

AGENDA
CITY OF STURGEON BAY
PLAN COMMISSION
Wednesday, August 18, 2021
6:00 p.m.
City Council Chambers
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from July 21, 2021.
4. Public comment on non-agenda Plan Commission related items.
5. Conditional Use petition from Karla Thomas for a commercial establishment with drive-through facilities located at 217 N 4th Ave.
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
6. Project plan and boundaries for Tax Incremental District No. 5.
 - a. Presentation
 - b. Public Hearing
 - c. Consideration
7. Consideration of: Final Planned Unit Development proposed by Northpointe Development Co. for a 53-unit multiple-family dwelling on property along the north side of E Maple Street between Madison Avenue and Neenah Avenue.
8. Consideration of: Vacation (discontinuance) of Ackerman Street.
9. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

8/13/21
2:30 p.m.
SM

Plan Commission Members
Mayor David Ward
Ald. Kirsten Reeths
Ald. Helen Bacon
Jeff Norland
Mark Holey
Ald. Dennis Statz
Debbie Kiedrowski

CITY PLAN COMMISSION

July 21, 2021

A meeting of the City Plan Commission was called to order at 5:00p.m. by Chairperson David J. Ward in the Council Chambers, City Hall, 421 Michigan Street, Sturgeon Bay.

Roll Call: Members David Ward, Kirsten Reeths, Helen Bacon, Jeff Norland, Dennis Statz, and Debbie Kiedrowski were present. Also present were Community Development Director Marty Olejniczak, Zoning/Planning Administrator Christopher Sullivan-Robinson, City Administrator Josh VanLieshout, and Administrative Assistant Suzanne Miller. Absent at the time of roll call was member Mark Holey.

Adoption of agenda: Moved by Mr. Statz, seconded by Mr. Norland to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from June 30, 2021.
4. Public comment on non-agenda Plan Commission related items.
5. Initial presentation for zoning map amendment petition by Estes Investments, LLC from Agricultural (A) to General Commercial (C-1) for property at 1361 N. 14th Avenue.
6. Consideration of: Request from WWP Development, LLC for reduced setback on the C-2 district for proposed project located on E. Maple Street (West Waterfront).
7. Consideration of: Restructuring of permitted and conditional uses within the Sturgeon Bay Zoning Code.
8. Adjourn.

All ayes. Motion carried.

Approval of minutes from June 30, 2021: Moved by Ms. Bacon, seconded by Ms. Reeths to approve the minutes from June 30, 2021. All ayes. Motion carried.

Public Comment on non-agenda Plan Commission related items: There was no public comment.

Initial presentation for zoning map amendment petition by Estes Investments, LLC from Agricultural (A) to General Commercial (C-1) for property at 1361 N. 14th Avenue:

Presentation: Mr. Sullivan-Robinson stated the N. 14th Avenue property's current use as commercial storage is nonconforming and the property is significantly run down. The rezoning will allow the use to be conforming so that the property can be redeveloped with new commercial storage buildings. This petition for rezoning does not fit the City's Comprehensive Plan, which indicates future use of the property would be multi-family residential. If the

Commission approves the zoning map amendment petition, it must also amend the City's Future Land Use Map at the same time.

Mr. Dave Phillips of Bayland Building, Green Bay, WI, representative of property owner Mr. Steven Estes, explained neighbor complaints about the property relate to the appearance, rather than the use as a commercial storage facility. He stated a wetlands evaluation indicated there were no wetlands found on the property. The plan is for mini-storage with adequate parking: two 10ft.x20ft. buildings and one 10ft.x30ft. building in the back of the property. Property size is 1.5-1.75 acres. Property owner does not have a plan for the front/street side of the property. Elderly/55+ housing was considered, but the slope of the property is too great. The plan is to redevelop the rear of the property in order to generate revenue and move forward with a future plan for the front of the property. The existing front building would remain in use, but be cleaned up with landscaping added. The building could be torn down as a part of a subsequent phase when a plan for the front of the property is implemented. Mr. Phillips said they would come back before the Commission with a plan for the front of the property "when the time comes".

Ms. Bacon, Mr. Statz, Ms. Kiedrowski, and Mr. Norland reported they would prefer housing on the property. Mr. Phillips reported the owners are not interested in building housing at present, but want to retain ownership of the property.

Mr. Ward raised three concerns: 1. Lack of a plan for the front of the property. 2. He would like to see a landscaping plan included 3. He would like a pledge to have the property cleaned up.

Mr. Statz questioned possibility of the property being a candidate for PUD with housing on the front of the property. Mr. Olejniczak said a mixed used PUD would be possible and could offer owner flexibility.

Mr. Olejniczak reported his recommendation and that of Mr. Sullivan-Robinson is if this petition goes forward, a Comprehensive Plan amendment to the Land Use Plan must be made at the same time. He said a Comprehensive Plan amendment and a Zoning Map amendment can go forward at the same time.

Owners would like to move forward and Mr. Olejniczak and Mr. Sullivan-Robinson will continue to work with them.

Consideration of request from WWP Development, LLC for reduced setback in the C-2 district for proposed project located on E. Maple Street (West Waterfront):

Mr. Sullivan-Robinson reported the request is for a reduced setback at the side of the property to the east. Other reduced setbacks in this area have been granted per a zoning code provision intended to allow "downtown character". He recommended approval of a zero setback off the east lot line to get as much of a building as possible on the site.

Mr. Olejniczak reported the proposed reduced building setback is at one corner of the building only. He and Mr. Sullivan-Robinson recommend the zero setback.

Mr. Peter Gentry of WWP Development, LLC thanked the Commission for letting them appropriate some of the parkland space for their Plaza project. He reported the reduced setback will allow them to widen the building to meet ADA requirements and accommodate an elevator.

Mr. Statz questioned the ownership of the land. Mr. Olejniczak responded the lot was approved to be sold to Mr. Gentry but the City will retain the one-foot strip between the lot and the highwater mark in order for the City to remain the riparian owner.

Mr. Ward called for a motion. Mr. Norland made a motion to grant a zero setback. Ms. Reeth seconded the motion.

All ayes. Motion carried.

Consideration of restructuring of permitted and conditional uses within the Sturgeon Bay Zoning Code:

Mr. Olejniczak introduced a draft of a chart format for zoning districts recommended by Vandewalle & Associates and discussed the section on residential uses. He also discussed the "footnotes" document entitled *Regulations/Requirements for Particular Uses (number corresponds to chart of permitted uses)* as it relates to the zoning districts chart. He suggested the Commission reconsider increasing the number of units in a multi-family development that would require a PUD designation when all other zoning criteria are met. In addition, he asked the Commission to consider increasing the number of units that would be considered permitted before conditional use was triggered.

Mr. Statz questioned whether the number of units per designation (Permitted vs. Conditional vs. PUD) would be affected by whether there was one building or multiple buildings on a lot. Mr. Olejniczak responded that currently the designation is based upon number of units per lot, but that question must be discussed/considered.

Mr. Norland raised the concern that traffic flow issues be considered when a sizable development is proposed. Mr. Olejniczak responded specific requirements for uses exist and the City can state that when a certain number of units are proposed a traffic impact analysis must be submitted and the developer may be required to pay for a traffic light or a request may be rejected if a traffic issue can't be resolved.

Mr. Ward questioned the number of units per designation. If the number of units in the Permitted category was increased, what would be a suggested range to be designated as Conditional? Mr. Olejniczak responded that it might be possible to have only two designations, Permitted and Conditional, with additional standards such as the traffic analysis required for the Conditional category. He explained he was leaning toward eliminating the PUD category or significantly increasing the number of units that would trigger a PUD if the Commission opted to keep it.

Mr. Mark Holey joined the meeting in person at 5:53 pm.

Mr. Olejniczak discussed an institutional use category or district and asked the Commission to share their thoughts on that. Items in red are more "controversial" and require further discussion.

Staff was directed to continue to work on the restructuring of the zoning code to bring back to a future Plan Commission meeting. No formal action was taken.

Motion to Adjourn:

Mr. Holey moved to adjourn the meeting. The motion was seconded by Ms. Kiedrowski.

All ayes. Motion carried. Meeting adjourned at 6:01p.m.

Respectfully submitted,



Suzanne Miller
Administrative Assistant

EXECUTIVE SUMMARY
Conditional Use – 217 N 4th Ave
Commercial Establishment w/ Drive-Through Facilities

Summary: Karla Thomas, owner of Brewed Awakening, is a new tenant in the former Nicolet Bank Building located at 217 N 4th Ave. They are petitioning for a conditional use permit for the use of the existing drive-through facility in conjunction with the proposed coffee shop, which is currently under construction.

Existing Condition: The subject property is currently owned by Epic Center, LLC. Their intentions for this property are to create multiple tenant spaces within the existing building footprint. The site is located at the west corner of N 4th Ave and Kentucky St, and is 1.049 acres in size. The property can be accessed off the 4th Ave driveway and off the alley between 3rd and 4th Ave. The existing 2 lane drive-through runs parallel with the alley and exits on Kentucky St. The subject site and surrounding properties are zoned Central Business District (C-2).

Comprehensive Plan: Sturgeon Bay Comprehensive Plan designates this property within the Downtown Mixed-Use future land use designation. Most of the downtown area has this same designation. Downtown Sturgeon Bay is intended to remain primarily commercial with a mixture of retail, services, offices, institution, government, multiple-family, and mixed commercial and residential uses. The proposed use fits the land use category and is consistent with the comprehensive plan's goals / principles.


Proposed Design: The plan utilizes the existing drive-through and service window location which has a 15-car stacking capability. There were will no major exterior changes to the building or site. The only significant change will be the removal of the median under the driveway canopy, making it a single lane drive-through. They will be utilizing the existing service window with likely some minor modifications to meet their needs. The remaining construction will be internal.

Considerations: Under the zoning ordinance, the coffee shop is a permitted use. Only the drive-through facility requires approval of the City Plan Commission through the conditional use process. This is to ensure that the proposed drive-through will not negatively impact the functionality of the site, neighboring parcels and the adjoining streets.

Options: The Plan Commission has the ability to approve the conditional use as presented or with conditions, or deny the conditional use. Keep in mind, any conditions must be reasonable and denial of the conditional use must be supported by substantive evidence.

Recommendation: City staff are supportive of this project, because it activates what is currently a vacant building. The use will help support the downtown character and lifestyle. There are no concerns regarding traffic flow. Staff recommends approval of the conditional use permit.

Prepared by:



Christopher Sullivan-Robinson
City Planner/Zoning Administrator

8.13.2021
Date

Reviewed by:



Marty Olejniczak
Community Development Director

8-13-2021
Date

Reviewed by:



Chad Shefchik
City Engineer

8.13.21
Date

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CITY OF STURGEON BAY CONDITIONAL USE PERMIT APPLICATION

Date Received: _____
Fee Paid \$ 300.00 + \$50 DEPOS
Received By: _____

	APPLICANT/AGENT	LEGAL PROPERTY OWNER (if different)
Name	Karla Thomas	Chad Ludick
Company	Brewed Awakening	
Street Address	217 North 4 th Avenue	
City/State/Zip	Sturgeon Bay WI 54235	
Daytime Telephone No.	920-495-1429	
Fax No.		

STREET ADDRESS OF SUBJECT PROPERTY: 217 North 4th Avenue
Location if not assigned a common address: _____

Blah TAX PARCEL NUMBER: 281-10-85331501

CURRENT ZONING CLASSIFICATION: C-2 CENTRAL BUSINESS DISTRICT

X CURRENT USE AND IMPROVEMENTS: VACANT BANK Building

X IDENTIFY MUNICIPAL CODE SECTION PERTINENT TO REQUEST AND STATEMENT OF SPECIFIC ITEM BEING REQUESTED FOR REVIEW: _____

Coffee Shop with drive-through

Blah ZONING AND USES OF ADJACENT SURROUNDING PROPERTIES:

North: C-2 COMMERCIAL
South: C-2 COMMERCIAL
East: C-2 COMMERCIAL
West: C-2 COMMERCIAL

5

Blank

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? NO IF YES, EXPLAIN: 02/80 - SIGN LOCATION; 01/86 - SIGN HEIGHT; 10/89 - FRONT/SIDE YARD VAR; 08/91 - SIGN VAR

Attach an 8-1/2" X 11" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 15 large sized copies), full legal description (preferably on disk), 8-1/2 x 11" location map, construction plans for the proposed project, and Agreement for Reimbursement of expenses. Site plan shall include dimensions of property, pertinent structures and buildings, proposed site improvements, signature of person who drew plan, etc.

Signature

7-13-21
Date

Karla Thomas
Signature

7-13-21
Date

I, Karla Thomas, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

Date of review meeting

Karla Thomas
Applicant Signature

Staff Signature

Procedure & Check List

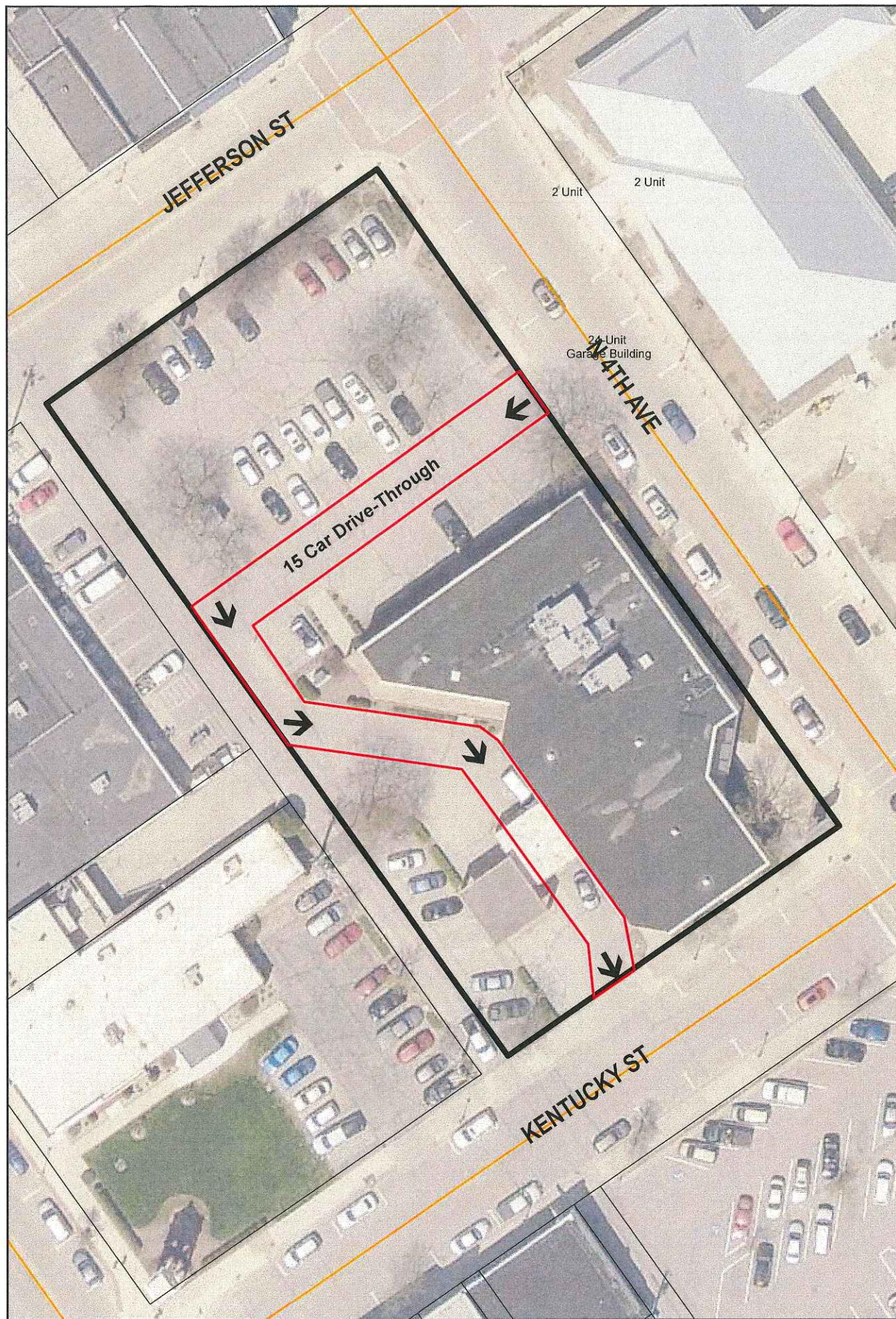
Procedure & Check List Agreement For Reimbursement of Expenses

STAFF USE ONLY

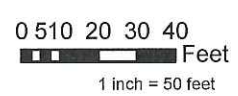
Application conditions of approval or denial:

Date _____

Community Development Director



217 N 4th Ave
Drive-Through Facility



Date: 7/26/2021



Sullivan-Robinson, Christopher

From: Karla Thomas <kathomas1140@gmail.com>
Sent: Tuesday, July 13, 2021 11:50 AM
To: Sullivan-Robinson, Christopher
Subject: Jace Schmelzer, business, 217 N. 4th Ave. Sturgeon Bay, WI

