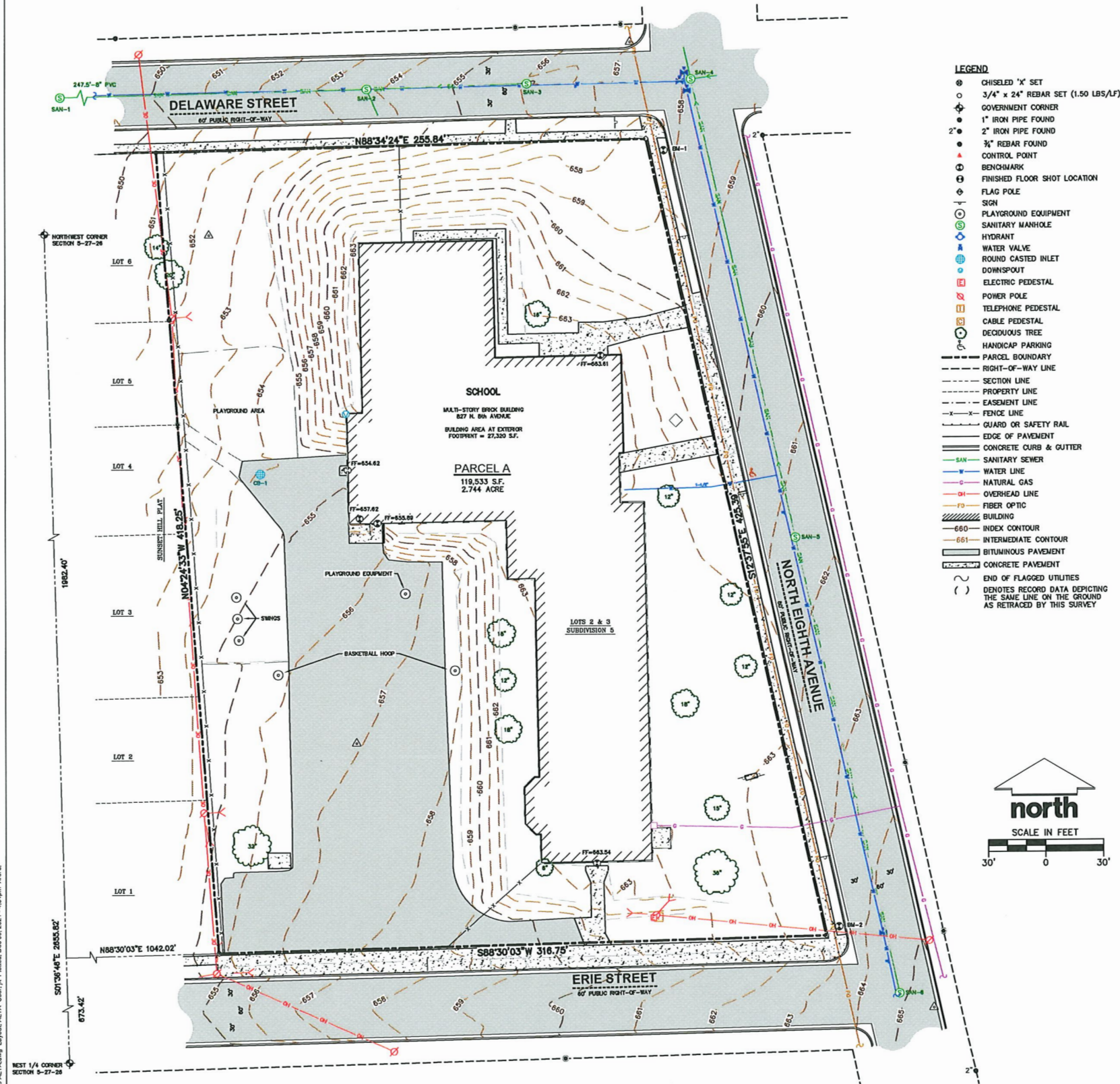
Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
C0.0

JSD PROJECT NO: 21-10989





SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	645.23	E	633.88	8"	PVC
SAN-2	653.91	W	645.66	8"	PVC
		E	646.39	8"	PVC
		S	647.61	6"	PVC
SAN-3	654.82	W	645.47	8"	PVC
SAN-4	658.14	S	650.34	8"	PVC
SAN-5	661.35	N	653.68	8"	PVC
		S	653.72	8"	PVC
SAN-6	664.87	N	657.12	8"	PVC

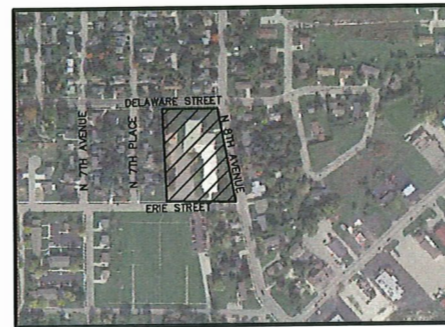
STORM SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
CB-1	654.06		650.48		
*FRESH DRAIN					
					INV MEASURED TO TOP OF GRAVEL

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	661.12	TOP NUT ON HYDRANT NE CORNER OF PROPERTY
BM-2	666.41	TOP NUT ON HYDRANT SE CORNER OF PROPERTY

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

ALTA/NSPS LAND TITLE SURVEY

PART OF LOTS 2 AND 3, OF SUBDIVISION 5, CITY OF STURGEON BAY, LOCATED IN SECTION 5, TOWNSHIP 27 NORTH, RANGE 26 EAST, CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN.



VICINITY MAP
NOT TO SCALE

NOTES

- FIELD WORK PERFORMED ON NOVEMBER 29 AND 30, 2021.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DOOR COUNTY ZONE 12 WEST. THE WEST LINE OF THE NORTHWEST QUARTER, SECTION 05, TOWNSHIP 27 NORTH, RANGE 26 EAST, RECORDED AS 50135467E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 202114613797, 202114613805, 202114613834, 202114613852, 202114613864, AND 202114613879 WITH A CLEAR DATE OF NOVEMBER 17, 2021.
- UTILITY COMPANIES CONTACTED THRU DIGGER'S HOTLINE:
DOOR COUNTY FIBER OPTIC UTILITY
AT&T DISTRIBUTION
CHARTER COMMUNICATIONS
STURGEON BAY UTILITIES
WISCONSIN PUBLIC SERVICE CORPORATION
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS SHOWN ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: CL-211436, COMMITMENT DATE: SEPTEMBER 2, 2021)

- 10) SUBJECT TO THE TERMS AND CONDITIONS OF THAT RIGHT OF FIRST REFUSAL BY AND BETWEEN THE CITY OF STURGEON BAY, A WISCONSIN MUNICIPAL CORPORATION AND THE SCHOOL DISTRICT OF STURGEON BAY, A WISCONSIN MUNICIPAL CORPORATION, DATED DECEMBER 14, 1983, IN VOLUME 366 ON PAGE(S) 613-618, AS DOCUMENT NO. 442217.

THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: CL-211436, COMMITMENT DATE: SEPTEMBER 2, 2021)

THE EAST 8 ACRES OF LOT TWO (2) AND THREE (3), IN SUBDIVISION FIVE (5) OF THE CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN, ACCORDING TO THE ASSESSOR'S MAP OF SAID CITY RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF DOOR COUNTY, WISCONSIN ON PAGE(S) 14 OF PLAT BOOKS.

WITH THE EXCEPTION OF 5 ACRES OF LAND ACQUIRED BY THE UNITED STATES OF AMERICA BY JUDGEMENT IN THE DISTRICT COURT OF THE UNITED STATES FOR THE EASTERN DISTRICT OF WISCONSIN, ENTERED MARCH 30, 1942, A CERTIFIED COPY THEREOF HAVING BEEN FILED IN THE OFFICE OF THE REGISTER OF DEEDS IN AND FOR DOOR COUNTY, WISCONSIN ON APRIL 9, 1942, IN VOLUME 20 OF MISCELLANEOUS, ON PAGE(S) 210, AS DOCUMENT NO. 236507, SUBJECT TO EXISTING PUBLIC RIGHT-OF-WAY IN PUBLIC STREETS.

FOR INFORMATIONAL PURPOSES ONLY:

ADDRESS: 827 N. 8TH AVENUE, STURGEON BAY, WI
TAX KEY NUMBER: 281-6205000208

SURVEYOR'S CERTIFICATE

TO:

- SC SWIDERSKI LLC,
- FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS. THE FIELD WORK WAS COMPLETED ON NOVEMBER 30, 2021.

Todd J. Buhr
TODD J. BUHR, S-2614
PROFESSIONAL LAND SURVEYOR
Email: todd.buhr@jdsinc.com
Website: www.jdsinc.com

12/06/2021

DATE



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WAUSAU REGIONAL OFFICE
7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WI 54476
P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC

CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

827 N. 8TH AVENUE,
STURGEON BAY, WI

MODIFICATIONS:

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Designed By: BRW 12/1/21

Reviewed By: TJB 12/2/21

Approved By: TJB 12/2/21

SHEET TITLE:

ALTA/NSPS LAND
TITLE SURVEY

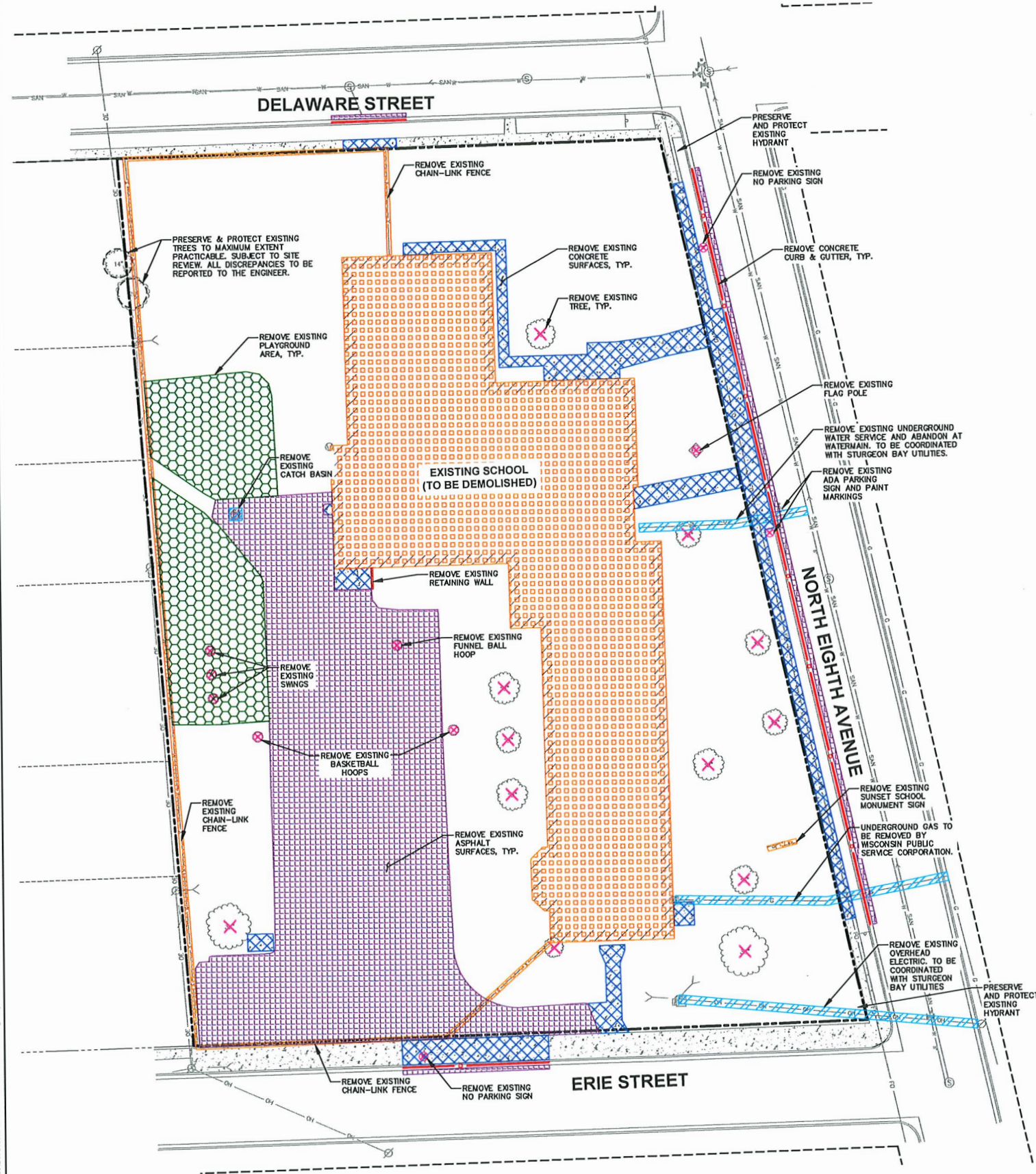
SHEET NUMBER:

C1.0

PROJECT NO:

21-10989

File: N:\PROJECTS\2021\10889\DWG\Civil Sheets\210889 Con Docs.dwg Layout: C1.1 - Demolition Plan User: amayou Plotted: Jan 20, 2022 - 7:59pm Xref's:



DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE. "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF STURGEON BAY SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF STURGEON BAY SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

LEGEND

---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY
- . - . -	EASEMENT LINE
---	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
---	DEMOLITION - REMOVAL OF RETAINING WALL
---	DEMOLITION - REMOVAL OF ASPHALT SURFACES
---	DEMOLITION - REMOVAL OF CONCRETE SURFACES
---	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
---	DEMOLITION - REMOVAL OF UTILITIES
---	DEMOLITION - REMOVAL OF PLAYGROUND AREA
---	TREE REMOVAL
---	REMOVAL - SEE PLAN FOR DETAILED NOTES
---	PROTECT EXISTING TREE



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WESTON, WI 54476
P. 715.298.6330

CLIENT:
S.C. SWIDERSKI, LLC



CLIENT ADDRESS:
401 RANGER STREET
MOSINEE, WI 54455

PROJECT:
SCS SUNSET ESTATES

PROJECT LOCATION:
STURGEON BAY, WI
DOOR COUNTY

#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
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Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

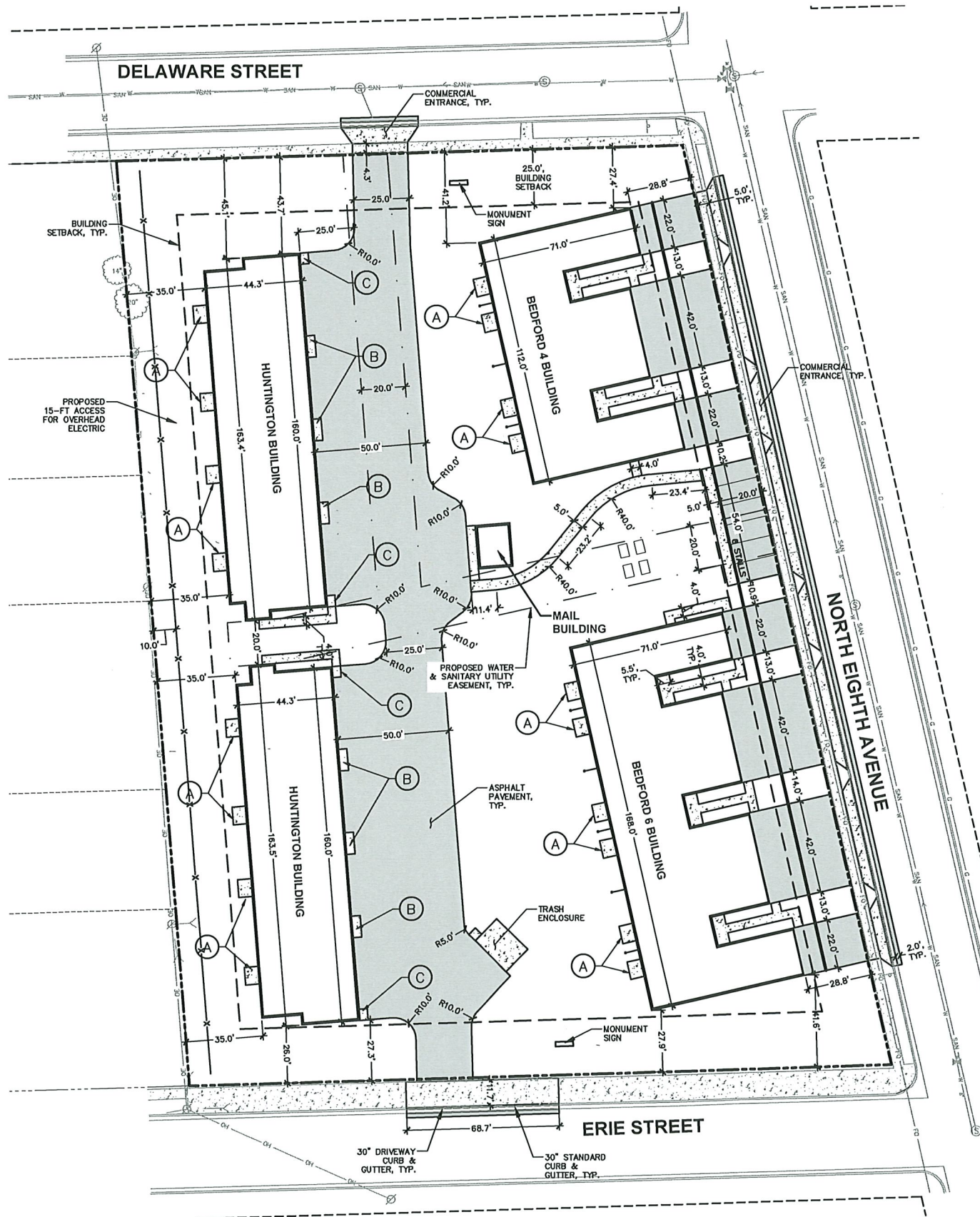
SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C1.1

JSD PROJECT NO: 21-10989



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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

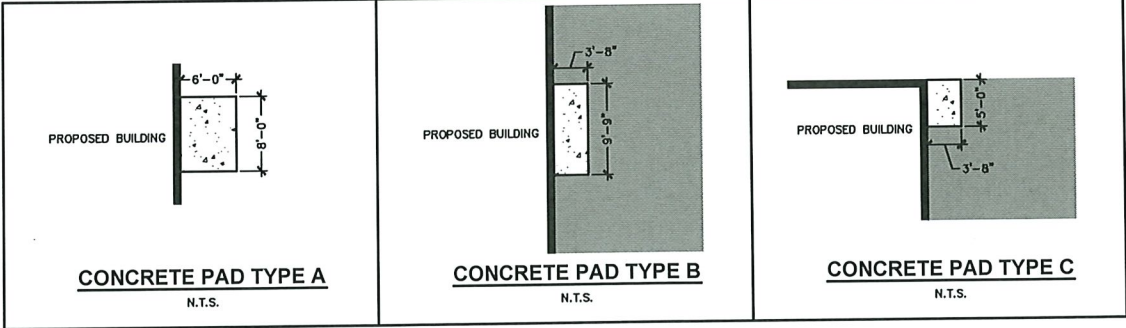
1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF STURGEON BAY ORDINANCES AND THE GEOTECHNICAL REPORT TO BE PREPARED BY INTERTEK PSI.
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE - SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. CONCRETE PAVING SPECIFICATIONS
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 25' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
 - 4.1. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH EPOXY PAINT PER SPECIFICATIONS.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. USE 4" WIDE, HIGH VISIBILITY YELLOW EPOXY PAINT FOR STALL LINES.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RETAINING WALL
- ADA PARKING SIGN

SITE INFORMATION BLOCK

SITE ADDRESS	827 N. 8TH AVENUE
PROPERTY ACREAGE	2.744 ACRES
HUNTINGTON BUILDING	
NUMBER OF BUILDING STORIES	2
BUILDING FOOTPRINT SQUARE FOOTAGE	7,025
NUMBER OF UNITS	8
BEDFORD 4 BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	6,693
NUMBER OF UNITS	4
BEDFORD 6 BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	9,836
NUMBER OF UNITS	6
MAIL BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	312
TOTAL BUILDING FOOTPRINT SQUARE FOOTAGE	30,891
NUMBER OF PARKING STALLS	
SURFACE	42
GARAGE	36
TOTAL PARKING	78
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	51,916 SF
EXISTING PERVIOUS SURFACE AREA	67,617 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.43
PROPOSED IMPERVIOUS SURFACE AREA	62,634 SF
PROPOSED PERVIOUS SURFACE AREA	56,899 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.52



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WAUSAU REGIONAL OFFICE
7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WI 54476
P. 715.298.6330

CLIENT:
S.C. SWIDERSKI, LLC



CLIENT ADDRESS:
401 RANGER STREET
MOSINEE, WI 54455

PROJECT:
SCS SUNSET ESTATES

PROJECT LOCATION:
STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
2		
3		
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Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO: 21-10989



1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF STURGEON BAY OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF STURGEON BAY ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF STURGEON BAY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS NOT SHOWN ON THE PLANS MUST BE APPROVED BY THE MUNICIPALITY PRIOR TO INSTALLATION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF STURGEON BAY.
9. INLET PROTECTION SHALL BE IMMEDIATELY INSTALLED AT ALL STORM INLETS AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND JANUARY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.).
 - 12.1. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - 12.2. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - 12.3. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1051 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN ON-SITE METHOD OF TRANSPORTATION APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 106B.
15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND NOT COVERED BY PERMANENT STRUCTURES OR THAT EQUIVALENT PERMANENT STABILIZATION MEASURES.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
17. **STABILIZATION PRACTICES:**
 - 17.1. *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - 17.2. *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 17.3. *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 17.4. *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - *PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - *TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - *HYDRO-MULCHING WITH A TACKIFIER
 - *GEOTEXTILE EROSION MATTING
 - *SODDING

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADE AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING BUT NOT LIMITED TO, WEATHER, STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN SUBJECT TO APPROVAL BY S&D OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBANCE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING SOD/SEED MIX TO BE IN ACCORDANCE WITH OWNER SPECIFICATIONS.
7. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHEN 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
8. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDDED, MULCHED, OR OTHER MEANS OF EROSION CONTROL WITHIN 2 WEEKS OF DISTURBANCE.
10. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND WILL NOT BE PERMITTED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER SHALL BE TEMPORARILY SEEDDED FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF STURGEON BAY ORDINANCE.

DIGGERS HOTLINE
Toll Free (800) 242-8511

JSD PROJECT NO: 21-10989

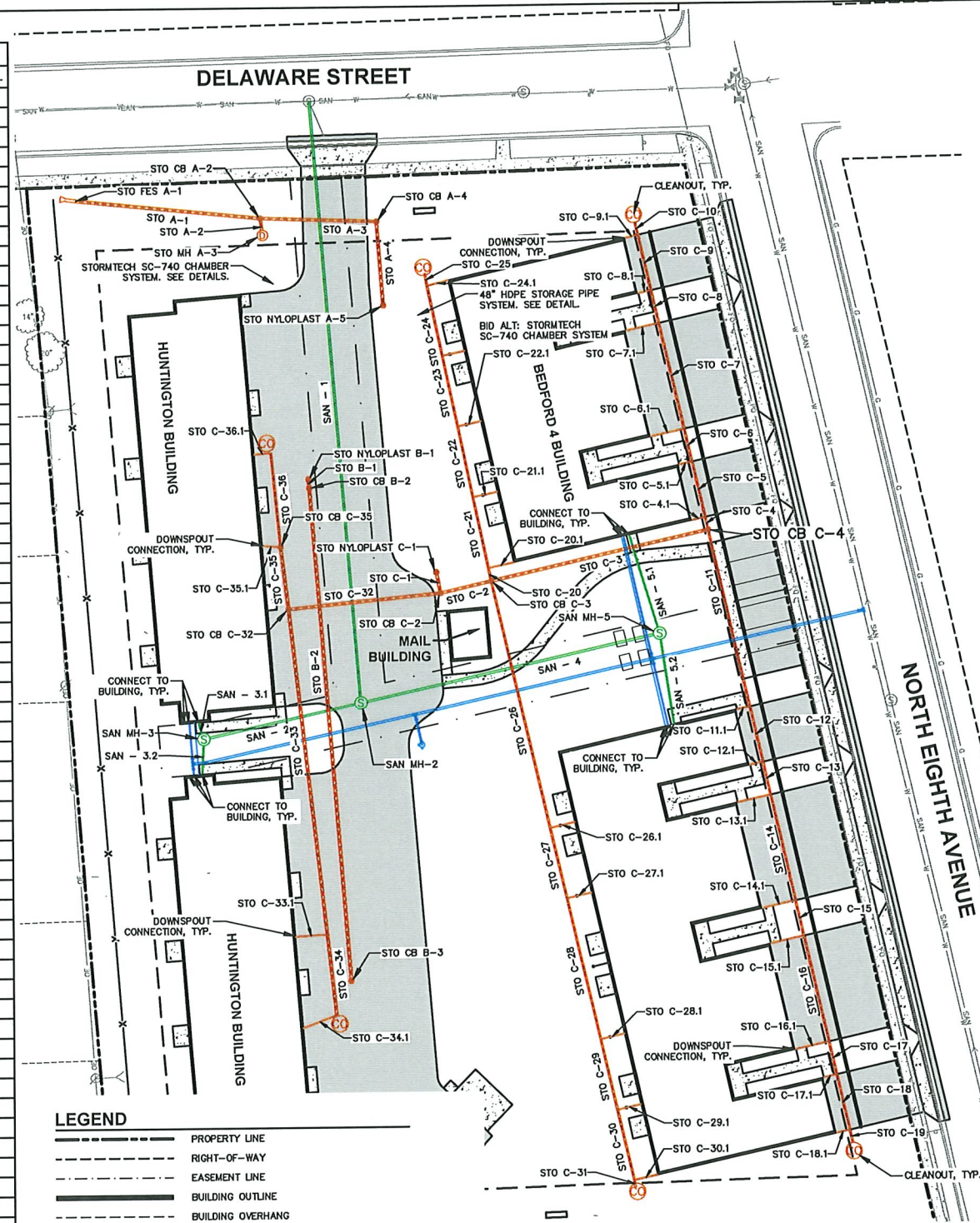
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PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN MH-2	657.52	W INV: 650.04 (8") E INV: 650.04 (8") N INV: 649.94 (8")	7.6	48 IN MH	R-1556 SOLID LID
SAN MH-3	657.65	N INV: 651.43 (6") S INV: 651.43 (6") E INV: 651.26 (8")	6.4	48 IN MH	R-1556 SOLID LID
SAN MH-5	661.74	N INV: 654.59 (6") S INV: 654.59 (6") W INV: 654.42 (8")	7.3	48 IN MH	R-1556 SOLID LID

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	TO	FROM	LENGTH	DISCHARGE EL. (FT)	INVERT EL. (FT)	SLOPE	SIZE & MATERIAL
SAN - 1	EX MH	SAN MH-2	233'	647.61	649.94	1.00%	8 IN PVC
SAN - 2	SAN MH-2	SAN MH-3	62'	650.04	651.26	1.98%	8 IN PVC
SAN - 3.1	SAN MH-3	BUILDING	7'	651.43	651.50	1.04%	6 IN PVC
SAN - 3.2	SAN MH-3	BUILDING	14'	651.43	652.50	7.89%	6 IN PVC
SAN - 4	SAN MH-2	SAN MH-5	119'	650.04	654.42	3.69%	8 IN PVC
SAN - 5.1	SAN MH-5	BUILDING	40'	654.59	655.00	1.04%	6 IN PVC
SAN - 5.2	SAN MH-5	BUILDING	36'	654.59	658.00	9.59%	6 IN PVC

PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO CB A-2	658.04	S INV: 651.98 (10") E INV: 651.38 (12") W INV: 651.28 (12")	6.8	36 IN MH (FLAT)	R-2050 TYPE D
STO CB A-4	654.48	S INV: 651.64 (12") W INV: 651.54 (12")	2.9	36 IN MH (FLAT)	R-2050 TYPE D
STO CB B-2	656.37	S INV: 652.60 (12") N INV: 652.50 (12")	3.9	36 IN MH (FLAT)	R-2050 TYPE D
STO CB B-3	657.38	N INV: 653.01 (12")	4.4	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-2	657.37	E INV: 654.89 (12") W INV: 654.89 (12") N INV: 654.79 (12")	2.6	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-3	657.47	E INV: 655.20 (12") N INV: 655.30 (8") S INV: 655.30 (8") W INV: 655.20 (12")	2.3	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-4	660.93	S INV: 656.83 (8") N INV: 656.83 (8") W INV: 656.50 (12")	4.4	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-32	657.47	N INV: 655.20 (12") S INV: 655.20 (12") E INV: 655.10 (12")	2.4	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-35	657.59	W INV: 655.42 (4") N INV: 655.42 (8") S INV: 655.32 (12")	2.3	36 IN MH (FLAT)	R-2050 TYPE D
STO FES A-1	652.10	E INV: 651.00 (12")		12 IN HDPE FES	
STO MH A-3	654.06	N INV: 652.00 (10")	2.1	48 IN MH (FLAT)	12" GRATE
STO NYLOPLAST A-5	653.62	N INV: 651.75 (12")	1.9	12 IN DB	12" GRATE
STO NYLOPLAST B-1	654.36	S INV: 652.48 (12")	1.9	12 IN DB	12" GRATE
STO NYLOPLAST C-1	656.62	S INV: 654.75 (12")	1.9	12 IN DB	12" GRATE

