

**AGENDA**  
**CITY OF STURGEON BAY**  
**PLAN COMMISSION**  
Wednesday, June 1, 2022  
6:00 p.m.  
City Council Chambers  
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from April 27, 2022.
4. Public comment on non-agenda Plan Commission related items.
5. Conditional use application for 96-unit multiple-family residential development proposed by Pre / 3 LLC for parcel # 281-66-12001605, which is located immediately east of Target.
  - a. Presentation
  - b. Public Hearing
  - c. Consideration
6. Consideration of: Certified Survey Map for Bayhill, LLC (Lucille Kirkegaard) for property located on N. 9<sup>th</sup> Ct.
7. Consideration of: Zoning Code amendments pertaining to dimensional and residential density requirements.
8. Adjourn.

*NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.*

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

5/27/22  
12:00 p.m.  
CS

Plan Commission Members

Mayor David Ward  
Ald. Kirsten Reeths  
Ald. Helen Bacon  
Ald. Dennis Statz  
Mark Holey  
Debbie Kiedrowski  
Jeff Norland

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## CITY PLAN COMMISSION MINUTES April 27, 2022

A meeting of the City Plan Commission was called to order at 7:00p.m. on Wednesday, April 27<sup>th</sup>, by Chairperson David J. Ward in the Council Chambers, City Hall, 421 Michigan Street, Sturgeon Bay.

**Roll Call (#1):** Members present: David Ward, Helen Bacon, Dennis Statz, Mark Holey, Debbie Kiedrowski, and Jeff Norland were present. Kirsten Reeths attended remotely. Staff present were Community Development Director Marty Olejniczak, Zoning and Planning Administrator Christopher Sullivan-Robinson, City Administrator Josh VanLieshout, City Engineer Chad Shefchik, and Administrative Assistant Suzanne Miller.

**Agenda (#2):** Motion by Holey and second by Norland to accept the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from March 30, 2022.
4. Public comment on non-agenda Plan Commission related items.
5. Project plan and boundaries for Tax Incremental District No. 7:
  - a. Presentation
  - b. Public Hearing
  - c. Consideration/Recommendation
6. Consideration of: Development proposals for property owned by the City of Sturgeon Bay on the west side of S. Hudson Avenue (parcel #281-68-18000607B).
7. Consideration of: Initial presentation of zoning map amendment to change the zoning classifications of property owned by the City of Sturgeon Bay on the west side of S. Hudson Avenue (parcel #281-68-18000607B) from Agricultural (A) to Two-Family Residential (R-3).
8. Adjourn.

**Approval of minutes from March 30, 2022 (#3):** Motion by Statz and second by Kiedrowski to approve the minutes from February 16, 2022. All ayes. Motion carried.

**Public Comment on non-agenda Plan Commission related items (#4):** No citizens presented for public comment.

**Project plan and boundaries for Tax Incremental District No. 7 (#5):**

**Presentation:** Olejniczak described the proposed TID #7 as a mixed-use district with a planned 96-unit apartment complex on a single parcel east of the existing Target store. The TID has a 20-year life. The City would provide financial incentives and public improvements in the region. He stated the Commission could approve the TID in accordance with the original financial proforma presented or approve with the alternative financial proforma developed to remove a number of expenditures to avoid the TID from closing in the last year. The Commission can also choose not to approve the TID or put forth a different plan.

Brian Reuchel representing RW Baird & Co. described the TID as including a currently vacant parcel with a base value at creation of \$143,000. The City's financial incentives will total \$1.5million. The original financial proforma would require all 20 years of the TID to achieve positive results. The alternative proforma would achieve positive results 3 years earlier by removing the Ashland Ave. highway improvement costs from the TID and reducing the budgeted park improvements by \$50,000.

Olejniczak explained this is a small TID with little risk for the City. City tax collections will repay the Developer, who took out a loan of \$1.6million. If the taxes collected are less than projected, the Developer absorbs the loss. Additionally, the Joint Review Board would approve the City's projects related to the TID

but the City can safeguard by holding off on its committed improvements until the tax monies are verified. Staff does not recommend expanding this TID to a larger project as the parcel is bordered by Town of Nasawaupee property to the south.

Ward stated the TID has a good chance of success and revenues that flow from the project may well be higher than projected.

The Commission raised the following concerns: 1.) The effect of interest rates and inflation and could the Developer pull out of the project if rates were too high. Olejniczak confirmed that could happen. 2.) What is the status of annexations of nearby properties? Olejniczak explained the City would like to clean up the boundaries in that area and does have some annexation agreements already in place. 3.) How completion of projects removed from the TID through the alternative financial proforma will be financed.

**Public Hearing: Opened and closed at 7:27p.m.** No citizens present to speak.

**Consideration:** Motion by Norland and second by Statz to approve the Resolution to adopt the proposed Project Plan and Boundaries for Tax Incremental District No. 7, a mixed-use district where not less than fifty percent (50%) by area of the real property within the district is suitable for industrial, commercial, and/or residential development, in accordance with the alternate financial proforma presented by RW Baird. All ayes. Motion carried.

**Consideration of: Development proposals for property owned by the City of Sturgeon Bay on the west side of S. Hudson Avenue (parcel #281-68-1800607B) (#6):**

Olejniczak explained the City purchased the parcel off of So. Hudson Ave. to develop single-family housing. A request for proposals was issued and two proposals received. The first, from Duquaine Development, included all single-family homes at approximately \$350,000. The second, from SC Swiderski, included primarily single-family with some two-family dwellings at approximately \$315,000. Both Developers were requesting the land for \$1.00 and City-provided infrastructure. Staff reported the City's incentive for either proposal to be large, equaling \$45,000 per lot for land and infrastructure. Staff would like to consider lower-cost homes in the \$250,000 range and are asking the Commission for feedback. The City can use American Recovery Act funds for affordable housing for this project.

Sullivan-Robinson explained the City's future land use map supports this type of medium density residential development.

VanLieshout explained the market changed and homes are more expensive now. Both developers' proposals were reasonable and accurate. If the City wants to create single-family homes in the \$250,000 range, the City may have to act as the Developer.

Shefchik stated the City will be taking an upfront risk by providing the infrastructure. He recommends new home construction with more basic specifications to bring the purchase price down. The City could put restrictions on qualifications for buyers of the homes.

The Commissioners raised the following concerns: 1.) They would support the development if the home prices could be reduced. 2.) Could "Wausau" type / manufactured homes be built? 3.) Could the developers be asked to build smaller homes to bring the purchase price down? 4.) The City may need the tax revenue of the more expensive homes. 4.) The Commission should lean toward affordable housing. 5.) Could duplexes, 4-, 6-, or 8-plexes be considered? 6.) The location is perfect and a walkable neighborhood of mixed housing should be considered.

No action was taken.

**Consideration of: Initial presentation of zoning map amendment to change the zoning classifications of property owned by the City of Sturgeon Bay on the west side of S. Hudson Avenue (parcel #281-68-18000607B) from Agricultural (A) to Two-Family Residential (R-3) (#7):**

Sullivan-Robinson explained the current zoning of the parcel, on the west side of S. Hudson Avenue [Agricultural (A)] does not match what the City plans to do with the property. The Future Land Use Map of the Comprehensive Plan allows R-2 [single-family residential, with two-family as A) a conditional use or B) a permitted use for up to 25% of the lots if designated as two-family at the time of platting], R-3 (two-family residential, which allows both single- and two-family, or R-4 (multi-family). Staff is recommending the new classification be Two-Family Residential (R-3) which is consistent with the Future Land Use Map and both of the development proposals received for the parcel.

Olejniczak explained the R-3 classification is in line with the district. The first public hearing would be held during the City Plan Commission meeting in May. The Commission could back off R-3 and proceed with R-2 in the future if needed. The Commission cannot, however, move from R-2 to R-3 without another public hearing.

Motion by Holey and second by Bacon to amend the zoning map to change the zoning classifications of the entire property owned by the City of Sturgeon Bay on the west side of S. Hudson Avenue (parcel #281-68-18000607B) from Agricultural (A) to Two-Family Residential (R-3). All ayes. Motion carried.

**Next meeting:** Chair Ward stated the next meeting of the Commission is moved to Wednesday, May 25th, 2022 at 7pm.

**Adjourn (#8):** Norland made the motion to adjourn, second by Bacon. All ayes. The motion carried. The meeting adjourned at 8:07p.m.

Respectfully submitted,

  
Suzanne Miller  
Administrative Assistant

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**Staff Report**  
**Conditional Use Request**  
**96-Unit Multiple Family Development for Pre / 3 LLC**

**Proposal:** Pre / 3 LLC is petitioning the City to approve a 96-unit multifamily apartment project to be located on parcel # 281-66-12001605. The development includes the constructions of eight 12-unit apartment buildings with attached garages. Multiple family dwellings are a conditional use within the General Commercial (C-1) zoning district.

The Plan Commission reviewed a concept plan of this project back in April and provided some comments back to the developer. The latest proposal appears to address some of the items raised by staff and the commission.

**Existing Conditions:** The subject property is vacant and located just east of Target retail store within the 400 block of S Duluth Ave. The area of the parcel is 12.6 acres. It has a shared drive with Target along the north end of the site connecting to S Duluth Ave. And, there is a private road that runs along the south property line connecting to Target and S Duluth Ave.

The property is currently zoned C-1 and borders the Town of Nasewaupee on the north, east, and south side of the property. The town has no zoning ordinance. The only direction that has zoning is toward the west which is zoned PUD C-1 for the Target development. Toward the south is commercial development fronting on Duluth Ave and Green Bay Rd. Toward the north is storage facility and a proposed multifamily project. Toward the east / northeast is medium to low density single-family residential.

**Comprehensive Plan:** The Future Land Use Map of the 2040 Comprehensive Plan recommends this area for Planned Neighborhood type land uses. These are areas that should be carefully considered by the Commission as it allows for a wide range of uses that is ultimately meant to create residential neighborhoods and the types of uses that support neighborhoods (i.e. commercial, institutional, and recreational). This future land use category supports Multiple-Family Residential development.

The proposal is compliant with the Land Use Chapter of the Comprehensive Plan and the other areas of plan as a whole. It is important the the City continues to be supportive of housing development that the is complimentary, diverse, and meets the needs of both the City and County residents. Its important that these developments provide a community-like sense and are well connected to City infrastructure and supporting amenities. It is also important to remember that the City needs all types of housing and this development will provide housing for currently commuting employees and others seeking to be a part of the City.

**Site Plan and Design Considerations:** The following is a summary of the major site and design related analysis:

Building Layout: The buildings are laid out to follow a circulatory driveway. Three buildings sit north/south and five buildings sit east / west with the garages facing each other. A large green space is located in the center of the property which will be utilized for stormwater management retention area. There will also be an office and garage structure located on the east end of the property. Garbage enclosures will be located on the east and west ends of the site off the proposed interior driveways.

Driveway access: The proposed parking lots and interior drives will connect to the existing access driveway in two locations and to the south private road in one location.

Density: The density of units is 7.6 units per acre, which is less than the maximum 12.4 units per acre. It is also compliant with the intended density suggested by the Comprehensive Plan.

Building Design: These buildings are 2-story and "H" shaped with garages on each end. The dimensions are 146 feet x 88 feet x 26 Height. The exterior of the building consists of a brick veneer, horizontal siding, and asphalt shingles. Dormers are proposed on the apartments above the garage stalls. Eyebrow rooflines are shown between the first and second floor of the building. Second floor porches and first floor patios and covered entryways are shown on the plan. Windows are spaced out on all sides of the buildings so natural lighting shouldn't be an issue.

Mix of Units: These are single floor units with 4 units on the ground floor and 8 units on the second floor. All units will be 2-bedroom 2-bathroom totaling 96 units when the project is completed.

Parking: A total of 198 parking spaces are provided. 96 spaces are one stall garages and 102 spaces are surface stalls. The parking lot proposal meets the zoning code. A total of 17 canopy trees are required for the parking areas.

Pedestrian: Sidewalks are shown leading from the building leading to the parking areas. One of the items identified by Plan Commission in March was the need for sidewalk(s) connecting to public infrastructure. Note: This walkway is included in the TID #7 project plan and potentially a TIF eligible expense.

Traffic: A transportation impact analysis has not been required by the City Engineer at this time. There are no traffic concerns identified by City Staff.

Utilities: The property will be serviced by existing water and sewer main along the north driveway. Buildings located adjacent to the north driveway will have laterals directly off the existing mains. Building along the south end of the property will require a sewer and water to be extended. See the utility plan for more detail. Sturgeon Bay Utilities is supportive of the proposed layout with some minor changes which won't affect the layout.

Stormwater Management: The stormwater management plan has had its initial review by the City Engineer with several comments provided. Those revisions appear to have

incorporated into the new plan set; however, final approval of the plan will be required prior to issuance of any permits. The center green space will contain a storm retention area with a network of private storm sewer leading to the City storm sewer line along the south private road.

Landscaping: The land scape plan includes planting beds on two sides of the multifamily buildings, around the office / garage, and around the mailroom structure. Additional plantings will be located around the new ground sign off of S Duluth Ave. The plan includes Goldfinger Potentilla, Hetz Midget Arborvitae, Bluemuffin Arrowwood Viburnum, Goldflame Spirea, and Stella D' Oro Dwarf Day Lilly. A line of trees will be planted along the north driveway, at the ends of the west parking lots and screening along the east property line from the residential properties. The species include Red Maple, Black Hills Spruce, Paperbark Maple, Chinkapin Oak, and Callery Pear. No trees are proposed along the south property line due to an existing utility easement.

Lighting: No lighting plan has been provided. This will get reviewed by the Aesthetic Design and Site Plan Review Board.

Refuse: Two dumpsters are proposed. No detail has been provided besides the location on the site plan. This will be reviewed by the Aesthetic Design and Site Plan Review Board.

Recreation Facilities: The property owner is proposing a gazebo to be located in the center green area

**Conditional Use Review Criteria:** In general, the zoning ordinance directs the Plan Commission to consider whether the proposed development will adversely affect property values in the vicinity and review the architectural and engineering plans for the project. In addition, there are six review criteria listed in the conditional use section of the code. The development appears to comply with the review criteria of the zoning code. The code also specifies that the Plan Commission can place conditions on the project if necessary.

**Public Hearing:** The Conditional Use process requires a public hearing at with the Plan Commission which is scheduled for June 1, 2022.

**Fiscal Impact:** The City approved the creation of TID #7, which incorporates this property. The City will be utilizing the new tax revenue generated by this development to funding several public and private improvements that will include a developer's incentive loan of 1.5M, sidewalk systems to the property, street improvements within the area, and some improvements to Woods West Park. The project is expected to bring in approximately 8.8M in value and about \$3.2 Million in total tax revenue to the TID over the maximum life of the TID.

**Recommendation:** Staff recommends approval as presented subject to the following conditions:

1. Provide a walkway between the easterly driveway and Duluth Avenue alongside the existing private access drive to the site.
2. Approval by the Aesthetic Design and Site Plan Review for the all elements of the project design.
3. Approval of the final Stormwater Management plan by the City Engineer.
4. Provide any necessary easements for public utilities per the specification of the City.

Prepared by:   
\_\_\_\_\_  
Christopher Sullivan-Robinson  
Planner / Zoning Administrator

5-27-22  
Date

Reviewed by:   
\_\_\_\_\_  
Marty Olejniczak  
Community Development Director

5-27-2022  
Date

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# CITY OF STURGEON BAY CONDITIONAL USE PERMIT APPLICATION

Date Received: _____
Fee Paid \$ _____
Received By: _____

	APPLICANT/AGENT	LEGAL PROPERTY OWNER (if different)
Name	BRAD TREML	Chris Slater
Company	REL & ASSOC.	PRE/3 LLC.
Street Address	1250 Centennial Centre Blvd.	3120 Gateway Rd.
City/State/Zip	Hobart, WI 54755	Brookfield, WI 54035
Daytime Telephone No.	920-662-9641	262-349-0200
Fax No.	—	—

STREET ADDRESS OF SUBJECT PROPERTY: S. Duluth Ave  
 Location if not assigned a common address: parcel just east of Target

TAX PARCEL NUMBER: 2816612001605

CURRENT ZONING CLASSIFICATION: C-1

CURRENT USE AND IMPROVEMENTS:  
VACANT PARCEL

IDENTIFY MUNICIPAL CODE SECTION PERTINENT TO REQUEST AND STATEMENT OF SPECIFIC ITEM BEING REQUESTED FOR REVIEW: 20.14(2)(D) - A conditional use is being requested to a multi-family residential development in a general commercial zoning.

ZONING AND USES OF ADJACENT SURROUNDING PROPERTIES:

North: \_\_\_\_\_  
 South: I-2 + C-1  
 East: \_\_\_\_\_  
 West: PUD

**PROPOSED USE OF SURROUNDING PROPERTY UNDER COMPREHENSIVE PLAN:**

North: LOBE AREA  
 South: COMMERCIAL  
 East: COMMERCIAL  
 West: LOBE AREA

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? NO IF YES, EXPLAIN: \_\_\_\_\_

Attach an 8-1/2" X 11" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 15 large sized copies), full legal description (preferably on disk), 8-1/2 x 11" location map, construction plans for the proposed project, and Agreement for Reimbursement of expenses. Site plan shall include dimensions of property, pertinent structures and buildings, proposed site improvements, signature of person who drew plan, etc.

<u>Christopher M Slater</u> Property Owner (Print Name)	<u>[Signature]</u> Signature	<u>May 3, 2022</u> Date
<u>BRAD TREML</u> Applicant/Agent (Print Name)	<u>[Signature]</u> Signature	<u>4-28-2022</u> Date

I, BRAD TREML, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

<u>4-20-2022</u> Date of review meeting	<u>[Signature]</u> Applicant Signature	<u>[Signature]</u> Staff Signature
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- Attachments:  
 Procedure & Check List  
 Agreement For Reimbursement of Expenses

**STAFF USE ONLY**

Application conditions of approval or denial:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Community Development Director

LEGAL DESCRIPTION:

The land referred to herein is described as follows:

Parcel 1

All of Lot One (1) and part of Lot Two (2), of Volume 4 Certified Survey Maps, Page 302, Map No. 812, recorded as Document No. 577103, being a part of the Southeast 1/4 of the Southeast 1/4 of Section Twelve Township Twenty-seven (27) North, Range Twenty-five (25) East, in the City of Sturgeon Bay, Door County, Wisconsin, described as follows:

Commencing at the East Quarter (1/4) corner of said Section Twelve (12); Township Twenty-seven (27) North, Range Twenty-five (25) East; thence South, One Thousand Four Hundred Sixty-seven and 17/100 (1467.17) feet along the east line of the Southeast Quarter (SE1/4) of said Section Twelve (12), said line also being the centerline of Duluth Avenue (C.T.H. "C"); thence South 89°56'21" West, One Hundred Ninety-nine and 88/100 (199.88) feet to the point of beginning of lands to be described; thence South Four Hundred Thirty-six and 59/100 (436.59) feet to the North line of a Thirty-three (33) foot easement as described in Volume 9, Page 480 of Quit Claim Deeds; thence North 88°07'50" West, Nine Hundred Sixty-three and 66/100 (963.66) feet along the North line of said easement, thence North 00°24'36" East, Five Hundred Eighty-eight and 26/100 feet along the west line of the East Thirty-five (35) acres of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of said Section Twelve (12), Township Twenty-seven (27) North, Range Twenty-five East; thence South 88°00'39" East, Eight Hundred Twenty-four and 20/100 (824.20) feet along the north line of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of said Section Twelve (12), Township Twenty-seven (27) North, Range Twenty-five (25) East; thence South 00°09'05" East, One Hundred Twenty-eight and 58/100 (128.58) feet; thence South 89°56'20" East, Eighty-four and 94/100 (84.94) feet; thence South 00°26'08" East, Twenty-five and 86/100 (25.86) feet thence North 89°56'21" East, Forty-nine and 76/100 (49.76) feet to the point of beginning; together with Ingress/Egress easement as contained in Quit Claim Deed dated 03/31/1917, recorded 04/04/1917, in Volume 9, Page 480, as Document No. 84105a.