Follow Up Flag: Follow up
Flag Status: Completed



Sent from my iPhone X

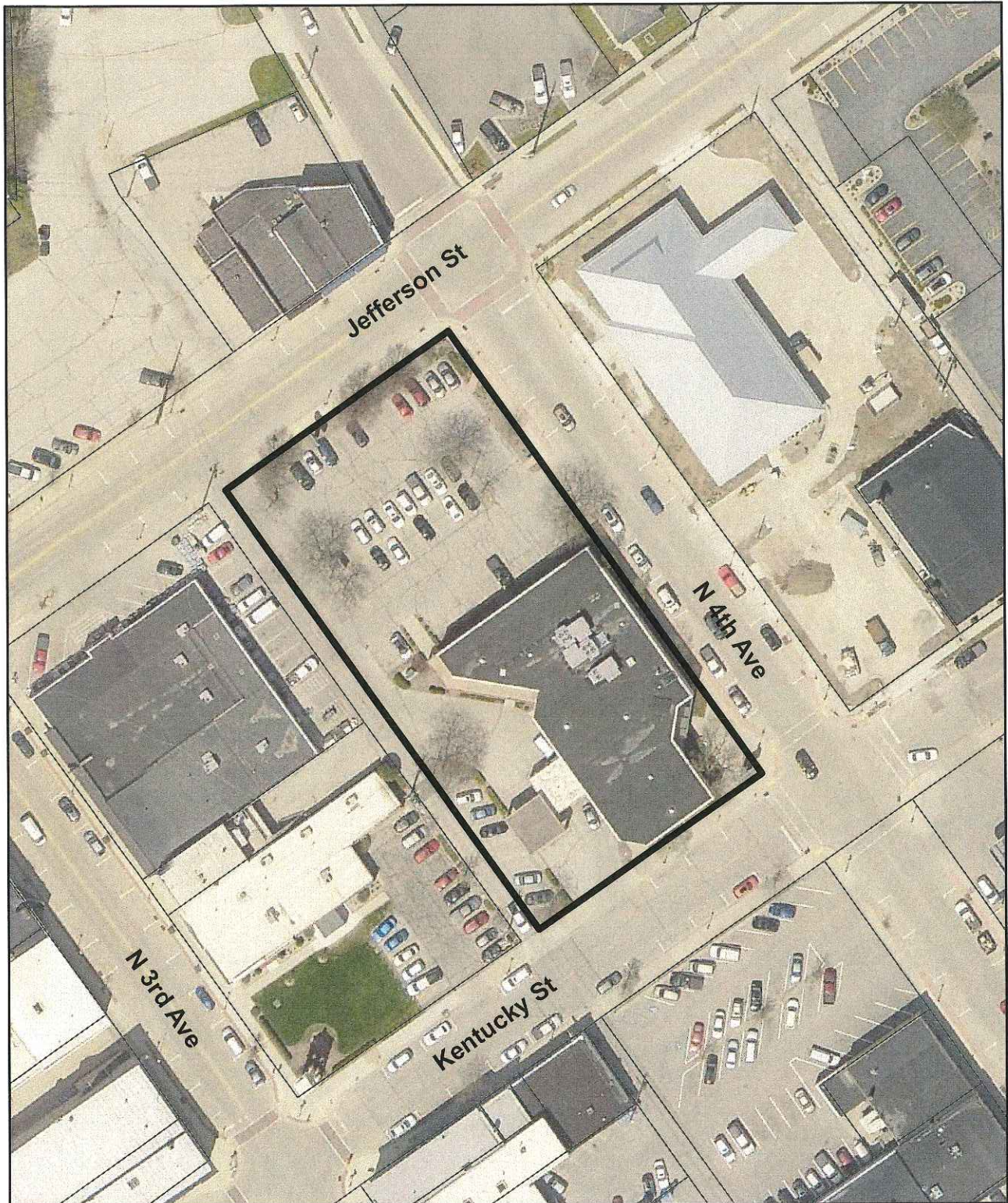
* REMOVING MEDICAL

NOTICE OF PUBLIC HEARING

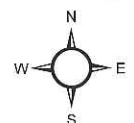
The City of Sturgeon Bay Plan Commission will hold a public hearing in the Council Chambers, 421 Michigan St, Sturgeon Bay, Wisconsin on Wednesday, August 18, 2021, at 6:00 P.M. or shortly thereafter, regarding a petition for a conditional use permit from applicant Karla Thomas and Jace Schmelzer for a commercial use with a drive-through facility under section 20.15(2)(k). The proposal is to use a former bank drive-through facility in conjunction with a coffee shop. The subject property is located at 217 N 4th Ave, parcel #281-10-85331501. The application is on file with the Community Development Department and may be viewed at 421 Michigan Street weekdays between 8:00 a.m. and 4:30 p.m. The application may also be view on the City's website at www.sturgeonbaywi.org. The public is invited to attend the public hearing and give testimony in favor or against the proposed conditional use, either in person at the hearing or in writing.

By order of:
The City of Sturgeon Bay Plan Commission

Location Map - 217 N 4th Ave Conditional Use Permit



Subject Property; 217 N 4th Ave; Parcel # 281-10-85331501



Note: Public hearing to be held on August 18, 2021 at 6:00 PM in the City Hall Council Chambers.

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EXECUTIVE SUMMARY

Title: Tax Increment District #5

Background: The City and School District have been working jointly on the redevelopment of the Sunset School property. A request for proposal was issued and the School District, Council, and Plan Commission reviewed the submittals. The redevelopment that was ultimately approved included an additional 10 units of multiple-family residential for Maritime Heights on the school parking lot parcel and 26 units of multiple-family residential for S.C. Swiderski on the school building parcel.

In order to obtain the desired development, the City is providing financial incentives such as paying for the demolition of the building. In addition, there are certain public improvements within the neighborhood that would be beneficial for both the new development and the overall region. Tax Increment Financing is the preferred method of covering the public costs and has been used for other development projects in the City. Therefore, a new tax increment district (TID) is proposed for the two school parcels.

R.W. Baird, the City's financial consultant prepared the project plan for the proposed TID with the assistance of City staff. They also prepared the financial projections that compare the costs to the expected property tax revenue (increment). The future property taxes from new development in the TID will be used to pay back the public expenditures related to the new development. The proposed expenditures are listed in the project plan for TID #5. Some of the costs are for public related improvements, such as streets and sidewalks and other costs related to the new private development. In addition, the project plan expenditures include \$150,000 intended to be set aside to assist property owners in the neighborhood with exterior improvements to their homes and properties.

TID #5 is being established as a mixed-use TID, which provides a 20-year timeframe to conduct the projects and recover the expenditures. According to the analysis and based on conservative assumptions, the proposed TID #5 will recover its expenditures by 2034, well within the 20-year life of the TID. The financial analysis does not guarantee that the redevelopment project will be successful. To help limit the uncertainty, it is anticipated that many of the planned expenditures will not commence until the construction of the housing projects are underway. It is also noted that the listed expenditures are not required to occur. Other sources of funds such as grants can potentially offset some of the costs and projects can be scaled back if necessary.

The procedure for creation of Tax Increment District #5 is a public hearing before the Plan Commission followed by adoption of a resolution. The Common Council will then have to approve its own resolution. The final step is approval of a resolution by the Joint Review Board, which is comprised of representatives from the taxing jurisdictions.

Recommendation: Approval of the resolution regarding the boundaries and project plan for TID #5.

[Tax Increment District #5 continued]

Prepared by: Martin Olejniczak 8-13-2021
Martin Olejniczak Date
Community Development Director

Reviewed by: Valerie Clarizio 8/13/21
Valerie Clarizio Date
Finance Director

Reviewed by: _____
Josh Van Lieshout Date
City Administrator

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PLANNING COMMISSION RESOLUTION # _____

Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax
Incremental District No. 5

**RECOMMENDED ADOPTION OF THE PROJECT PLAN AND BOUNDARIES
FOR TAX INCREMENTAL DISTRICT NO. 5 CITY OF STURGEON BAY,
WISCONSIN**

WHEREAS, pursuant to Wisconsin Statutes §66.1105 the City of Sturgeon Bay has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 5 (“the District”) is proposed to be created as a “mixed-use district” where not less than fifty percent (50%) by area, of the real property within the District is suitable for industrial, commercial, and residential development, and

WHEREAS, a Project Plan for Tax Incremental District No. 5 has been prepared that includes the following:

1. A statement listing the kind, number, and location of proposed public works or improvements within the District;
2. An economic feasibility study;
3. A detailed list of estimated project costs;
4. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
5. A map showing existing uses and conditions of real property in the District;
6. A map showing proposed improvements and uses in the District;
7. Proposed changes of zoning ordinance, master plan, map, building codes, and City ordinances;
8. A statement of the proposed method for relocation of any person to be displaced;
9. A statement indicating how creation of the District promotes the orderly development of the City;
10. An opinion of the City Attorney advising that the plan is complete and complies with Wis. Statute §66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of the public hearing by the Plan Commission was sent to the City of Sturgeon Bay, Door County, the Sturgeon Bay School District, and Northeast Wisconsin Area Technical College which constitutes all of the local governmental entities having the power to levy taxes on property located within the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on August 18, 2021, held a public hearing concerning the project plan and boundaries and proposed creation of the District providing interested parties a reasonable opportunity to express their views on the proposed creation of a tax incremental district and the proposed boundaries of the District.

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PLANNING COMMISSION RESOLUTION # _____

Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax
Incremental District No. 5

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the City
of Sturgeon Bay that:

1. It recommends to the Common Council that Tax Incremental District No. 5, City of Sturgeon Bay, be created with boundaries as designated by Exhibit A, which is attached and incorporated herein by reference;
2. It approves the Project Plan as prepared by Robert W. Baird & Co, dated August 2, 2021, which is incorporated herein in its entirety by reference, and recommends its approval to the Common council;
3. Creation of the District promotes orderly development in the City; and
4. That the City Clerk is hereby directed to provide the Common Council with a certified copy of this Resolution upon its adoption by the Plan Commission.

Adopted this 18th day of August, 2021

City of Sturgeon Bay

By _____
David J. Ward Ph. D., Plan Commission Chairman

CERTIFICATION

I hereby certify that the foregoing Resolution was duly adopted by the Planning
Commission of the City of Sturgeon Bay on the 18th day of August, 2021.

Stephanie L. Reinhardt,
City of Sturgeon Bay
City Clerk

Exhibit A

Tax Increment District #5 Boundaries



Project Plan & District Boundary
Tax Incremental District No. 5
in the
CITY OF STURGEON BAY, WISCONSIN



August 2, 2021

(Approved Actions)

Organizational Joint Review Board Meeting Held.....August 17, 2021
Public Hearing Held.....August 18, 2021
Adopted by Planning Commission.....August 18, 2021
Adopted by City Council.....September 07, 2021
Approved by Joint Review Board.....September 14, 2021

Prepared in part by:

BAIRD

Robert W. Baird & Co.
Public Finance
777 E. Wisconsin Ave.
Milwaukee, WI 53202
800.792.2473

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City of Sturgeon Bay Officials

City Council

David J. Ward Ph.D	Mayor
Helen L. Bacon	Aldersperson District 1
Dennis Statz	Aldersperson District 2
Dan Williams	Aldersperson District 3
J. Spencer Gustafson	Aldersperson District 4
Gary Nault	Aldersperson District 5
Seth Wiederanders	Aldersperson District 6
Kirsten Reeths	Aldersperson District 7

City Staff

Josh Van Lieshout	City Administrator
Stephanie L. Reinhardt	City Clerk
Valerie J. Clarizio	Finance Director/City Treasurer
Martin J. Olejniczak	Community Development Director

Planning Commission

David J. Ward Ph.D, Chairperson	Jeff Norland
Helen L. Bacon	Kirsten Reeths
Mark Holey	Dennis Statz
Debbie Kiedrowski	

Joint Review Board

David J. Ward Ph.D, Mayor	City Representative
	Door County
	Northeast Wisconsin Area Technical College
	Sturgeon Bay School District
	Public Member

Introduction and Description of District

The City plans to use Tax Incremental Financing ("TIF") as a successful economic development programming tool by providing public improvements and development incentives to encourage and promote residential development. The goal is to increase the tax base, to create and enhance economic opportunities, and to increase housing options within the City. The City works with developers and property owners to provide infrastructure improvements and incentives for development. Public infrastructure and property improvements will be financed by a combination of TIF increments and debt financing.

The Tax Increment District ("TID") is being created as a "Mixed-Use District" based on the identification and classification of the property proposed to be included in the TID. The maximum life (absent extension) of the TID is 20 years from the date of adoption.

The City and School District have been working with Developers to redevelop the Sunset School property and school parking lot into housing. The school property is a 2.76-acre parcel abutting Delaware Street, N. 8th Avenue, and Erie Street. The Developer has proposed to construct approximately 26 apartment housing units on this property with assistance from the School District for land acquisition costs and assistance from the City for costs related to the demolition of the Sunset School building and approximately \$200,200 for housing construction costs. The City plans to recover those developer assisted costs through the creation of the TID. The 26 housing units are expected to be completed by the end of 2023 and add approximately \$3,000,000 of property value.

The school parking lot is a 0.81-acre parcel abutting Erie Street and Florida Street. The Developer for this parcel has proposed to construct 10 townhouse units with assistance from the School District for land acquisition costs. In addition, approximately \$15,000 may be needed for housing construction costs if the units require a sprinkling system for fire protection. The 10 housing units are expected to be completed by the end of 2022 and add approximately \$900,000 of property value.

The City anticipates various public improvement project cost expenditures of approximately \$975,316 during the TID's 15-year expenditure period. Proposed public project improvements may include, but not limited to infrastructure, professional and organizational services, administrative costs, and finance costs. As part of the project plan, Developer incentives may be provided by the City to developers of property within the TID in the form of cash grants.

As a result of the creation of this TID, the City projects a preliminary and conservative cash flow analysis indicating \$1,940,566 in increments. The TID increment will primarily be used to pay the debt service costs of the TID, and project development incentives. The City projects land and improvement values (incremental value) of approximately \$3,900,000 will be created in the TID by the end of 2023. This additional value will be a result of the improvements made and projects undertaken with the TID.

Maps depicting the boundaries and existing uses and conditions of the TID are found in the respective mapping sections of this project plan.

Summary of Findings

As required by s.66.1105 Wis. Stats., and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

1. That "but for" the creation of this TID, the development projected as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City. In making this determination, the City has considered the following information:
 - Development within the TID has not occurred at the pace anticipated by the City. Infrastructure and other development related expenses are not likely to be borne exclusively by private developers; therefore, the City has concluded that public investment will be required to fully achieve the City's objectives for this area.
 - To achieve its objectives, the City has determined that it must take an active role in encouraging development by making appropriate public expenditures in the area. Without the availability of tax increment financing, these expenditures are unlikely to be made. Enhancement of this area will complement existing venues in the City, and benefit, not only the City, but all overlapping taxing jurisdictions. Accordingly, the costs to implement the needed projects and programs are appropriately funded through tax increment financing.
 - In order to make the area included within the TID suitable for development, the City will need to make a substantial investment to pay costs of some or all of the projects listed in the project plan and to maintain a rent structure that does not exceed the upper end of market levels. Due to the public investment that is required, the City has determined that development of the area will not occur at the

pace or levels desired solely as a result of private investment.