PROPOSED STORM SEWER PIPE TABLE							
LABEL	TO	FROM	LENGTH	DISCHARGE EL. (FT)	INVERT EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO FES A-1	STO CB A-2	72'	651.00	651.28	0.39%	12 IN HDPE
STO A-2	STO CB A-2	STO MH A-3	7'	651.98	652.00	0.30%	10 IN HDPE
STO A-3	STO CB A-2	STO CB A-4	45'	651.38	651.54	0.35%	12 IN HDPE
STO A-4	STO CB A-4	STO NYLOPLAST A-5	33'	651.64	651.75	0.35%	12 IN HDPE
STO B-1	STO NYLOPLAST B-1	STO CB B-2	4'	652.48	652.50	0.50%	12 IN HDPE
STO B-2	STO CB B-2	STO CB B-3	191'	652.60	653.01	0.22%	12 IN HDPE
STO C-1	STO NYLOPLAST C-1	STO CB C-2	8'	654.75	654.79	0.50%	12 IN HDPE
STO C-2	STO CB C-2	STO CB C-3	20'	654.89	655.20	1.51%	12 IN HDPE
STO C-3	STO CB C-3	STO CB C-4	86'	655.20	656.50	1.51%	12 IN HDPE
STO C-4	STO CB C-4	STO C-5	5'	656.83	656.86	0.50%	8 IN HDPE
STO C-4.1	STORM MAIN	DOWNSPOUT	5'	657.02	657.13	2.08%	4 IN HDPE
STO C-5	STO C-4	STO C-6	22'	656.86	656.97	0.50%	8 IN HDPE
STO C-5.1	STORM MAIN	DOWNSPOUT	5'	657.13	657.24	2.08%	4 IN HDPE
STO C-6	STO C-5	STO C-7	13'	656.97	657.03	0.50%	8 IN HDPE
STO C-6.1	STORM MAIN	DOWNSPOUT	13'	657.20	657.47	2.08%	4 IN HDPE
STO C-7	STO C-6	STO C-8	42'	657.04	657.25	0.50%	8 IN HDPE
STO C-7.1	STORM MAIN	DOWNSPOUT	13'	657.41	657.68	2.08%	4 IN HDPE
STO C-8	STO C-7	STO C-9	13'	657.25	657.31	0.50%	8 IN HDPE
STO C-8.1	STORM MAIN	DOWNSPOUT	5'	657.47	657.58	2.08%	4 IN HDPE
STO C-9	STO C-8	STO C-10	22'	657.31	657.42	0.50%	8 IN HDPE
STO C-9.1	STORM MAIN	DOWNSPOUT	5'	657.58	657.69	2.08%	4 IN HDPE
STO C-10	STO C-9	CLEANOUT	5'	657.42	657.44	0.50%	8 IN HDPE
STO C-11	STO CB C-4	STO C-12	70'	656.83	657.53	1.00%	8 IN HDPE
STO C-11.1	STORM MAIN	DOWNSPOUT	5'	657.70	657.81	2.08%	4 IN HDPE
STO C-12	STO C-11	STO C-13	22'	657.54	657.76	1.00%	8 IN HDPE
STO C-12.1	STORM MAIN	DOWNSPOUT	5'	657.92	658.03	2.08%	4 IN HDPE
STO C-13	STO C-12	STO C-14	13'	657.76	657.89	1.00%	8 IN HDPE
STO C-13.1	STORM MAIN	DOWNSPOUT	13'	658.05	658.32	2.08%	4 IN HDPE
STO C-14	STO C-13	STO C-15	42'	657.89	658.31	1.00%	8 IN HDPE
STO C-14.1	STORM MAIN	DOWNSPOUT	13'	658.47	658.74	2.08%	4 IN HDPE
STO C-15	STO C-14	STO C-16	14'	658.31	658.45	1.00%	8 IN HDPE
STO C-15.1	STORM MAIN	DOWNSPOUT	13'	658.61	658.88	2.08%	4 IN HDPE
STO C-16	STO C-15	STO C-17	42'	658.45	658.87	1.00%	8 IN HDPE
STO C-16.1	STORM MAIN	DOWNSPOUT	13'	659.03	659.30	2.08%	4 IN HDPE
STO C-17	STO C-16	STO C-18	13'	658.87	659.00	1.00%	8 IN HDPE
STO C-17.1	STORM MAIN	DOWNSPOUT	5'	659.16	659.27	2.08%	4 IN HDPE
STO C-18	STO C-17	STO C-19	22'	659.00	659.22	1.00%	8 IN HDPE
STO C-18.1	STORM MAIN	DOWNSPOUT	5'	659.38	659.49	2.08%	4 IN HDPE
STO C-19	STO C-18	CLEANOUT	5'	659.22	659.27	1.00%	8 IN HDPE
STO C-20	STO CB C-3	STO C-21	5'	655.30	655.33	0.50%	8 IN HDPE
STO C-20.1	STORM MAIN	DOWNSPOUT	10'	655.33	655.54	2.08%	4 IN HDPE
STO C-21	STO C-20	STO C-22	28'	655.33	655.47	0.50%	8 IN HDPE
STO C-21.1	STORM MAIN	DOWNSPOUT	10'	655.64	655.84	2.08%	4 IN HDPE
STO C-22	STO C-21	STO C-23	28'	655.47	655.61	0.50%	8 IN HDPE
STO C-22.1	STORM MAIN	DOWNSPOUT	9'	655.78	655.97	2.08%	4 IN HDPE
STO C-23	STO C-22	STO C-24	28'	655.61	655.75	0.50%	8 IN HDPE
STO C-23.1	STORM MAIN	DOWNSPOUT	9'	655.92	656.10	2.08%	4 IN HDPE
STO C-24	STO C-23	STO C-25	28'	655.75	655.89	0.50%	8 IN HDPE
STO C-24.1	STORM MAIN	DOWNSPOUT	8'	655.89	656.07	2.08%	4 IN HDPE
STO C-25	STO C-24	CLEANOUT	5'	655.89	655.91	0.50%	8 IN HDPE
STO C-26	STO CB C-3	STO C-27	98'	655.30	655.79	0.50%	8 IN HDPE
STO C-26.1	STORM MAIN	DOWNSPOUT	10'	655.96	656.16	2.08%	4 IN HDPE
STO C-27	STO C-26	STO C-28	28'	655.79	655.93	0.50%	8 IN HDPE
STO C-27.1	STORM MAIN	DOWNSPOUT	10'	656.10	656.30	2.08%	4 IN HDPE
STO C-28	STO C-27	STO C-29	56'	655.93	656.21	0.50%	8 IN HDPE
STO C-28.1	STORM MAIN	DOWNSPOUT	10'	656.38	656.58	2.08%	4 IN HDPE
STO C-29	STO C-28	STO C-30	28'	656.21	656.35	0.50%	8 IN HDPE
STO C-29.1	STORM MAIN	DOWNSPOUT	9'	656.52	656.71	2.08%	4 IN HDPE
STO C-30	STO C-29	STO C-31	28'	656.35	656.49	0.50%	8 IN HDPE
STO C-30.1	STORM MAIN	DOWNSPOUT	9'	656.49	656.68	2.08%	4 IN HDPE
STO C-31	STO C-30	CLEANOUT	3'	656.49	656.50	0.50%	8 IN HDPE
STO C-32	STO CB C-2	STO CB C-32	59'	654.89	655.10	0.36%	12 IN HDPE
STO C-33	STO CB C-32	STO C-34	127'	655.20	655.83	0.50%	12 IN HDPE
STO C-33.1	STORM MAIN	DOWNSPOUT	12'	655.83	656.08	2.08%	4 IN HDPE
STO C-34	STO C-33	STO C-34.1	31'	655.83	655.83	0.50%	12 IN HDPE
STO C-34.1	STORM MAIN	DOWNSPOUT	14'	655.89	656.28	2.08%	4 IN HDPE
STO C-35	STO CB C-32	STO CB C-35	24'	655.20	655.32	0.50%	12 IN HDPE
STO C-35.1	STO CB C-35	DOWNSPOUT	7'	655.42	655.57	2.08%	4 IN HDPE
STO C-36	STO CB C-35	STO C-36.1	37'	655.42	655.60	0.49%	8 IN HDPE
STO C-36.1	STORM MAIN	DOWNSPOUT	6'	655.70	655.83	2.08%	4 IN HDPE



LEGEND

---	PROPERTY LINE
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- . - .	EASEMENT LINE
=====	BUILDING OUTLINE
=====	BUILDING OVERHANG
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
=====	MOUNTABLE CURB AND GUTTER
=====	8" CONCRETE RIBBON CURB
=====	ASPHALT PAVEMENT
=====	HEAVY DUTY ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	HEAVY DUTY CONCRETE PAVEMENT
=====	STORMWATER MANAGEMENT AREA
=====	RETAINING WALL
=====	BOULDER WALL
=====	RAILING
=====	FENCE
=====	SANITARY SEWER
=====	WATERMAIN
=====	STORM SEWER
=====	8"x4"x2" INSULATION (PLAN VIEW)
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PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

STURGEON BAY, WI
DOOR COUNTY

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Designed By: CEL
Reviewed By: PMS
Approved By: JLF

SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

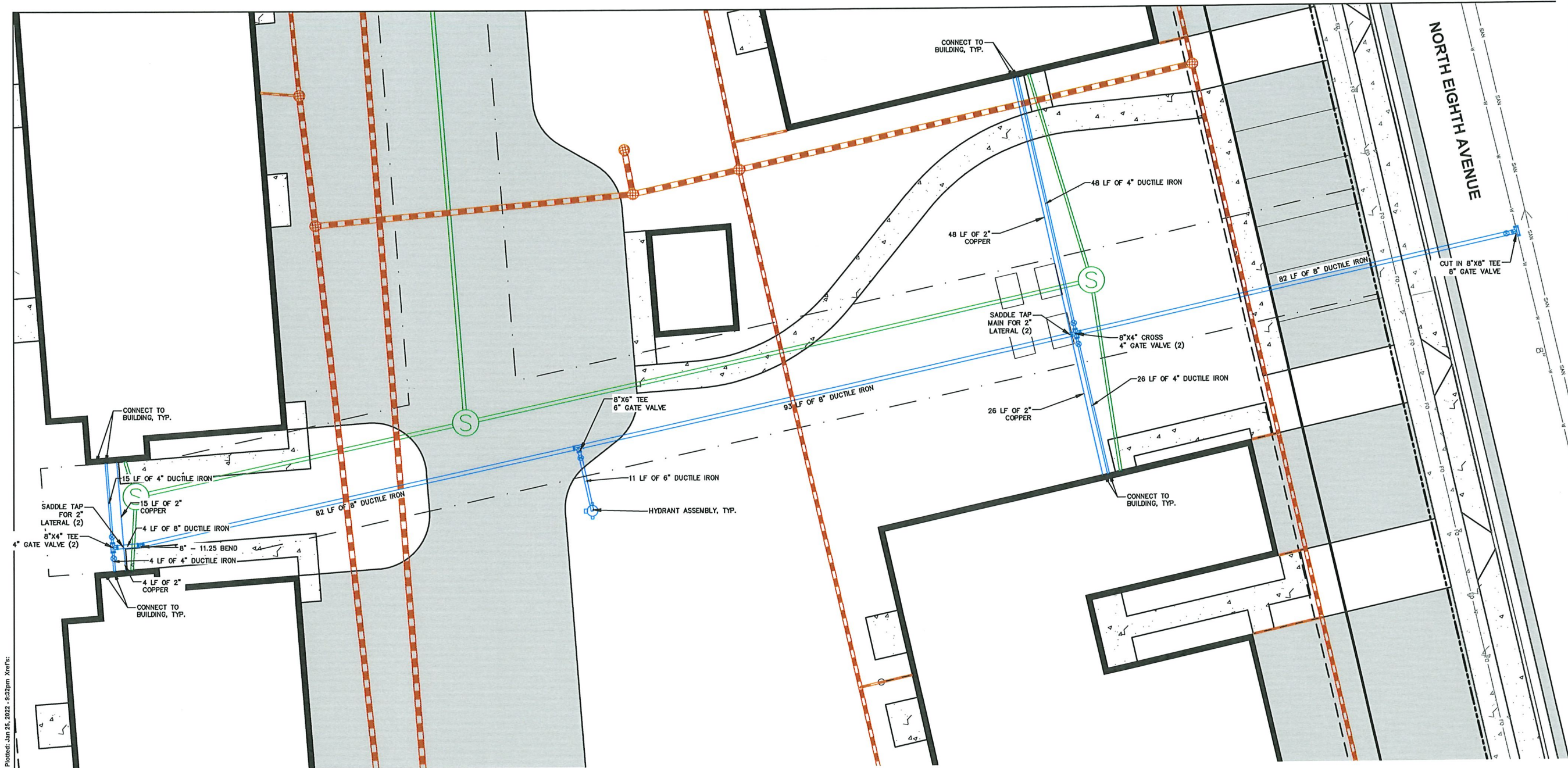
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JSD PROJECT NO:

21-1088

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UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.

- ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - STORM SEWER SPECIFICATIONS -
 - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF ASHTO DESIGNATION M-294 TYPE "S".
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - WATER MAIN SPECIFICATIONS -
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS".
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF STURGEON BAY. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A

- POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212 FOR PIPE SIZES 8" TO 15"; SCHEDULE 40 FOR PIPE SIZES 4" AND 6".
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF STURGEON BAY.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1556 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

LEGEND

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=====	HEAVY DUTY CONCRETE PAVEMENT
=====	STORMWATER MANAGEMENT AREA
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=====	8'x4'x2" INSULATION (PLAN VIEW)
=====	8'x4'x2" INSULATION (PROFILE VIEW)



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PROJECT:

SCS SUNSET ESTATES

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DOOR COUNTY

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Designed By: CEL
Reviewed By: PMP
Approved By: JLF

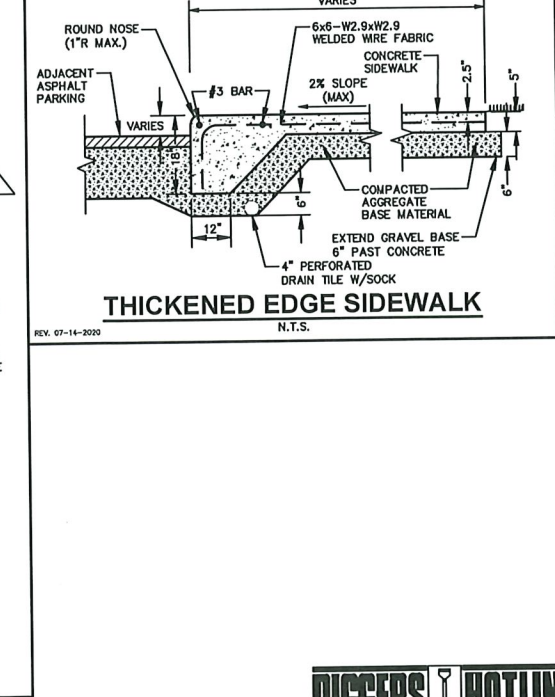
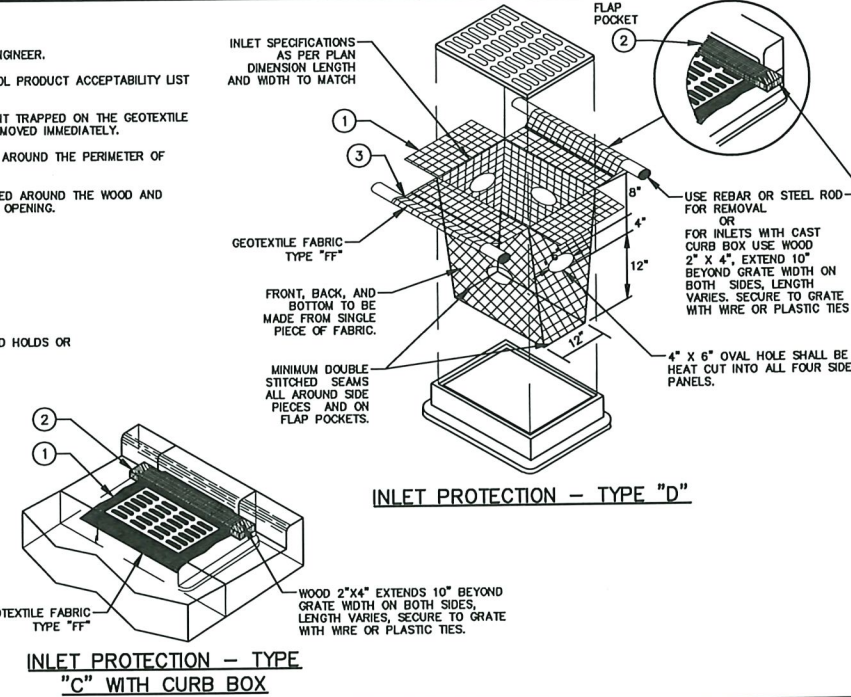
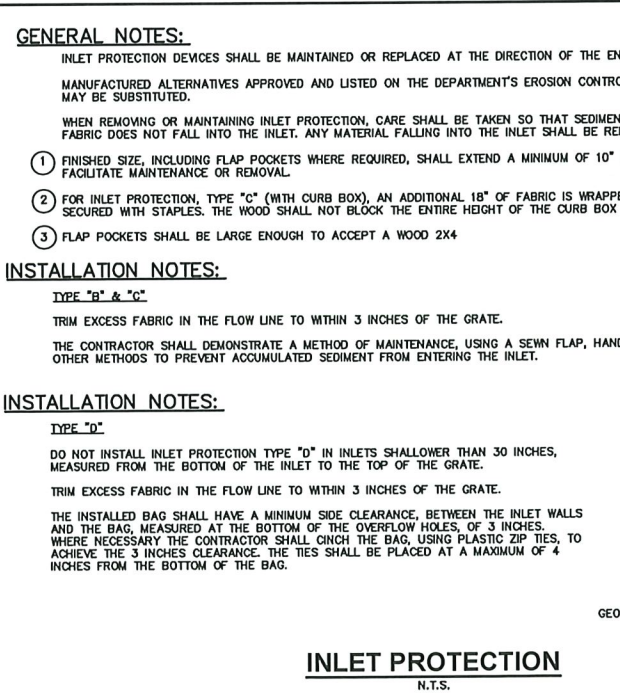
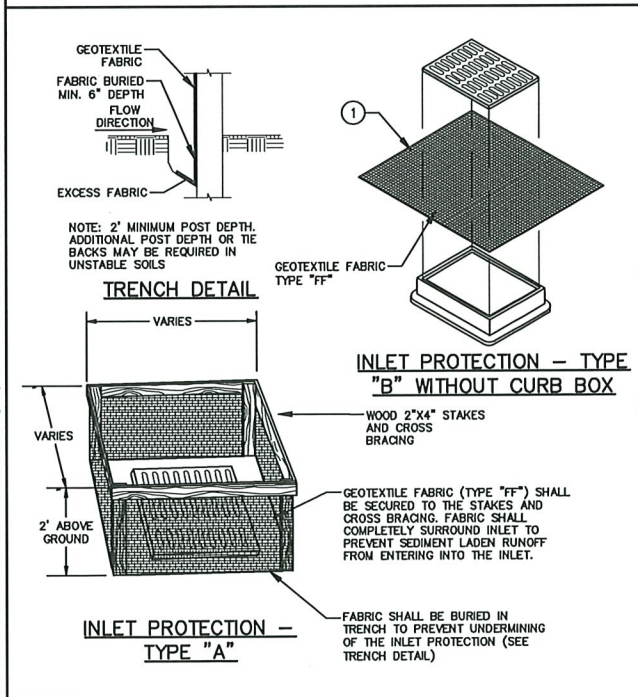
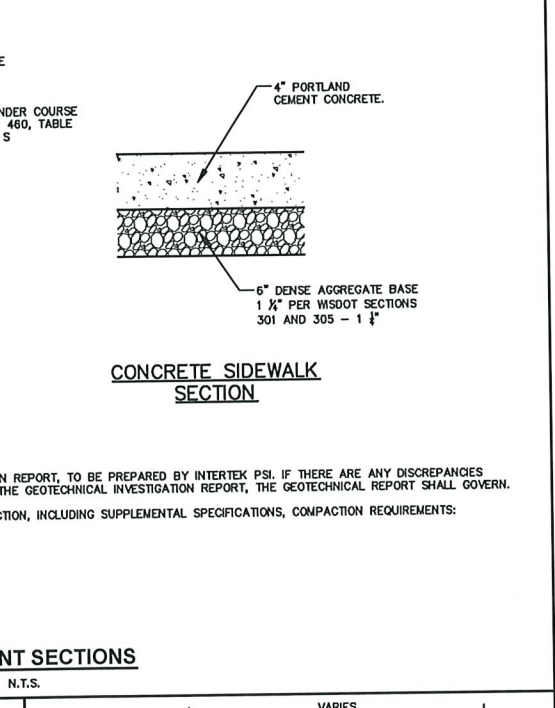
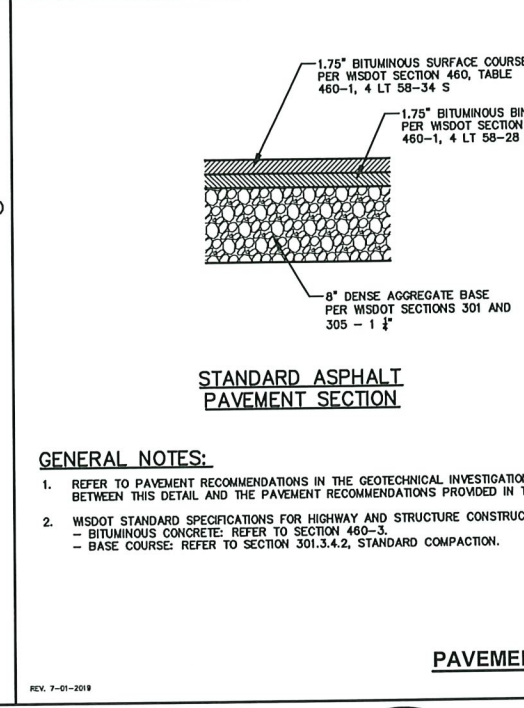
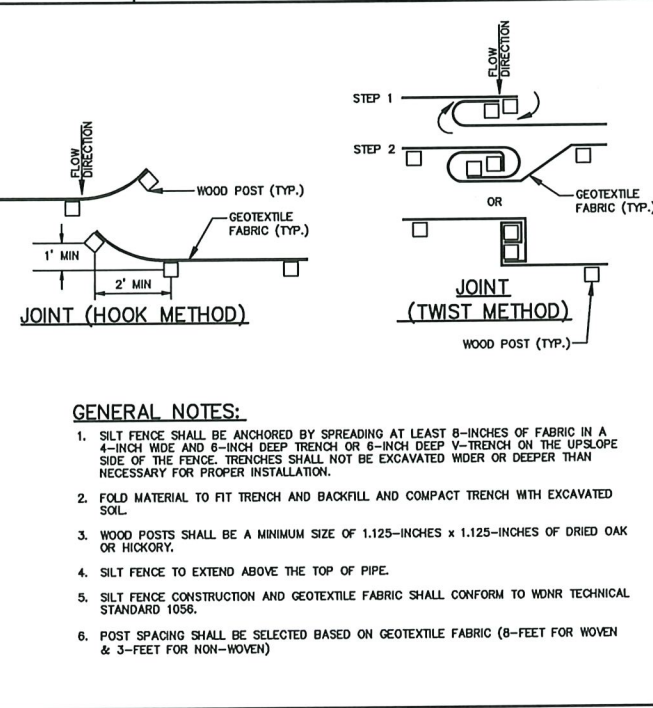
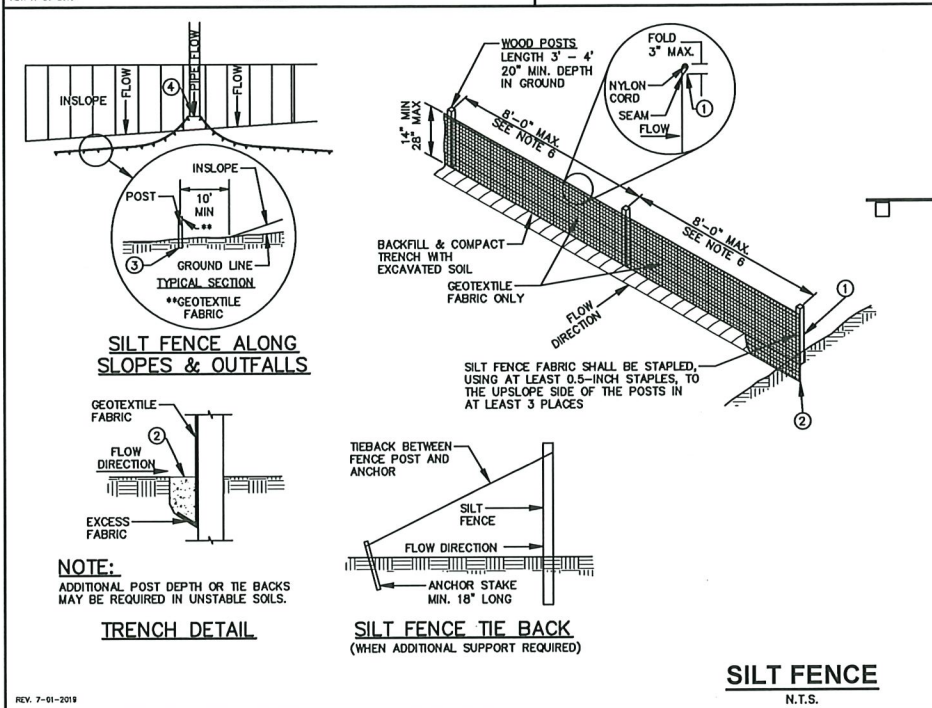
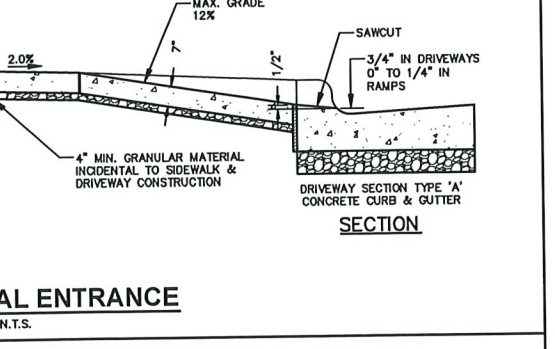
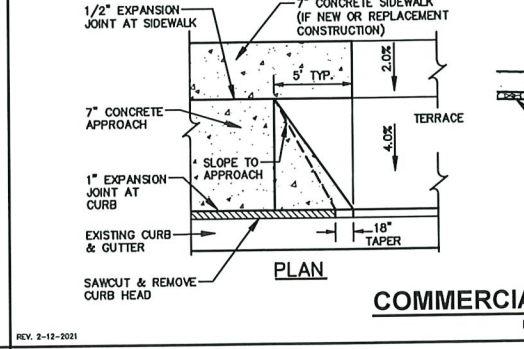
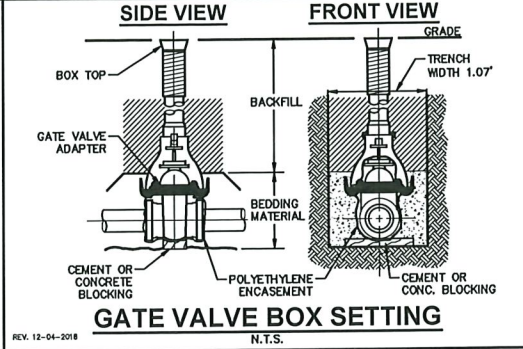
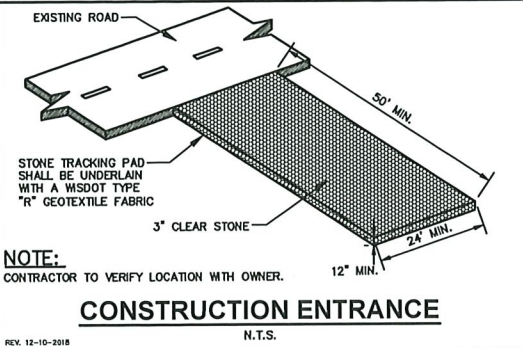
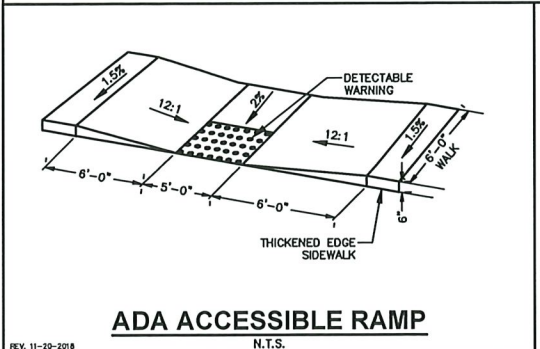
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UTILITY PLAN

SHEET NUMBER:
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JSD PROJECT NO: 21-10888

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Designed By:

Reviewed By:

Approved By:

SHEET TITLE:

DETAILS

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JSD PROJECT NO:

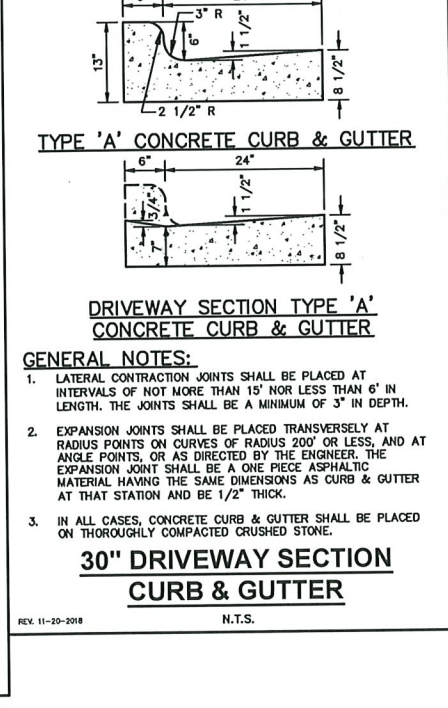
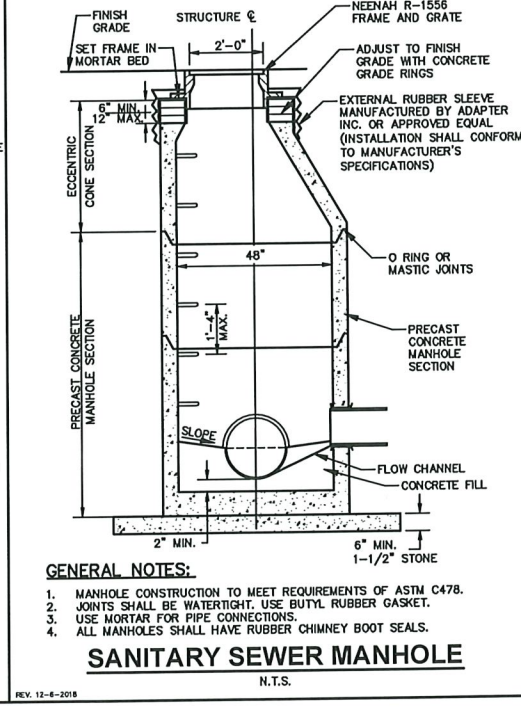
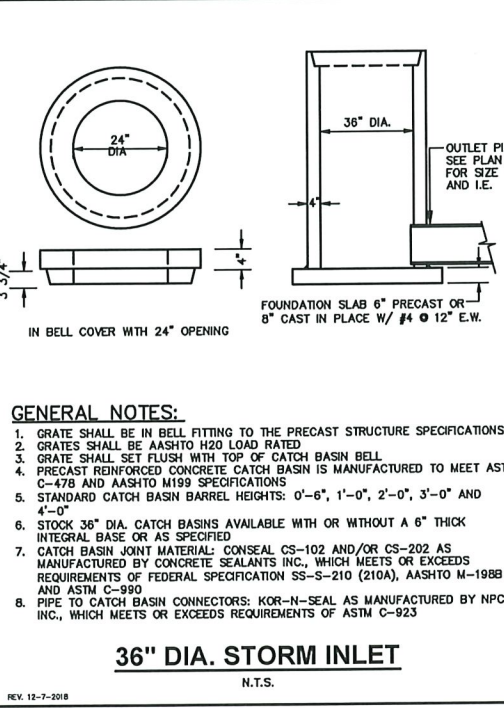
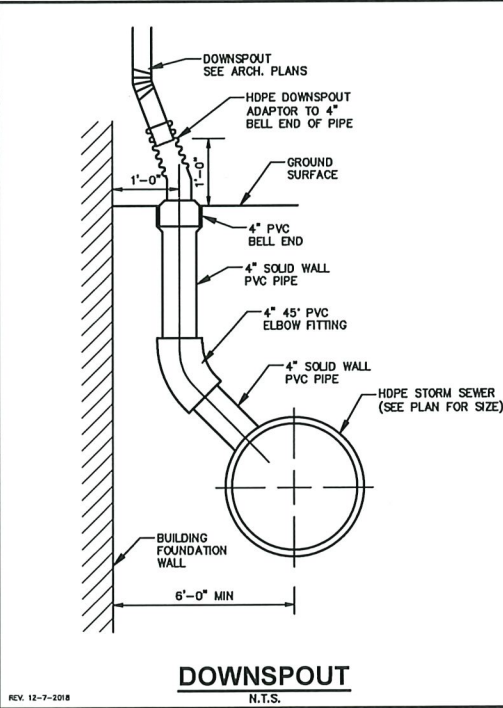
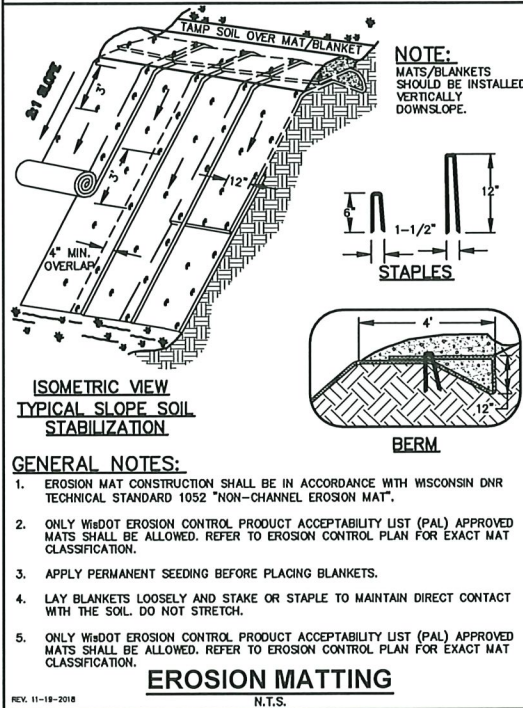
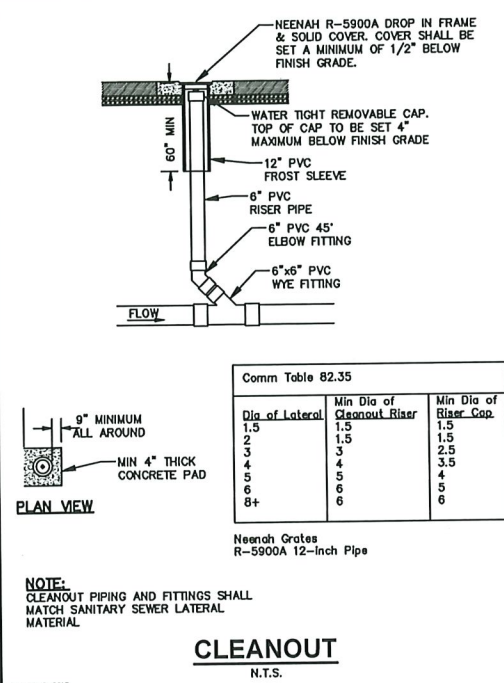
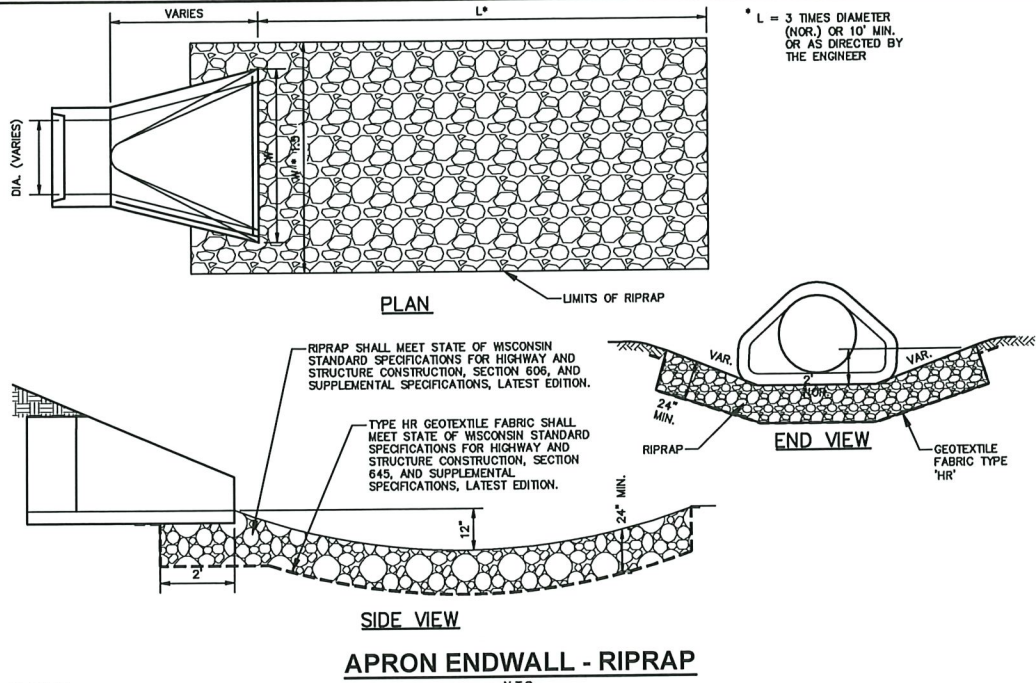
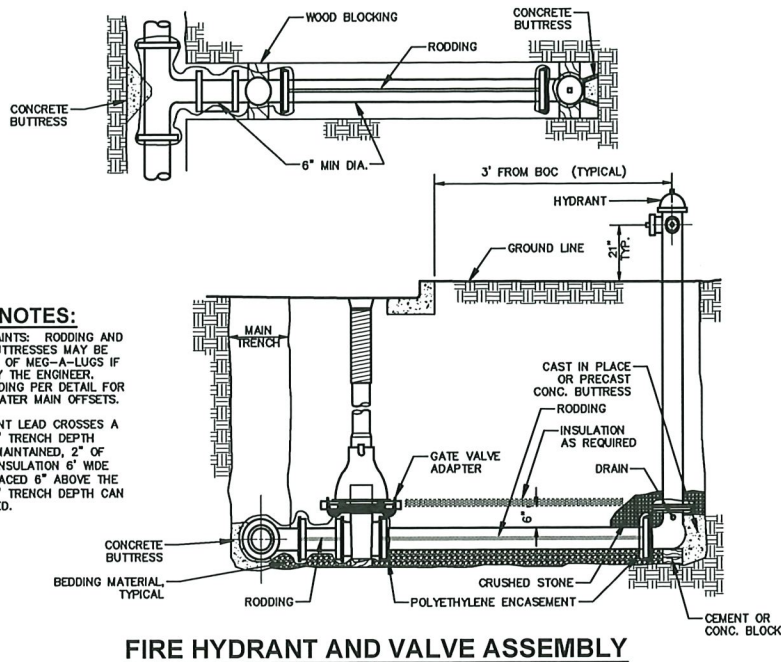
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DIGGERS HOTLINE

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Designed By: CEF
Reviewed By: PMS
Approved By: JLF

SHEET TITLE:
DETAILS

SHEET NUMBER:
C5.1

JSD PROJECT NO: 21-10989

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Technical drawing of a component with the following dimensions and features:

- Overall length: 100.05
- Overall width: 24.12
- Overall height: 13.75
- Feature A: A small rectangular feature on the right side.
- Feature B: A small rectangular feature on the right side.
- Feature C: A small rectangular feature on the right side.
- Feature D: A small circular feature on the left side.
- Feature E: A small rectangular feature on the left side.

NOTES

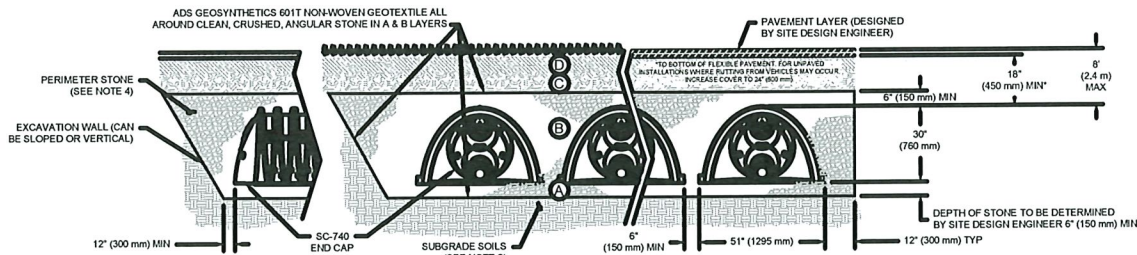
- 1. MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #633 FOR MANHOLE SIZING GUIDANCE.
- 2. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- 3. THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- 4. THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.

FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

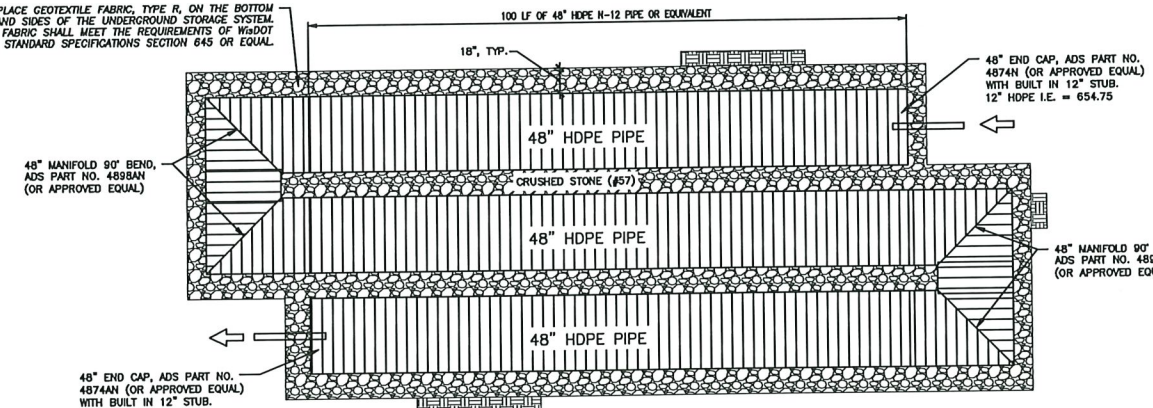
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

PLEASE NOTE:

1. THE LISTED ASHFO TO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (ASHFO M4) STONE".
2. THE ASHFO COMPACTED REQUIREMENTS ARE MET FOR A 1' LOOSE LAYER WHEN PLACED AND COMPACTED IN 6" (150 mm) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTOR EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTOR REQUIREMENTS.
4. IF THE SUBGRADE SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE, MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2879 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, IF THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 62.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN² AND $n \geq 2$ TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



PROPOSED ELEVATIONS
TOP OF STONE: 656.75
TOP OF CHAMBER: 655.75
BOTTOM OF CHAMBER: 651.75
BOTTOM OF STONE: 651.25

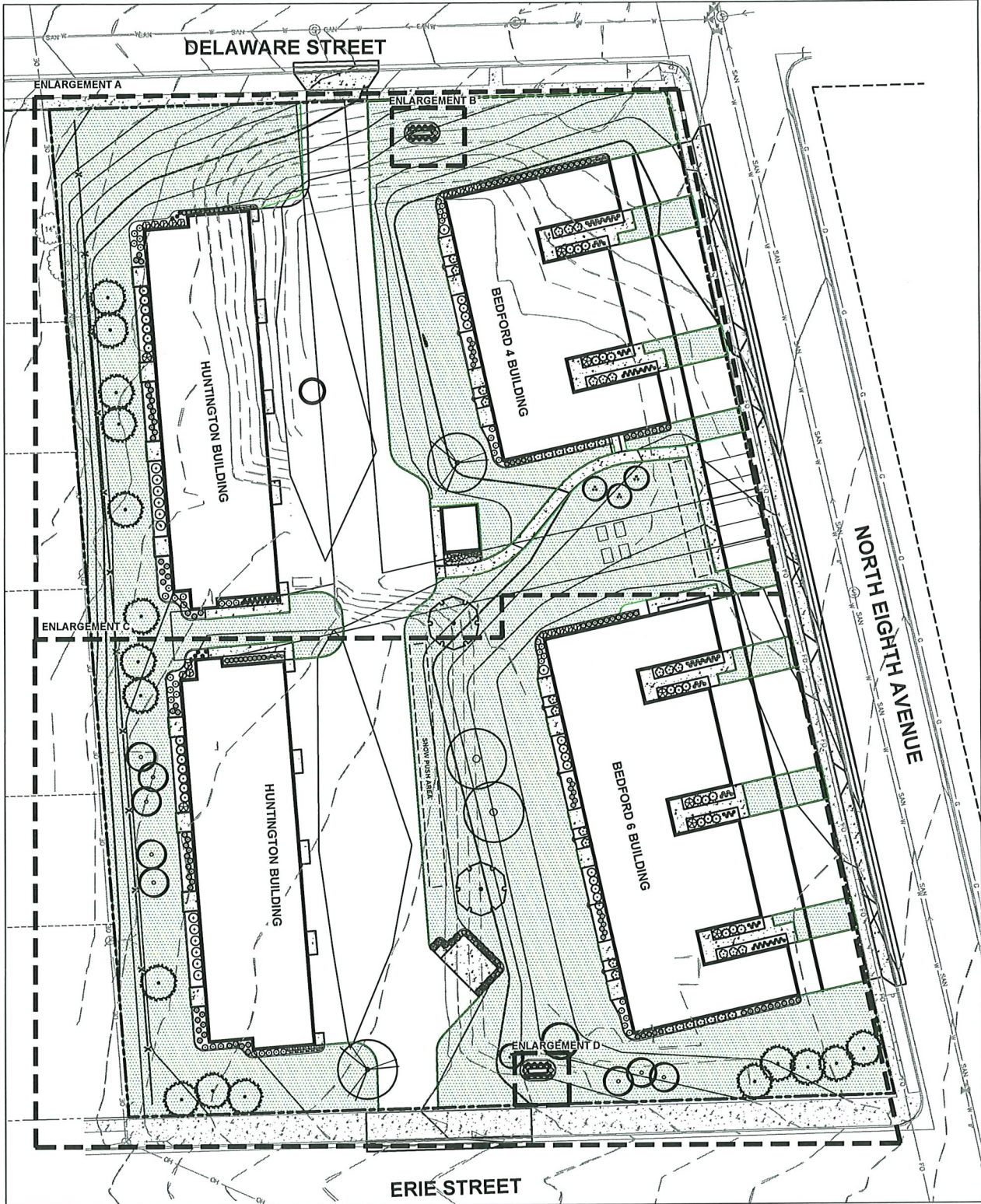
BACKFILL
WASHED STONE, NO FINES.

UNDERGROUND WATER QUALITY STORAGE

JSD PROJECT NO:

21-10989

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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT AND SCS. ANY SUBSTITUTIONS OF PLANT TYPE, LOCATION OR SIZE TO BE APPROVED BY SCS PRIOR TO INSTALLATION. BE AWARE OF MUNICIPALITY POINT REQUIREMENTS AND PLACEMENT OF PLANTINGS, REPOSITIONING OF PLANTINGS TO BE APPROVED BY SCS PRIOR TO INSTALLATION.
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
9. CONCRETE CURB EDGING FOR LANDSCAPE AREAS, BEDS AND TREE RINGS AS SHOWN ON PLAN.

PLANT SCHEDULE				
CLIMAX TREE	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING QTY
	ACRU	Acer rubrum 'Armstrong' / Armstrong Red Maple	Container	1 5"Cal 2
	GLTR	Gliricidia wacanthos inermis 'Skyline' TM / Skyline Thornless Honey Locust	Container	2"Cal 2
	TICO	Tilia cordata / Littleleaf Linden	Container	2"Cal 2
MEDIUM DECIDUOUS TREE				
	AMAL	Amelanchier alnifolia 'Saskatoon' / Serviceberry	Container	1.5"Cal-M/R-stem 4
	CEGA	Cercis canadensis / Eastern Redbud	Container	1.5"Cal-M/R-stem 1
	SYJR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	Container	1 5"Cal 8
TALL EVERGREEN TREE				
	PICL	Picea glauca 'Densata' / Black Hills Spruce	Container	5 ft tall min 17
	THOS	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	Container	3-4 ft. tall 11
DECIDUOUS SHRUBS				
	PHQP	Physocarpus opulifolius 'Dorona May' TM / Little Devil Ninebark	#202 gal	Min. 12" 21
	PHTW	Physocarpus opulifolius 'SPOTTY' TM / Tiny Wine Ninebark	#202 gal	Min. 12" 8
	SPJA	Spiraea japonica 'Walburna' / Magic Carpet Japanese Spirea	#202 gal	Min. 12" 5
	SPBU	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	#202 gal	Min. 12" 36
	SYXS	Syringa x 'SMISOTL' TM / Little Darling Lilac	#202 gal	Min. 12" 14
EVERGREEN SHRUBS				
	JUCH P	Juniperus chinensis 'Pfitzerana Kallays Compacta' / Kally Pfitzer Compact Juniper	#203 gal	Min. 18"-24" 14
	JUSO	Juniperus squamata 'Blue Star' / Blue Star Juniper	#203 gal	Min. 18"-24" 13
	TADY	Taxus x media 'Densiformis' / Dense Yew	#203 gal	Min. 18"-24" 18
PERENNIALS & GRASSES				
	CAKA	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	#101 gal	41
	CHSU	Chrysanthemum x superbum / Shasta Daisy	#101 gal	15
	HEAT	Hemerocallis x 'Afanta Moonlight' / Afanta Moonlight Daylily	#101 gal	41
	HENO	Hemerocallis x 'Nosterau' TM / Rainbow Rhythm Nosterau Daylily	#101 gal	44
	PAVI	Panicum virgatum 'Shenandoah' / Switch Grass	#101 gal	15
	PELI	Pieris x ampelocarpa 'Little Spire' / Little Spire Russian Sage	#101 gal	29
	RUSP	Rudbeckia speciosa 'Vettes Little Suzie' / Black-eyed Susan	#101 gal	71
	SCSC	Schizanthus scoparium 'Blue Heaven' / Blue Heaven Little Bluestem	#101 gal	31
	SPHE	Sporobolus heterolagus / Prairie Dropseed	#101 gal	83
GROUND COVERS				
	DECT	Geranium cinereum 'Ballerina' / Ballerina Hardy Geranium	#101 Gal.	27

LEGEND

KENTUCKY BLUEGRASS BLEND (SEED)



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7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WI 54476
P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC



CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI 54455

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
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Designed By: MJH
Reviewed By: LMW/JLF
Approved By: JLF

SHEET TITLE:
OVERALL LANDSCAPE
PLAN

SHEET NUMBER:

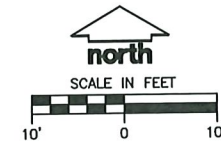
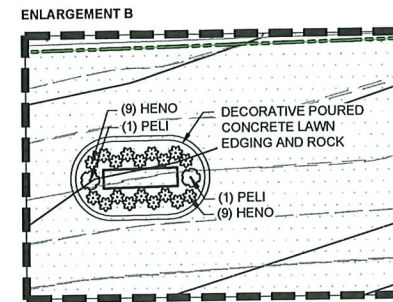
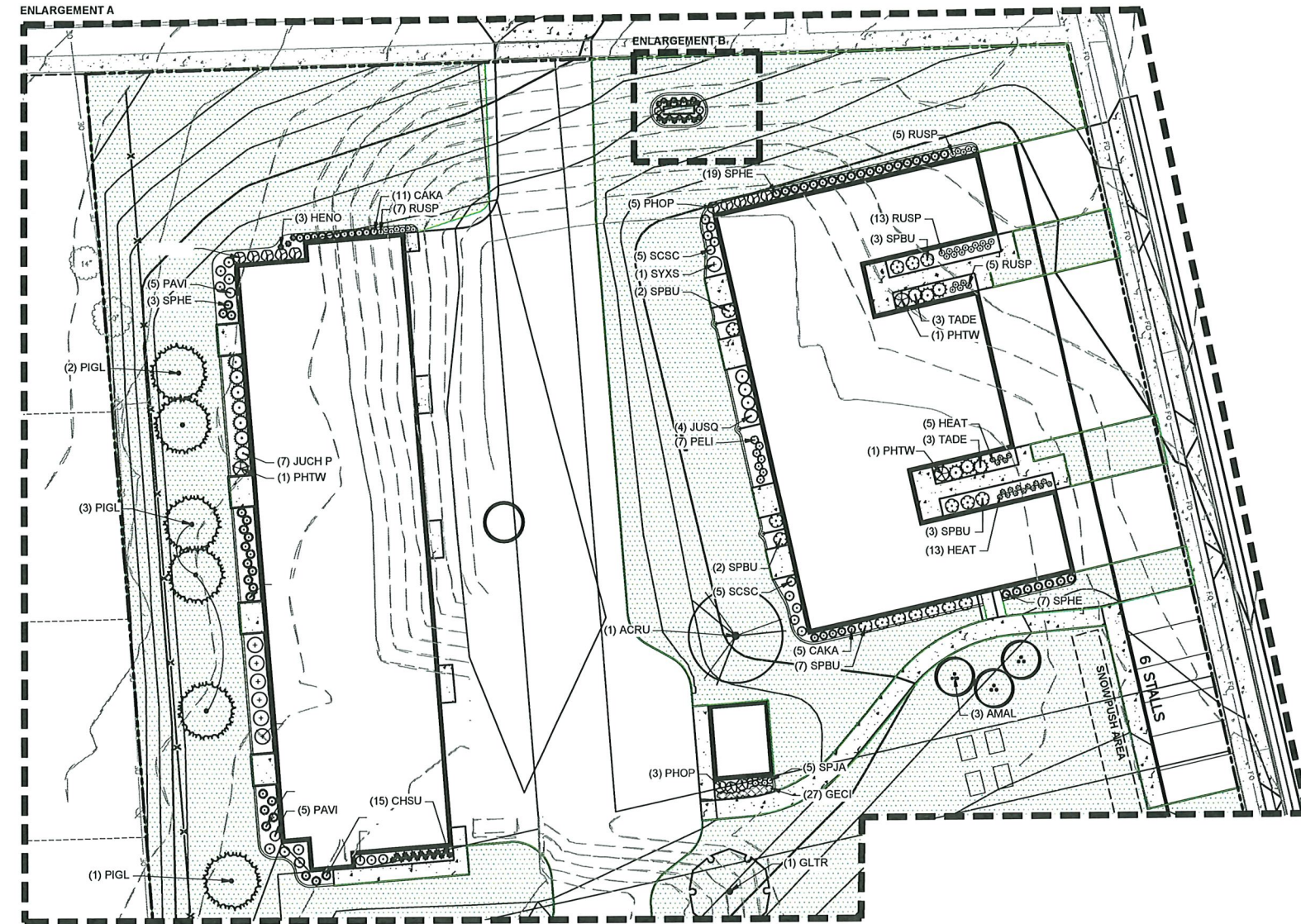
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JSD PROJECT NO:


21-10989


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Designed By: MJH

Reviewed By: LMW/JLF

Approved By: JLF

SHEET TITLE:

**LANDSCAPE PLAN
ENLARGEMENTS**

SHEET NUMBER:

L1.1

JSD PROJECT NO: 21-10889

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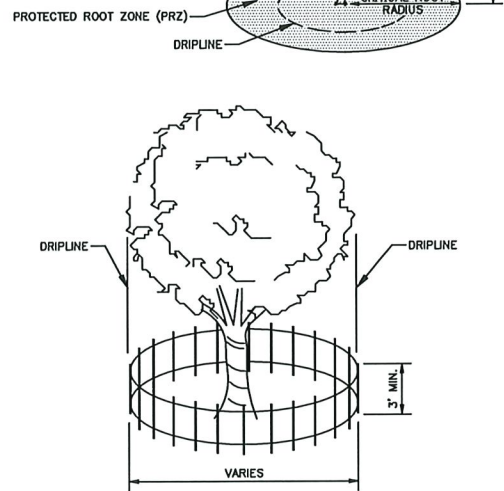
APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS (CRR). FIRST, MEASURE THE TREE DIAMETER IN INCHES AT BREAST HEIGHT (DBH). THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

EXAMPLE: DBH = 8 inches
 $8 \times 1.5 = 12$
CRR = 12 feet

DBH \times 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES

OR

DBH \times 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES

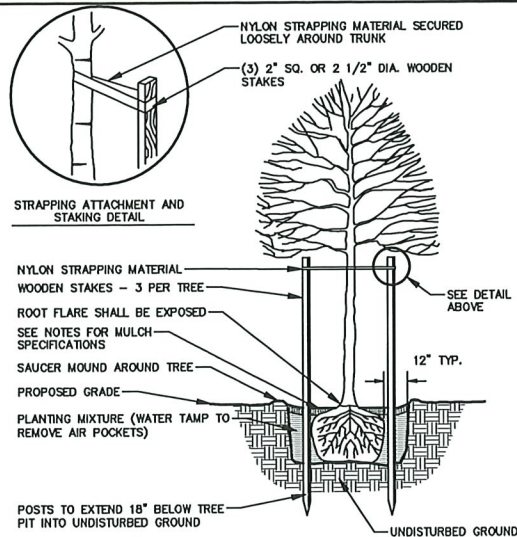


- NOTE:
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
 - NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
 - IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

TREE PROTECTION DETAIL

N.T.S.

REV. 01-04-2019

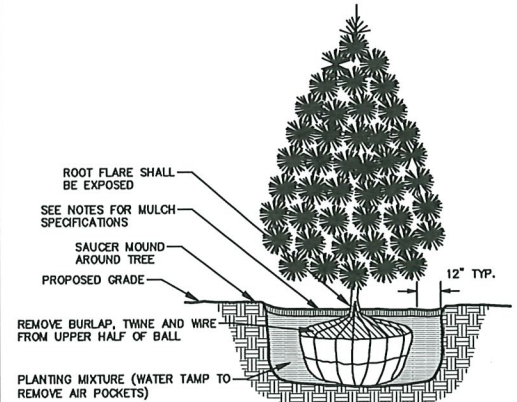


- NOTE:
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
 - REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

DECIDUOUS TREE PLANTING DETAIL

N.T.S.

REV. 01-25-2022

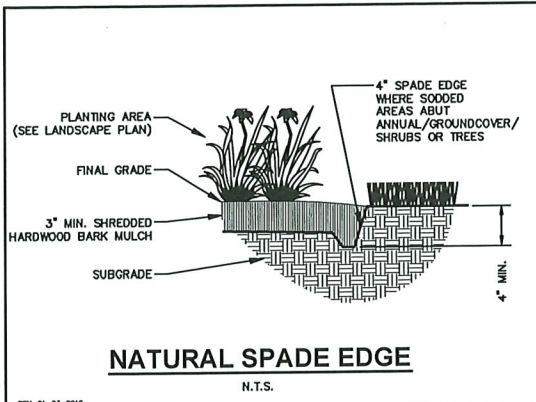


- NOTE:
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED

EVERGREEN TREE PLANTING DETAIL

N.T.S.

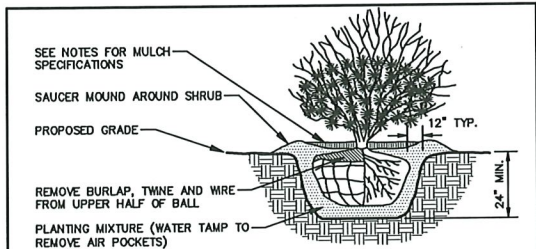
REV. 01-03-2019



NATURAL SPADE EDGE

N.T.S.

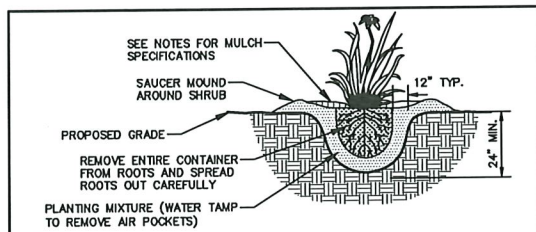
REV. 01-03-2019



SHRUB PLANTING DETAIL

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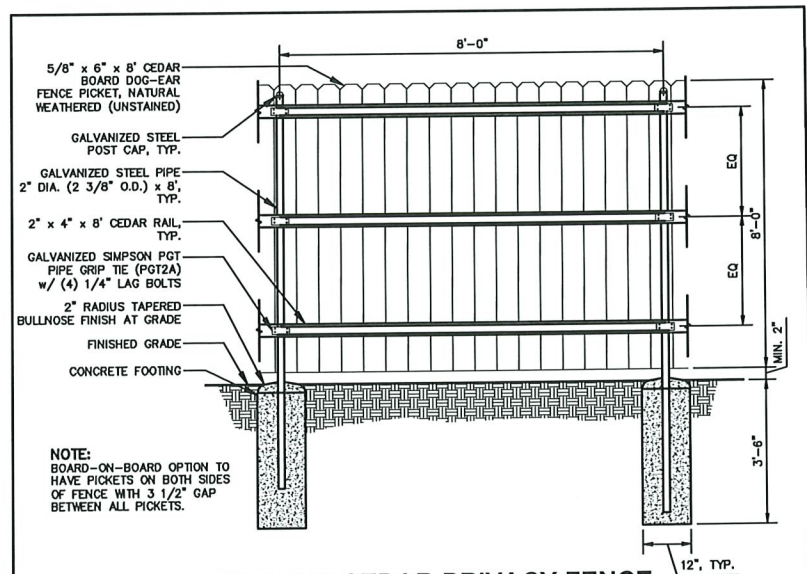
REV. 01-03-2019



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

REV. 01-03-2019



OPAQUE CEDAR PRIVACY FENCE

N.T.S.