For Informational Purposes Only:

Tax Parcel No. 2816612001605

Property Address: Duluth Avenue (Vacant Parcel), Sturgeon Bay, WI 54235

Parcel 2

Lot Two (2), Volume 4 Certified Survey Maps, Page 302, Map No. 812, recorded as Document No. 577103, being part of the Southeast 1/4 of the Southeast 1/4 of Section Twelve (12), Township Twenty-seven (27) North, Range Twenty-five (25) East, in the Town of Nasewaupsee, Door County Wisconsin, EXCEPTING THEREFROM those lands described in Annexation Ordinance recorded in Volume 736, Page 728 as Document No. 607138.

For Informational Purposes Only:

Tax Parcel No. 0200112272544G2

Property Address: 3155 S. Duluth Avenue (Vacant Parcel), Sturgeon Bay, WI 54235

The description listed above defines exactly the same parcel that has been surveyed and is exactly the same parcel as contained within the lands described in the title commitment identified as First American Title Insurance Company, File No.: DM0006950, Revision No. 3, having an effective date of March 31, 2022 at 7:00 AM

## PROCEDURE & CHECK LIST FOR CONDITIONAL USE

- \_\_\_\_\_ 1. Application filed with Community Development Department and reviewed by staff. Application shall contain a detailed site plan (including an 8 ½ " x 11" copy), full legal description, location map, Agreement For Reimbursement of Expenses, and construction plans for the proposed project. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.
- \_\_\_\_\_ 2. After review by staff, application is forwarded to Community Development Secretary for placement on City Plan Commission agenda.
- \_\_\_\_\_ 3. Community Development Secretary forwards copy of Reimbursement of Expenses and name and address of responsible party to City Treasurer.
- \_\_\_\_\_ 4. Community Development Department obtains list of names and addresses of property owners within 300 feet of subject property.
- \_\_\_\_\_ 5. Community Development Secretary schedules public hearing to be held before the Plan Commission, drafts a public hearing notice, and publishes Class 2 notice (2 insertions a week apart with the second one being one week prior to public hearing). Copy of public hearing notice placed on City Hall bulletin boards. Publication dates: \_\_\_\_\_ and \_\_\_\_\_. Public hearing date: \_\_\_\_\_.
- \_\_\_\_\_ 6. Community Development Secretary forwards public hearing notice by regular mail to property owners within 300 feet of subject property at least 10 days prior to hearing (by: \_\_\_\_\_).
- \_\_\_\_\_ 7. Community Development Department coordinates placement of signage with applicant. Signs shall be obtained from Building Inspection Department, require \$50.00 deposit per sign, and shall be placed on subject property at least 10 days prior to hearing (by: \_\_\_\_\_).
- \_\_\_\_\_ 8. City Clerk places request on public access television one week before Plan Commission meeting.
- \_\_\_\_\_ 9. Plan Commission meeting:
  - a. Presentation of request by applicant.
  - b. Public hearing.
  - c. Review by Plan Commission for compliance with all conditions under Section 20.25 of the Municipal Code.
- \_\_\_\_\_ 10. Approval or denial of conditional use by Plan Commission, and authorization to Building Inspector to issue permit if approved.
- \_\_\_\_\_ 11. Issuance of Conditional Use Permit by Community Development Director, if approved.

**AGREEMENT FOR REIMBURSEMENT OF EXPENSES**

**WHEREAS** the City of Sturgeon Bay has created Section 3.035 of the Municipal Code authorizing the City Clerk/Treasurer to charge for reimbursement of legal, consulting and incidental expenses incurred on behalf of and/or for the benefit of third parties for services rendered by the City of Sturgeon Bay;

**AND WHEREAS** the undersigned has requested services and/or authorizations of the City of Sturgeon Bay which will result in the necessity to incur legal, consulting or incidental expenses on behalf of the undersigned or in consideration of the request submitted by the undersigned;

**NOW, THEREFORE, IT IS AGREED** that the undersigned will reimburse the City of Sturgeon Bay by providing payment to the City Clerk/Treasurer within fourteen (14) days of receiving an invoice, for all legal, consulting and incidental expenses incurred by the City of Sturgeon Bay for the benefit of the undersigned or for the consideration of the request submitted by the undersigned. These expenses are likely to include the following: Planning and engineering review, legal review and document preparation, recording, publication, and miscellaneous expenses.

This Agreement must be signed prior to the initiation of any action by the City of Sturgeon Bay.

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_

## NOTICE OF PUBLIC HEARING

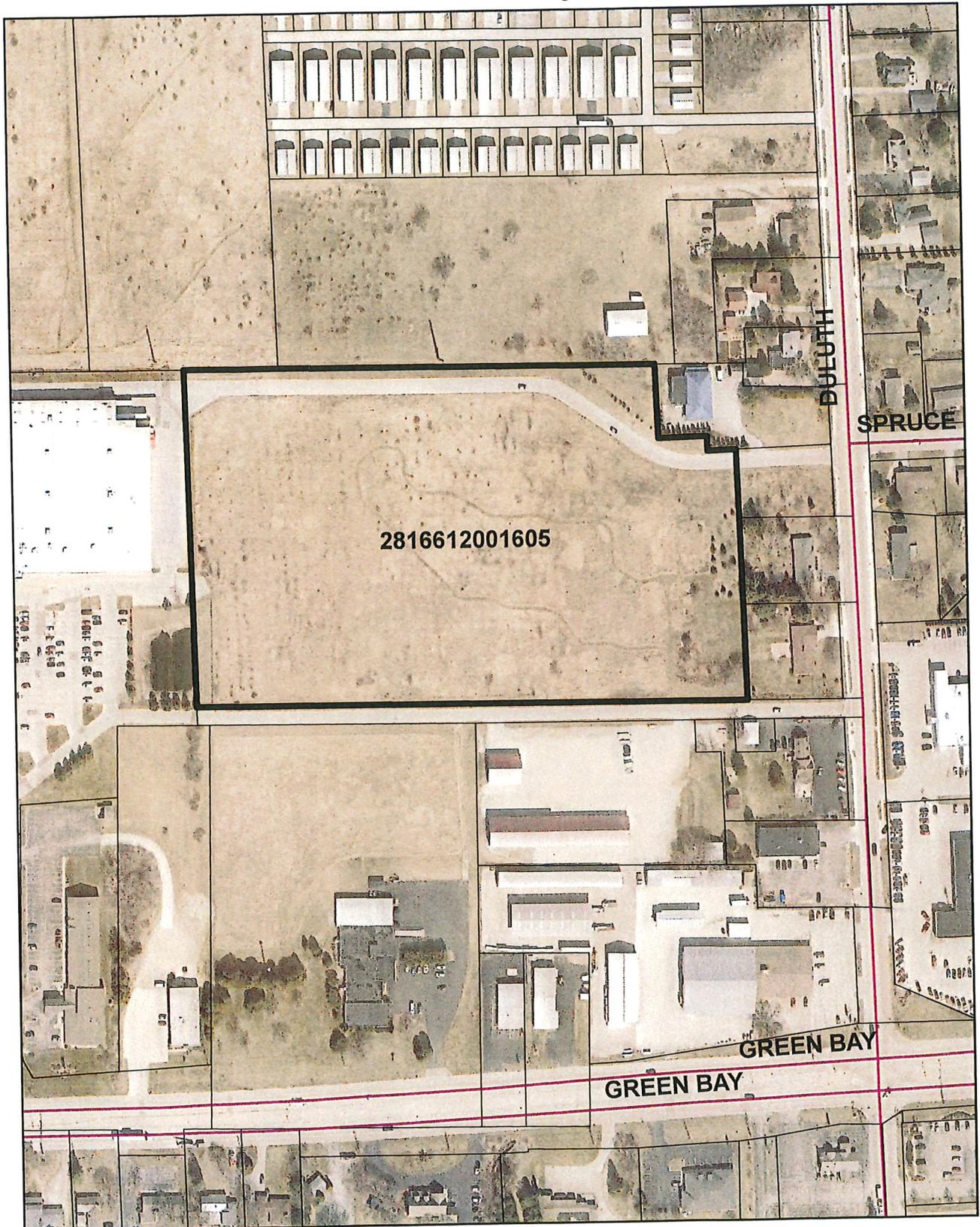
The City of Sturgeon Plan Commission will hold a public hearing in the Council Chambers, 421 Michigan Street, Sturgeon Bay, Wisconsin, June 1, 2022, at 6:00 p.m. or shortly thereafter, regarding a petition from PRE / 3 LLC, for approval of a conditional use permit, which is required under section 20.09(3) of the Municipal Code (Zoning Code) for multiple family dwellings to be located within the General Commercial (C-1) zoning district. The proposal is for the construction of eight 12-unit multifamily dwellings with attached garages on the parcel located at 281-66-12001605 (fronting on S Duluth Avenue and east of Target Retail Store). The conditional use application can be viewed on the City website ([www.sturgeonbaywi.org](http://www.sturgeonbaywi.org)) or at City Hall, 421 Michigan Street, weekdays between 8:00 a.m. and 4:30 p.m. The public is invited to give testimony regarding the proposed conditional use petition either in person at the public hearing or in writing.

By order of:  
City of Sturgeon Bay Plan Commission

# Location Map

## Conditional Use Request

### 96-Unit Multifamily Project



 Subject Property



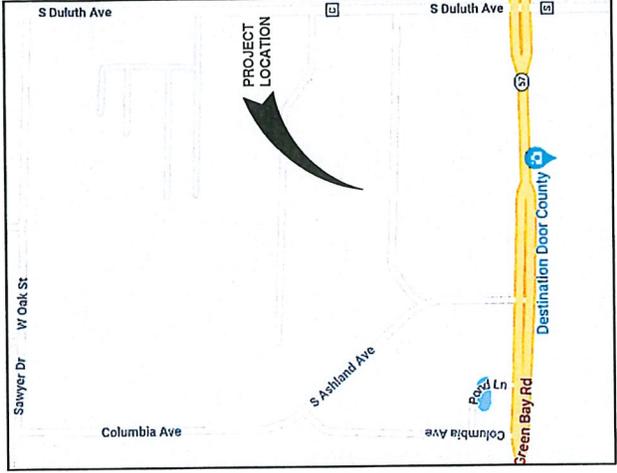
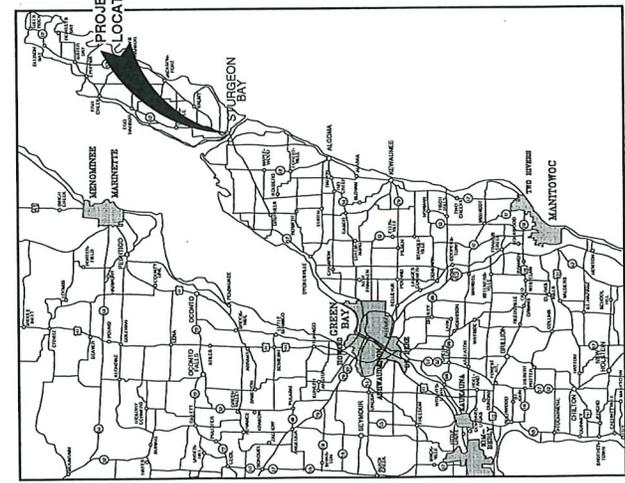
Please Note: Public hearing to be held on June 1, 2022 in the Council Chambers.

# STURGEON BAY MULTI-FAMILY DEVELOPMENT FOR NICOLET LUMBER COMPANY CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN

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ATTENTION!  
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE  
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE  
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.  
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.  
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



NOTE: ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES. WHENEVER UTILITIES ARE ENCOUNTERED BY THE CONTRACTOR IT IS HIS RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IMMEDIATELY. EROSION CONTROL MEASURES SHALL BE INSTALLED FOR ALL LOCATIONS BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

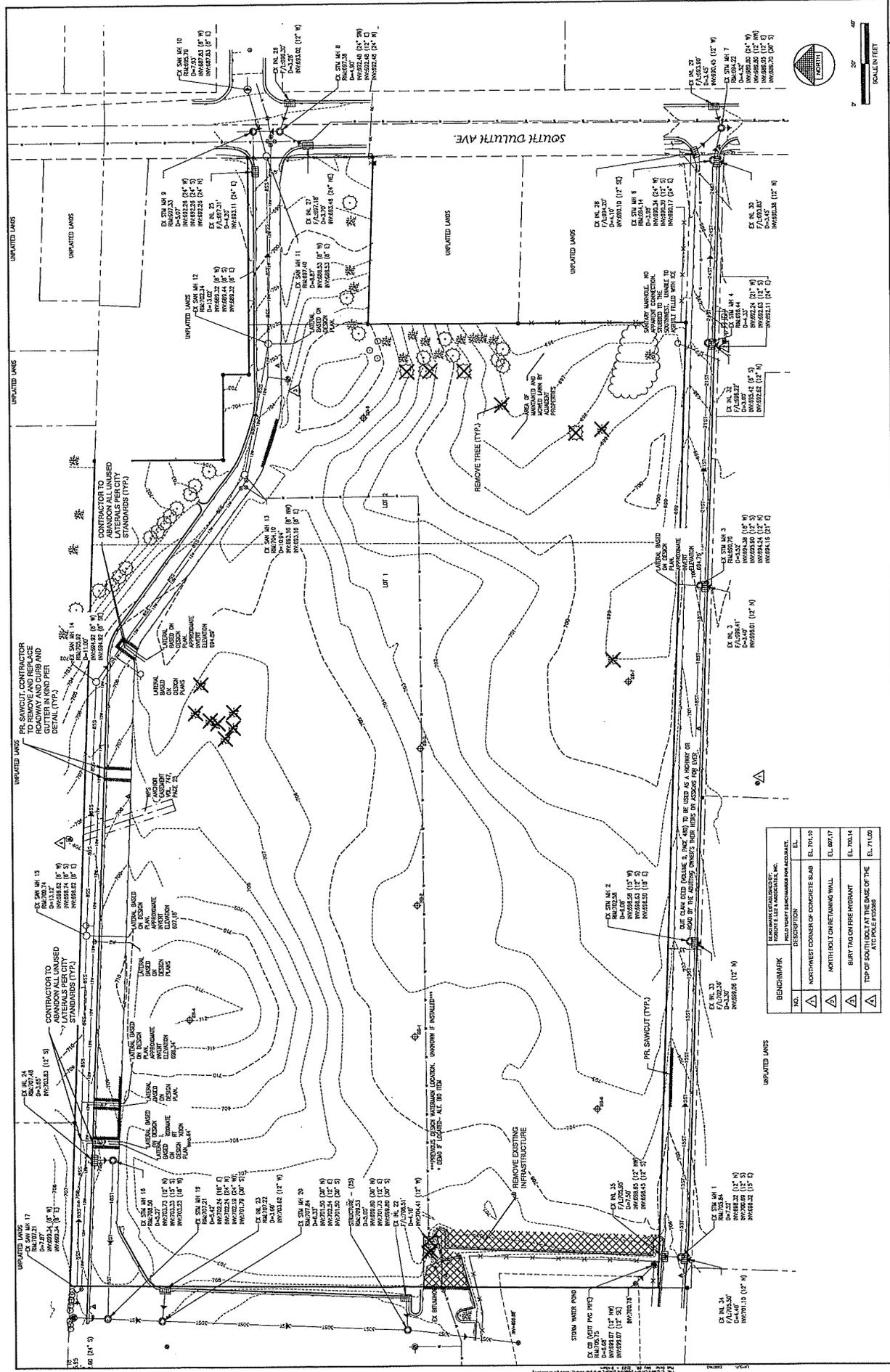
NOTE: ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES. WHENEVER UTILITIES ARE ENCOUNTERED BY THE CONTRACTOR IT IS HIS RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IMMEDIATELY. EROSION CONTROL MEASURES SHALL BE INSTALLED FOR ALL LOCATIONS BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

### INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	SITE INFORMATION
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	WATER AND SANITARY SEWER PLAN
5	STORM SEWER PLAN
6	GRADING PLAN
7	EROSION CONTROL PLAN
8	EROSION CONTROL - SHEET PILE DETAIL
9	MISCELLANEOUS DETAILS
10	MISCELLANEOUS DETAILS
11	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
12	EROSION CONTROL - INLET CHECK DETAILS
13	EROSION CONTROL - DITCH CHECK DETAILS
14	EROSION CONTROL - SHEET PILE DETAIL PRACTICES
15	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
16	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
17	BUILDING LANDSCAPE PLAN
L1	OVERALL LANDSCAPING PLAN
L2	OVERALL LANDSCAPING PLAN
P	POND PLAN

NO. 1	DATE	APPROVAL	NO.	DATE	APPROVAL	NO.	DATE	APPROVAL	NO.	DATE	APPROVAL
DRAWN						CHECKED					
DESIGNED						BY					
STURGEON BAY MULTI-FAMILY DEVELOPMENT						FOR NICOLET LUMBER COMPANY					
CITY OF STURGEON BAY						DOOR COUNTY, WISCONSIN					
LOCATION MAPS AND INDEX TO DRAWINGS						SHEET NO. C					
Robert E. Lee & Associates, Inc.						ENGINEERING, SURVEYING, ENVIRONMENTAL SCIENCE, INC.					
1100 S. CEDAR ST., SUITE 200						STURGEON BAY, WI 54155					
TEL: 920-882-8841						WWW.RELEE.COM					





BENCHMARK	DESCRIPTION	EL.
△	NORTHWEST CORNER OF CONCRETE SHED	EL. 791.10
△	NORTH SOUTHWEST CORNER OF RETAINING WALL	EL. 697.17
△	BURY TAG ON FIRE MORGAN	EL. 795.14
△	TOP OF SOUTH LUG AT THE BASE OF THE ATC POLE #15595	EL. 711.05

**Robert K. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1525 COMMERCIAL DRIVE  
 STURGEON BAY, WISCONSIN 54983-3941  
 TEL: 920-862-9441 FAX: 920-862-9444 WWW: WWW.RKLA.COM

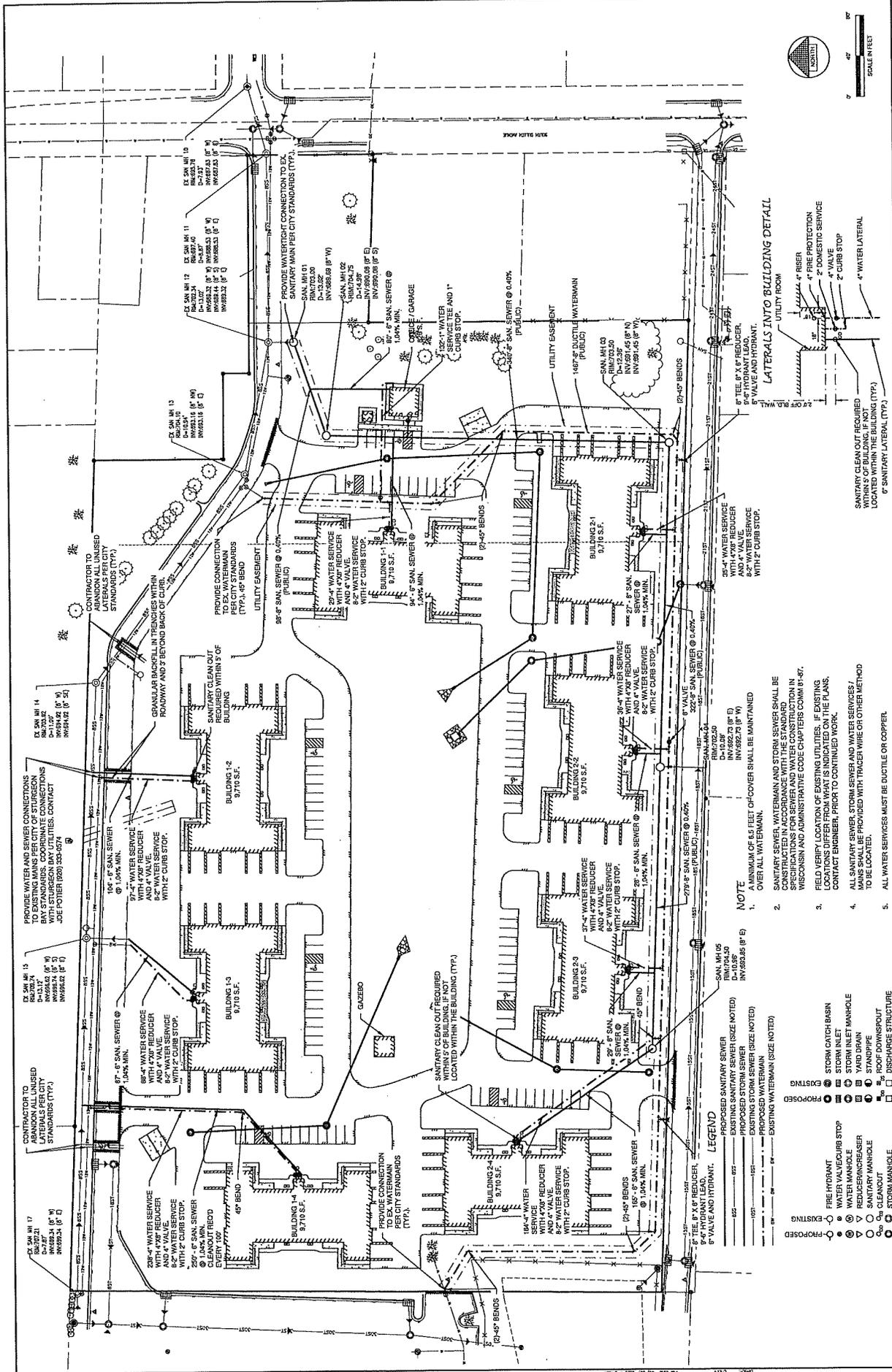
SHEET NO. **2**  
 OF **15**

EXISTING SITE CONDITIONS

STURGEON BAY MULTIFAMILY DEVELOPMENT  
 FOR NICOLET LUMBER COMPANY  
 CITY OF STURGEON BAY  
 DOOR COUNTY, WISCONSIN

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.