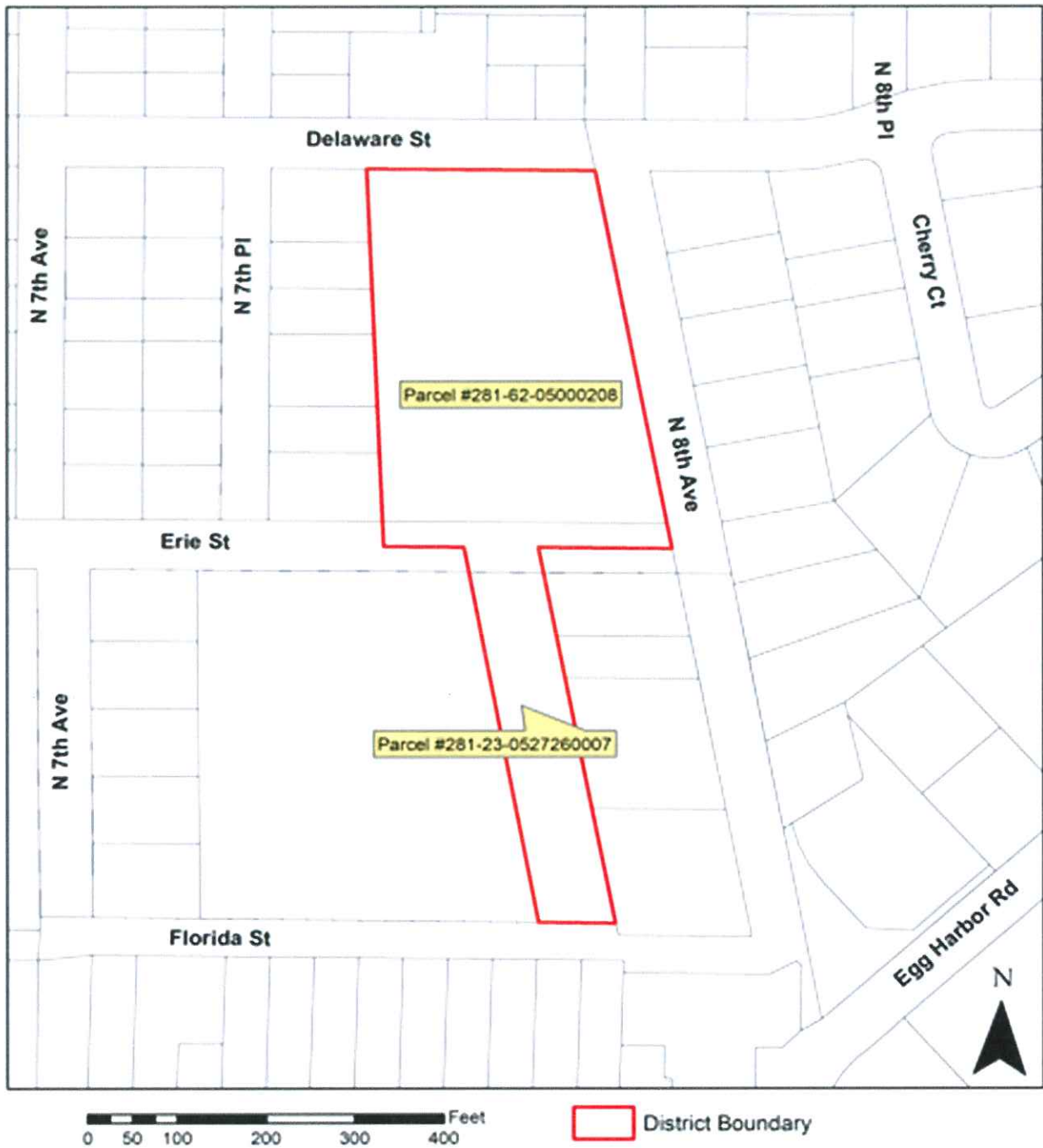
2. The economic benefits of the Tax Incremental District, as measured by increased property values, are sufficient to compensate for the cost of the improvements. In making this determination, the City has considered the following information:
 - As demonstrated in the Economic Feasibility Section of this Project Plan, the tax increments projected to be collected and the debt issuance will be more than sufficient to pay for the proposed project costs. On this basis alone, the finding is supported.
3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.
 - Since the development expected to occur is unlikely to take place without the use of Tax Incremental Financing (see Finding #1) and since the TID will generate economic benefits that are more than sufficient to compensate for the cost of the improvements (see Finding #2), the City reasonably concludes that the overall benefits of the TID outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the "but for" test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the TID is not created.
4. The improvements to be made within the TID are likely to significantly enhance the value of substantially all other real property in the City surrounding the TID.
5. The equalized value of taxable property of the TID does not exceed 12% of the total equalized value of taxable property within the City.
6. The Project Plan for the TID is feasible and is in conformity with the master plan of the City.
7. The City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wisconsin Statutes Sections 66.1105(5)(b).

8. The TID is being created as a Mixed-Use District. This project plan has met the definition and requirements for a Mixed-Use District. Not less than 50% of the proposed district's area land is suitable for industrial, commercial, and residential use.

Maps of Proposed District Boundary

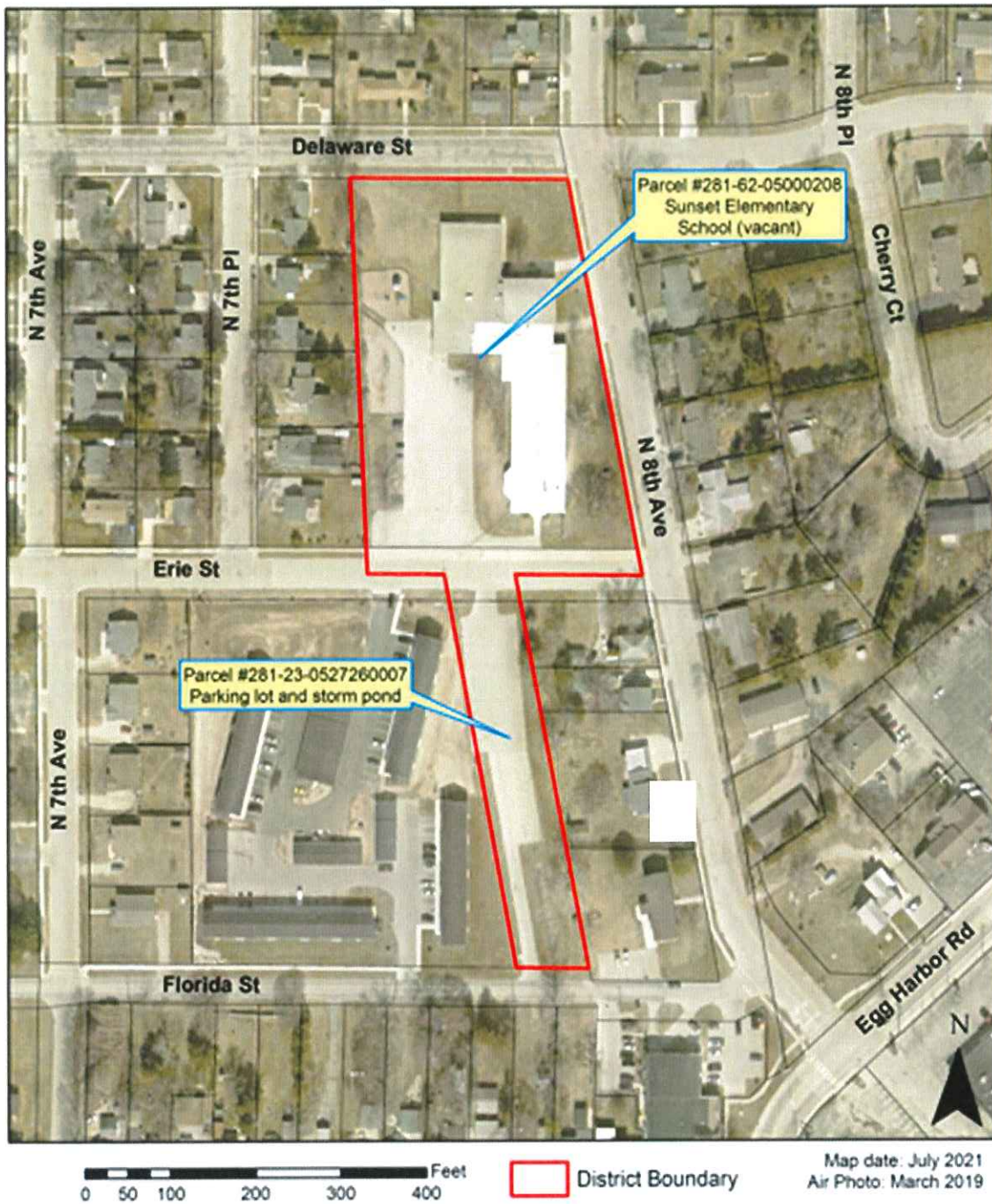
Current Map is reflective of the 01/01/2021 parcel list.

Tax Increment District #5



Map Showing Existing Uses and Conditions

Tax Increment District #5 Existing Uses and Conditions



Preliminary Parcel List and Analysis

As of the 01/01/2021 parcel list.

ID	Address	Parcel #	Valuation
1	827 N. 8 th Ave	2816205000208	\$0
2	N/A	281230527260007	\$0
Total Valuation			<u>\$0</u>

Equalized Valuation Test

The following calculations demonstrate that the City is in compliance with s.66.1105(4)(gm)4.c. Wis. Stats., which requires that the equalized value of the taxable property in the proposed TID, plus the value increment of any existing Tax Incremental Districts, does not exceed 12% of the total equalized value of taxable property within the City. With TID #5, the value increment of all existing Tax Increment Districts will be approximately 8.40%.

Valuation Test Compliance Calculation

2021 Equalized Valuation (TID IN)	\$ 1,029,653,800
Limit for 12% Test	\$ 123,558,456
Increment Value of Existing TIDs	\$ 86,464,200
Projected Base Value of New TID	\$ 0
Total Value Subject to Test	\$ 86,464,200
Compliance ($\$86,464,200 < \$123,558,456$)	Meets Requirement

Statement of Kind, Number and Location of Proposed Projects

The City expects to implement the following public project improvements. Any costs including eligible administrative costs necessary or convenient to the creation of the district or directly or indirectly related to the public works and other projects are considered "project costs" and eligible to be paid with tax increment revenues of the TID.

1. SUNSET SCHOOL PROPERTY SITE CLEARANCE

LOCATION: 2.76-acre parcel abutting Delaware Street, N. 8th Avenue, and Erie Street

TOTAL: \$250,000

DESCRIPTION: Demolition of existing school building, including the abatement of hazardous materials, and the removal of the driveway, parking areas, and other paved areas of the property.

2. DEVELOPER CONSTRUCTION INCENTIVE

LOCATION: 2.76-acre parcel abutting Delaware Street, N. 8th Avenue, and Erie Street

TOTAL: \$200,200

DESCRIPTION: Payment to Developer upon an occupancy permit obtained for the 26 housing units. The amount of such payment shall be \$7,700 per unit.

3. NEW SIDEWALKS

LOCATION: Erie Street and Florida Street

TOTAL: \$26,300

DESCRIPTION: Installation of new sidewalks along portions of Erie Street and Florida Street.

4. STREET IMPROVEMENTS

LOCATION: Delaware Street and Erie Street

TOTAL: \$84,500

DESCRIPTION: Repair/replace portions of the pavement of Delaware Street and Erie Street abutting or adjacent to the TID. Remove concrete and restore terrace lawn along north side of Erie Street.

5. NEIGHBORHOOD PROPERTY IMPROVEMENTS

LOCATION: Approximately one-block radius surrounding the TID

TOTAL: \$150,000

DESCRIPTION: Low/No interest loans or grants for minor repairs and upgrades to properties surrounding the tax increment district. This could finance items such as roof repairs, residing/painting, window replacement and similar improvements. The exact boundaries of the area subject to this expenditure may be adjusted subject to demand compared with available funds.

6. RECREATIONAL FACILITIES

LOCATION: On public property or public easement within ¼ mile of TID

TOTAL: \$100,000

DESCRIPTION: Replacement of Sunset School playground equipment with new equipment serving the future residents of the TID and surrounding area. The location of the playground equipment is to be determined.

7. FINANCING & INTEREST, CAPITALIZED INTEREST, COST OF ISSUANCE

LOCATION: ENTIRE TID

TOTAL: \$134,316

DESCRIPTION: Debt financing and interest, capitalized interest, and cost of issuance fees.

8. ADMINISTRATIVE / ORGANIZATIONAL FEES

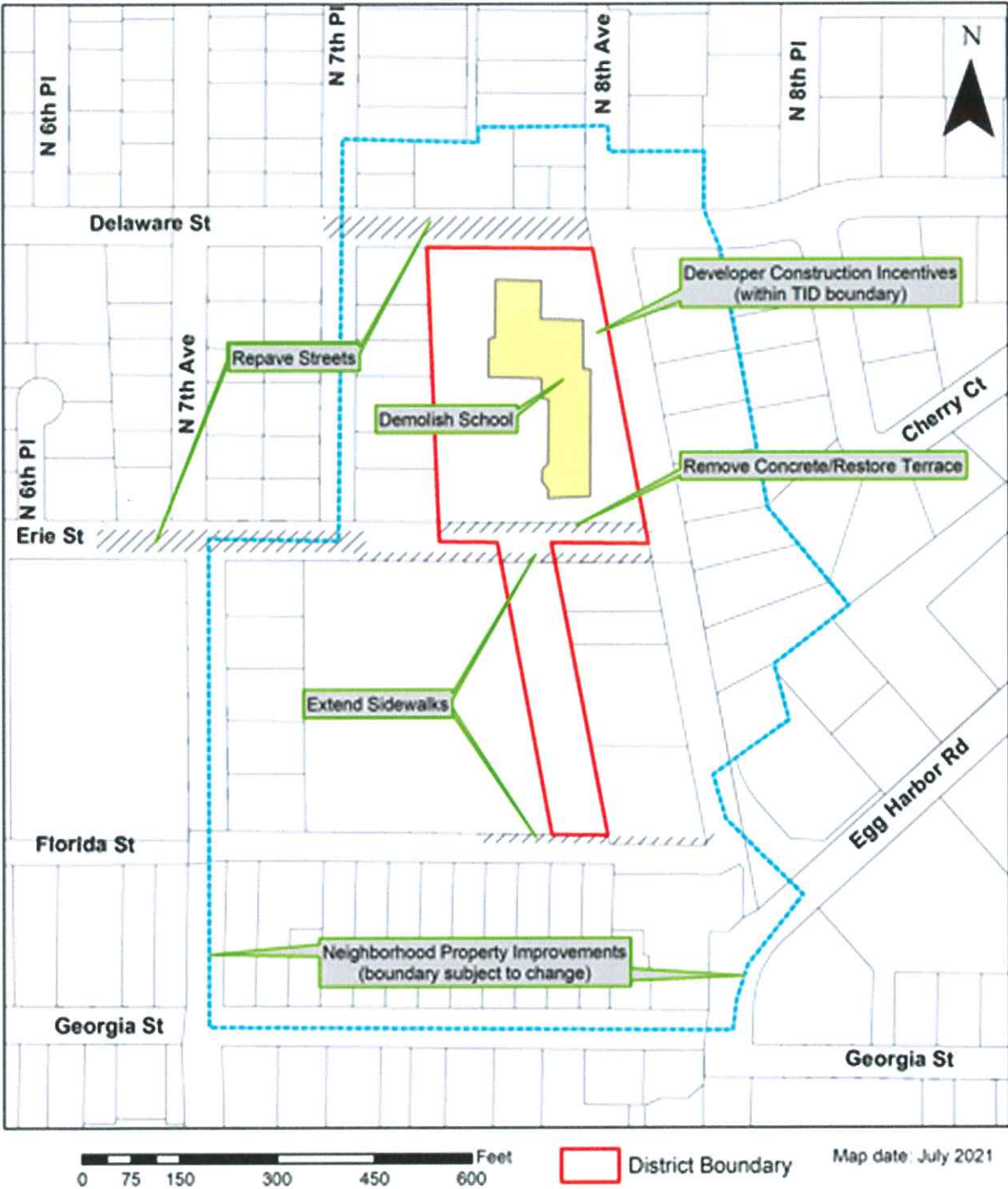
LOCATION: ENTIRE TID

TOTAL: 30,000

DESCRIPTION: Annual TID and City staff administration fees and professional fees for creation and organization, including legal fees.

Maps Showing Proposed Improvements and Uses

Tax Increment District #5
Proposed Projects



Detailed List of Project Costs

1. SUNSET SCHOOL PROPERTY SITE CLEARANCE	\$250,000
2. DEVELOPER CONSTRUCTION INCENTIVE	\$200,200
3. NEW SIDEWALKS	\$26,300
4. STREET IMPROVEMENTS	\$84,500
5. NEIGHBORHOOD PROPERTY IMPROVEMENTS	\$150,000
6. RECREATIONAL FACILITIES	\$100,000
7. FINANCING & INTEREST, CAPITALIZED INTEREST, COST OF ISSUANCE	\$134,316
8. ADMINISTRATIVE/ORGANIZATIONAL FEES	\$30,000
Total	\$975,316

The project cost is based on current prices and preliminary estimates. The City reserves the right to increase this cost to reflect inflationary increases and other uncontrollable circumstances between the creation of the TID and the time of construction. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of the Plan.

This Plan is not meant to be a budget nor an appropriation of funds for specific projects, but a framework within which to manage projects. All costs included in the Plan are estimates based on the best information available. The City retains the right to delete or pursue future projects listed in the prior paragraph, and shown on the map, or change the scope and/or timing of projects implemented as they are individually authorized by the Common Council, without amending the Plan.

The Plan authorizes the expenditure of funds for project costs within a 1/2-mile radius of the TID boundary.

Economic Feasibility

The information and exhibits contained within this project plan demonstrate that the proposed TID is economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan. A

listing of "Method of Financing and Timing of When Costs are to be Incurred" follows.

- The development anticipated to occur as a result of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. This Plan identifies the following: 1) the development expected to occur, 2) a projection of tax increments to be collected resulting from that development and other economic growth within the TID, and 3) a cash flow model demonstrating that the projected tax increment collections and all other revenues available such as debt issuance will be sufficient to pay all Project Costs.