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: CONTRACTOR TO PROVIDE ADEQUATE, APPROPRIATE AND SECURE STORAGE TO BE APPROVED BY THE OWNER. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z601. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4\"/>
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY PROJECT MANAGER PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.
- CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A MINIMUM OF ONE (1) YEAR AFTER ACCEPTANCE BY THE SCS REPRESENTATIVE. ANY TREES OR PLANTS THAT ARE DEAD OR NOT IN A THRIVING CONDITION SHALL BE REPLACED (AT NO COST TO OWNER) WITH SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. AREAS DISTURBED DURING PLANT REPLACEMENT TO BE REPAIRED AT NO COST TO OWNER.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. 1 1/2\"/>
- MATERIALS - TREE & SHRUB RINGS: ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES AND SECURED WITH STRAPPING. ALL TREES IN THE LAWN TURF AREA SHALL HAVE A 3\"/>
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
- MATERIALS - DECORATIVE POURED CONCRETE LAWN EDGING: DECORATIVE POURED CONCRETE LAWN EDGING SHALL BE PLACED AROUND ALL LANDSCAPE BEDS. EDGING SHALL BE 6\"/>

SEEDING

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE EARTH CARPETS \"MASON PARKS\" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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Designed By: MJH
Reviewed By: LMW/JLF
Approved By: JLF

SHEET TITLE:
LANDSCAPE NOTES &
DETAILS

SHEET NUMBER:

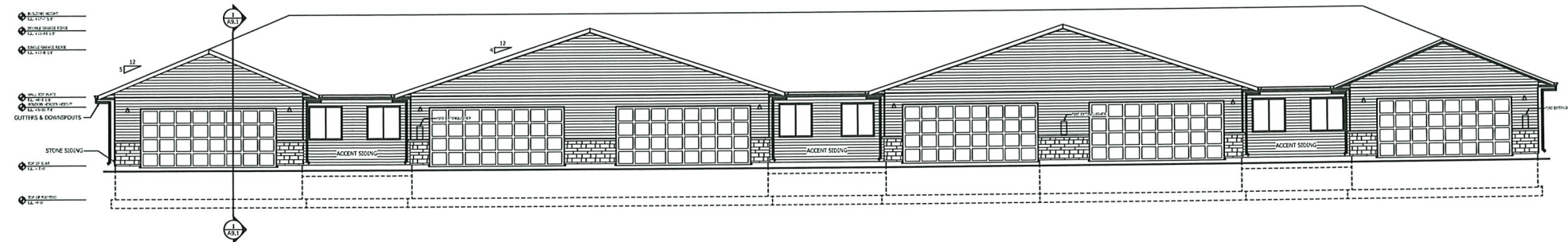
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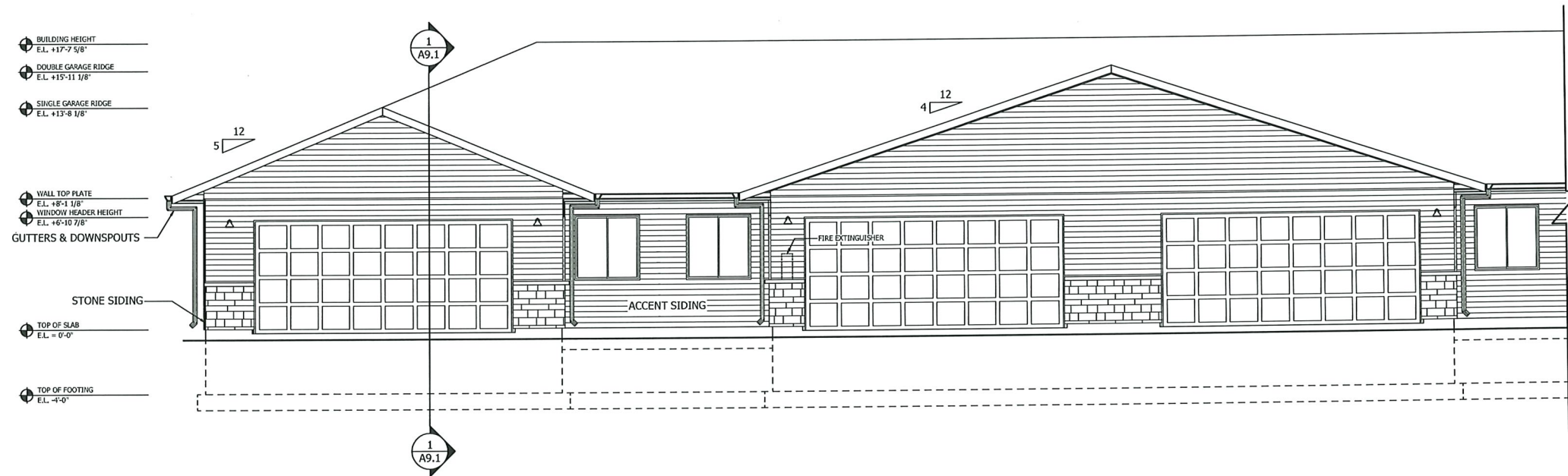
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FRONT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION - PARTIAL
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:
1. REFERENCE CIVIL PLAN SET FOR
DOWNSPOUT TERMINATION DETAILS

EXTERIOR FINISHES

- SIDING**

MAIN
--MASTIC CARVEDWOOD 44 DOUBLE 4"
NEWPORT BAY

ACCENT
--MASTIC CARVEDWOOD 44 DOUBLE 4"
BRUNSWICK

STONE WAINSCOTING
--VERSETTA STONE LEDGESTONE
MISSION POINT

TRIM
--SMARTSIDE 5/4
SNOWSCAPE WHITE

--VINYL CORNERS
WHITE
- PATIO DIVIDERS**

--(1 AT EACH) BELMONT 6X6 PRIVACY VINYL FENCE
WHITE
--(1 AT EACH) 4X4 VINYL POST KIT
WHITE
--(1 AT EACH) 4X4 VINYL PYRAMID POST CAP
WHITE

**BIDDERS: REFER TO FINISH SCHEDULE IN SPECIFICATIONS

REV	DATE	DESIGNER	REMARKS

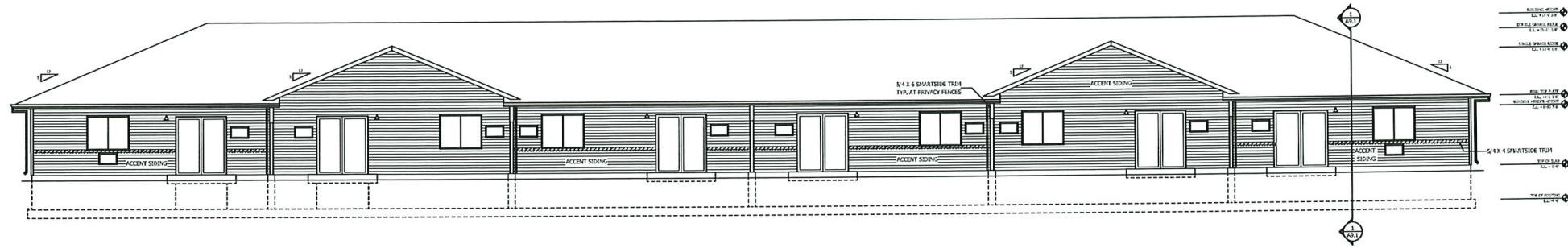
401 RANGER STREET
POSDEN, LA 70083
PH: 713.693.8523
WWW.SCSWIDERSKI.COM



PROJECT	07_SCS EAU CLAIRE
MODEL	BEDFORD 6-UNIT (B2)
TITLE	FRONT ELEVATION

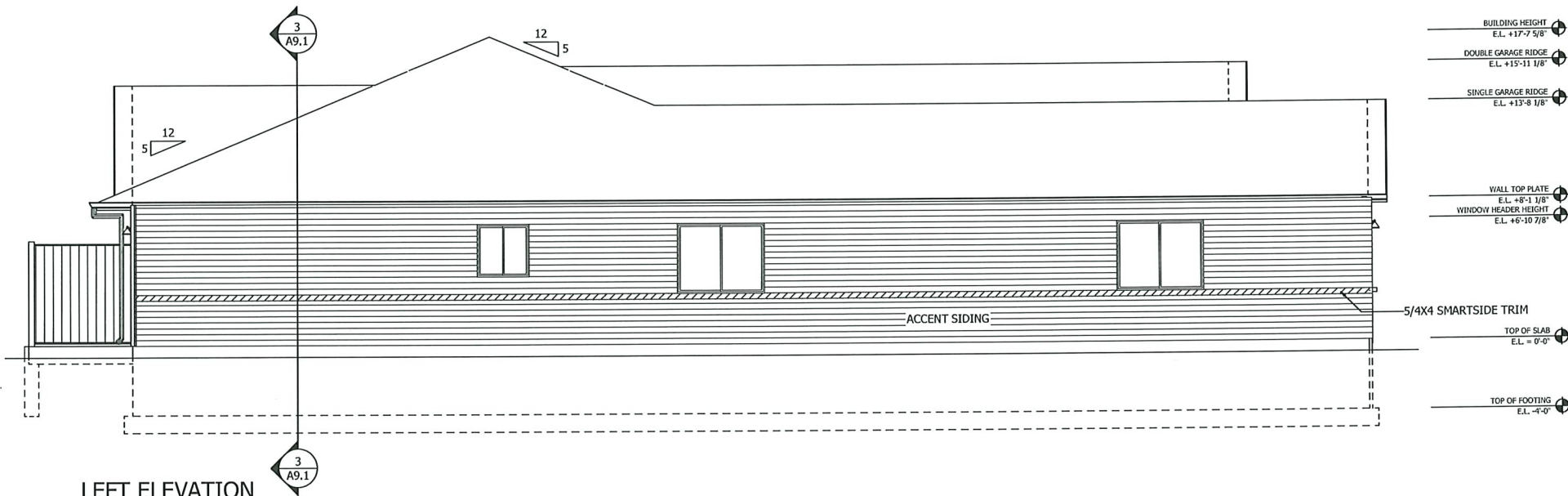
DATE	03/30/2021
DRAWN BY	SB
SCALE	AS SHOWN

SHEET NO.	A2.1
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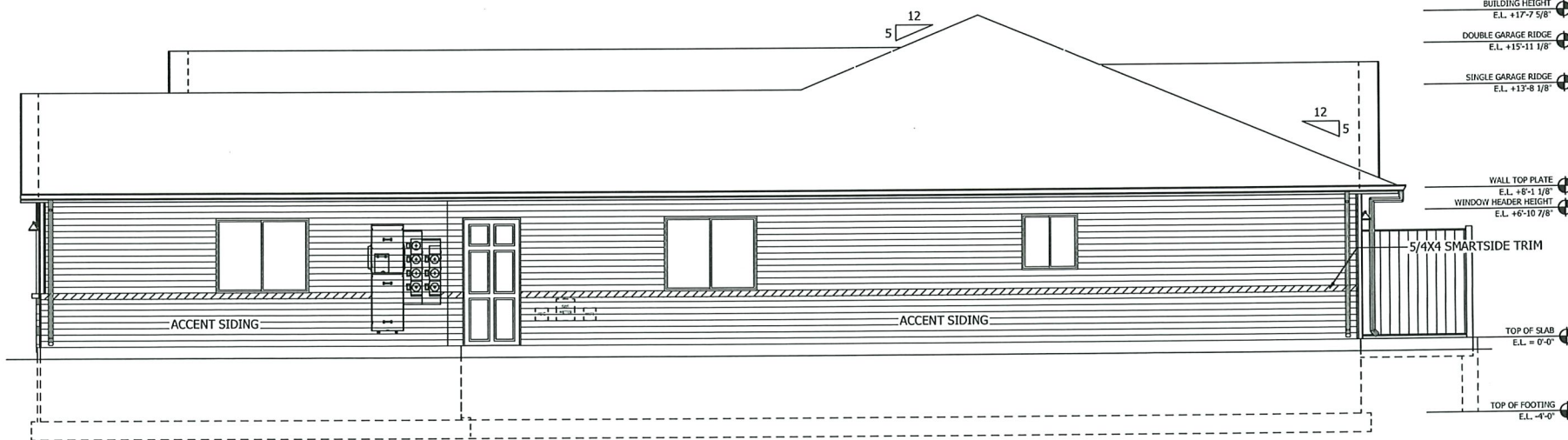
REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

KEY NOTES:

1. SEE SHEET A2.1 FOR EXTERIOR FINISHES.

REV	DATE	DESIGNER	REMARKS

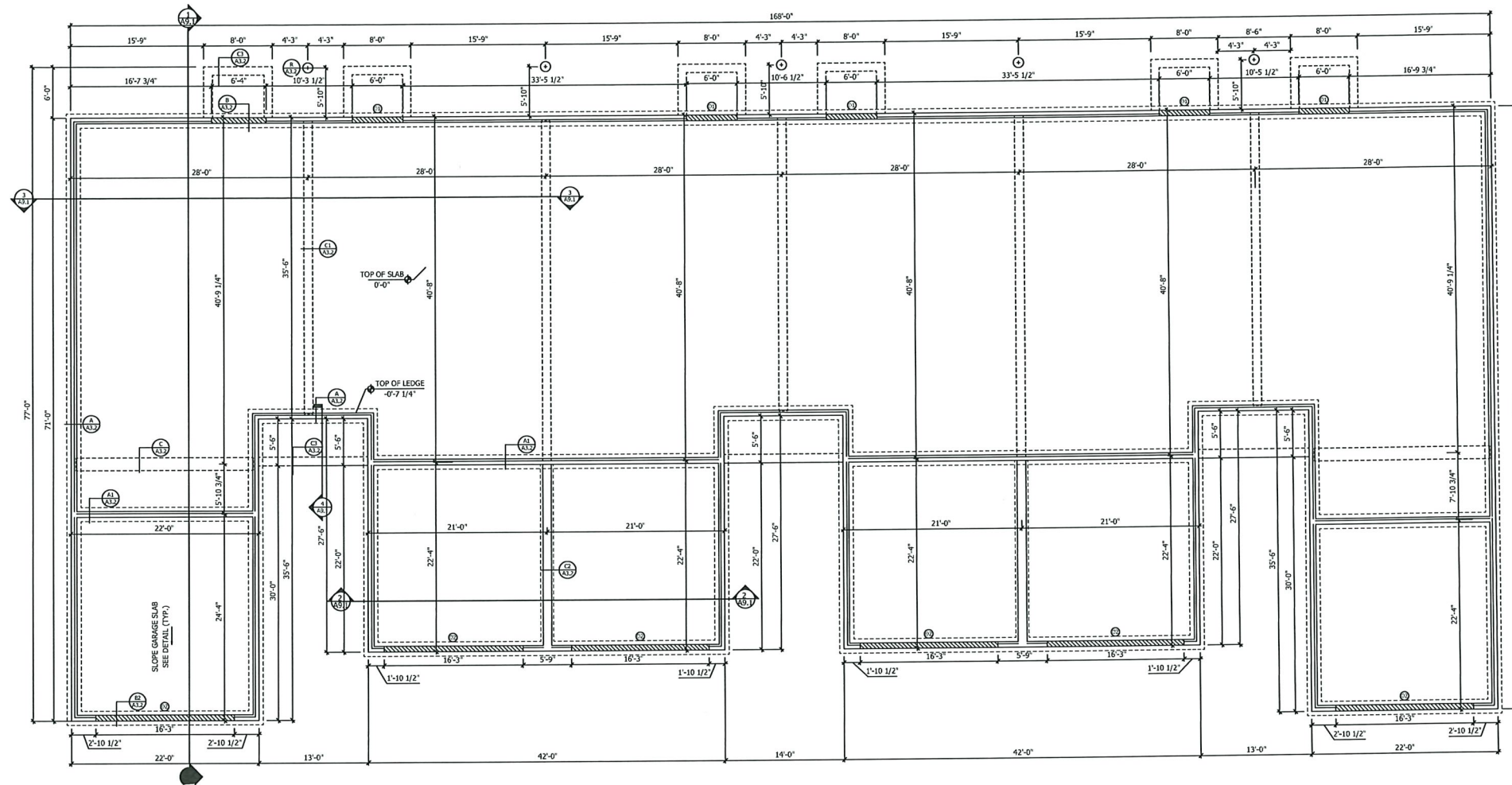
401 RANGERS STREET
MOSINEE, WI 54455
PH: 715.693.9522
FAX: 715.693.9523
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PROJECT	07_SCS EAU CLAIRE
MODEL	BEDFORD 6-UNIT (B2)
TITLE	ELEVATIONS

DATE	03/30/2021
DRAWN BY	SB
SCALE	AS SHOWN

SHEET NO.	A2.2
-----------	------



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES:

- (1) DROPPED FOUNDATION WALL AT PATIO DOOR. SEE DETAIL B / A3.2.
- (2) DROPPED FOUNDATION WALL AT O.H. DOOR. SEE DETAIL B2 / A3.2.

3 BEDROOM UNIT (W/ MECHANICAL)
ALL BUILDINGS

FOUNDATION PLAN NOTES:

- FOUNDATION CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD WITH ARCHITECTURAL PLANS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCY TO BE VERIFIED WITH OWNER BEFORE CONCRETE PLACEMENT.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE.
- VERIFY ALL PLUMBING REQUIREMENTS PRIOR TO PLACEMENT OF SLAB.
- CONTRACTOR TO PROVIDE CONTROL/CONSTRUCTION JOINTS AT NO MORE THAN 20'-0" SQUARE. NO CONSTRUCTION JOINT SHALL GO THROUGH A THICKENED SLAB FOOTING.
- ANCHOR WALLS TO CONCRETE. TYPICAL AT ALL BEARING WALL LOCATIONS. REFER TO STRUCTURAL NOTES FOR DETAILS.
- FOUNDATION WALL UTILITY SLEEVE LOCATIONS TO BE COORDINATED AND REVIEWED WITH MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS.

REV	DATE	DESIGNER	REMARKS

401 RANGERS STREET
MOOREHEAD, MS 39565
PH: 715.683.9522
FAX: 715.683.9523
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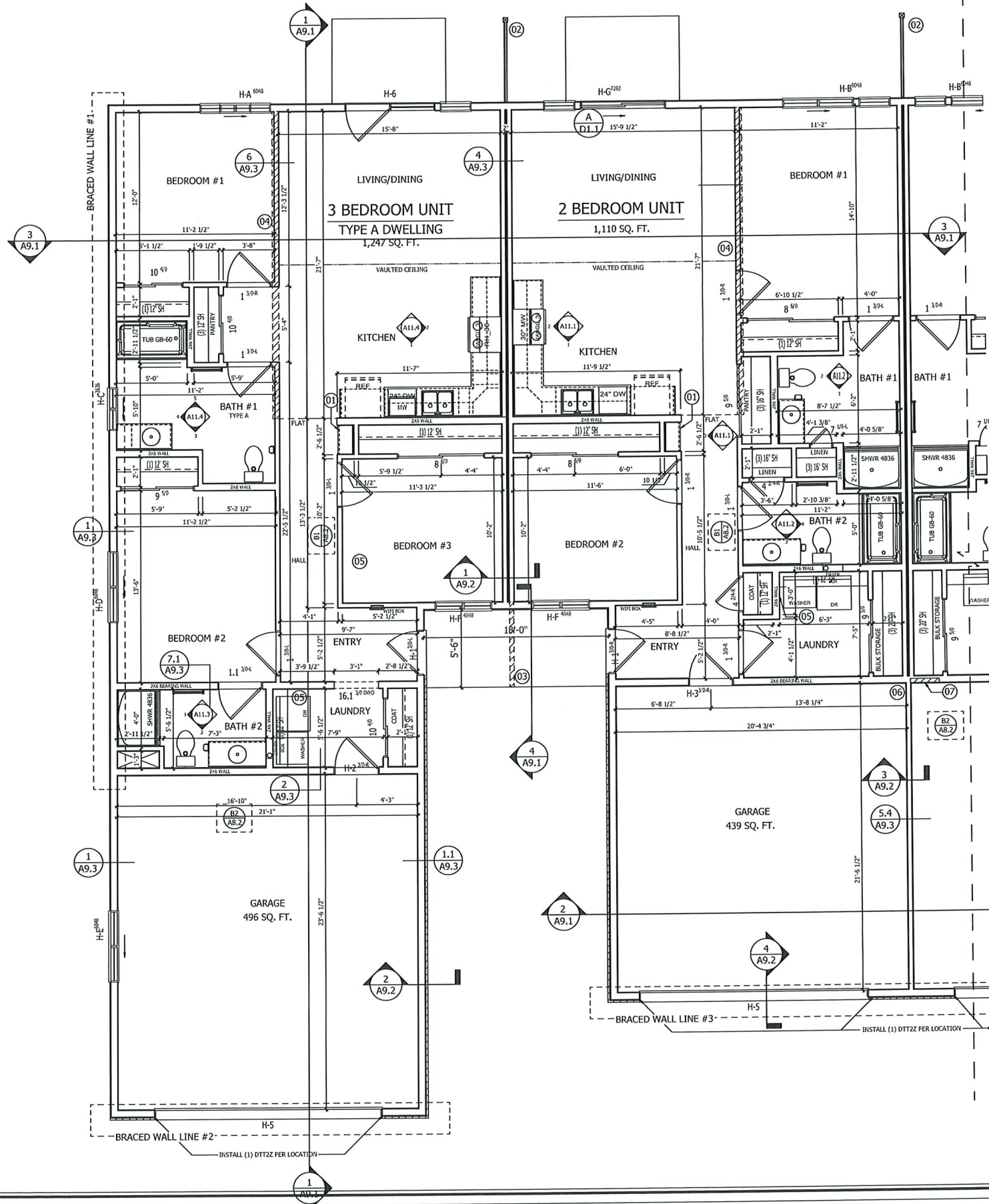


PROJECT	20-036_SCS SUNSET ESTATES
MODEL	BEDFORD 6-UNIT (B2)
TITLE	FOUNDATION PLAN

DATE	03/30/2021
DRAWN BY	SB
SCALE	1/8"=1'-0"

SHEET NO.
A3.1

3 BEDROOM UNIT (TYPE A)
SCALE: 1/4" = 1'-0" BUILDING B2



2 BEDROOM UNIT
SCALE: 1/4" = 1'-0" ALL BUILDINGS

SEE FIRST FLOOR PLAN FOR PLAN/KEY NOTES

PROJECT 20-036_SCS SUNSET ESTATES
MODEL BEDFORD 6-UNIT (B2)
TITLE UNIT PLAN

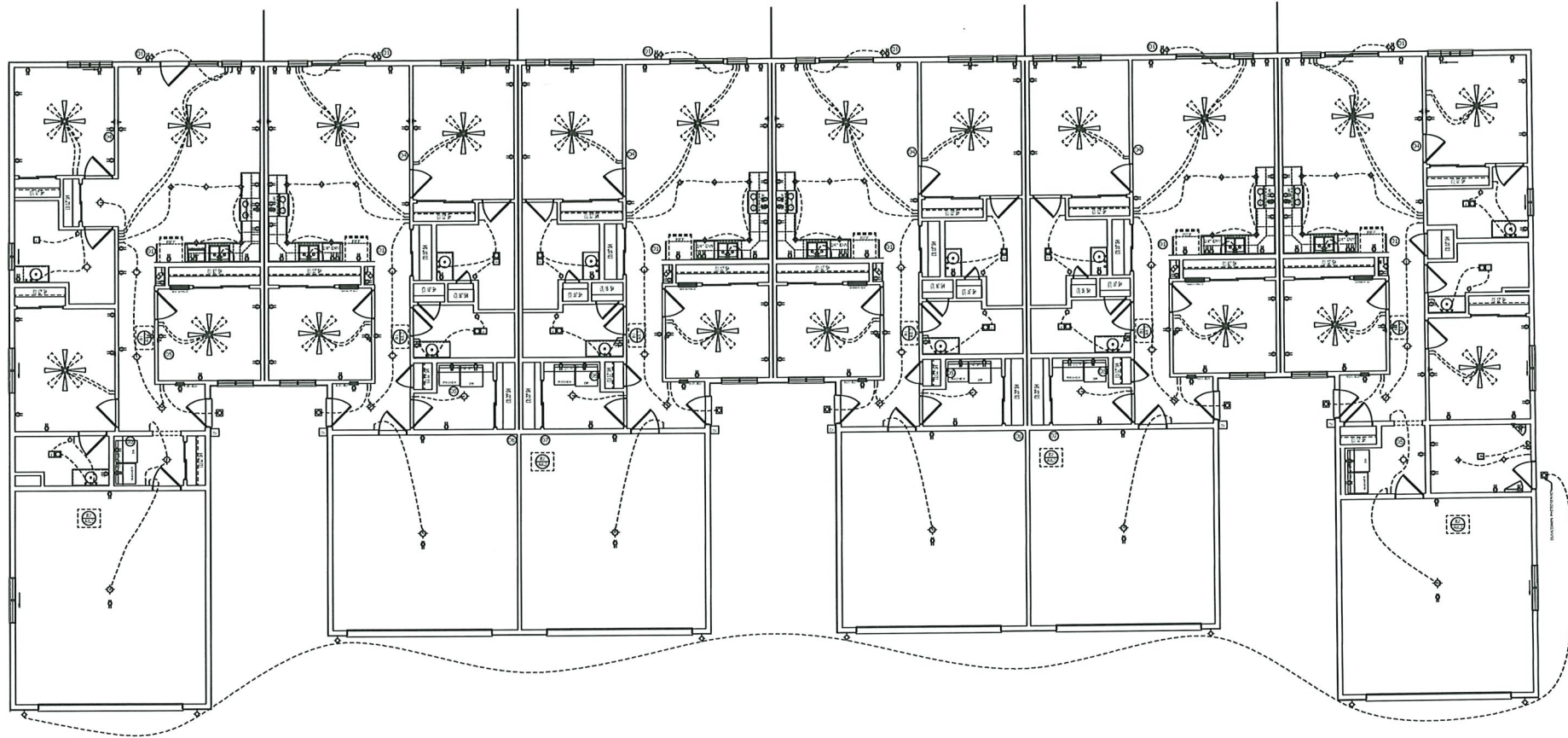
DATE 03/30/2021
DRAWN BY SB
SCALE 1/4"=1'-0"

SHEET NO.
A5.2

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S.C. SWIDERSKI LLC

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3 BEDROOM UNIT
BUILDING B1

3 BEDROOM UNIT (TYPE A)
BUILDING B2

2 BEDROOM UNITS
ALL BUILDINGS

3 BEDROOM UNIT (W/ MECHANICAL)
ALL BUILDINGS

ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL KEY

	SINGLE POLE SWITCH		SERVICE PANEL		EXHAUST FAN W/LIGHT		FLUORESCENT FIXTURE
	3-WAY SWITCH		BREAKER PANEL		CEILING FIXTURE (2 BULB FLUSH MOUNT)		3-LIGHT VANITY FIXTURE
	4-WAY SWITCH		THERMOSTAT		WALL MOUNT FIXTURE		WIRE FOR PADDLE FAN W/ LIGHT KIT
	DUPLEX OUTLET		CHIMES		EXTERIOR LIGHT		CEILING FIXTURE (1 BULB LAMP HOLDER)
	2-GANG DUPLEX OUTLET		TELEVISION/CABLE		EXTERIOR LED LIGHT		LED DISK LIGHT
	WEATHER PROOF OUTLET		TELEPHONE JACK		UNDER CABINET FIXTURE		
	220V OUTLET		EXHAUST FAN				
	HUMIDISTAT						

KEY NOTES:

- 01 EXTERIOR OUTLETS MIN. 18" (TOP) ABOVE FLOOR HEIGHT.
PLACE OUTLET CUTOUT TIGHT TO PATIO DOOR STUDS

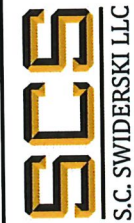
PLAN NOTES:

THIS ELECTRICAL SHEET PROVIDED FOR GENERAL INFORMATION ONLY.
REFER TO ELECTRICAL SHEETS BY APEX ENGINEERING.

1. ELECTRICAL CONTRACTOR TO VERIFY CURRENT CODE COMPLIANCE PRIOR TO INSTALLATION. NOTIFY PROJECT MANAGER OF ANY REQUIRED CHANGES.
2. ALL BATHROOMS TO BE EQUIPPED WITH AN EXHAUST FAN WITH LIGHT AND HUMIDISTAT.
3. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY (UL) LABEL.
4. GFCI RECEPTABLES TO BE INSTALLED AS REQUIRED BY CODE.
5. SMOKE AND CARBON MONOXIDE DETECTORS TO BE INSTALLED AS REQUIRED BY CODE.
6. PROVIDE DOOR CHIME AT FRONT ENTRANCE.
7. TOP OF WALL SWITCHES 48" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
8. TOP OF RECEPTABLES 18" (STANDARD) AND 48" (COUNTERTOP) ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
9. TOP OF THERMOSTAT AND BREAKER PANEL MOUNTED 48" ABOVE FINISHED FLOOR.
10. CABLE/INTERNET PROVIDER TO INSTALL FLUSH MOUNT WIFI ROUTER AS REQUIRED PER UNIT SIZE.
11. EXTERIOR LIGHTS ON A DAWN-TO-DUSK PHOTOSENSOR WIRED TO HOUSE METER EXCEPT AS SHOWN.
12. PROVIDE SINGLE SOCKET LIGHT PER GARAGE BAY.

SEE PROJECT SPECIFICATIONS FOR ADDITIONAL DETAILS

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PROJECT 20-036_SCS SUNSET ESTATES

MODEL BEDFORD 6-UNIT (B2)

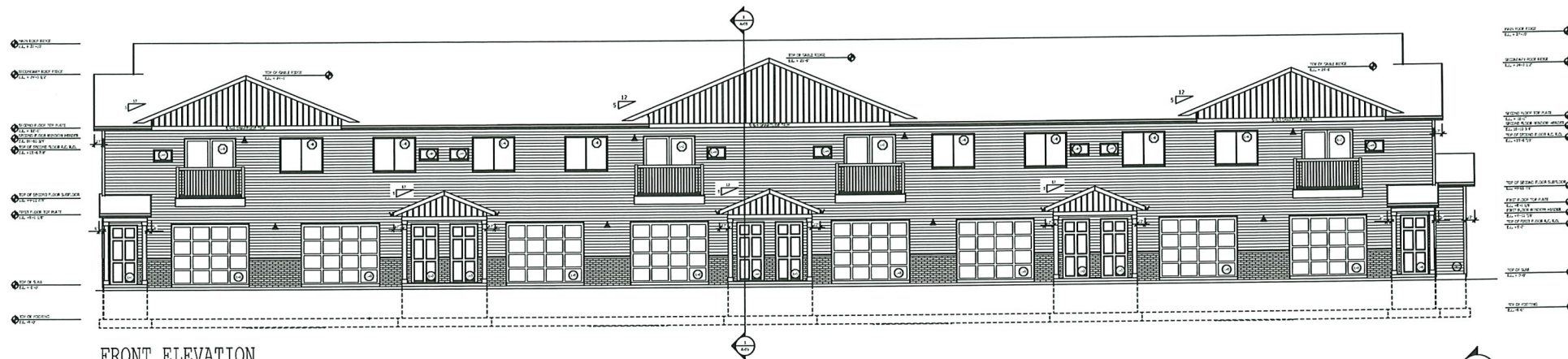
TITLE ELECTRICAL PLAN

DATE 03/30/2021
DRAWN BY SB
SCALE 1/8"=1'-0"

SHEET NO.