**NOTE**

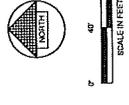
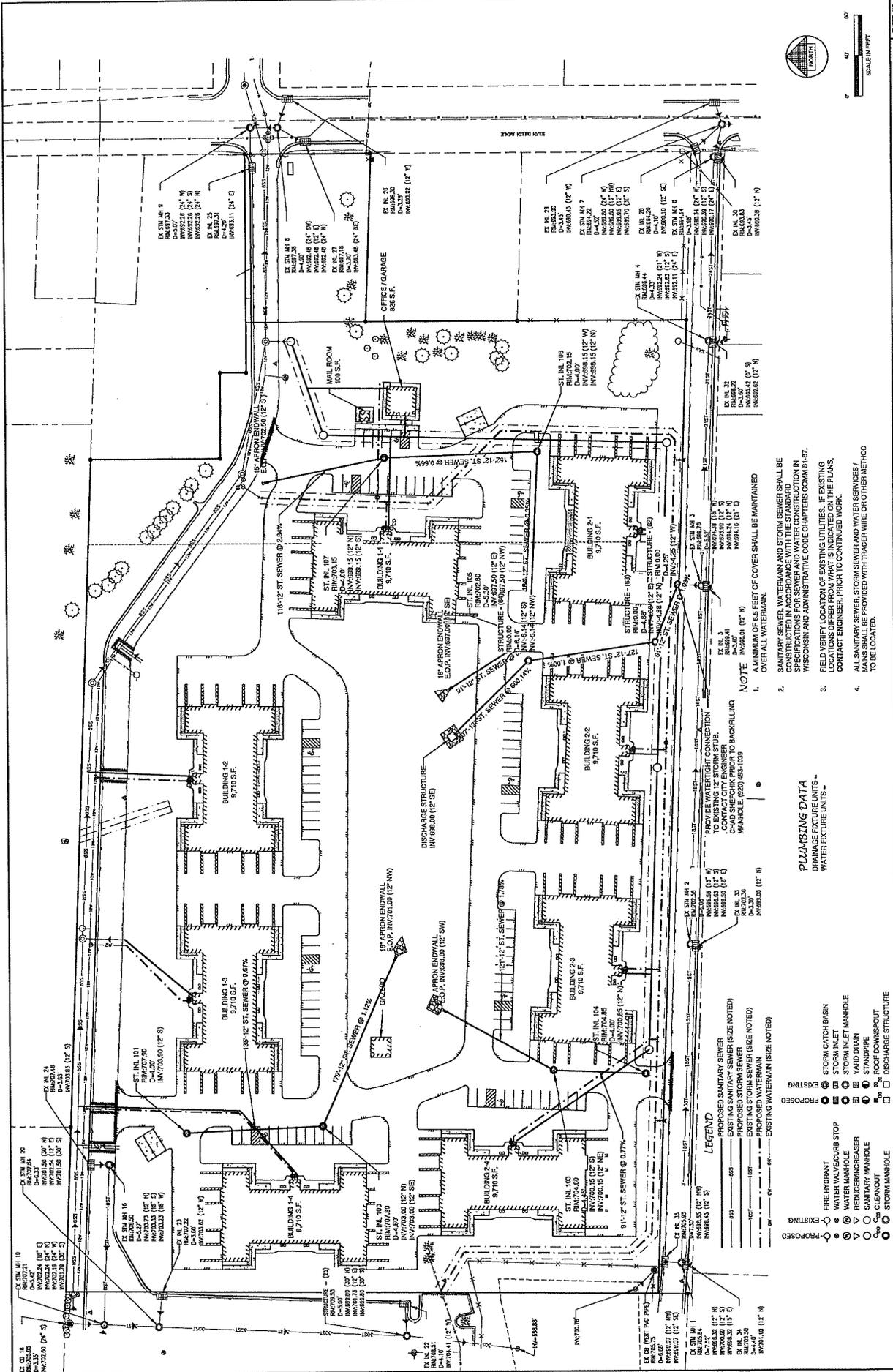
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMB 01-67.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / LATERALS TO BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
5. ALL WATER SERVICES MUST BE DUCTILE OR COPPER.

**LEGEND**

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER (SIZE NOTED)
- PROPOSED WATERMAIN
- EXISTING WATERMAIN (SIZE NOTED)
- EXISTING WATERMAIN (SIZE NOTED)

**LEGEND**

- FIRE HYDRANT
- WATER VALVE/CURB STOP
- WATER MANHOLE
- SANITARY MANHOLE
- CLEANOUT
- STORM MANHOLE
- STORM CATCH BASIN
- STORM INLET
- STORM INLET MANHOLE
- STANDPIPE
- ROOF DOWNSPOUT
- DISCHARGE STRUCTURE



- NOTE**
1. ALL SANITARY SEWER MANHOLES SHALL BE MAINTAINED OVER ALL WATERMAIN.
  2. SANITARY SEWER, WATERMAIN AND STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-47.
  3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
  4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.

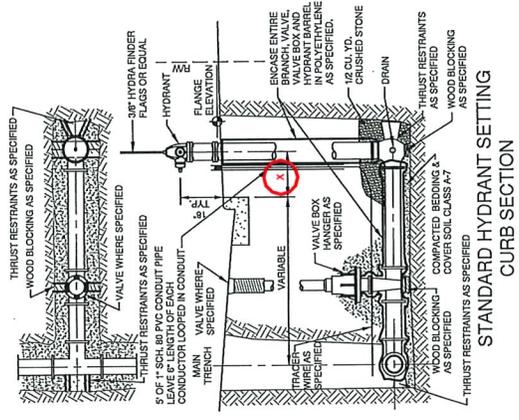
**PLUMBING DATA**  
 MANHOLE ELEVATIONS -  
 WATER FEATURE UNITS -

- LEGEND**
- EXISTING SANITARY SEWER (SIZE NOTED)
  - PROPOSED SANITARY SEWER (SIZE NOTED)
  - EXISTING STORM SEWER (SIZE NOTED)
  - PROPOSED STORM SEWER (SIZE NOTED)
  - EXISTING WATERMAIN (SIZE NOTED)
  - PROPOSED WATERMAIN (SIZE NOTED)
- EXISTING**
- FIRE HYDRANT
  - WATER METER
  - WATER METER STOP
  - WATER MANHOLE
  - REDUCING/INCREASER
  - YARD DRAIN
  - STANDPIPE
  - CLEANOUT
  - STORM MANHOLE
  - STORM MANHOLE
  - STORM CATCH BASIN
  - STORM INLET
  - STORM INLET MANHOLE
  - ROOF DOWNSPOUT
  - DISCHARGE STRUCTURE

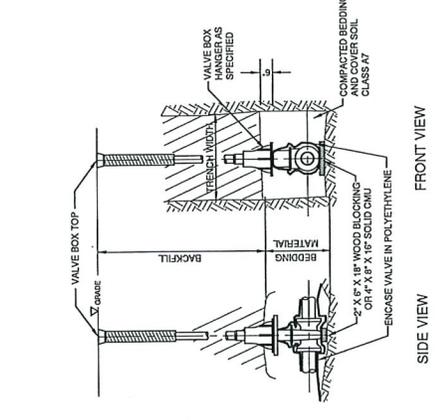




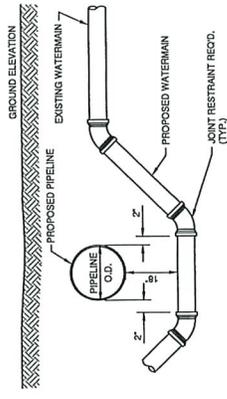




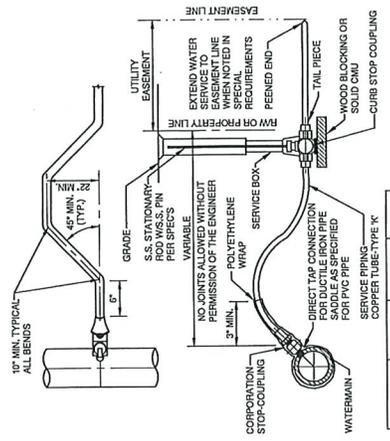
STANDARD HYDRANT SETTING CURB SECTION



FRONT VIEW  
SIDE VIEW  
VALVE BOX SETTING

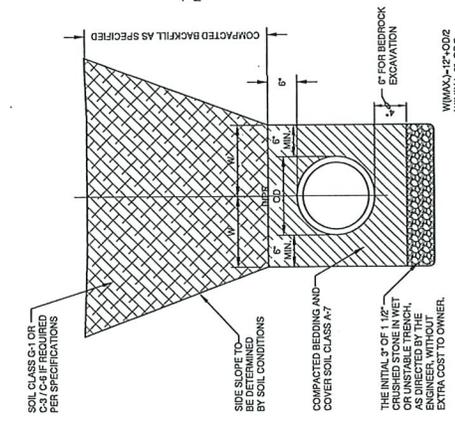


DETAIL FOR WATERMAIN OFFSET

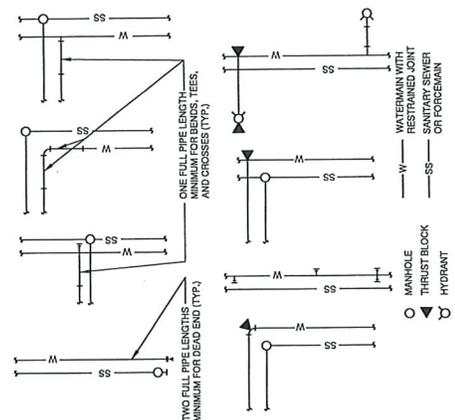


SERVICE PIPE	CORB STOP	CORB STOP	CORB STOP
1-1/4"	1-1/4"	1-1/4"	1-1/4"
1-1/2"	1-1/2"	1-1/2"	1-1/2"
Z	Z	Z	Z

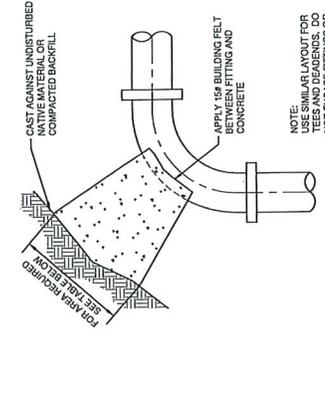
TAP SERVICE PIPING (COPPER)



DUCTILE IRON BEDDING AND TRENCH DETAIL



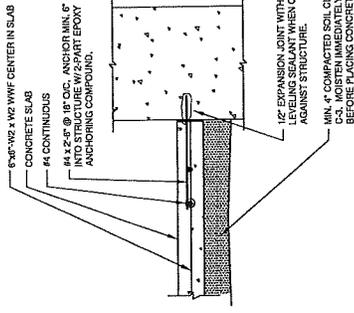
TYPICAL WATERMAIN RESTRAINT REQUIREMENTS FOR COMMON TRENCH CONSTRUCTION



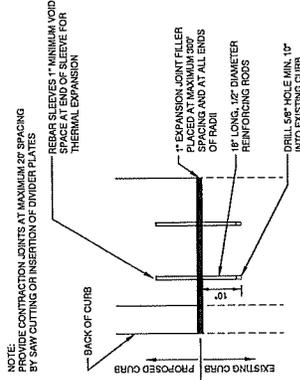
THRUST BLOCK AREA REQUIREMENTS, S.F.

DEGREE OF BEND	4" PIPE	6" PIPE	8" PIPE	10" PIPE	12" PIPE
5" TO 22.5"	1.0	1.0	2.0	3.0	4.0
22" TO 45"	1.0	2.0	4.0	6.0	8.0
45" TO 90"	2.0	4.0	8.0	12.0	16.0
TEE OR DEAD END	2.0	3.0	5.0	8.0	10.0

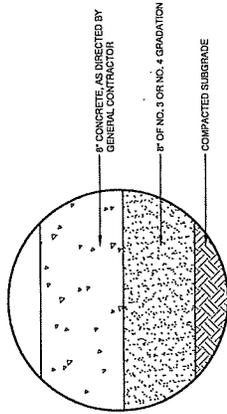
TYPICAL THRUST BLOCK



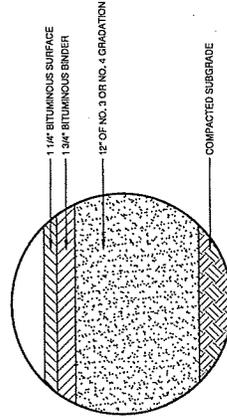
TYPICAL SIDEWALK ADJACENT TO STRUCTURE



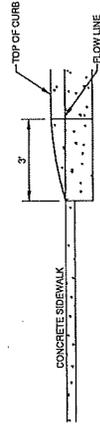
CURB TIE-IN DETAIL  
(PROPOSED TO EXISTING)



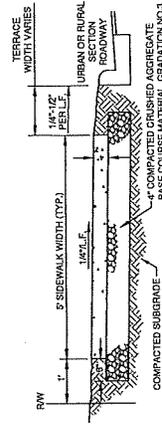
CONCRETE PAVEMENT



LIGHT DUTY ASPHALT PAVEMENT

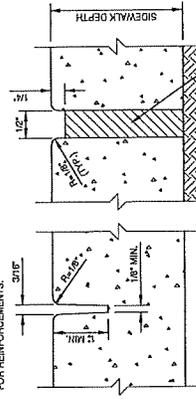


CURB TAPER DETAIL



TYPICAL SECTION

NOTE: TO SPECIFICATIONS FOR REINFORCEMENTS.



TOOLED CONTRACTION JOINT EXPANSION JOINT

WALK WIDTH	CONTRACTION JOINT SPACING	EXPANSION JOINT SPACING
4'	5'	100' MAX.
5'	5'	100' MAX.
6'	5'	100' MAX.
8'	5'	100' MAX.
10'	5'	100' MAX.
12'	5'	100' MAX.

SIDEWALK DETAIL

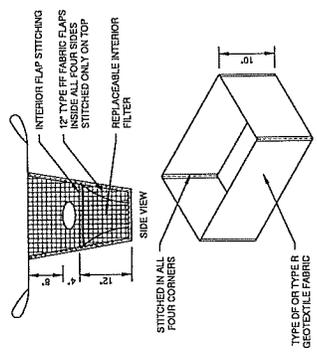


**NOTES:**

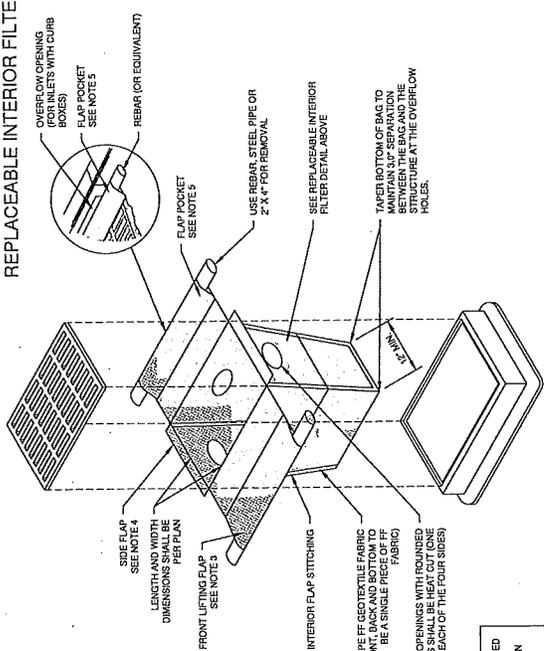
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**MAINTENANCE NOTES:**

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FILTER BAG DOES NOT FALL INTO THE INLET. SEDIMENT THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



**REPLACEABLE INTERIOR FILTER**



**FILTER FABRIC TYPE**

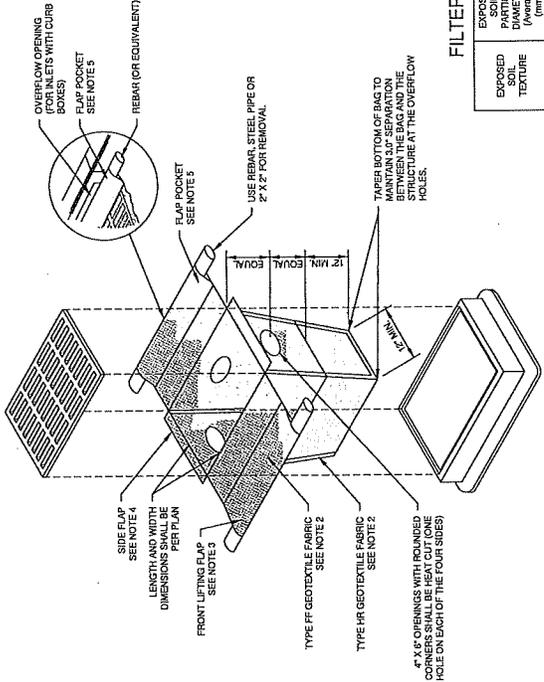
EXPOSED PARTICLE TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (mm)	RECOMMENDED FILTER FABRIC TYPE*	PROTECTION DEVICE TYPE
COARSE (SAND)	20.025	FF	D, D-M
MEDIUM (SILT/LOAM)	0.075 - 0.025	DF	D, D-M
FINE (CLAY)	0.004	R	D-M
		HR	D-HR

\* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

\*\* FOLLOW DESIGN CRITERIA OF VDMR TECHNICAL STANDARD 18B

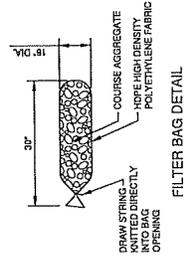
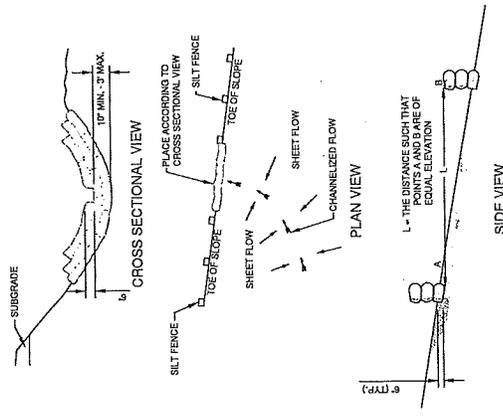
**NOTES:**

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



**INLET PROTECTION, TYPE D-HR**

(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



**NOTES:**

1. 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:  
 HOPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING.  
 HOPE HIGH DENSITY POLYETHYLENE DRAW STRING WITH APPARENT OPENING SIZE NO LARGER THAN 80% OF BAG OPENING.  
 ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING THREAD 150 STITCHES PER INCH STITCH DENSITY.
2. USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS

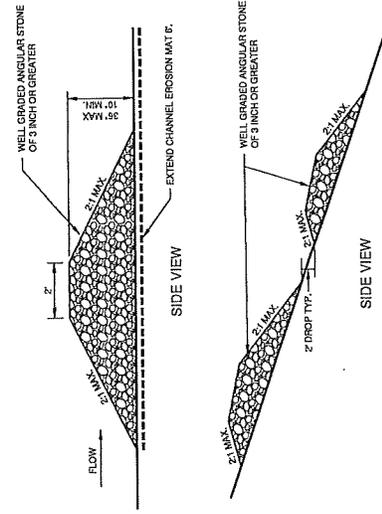
SIZE NO.	ASHTO No. 97 (1)
2 INCH (50.8 mm)	100
1 1/2 INCH (37.5 mm)	90-95
1 INCH (25.0 mm)	75-85
3/8 INCH (9.5 mm)	5-10
No. 4 (4.75 mm)	0-5
No. 8 (2.36 mm)	0-5

(1) SIZE No. ACCORDING TO ASHTO M 43

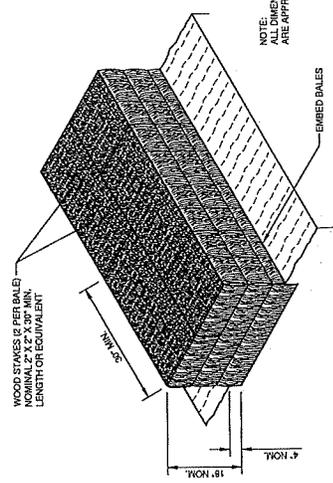
### ROCK FILLED EROSION CONTROL BAGS TYPE B

**DITCH CHECK GENERAL NOTES:**

1. DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 108E.
2. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
3. DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.