In order to evaluate the economic feasibility of TID #5 it is necessary to project the amount of tax revenue that can be reasonably generated over the legal life of the TID. Included in Exhibit A is a proforma analysis of TID #5. The proforma analyzes expenses based on project plan costs of TID #5 against projected TID revenue. Tax revenue is conservatively estimated. Cash received from future TID #5 tax increments will be used to fund project costs and implementation of this Plan will also require that the City issue debt obligations to provide direct or indirect financing for the Projects to be undertaken. In 2042, the final year of revenue collection for the TID, it is projected to have repaid all expenditures and is left with a positive surplus balance.

Method of Financing and Timing of When Costs are to be Incurred

The City plans to fund project costs with cash received from future TID #5 tax increments and to issue obligations to provide direct or indirect financing for the Projects to be undertaken. The following is a list of the types of obligations the City may choose to utilize.

General Obligation (G.O.) Bonds or Notes

The City may issue G.O. Bonds or Notes to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of G.O. and State Trust Fund Loan debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (including increment values).

Board of Commissioners of Public Lands State Trust Fund Loans

The City may issue State Trust Fund Loans to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of State Trust Fund Loan and GO debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (including increment values).

Bonds Issued to Developers ("Pay as You Go" Financing)

The City may issue a bond to one or more developers who provide financing for projects included in this Plan. Repayment of the amounts due to the developer under the bonds are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the City's obligation is limited to not more than the agreed percentage of the actual increments collected. Bonds issued to developers in this fashion are not general obligations of the City and therefore do not count against the City's borrowing capacity.

Federal/State Loan Grant Programs

The State and Federal governments often sponsor grant and loan programs that municipalities may potentially use to supplement TID expenditures or provide financing for capital costs which positively impact the District. These programs include Wisconsin Community Development Block Grants, Rural Development Administration Community Facility Loan/Grants, Transportation Economic Assistance Grants, and Economic Development Administration Grants. These programs require local match funding to ensure State and Federal participation in the project.

The actual amount of debt issuance will be determined by the City at its convenience and as dictated by the nature of the projects as they are implemented.

Plan Implementation

Projects identified will provide the necessary anticipated governmental services to the area, and appropriate inducements to encourage development of the area. The City anticipates making total project expenditures of approximately \$975,316 to undertake the projects listed in this Project Plan. The Expenditure Period of this District is 15 years from the date of adoption of the Creation Resolution by the Common Council. The projects to be undertaken pursuant to this Project Plan are expected to be financed primarily with tax increments and debt proceeds. The City reserves the right to alter the implementation of this Plan to accomplish this objective. Interest rates projected are based on current market conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.

If financing as outlined in this Plan proves unworkable, the City reserves the right to use alternate financing solutions for the projects as they are implemented.

Annexed Property

There are no lands proposed for inclusion within the TID that were annexed by the City on or after January 1, 2004.

Proposed Changes in Zoning Ordinances

The current property in the TID is zoned Residential. The zoning classification for the school parcel (parcel #2816205000208 is proposed to be changed to Planned Unit Development (PUD) with an underlying classification of Multiple-Family Residential (R-4). No change is proposed for parcel #281230527260007.

Proposed Changes in Master Plan, Map, Building Codes and Town Ordinances

The City does not anticipate that the TID will require any changes in the master plan, map, building codes, and City ordinances to implement this project plan. The proposed development and uses are consistent with the adopted Sturgeon Bay Comprehensive Plan.

Relocation

The City does not anticipate the need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the City will follow applicable state statutes as required in Wisconsin Statutes Chapter 32.

Orderly Development of the City

The creation of the TID will enable the City to undertake projects in furtherance of the stated objectives of its Comprehensive Plan and other planning documents. To this extent, the creation of the TID promotes the orderly development of the City.

A List of Estimated Non-Project Costs

Non-Project costs are public works projects that only partly benefit the TID or are not eligible to be paid with tax increment, or costs not eligible to be paid with Tax Incremental Financing funds. The City does not anticipate any non-project costs for the TID.

City Attorney Opinion

Exhibit B contains a signed opinion from the City attorney advising whether the project plan amendment is complete and complies with Section 66.1105(4)(f) of the Wisconsin Statutes.

City of Sturgeon Bay
TID #5 Project Plan & District Boundary

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EXHIBIT B
CITY ATTORNEY OPINION

EXHIBIT C
TID #5 BOUNDARY LEGAL DESCRIPTION

A parcel of land partly in Subdivision 5 of the Assessor's Map of the City of Sturgeon Bay, and partly in Babel Subdivision, located in the S ½ of the NW ¼ of Section 5, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin bounded and described as follows;

Commencing at the intersection of the southerly right-of-way line of Delaware Street and the westerly right-of-way line of North 8th Avenue, thence southerly along westerly right-of-way line of North 8th Avenue to the intersection with the centerline of the right-of-way of Erie Street, thence westerly along said centerline of the right-of-way of Erie Street to the intersection with the easterly line of Lot 7, Babel Subdivision extended, thence S 11°31'40" E along said easterly line of Lot 7 extended to the northeast corner of said Lot 7, thence S 11°31'40" E along the easterly line of said Lot 7 423.34 feet to the intersection with the northerly right-of-way of Florida Street as dedicated in the Babel Subdivision, thence S 89°53'00" W along said northerly right-of-way line 86.20 feet to the southwest corner of said Lot 7, thence N 10°51'40" W along the westerly line of said Lot 7 422.01 feet to the northwest corner of said Lot 7, thence continue N 10°51'40" W to the intersection with the centerline of the right-of-way of Erie Street, thence westerly along said centerline to the intersection with the easterly line of Sunset Hill Plat, thence northerly along said easterly line of Sunset Hill Plat to northeast corner of Lot 6, Block 3 of Sunset Hill Plat, thence easterly along the southerly right-of-way line of Delaware Street to the point of commencement.

DISCLAIMER TEXT

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If you have any questions or concerns about the above disclosures, please contact Baird Public Finance.

ORDINANCE NO. ____

THE COMMON COUNCIL OF THE CITY OF STURGEON BAY, WISCONSIN DO
ORDAIN AS FOLLOWS:

SECTION 1: The following described property is hereby rezoned from Central Business District (C-2) to Planned Unit Development (PUD) and shall be subject to the approved final site plan and requirements incorporated herein:

Lot 1 of Certified Survey Map No. ____, recorded in Volume __, Page ____.

SECTION 2: The following requirements and conditions are placed upon the property described within the legal description:

A. Underlying Zoning: The underlying zoning district shall be C-2 Central Business District. The permitted uses and other zoning requirements of the underlying district shall apply, except as otherwise indicated under the PUD requirements shown below or in the approved final PUD plans.

B. PUD Requirements: The requirements of the underlying C-2 district shall apply except that a 53-unit multiple-family dwelling shall comply with the approved final plans and the following requirements:

1. Building Height. The maximum height shall not exceed 5 stories and 57 feet in building height.
2. Density. The minimum lot area per dwelling unit shall be 1,300 square feet. The total number of dwelling units within the PUD shall not to exceed 36 residential units.
3. Rear Yard (setback). The minimum rear yard shall be 15 feet.
4. Parking. The number of on-site 10 parking spaces shall not be less than the number of apartment units. A payment in lieu of providing on-site parking spaces shall be made for all required spaces not created on-site.
5. Outdoor Lighting. Any exterior lighting shall be designed with cutoff fixtures to reflect light away from adjacent parcels and public streets, and away from the night sky.
6. Stormwater management. Drainage facilities shall conform to stormwater management plan approved by the City Engineer.

Roof water shall be directed to storm sewer located northwesterly of the building.

SECTION 3: This ordinance shall take effect on the day after its publication.

Approved:

David J. Ward, PhD.
Mayor

Attest:

Stephanie Reinhardt
City Clerk

DRAFT

STAFF REPORT
Final PUD Review for Breakwater Residences
53-Unit Apartment Building for Northpointe Development Corp.

Proposal: Andy Dumke, representative for Northpointe Development Corp. is petitioning for approval of a Planned Unit Development (PUD) to be located on a portion of the west waterfront redevelopment site currently owned by the City. The location is known as Development Site A of the request for proposals (RFP) issued last year by the City. The Plan Commission and Council through the RFP process reviewed three development proposals and chose to work with Northpointe.

The project includes the construction of a 5-story, 53-unit apartment building. The area of the site is 40,290 sq. ft. The site is zoned Central Business District (C-2). Under this zoning classification Multiple-Family Residential uses require a conditional use approval granted by the Plan Commission. However, this proposal is required to go through the PUD process, which is a more extensive review process, due to have more than 24 units on the lot. In addition, this proposal does not meet some of the basic rules of the zoning code including: density, setbacks, height, and off-street parking. A PUD is a special type of zoning classification that allows for altering the underlying development requirements for unique projects that do not fit neatly into one of the standard zoning districts.

Review Process: The Preliminary PUD was previously approved by the Plan Commission and Council. A public hearing was conducted as part of the preliminary PUD, which showed mostly support for the project. The Plan Commission makes a recommendation on the final PUD plans, and the Council upon approving the recommendation will conduct two readings of the ordinance (approximately 1 month). The Aesthetic Design and Site Plan Review Board has issued a certificate of appropriateness for the final project plans.

Existing Conditions: The subject site was former part of the Door County Cooperative facility and has been vacant since 2013. This site is located with the regulated Floodplain.

Surrounding Uses:

- North: Granary Building, Public Space, Maritime Museum, Promenade (C-2)
- East: Vacant with a mixed-use development proposal in progress (C-2)
- South: Cellcom / Glas Coffee, Bayside Bargains (C-2)
- West: Graystone Castle, DeJardin Cleaners, Bridge Salon, Lift (C-2)

Comprehensive Plan: The Future Land Use Map of the 2040 Comprehensive Plan designates this site for Downtown Mixed Use. This area is intended for a mix of retail, commercial services, offices, institutional, governmental, and residential uses arranged in a pedestrian-oriented environment with on-street parking, minimal building setbacks; and building design materials, placement, and scale that are compatible with the character of existing development. The existing C-2 zoning district is the recommended zoning for areas with this designation. The Housing Chapter also identifies the need to Diversify new housing projects, support infill developments with higher densities

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particularly in the downtown area, and support multiple-family housing. The development proposal does not conflict with the Comprehensive Plan.

Site Plan and Design Considerations: The following is a summary of the major site and design subjects:

Building Layout: The building is pushed closer to the north lot line and puts access and surface parking in the front of the building off of Maple Street. The building has a rear yard 18 feet which does encroach the normal 25-foot minimum rear yard setback. All other setbacks are met. The building shape and site layout fits the project site.

Access: Vehicular access will be off of East Maple Street, which leads to a surface parking lot and loading zone, and also leads to the parking garage. Pedestrian access will be from the front of the building leading to Maple Street, the east side of the building leading to the potential shared parking lot, and the west side of the building leading to Locust Ct. The building contains 2 stairway systems and 2 elevators for accessing all the floors.

Density: The zoning code allows for 12.4 units (or 3500 sq. ft.) per acre. This project is proposing 53.01 units (or 760 sq. ft.) per acre. This will require a deviation to be granted by the City through the PUD ordinance.

Building Design: The proposed building is 57 feet in overall height including 4 floors of apartments and 1 floor of parking. The normal maximum building height in the C-2 district is 45 feet. Building design is similar to the Bay Lofts project. The building does not contain a lot of long/flat surfaces due to the recess and bump out in the façade. In addition, there are balconies and patios that add to the design. The box-like design matches the downtown theme. Adding a cornice to the upper façade is also a positive element that match the historic downtown areas. The overall footprint of the building provides texture and uniqueness. The top floor contains a community room with a deck and roof.

The developer is proposing a combination of materials for the exterior of the building including a light mist lap siding, a light mist shake siding, and wood grain accent siding.

Mix of Units: There are 32 one-bedroom units and 21 two-bedroom units. 13 of the total units have their own den. Each floor contains 13-14 units.

Parking: There are 44 interior parking spaces and 14 surface parking spaces; totaling 58 parking spaces onsite. The Zoning Chapter requires a total of 85 parking spaces based on the unit mix. This will require a deviation to be granted by the City through the PUD ordinance or a payment in lieu of providing the 27 spaces. The project also identifies the potential to create a shared parking lot to the north of this site including 33-37 stalls. This is only a concept at this point and would need to be constructed by City. The developer and City have tentative agreement on a development agreement that includes the proposed parking lot and a \$1000 per deficient space payment by the developer to help

cover the cost. The developer is also in discussions with the Graystone Castle regarding leasing a portion of their parking area.

Pedestrian Access: There are public sidewalks along E Maple Street and none on E locust. There are also public sidewalks along the drive aisle of the City parking lot. Their plans show concrete sidewalks extending around the front of the building and up to those public sidewalks. They also show sidewalks leading to the shared parking lot and to the Greystone parking lot to the west.

Traffic: The City Engineer is not requiring a traffic study for this project. No significant changes to the surrounding streets or traffic pattern are anticipated or planned.

Utilities: Sewer and water laterals will be extended from the existing mains in Maple Street. There are no significant issues from SBU; however, meters cannot be located within the interior parking area.

Stormwater Management: The City Engineer is not requiring stormwater detention for this project because the existing site is already nearly 100% impervious. The developer's grading plan directs the runoff to appropriate existing catch basins. The City Engineer is requiring the roof water to drain to the storm sewer servicing the parking area by the Maritime Museum.

Landscaping: This project is required to install 2 canopy trees and 6 street trees. The final plans show 13 trees. The planting beds to have specific regulations under the zoning code. The landscape plan has been approved by the Aesthetic Design and Site Plan Review Board.

Lighting: The final lighting plans is compliant with the City's design standards and have been approved by the Aesthetic Design and Site Plan Review Board. The plan includes a combination of wall pack lights and lighting on poles. These all are night sky friendly and contained with the defined project area.


Signage: Backlit stainless-steel signs are proposed in several areas. These appear to be compliant with the sign regulations and the City's design guidelines. The Aesthetic Design and Site Plan Review Board has approved the signage plan.

PUD Review Criteria: The Plan Commission and Council must consider whether the development is consistent with the spirit and intent of the City's ordinance, has been prepared with competent professional guidance, and produces benefits to the city compared to conventional development. In addition, there are specific criteria listed in the zoning code.

Recommendation: Staff recommends to approve the final PUD including the proposed deviations from the C-2 zoning requirements for height, density of units, and rear yard setback subject to the following conditions:

1. All roof water must drain to the storm sewer system to the northwest of the building as determined by the City Engineer.
2. The developer and City enter into a development agreement regarding the use of the property, obligations, easements, and any other pertinent parameters.

Prepared by:



Christopher Sullivan-Robinson
City Planner/Zoning Administrator

8-13-21

Date

Prepared by:



Marty Olejniczak
Community Development Director

8-13-2021

Date

Reviewed by:



Chad Shefchik
City Engineer

8-13-21

Date

CITY OF STURGEON BAY PLANNED UNIT DEVELOPMENT APPLICATION

Date Received: _____
Fee Paid \$ _____
Received By: _____

Application For: Conceptual _____ Preliminary _____ Final X Combined Preliminary/Final _____
Note: There are different requirements for each of the above processes. A separate application is required for each.

NAME OF PROPOSED PLANNED UNIT DEVELOPMENT: Breakwater Residence

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	Robert Feller	Breakwater Apartments - Sturgeon Bay, LLC
Company	Knothe Bruce Architect	
Street Address	7601 University Ave	230 Ohio Street
	Suite 201	Suite 200
City/State/Zip	Middleton, WI 53562	Oshkosh, WI 54902
Daytime Telephone No.	608-836-3690	920-379-1645
Fax No.		

STREET ADDRESS(s) OF SUBJECT PROPERTY: 54 East Maple St., Lot 1
Location if not assigned a common address: _____

TAX PARCEL NUMBER(s): _____

AREA OF SUBJECT PROPERTY AND NO. OF LOTS: 40,291 sq.ft. - 1 lot

CURRENT ZONING CLASSIFICATION: C-2 Central Business District

CURRENT USE AND IMPROVEMENTS: Commercial/Vacant

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: Commercial/Industrial

WOULD APPROVAL OF THE PROPOSED PLANNED UNIT DEVELOPMENT CONFORM WITH THE
COMPREHENSIVE PLAN? Yes X No _____ Explain: _____
While the proposed developed varies from commercial/vacant, the Zoning District allows
for residential uses

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PLEASE IDENTIFY SPECIFIC PROPOSED LAND USES. USES MUST IDENTIFY AND CORRESPOND TO A PARTICULAR LOT, LOCATION, BUILDING, ETC. Multi-family Residential

CURRENT USE AND ZONING OF ADJACENT SURROUNDING PROPERTIES:

North: C-2 Central Business District

South: C-2 Central Business District

East: C-2 Central Business District

West: C-2 Central Business District

COMPREHENSIVE PLAN DESIGNATION OF ADJACENT SURROUNDING LAND USES:

North: Industrial

South: Commercial

East: Vacant

West: Commercial/Industrial

IS ANY VARIANCE FROM COMPREHENSIVE PLAN, SUBDIVISION ORDINANCE, OR ZONING ORDINANCE BEING REQUESTED? If yes, describe:
N/A

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? N/A IF YES, EXPLAIN:

Attach an 11" X 17" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 20 copies folded to 8-1/2" X 11"), full legal description (preferably on disk), location map with site boundaries marked, proof of ownership, and Agreement for Reimbursement of expenses. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.