A7.1

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FRONT ELEVATION

SCALE: 1/8" = 1'-0"

- MAIN ROOF RIDGE
E.L. + 27'-10"
- SECONDARY ROOF RIDGE
E.L. + 24'-3 1/2"
- SECOND FLOOR TOP PLATE
E.L. + 18'-1"
- SECOND FLOOR WINDOW HEADER
E.L. + 16'-10 3/4"
- TOP OF SECOND FLOOR A.C. R.O.
E.L. + 15'-6 7/8"
- TOP OF SECOND FLOOR SUBFLOOR
E.L. + 9'-11 7/8"
- FIRST FLOOR TOP PLATE
E.L. + 8'-1 1/8"
- TOP OF SLAB
E.L. = 0'-0"
- TOP OF FOOTING
E.L. -4'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

A-02
1.02

FRONT ELEVATION

SCALE: AS SHOWN

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FAX: 715.693.9523
WWW.SCSWIDERSKI.COM



PROJECT
20-036 SUNSET ESTATES

MODEL
HUNTINGTON 8 UNIT (C2)

TITLE
FRONT ELEVATION

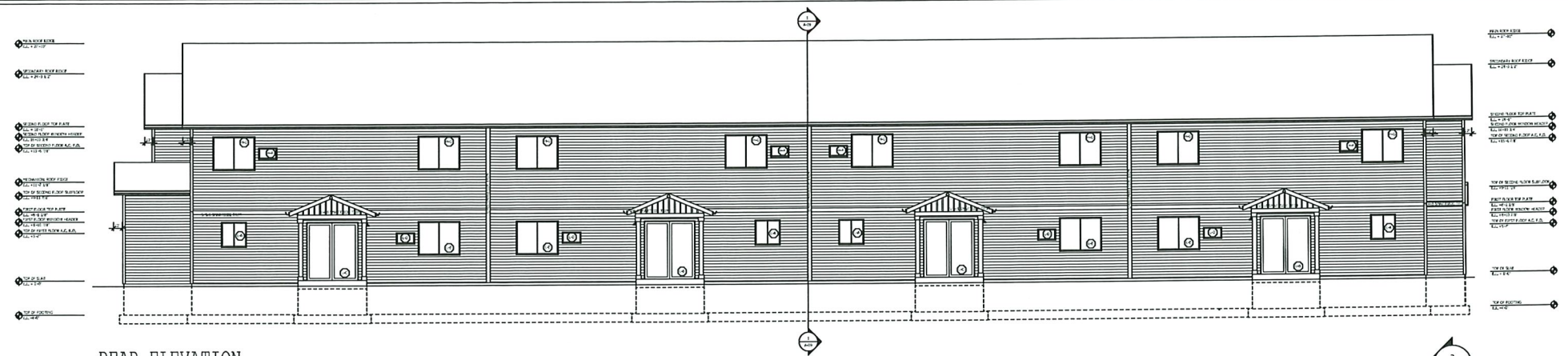
DATE
03/24/2021

DRAWN BY
CDV

SCALE
AS SHOWN

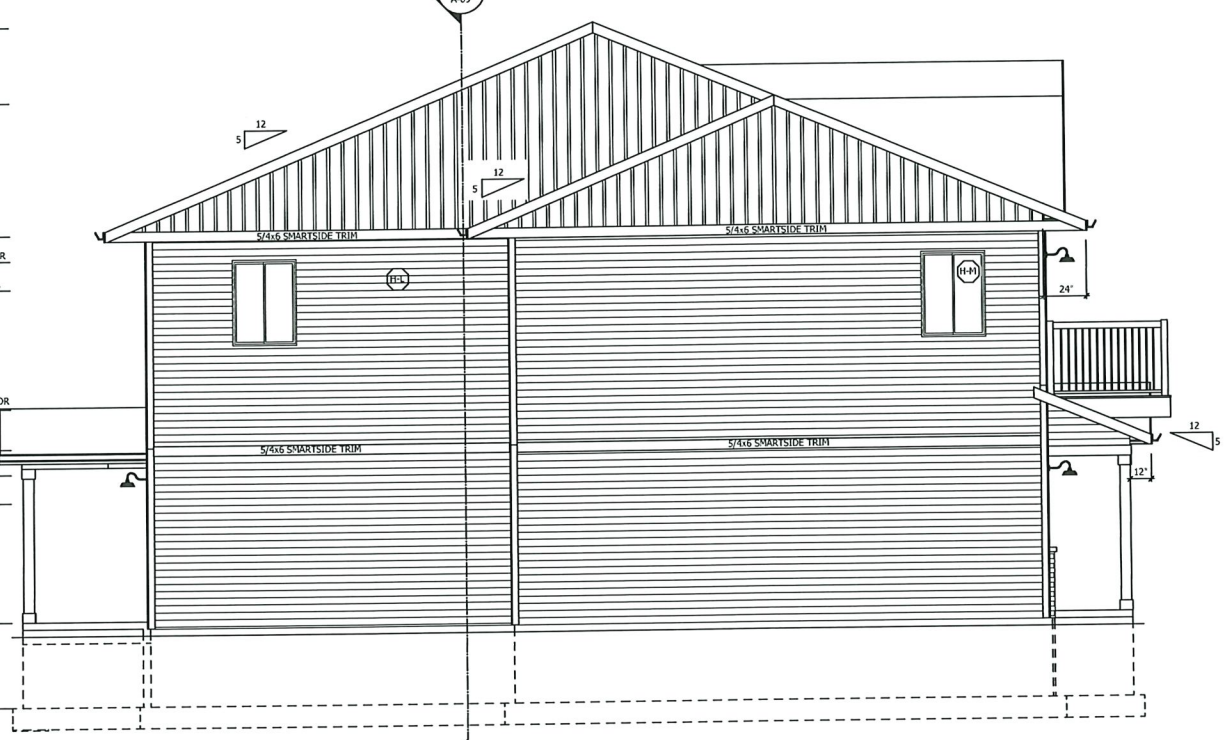
SHEET NO.
A-02

1.02



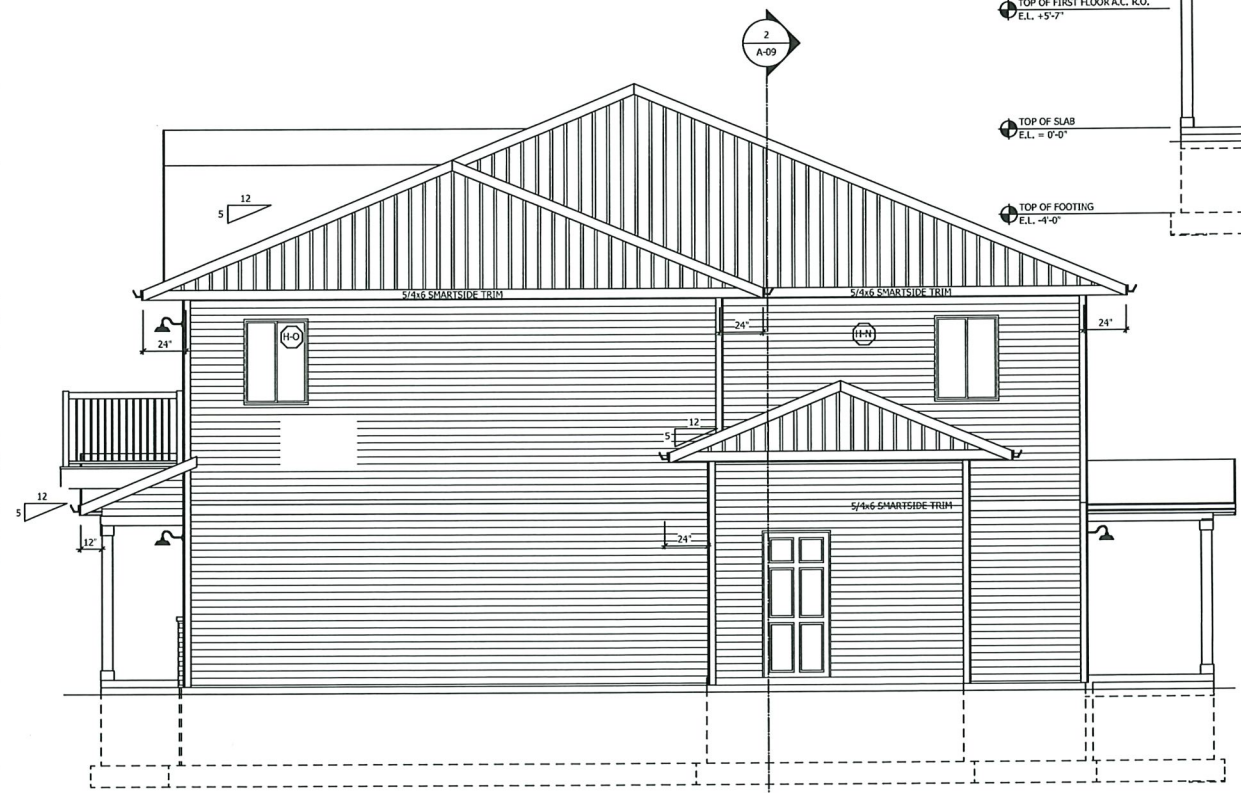
REAR ELEVATION
SCALE: 1/8" = 1'-0"

- MAIN ROOF RIDGE
E.L. + 27'-10"
- SECONDARY ROOF RIDGE
E.L. + 24'-3 1/2"
- SECOND FLOOR TOP PLATE
E.L. + 18'-1"
- SECOND FLOOR WINDOW HEADER
E.L. + 16'-10 3/4"
- TOP OF SECOND FLOOR A.C. R.O.
E.L. + 15'-6 7/8"
- TOP OF SECOND FLOOR SUBFLOOR
E.L. + 9'-11 7/8"
- FIRST FLOOR TOP PLATE
E.L. + 8'-1 1/8"
- FIRST FLOOR WINDOW HEADER
E.L. + 6'-10 7/8"
- TOP OF FIRST FLOOR A.C. R.O.
E.L. + 5'-7"
- TOP OF SLAB
E.L. = 0'-0"
- TOP OF FOOTING
E.L. - 4'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- MAIN ROOF RIDGE
E.L. + 27'-10"
- SECONDARY ROOF RIDGE
E.L. + 24'-3 1/2"
- SECOND FLOOR TOP PLATE
E.L. + 18'-1"
- SECOND FLOOR WINDOW HEADER
E.L. + 16'-10 3/4"
- TOP OF SECOND FLOOR A.C. R.O.
E.L. + 15'-6 7/8"
- MECHANICAL ROOF RIDGE
E.L. + 11'-7 1/8"
- TOP OF SECOND FLOOR SUBFLOOR
E.L. + 9'-11 7/8"
- FIRST FLOOR TOP PLATE
E.L. + 8'-1 1/8"
- FIRST FLOOR WINDOW HEADER
E.L. + 6'-10 7/8"
- TOP OF FIRST FLOOR A.C. R.O.
E.L. + 5'-7"
- TOP OF SLAB
E.L. = 0'-0"
- TOP OF FOOTING
E.L. - 4'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

A-02
2.02
ELEVATIONS
SCALE: AS SHOWN

REVISIONS	DATE	DESIGNER	STATE REGION	REMARKS
1	12/09/2020	DK	OK	STATE REGION
2	01/05/2021	CDV	OK	FINAL CONSTRUCTION

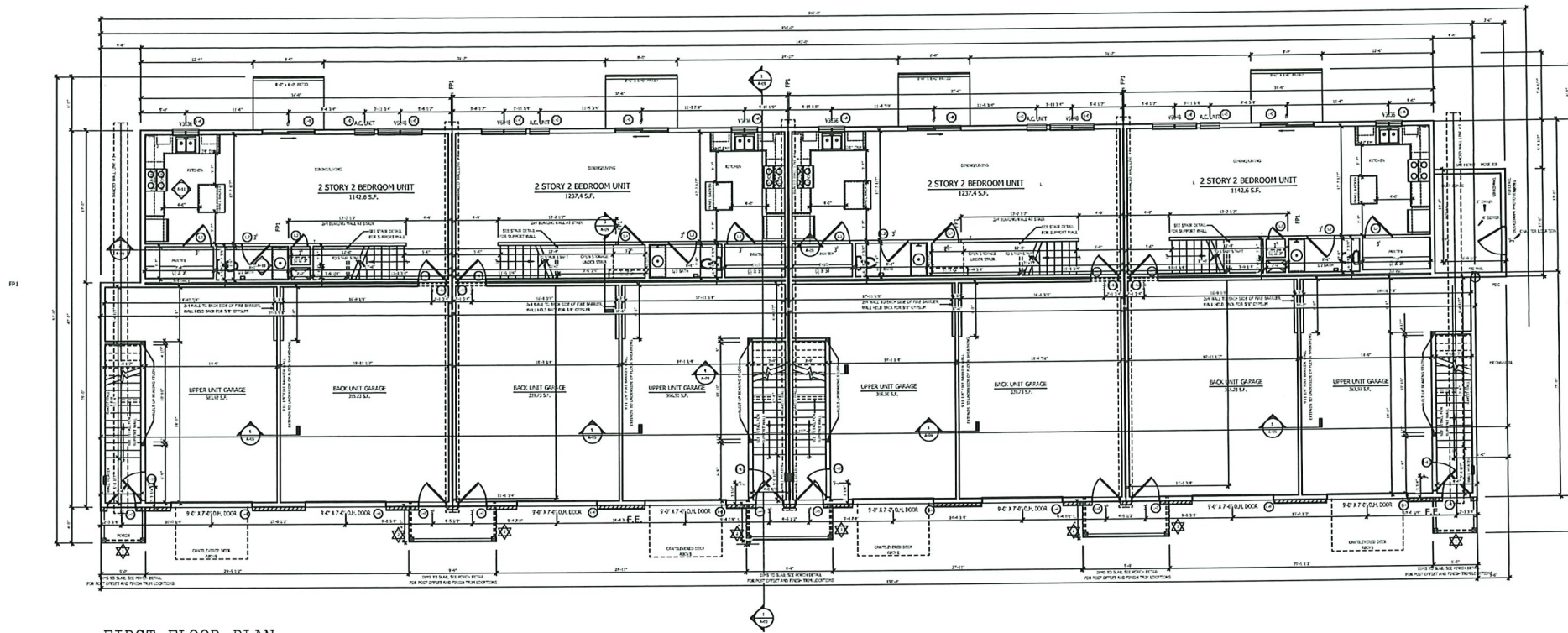
401 RANGER STREET
HOUSTON, TX 77055
PHONE: 281.883.8573
FAX: 281.883.8573
WWW.SCSWIDERSKI.COM

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PROJECT	20-036 SUNSET ESTATES
MODEL	HUNTINGTON 8 UNIT (C2)
TITLE	ELEVATIONS

DATE	03/24/2021
DRAWN BY	CDV
SCALE	AS SHOWN

SHEET NO.	A-02
	2.02



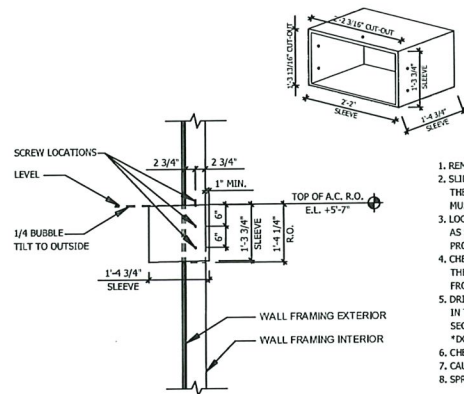
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

1. SEE HEADER SCHEDULE FOR MINIMUM BEARING REQUIREMENTS.
2. 8'-1 1/8" WALL HEIGHT, UNLESS NOTED OTHERWISE.
3. 82 7/8" HEADER HEIGHT, UNLESS NOTED OTHERWISE.
4. HOUSE-TO-GARAGE WALLS, MECHANICAL ROOM WALLS REQUIRE 5/8" TYPE-X SHEATHING.
5. INTERIOR STAIR WALL TO BE 2X6 FRAME AT GARAGE WALL.
6. GARAGE CEILING 2 LAYERS 5/8" TYPE X SHEATHING.
7. SILL SEALER TO BE INSTALLED AT EXTERIOR WALLS.

PLAN NOTES:

1. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION
2. ALL EXTERIOR STUDS SHALL BE 2x6, UNLESS NOTED OTHERWISE.
3. ALL INTERIOR STUDS SHALL BE 2x4, UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE FRAMING-TO-FRAMING, UNLESS NOTED OTHERWISE.
5. SMOKE DETECTION REQUIRED PER FIRE CODE. CARBON MONOXIDE DETECTION REQUIRED IF COMBUSTION APPLIANCES ARE PROVIDED. CONTRACTOR TO COORDINATE WITH NFPA R19 SYSTEM.
6. PROVIDE UNIT WATER SHUT-OFF IN PANTRY CLOSET @ TWO STORY UNIT.
PROVIDE UNIT WATER SHUT-OFF IN LAUNDRY/BATHROOM AT UNITS ABOVE GARAGES.

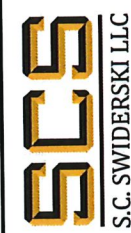


AC SLEEVE DETAIL
SCALE: 1/2" = 1'-0"

A-05
1.05
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

1	12'0" x 12'0" R.O.	1
2	12'0" x 12'0" R.O.	1
3	12'0" x 12'0" R.O.	1

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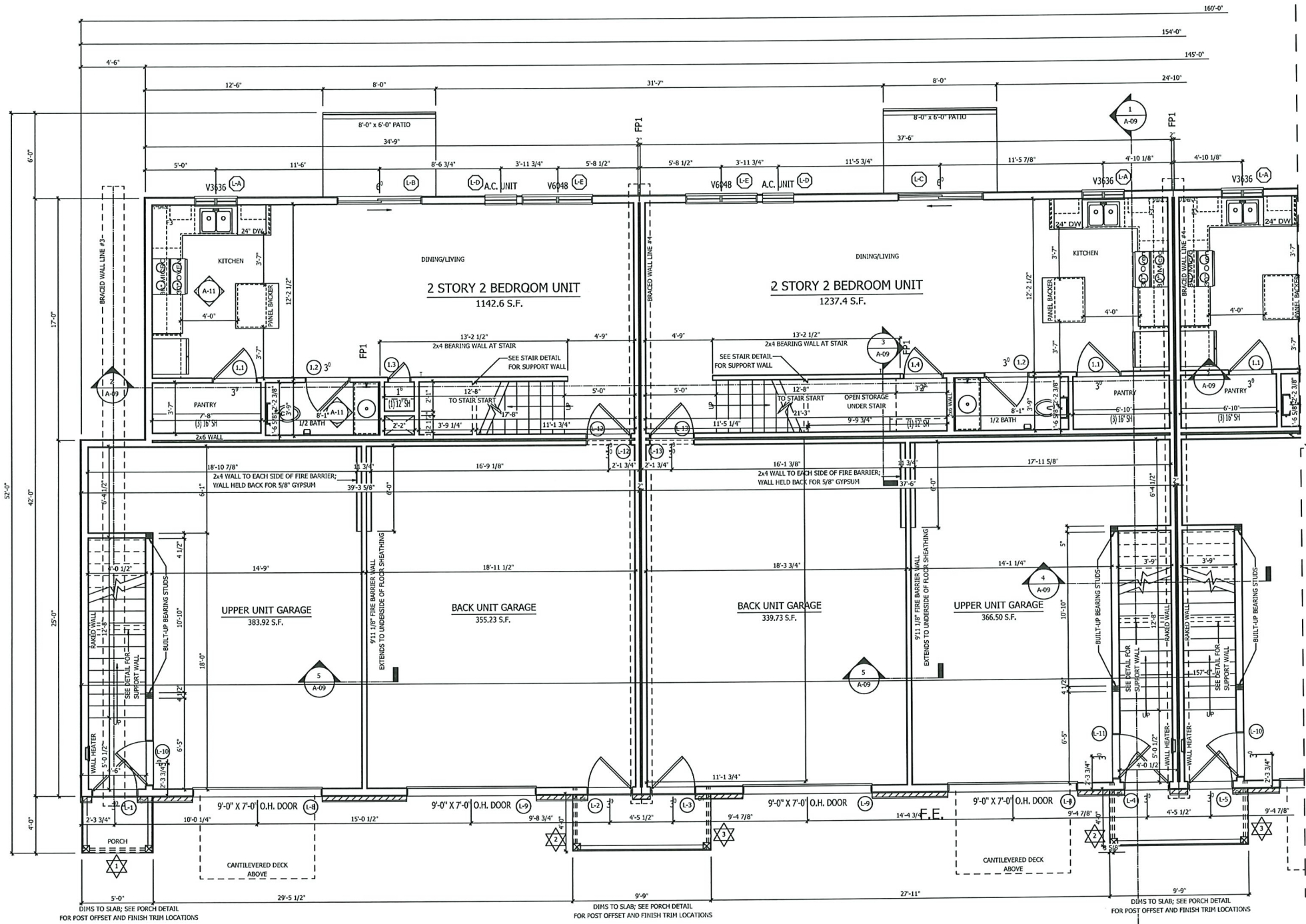


PROJECT 20-036_SUNSET ESTATES
MODEL HUNTINGTON 8 UNIT (C2)
TITLE FIRST FLOOR PLAN

DATE 03/24/2021
DRAWN BY CDV
SCALE 1/8"=1'-0"

SHEET NO.
A-05
1.05

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FIRST FLOOR UNIT PLAN

SCALE: 1/4" = 1'-0"

SEE FIRST FLOOR PLAN FOR PLAN/KEY NOTES

A-05
2.05

FIRST FLOOR UNIT PLAN

SCALE: 1/2"=1'-0"

REV	DATE	DESIGNER	REMARKS
1	12/09/2020	DK	STATE REVISION
2	01/05/2021	CDV	FINAL CONSTRUCTION
3	03/16/2021	CDV	1ST FLOOR HALF BATH TOILETS SINK

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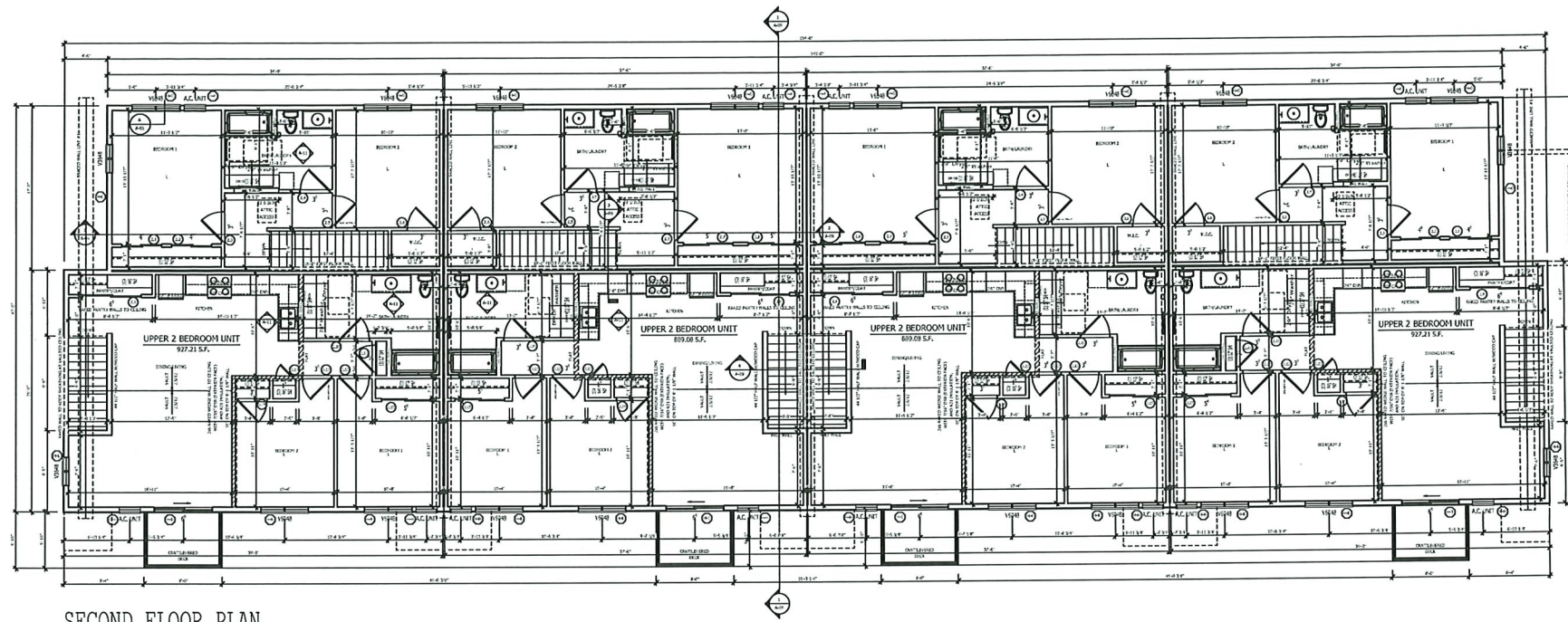


PROJECT	20-036_SUNSET ESTATES
MODEL	HUNTINGTON 8 UNIT (C2)
TITLE	FIRST FLOOR UNIT PLAN

DATE	03/24/2021
DRAWN BY	CDV
SCALE	1/2"=1'-0"

SHEET NO.	A-05
	2.05

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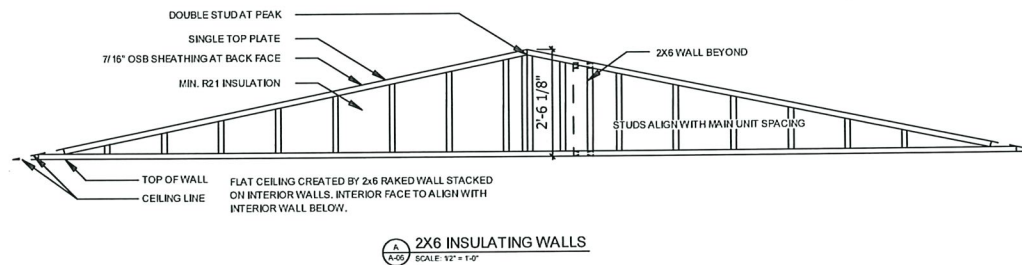
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

1. SEE HEADER SCHEDULE FOR MINIMUM BEARING REQUIREMENTS.
2. 8'-1 1/8" WALL HEIGHT, UNLESS NOTED OTHERWISE.
3. 82 7/8" HEADER HEIGHT, UNLESS NOTED OTHERWISE.
4. HOUSE-TO-GARAGE WALLS, MECHANICAL ROOM WALLS & CEILINGS REQUIRE 5/8" TYPE-X SHEATHING.
5. INTERIOR STAIR WALL TO BE 2X6 FRAME AT GARAGE.

PLAN NOTES:

1. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION
2. ALL EXTERIOR STUDS SHALL BE 2x6, UNLESS NOTED OTHERWISE.
3. ALL INTERIOR STUDS SHALL BE 2x4, UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE FRAMING-TO-FRAMING, UNLESS NOTED OTHERWISE.
5. SMOKE DETECTION REQUIRED PER FIRE CODE. CARBON MONOXIDE DETECTION REQUIRED IF COMBUSTION APPLIANCES ARE PROVIDED. CONTRACTOR TO COORDINATE WITH NFPA R19 SYSTEM.
6. ALL FIRST FLOOR UNITS TO BE TYPE "B" UNITS; EXCEPTION OF TYPE "A" UNIT IF REQUIRED. *SEE SHEET A-01, 4.01 DWELLING AND ADA PLAN*
7. ATTIC SHALL BE SUBDIVIDED INTO AREAS NO GREATER THAN 3000 SQ. FT. OR EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER (SEE NOTES ON ROOF PLAN). 7/16" O.S.B. INSTALLED ON ENTIRE FACE OF TRUSS AS DRAFTSTOP.
8. PROVIDE UNIT WATER SHUT-OFF IN PANTRY CLOSET @ TWO STORY UNIT. PROVIDE UNIT WATER SHUT-OFF IN LAUNDRY/BATHROOM AT UNITS ABOVE GARAGES.



A-06
1.06

SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

REV	DATE	DESIGNER	REMARKS
—	12/07/2020	DK	STATE REVISION
—	01/05/2021	CDV	FINAL CONSTRUCTION
—	03/24/2021	CDV	CONSTRUCTION BULLETIN #3

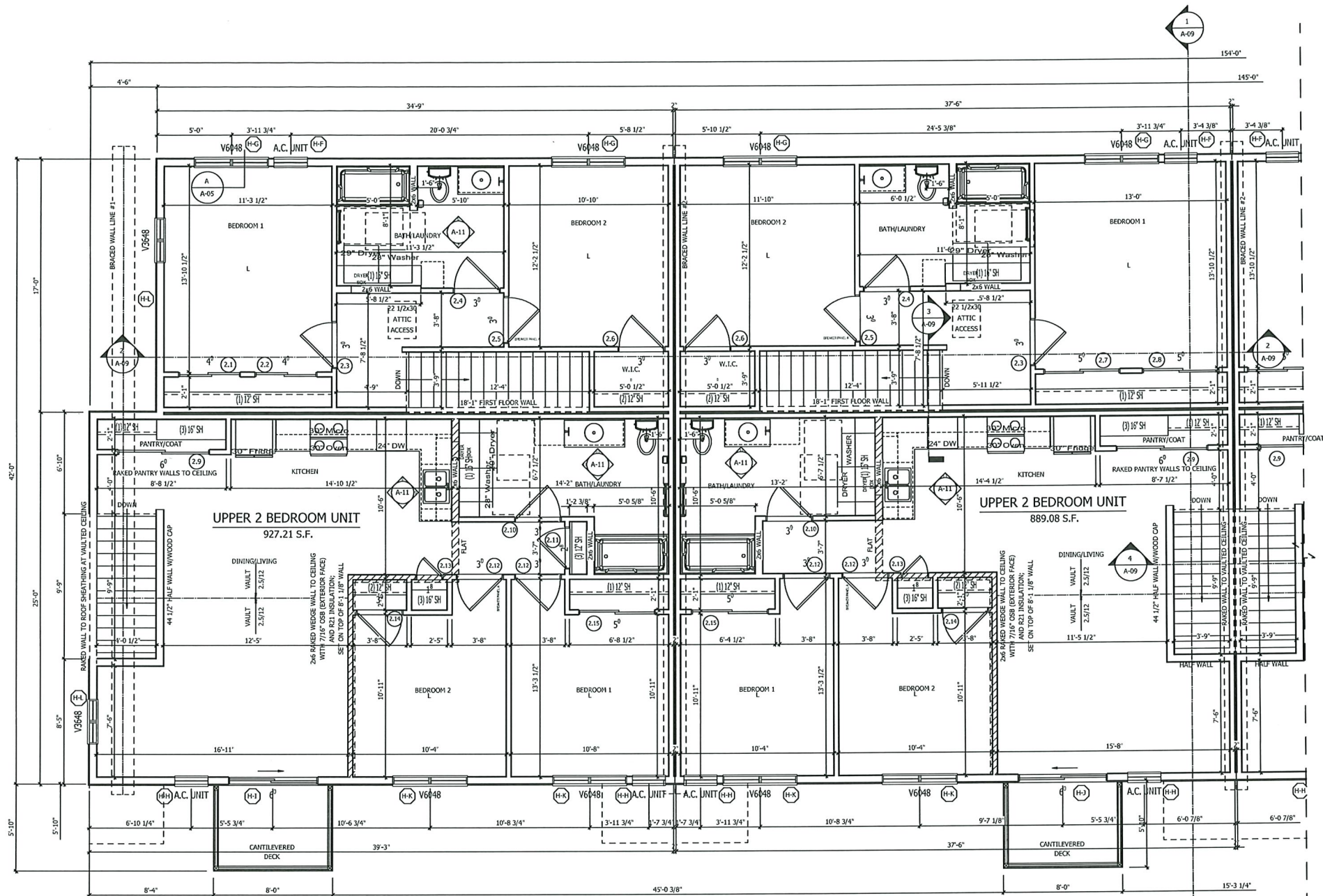
401 RANGER STREET
PO BOX 1000
HUNTINGTON, WV 25641
TEL: 715.693.9523
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S.C. SWIDERSKI LLC

PROJECT	20-036_SUNSET ESTATES
MODEL	HUNTINGTON 8 UNIT (C2)
TITLE	SECOND FLOOR PLAN

DATE	03/24/2021
DRAWN BY	CDV
SCALE	1/8"=1'-0"

SHEET NO.	A-06
	1.06



SECOND FLOOR UNIT PLAN

SCALE: 1/4" = 1'-0"

SEE SECOND FLOOR PLAN FOR PLAN/KEY NOTES

A-06
2.06

2ND FLOOR UNIT PLAN

SCALE: 1/4"=1'-0"

View_Sheets/res-d-06.02-2fp-unit.vsp

401 RANGERS STREET
HUNTINGTON, WY 84005
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FAX: 715.693.9523
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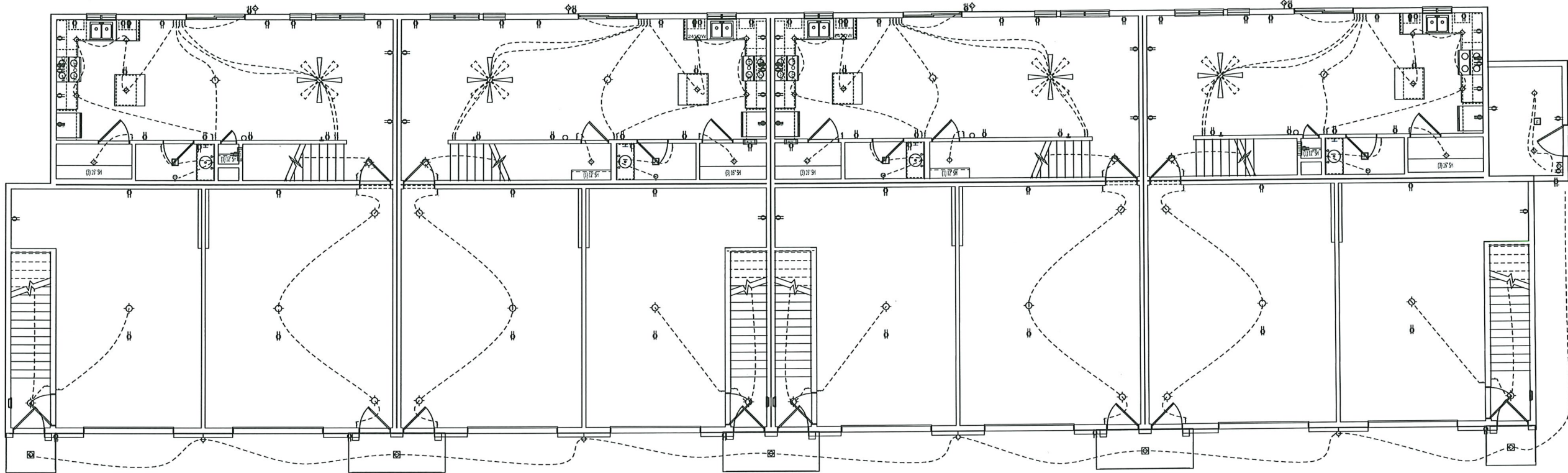
PROJECT 20-036 SUNSET ESTATES
MODEL HUNTINGTON 8 UNIT (C2)
TITLE 2ND FLOOR UNIT PLAN

DATE 03/24/2021
DRAWN BY CDV
SCALE 1/4"=1'-0"

SHEET NO.
A-06
2.06

KEY	DATE	DESIGNER	REMARKS
1	12/09/2020	DK	STATE REVISION
2	03/05/2021	CDV	FINAL CONSTRUCTION

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FIRST FLOOR ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

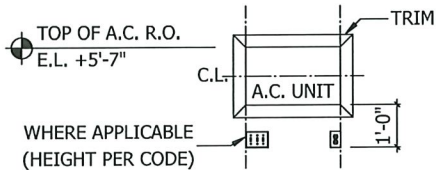
PLAN NOTES

1. ELECTRICAL CONTRACTOR TO VERIFY CURRENT CODE COMPLIANCE PRIOR TO INSTALLATION. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES.
2. ALL MECHANICAL ROOMS AND BATHROOMS TO BE EQUIPED WITH EXHAUST FAN AND HUMIDISTAT.
3. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNERWRITERS LABORATORY (UL) LABEL.
4. GFCI RECEPTABLES TO BE INSTALLED AS REQUIRED BY CODE.
5. SMOKE AND CARBON MONOXIDE DETECTORS TO BE INSTALLED AS REQUIRED BY CODE.
6. PROVIDE DOOR CHIME AT ALL UNIT ENTRANCES.
7. EXTERIOR LIGHTS TO BE WIRED TO UNIT METER AND PHOTO SENSOR.
8. TOP OF WALL SWITCHES 48" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
9. TOP OF RECEPTABLES 18" (STANDARD) AND 48" (COUNTERTOP) ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
10. TOP OF THERMOSTAT MOUNTED 60" (42" TYPE 'A' UNITS) ABOVE FINISHED FLOOR.
11. 3-M FIRE BARRIER CP-25 CAULK AND 303 PUTTY SYNTHETIC ELASTOMERS (UL RATED) TO BE USED WHERE WIRES PASS THROUGH FIRE WALLS, FLOORS AND CEILINGS.
12. CABLE/INTERNET PROVIDER TO INSTALL FLUSH MOUNT WIFI ROUTER AS REQUIRED PER UNIT SIZE.