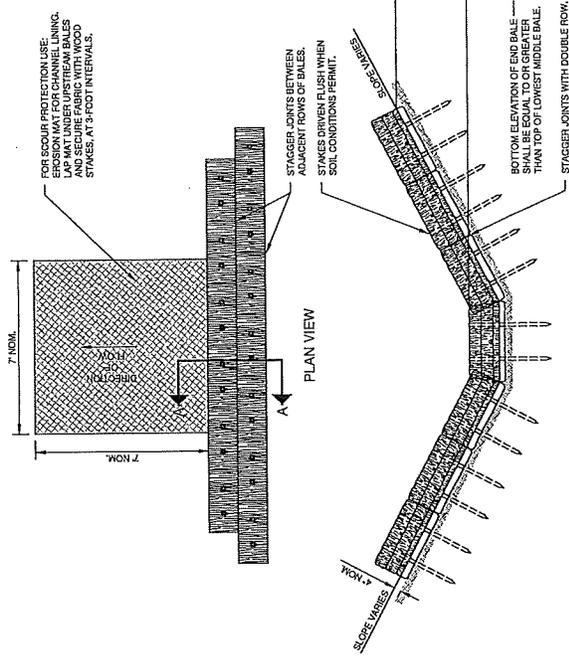


### TEMPORARY DITCH CHECK USING STONE TYPE C



**NOTE:**  
ALL DIMENSIONS ARE APPROXIMATE

### SECTION A-A

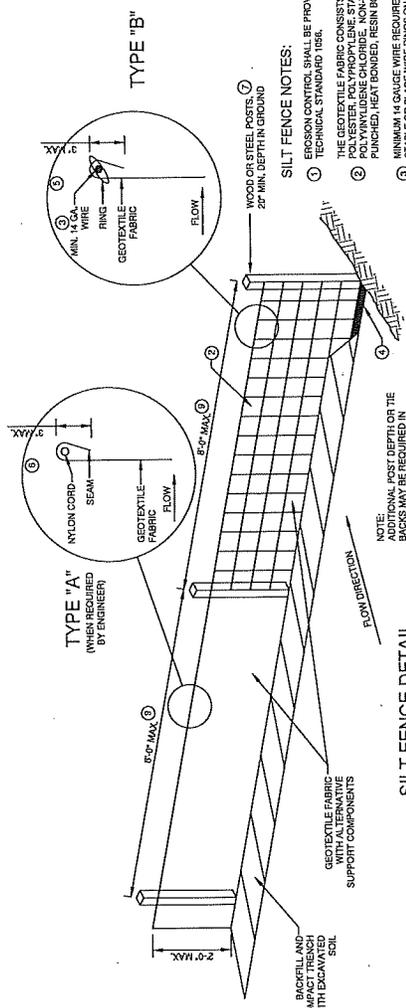


### TEMPORARY DITCH CHECK USING EROSION BALES TYPE A

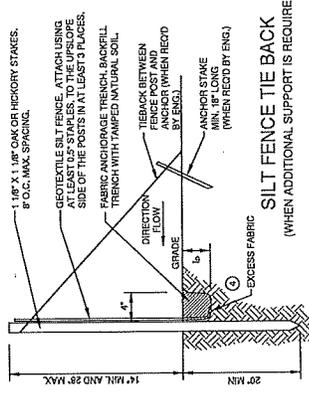
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DESIGNED	CHECKED	IN CHARGE

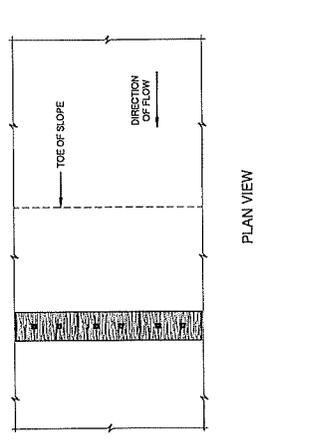
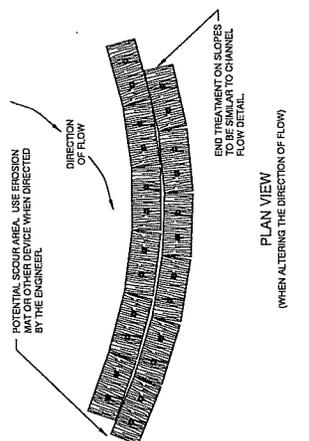
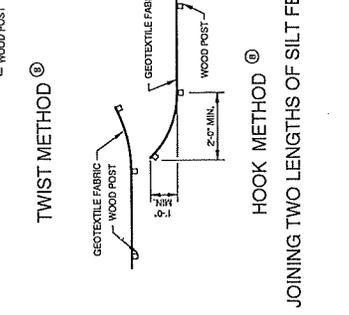
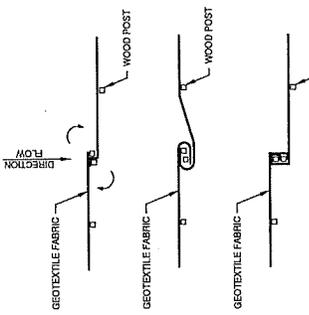
STURGEON BAY MULTIFAMILY DEVELOPMENT FOR NICOLET LUMBER COMPANY CITY OF STURGEON BAY DOOR COUNTY, WISCONSIN	EROSION CONTROL DITCH CHECK DETAILS	 Robert E. Lee & Associates, Inc. ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES 1251 CHINA CREEK ROAD, SUITE 200 WAUKESHA, WI 53186 TEL: 262-781-2841 WWW.RELEE.COM	SHEET NO. <b>13</b>
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- SILT FENCE NOTES:**
- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WINDY TECHNICAL STANDARD 10A.
  - THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYPROPYLENE OR POLYETHYLENE TEREPHTHALATE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
  - MINIMUM 14 GAUGE WIRE REQUIRED. FOLD FABRIC OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
  - EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 2" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
  - WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
  - GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE OR POLYETHYLENE TEREPHTHALATE NETTING OR EQUIVALENTS REQUIRED. (TYPE A)
  - STEEL POSTS SHALL BE 5" LONG WITH A MINIMUM STRENGTH OF 120 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
  - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE. BY CUTTING LENGTHS FROM A ROLL, THE JOINTS SHALL BE REINFORCED WITH THE METHODS A) TWIST METHOD - OVER LAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 90 DEGREES. B) HOOK METHOD - HOOK THE END OF EACH SILT FENCE LENGTH.
  - THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.



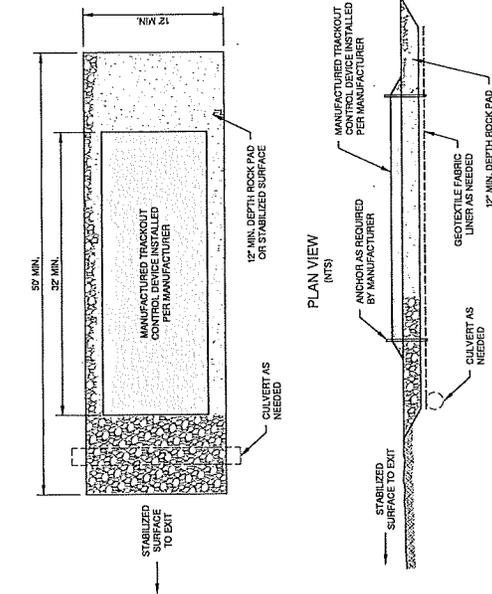
- EROSION CONTROL SHEET FLOW NOTES:**
- ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
  - A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SOODED.
  - ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
  - ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOTE ALLOWED.
  - ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
  - FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
  - ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WIND.
  - WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESEEDS/WATER REQUIRERS.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WORK CONSERVATION PRACTICE STANDARD'S LATEST EDITION.
  - UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
  - FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING. A MINIMUM OF ONCE A WEEK AND BEFORE ALL WEATHER EVENTS.
  - EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.



**JOINING TWO LENGTHS OF SILT FENCE**

**EROSION BALES FOR SHEET FLOW**

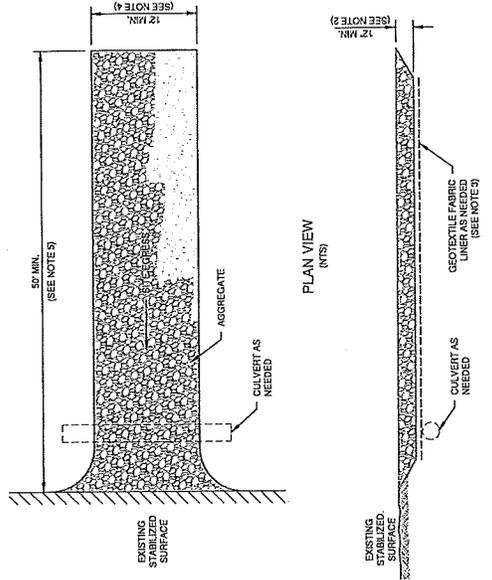
\* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WOPR TECHNICAL STANDARD 167



NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURERS SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXISTING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



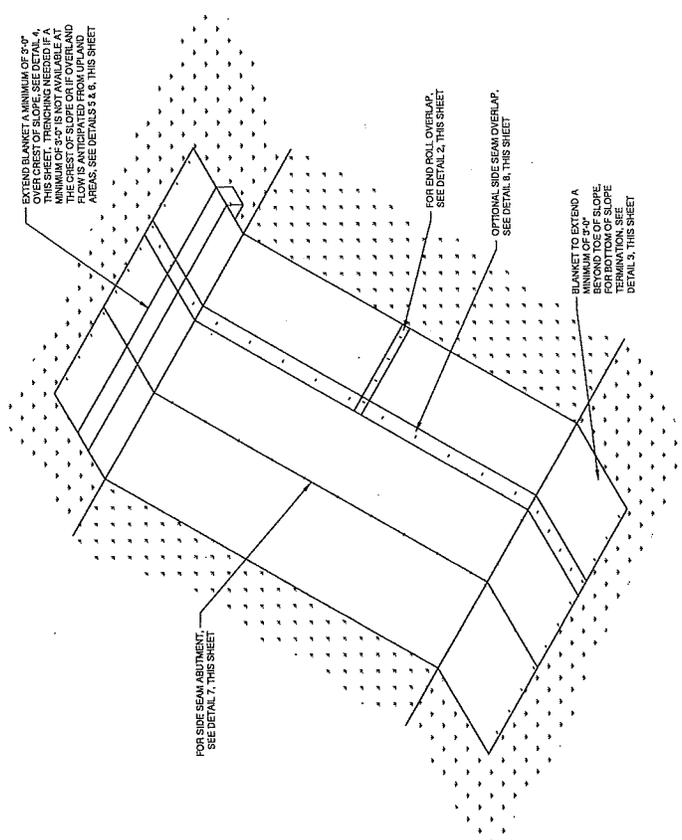
SECTION VIEW

- NOTES:
1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

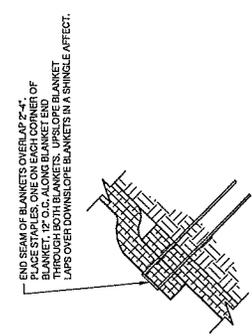
SEIVE SIZE:	PERCENT BY WEIGHT PASSING:
2 1/2"	90-100
1 1/2"	25-50
3/8"	0-5
3/4"	0-5

2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

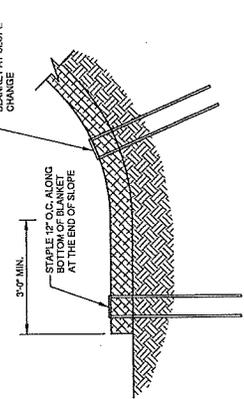
STONE TRACKING PAD DETAIL



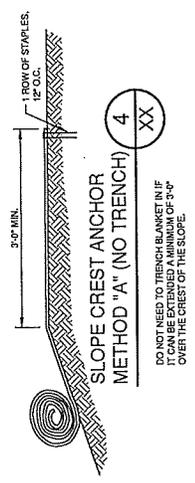
**1** XX  
SLOPE DETAIL



**2** XX  
END ROLL OVERLAP

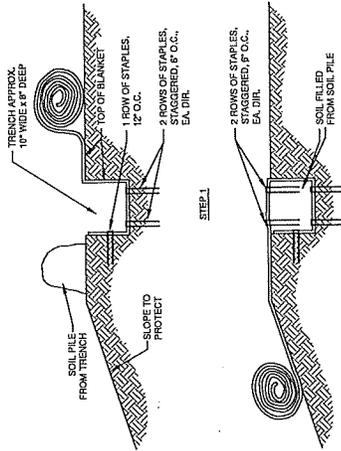


**3** XX  
BOTTOM OF SLOPE TERMINATION

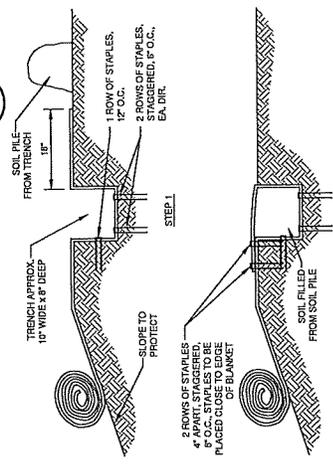


**4** XX  
SLOPE CREST ANCHOR METHOD "A" (NO TRENCH)

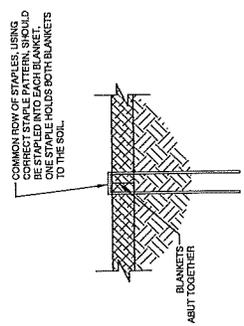
DO NOT NEED TO TRENCH BLANKET IF TRENCH IS 3'-0" OR DEEPER OVER THE CREST OF THE SLOPE.



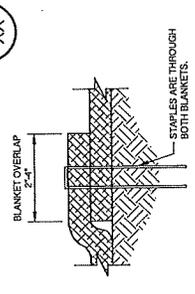
**5** XX  
SLOPE TRENCHING METHOD "B"



**6** XX  
SLOPE TRENCHING METHOD "C"

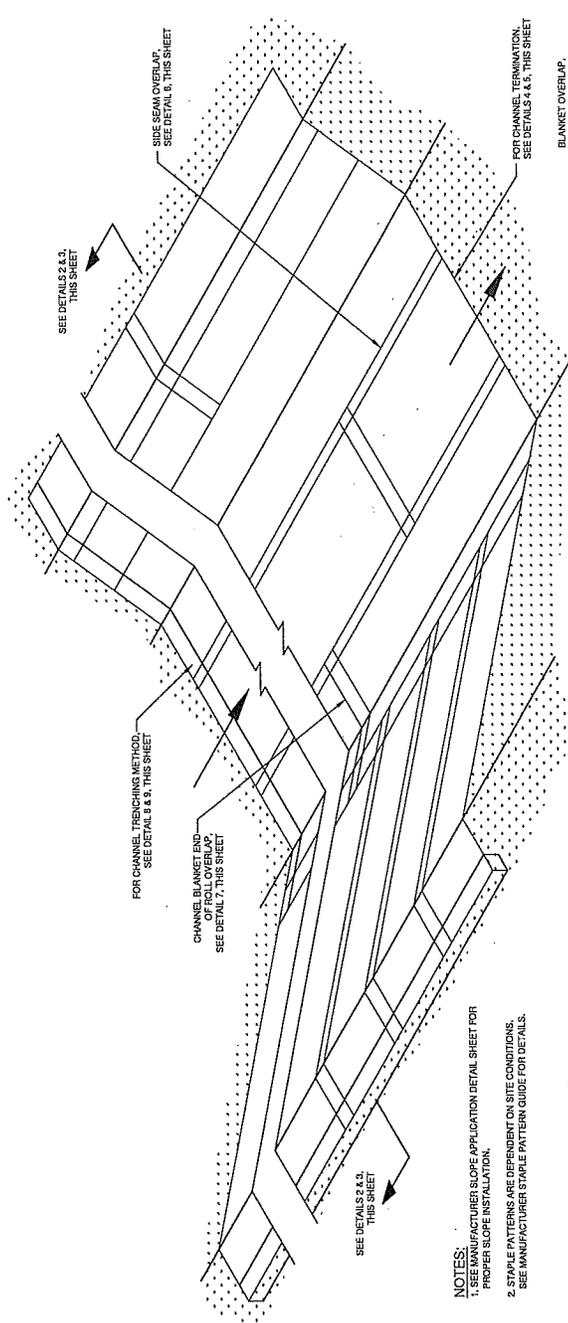


**7** XX  
SIDE SEAM ABUT STAPLE DETAIL

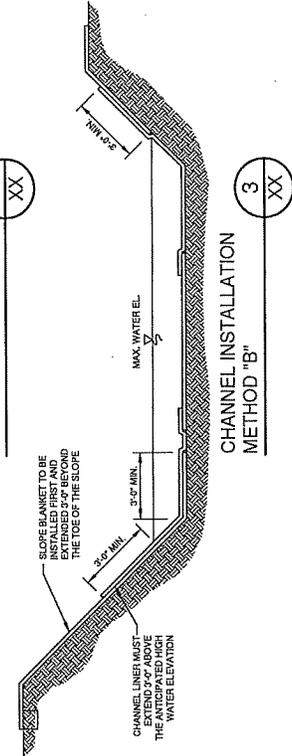
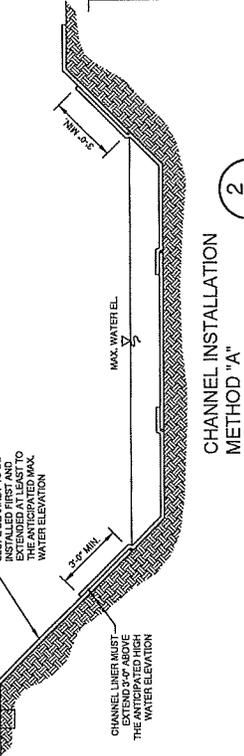
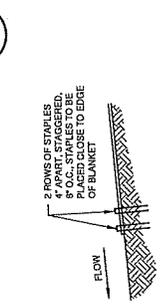
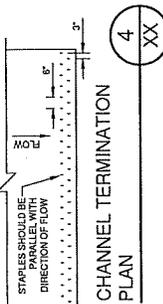
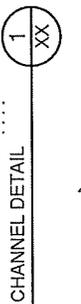
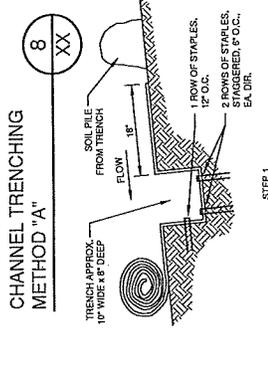
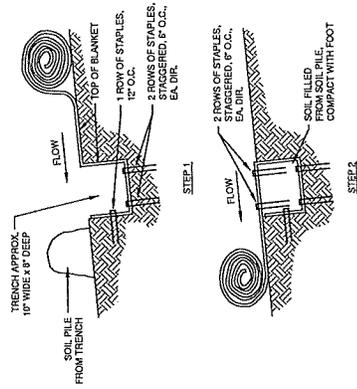