Andrew Dumlak
Property Owner (Print Name)

[Signature]
Signature

8-4-21
Date

Robert Feller
Applicant/Agent (Print Name)

[Signature]
Signature

08/04/2021
Date

I, Robert Feller, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

06/01/2021

Date of review meeting

[Signature]
Applicant Signature

[Signature]
Staff Signature

August 4, 2021

City of Sturgeon Bay
Plan Commission
421 Michigan St
Sturgeon Bay WI 54235



Re: Narrative - Planned Unit Development (PUD)
General Plan Approval
Breakwater Residence
54 E Maple St, Sturgeon Bay WI

Plan Commission Meeting Date: August 18, 2021
Final Planned Unit Development Site Plan

The following is submitted together with the site plan and application for Plan Commission consideration.

Organizational Structure:

Developer: Northpointe Development Corp
230 Ohio Street, Suite 200
Oshkosh, WI 54902
Phone: **920-379-1645**
Contact: Andy Dumke
andy@alliancedevelopment.biz

Architect: Knothe & Bruce Architects, LLC
760 I University Avenue, Ste. 201
Middleton, WI 53562
Phone: 608-836-3690
Contact: Bob Feller
bfeller@knothebruce.com

Project Description:

The property legal descriptions are: Lot 1, Block 9 of Harris First Addition and also a part of Lots 1, 6 and 7, Block 8 of Bayview Plat and all of Lots 2, 3, 4 and 5, Block 8 of Bayview Plat and also part of Subdivision 76. All located in: The NE ¼ of Section 7, Township 27 North, Range 26, East, City of Sturgeon Bay, Door County, Wisconsin.

The properties are currently zoned C-2 Central Business District and the proposed use will work well with the proposed redevelopment of Lots 1, 2 and 3.

Site Development Data:**Densities:**

Lot Area	40,291 S.F. 0.92 acres
Dwelling Units	53DU
Lot Area / D.U.	760 S.F./D.U.
Density	57.6 units/acre
Lot Coverage	28,257 S.F. (40%)
Building Coverage	17,775 S.F. (25%)

Area e Residential Area:

Garage Level=	17,775 S.F.
First Floor =	17,011 S.F.
Second Floor=	16,940 S.F.
Third Floor=	16,940 S.F.
<u>Fourth Floor =</u>	<u>17,005 S.F.</u>
Total=	85,671 S.F.

Building Height

4 stories= 45'-0" on top of 10'-3" garage

Dwelling Unit Mix:

One Bedroom	27
One Bed + Den	5
Two Bedroom	13
Two Bed + Den	<u>8</u>
Total	53 units

Vehicle Parking:

Underground	42
<u>Surface</u>	<u>14</u>
Total	56 vehicle stalls

Thank you for your time reviewing our proposal.

Sincerely,



Robert Feller, AIA, NCARB

Knothe Bruce Architect

CERTIFIED SURVEY MAP

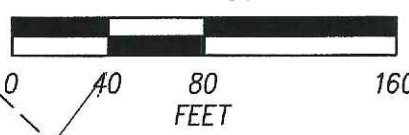
BEING A REVISION OF:
C.S.M. NUMBER 2952, RECORDED AT VOLUME 18, PAGE 57
OF CERTIFIED SURVEY MAPS AS DOCUMENT NO. 788826.

BEING PART OF:
LOT 1, BLOCK 9 OF HARRIS FIRST ADDITION AND ALSO A
PART OF LOTS 1,6 AND 7, BLOCK 8 OF BAYVIEW PLAT AND
ALL OF LOTS 2,3,4 AND 5, BLOCK 8 OF BAYVIEW PLAT AND
ALSO PART OF SUBDIVISION 76

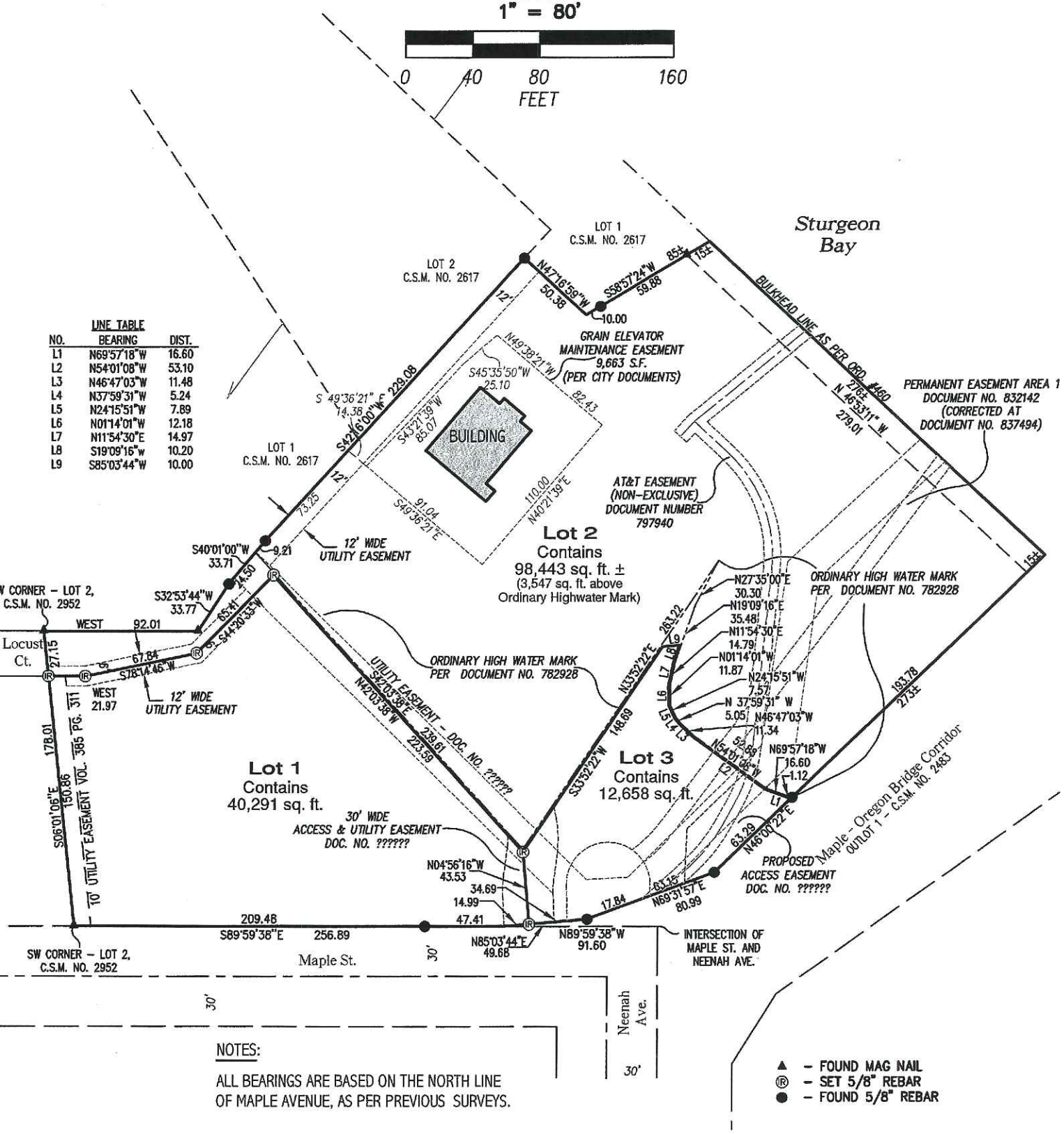
ALL LOCATED IN:
THE NE 1/4 OF SECTION 7,
TOWNSHIP 27 NORTH, RANGE 26 EAST,
CITY OF STURGEON BAY,
DOOR COUNTY,
WISCONSIN.



1" = 80'



NO.	BEARING	DIST.
L1	N69°57'18"W	16.60
L2	N54°01'08"W	53.10
L3	N46°47'03"W	11.48
L4	N37°59'31"W	5.24
L5	N24°15'51"W	7.89
L6	N01°14'01"E	12.18
L7	N11°54'30"E	14.97
L8	S19°09'16"W	10.20
L9	S85°03'44"W	10.00



NOTES:
ALL BEARINGS ARE BASED ON THE NORTH LINE
OF MAPLE AVENUE, AS PER PREVIOUS SURVEYS.

- ▲ - FOUND MAG NAIL
- Ⓡ - SET 5/8" REBAR
- - FOUND 5/8" REBAR

7

CERTIFIED SURVEY MAP

BEING A REVISION OF:

C.S.M. NUMBER 2952, RECORDED AT VOLUME 18, PAGE 57
OF CERTIFIED SURVEY MAPS AS DOCUMENT NO. 788826.

BEING PART OF:

LOT 1, BLOCK 9 OF HARRIS FIRST ADDITION AND ALSO A
PART OF LOTS 1,6 AND 7, BLOCK 8 OF BAYVIEW PLAT AND
ALL OF LOTS 2,3,4 AND 5, BLOCK 8 OF BAYVIEW PLAT AND
ALSO PART OF SUBDIVISION 76

ALL LOCATED IN:

THE NE 1/4 OF SECTION 7,
TOWNSHIP 27 NORTH, RANGE 26 EAST,
CITY OF STURGEON BAY,
DOOR COUNTY,
WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, Michael G. McCarty, Registered Land Surveyor for Baudhuin Incorporated, do hereby certify that under the direction of the City of Sturgeon Bay, we have surveyed the following described parcel:

A parcel of land being a revision of C.S.M. Number 2952 recorded at Volume 18, Page 57 of Certified Survey Maps as Document No. 788826, being a part of Lot 1, Block 9 of Harris First Addition and also a part of Lots 1, 6 and 7, Block 8 of Bayview Plat and all of Lots 2, 3, 4 and 5, Block 8 of Bayview Plat and also part of Subdivision 76, all located in the NE 1/4 of Section 7, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin. More particularly described as follows:

Commencing at the SW corner of Lot 2 of said C.S.M. Number 2952, said corner being on the northerly right of way line of Maple Street and the point of beginning of lands to be described; thence S. 89°59'38" E., 256.89 along said northerly right of way line to the northerly line of the Maple - Oregon Bridge Corridor, said line being the northerly line of Outlot 1 of C.S.M. Number 2483, recorded at Volume 15, Page 13 of Certified Survey Maps as Document Number 725179; thence along said northerly line as follows: N. 85°03'44" E., 49.68 feet; thence N. 69°31'57" E., 80.99 feet; thence N. 46°00'22" E., 258.19 feet to a point on a meander line; thence continue N. 46°00'22" E., 15 feet ± to a Bulkhead Line as per City Ordinance #460; thence leaving said northerly line, Northwesterly, 276 feet ± along said Bulkhead Line to the easterly line of C.S.M. Number 2617, recorded at Volume 15, Page 342 of Certified Survey Maps as Document Number 750029; thence along said easterly line as follows: S. 58°57'24" W., 15 feet ± to a found Mag nail on a meander line, said point being N. 46°53'11" W., 279.01 feet along said meander line from the aforementioned point on said meander line; thence continue S. 58°57'24" W., 69.88 feet; thence N. 47°16'59" W., 50.38 feet; thence S. 42°16'00" W., 229.08 feet; thence S. 40°01'00" W., 33.71 feet; thence S. 32°53'44" W., 33.77 feet to the southeasterly corner of Lot 1 of said C.S.M. Number 2617; thence leaving said easterly line, West, 92.01 feet to the NW corner of Lot 2 of said C.S.M. Number 2952; thence S. 06°01'06" E., 178.01 feet along the westerly line of Lot 2 of said C.S.M. Number 2952 to the point of beginning.

Said parcel contains 151,392 square feet ±, and is subject to and benefited by all easements of record.

Also, I have fully complied with the requirements of chapter 236.34 of the Wisconsin Statutes. I further certify that the attached map is a true representation of said property and correctly shows the exterior boundaries and correct measurements thereof.