SEE PROJECT SPECIFICATIONS FOR ADDITIONAL DETAILS

ELECTRICAL KEY

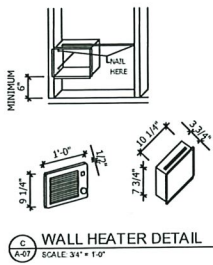
SINGLE POLE SWITCH	HUMIDISTAT	CEILING FIXTURE (2 BULB FLUSH MOUNT)
THREE WAY SWITCH	TELEVISION/CABLE	WALL MOUNT FIXTURE
FOUR WAY SWITCH	SERVICE PANEL	EXTERIOR LIGHT
DUPLEX OUTLET	BREAKER PANEL	FLUORESCENT FIXTURE
WEATHER PROOF OUTLET	EXHAUST FAN	EXTERIOR LED LIGHT/TV PHOTO SENSOR
220V OUTLET	EXHAUST FAN W/LIGHT	LED DISK LIGHT
CHIMES	3-LIGHT VANITY	WIRE FOR PADDLE FAN W/ LIGHT KIT
THERMOSTAT		



WHERE APPLICABLE
(HEIGHT PER CODE)

ALIGN EDGE OF PLATE WITH
EDGE OF A.C. UNIT R.O.
**LOCATION DETERMINED BY
LIGHT SWITCH PLACEMENT.**

OUTLET LOCATION AT A.C.
SCALE: 1/2" = 1'-0"



BROWN 174 WALL HEATER
1. REMOVE THE RETAINING SCREW, UNPLUG WIRING HARNESS AND LIFT HEATER ASSEMBLY FROM HOUSING.
2. SLIDE THE WIRING COVER OUT OF HOUSING.
3. CHOOSE WHICH SIDE OF HOUSING WILL BE MOUNTED DIRECTLY TO A WALL STUD. THEN, INSERT A MOUNTING BRACKET, FROM THE OPPOSITE SIDE, INTO THE CHANNEL AT THE TOP OF HOUSING.
NOTE: LOCATE HOUSING AT LEAST 6" FROM THE FLOOR AND ANY ADJACENT WALLS.
4. USE MEASURING GUIDE ON SIDE OF HOUSING TO POSITION HOUSING SO THAT IT WILL BE FLUSH WITH FINISHED WALL. DRIVE TWO (2) NAILS THROUGH THE HOLES IN SIDE OF HOUSING AND INTO STUD.
5. EXTEND MOUNTING BRACKET (SECURE THE TWO (2) MOUNTING BRACKETS TOGETHER IF NEEDED), LEVEL HOUSING, AND NAIL TO OTHER STUD.
FINISH INSTALLATION PER MANUFACTURER SPECS

FIRST FLOOR ELECTRICAL PLAN

SCALE: 3/16"=1'-0"

A-07
1.07

REVISION	DATE	DESIGNER	STATE REGION
1	12/09/2020	DK	FINAL CONSTRUCTION
2	01/05/2021	CDV	

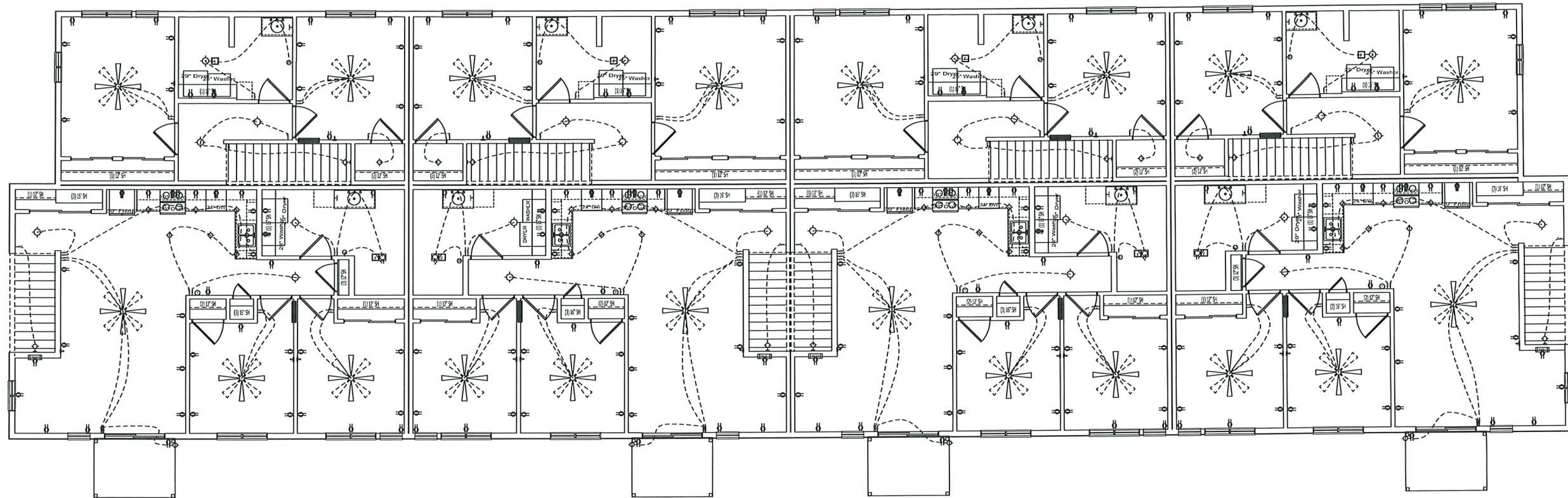
401 RANGER STREET
MORRIS, NJ 08855
PH: 715.693.9522
FAX: 715.693.9523
WWW.SCSWIDERSKI.COM

SCS
S.C. SWIDERSKI LLC

PROJECT	20-036 SUNSET ESTATES
MODEL	HUNTINGTON 8 UNIT (C2)
TITLE	FIRST FLOOR ELECTRICAL PLAN

DATE	03/24/2021
DRAWN BY	CDV
SCALE	3/16"=1'-0"

SHEET NO.	A-07
	1.07



SECOND FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

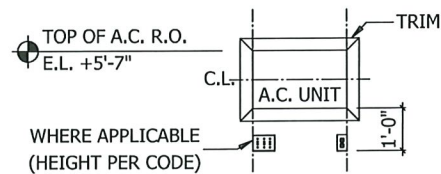
PLAN NOTES

- ELECTRICAL CONTRACTOR TO VERIFY CURRENT CODE COMPLIANCE PRIOR TO INSTALLATION. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES.
 - ALL MECHANICAL ROOMS AND BATHROOMS TO BE EQUIPED WITH EXHAUST FAN AND HUMIDISTAT.
 - ALL ELECTRICAL PRODUCTS MUST BEAR THE UNERWRITERS LABORATORY (UL) LABEL.
 - GFCI RECEPTABLES TO BE INSTALLED AS REQUIRED BY CODE.
 - SMOKE AND CARBON MONOXIDE DETECTORS TO BE INSTALLED AS REQUIRED BY CODE.
 - PROVIDE DOOR CHIME AT ALL UNIT ENTRANCES.
 - EXTERIOR LIGHTS TO BE WIRED TO UNIT METER AND PHOTO SENSOR.
 - TOP OF WALL SWITCHES 48" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
 - TOP OF RECEPTABLES 18" (STANDARD) AND 48" (COUNTERTOP) ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
 - TOP OF THERMOSTAT MOUNTED 60" (42" TYPE 'A' UNITS) ABOVE FINISHED FLOOR.
 - 3-M FIRE BARRIER CP-25 CAULK AND 303 PUTTY SYNTHETIC ELASTOMERS (UL RATED) TO BE USED WHERE WIRES PASS THROUGH FIRE WALLS, FLOORS AND CEILINGS.
 - CABLE/INTERNET PROVIDER TO INSTALL FLUSH MOUNT WIFI ROUTER AS REQUIRED PER UNIT SIZE.
- **SEE PROJECT SPECIFICATIONS FOR ADDITIONAL DETAILS**

ELECTRICAL KEY

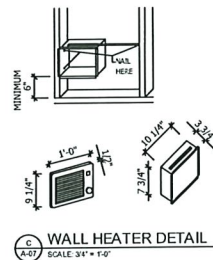
— SINGLE POLE SWITCH	— HUMIDISTAT	— CEILING FIXTURE (2 BULB FLUSH MOUNT)	— WIRE FOR PADLOCK FAN W/ LIGHT KIT
— THREE WAY SWITCH	— TELEVISION/CABLE	— WALL MOUNT FIXTURE	
— FOUR WAY SWITCH	— SERVICE PANEL	— EXTERIOR LIGHT	
— DUPLEX OUTLET	— BREAKER PANEL	— FLUORESCENT FIXTURE	
— WEATHER PROOF OUTLET	— EXHAUST FAN	— EXTERIOR LED LIGHT (W/ PHOTO SENSOR)	
— 220V OUTLET	— EXHAUST FAN W/LIGHT	— LED DISK LIGHT	
— CHIMES	— THERMOSTAT	— UNDER CABINET FIXTURE	
		— 3-LIGHT VANITY	

WALL SCONCE 48" ABOVE FINISHED 2ND FLOOR (SEE BUILDING SECTION)



ALIGN EDGE OF PLATE WITH
EDGE OF A.C. UNIT R.O.
**LOCATION DETERMINED BY
LIGHT SWITCH PLACEMENT.**

OUTLET LOCATION AT A.C.
SCALE: 1/2" = 1'-0"



BROWN 174 WALL HEATER
1. REMOVE THE RETAINING SCREW, UNPLUG WIRING HARNESS AND LIFT HEATER ASSEMBLY FROM HOUSING.
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FINISH INSTALLATION PER MANUFACTURER SPECS

A-07
2.07

SECOND FLOOR ELECTRICAL PLAN

SCALE: 3/16"=1'-0"

REV	DATE	DESIGNER	REMARKS
—	12/09/2020	DK	STATE REVISION
—	01/05/2021	CDV	FINAL CONSTRUCTION

401 RANGERS STREET
HUNTINGTON, NY 14465
PH: 715.683.9522
FAX: 715.683.9523
WWW.SCSWIDERSKI.COM

SCS
S.C. SWIDERSKI LLC

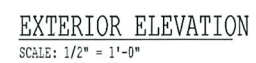
PROJECT: 20-036 SUNSET ESTATES
MODEL: HUNTINGTON 8 UNIT (C2)
TITLE: SECOND FLOOR ELECTRICAL PLAN

DATE: 03/24/2021
DRAWN BY: CDV
SCALE: 3/16"=1'-0"

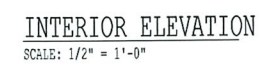
SHEET NO.
A-07
2.07



SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

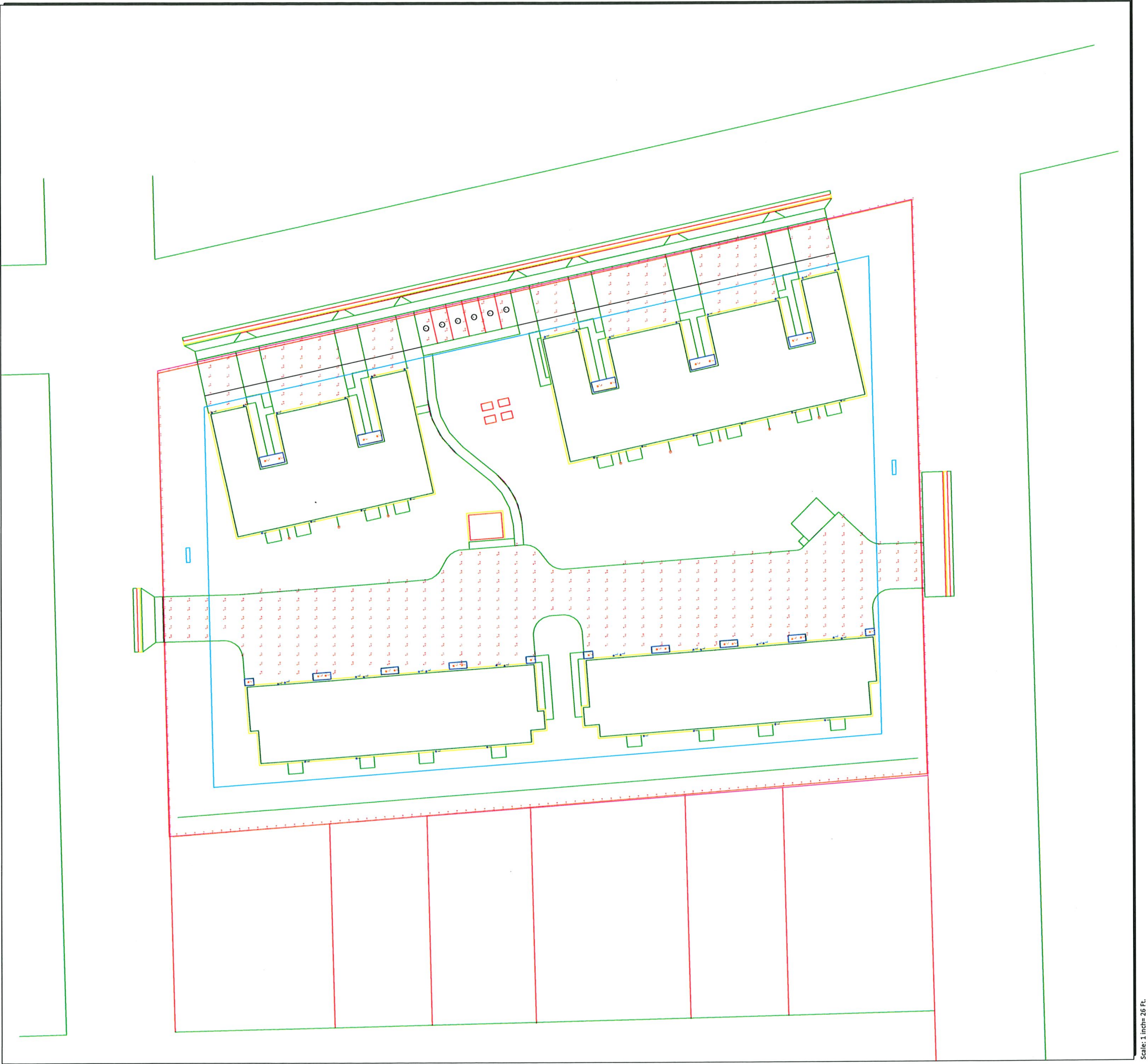
SCALE: 1/2"=1'-0"

L1.4



L1.4

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Scale: 1 inch= 26 Ft.

Luminaire Schedule				
Symbol	Qty	Label	Description	Lum. Watts
	48	L	60W INCANDESCENT WALL LANTERN	60
	26	C	SURFACE MOUNT DISC LIGHT	31

Calculation Summary			
Label	CalcType	Units	Avg
CIRCULATION	Illuminance	Fc	0.00
CIRCULATION CALCS	Illuminance	Fc	1.04
CIRCULATION CALCS_2	Illuminance	Fc	0.20
PROPERTY LINE	Illuminance	Fc	0.00

To request the Project Quotation for these materials or to place the order, please contact:
Sales@LightingDesignSolutions.com or call us at 1-888-357-7070

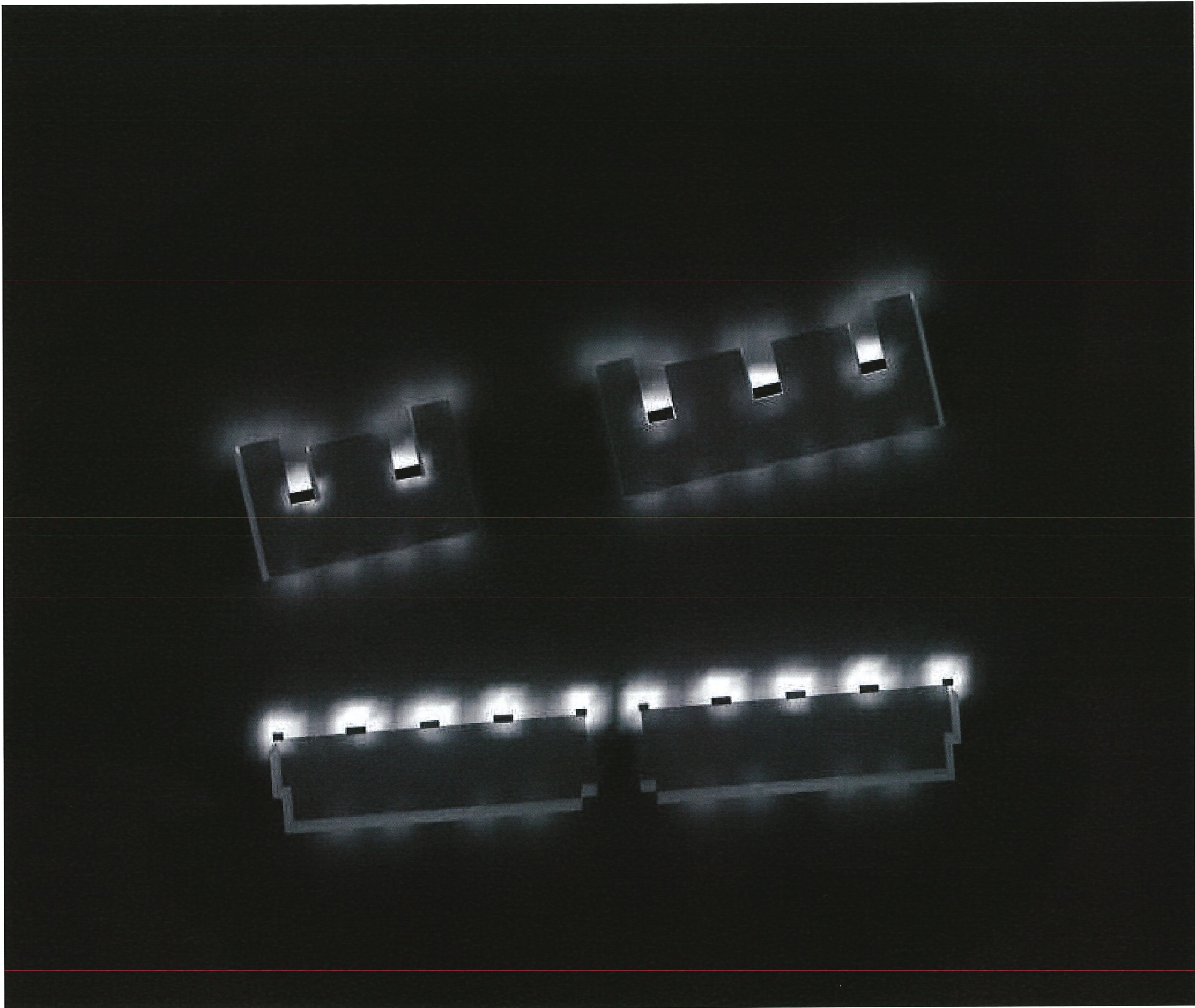
These plans, schedules, calculations, and lighting concepts are the property of Lighting Design Solutions (LDS) and are not to be shared, reproduced, viewed, or used in any manner without the explicit written permission of LDS. All luminaires and accessories purchased for this project are to be supplied by LDS unless other arrangements that include additional reimbursement for design costs are codified in a pre-approved written agreement with LDS.

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Lighting performance and energy calculations are based on photometric data provided by the specified manufacturers, expected site finishes, anticipated energy costs, current rebate programs, and the projected operational use of the facility. Lighting Design Solutions, Inc. accepts no responsibility for variances resulting from inaccurate or changed data files, drawings, reflectance values, or rebate programs, and guarantees no alternate funding or rebate payment.



PROJECT INFORMATION:		DRAWN BY: A. THOMER	REVIEWED BY: A. THOMER	REV	DESCRIPTION	DATE
SCS SUNSET ESTATES		CONTRACTOR:	APPROVED BY: D. DRUMEL			
STURGEON BAY, WI						
Page 1 of 2		DATE: 01/31/2022				
Lighting Design Solutions, Inc. (Schofield & Milwaukee)						
		P.O. Box 375		N78W14573 Appleton Ave #101		
		Schofield, WI 54476		Menomonee Falls, WI 53051		
		1.888.357.7070 Office		Design@LightingDesignSolutions.com		
		715.693.2594 Fax		www.LightingDesignSolutions.com		



To request the Project Quotation for these materials or to place the order, please contact:
Sales@LightingDesignSolutions.com or call us at 1-888-357-7070

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SQL | **Lighting** Design Solutions

[illegible]

Executive Summary
Planned Unit Development – Cherry Point Investments
February 9, 2022

Proposal: Doreen Phillips representing Cherry Point Investments is petitioning the City to approve a Planned Unit Development to construct a 70-unit multi-family complex (or 68-units with the alternative development plan). The subject site includes two properties: 1048 Egg Harbor Road, which was recently agreed by the City to sell to the developer and 1116 Egg Harbor Rd except for the front portion. The project would include five 12-unit buildings and either a 10-unit building or two 4-unit buildings.

The City has worked with this developer on two other approvals including the Maritime Heights Townhouses located on the former Amity Field and most recently additional townhomes on the former parking area for Sunset School. Their intent is to replicate that building design on this new site.

PUD Process: A Planned Unit Development (PUD) is a special type of overlay zoning which allows the creation of an ordinance using one of the general zoning districts as a baseline. The PUD ordinance can have specific requirements that fit the needs of the City and the proposed development. This developer was approved by the Plan Commission to use the combined preliminary / final review process which is a faster timeline and requires a more developed project plan. Following a presentation by the developer, the public hearing is held. The Commission makes a recommendation at the next meeting. However, a recommendation can also be made at the same meeting as the public hearing if all members agree to act.

Existing Conditions: 1048 Egg Harbor Rd is a long narrow commercially zoned (C-1) lot which is approximately (1.137 acres). There are no improvements on the lot but plenty of existing vegetation. The original house was demolished by the city last year. 1116 Egg Harbor Rd was formerly owned by the Peil family and includes a single-family dwelling and two accessory buildings off the Egg Harbor Rd frontage. The remainder of the property is undeveloped. The site is approximately (7.338 acres). This site has three zoning classifications including 1/3 General Commercial along the Egg Harbor Rd frontage, 1/3 Multiple-Residential (R-4) in the center, and 1/3 Single-Family Residential (R-1) in the back. The proposed development does not include the portion closest to the road, thus leaving the dwelling and one accessory building out of the proposed PUD.

The property to the west is zoned PUD and contains the Tall Pines Apartment Complex, except for a vacant parcel to the north of Tall Pines that is zoned R-1. To the east is General Commercial (C-1) including Packerland Chiropractor and Cherry Point Mall. To the south are several properties zoned Commercial including the former family video, Sure Store Storage facility and Virlee Gunworks. To the north are single family residences zoned R-1.

Comprehensive Zoning: The Future Land Use Map of the Sturgeon Bay Comprehensive plan designates this site for Planned Neighborhood.

Executive Summary
Planned Unit Development – Cherry Point Investments
February 9, 2022

The planned neighborhood future land use category is intended to provide for a variety of housing choices and a mix of non-residential uses such as parks, schools, religious institutions, and small-scale shopping and service areas. They are really a collection of different land use categories listed in this chapter. Planned neighborhoods should be carefully designed as an integrated, interconnected mix of these use categories. They are by no means intended to justify an “anything goes” land use pattern. Overall, the composition and pattern of development should promote neighborhoods that instill a sense of community with their design.

The planned neighborhood concept encourages a mix of medium density single family residential, multi-family residential, public and institutional, parks and open space, and neighborhood mixed use categories. Senior housing, assisted living, and Community-Based Residential Facilities (CBRF) are also appropriate for these areas. Maintaining a minimum percentage of single-family residential uses has the effect of dispersing higher density development throughout the community and limiting the concentration of any one type of development in any one area. Appropriate non-residential uses include neighborhood-oriented shopping opportunities, such as a small grocery store and convenience store, bakery, or pharmacy; personal services such as barber shop or dentist office; smaller employment opportunities (usually located on the edges of these neighborhoods); and small-scale religious institutions and educational facilities (usually elementary schools) for area residents. Large areas of planned neighborhood area mapped at the edge of the City.

The proposal conforms to the intended future use of the site as defined in the Comp Plan and planning goals of the City. Housing availability is a huge concern within our community and continues effect the attraction of skilled workers and new families in our area.

Site Plan and Design Considerations: The following is a summary of the major site and design categories:

Building Layout 1: The layout includes five 12-unit and one 10-unit two-story townhouse buildings in a row from south to north. The 10-unit is the northern most building on the site. The buildings face the interior of the property with 3 double-sided 24-unit garages located in between. This forms three “pods”.

Alternative Building Layout 1: In the alternative plan the developer proposes to change the 10-unit building into two 4-unit buildings. This would create a little more of a transition from multifamily to single family residential to the north (12th place).

Access: there will be two access points for the property. An 18-foot driveway will be installed along the west lot line connecting to Egg Harbor Rd. The developer will either connect to directly to Egg Harbor Rd through property they acquired from the City. Or, if an agreement can be made with the neighboring property owner (Tall Pine Estates), a new public street with cul-de-sac that would serve Cherry Pointe Investments LLC, Tall

Executive Summary
Planned Unit Development – Cherry Point Investments
February 9, 2022

Pine Estates, and the property at 1026 Egg Harbor Road would be created (as shown on the plan set).

The developer also intends to dedicate street right-of-way on the north end of the property allowing the City to connect North 12th Place to Alabama Place. The plan shows the main driveway would connect to that new street segment. The City is currently working on acquiring the adjoining property owned by the Dan Krueger which is the other missing piece to making this connection. The exact location of the right-of-way needs to be finalized. It might be beneficial to shift it southerly to create a buffer from the property to the north, if desired by the neighboring property owners.

Density: The zoning code requires multiple family development to not exceed 12.4 units per acre (3500 ft² per dwelling unit). The exact density of the development will depend on how much property is converted to street right-of-way. The current plan shows approximately a density of 10.6 units per acre (4100 ft² per dwelling unit).

Building Design: The developer is utilizing the same building design as used on the Maritime Heights development. This is a 2-story townhouse with a cantilevered second floor and a standard pitched roof. The exterior will have horizontal vinyl siding and a asphalt shingle roof. Each unit will have a separate entry with a covered porch. A utility room will be located on one end of the building. Due to the grade change from west to east the building will “staircase” by dropping one foot in elevation every four units, thereby breaking up the long roof lines and walls.

The garage buildings are intended to match the maritime heights development. In your packet is an example of the previous design. This includes double loaded garage stalls with an attached garbage enclosure on the west end of the building. The exterior of the building will match the townhouses. The roofs will be two tiered to break up the long roof line.

Mix of Units: The original building layout would have 12 three-bedroom units and 58 two-bedroom units. The alternative building layout would have 18 three-bedroom units and 50 two-bedroom units. As previously designed in the Maritime Heights project, the interior units would be the two-bedroom units and the end units are three-bedroom units with the exception of the 4-unit buildings which are all three-bedroom units.

Parking: Each townhouse building has a row of 18 - 19 outdoor parking stalls and a 12-unit row of garages in addition. They are proposing 114 outdoor spaces and 72 garage spaces (total 186 parking spaces). They are providing approximately 2.6 - 2.7 spaces per unit which more than meets the zoning codes off street parking requirements. In addition, they show the potential to add additional spaces the east of the garage buildings if needed.

Pedestrian Access: There will be sidewalks between the parking areas and the townhouses. A sidewalk is also proposed along the west property line along the driveway.