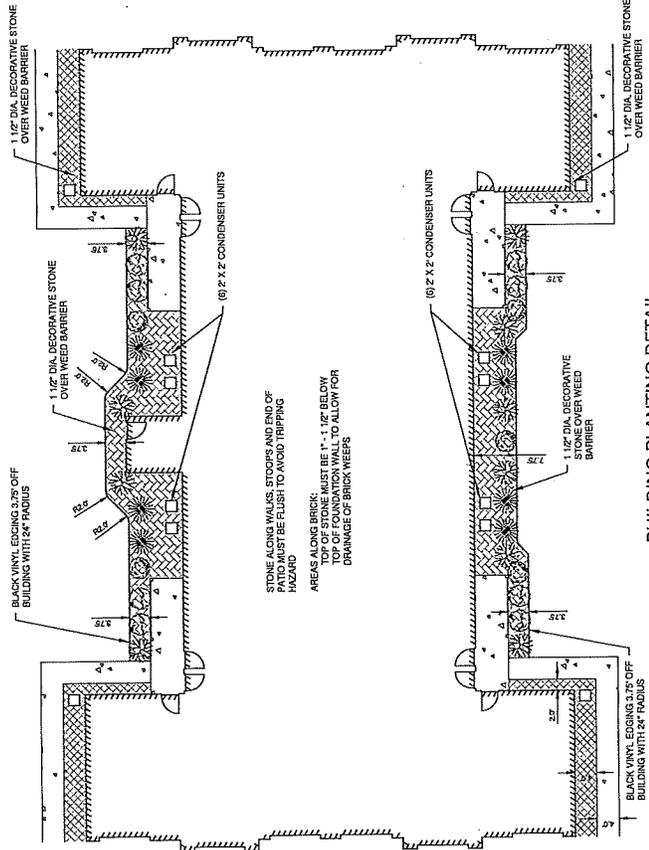
**8** XX  
SIDE SEAM OVERLAP STAPLE DETAIL

NOTES:  
1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS.  
SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



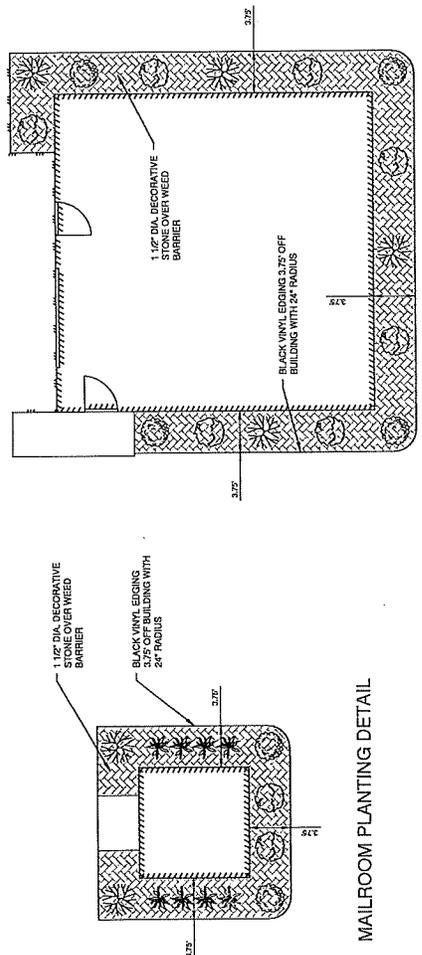
**NOTES:**  
 1. SEE MANUFACTURER'S SCOPE APPLICATION DETAIL SHEET FOR PROPER SLOPE INSTALLATION.  
 2. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



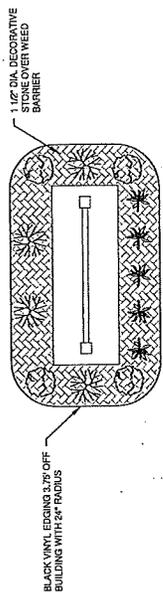


STONE ALONG WALKS, STAIRS AND END OF  
 WALKS MUST BE FLUSH TO AVOID TRIPPING  
 HAZARD  
 AREAS ALONG BRICK  
 TOP OF STONE MUST BE 1" - 1 1/2" BELOW  
 TOP OF FOUNDATION WALL TO ALLOW FOR  
 DRAINAGE OF BRICK WEEPS

BUILDING PLANTING DETAIL



MAILROOM PLANTING DETAIL



SINGLE FACED SIGN PLANTING DETAIL

LEGEND

SYMBOL	SPECIES		PLANT SIZE
	COMMON NAME	SCIENTIFIC NAME	
	Goldfinger Potentilla	<i>Potentilla Franchetiana</i> 'Goldfinger'	3 GAL
	Hartz Nidget Lobelia	<i>Thysa occidentalis</i> 'Hartz Nidget'	5 GAL
	Blumullin Arrowwood Viburnum	<i>Viburnum Dentatum</i> 'Christine'	5 GAL
	Goldblume Spirea	<i>Spiraea x Bumsels</i> 'Goldblume'	3 GAL
	Stella D'Or Dwarf Daylily	<i>Hemerocallis x Stella de Or'</i>	1 GAL

OFFICE / GARAGE PLANTING DETAIL

STURGEON BAY MULTI-FAMILY DEVELOPMENT  
 FOR NICOLET LUMBER COMPANY  
 DOR COUNTY, WISCONSIN

DESIGNED BY  
 CHECKED BY  
 APPROVED BY

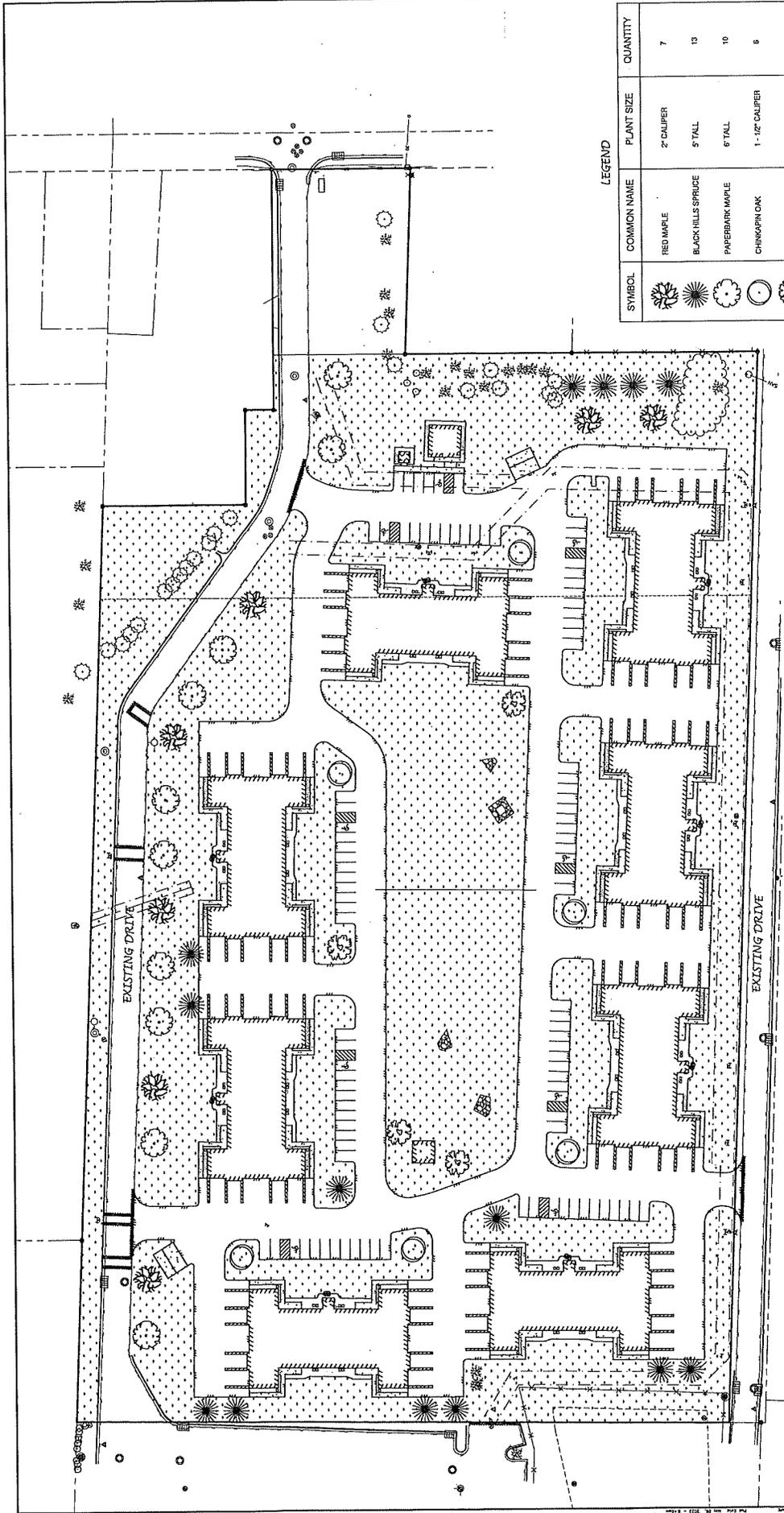
NO.	DATE	APPROV.	NO.	DATE	APPROV.

DATE  
 DRAWN BY  
 CHECKED BY  
 APPROVED BY

BUILDING LANDSCAPE PLAN

Robert E. Lee & Associates, Inc.  
 INCORPORATED  
 1000 W. WISCONSIN AVENUE  
 SUITE 200  
 MILWAUKEE, WI 53233  
 TEL: 414-333-8888  
 FAX: 414-333-8889  
 WWW: RELEE.COM

SHEET NO.  
 L1



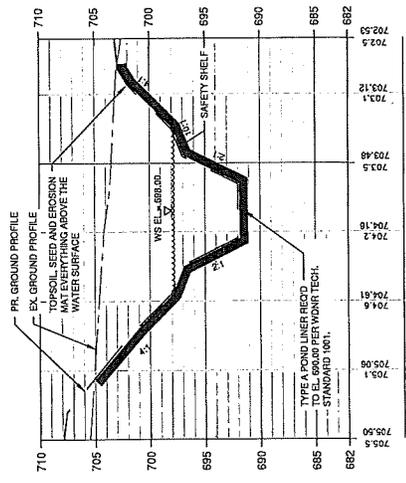
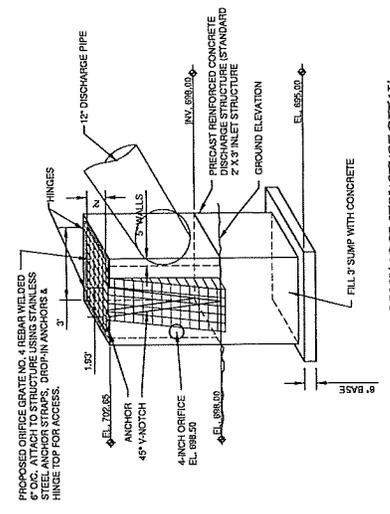
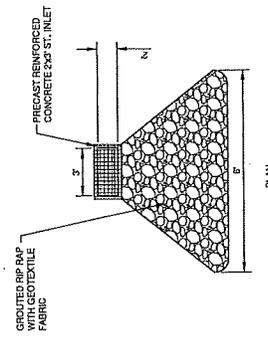
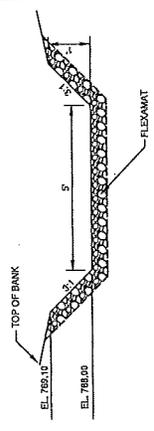
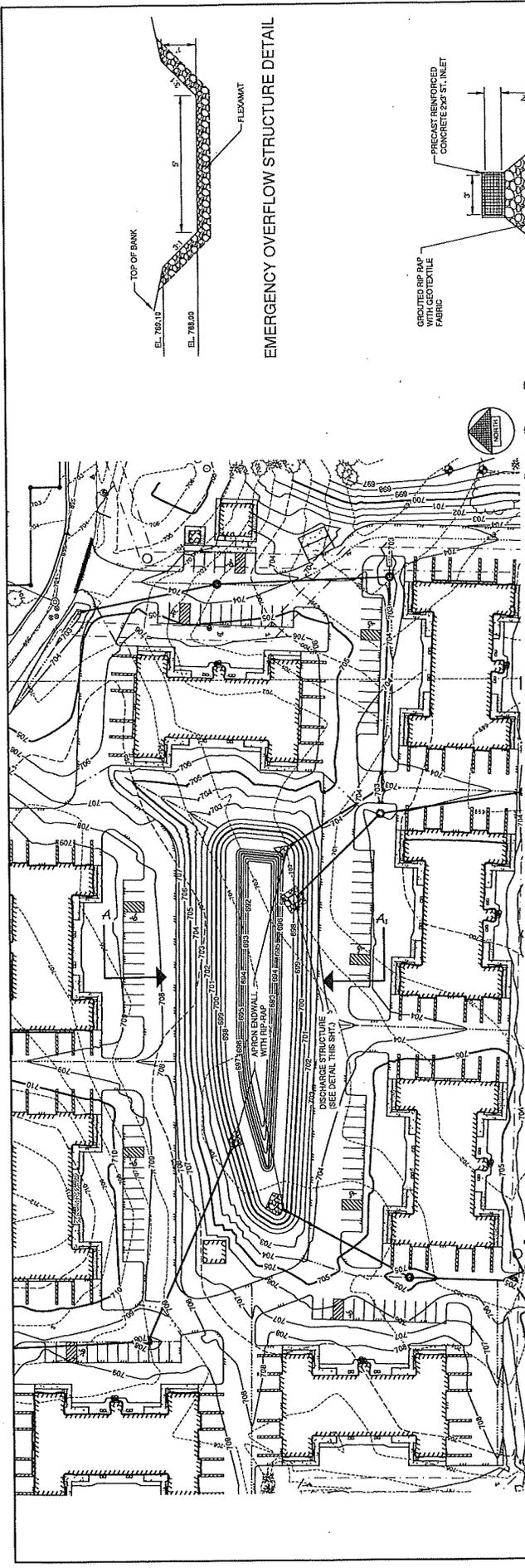
LEGEND

SYMBOL	COMMON NAME	PLANT SIZE	QUANTITY
	RED MAPLE	2" CALIPER	7
	BLACK HILLS SPRUCE	5' TALL	13
	PAPERBARK MAPLE	6' TALL	10
	CHINQUAPIN OAK	1-1/2" CALIPER	6
	CALLERY PEAR	6' TALL	4
	TOTAL		40



SCALE IN FEET  
 0' 10' 20'

NO. 1	DATE	APPROV.	NO.	DATE	APPROV.
	DESIGNED	CHECKED	REVISION	REASON	
<p>STUGEON BAY MULTI-FAMILY DEVELOPMENT          FOR NICOLET LUMBER COMPANY          DOOR COUNTY, WISCONSIN</p>					
<p>OVERALL LANDSCAPING PLAN</p>					
<p>Robert E. Lee &amp; Associates, Inc.          ENGINEERS, ARCHITECTS, LANDSCAPE ARCHITECTS          1001 W. WISCONSIN ST., SUITE 200          MILWAUKEE, WI 53233          TEL: 414-224-8844 FAX: 414-224-8844          WWW.RELEE.COM</p>					
<p>SHEET NO. L2</p>					



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CHECKED	DESIGNED	DATE	PROJECT	SHEET NO.
												STURGEON BAY MULTI-FAMILY DEVELOPMENT FOR NICOLET LUMBER COMPANY CITY OF STURGEON BAY DOOR COUNTY, WISCONSIN	P
												Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1550 CEDAR BLVD., SUITE 200 MILWAUKEE, WI 53155 TEL: 414-224-2141 FAX: 414-224-2142 WWW: WWW.RELIANT.COM	

# Proposed 12 Unit Building For: Nicolet Lumber Co.

STURGEON BAY, WI  
Buildings 1,2,3,4,5,6,7, AND 8

INDEX TO DRAWINGS	
SHEET NUMBER	SHEET DESCRIPTION
12	COVER SHEET & PROJECT NOTES
AR	ARCHITECTURAL
02	SITE PLAN
03	FIRST FLOOR PLAN
04	SECOND FLOOR PLAN
05	EXTERIOR ELEVATIONS
06	SECTION 4 - FLOOR DETAIL
07	SECTION 5 - SCHEDULE
08	SECTION 6 - E.D.
09	SECTION 7 - DOOR DETAILS
10	SECTION 8 - WINDOW DETAILS

**PROJECT TEAM**

**Owner:**  
NICOLET LUMBER CO.  
GREEN BAY, WI 54313  
ATTN: PROJECT MANAGER  
CONTACT: JOE HEBBANS

**PROJECT ARCHITECT:**  
LLOYD CARPENTER-ARCHITECT, LLC  
2039 MARKET HILLS DRIVE  
GREEN BAY, WISCONSIN 54313  
CONTACT: LLOYD CARPENTER

**Compliance Certificate**  
Project: 12 Unit Condominium  
Issued: 03/28/2019  
Version: 4.4.4

**Envelope Assemblies**

Envelope Assembly	U-Value	R-Value	Notes
Roof	0.04	25.00	Asph/Flt Shingles on 2" X 4" Joists on 2" X 12" Rafters
Walls	0.12	8.33	8" CMU with 1" Gypsum Board
Floors	0.08	12.50	4" Concrete on 2" X 12" Joists
Windows	0.35	2.86	Double Glazed, Low-E Windows
Doors	0.25	4.00	Insulated Core Doors

**DRAFTING SYMBOLS**

SECTION BOX  
LEVEL  
DIMENSION  
FINISH  
ELECTRICAL  
MECHANICAL  
PLUMBING  
HVAC  
STRUCTURAL  
FOUNDATION  
GENERAL NOTES  
ELECTRICAL SYMBOLS  
MECHANICAL SYMBOLS  
PLUMBING SYMBOLS  
HVAC SYMBOLS  
STRUCTURAL SYMBOLS  
FOUNDATION SYMBOLS

**GENERAL NOTES**

- CONSTRUCTION OF THIS BUILDING SHALL BE IN ACCORDANCE WITH THE 2009 IBC WITH LOCAL AMENDMENTS AND THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC) WITH LOCAL AMENDMENTS.
- CONTRACTOR SHALL VERIFY ALL MATERIALS, BRANDS, TYPES, AND SPECIFICATIONS ARE AS SHOWN ON THE DRAWINGS AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.