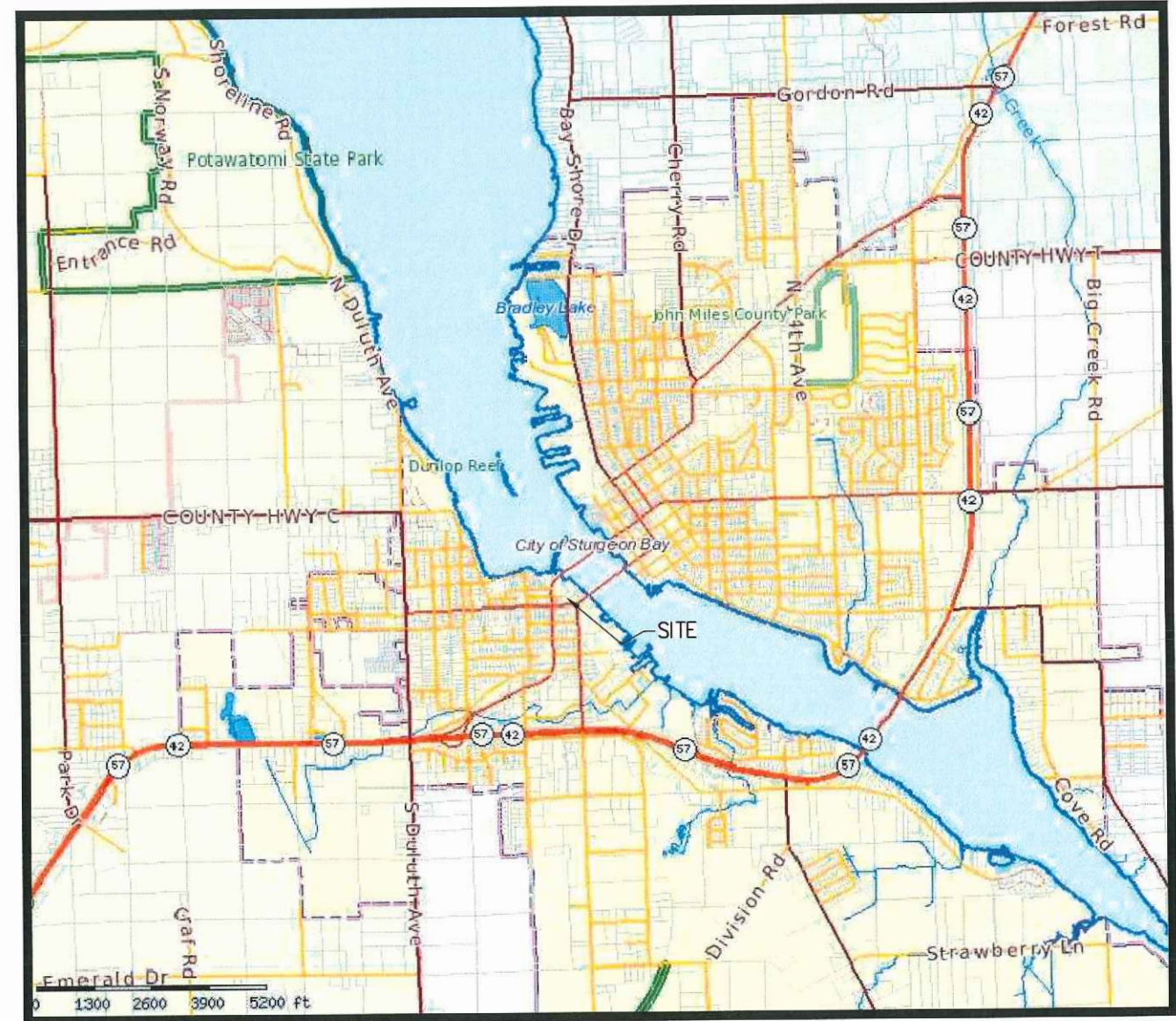
Dated: _____

Michael G. McCarty S-2298

Breakwater Residences

Grading, Drainage, Erosion Control, & Utility Plans

JOB NUMBER
22357

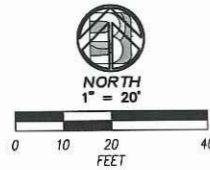
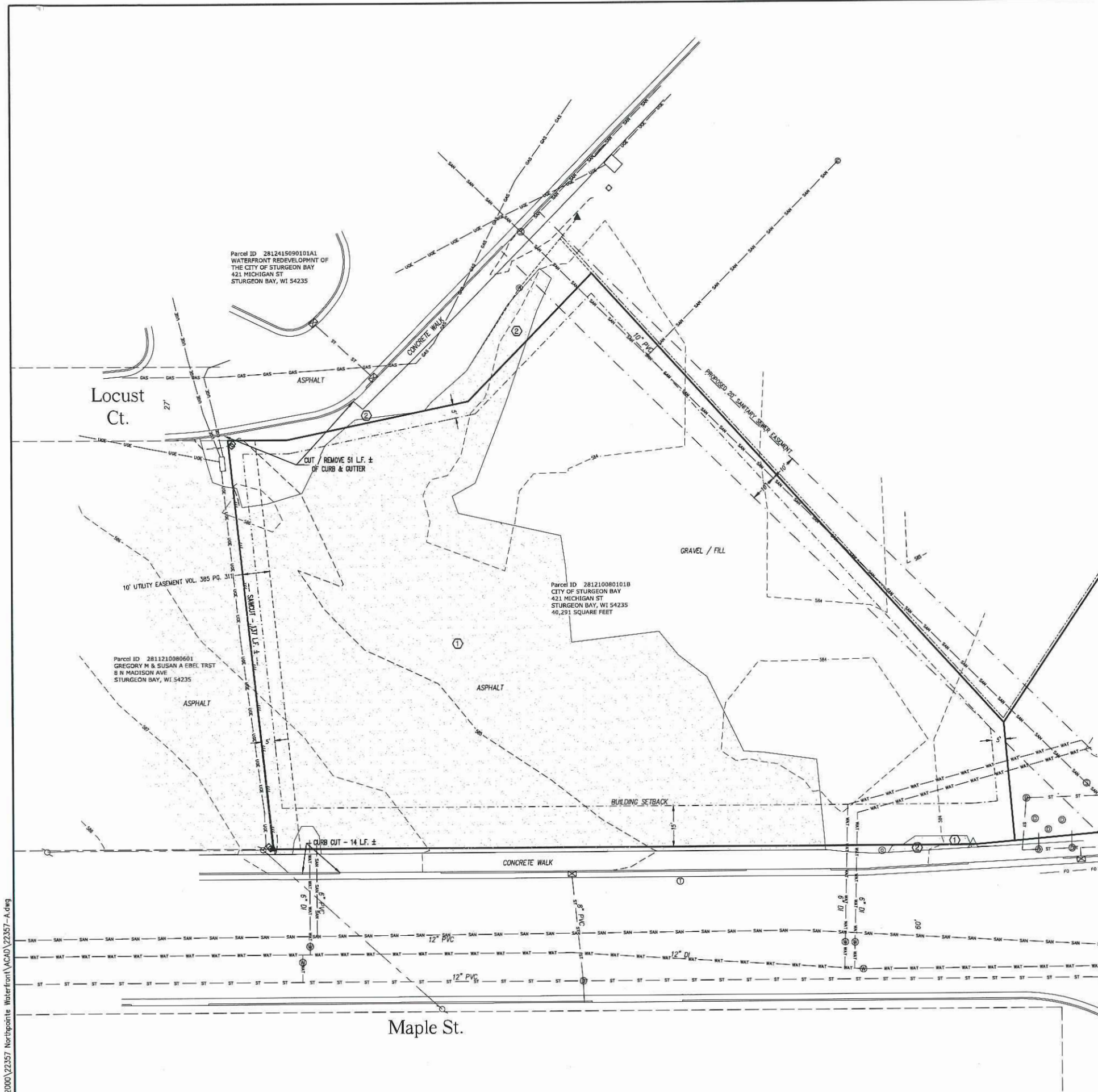


INDEX OF SHEETS	
C100	COVER & INDEX SHEET
C101	DEMOLITION & EXISTING CONDITIONS PLAN
C102	GRADING, DRAINAGE, & EROSION CONTROL PLAN
C103	PROPOSED UTILITY SITE PLAN
C104	PROPOSED LANDSCAPE PLAN
C105	PROPOSED CONSTRUCTION DETAILS
C106	PROPOSED CONSTRUCTION DETAILS



REUSE OF DOCUMENTS THIS DOCUMENT HAS BEEN DEVELOPED FOR A SPECIFIC APPLICATION AND NOT FOR GENERAL USE. IT IS THE USER'S RESPONSIBILITY TO DETERMINE THE APPROPRIATE USE OF THIS DOCUMENT. UNAUTHORIZED USE OF THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE UNAUTHORIZED USER.	PROPOSED APARTMENT COMPLEX COVER & INDEX SHEET	Breakwater Residences 54 E. MAPLE STREET STURGEON BAY, WI 54235		312 N. 5TH AVE. P.O. BOX 105 STURGEON BAY, WI 54235 PHONE: 920-743-8211	REVISION DATE:	DESCRIPTION:	DRAWN BY:
	C100-1				DESIGNED BY: P.J.H.	DATE: 7-26-21	JOB NUMBER: 22357

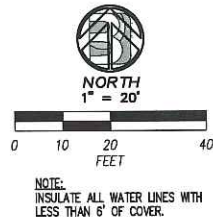
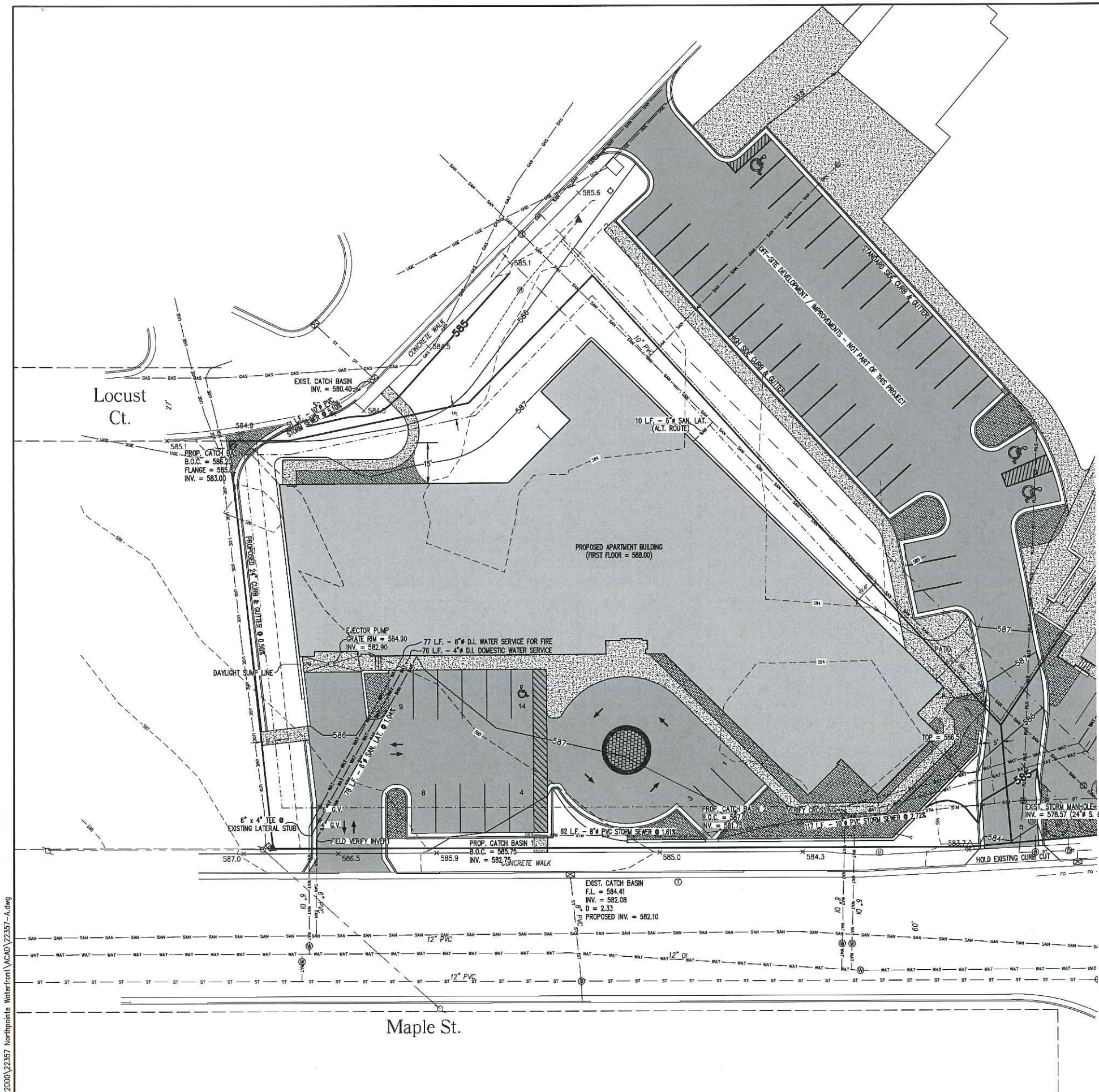
y:\Projects\22000\22357 Northpointe Waterfront\ACAD\22357-A.dwg



- ① Remove all existing asphalt pavement on-site.
- ② Remove off-site asphalt down to concrete walk on south side of project.

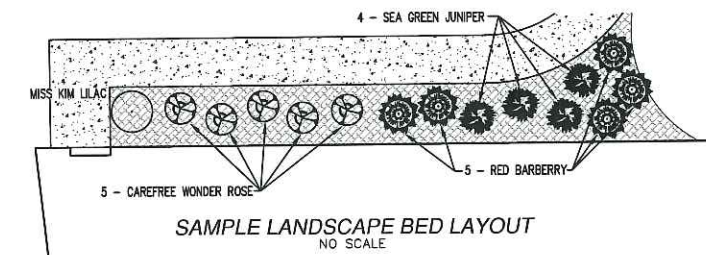
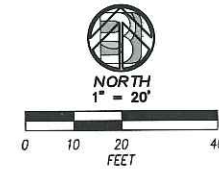
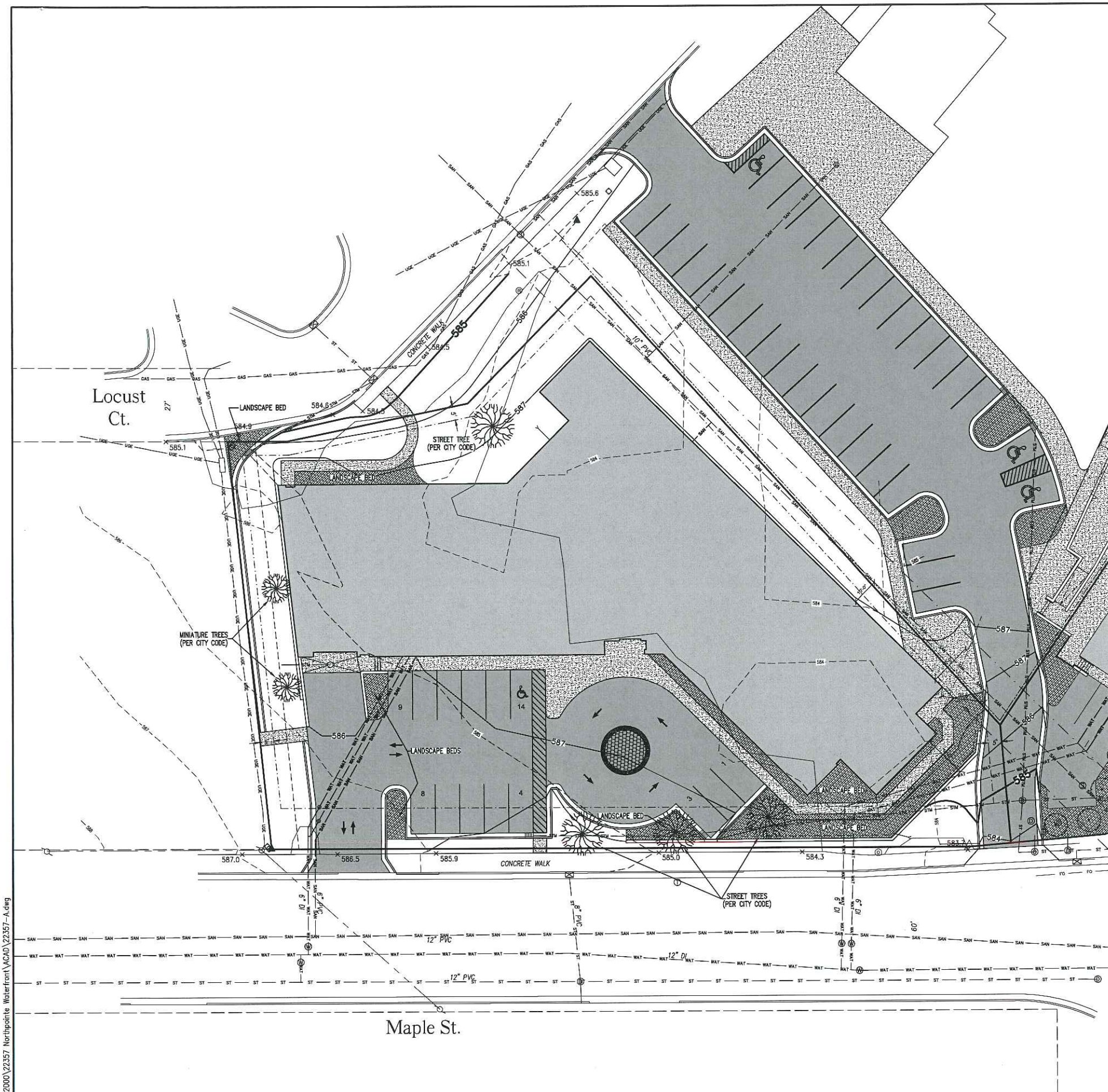
REUSE OF DOCUMENTS THIS DOCUMENT HAS BEEN DEVELOPED FOR A SPECIFIC APPLICATION AND NOT FOR GENERAL USE. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE INFORMATION AND TO OBTAIN THE NECESSARY APPROVALS FOR ANY MODIFICATIONS OR REUSE OF THE DOCUMENT.	PROPOSED APARTMENT COMPLEX DEMOLITION & EXISTING CONDITIONS PLAN	BAUDHUIN SURVEYING & ENGINEERING  Breakwater Residences 54 E. MAPLE STREET STURGEON BAY, WI 54235	BAUDHUIN SURVEYING & ENGINEERING	DESIGNED BY: P.J.H.	DATE: 7-26-21	JOB NUMBER: 22357
	312 N. 5TH AVE. P.O. BOX 105 STURGEON BAY, WI 54235 PHONE: 920-743-8211					

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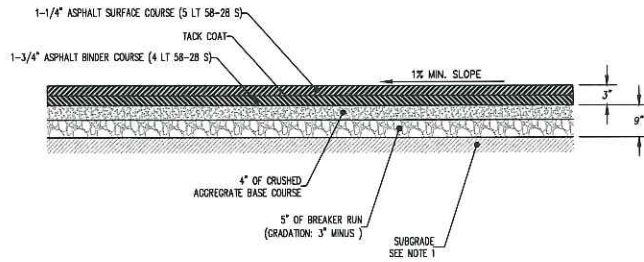


7

C103	REUSE OF DOCUMENTS THIS DOCUMENT HAS BEEN DEVELOPED FOR A SPECIFIC APPLICATION AND NOT FOR REUSE. IT IS THE USER'S RESPONSIBILITY TO OBTAIN THE WRITTEN APPROVAL OF BAUDHUIN ENGINEERING, INC. BEFORE REUSE OF THIS DOCUMENT FOR ANY OTHER PROJECT. THE USER IS THE SOLE RESPONSIBLE USER.	PROPOSED APARTMENT COMPLEX PROPOSED UTILITY SITE PLAN	BAUDHUIN SURVEYING & ENGINEERING	312 N. 5TH AVE. P.O. BOX 105 STURGEON BAY, WI 54235 PHONE: 920-743-8211	REVISION DATE: DESCRIPTION: DRAWN BY: VB DESIGNED BY: P.J.H. CHECKED BY: J.M.H. JOB NUMBER: 7-26-21 22357



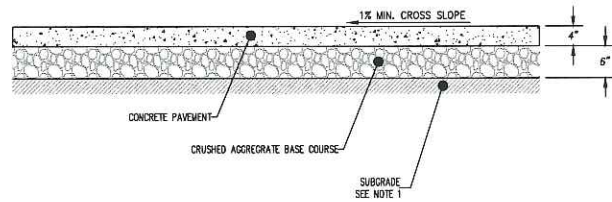
C104	REUSE OF DOCUMENTS THIS DOCUMENT HAS BEEN DEVELOPED FOR A SPECIFIC APPLICATION AND NOT FOR GENERAL USE. THE WRITTEN APPROVAL OF BAUDHUIN INCORPORATED, UNAPPROVED USE IS THE SOLE RESPONSIBILITY OF THE UNAUTHORIZED USER.	PROPOSED APARTMENT COMPLEX PROPOSED LANDSCAPE PLAN	 <h1>Breakwater Residences</h1> <p>54 E. MAPLE STREET STURGEON BAY, WI 54235</p>		312 N. 5TH AVE. P.O. BOX 105 STURGEON BAY, WI 54235 PHONE: 920-743-8211	REVISION DATE:	DESCRIPTION	DRAWN BY: NO	DESIGNED BY: P.J.H.	JOB NUMBER: 7-25-21	22357