Executive Summary
Planned Unit Development – Cherry Point Investments
February 9, 2022

If the cul-de-sac street is created, the City will want the sidewalk to extend around the cul-de-sac westerly to connect with the existing sidewalk.

Traffic: The City Engineer is not requiring a traffic study for this project. On the north end, the type of traffic controls will depend on the final design of the street. As currently shown, the proposed street connection would mainly produce more traffic from Bonnie view area and this residential development.

Utilities: Sewer and water would serve all the buildings from the existing main running along the east lot line. The sewer extension would be considered private facilities as currently designed. The developer will also need to work with SBU for the best means of providing electric service throughout the site. All SBU lines will require a 12-foot easement.

The City / SBU wants to eliminate the need for a lift station at the dead end of Alabama Place by extending sanitary sewer along with the street connection to 12th Place. Depending upon the depth of bedrock, it might be possible for an alternative location for their sanitary sewer that is more economical for all parties and allows for the lift station to be eliminated. SBU and City staff will investigate that possibility with the developer's engineer.

Stormwater Management: The preliminary plan shows bio retention ponds on the east end of each pod. Several roof drain infiltration areas are also shown on the back yards of each townhouse. Before final stormwater management designs are approved an analysis must be completed which analyzes the water flows from Alabama Street through this site. A final Stormwater Management Plan will get reviewed by the City Engineer.

Landscaping: The developer will match the same design and types of plants that were approved for the Maritime Heights project. This includes landscape areas between the sidewalks and front of buildings. This will be planted with a variety of shrubs as shown on the site plan. Similar landscape areas will be located on either end of the parking areas. In addition, the developer is required to plan 20 canopy trees around the parking area which is shown on the site plan. Street trees are shown every 50 ft on either side of the proposed street connection to the north. A final landscape plan will get reviewed by the Aesthetic Design and Site Plan Review board

Lighting: The design board guidelines identify that lighting fixtures should be night sky friendly and generally contained within the site. A photometric plan has been provided by the developer which illustrates 70 wall mounted LED fixtures to be installed on the homes and garages. Based on the plan, there doesn't appear to be any conflict. This will also require approval by the Aesthetic Design and Site Plan Review Board

Signage: In general, wall signs and ground signs are allowed on this site. No signage plans have been provided and has no bearing on the ability to approve this project. Prior to any construction of new signage on this site, a sign permit is required and approval of a certificate of appropriateness from the Aesthetic Design and Site Plan Review board.

Executive Summary
Planned Unit Development – Cherry Point Investments
February 9, 2022

Fiscal Impact: The developer is required to pay a park and playground fee in the amount of 300.00 per residential unit created totaling 21,000.00. In addition, if TID #6 is created, then the tax revenue generated from the site would contribute to several public improvements planned within the area. The developer is not requesting financial assistance for construction, but if TID #6 is created, it is expected that public street improvements would be covered through the TID.

PUD Review Criteria: The Plan Commission and Council must consider whether the development is consistent with the spirit and intent of the City's ordinance, has been prepared with competent professional guidance, and produces benefits to the city compared to conventional development. In addition, there are specific criteria listed in the zoning code.

Recommendation: Staff recommends to approve the Combined Preliminary / Final PUD for Cherry Point Investments, LLC subject to the following conditions:

1. Completion of a Waterflow Analysis from Alabama Street throughout this site followed by approval of a final stormwater management plan.
2. Dedication of the necessary public right-of-way to complete the Alabama PI / 12th Place road connection, with exact location/dimension as determined by the City.
3. If the west half of the proposed cul-de-sac is dedicated by Tall Pines Estates, the developer must dedicate the necessary right-of-way, as determined by the City, for the construction of street stub / cul-de-sac off of Egg Harbor Rd.
4. Providing the necessary easements for Sturgeon Bay Utilities for any public sanitary sewer or water mains, and electrical services.
5. Approval of final project designs by the Aesthetic Design and Site Plan Review Board.
6. Approval of a Certified Survey Map for the required property division.

Prepared by:


Christopher Sullivan-Robinson
City Planner/Zoning Administrator

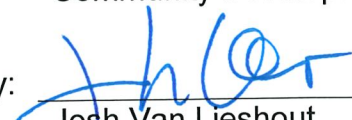
2/11/22
Date

Prepared by:


Marty Olejniczak
Community Development Director

Date

Reviewed by:


Josh Van Lieshout
City Administrator

2/11/22
Date

CITY OF STURGEON BAY PLANNED UNIT DEVELOPMENT APPLICATION

Date Received: _____
 Fee Paid \$ \$495 C220128 #4 om
 Received By: _____

Application For: Conceptual ☒ Preliminary _____ Final _____ Combined Preliminary/Final ☒
 Note: There are different requirements for each of the above processes. A separate application is required for each.

NAME OF PROPOSED PLANNED UNIT DEVELOPMENT: Cherry Point Investments

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	<u>Doreen A. Phillips</u>	<u>Fire Lane Rentals</u>
Company	<u>Cherry Point Investments LLC</u>	
Street Address	<u>1634 Rustic Oaks Ct.</u>	
City/State/Zip	<u>Green Bay WI 54301</u>	
Daytime Telephone No.	<u>920-621-2800</u>	
Fax No.		

STREET ADDRESS(es) OF SUBJECT PROPERTY: 1116 Egg Harbor Rd
 Location if not assigned a common address: Sturgeon Bay WI 54235

TAX PARCEL NUMBER(s): 2816210000108

AREA OF SUBJECT PROPERTY AND NO. OF LOTS: 7.3 Acres

CURRENT ZONING CLASSIFICATION: R-4 - Multiple Family

CURRENT USE AND IMPROVEMENTS: 1 home, 2 outside storage
buildings in front - vacant land
in the rear.

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: REGIONAL COMMERCIAL
PLANNED NEIGHBORHOOD

WOULD APPROVAL OF THE PROPOSED PLANNED UNIT DEVELOPMENT CONFORM WITH THE
 COMPREHENSIVE PLAN? Yes ☒ No _____ Explain: there are 64
units next door

PLEASE IDENTIFY SPECIFIC PROPOSED LAND USES. USES MUST IDENTIFY AND CORRESPOND TO A PARTICULAR LOT, LOCATION, BUILDING, ETC.

to construct
60 town house rental units see site plan
from Baudhain Engineering.

CURRENT USE AND ZONING OF ADJACENT SURROUNDING PROPERTIES:

North: Vacant Land zoned R-1

South: Commercial

East: Cherry Point Mall

West: Tall Pines 64 units apartments

COMPREHENSIVE PLAN DESIGNATION OF ADJACENT SURROUNDING LAND USES:

North: Vacant Land zoned R-1

South: Commercial

East: Cherry Point Mall

West: Tall Pines 64 units apartments - M-4

IS ANY VARIANCE FROM COMPREHENSIVE PLAN, SUBDIVISION ORDINANCE, OR ZONING ORDINANCE BEING REQUESTED? If yes, describe:


NO

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? IF YES, EXPLAIN:

N/A


Attach an 11" X 17" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 20 copies folded to 8-1/2" X 11"), full legal description (preferably on disk), location map with site boundaries marked, proof of ownership, and Agreement for Reimbursement of expenses. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.

Doreen A. Phillips
Property Owner (Print Name)


Signature

11-15-2021
Date

Doreen A. Phillips
Applicant/Agent (Print Name)


Signature

11-15-2021
Date

I, _____, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

Date of review meeting

Applicant Signature

Staff Signature

SITE PLAN

LOCATED IN:
THE NW 1/4 OF THE NE 1/4
OF SECTION 5,
TOWNSHIP 27 NORTH,
RANGE 26 EAST,
CITY OF STURGEON BAY,
DOOR COUNTY,
WISCONSIN



NORTH
1" = 150'



0 75 150 300
FEET

NOTE:

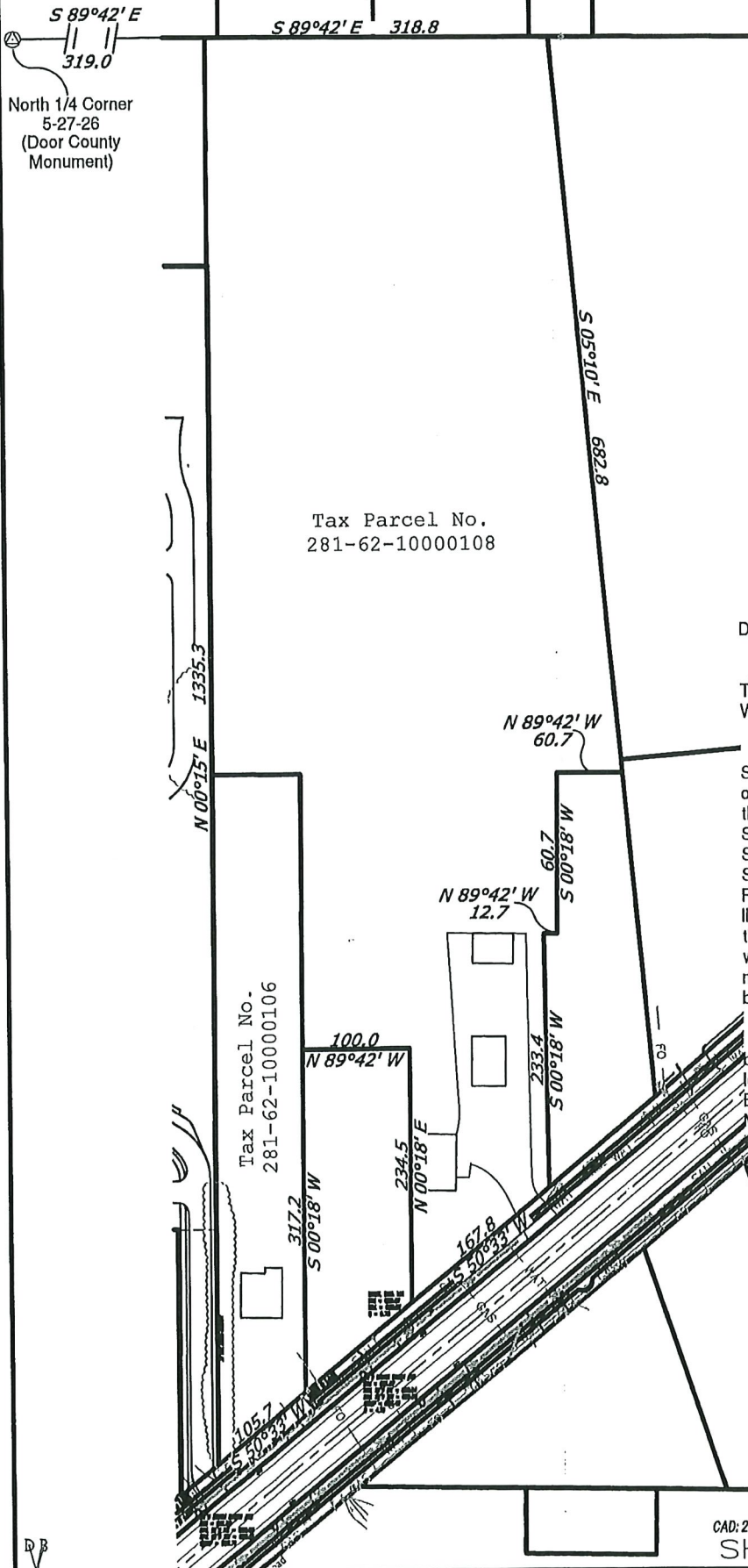
This document is NOT intended to be a Plat of Survey, nor should it be construed as such.

Description - Tax Parcel Numbers 281-62-10000106 & 281-62-10000108:

A parcel of land located in the NW 1/4 of the NE 1/4 of Section 5, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin. Bounded and described as follows:

Commencing at the North 1/4 of said Section 5-27-26; thence S. 89°42' E., 319.0 feet along the north line of the NW 1/4 of the NE 1/4 of said Section 5-27-26 to the point of beginning of lands to be described; thence continue S. 89°42' E., 318.8 feet along said north line; thence S. 05°10' E., 682.8 feet; thence N. 89°42' W., 60.7 feet; thence S. 00°18' W., 60.7 feet; thence N. 89°42' W., 12.7 feet; thence S. 00°18' W., 233.4 feet to the northerly right of way line of Egg Harbor Road; thence S. 50°33' W., 167.8 feet along said northerly right of way line; thence N. 00°18' E., 234.5 feet; thence N. 89°42' W., 100.0 feet; thence S. 00°18' W., 317.2 feet to the aforementioned northerly right of way line of Egg Harbor Road; thence S. 50°33' W., 105.7 feet along said northerly right of way line; thence N. 00°15' E., 1335.3 feet to the point of beginning.

Said parcel contains 369,100 square feet ±. The above description is based on a survey by Ralph S. Cook from August, 1960, and is NOT for legal purposes and is voided at which time Baudhuin Surveying and Engineering is retained to perform a Plat of Survey and a Certified Survey Map.

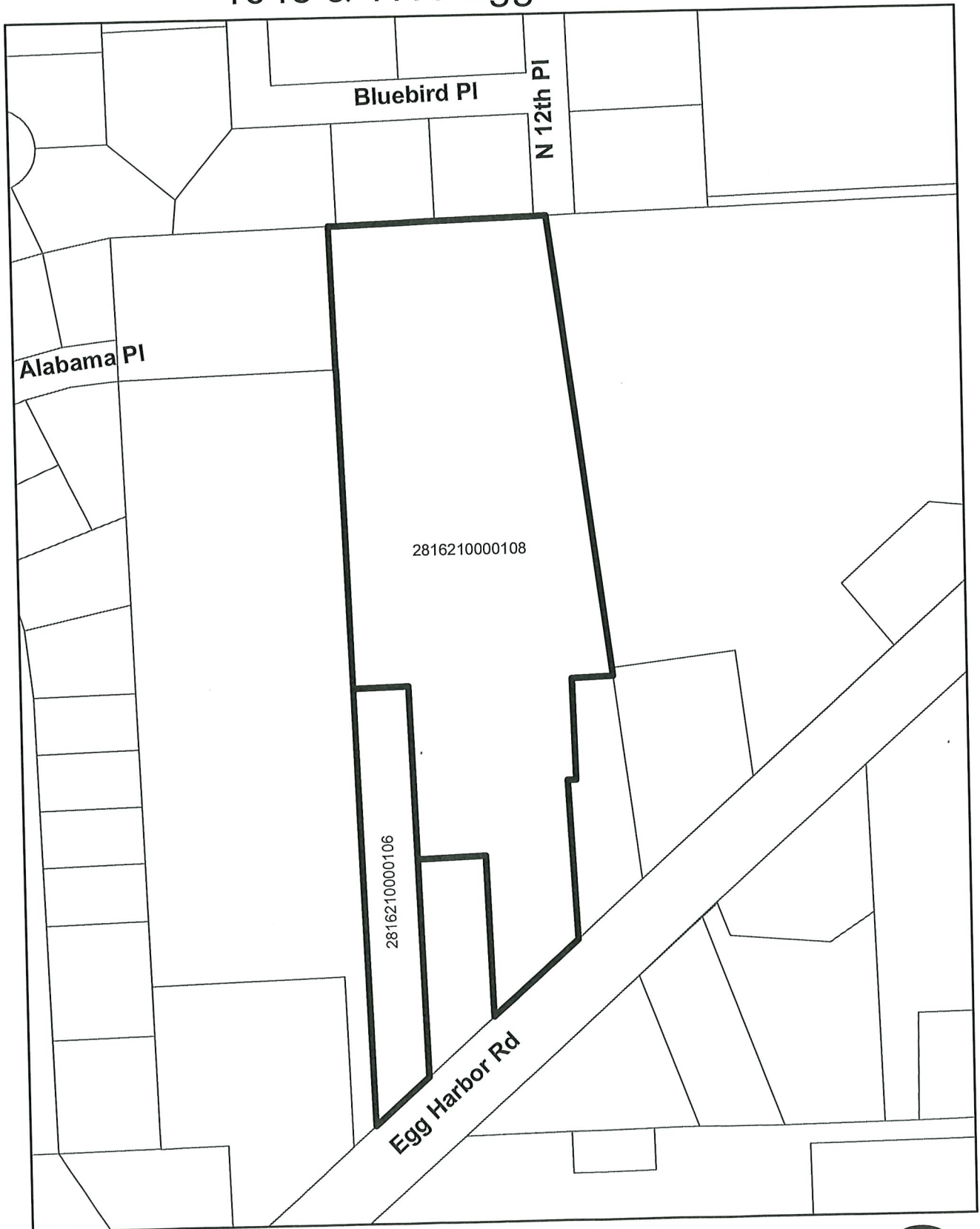


NOTICE OF PUBLIC HEARING

The City of Sturgeon Bay Plan Commission will hold a public hearing in the Council Chambers at Sturgeon Bay City Hall, 421 Michigan Street, Sturgeon Bay, Wisconsin on February 16, 2022 at 6:00 p.m. or shortly thereafter in regard to a Planned Unit Development (PUD) zoning request from Cherry Point Investments LLC for a 70-unit multiple family residential development. The proposal includes five 12-unit buildings and one 10-unit building along with detached garage. The subject site includes parcel #281-62-10000106 at 1048 Egg Harbor Rd and the vacant rear portion of parcel #281-62-10000108 at 1116 Egg Harbor Rd. The PUD application and related material is on file with the Community Development Department and can be viewed weekdays between 8:00 a.m. and 4:30 p.m., or through the City website at www.sturgeonbaywi.org. The general public is invited to give testimony in-person at the public hearing or in writing. Written testimony can be mailed to City Hall attention Community Development Department or emailed to the Planner / Zoning Administrator at csullivan-robinson@sturgeonbaywi.org.

By order of:
City of Sturgeon Bay Plan Commission

Location Map
PUD - 70 Unit Multifamily Development
1048 & 1116 Egg Harbor Rd



 Subject Property

NOTE: Public hearing to be held on February 16, 2022 @ 6:00pm or shortly thereafter.



Location Map

PUD - 70 Unit Multifamily Development

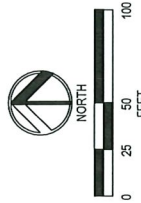
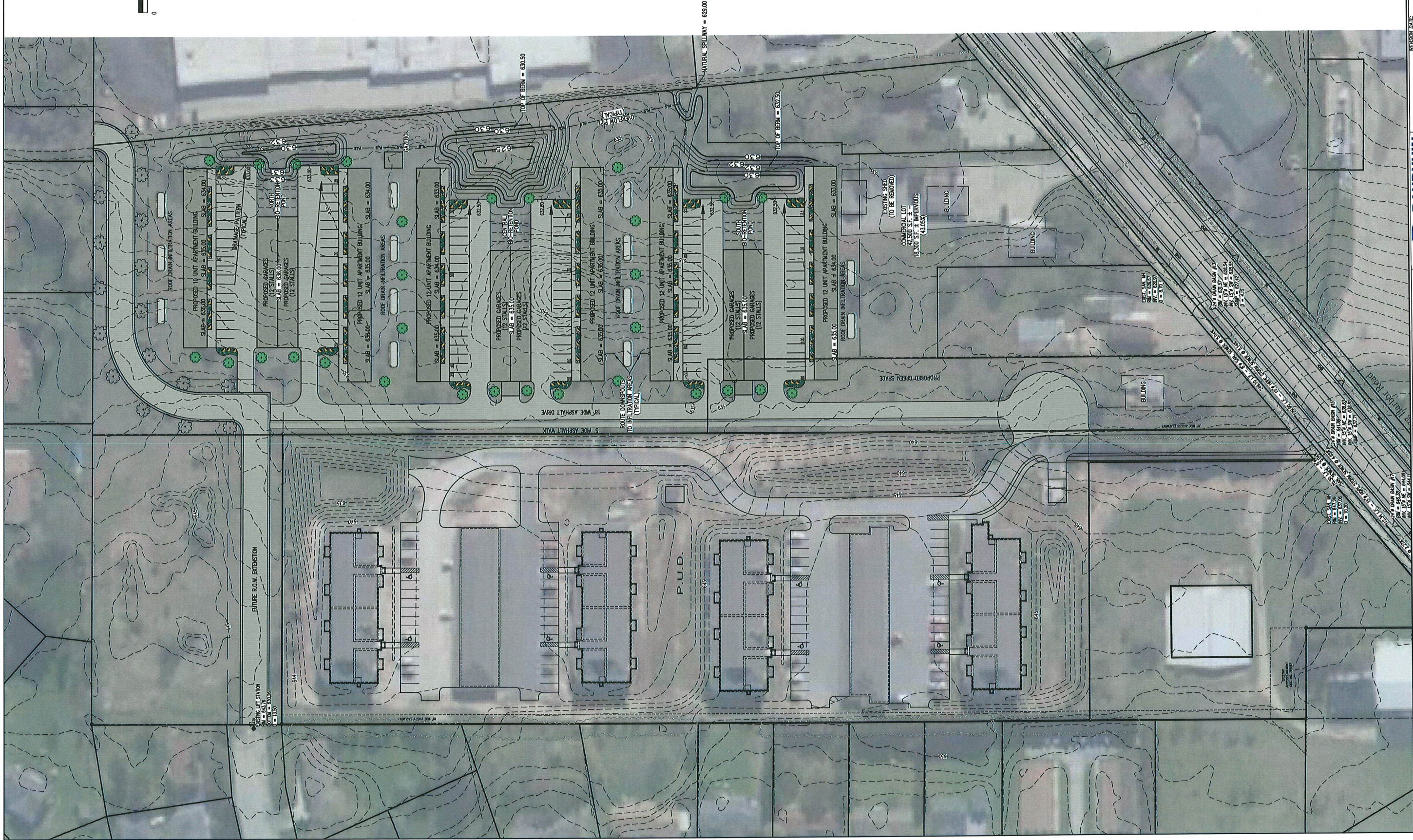
1048 & 1116 Egg Harbor Rd



Subject Property



NOTE: Public hearing to be held on February 16, 2022 @ 6:00pm or shortly thereafter.



PRELIMINARY
NOT FOR
CONSTRUCTION

C101

2

PROPOSED P.U.D. - STORMWATER PLAN

Fire Lane Rentals, LLC
1116 Egg Harbor Road
STURGEON BAY, WI 54235

BAUDHUIN

SURVEYING &
ENGINEERING

312 N. 5TH AVE.
P.O. BOX 105
STURGEON BAY, WI.
54235
PHONE: 920-743-8211

PERSON DATE

DESCRIPTION

DRAWN BY:

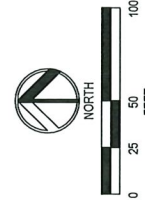
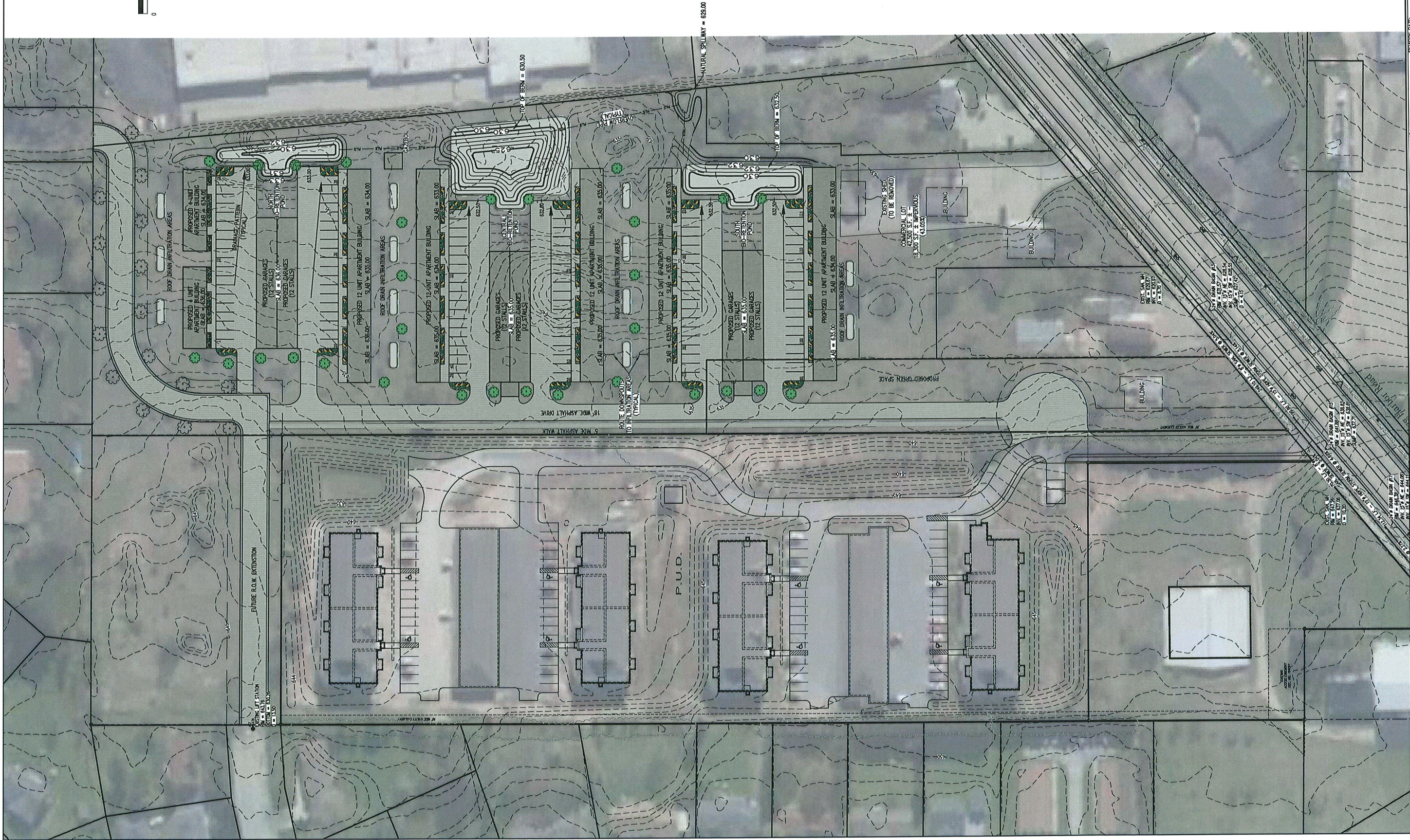
DESIGNED BY:

DATE:

1/28/22

APPROVED BY:

25/34



PRELIMINARY
NOT FOR
CONSTRUCTION

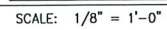
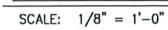
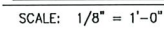
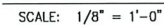
PROPOSED P.U.D. - ALTERNATE
STORMWATER PLAN

Fire Lane Rentals, LLC
1116 Egg Harbor Road
STURGEON BAY, WI 54235

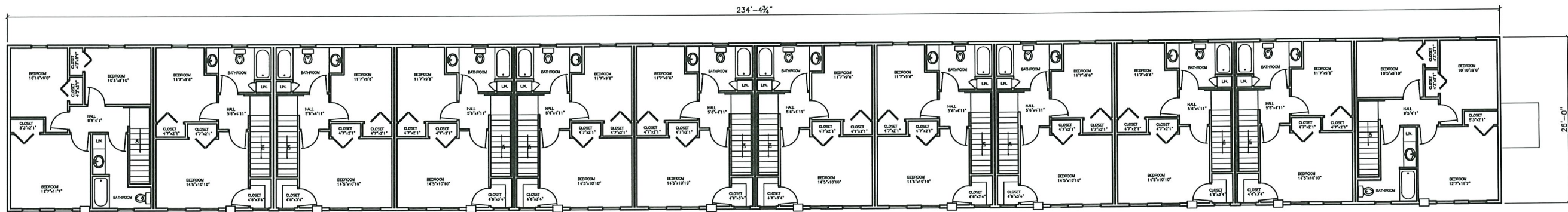


312 N. 5TH AVE.
P.O. BOX 105
STURGEON BAY, WI.
54235
PHONE: 920-743-8211

REVISION DATE	DESCRIPTION	DRAWN BY
		P.J.H.
		DATE:
		1/31/22
		JOB NO:
		25034

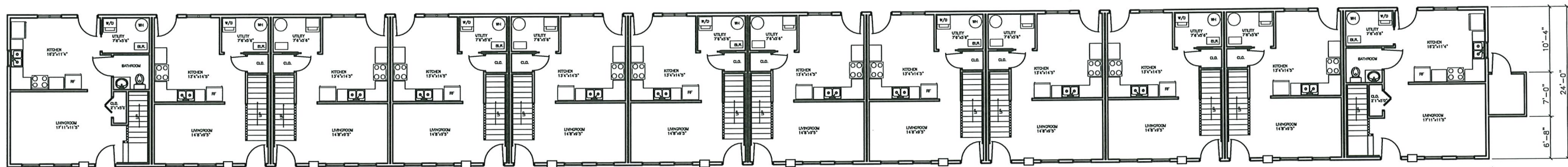


2



CONCEPTUAL SECOND FLOOR 12 UNIT

SCALE: 1/8" = 1'-0"



CONCEPTUAL FIRST FLOOR 12 UNIT

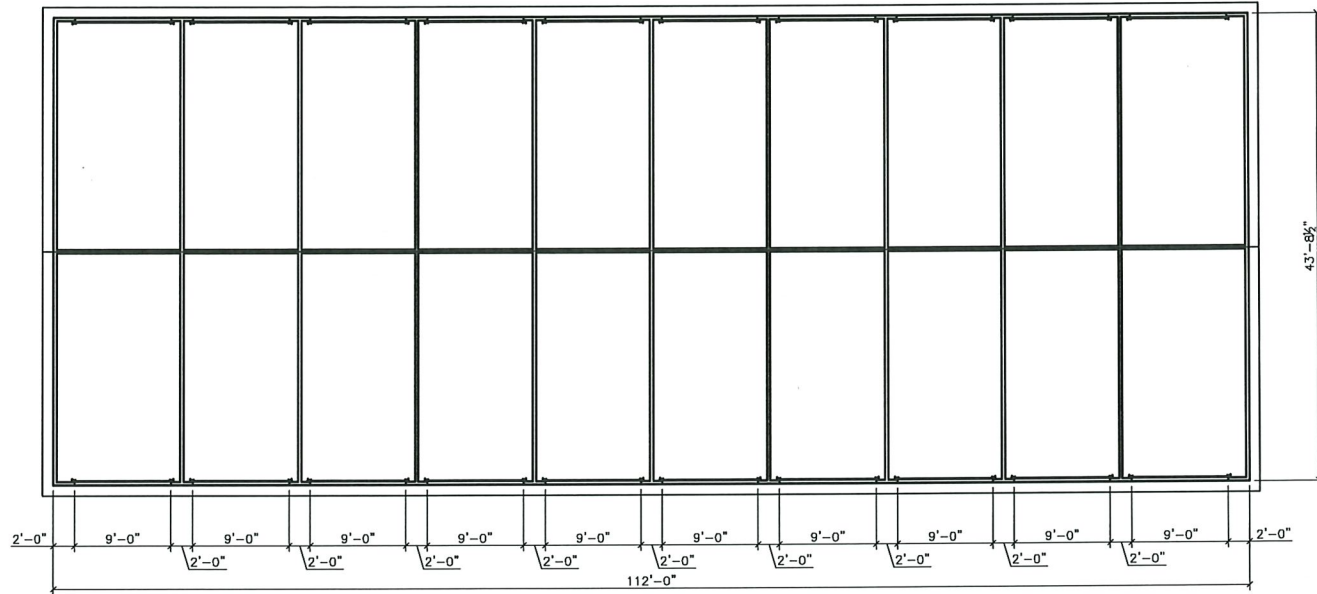
SCALE: 1/8" = 1'-0"