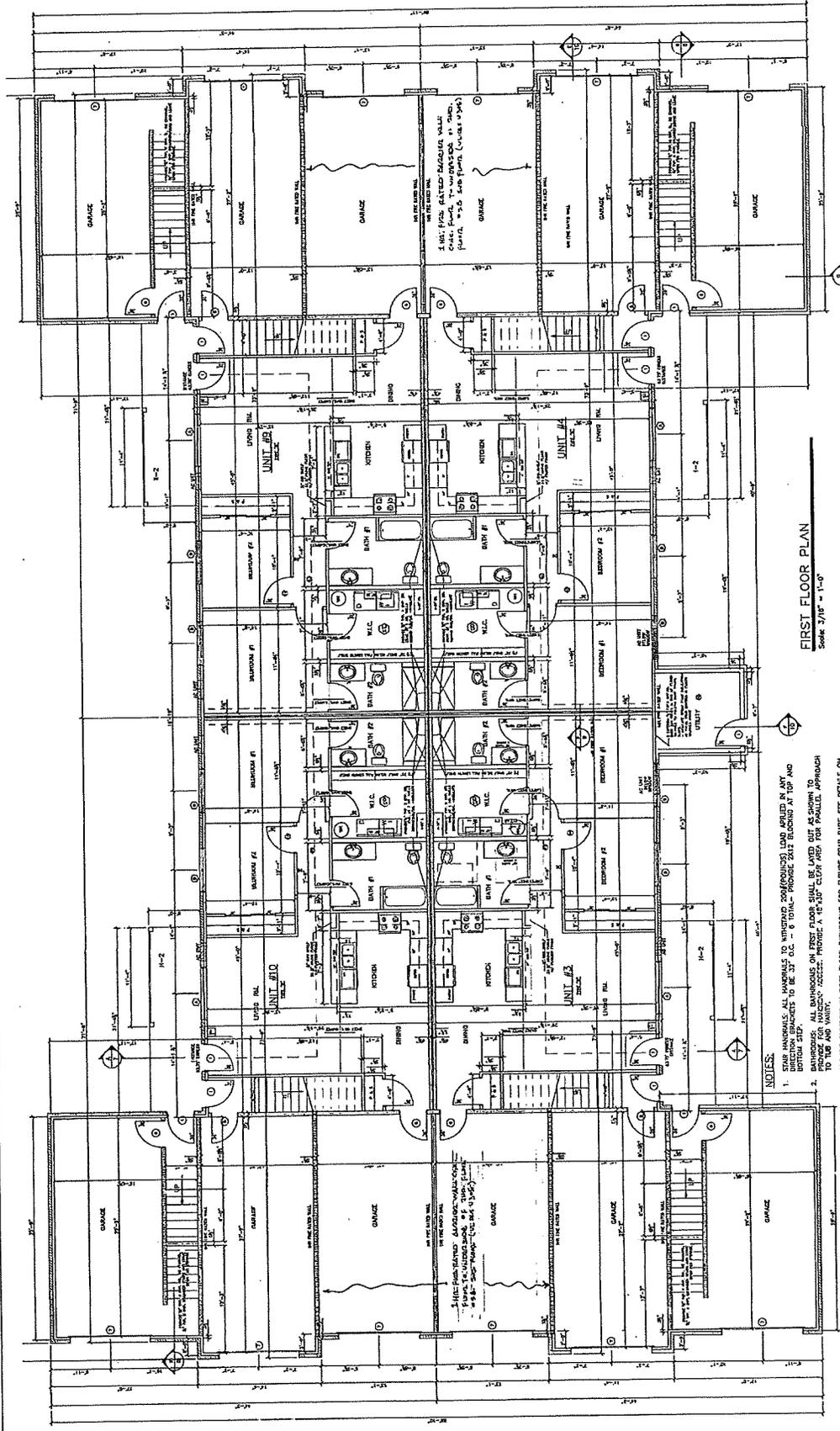
**BUILDING CODE SUMMARY**

Code	Description
2009 IBC	INTERNATIONAL BUILDING CODE
2015 IMC	INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE
2015 IRC	INTERNATIONAL RESIDENTIAL CODE
2015 ISBC	INTERNATIONAL SIGNAGE BUILDING CODE
2015 IFBC	INTERNATIONAL FIRE BUILDING CODE
2015 IFHC	INTERNATIONAL FIRE HIGHWAY CODE
2015 IFPC	INTERNATIONAL FIRE PUMP CODE
2015 IFSC	INTERNATIONAL FIRE SMOKE CONTROL CODE
2015 IFVBC	INTERNATIONAL FIRE VENTILATION CODE
2015 IFWBC	INTERNATIONAL FIRE WIND RESISTANCE CODE
2015 IFXBC	INTERNATIONAL FIRE EXITS CODE
2015 IFYBC	INTERNATIONAL FIRE YARD CODE
2015 IFZBC	INTERNATIONAL FIRE ZONING CODE

**ABBREVIATIONS**

AB	APERTURE BOX
AC	ACCESS
AD	ADJUSTABLE
AE	ALUMINUM
AF	ALUMINUM FINISH
AG	ALUMINUM GLASS
AH	ALUMINUM HANDRAIL
AI	ALUMINUM INSULATION
AJ	ALUMINUM JOINT
AK	ALUMINUM KICKER
AL	ALUMINUM LATH
AM	ALUMINUM MESH
AN	ALUMINUM NAIL
AO	ALUMINUM OILING
AP	ALUMINUM PANEL
AQ	ALUMINUM QUARTZ
AR	ALUMINUM RAIL
AS	ALUMINUM SILL
AT	ALUMINUM TIE
AV	ALUMINUM VENT
AW	ALUMINUM WIRE
AX	ALUMINUM X-RAY
AY	ALUMINUM YIELD
AZ	ALUMINUM ZINC
BA	BALANCE
BB	BALANCE BEAM
BC	BALANCE BOARD
BD	BALANCE BRACKET
BE	BALANCE BRUSH
BF	BALANCE BUSH
BG	BALANCE BUSH
BH	BALANCE BUSH
BI	BALANCE BUSH
BJ	BALANCE BUSH
BK	BALANCE BUSH
BL	BALANCE BUSH
BM	BALANCE BUSH
BN	BALANCE BUSH
BO	BALANCE BUSH
BP	BALANCE BUSH
BQ	BALANCE BUSH
BR	BALANCE BUSH
BS	BALANCE BUSH
BT	BALANCE BUSH
BU	BALANCE BUSH
BV	BALANCE BUSH
BW	BALANCE BUSH
BX	BALANCE BUSH
BY	BALANCE BUSH
BZ	BALANCE BUSH

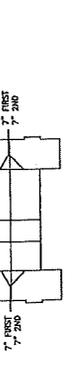
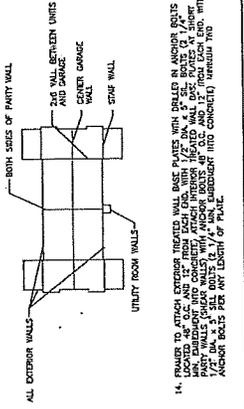




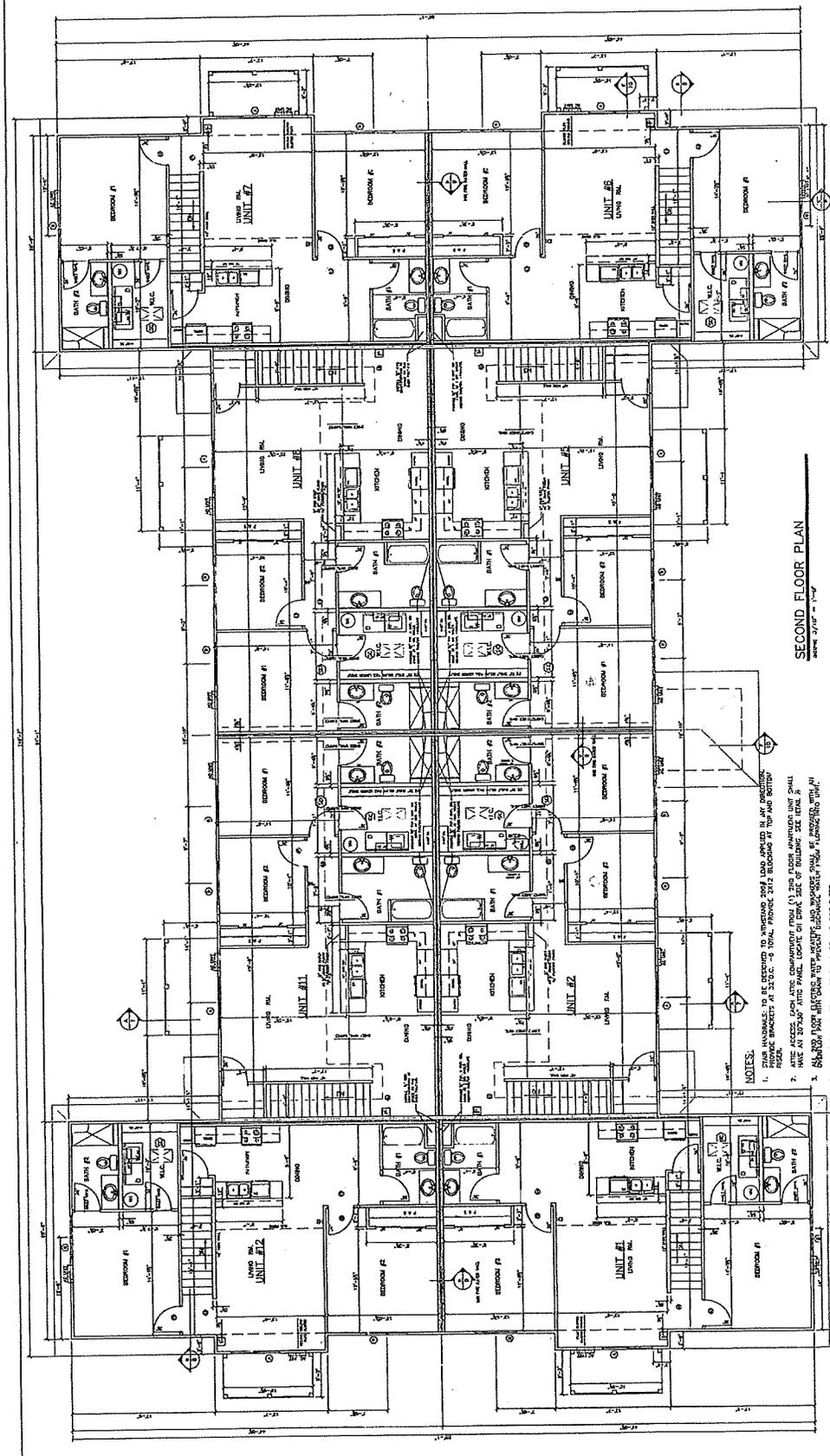
FIRST FLOOR PLAN  
 SCALE: 3/8" = 1'-0"

- NOTES:**
1. FLOOR FINISHES: ALL WALLS TO UNPAINTED 2X4 STUDS (UNLESS NOTED OTHERWISE). ALL FLOOR FINISHES TO BE 3/4" O.C. - 8' TOTAL. PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM SIPS. ALL DIMENSIONS ON FLOOR PLAN SHALL BE LAYED OUT AS SHOWN TO CENTER UNLESS OTHERWISE NOTED. PROVIDE 1/2" CLEARANCE FOR PARALLEL APPROACH TO THE AND WALKWAY.
  2. PROVIDE BLOCKING IN FIRST FLOOR DIMENSIONS FOR FUTURE GRID BARS. SEE DETAILS ON SHEET 3.
  3. ALL FIRST FLOOR DOORS SHALL BE A MINIMUM OF "3'-0" TO PROVIDE A MINIMUM CLEAR OPENING OF 3'-0".
  4. LUMBER FOR HEADS, RAFTERS, PARTIES, AND OTHER STRUCTURAL FRAMING SHALL BE 2X4 UNLESS OTHERWISE NOTED. PROVIDE 2X4 PLATE BOTTOM OF HEADERS EXCEPT AT LOWER CORNERS OF CHIMNEY BARS AND SECOND FLOOR WITHOUT GIRDERS. PROVIDE 2X4 PLATE BOTTOM OF CHIMNEY BARS AND 2X4 STUDS ON RETIC.
  5. ALL WALLS EXCEPT UNITS SHALL BE ONE HOUR FIRE RATED.
  6. EXTERIOR DOORS TO BE 2X4 BOND 1" EXTRUDED POLYSTYRENE TYP. I.
  7. PROVIDE 2X4 STUDS AT TOP OF EXTERIOR DOORS.
  8. AT ALL FIRST FLOOR WINDOWS ONLY INSTALL 2X4 PLATE BOTTOM OF HEADERS.
  9. PROVIDE 2X4 STUDS AT TOP OF ALL WINDOWS.
  10. PROVIDE MAXIMUM DOUBLE STUD POST AT EACH END OF ALL WINDOW HEADERS AND CHIMNEY BARS. PROVIDE 2X4 STUDS AT TOP OF CHIMNEY BARS.
  11. PROVIDE 2X4 STUDS AT TOP OF ALL WINDOW HEADERS AND CHIMNEY BARS.
  12. HANG DOORS AND SCHEDULE FOR SECOND FLOOR INSTALL 1/2" X 4" WATED ORB BRACING ROOM IS 3' BEYOND WINDOW TO TOP.
  13. AC STUDS ARE 20 1/4" X 16 1/4" X 1/4". BEDROOM S ARE 47" ABOVE FLOOR TO BILL LIVING ROOM IS 3' BEYOND WINDOW TO TOP.

- NOTES: FIRE ALARM SYSTEM**
1. ALL FIRE ALARMS SHALL BE LOCATED AT THE TOP OF THE UNIT AND A WORK LOCATED IN THE HALL BY THE BEDROOM.
  2. ALL SMOKE DETECTORS SHALL BE CORRECTLY AND PERMANENTLY WIRED TO A PROPER UNINTERRUPTED CIRCUIT AND BE PROVIDED WITH A BATTERY POWER SOURCE.
  3. SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
  4. SMOKE DETECTORS SHALL BE LOCATED IN THE UNIT DOOR AND SHALL BE WIRED TO AN UNINTERRUPTED CIRCUIT WITH BATTERY POWER SOURCE.
- (A) SMOKE ALARM  
 (B) FIRE ALARM HOORN  
 (C) FIRE ALARM FULL STATION  
 (D) CORNER SMOKE/CORNER MONITORING DETECTOR



15. THE FOLLOWING IS A SCHEDULE FOR FASTENING STUDS TO SUPPORTED PANELS. ALL FASTENERS SHALL BE AS SHOWN BELOW.
- FIRST FLOOR  
 0" O.C. OVER CHANNELS @ 12" O.C.  
 WALL FASTENER SPACING SHALL BE AS SHOWN BELOW



SECOND FLOOR PLAN  
 Scale: 3/16" = 1'-0"

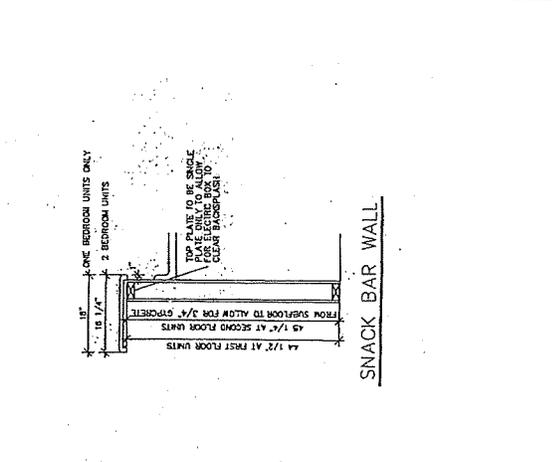
- NOTES: FIRE ALARM SYSTEM**
1. EACH UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE END OF THE UNIT AND A HORN LOCATED IN THE HALL OF THE APARTMENT.
  2. THE FIRE ALARM STATIONS SHALL BE WIRING TO A PROPERLY LICENSED CONTRACTOR AND BE INSTALLED WITH A LOCAL POWER SOURCE.
  3. PULL STATIONS SHALL BE LOCATED AT EACH UNIT ENTRY AND IN EACH COMMON AREA.
  4. UNWIRING SHALL BE DONE BY THE CONTRACTOR AND SHALL BE WIRING TO AN APPROVED CONTRACTOR WITH CURRENTLY VALID LICENSE.
- A FIRE ALARM STATION  
 B FIRE ALARM HORN  
 C COMBINATION FIRE ALARM STATION AND HORN

1. THE FOLLOWING IS A SCHEDULE FOR FASTENING OPTIMAL BOARD AT SUPPORTED PANEL. FIRST FLOOR CHANNELS @ 12" O.C. OVER CHANNELS @ 12" O.C. WALL FASTER SCHEDULE SHALL BE AS SHOWN BELOW.
- 

2. STAIR HANDRAILS TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE 2018 IBC. THE HANDRAIL SHALL BE INSTALLED TO THE WALL AND SHALL BE 38" HIGH TO THE TOP OF THE HANDRAIL. THE HANDRAIL SHALL BE INSTALLED TO THE WALL AND SHALL BE 38" HIGH TO THE TOP OF THE HANDRAIL.
3. ALL WALLS BETWEEN UNITS SHALL BE 1/2" MIN. THICK.
4. FLOORING TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE 2018 IBC. THE FLOORING SHALL BE INSTALLED TO THE SLAB AND SHALL BE 1/2" MIN. THICK.
5. PORCELAIN TILE FLOORING TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE 2018 IBC. THE TILE SHALL BE 12" X 12" AND SHALL BE INSTALLED TO THE SLAB AND SHALL BE 1/2" MIN. THICK.
6. ALL WALLS SHALL BE 1/2" MIN. THICK AND SHALL BE INSTALLED TO THE SLAB AND SHALL BE 1/2" MIN. THICK.
7. AS SHOWN TO BE 38" X 1/2" MIN. THICK AND SHALL BE INSTALLED TO THE SLAB AND SHALL BE 1/2" MIN. THICK.
8. STAIRS TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE 2018 IBC. THE STAIRS SHALL BE INSTALLED TO THE SLAB AND SHALL BE 1/2" MIN. THICK.
9. STAIRS TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE 2018 IBC. THE STAIRS SHALL BE INSTALLED TO THE SLAB AND SHALL BE 1/2" MIN. THICK.
10. FIRE WALL PENETRATIONS TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE 2018 IBC. THE PENETRATIONS SHALL BE INSTALLED TO THE WALL AND SHALL BE 1/2" MIN. THICK.

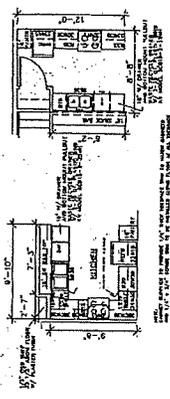




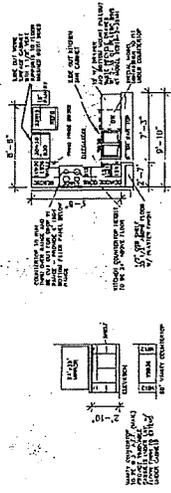


SNACK BAR WALL

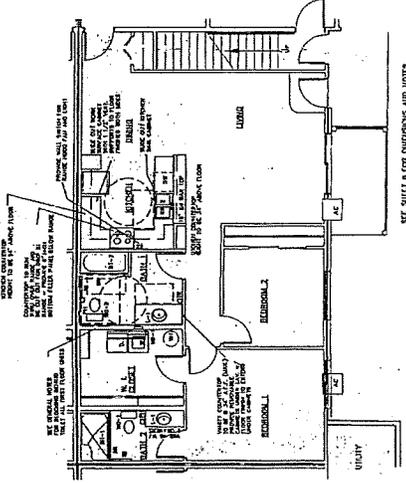
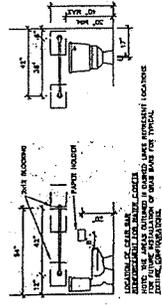
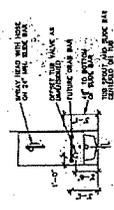
- NOTES:
- SEE SHEET 2 FOR ALL WALL DIMENSIONS AND NOTES. THIS DRAWING IS TO REFLECT ALL HANDICAP REQUIREMENTS.
  - BATHROOMS: ALL BATHROOMS ON FIRST FLOOR SHALL BE PROVIDED WITH A 48" X 30" CLEAR AREA FOR PARALLEL APPROACH TO TUB AND VANITY AND A 60" X 36" AREA AT WATER CLOSET. FUTURE GRAB BARS SEE DETAIL 'B' BATHROOMS FOR
  - DOORS: ALL FIRST FLOOR DOORS SHALL BE 48" MIN. W. 3'-0" AT ALL INTERIOR DOORS PROVIDE LEVER HANDLE. AT ALL INTERIOR DOORS PROVIDE LEVER HANDLE.
  - ALL LIGHTING CONTROLS SHALL BE OPERATED BY STAYS. CHANGE DOOR HARDWARE, AIR TIGHTENING CONTROLS, ALARM PULL AT KITCHEN RANGE, HOOD, PROVIDE WALL SWITCHES TO CONTROL PAN AND LIGHT.
  - ALL KITCHEN SINK, BATH TUB AND SHOWER/TUB CONTROLS WATER CLOSET SHALL BE OPERATED WITH 45" HIGHEST OF 15" - 19" ABOVE FLOOR, CENTERLINE OF WATER CLOSET TO BE 17" OFF WALL.
  - TUB/SHOWER MODULE SHALL BE FLUSH SIDEWALLS AND FRONT AND BACK END WALLS. PROVIDE HANDHELD SHOWER UNIT WITH 50" LONG MIN. HOSE ON VERTICAL BAR.
  - KITCHEN SINK BOWL SHALL HAVE BOWL DEPTH MAXIMUM OF 8 1/2" DEEP. PROVIDE TRAP WRAP ON ALL PIPING BELOW SINK.
  - SHOWER UNIT SHALL BE OPERATED BY STAYS. REFRIGERATOR TO BE MODEL WITH 80% OF FREEZER COMPARTMENT BELOW 34".