NOTES
1. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

SPECIFICATIONS
• ASPHALT PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM
• ASPHALT PAVING CONTRACTOR TO SAW OUT EXISTING ASPHALT EDGE PRIOR TO JOINING NEW PAVEMENT

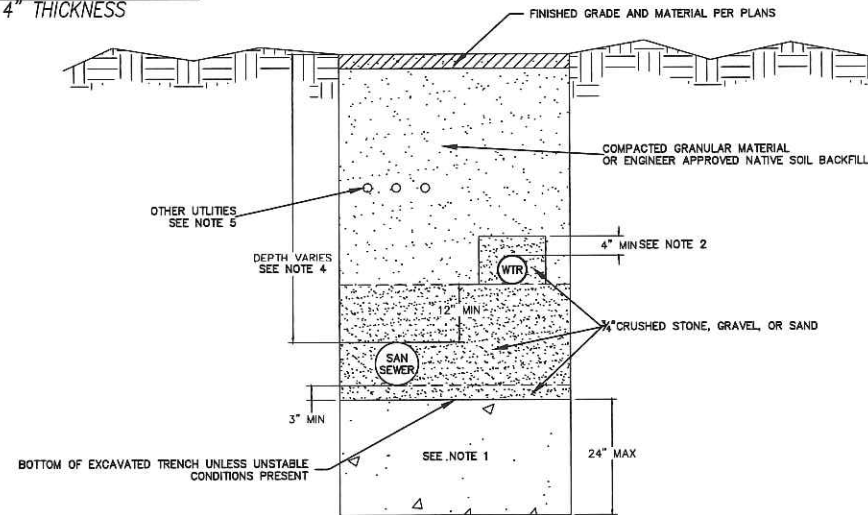
1 N.T.S. ASPHALT PAVEMENT - STANDARD DUTY



NOTES
1. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

SPECIFICATIONS
• CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM
• CONCRETE SHALL BE 4,000 PSI MINIMUM
• CONCRETE SHALL RECEIVE A BROOKED FINISH

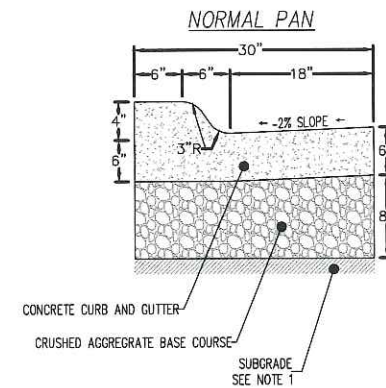
2 N.T.S. CONCRETE SIDEWALK/PAVEMENT/SLAB - 4" THICKNESS



NOTE:

1. IF UNSTABLE BOTTOM REMOVE WET AND YIELDING MATERIAL TO A MAXIMUM DEPTH OF 24" AND REPLACE WITH LIMESTONE SCREENINGS, PEA GRAVEL, OR EQUIVALENT MATERIAL
2. MINIMUM 4" WIDTH OF BEDDING MATERIAL ENCOMPASSING WATER SERVICE LINE
3. WATER SERVICE LINE TO MAINTAIN 12" OF VERTICAL CLEARANCE FROM SANITARY SEWER AT ALL LOCATIONS
4. BURIAL DEPTHS VARY; SEE PLANS. ALL WATER SERVICE LINES AND SANITARY SEWER TO MAINTAIN 48" OF BURIAL DEPTH, 72" IF BELOW SNOW REMOVAL AREAS UNLESS FROST PROTECTION IS PROVIDED PER SPS 382
5. IF ELECTRICAL, GAS, OR OTHER SERVICE LINE ARE TO RUN IN SAME TRENCH; SEE PLANS.
6. WHEREVER WATER SERVICE LINE CROSSES SANITARY SEWER, WATER PIPING TO BE INSTALLED 12" MINIMUM ABOVE TOP OF SEWER.
7. REFER TO SPS 382.40 FOR WATER SUPPLY DESIGN REQUIREMENTS INCLUDING DEPTH OF BURIAL, TRENCH BACKFILL REQUIREMENTS AND INSTALLATION OFFSET REQUIREMENTS
8. REFER TO SPS 382.30 FOR SANITARY SEWER DESIGN REQUIREMENTS INCLUDING DEPTH OF BURIAL, TRENCH BACKFILL REQUIREMENTS AND INSTALLATION OFFSET REQUIREMENTS
9. ALL SEWER AND WATER SYSTEMS MATERIAL SHALL BE IN ACCORDANCE WITH SPS 384.
10. TRACER WIRE SHALL BE INSTALLED FOR ALL NON-METALLIC SEWER AND WATER PIPING. WIRE SHALL BE INSTALLED DIRECTLY ABOVE THE TOP OF PIPE AND WITHIN 6-INCHES OF THE PIPE. WHERE SEWER AND WATER PIPING SHARE A COMMON TRENCH, TRACER WIRE NEED ONLY BE INSTALLED AT WATER PIPE.

5 N.T.S. UTILITY TRENCH/UTILITY BURIAL



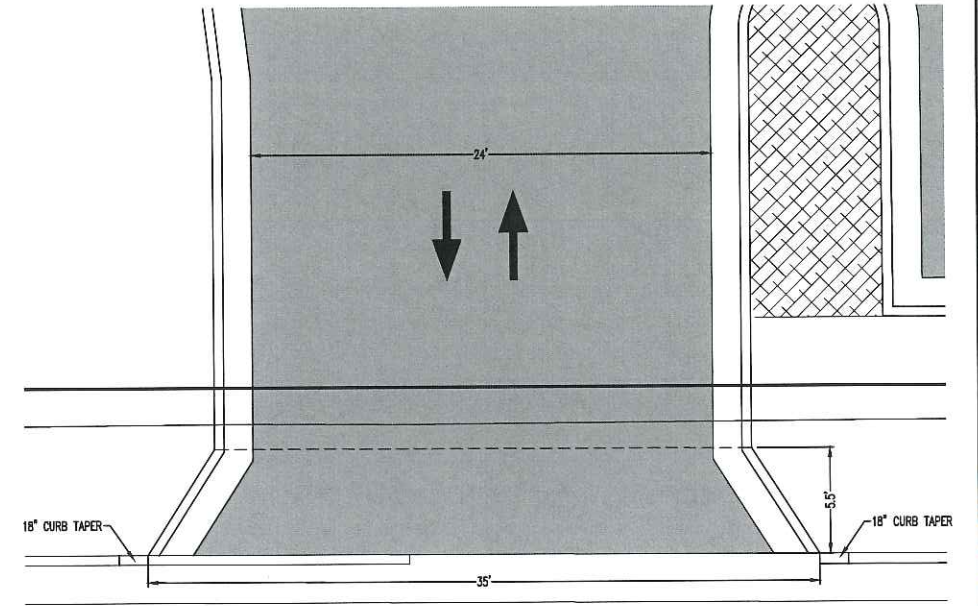
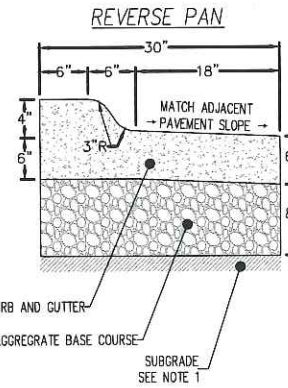
NOTES

1. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE
2. BEGINNING AND TERMINATION CONSTRUCTION: THE FINAL 18" SECTION OF CURB SHALL BE TAPERED TO MATCH INTO ADJACENT GRADE OR CURB-LINE.

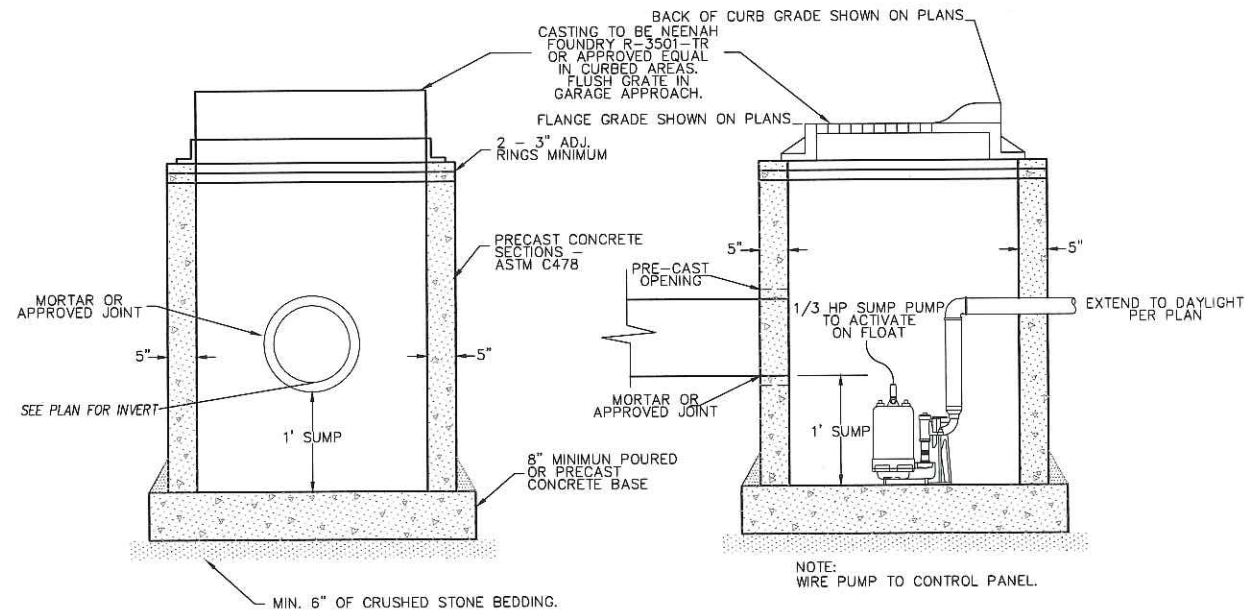
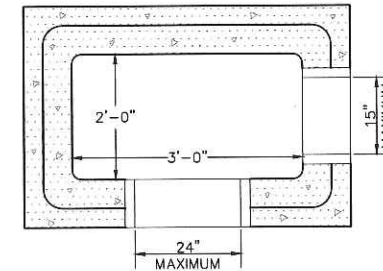
SPECIFICATIONS

- CONCRETE CURB AND GUTTER CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM (SEE STANDARD DETAIL SDO 08001-a)

3 N.T.S. 4" SLOPED CONCRETE CURB & GUTTER



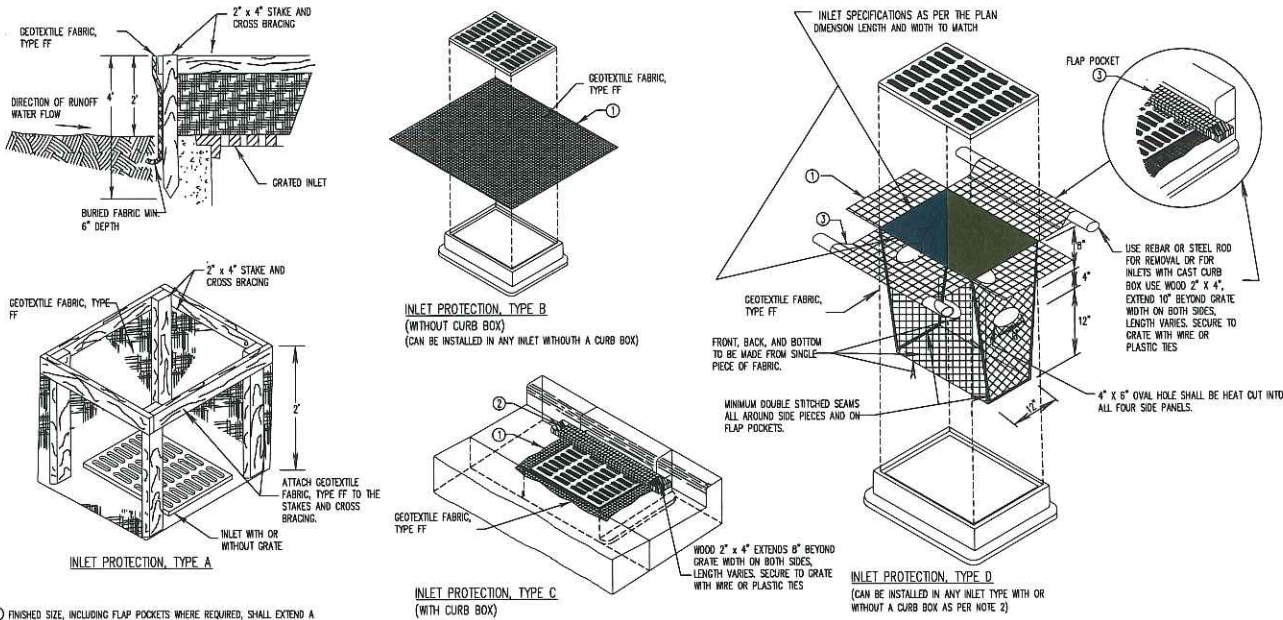
4 1" = 5' DRIVE ENTRANCE DETAIL



6 N.T.S. STORM CATCH BASIN - 2'x3' AND GARAGE APPROACH EJECTOR PUMP

DRAWN BY: DESIGNED BY: DATE: JOB NUMBER: 22357	DESCRIPTION: 312 N. 5TH AVE. P.O. BOX 105 STURGEON BAY, WI. 54235 PHONE: 920-743-8211
BAUDHUIN SURVEYING & ENGINEERING	
Breakwater Residences 54 E. MAPLE STREET STURGEON BAY, WI 54235	
PROPOSED APARTMENT COMPLEX PROPOSED CONSTRUCTION DETAILS	REUSE OF DOCUMENTS THIS DOCUMENT HAS BEEN DEVELOPED FOR A SPECIFIC APPLICATION AND NOT FOR REUSE WITHOUT THE WRITTEN APPROVAL OF BAUDHUIN INCORPORATED. UNAPPROVED USE IS THE RESPONSIBILITY OF THE USER.
C105	7/9/06

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- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

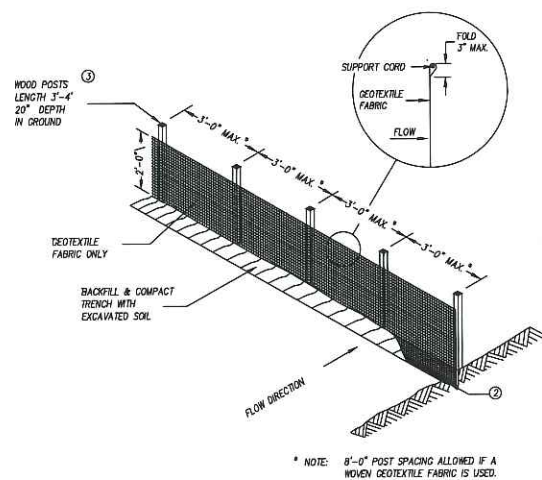
GENERAL NOTES

- THIS DETAIL BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISCONSIN DOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (P.A.L.) MAY BE SUBSTITUTED.
- INLET PROTECTION SHALL ALSO CONFORM TO WDNr TECHNICAL STANDARD 1050.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

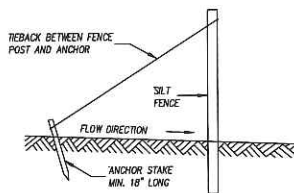
7 NTS STORM DRAIN INLET PROTECTION

EROSION CONTROL NOTES

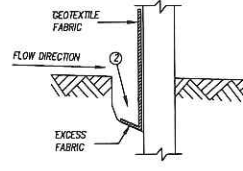
1. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. SEEDING SHALL FOLLOW THE REQUIREMENTS OF WDNr TECHNICAL STANDARDS 1058, 1059, AND WDOT STANDARD SPECIFICATIONS SECTION 630.
2. A MINIMUM OF 4 TO 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SOODED. REFER TO WDNr TECHNICAL STANDARD 1059.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED. IMPLEMENT TEMPORARY GRADING PRACTICES AS DESCRIBED IN WDNr TECHNICAL STANDARDS 1066 AND 1067 TO PREVENT SEDIMENT FROM LEAVING SITE.
5. ALL DISTURBED AREAS SHALL BE TREATED WITH STABILIZATION MEASURES AS SPECIFIED WITHIN 3 WORKING DAYS OF FINAL GRADING.
6. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND STABILIZATION WORK REDONE.
7. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS SILT FENCE, TEMPORARY SEEDING, MULCHING, STRAW BALES, AND SEDIMENT TRAPS AS RESPECTIVELY REQUIRED BY WDNr TECHNICAL STANDARDS 1056, 1059, 1058, 1055, AND 1063.
8. ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
9. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCHING OR A TRACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES. DUST CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO WDNr TECHNICAL STANDARD 1068.
10. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATIVE OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS SILT FENCES AND STRAW BALES AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
11. ALL REMAINING TOPSOIL STOCKPILES (AFTER CONSTRUCTION IS COMPLETE) SHALL BE SEED OR HAULED OFFSITE WITHIN 60 DAYS OF COMPLETION.
12. WINTER STABILIZATION: ALL AREAS REQUIRING SEED AFTER OCTOBER 15TH SHALL BE STABILIZED BY AN APPROVED WINTER STABILIZATION METHOD. THE RECOMMENDED METHOD IS UTILIZING A HYDROSEEDER CONTAINING ADEQUATE TACKIFIER POLYMER MIXED WITH WINTER WHEAT OR RYE SEED. ANOTHER ACCEPTABLE EROSION CONTROL METHOD IS THE LAND APPLICATION OF ANIONIC POLYACRYLAMIDE IN CONFORMANCE WITH WDNr TECHNICAL STANDARD 1050.