DATE: _____
 FILE: 3
 JOB: _____
 SHEET: 1

NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

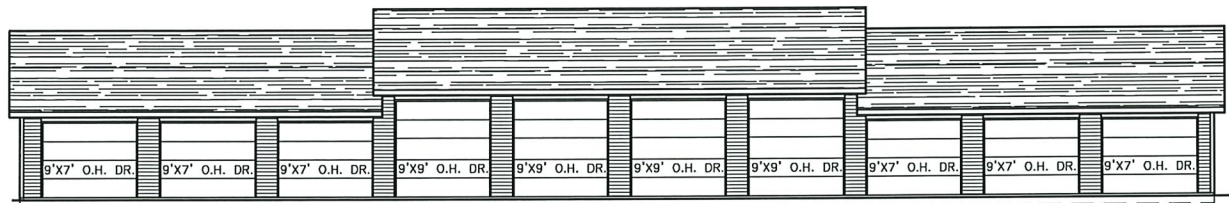
NEW 12 UNIT TOWNHOMES FOR:
 MARITIME HEIGHTS
 STURGEON BAY, WISCONSIN

LLOYD CARPENTER-ARCHITECT, LLC
 2663 MAPLE HILLS DRIVE, GREEN BAY, WI. 54313
 CELL (920) 655-3829
 CARPARCH@GMAIL.COM



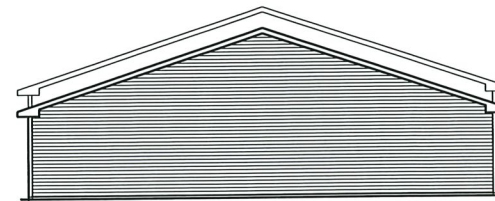
10 STALL CONCEPTUAL FLOOR PLAN

SCALE: 1/8" = 1'-0"



10 STALL CONCEPTUAL FRONT & BACK ELEVATION

SCALE: 1/8" = 1'-0"



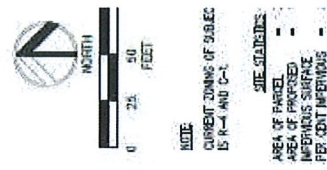
10 STALL CONCEPTUAL SIDE ELEVATION

SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE NO	REVISIONS	ISSUE DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

JOB NUMBER	2017013
DRAWN BY	GSH
ISSUE DATE	3/10/18
SHEET	4



NOTE:
CURRENT ZONING OF SUBJECT
IS R-1 AND C-1

SITE STANDARDS:
AREA OF PARCEL
AREA OF PROPOSED
IMPERVIOUS SURFACE
PERCENT IMPERVIOUS

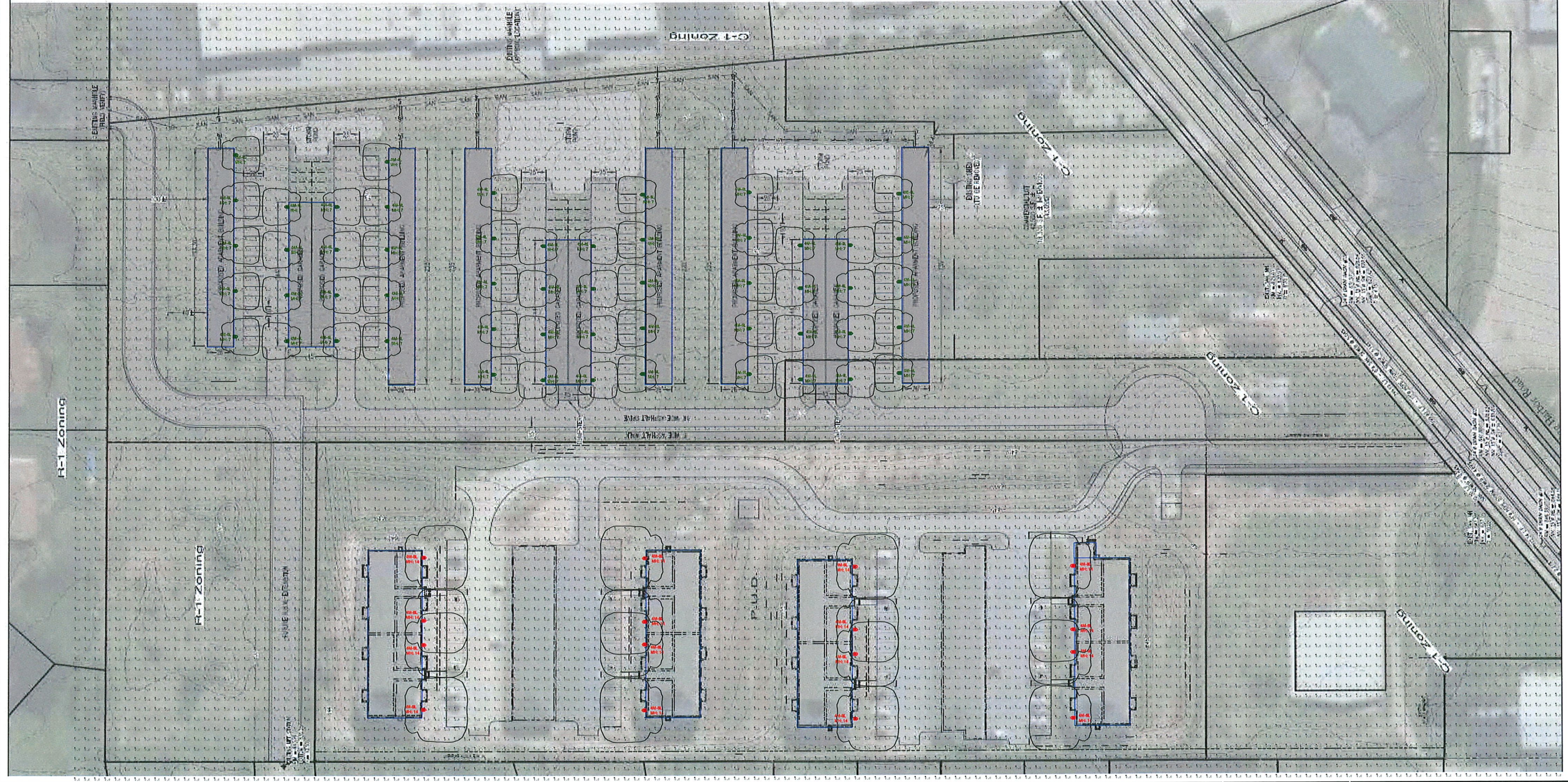
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	16	4M-8L	SINGLE	1.000	8475	77	XSPW-B-WM-4ME-8L-30K-UL_
	54	4M-4L	SINGLE	1.000	4270	33	XSPW-B-WM-4ME-4L-30K-UL_

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.34	14.1	0.0	N.A.	N.A.

*** Iso-Line Represents 0.5FC ***

Additional Equipment:

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



CREE LIGHTING

A COMPANY OF **IDEAL INDUSTRIES, INC.**

9201 Washington Ave, Racine, WI 53406 <https://creeighting.com> - (800) 236-6800

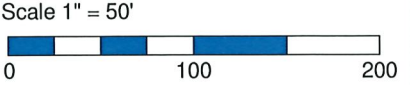
Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaires test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Cherry Point - 1116 Egg Harbor Road STURGEON BAY, WI - EXT

Case #: 00468221 || Footcandles calculated at grade || Filename: 211222CP1CJW.AGI

Layout By:
Collin Witherow

Date: 12/22/2021



XSP Series

XSPW™ LED Wall Mount Luminaire featuring Cree TrueWhite® Technology

Rev. Date: VersionB V5 12/13/2021

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

Applications: General area and security lighting

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the USA by Cree Lighting from US and imported parts

Initial Delivered Lumens: Up to 8,475

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

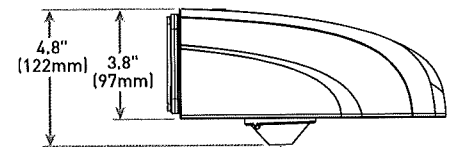
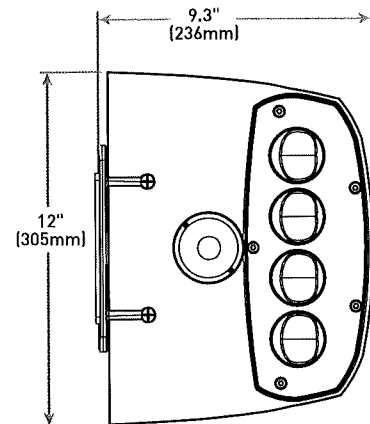
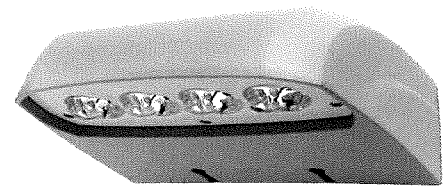
Limited Warranty†: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

† See <http://creeighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Beauty Plate WM-PLT12** - 12" (305mm) Square WM-PLT14** - 14" (356mm) Square - Covers holes left by incumbent wall packs	Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required
Synapse® SimplySnap 10V Interface DIM10-220F - 120V-277V - Requires other Synapse components to complete system - Refer to DIM10-220F spec sheet for details	

** Must specify color



Multi-Level Sensor location
(ordered as an option)

Lumen Package	Weight
2L, 4L, 6L	11.0 lbs. (5.0kg)
8L	11.8 lbs. (5.4kg)

Ordering Information

Example: XSPW-B-WM-2ME-2L-30K-UL-BK

XSPW	B	WM						
Product	Version	Mounting	Optic	Lumen Package*	CCT	Voltage	Color Options	Options
XSPW	B	WM Wall	2ME Type II Medium 3ME Type III Medium 4ME Type IV Medium	2L 2,490 lumens 4L 4,270 lumens 6L 6,100 lumens 8L 8,475 lumens	30K 3000K - 70 CRI 40K 4000K - 70 CRI 50K 5000K - 90 CRI 57K 5700K - 70 CRI	UL Universal 120-277V UH Universal 347-480V 34 347V - For use with P option only	BK Black BZ Bronze SV Silver WH White	ML Multi-Level - Refer to ML spec sheet for details - Available with UL voltage only P Button Photocell - Not available with ML or PML options - Available with UL and 34 voltages only PML Programmable Multi-Level - Refer to PML spec sheet for details - Available with UL voltage only

* Lumen Package selection codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values



CREE LIGHTING®

US: creeighting.com (800) 236-6800

Canada: creeighting-canada.com (800) 473-1234

XSPW™ LED Wall Mount Luminaire

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.


CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver
- Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and bronze are available
- **Weight:** 2L, 4L, 6L - 11.0 lbs. (5.0kg); 8L - 11.8 lbs. (5.4kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV/5kA surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- **10V Source Current:** 0.15 mA
- Refer to [Dimming spec sheet](#) for details
- **Operating Temperature Range:** -40°C - +50°C (-40°F - +122°F)

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Designed for downlight applications only
- Enclosure rated IP66 per IEC 60598
- ANSI C136.2 10kV/5kA surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information
- DLC and DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information
-  **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*									
Lumen Package	CCT/CRI	System Watts	Efficacy	Total Current (A)					
		120-480V		120V	208V	240V	277V	347V	480V
2L	30K/70 CRI	20	125	0.17	0.10	0.08	0.07	0.06	0.05
	40K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
	50K/90 CRI	24	104	0.20	0.11	0.10	0.08	0.07	0.05
	57K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
4L	30K/70 CRI	33	129	0.28	0.16	0.14	0.13	0.10	0.07
	40K/70 CRI	31	138	0.27	0.15	0.13	0.12	0.09	0.07
	50K/90 CRI	40	107	0.34	0.20	0.17	0.16	0.12	0.09
	57K/70 CRI	31	138	0.26	0.15	0.13	0.12	0.09	0.07
6L	30K/70 CRI	51	120	0.43	0.25	0.22	0.19	0.14	0.11
	40K/70 CRI	47	130	0.40	0.23	0.20	0.18	0.14	0.10
	50K/90 CRI	60	102	0.51	0.29	0.25	0.23	0.17	0.13
	57K/70 CRI	47	130	0.40	0.23	0.20	0.17	0.14	0.10
8L	30K/70 CRI	77	110	0.65	0.38	0.32	0.28	0.22	0.16
	40K/70 CRI	72	118	0.61	0.35	0.31	0.27	0.21	0.15
	50K/90 CRI	78	89	0.66	0.37	0.33	0.29	0.22	0.16
	57K/70 CRI	71	119	0.60	0.35	0.30	0.26	0.20	0.15

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

XSPW Series Ambient Adjusted Lumen Maintenance Factors¹					
Ambient	Initial LMF	25K hr Reported² LMF	50K hr Reported² LMF	75K hr Estimated³ LMF	100K hr Estimated³ LMF
5°C (41°F)	1.03	0.98	0.96	0.94	0.92
10°C (50°F)	1.03	0.98	0.96	0.94	0.92
15°C (59°F)	1.02	0.97	0.95	0.93	0.92
20°C (68°F)	1.01	0.96	0.95	0.93	0.91
25°C (77°F)	1.00	0.96	0.94	0.92	0.90
30°C (86°F)	0.99	0.95	0.93	0.91	0.89
35°C (95°F)	0.98	0.94	0.92	0.90	0.88
40°C (104°F)	0.97	0.93	0.91	0.89	0.87

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

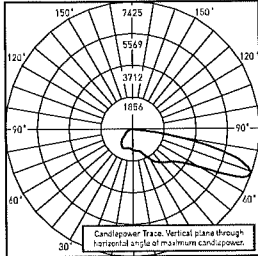
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

XSPW™ LED Wall Mount Luminaire

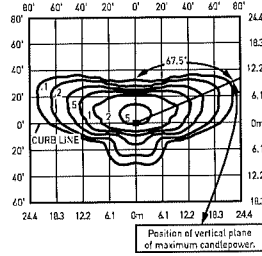
Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:
<http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall>

2ME



CESTL Test Report #: PL12798-001A
 XSPW-B-**-2ME-8L-40K-UL
 Initial Delivered Lumens: 8,622



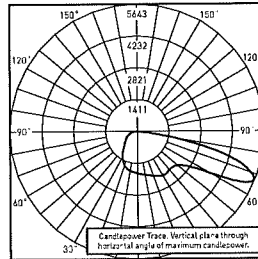
XSPW-B-**-2ME-8L-40K-UL
 Mounting Height: 15' (4.6) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type II Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

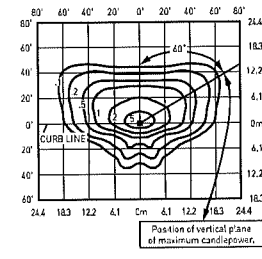
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

3ME



CESTL Test Report #: PL12366-007A
 XSPW-B-**-3ME-8L-40K-UL
 Initial Delivered Lumens: 8,543



XSPW-B-**-3ME-8L-40K-UL
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type III Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

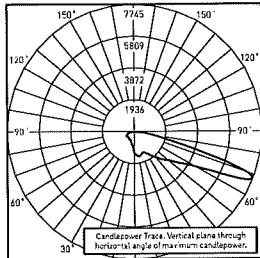
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

XSPW™ LED Wall Mount Luminaire

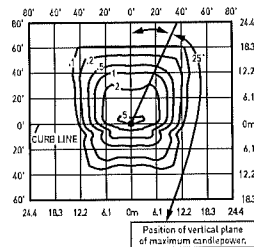
Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:
<http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall>

4ME



RESTL Test Report #: PL14415-001A
 XSPW-B-4ME-8L-40K-UL
 Initial Delivered Lumens: 8,763



XSPW-B-4ME-8L-40K-UL
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type IV Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B1 U0 G2	8,475	B1 U0 G2	6,925	B1 U0 G2	8,475	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingAddendum.pdf>

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CREE  **LIGHTING**

A COMPANY OF IDEAL INDUSTRIES, INC.



MEMO

To: Sturgeon Bay Plan Commission
From: Marty Olejniczak, Community Development Director *MO*
Date: February 10, 2022
Subject: Initial Presentation - Rezoning of the Various C-3 District Parcels

The Plan Commission recommended changes to the permitted uses within the various zoning district and the Common Council accepted that recommendation. One of the impacts of the changes is the elimination of the Commercial/Light Manufacturing (C-3) district. By adding light manufacturing/warehousing as a conditional use to the C-1 district, the C-1 and C-3 districts are identical so the C-3 district is being eliminated. That zoning text amendment still needs a public hearing and adoption of the ordinance by the Council. That process has been delayed because the zoning map needs to be altered at the same time due to the elimination of the C-3 district. The zoning map amendment process has been initiated. The first step is the initial presentation.

There are 4 areas of the City that have C-3 district zoning classification, comprising a total of 14 parcels and portions of three other parcels. With the exception of one parcel City staff proposes to rezone all of the parcels to General Commercial (C-1). The C-1 district causes the least disruption because it matches the current C-3 district. The list of permitted and conditional uses and the development standards are the same so there really is no impact to the property owners. In addition, nearly all of the affected parcels were zoned C-1 prior to being rezoned to C-3. The proposed C-1 district is generally consistent with the future land use map of the Comprehensive Plan, except for the City-owned Municipal Services buildings and storage yard. That site is planned for eventual redevelop into multiple-family residential use, but that is a long-term recommendation and staff recommends keeping the current use conforming for the time being. If and when the City is ready for redevelopment of that site, it can rezone the property again at that time.

The lone exception from the C-1 district that staff is proposing is the Midwest Wire parcel on S. Lansing Avenue, the parcel we recommend to rezone to Light Industrial (I-1). This property is actively used for light manufacturing and the company is proposing an addition that would be allowed under the I-1 district standards but not the C-1 standards due to the amount of impervious surface on the parcel. It is noted that the Comprehensive Plan recommends Regional Commercial development under the Future Land Use Map. Because the proposed I-1 district is for an existing light manufacturing use that also conforms to other recommendations of the Comp. Plan, it likely does not rise to a conflict with the Comp. Plan.

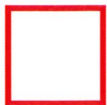
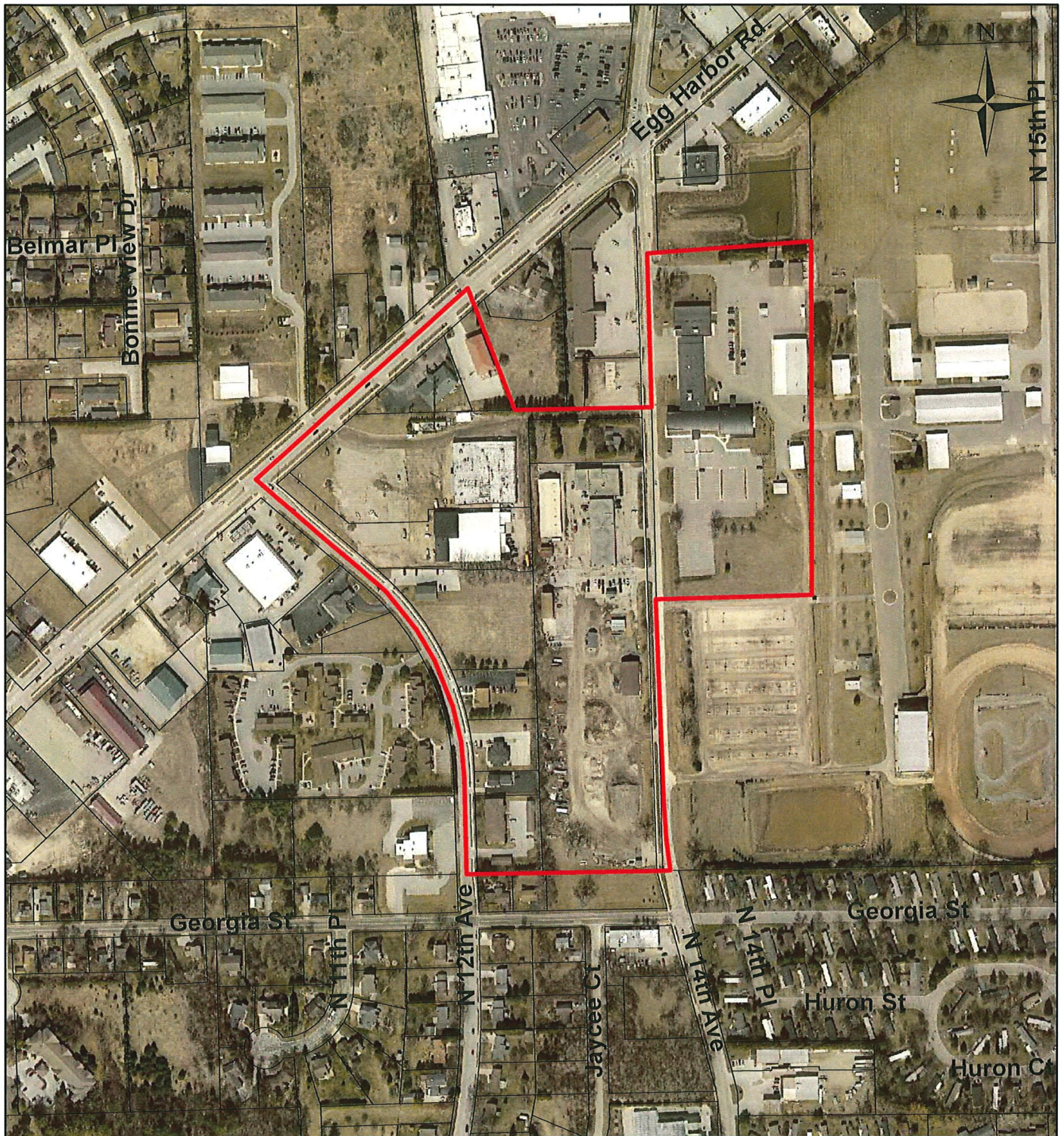
It is also noted the adjoining property (former grocery store) that is used and owned by Midwest Wire is proposed to be rezoned to C-1 and not I-1. This is because that parcel is part of the Bay Plaza Condominium, which has C-1 zoning for the other units. That building cannot be expanded without amending the condo declaration and the area surrounding the building is jointly owned by the condo association. Midwest Wire is not proposing any expansion of that building and if the use of the building is proposed to change in the future, some sort of retail use is more likely than industrial.

The first step for a zoning map amendment is the initial presentation and review by the Plan Commission. For this particular situation, the Plan Commission is requested make an initial determination of what the new zoning classification(s) should be, either by confirming the proposed districts put forth by staff or by choosing alternative districts. The specific district(s) chosen will be used for the public hearing at the next Plan Commission meeting. After the hearing the Plan Commission will make a recommendation to the Council.

Location Map

Zoning Map Amendment

C-3 to C-1



Area proposed to be rezoned from C-3 Commercial/
Light Manufacturing to C-1 General Commercial

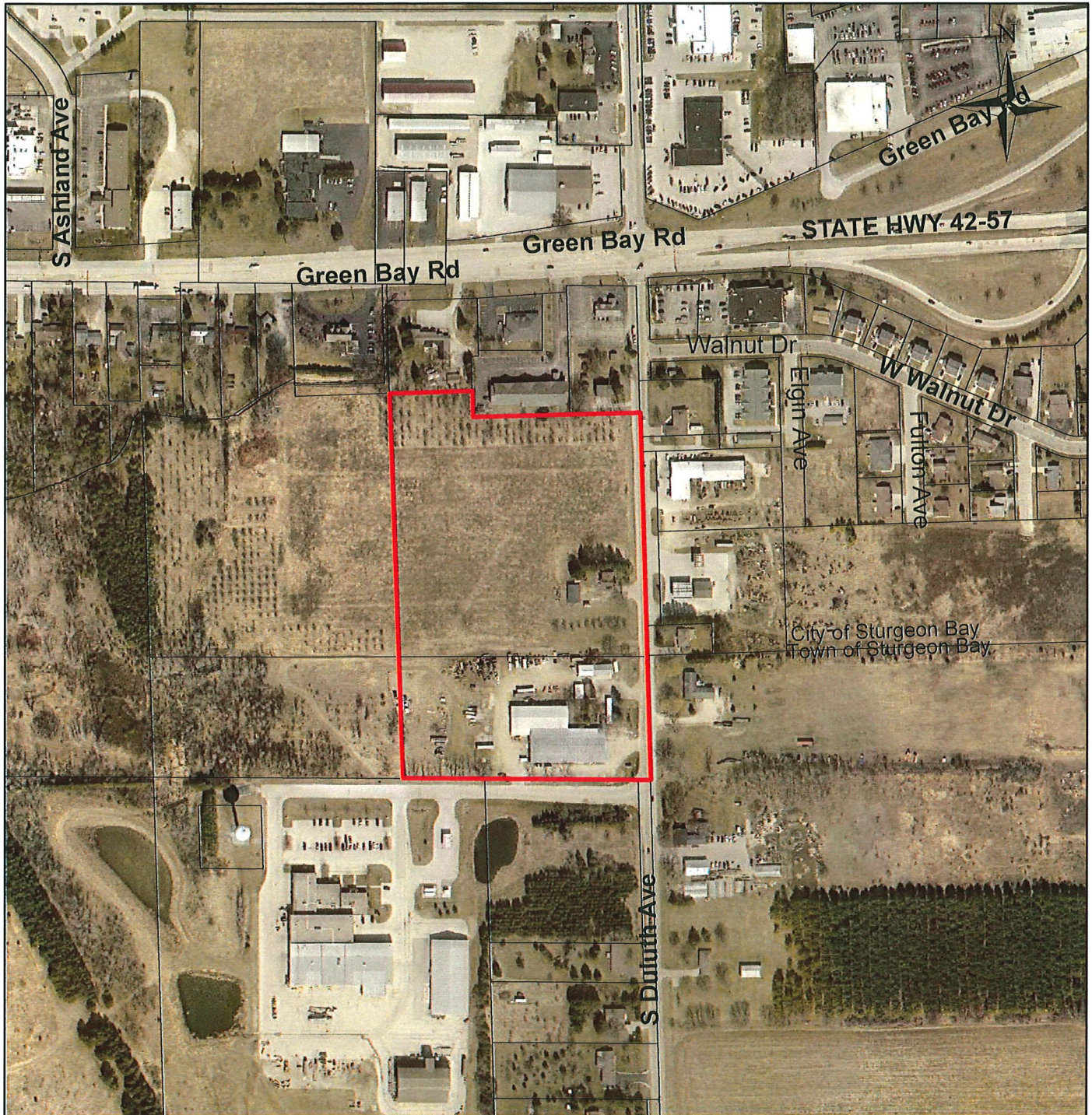
February 9, 2022

Location Map

Zoning Map Amendment

Sahs Trust & Doorland Investments

C-3 to C-1

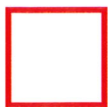


February 9, 2022



East half of 919 & 951 S. Duluth Ave- Proposed to be rezoned
from C-3 Commercial/Light Manufacturing to C-1 General Commercial

Location Map
Zoning Map Amendment
Skipper Properties, LLC
C-3 to C-1



245 E. Vine St - Proposed to be rezoned from C-3
Commercial/Light Manufacturing to C-1 General Commercial

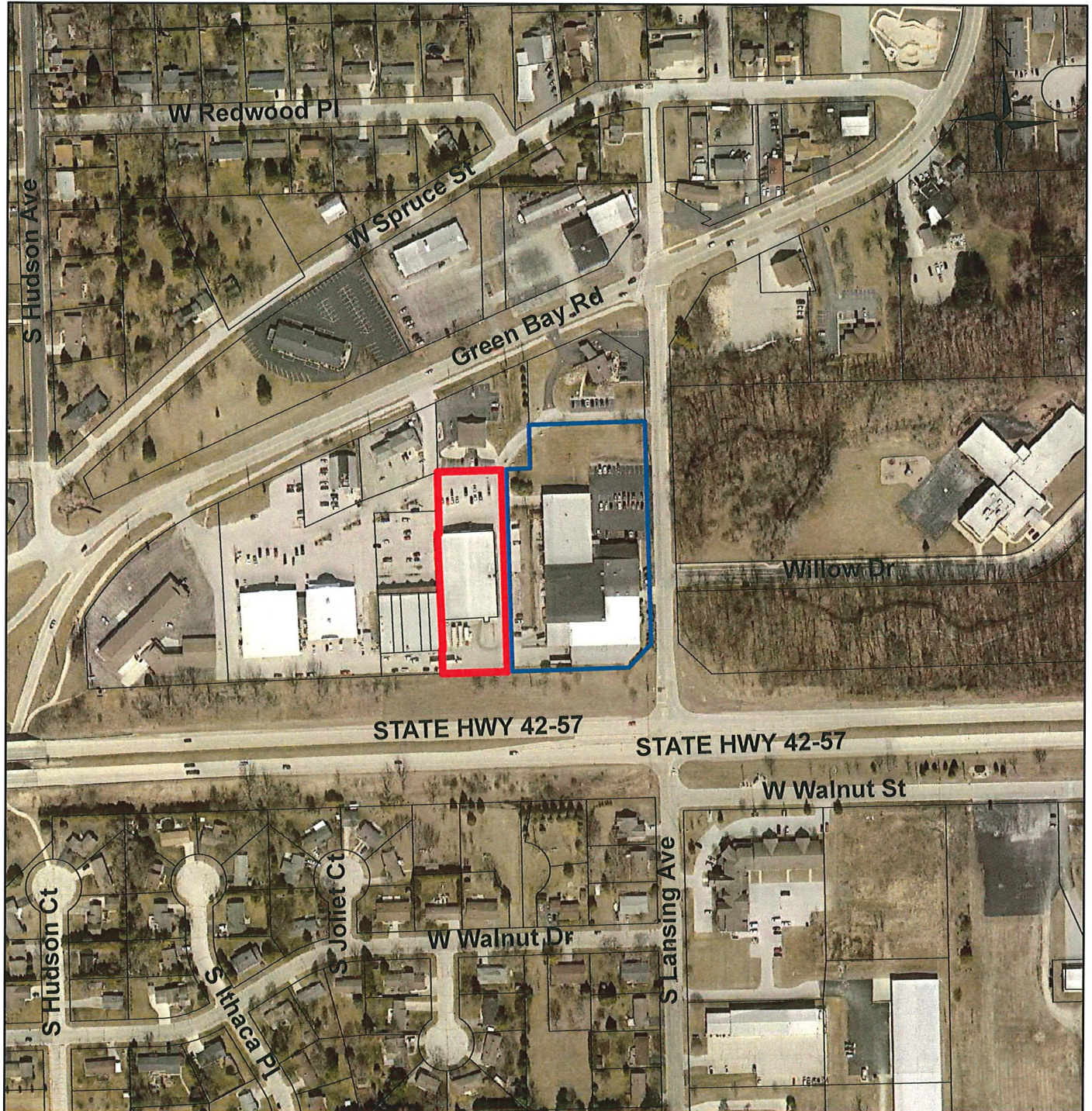
February 9, 2022

Location Map



Zoning Map Amendment

Sturgeon Bay Properties & Midwest Wire

C-3 to C-1 & I-1



February 9, 2022

-  615 S. Lansing Ave - Proposed to be rezoned from C-3 Commercial/Light Manufacturing to I-1 Light Industrial
-  217 Green Bay Rd - Proposed to be rezoned from C-3 Commercial/Light Manufacturing to C-1 General Commercial