TYPICAL KITCHEN BATH CABINETS

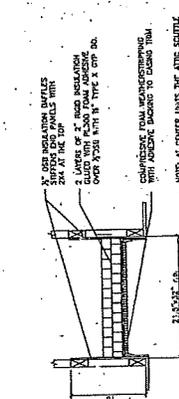
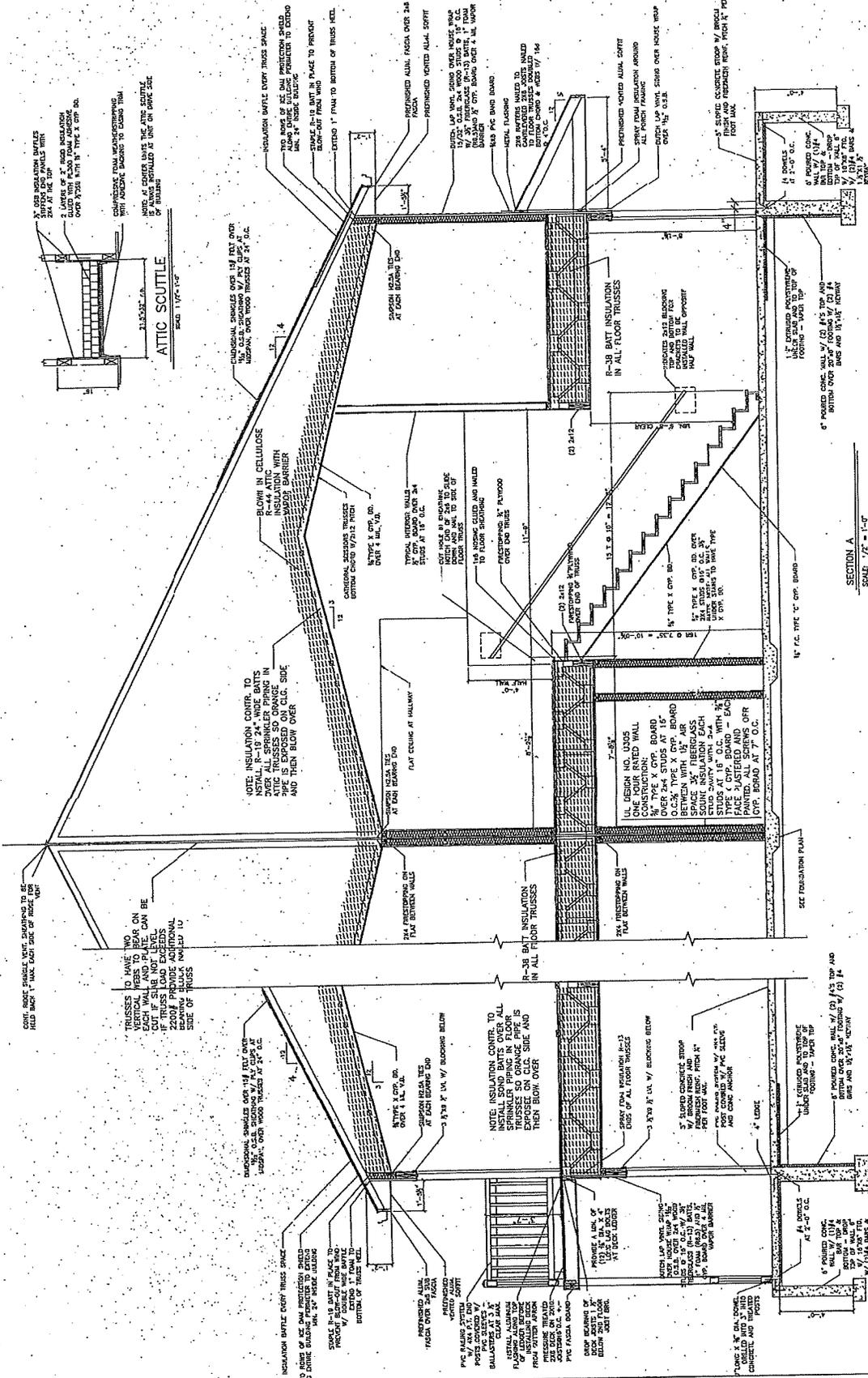


TYPE 'A' KITCHEN BATH CABINETS



1 FLOOR PLAN - TYPE 'A' HANDICAP  
 3/16" = 1'-0"

PROPOSED 12 UNIT APARTMENT  
 NICOLET LUMBER CO.  
 WISCONSIN  
 LLOYD CARPENTER-ARCHITECT, LLC  
 2669 WALTER HUBBARD DRIVE, SUITE 100, WATKINS, WI, 54983  
 TEL: 920.854.4343  
 FAX: 920.854.4344  
 CARPENTER@SMALL.COM



CONSTRUCTION FROM EXISTING TRUSS.  
 1. 2x4 JOIST OVER TRUSS WITH 2x4 AT THE TOP.  
 2. 1/2\"/>

UNUSUAL SCHEDULE OVER 15\"/>

NOTE: INSULATION CONTR. TO INSTALL R-19 2x4 WIDE BATT INSULATION IN ALL FLOOR TRUSSES. SO ORANGE PIPE IS EXPOSED ON C.G. SIDE AND THEN BLOW OVER.

TO HAVE TWO ON EACH WALL AND PLATE CAN BE CUT IN SILENT NOT LEVEL. 2x4'S PROVIDE ADDITIONAL BEARING BLOCKS NEARLY TO SIDE OF TRUSS.

UNUSUAL SCHEDULE OVER 15\"/>

INSULATION BATTLE EVERY TRUSS SPACE. NO BATT OF 2x4 OR PROTECTION SHIELD ON DURING BRACING AT PROPOSED JOIST.

CONSTRUCTION FROM EXISTING TRUSS.  
 1. 2x4 JOIST OVER TRUSS WITH 2x4 AT THE TOP.  
 2. 1/2\"/>

UNUSUAL SCHEDULE OVER 15\"/>

NOTE: INSULATION CONTR. TO INSTALL R-19 2x4 WIDE BATT INSULATION IN ALL FLOOR TRUSSES. SO ORANGE PIPE IS EXPOSED ON C.G. SIDE AND THEN BLOW OVER.

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INSULATION BATTLE EVERY TRUSS SPACE. NO BATT OF 2x4 OR PROTECTION SHIELD ON DURING BRACING AT PROPOSED JOIST.

UNUSUAL SCHEDULE OVER 15\"/>

SECTION A  
 SCALE: 1/2" = 1'-0"

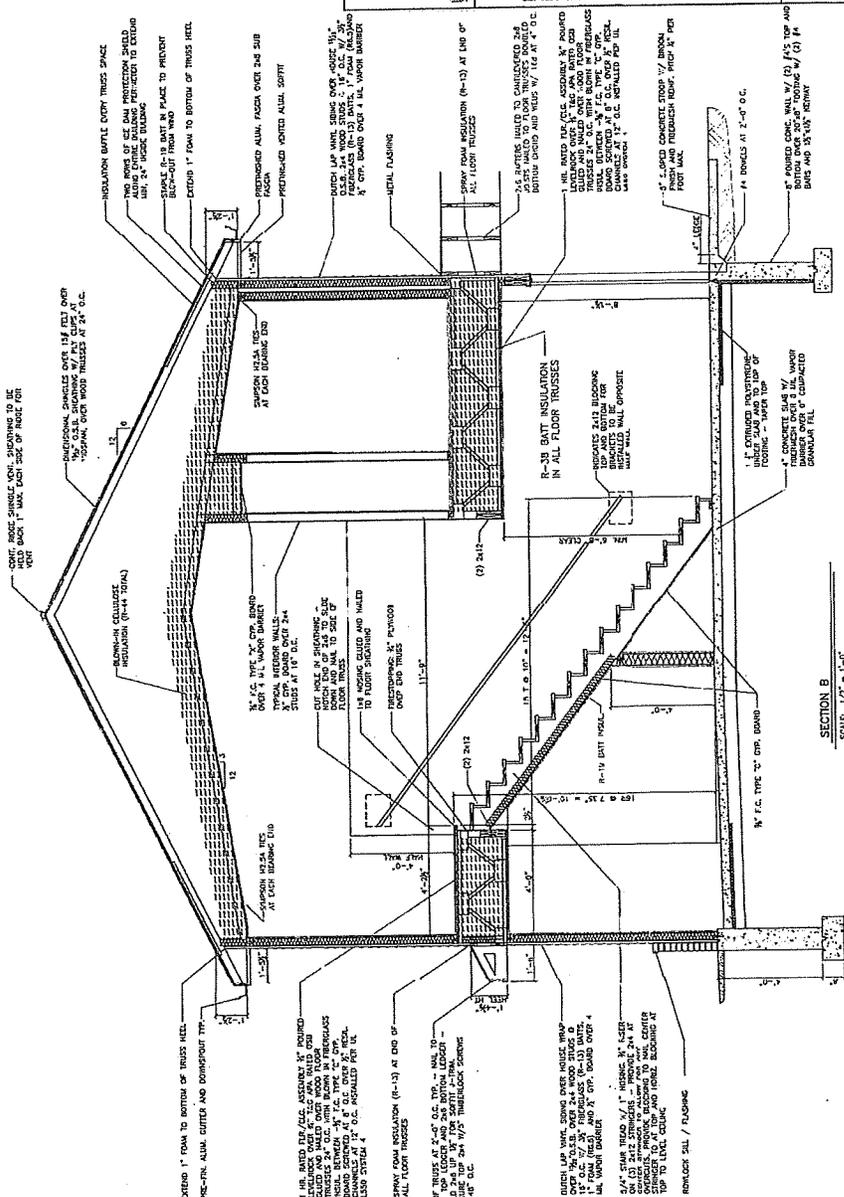
**NAILING SCHEDULE**

CONNECTION	NAILING (COMMON NAILS UNLESS OTHER CONNECTION IS REQUIRED)
BRIDGING TO TRUSSES, FACE NAIL EACH END	2-16d
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SCALE PLATE	2-16d END NAIL
DOUBLED STUDS, FACE NAIL	2-16d AT 24" O.C.
DOUBLED TOP PLATE	2-16d AT 24" O.C.
CONTINUOUS LEADER, TWO PREES	2-16d AT 18" O.C.
CONTINUOUS LEADER TO STUD, TOENAIL	2-16d AT 18" O.C.
BUILD-UP CORNER STUDS	4-8d
ROOF SHEATHING	16d AT 24" O.C. 15d AT 24" O.C.

ALL STRUCTURAL LUMBER SHALL BE 18-0000 SPF

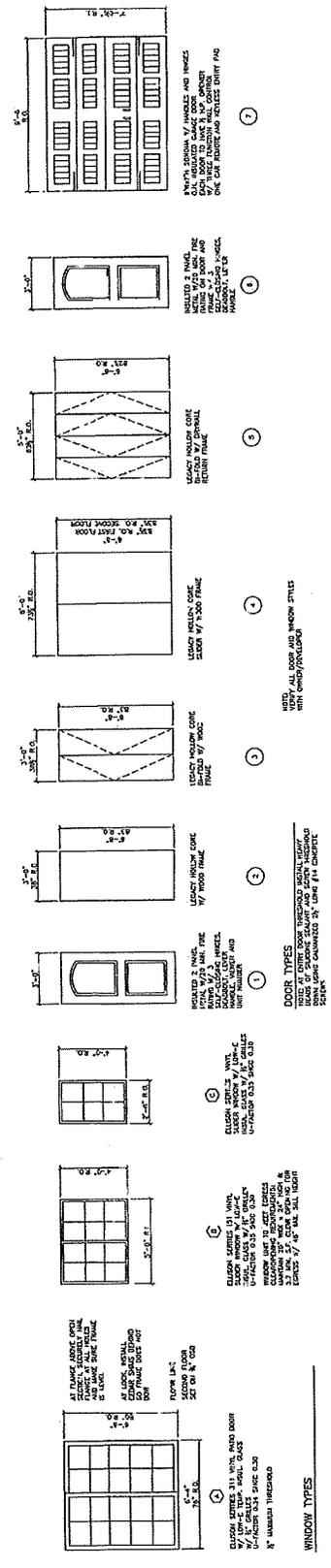
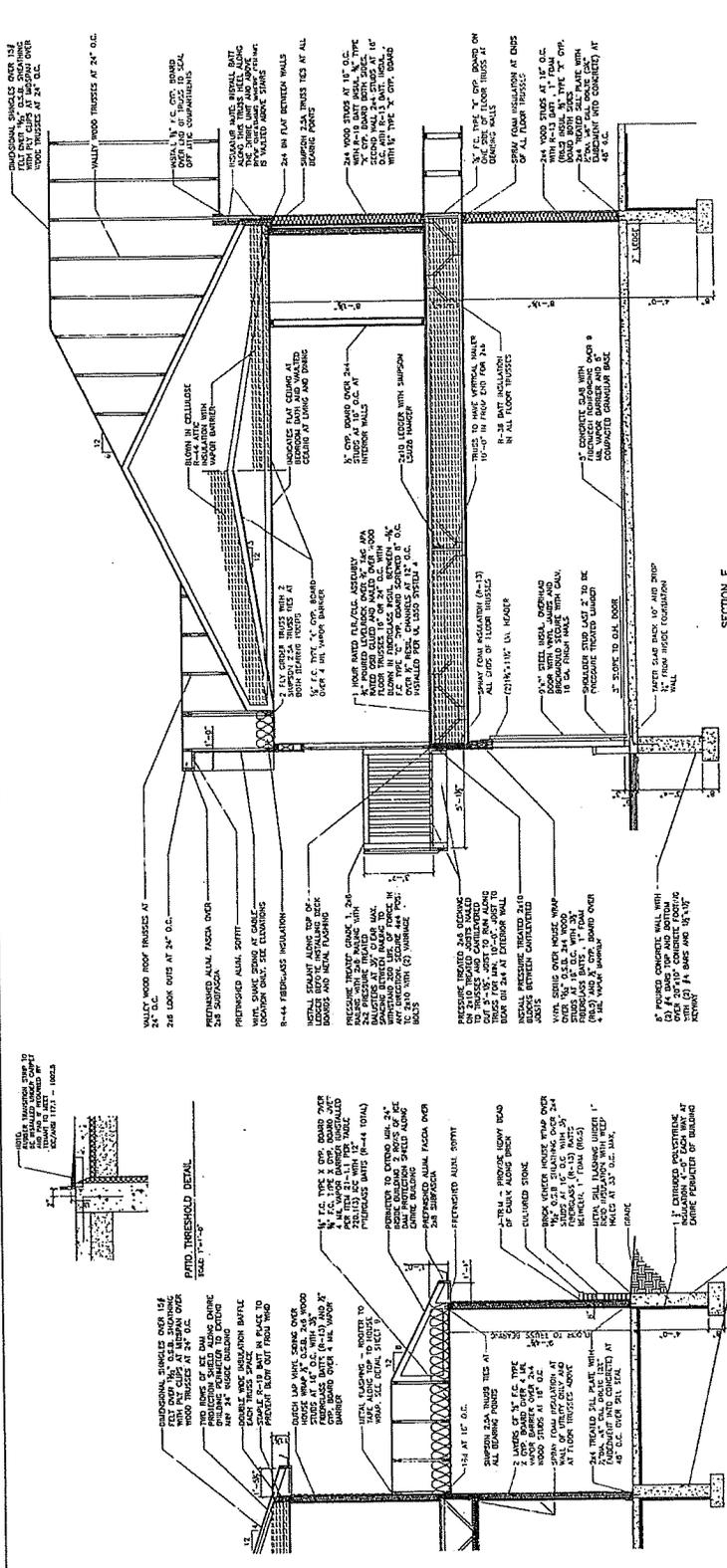
**CONSTRUCTION NOTES:**

1. ALL ROOF INSULATION SHALL BE PRESERVE THE ROOF INSULATION FROM DAMAGE. INSTALLATION SHALL BE LIMITED TO SECTION 4 OF AREA 11. ALL FASTENERS SHALL BE NOT DAMAGED.
2. ROOF SHEATHING SHALL BE APPROVED BY ARCHITECT. ROOF SHEATHING SHALL BE 1/2" O.C. OSB.
3. ROOF SHEATHING SHALL BE APPROVED BY ARCHITECT. ROOF SHEATHING SHALL BE 1/2" O.C. OSB.
4. EXTERIOR WALLS SHALL BE 1/2" O.C. OSB. EXTERIOR WALLS SHALL BE 1/2" O.C. OSB.
5. AT ALL FLOOR JOINTS WITH 1/2" O.C. OSB, NO. 10. BENCHES IN LIEU OF USING THE 1/2" O.C. OSB SHALL BE INSTALLED. THE 1/2" O.C. OSB SHALL BE INSTALLED AT ALL JOINTS.
6. AT ALL PARTY WALLS WITH 1/2" O.C. OSB, NO. 10. BENCHES IN LIEU OF USING THE 1/2" O.C. OSB SHALL BE INSTALLED. THE 1/2" O.C. OSB SHALL BE INSTALLED AT ALL JOINTS.





DATE: PROPOSED 12 UNIT APARTMENT  
 FILE: NICOLET LUMBER CO.  
 SHEET: WISCONSIN  
 LLOYD CARPENTER-ARCHITECT, LLC  
 2669 MAPLE HILLS DRIVE, GREEN BAY, WI 54303  
 TEL: (920) 855-8582  
 FAX: (920) 855-8583  
 CONSTRUCTION: ROBERT AND ASSOCIATES, INC.  
 DRAWING NO. 1999-10  
 NOTES: CHECK FOR REVISIONS FROM HIS SIDE  
 AND DESIGN FOR REVISIONS FROM HIS SIDE  
 BEFORE PROCEEDING WITH THE CONSTRUCTION



WINDOW TYPES

SECTION G  
 SCALE: 3/4\"/>

SECTION H  
 SCALE: 3/4\"/>

SECTION I  
 SCALE: 3/4\"/>



Executive Summary

**Certified Survey Map for Bayhill, LLC (Kirkegaard)**

**Background:** A certified survey map was submitted by Bayhill, LLC (Lucille Kirkegaard, agent) to divide 1.60 acres along the west side of N. 9<sup>th</sup> Ct. It is the property across from Big Hill Regency Apartments and immediately north of the water storage facilities in Lawrence Big Hill Park. The property owner wants to divide the property into four lots and build duplexes, which is a permitted use under the current R-4 zoning classification. Most CSM's do not require Plan Commission approval, but is needed for this one due to two issues.

The first item is that proposed Lot 4 has no street frontage. There is an access easement through Lot 3 to reach the right-of-way of N. 9<sup>th</sup> Ct. The subdivision ordinance requires every lot to abut on a public or private street, but the Plan Commission can approve exceptions. The proposed 30-foot wide access easement is easily sufficient to allow a driveway to reach Lot 4. The only other reasonable alternative is to attach the access easement to Lot 4, thereby creating a so-called "flag lot." In staff's opinion that option is really no better and would require a lot width variance for Lot 4 since the width of the lot would be measured through the "flag pole" portion of the lot. In addition, the flag lot option would make it more difficult to develop Lot 3 since the required side yard is measured from the lot line (not the easement line).

The other issue is that N. 9<sup>th</sup> Court is not improved beyond the existing turnaround. The options available are to extend the street improvements, vacate the street and create a private street to serve the lots and Big Hill Regency Apartment, or allow a private driveway within the public right-of-way to serve the lots. The cost of extending the street is prohibitive and would require dedication of another turnaround bulb. That option likely prevents the project from moving forward. Vacating the street is a possibility, but is not favored because there are existing utilities within the R/W, there is a need to maintain public access to the Big Hill Park via the R/W, and there may be a need to extend the street at a future date to serve the water facilities or in vehicular access into or through the park is ever pursued. The third option appears to be the least disruptive and is already being used for Bill Hill Regency. A shared private driveway agreement should be created for the proposed lots and Bill Hill Regency.

The Fire Chief has reviewed the proposal and is OK with the proposed access provided the access continues to allow fire trucks to maneuver and turn around as the current situation already does.

**Recommendation:** Approve the CSM as proposed subject to creation of a shared private driveway agreement for the lots and Bill Hill Regency specifying the rights and responsibilities of the parties.

Drafted by:   
Marty Olejniczak  
Community Development Director

May 27, 2022  
Date

Reviewed by: \_\_\_\_\_  
Chad Shefchik  
City Engineer

\_\_\_\_\_  
Date

Reviewed by:   
Josh Van Lieshout  
City Administrator

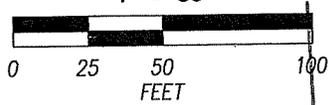
5/27/22  
Date

# CERTIFIED SURVEY MAP

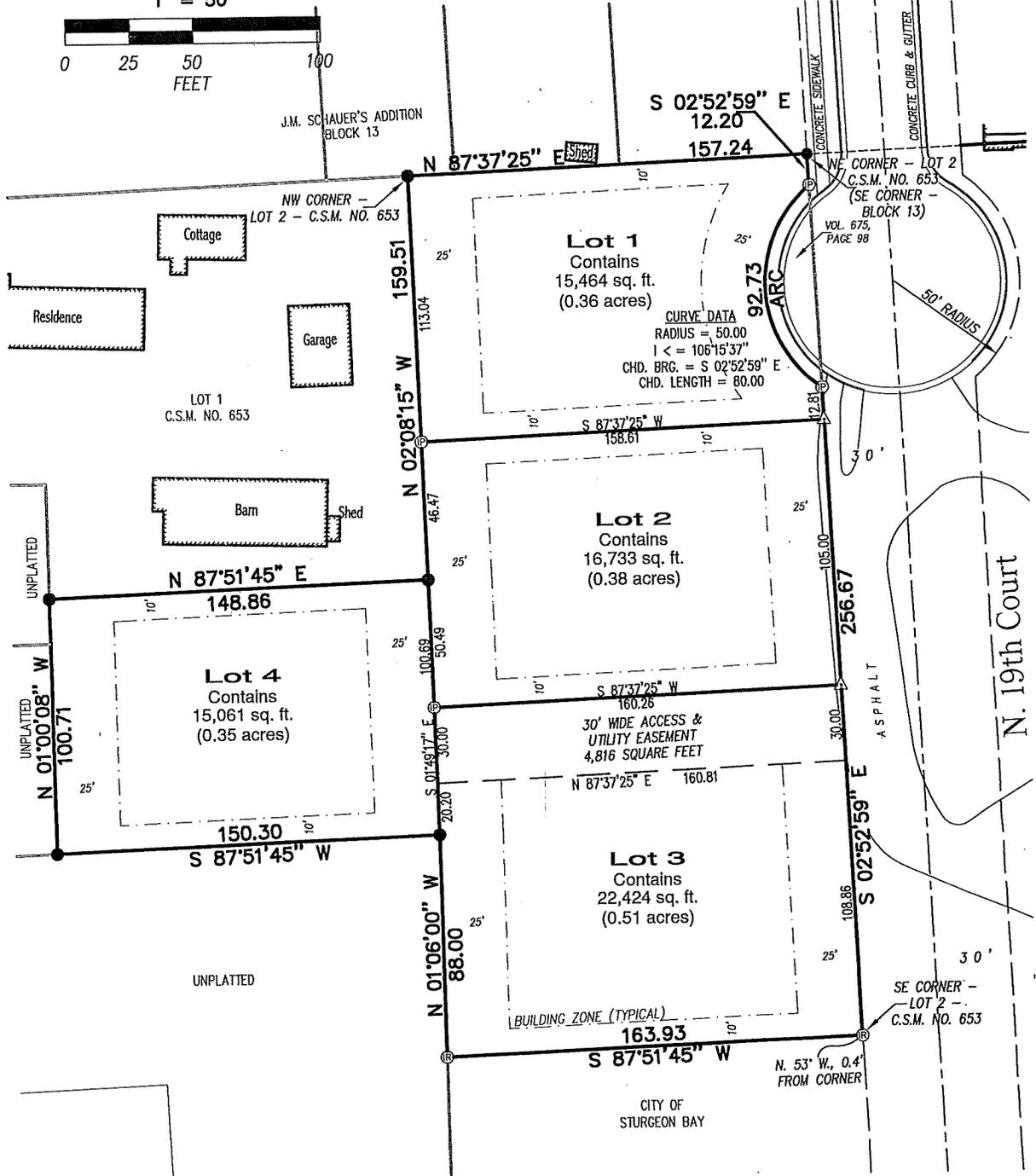
BEING:  
 A DIVISION OF LOT 2 OF C.S.M. NUMBER 653,  
 RECORDED AT VOLUME 3, PAGE 308  
 OF CERTIFIED SURVEY MAPS  
 AS DOCUMENT NUMBER 567537  
 BEING PART OF:  
 SUBDIVISION 17  
 LOCATED IN:  
 THE NE 1/4 OF THE SW 1/4 OF SECTION 5,  
 TOWNSHIP 27 NORTH, RANGE 25 EAST,  
 CITY OF STURGEON BAY,  
 DOOR COUNTY,  
 WISCONSIN



**NORTH**  
1" = 50'



- - 1" FOUND STEEL PIPE
- ⊗ - 5/8" FOUND REBAR
- ⊙ - 1" SET STEEL PIPE
- △ - SET MAG NAIL



DP

CAD : 23765-CSM

SHEET 1 OF 2

JOB NO. 23765  
5-23-22

# CERTIFIED SURVEY MAP

BEING:  
A DIVISION OF LOT 2 OF C.S.M. NUMBER 653,  
RECORDED AT VOLUME 3, PAGE 308  
OF CERTIFIED SURVEY MAPS  
AS DOCUMENT NUMBER 567537  
BEING PART OF:  
SUBDIVISION 17  
LOCATED IN:  
THE NE 1/4 OF THE SW 1/4 OF SECTION 5,  
TOWNSHIP 27 NORTH, RANGE 25 EAST,  
CITY OF STURGEON BAY,  
DOOR COUNTY,  
WISCONSIN

## SURVEYOR'S CERTIFICATE

I, Michael G. McCarty, Professional Land Surveyor for Baudhuin Surveying & Engineering, that under the direction of Lucille Kirkegaard, do hereby certify that we have surveyed and mapped the following described parcel:

A parcel of land being a division of Lot 2 of C.S.M. Number 653, recorded at Volume 3, Page 308 of Certified Survey Maps as Document Number 567537, being part of Subdivision 17, located in the NE 1/4 of the SW 1/4 of Section 5, Township 27 North, Range 25 East, City of Sturgeon Bay, Door County, Wisconsin. More particularly described as follows:

Commencing at the NW corner of Lot 2 of said C.S.M. Number 653, said corner being on the southerly line of Block 13 of J.M. Schauer's Addition and the point of beginning of lands to be described; thence N. 87°37'25" E., 157.24 feet along the northerly line of Lot 2 of said C.S.M. Number 653 (southerly line of Block 13) to the NE corner of Lot 2 of Lot 2 of said C.S.M. Number 653, said corner being the SE corner of Block 13 of J.M. Schauer's Addition, and being on the westerly right of way line of N. 19th Court; thence along said right of way line as follows: S. 02°52'59" E., 12.20 feet; thence Southerly, 92.73 feet along the arc of a 50.00 foot radius curve to the left whose chord bears S. 02°52'59" E., 80.00 feet (incl. < = 106°15'37"); thence S. 02°52'59" E., 256.67 feet to the SE corner of Lot 2 of said C.S.M. Number 653; thence leaving said right of way line, S. 87°51'45" W., 163.93 feet; thence N. 01°06'00" W., 88.00 feet; thence S. 87°51'45" W., 150.30 feet; thence N. 01°00'08" W., 100.71 feet; thence N. 87°51'45" E., 148.86 feet to the SE corner of Lot 1 of said C.S.M. Number 653; thence N. 02°08'15" W., 159.51 feet along the easterly line of Lot 1 of said C.S.M. Number 653 to the point of beginning.

Said parcel contains 69,682 square feet (1.60 acres) and is subject to and benefited by the following described 30 foot wide access and utility easement:

An easement for ingress, egress, and utilities being part of Lot 2 of C.S.M. Number 653, recorded at Volume 3, Page 308 of Certified Survey Maps as Document Number 567537, being part of Subdivision 17, located in the NE 1/4 of the SW 1/4 of Section 5, Township 27 North, Range 25 East, City of Sturgeon Bay, Door County, Wisconsin. More particularly described as follows:

Commencing at the SE corner of Lot 2 of said C.S.M. Number 653, said corner being on the westerly right of way line of N. 19th Court; thence N. 02°52'59" W., 108.86 feet along the easterly line of Lot 2 of said C.S.M. Number 653 (westerly right of way line) to the point of beginning of said easement; thence continue N. 02°52'59" W., 30.00 feet along said east line (right of way line); thence S. 87°37'25" W., 160.26 feet; thence S. 01°49'17" E., 30.00 feet; thence N. 87°37'25" E., 160.81 feet to the point of beginning.

Said easement contains 4,816 square feet.

I further certify that the attached map is a true representation of said property and correctly shows the exterior boundaries and correct measurements thereof, and also shows structures thereon, and visible encroachments, if any. Also, I have fully complied with Chapter 236.34 of the Wisconsin State Statutes.

Dated: \_\_\_\_\_

Michael G. McCarty S-2298

## PLANNING COMMISSION CERTIFICATE

This certified survey map has been submitted and approved in accordance with Chapter 21 of the Sturgeon Bay Municipal Code.

Dated: \_\_\_\_\_

Martin Olejniczak  
Community Developer Director

CAD : 23765-CSM

SHEET 2 OF 2

JOB NO. 23765  
5-23-22

# Location Map

## Bayhill, LLC - Proposed land division and duplexes



Martin Olejniczak, AICP  
Community Development Director  
421 Michigan Street  
Sturgeon Bay, WI 54235



Phone: 920-746-2910  
Fax: 920-746-2905  
E-mail: [molejniczak@sturgeonbaywi.org](mailto:molejniczak@sturgeonbaywi.org)  
Website: [www.sturgeonbaywi.org](http://www.sturgeonbaywi.org)

# MEMO

**To:** City Plan Commission  
**From:** Marty Olejniczak, Community Development Director *am*  
**Date:** May 27, 2022  
**Subject:** Dimensional and Residential Density Requirements of the Zoning Code

The Plan Commission and staff recently completed the restructuring of the permitted and conditional uses for the various zoning districts within the zoning code. This streamlined the ordinance, modernized it, and ensured the permitted uses are in line with purposes of the code. It also implemented one of the recommendations of the Comprehensive Plan.

Staff would now like to tackle another zoning code related recommendation of the Plan. This relates to the various dimensional requirements of the zoning districts and especially the residential density limits.

There are two goals for this task. One is to better match the existing development pattern of Sturgeon Bay to the lot size and yard requirements. Many of the residential areas of the City could not be built under today's zoning standards. For instance, there are just over 2,000 lots in the City that are zoned R-2 or R-3, which require a minimum of 70 feet of lot width for a buildable lot. But of these existing lots, there are about 739 (37%) with less than 70 feet.

Even some of the R-1 zoned areas have lots that could not be platted under current standards, such as the Pine Hill Heights region (27%) and the Hickory St/Elm St region on the west side (29%). Adjusting some of the dimensional standards could decrease the level of nonconformity and allow more infill development.

The second goal is to provide flexibility of the standards to allow more housing types and make it easier to create additional housing in Sturgeon Bay. Minimum lot area and lot width standards have a direct correlation to the cost of housing. Lower density also makes it more difficult to create walkable neighborhoods. Staff wants the Commission to consider the creation of a district with minimum lot sizes in the 4,000 – 6,000 sq. ft. range as recommended by Vandewalle & Associates. This could be a new district or a revised existing district. Keep in mind that the zoning requirement is meant to be a minimum, not an average. Developers will still plat to the market. If no one wants a home on a 50-ft wide, 5,000 square foot lot, those lots/homes won't be created. But, right now the zoning code is dictating the lack of small lots to build on, not the market.

For the June 1<sup>st</sup> meeting, staff intends to present additional information and have a general discussion. This will inform the direction we should take to craft specific zoning requirements. Assuming that the Plan Commission wants to implement revisions, staff will bring back specific options or recommendations at a future meeting.

20.27 - Height and area regulations generally.

- (1) For each lot in the R-4, C-1, C-3, C-4, and C-5 districts, the combined area of all roofed, paved, and other impervious surfaces shall not exceed 70 percent of the total area of the lot. Existing lots with impervious surfaces that exceeded 70 percent prior to adoption of this section shall be exempted from this provision provided that there shall be no further net increase of impervious surfaces on such lots.
- (2) The dimensional requirements relating to lot size, density, yards, height, and floor area shall be as specified for each zoning district in the following table:

Zoning District	Lot Size		Density			Required Yards***			Height	Floor Area per Dwelling Unit (square feet)							
	Minimum Lot Area (square feet)	Minimum Lot Width (feet)	Single Family	Two Family	Multiple Family	Street (feet)	Side (feet)	Rear (feet)		Single Family	Two Family	Multiple-Family					
R-1	10,000	85	10,000	—	—	25	10	25	35	1,400	—	—	—	—	—	—	—
R-2	7,500	70*	7,500	6,000#	—	25	10	25	35	800	500/ 1,500##	—	—	—	—	—	—
R-3	7,500	70*	7,500	6,000#	3,500	25	10	25	35	800	500/ 1,500##	500	750	1,000	—	—	—
R-4	8,400	70*	8,400	6,000#	3,500	25	10	25	45	1,000	500/ 1,500##	500	750	1,000	—	—	—
R-M	7,500	65	7,500	—	—	25	10	10	35	720	—	—	—	—	—	—	—

C-1	8,400	70	—	—	3,500	25	10	25	45	—	—	500	750	1,000
C-2	6,000	70	—	—	3,500	15	5	25	45	—	—	500	750	1,000
C-3	8,400	70	—	—	3,500	25	10	25	45	—	—	500	750	1,000
C-4	8,400	70	—	—	—	25	10	25	45	—	—	—	—	—
C-5	7,500	70*	7,500	6,000#	3,500	20	8	25	35	800	500/1,500##	500	750	1,000
I-1/I-1A	25,000	100	—	—	—	40	20	25	45	—	—	—	—	—
I-2/I-2A	25,000	100	—	—	—	50	20	25	45	—	—	—	—	—
A	43,560 (1 acre)	150	43,560 (1 acre)	21,780 (½ acre)	—	40	10	25	35**	1,000	800	—	—	—
CON	None	None	—	—	—	25	10	10	45	—	—	—	—	—
PUD	See section 20.24 for applicable standards													

\* Within these districts, the minimum lot width shall be increased to 80 feet for lots used for two-family or multiple-family dwellings, except that the minimum lot width shall remain 70 feet for existing single-family dwellings constructed prior to Jan. 1, 2004 that are converted into two-family dwellings.

\*\* See section 20.27(4) for exceptions to height requirement.

\*\*\* For lots that abut two or more streets, all sides of the lot that abut a street shall meet the street yard requirement.

# Within these districts, the minimum lot area for converting an existing single-family dwelling constructed prior to January 1, 2004, into a two-family dwelling

shall be 5,000 square feet per dwelling unit (10,000 square feet total).

## 500 square feet for the smallest dwelling unit, with a minimum 1,500 square feet combined floor area for both units.

(3) *Exceptions to yard requirements:*

- (a) Within the C-2 district, where a proposed building or addition abuts an existing building on the adjoining lot (zero side yard), the minimum street yard (setback) shall be equal to the existing street yard for the adjoining building.
  - (b) Within the C-2 district, the minimum side yard shall be reduced to zero if an adjoining building already has a zero side yard.
  - (c) Within that portion of the C-2 district that is also within the Waterfront Redevelopment District, the city plan commission may, after review and recommendation by the Waterfront Design Review Board, authorize a zero side yard or a lesser street yard (setback) than required under subsection (2). The intent of this provision is to provide relief from the yard requirements in locations where it is desirable to create, recreate, or maintain a traditional downtown development pattern and character.
  - (d) Structures such as ramps and landings, lifts, or elevator housings designed to comply with the Americans with Disabilities Act requirements, for which there are no feasible alternative locations shall be excepted from the minimum yard requirements.
  - (e) Within the R-2, R-3, and C-5 districts, the minimum street yard (setback) shall be 17 feet for unenclosed appurtenances to a dwelling, such as porches, decks, balconies, and stairways.
  - (f) Within the I-2/I-2A Heavy Industrial districts, the minimum side yard for any existing building with a side yard that is less than the minimum side yard required in subsection (2) shall be equal to the existing side yard. The intent is this provision is to allow existing buildings to be extended provided the addition is no closer to the side lot line than the existing building.
- (4) Exceptions to the height requirement:
- (a) Buildings used for agricultural purposes may exceed the maximum height requirement.
  - (b) Buildings that have been designated as historic structures on a local, state or national register of historic places shall be exempt from the maximum building height provided any increase in height is approved by the historic preservation commission.
  - (c) The maximum building height of buildings located in the I-2/I-2A Heavy Industrial districts may be increased to 120 feet, provided the building is located at least 300 feet from the boundary of a residential zoning district, which shall include the R-1, R-2, R-3, R-4, and R-M districts and shall also include the PUD district if the underlying zoning classification is one of the aforementioned districts.
- (5) *Zero lot line duplexes (attached dwelling units).* In districts where two-family dwellings are allowed, such dwellings may be developed as zero lot line duplexes (attached dwellings units), subject to the following requirements:
- (a) The side yard for adjoining lots identified for attached dwelling units may be zero along the common lot line, provided that:
    1. Each lot shall have a minimum lot width of 40 feet and a minimum lot area of 4,000 square feet and a combined minimum lot width of 80 feet and minimum lot area of 12,000 square feet.
    2. Such adjoining lots proposed for the zero side yard are held under the same ownership at the time of initial construction.

3. The adjoining side yard setback of the lot adjacent to the zero side yard setback is also zero.
  4. The opposite side yard is not less than required under subsection (2).
  5. Easements shall be provided across zero lot lines where necessary for water, sewer and utility services.
- (b) The construction of the dwelling units shall meet the following requirements at all times:
1. There shall be a minimum one-car enclosed garage, attached to such main building, for each unit.
  2. The exterior materials and roof materials on each unit shall be the same color and consistency.
  3. The plans, specifications, and construction of such buildings shall include the installation of separate sewer, water and other utility services to each dwelling unit.
- (c) Matters of mutual concern to adjoining property owners due to construction, catastrophe, and/or maintenance shall be governed by private covenants, declarations, or deed restrictions and the City of Sturgeon Bay shall not be responsible for the same. A copy of such covenants, declarations, or restrictions shall be submitted to the city for its review prior to issuance of a building permit.
- (d) Zero lot line duplexes (attached dwelling units) shall only be permitted on lots that have been identified for such development on the applicable subdivision plat or certified survey map. Such lots shall be identified at the time of approval of the subdivision plat or certified survey map (CSM). For all such lots containing less than 70 feet of lot width or 8,400 square feet of lot area, a covenant shall be placed on the face of the subdivision plats and certified survey maps creating such lots as follows: "Development on Lots (*list lot numbers*) is restricted to the construction of zero lot line duplexes (attached dwelling units)." No odd number of lots may be created nor may construction skip an odd number of lots.
- (6) *Setback from navigable water.* All principal and accessory buildings shall be located at least 25 feet from the ordinary high water mark of all navigable water. (Ord. No. 961-1195, § 3, 11-7-95; Ord. No. 1105-0803, § 1, 8-19-03; Ord. No. 1115-1203, § 1, 12-2-03; Ord. No. 1128-0804, §§ 3, 5, 8-17-04; Ord. No. 1135-1204, § 1, 12-21-04; Ord. No. 1174-0906, §§ 3—5, 9-20-06; Ord. No. 1299-0414, § 1, 4-15-14; Ord. No. 1356-0219, § 1, 2-19-19; Ord. No. 1378-1120, §§ 1, 2, 11-17-20)