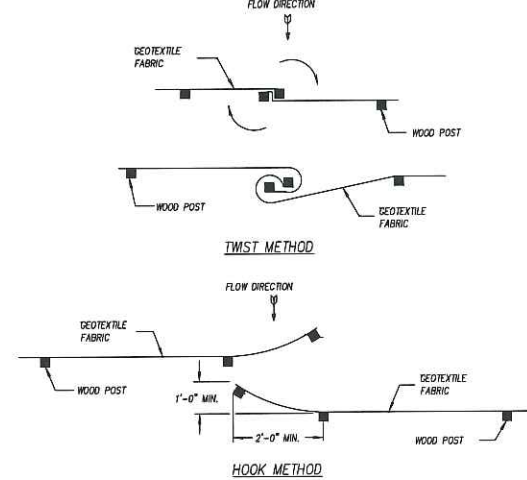
SILT FENCE



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



TRENCH DETAIL



JOINING TWO LENGTHS OF SILT FENCE

SHEET KEY NOTES:

1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF OAK OR HICKORY.
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCELENGTH.

GENERAL NOTES

- SILT FENCE SHALL CONFORM TO DNR TECHNICAL STANDARD 1056.
- ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.
- ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

8 NTS SILT FENCE

PROCEDURES OF CONSTRUCTION

1. INSTALL EROSION CONTROL MEASURES PER PLAN.
2. STRIP TOPSOIL & COMPLETE DEMOLITION PER PLAN. STOCKPILE TOPSOIL WHERE DESIGNATED.
3. INSTALL SEWER, WATER, & UTILITIES.
4. GRADE SITE TO SUB GRADE.
5. PLACE GRAVEL IN PARKING LOTS.
6. TOPSOIL, SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.
7. INSTALL STABILIZATION MEASURES.
8. REMOVE EROSION CONTROL MEASURES WHEN GRASS HAS BEEN WELL ESTABLISHED.

WDOT 2006 STANDARD SPECIFICATIONS SECTION 630 PERMANENT SEED MIXTURES

SPECIES	% MINIMUM PURITY	% MINIMUM GERMINATION	MIXTURE PROPORTIONS in percent			
			NO. 10	NO. 20	NO. 30	NO. 40
KENTUCKY BLUEGRASS	98	85				
RED FESCUE	97	85	40	8	10	35
HARD FESCUE	97	85	25		30	20
TALL FESCUE	98	85		24	25	20
SALT GRASS	98	85		40		
BERMUDA	92	85	5		10	
PERENNIAL RYEGRASS	97	90	20	30		
IMPROVED FINE PERENNIAL RYEGRASS	96	85			15	25
WHITE CLOVER	95	90	10			
BIRDFOOT TREFOIL	95	80		10		

1. USE SEED MIXTURE NO. 10 WHERE AVERAGE LOAM, HEAVY CLAY, OR MOIST SOILS PREDOMINATE.
 2. USE SEED MIXTURE NO. 20 WHERE LIGHT, DRY, WELL-DRAINED, SANDY, OR GRAVELLY SOILS PREDOMINATE AND FOR ALL HIGH CUT AND FILL SLOPES GENERALLY EXCEEDING 6 TO 8 FEET (1.8 TO 2.4 m).
 3. USE SEED MIXTURE NO. 10 OR NO. 20 ON ALL DITCHES, INSLOPES, MEDIAN AREAS, AND LOW FILLS, EXCEPT WHERE USING NO. 30.
 4. USE SEED MIXTURE NO. 30 FOR MEDIANS AND ON SLOPES OR DITCHES GENERALLY WITHIN 15 FEET (4.5 m) OF THE SHOULDER WHERE A SALT-TOLERANT TURF IS PREFERRED.
 5. USE SEED MIXTURE NO. 40 IN URBAN OR OTHER AREAS WHERE A LAWN TYPE TURF IS PREFERRED.
- USE THE FOLLOWING SOWING RATE FOR SEEDS IN POUNDS (kg) PER 1000 SQUARE FEET (100 SQUARE METERS) OF AREA:
- SEED MIXTURE NO. 10 AT 1.5 POUNDS (0.7 kg)
 - SEED MIXTURE NO. 20 AT 3.0 POUNDS (1.5 kg)
 - SEED MIXTURE NO. 30 AT 2.0 POUNDS (1.0 kg)
 - SEED MIXTURE NO. 40 AT 2.0 POUNDS (1.0 kg)

Breakwater Residences

PROPOSED APARTMENT COMPLEX PROPOSED CONSTRUCTION DETAILS

REUSE OF DOCUMENTS
THIS DOCUMENT HAS BEEN DEVELOPED FOR A SPECIFIC APPLICATION AND NOT FOR REUSE WITHOUT THE WRITTEN APPROVAL OF BAUDHUIN INCORPORATED. UNAPPROVED USE OF THIS DOCUMENT IS UNAUTHORIZED.

C106

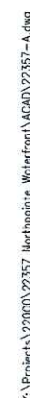
312 N. 5TH AVE.
P.O. BOX 105
STURGEON BAY, WI.
54235
PHONE: 920-743-8211

BAUDHUIN
SURVEYING &
ENGINEERING








54 E. MAPLE STREET
STURGEON BAY, WI 54235

DRAWN BY: VJD
DESIGNED BY: VJD
DATE: 7-28-21
JOB NUMBER: 22357

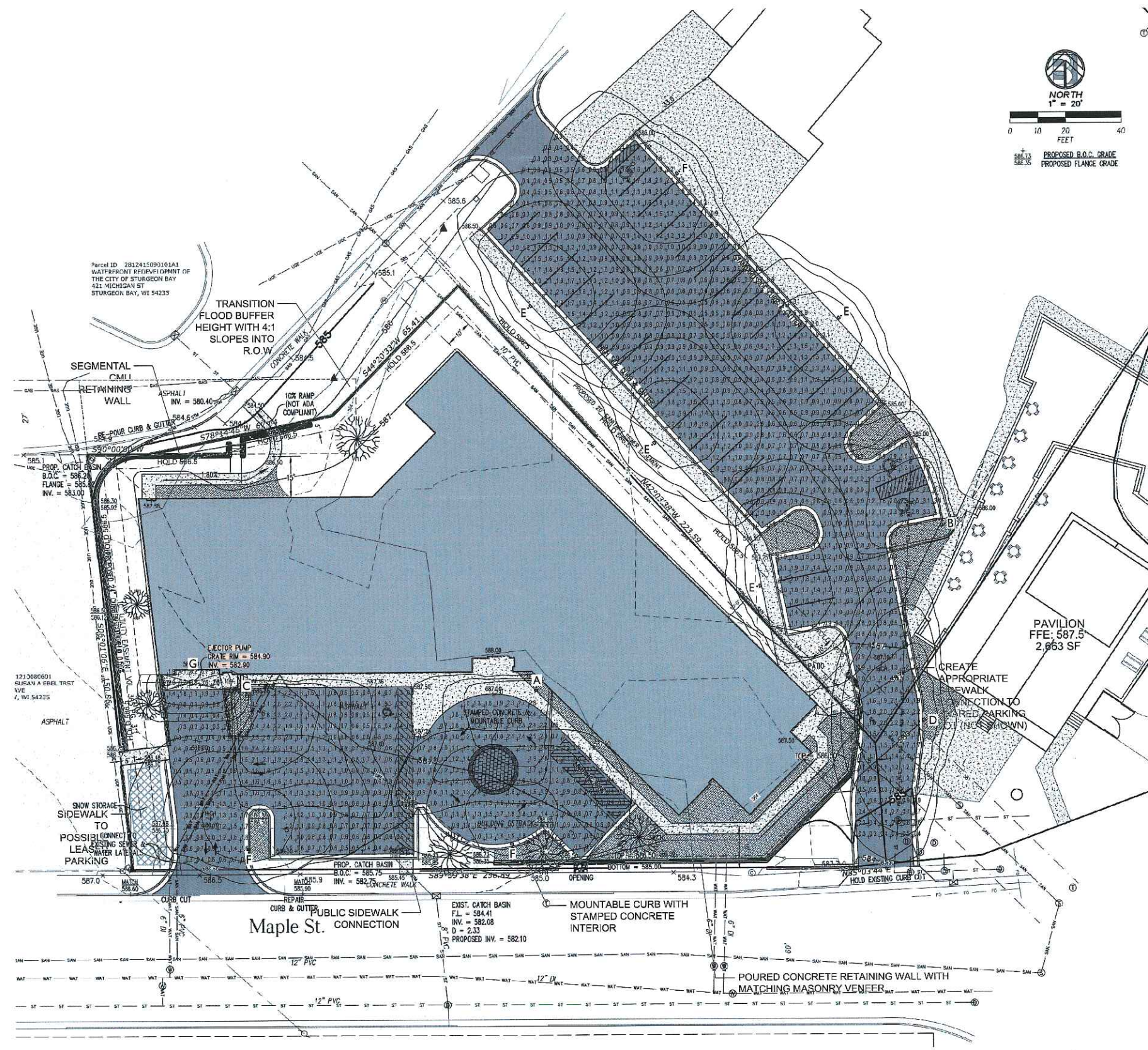
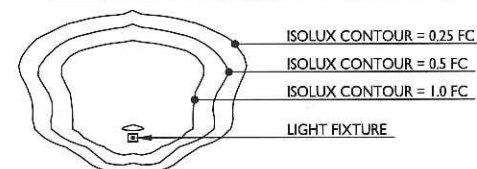
PROJECT NO. 2124
© 2020 Knothe & Bruce Architects, LLC



STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Garage Entry Security Lighting	+	1.7 fc	6.2 fc	0.3 fc	20.7:1	5.7:1
Building Parking Area Lighting	+	1.1 fc	3.5 fc	0.3 fc	11.7:1	3.7:1
Adjacent Parking Area Lighting	+	1.0 fc	4.0 fc	0.3 fc	13.3:1	3.3:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	1	LITHONIA LIGHTING	DSX0 LED PI 30K LCCO MVOLT	DSX0 LED PI 30K LCCO MVOLT	DSX0_LED_PI_30K_LCCO_MVOLT.ies	18'-0" POLE ON FLUSH CONC. BASE
	B	1	LITHONIA LIGHTING	DSX0 LED PI 30K LCCO MVOLT	DSX0 LED PI 30K LCCO MVOLT	DSX0_LED_PI_30K_LCCO_MVOLT.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	C	1	LITHONIA LIGHTING	DSX0 LED PI 30K RCCO MVOLT	DSX0 LED PI 30K RCCO MVOLT	DSX0_LED_PI_30K_RCCO_MVOLT.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	D	1	LITHONIA LIGHTING	DSX0 LED PI 30K T2M T2M MVOLT HS	DSX0 LED PI 30K T2M MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_PI_30K_T2M_MVOLT_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	E	4	LITHONIA LIGHTING	DSX0 LED PI 30K T4M T4M MVOLT HS	DSX0 LED PI 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_PI_30K_T4M_MVOLT_HS.ies	18'-0" POLE ON FLUSH CONC. BASE
	F	3	LITHONIA LIGHTING	DSX0 LED PI 30K T4M T4M MVOLT HS	DSX0 LED PI 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_PI_30K_T4M_MVOLT.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	G	1	LITHONIA LIGHTING	WPX1 LED PI 30K MVOLT	WPX1 LED WALLPACK, 1500lm, 3000K COLOR TEMP., 120-277 VOLTS	WPX1_LED_PI_30K_MVOLT.ies	8'-0" ABOVE GRADE ON BUILDING

EXAMPLE LIGHT FIXTURE DISTRIBUTION



ISSUED
Aesthetic Design and Site - July 26, 2021
PUD Submittal - August 4, 2021

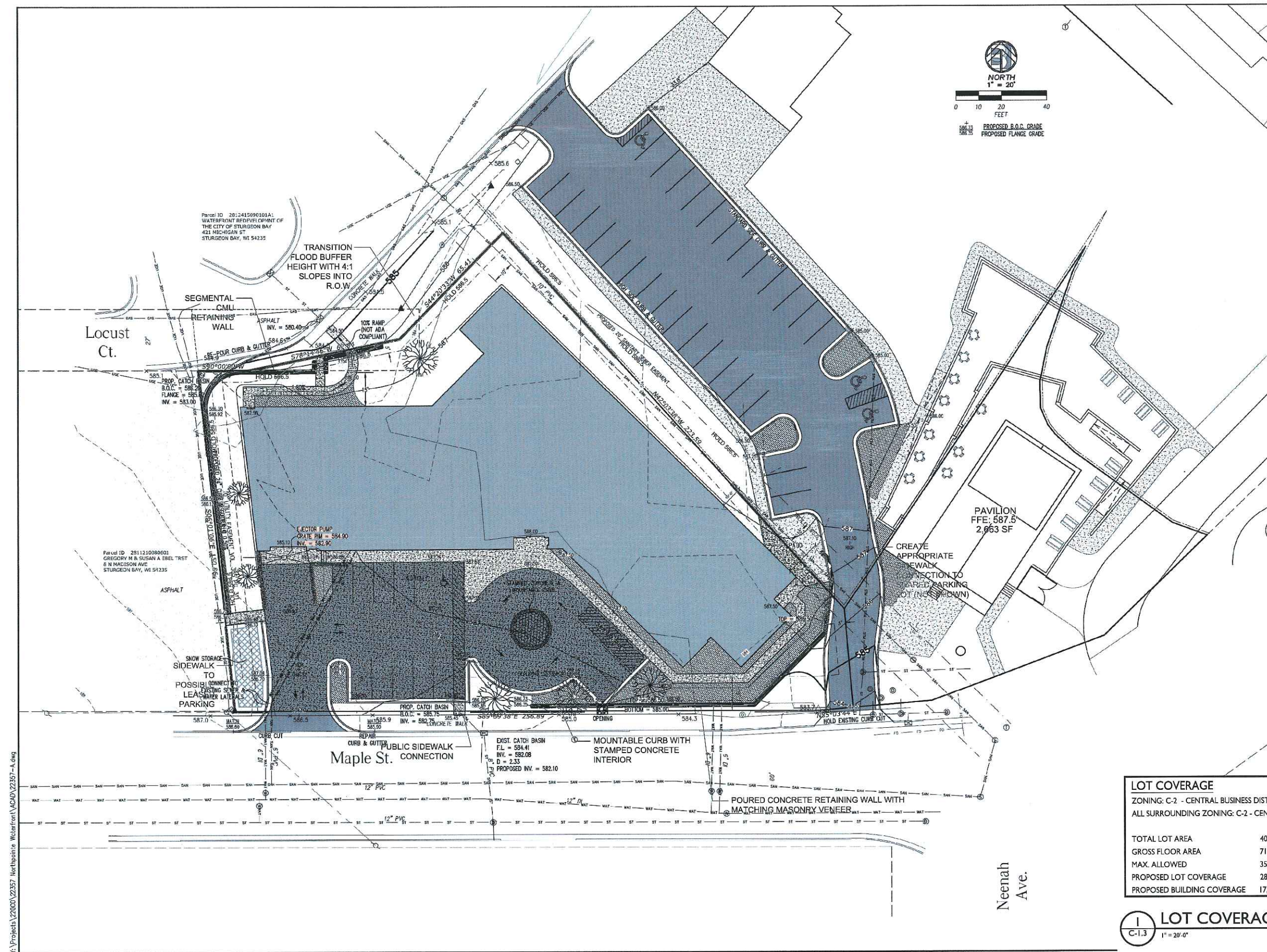
PROJECT TITLE
BREAKWATER
RESIDENCE


54 EAST MAPLE ST
STURGEON BAY, WI
SHEET TITLE
SITE LIGHTING
PLAN

SHEET NUMBER

C-1.2

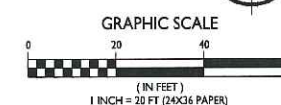
PROJECT NO. 2124
© 2020 Knothe & Bruce Architects, LLC



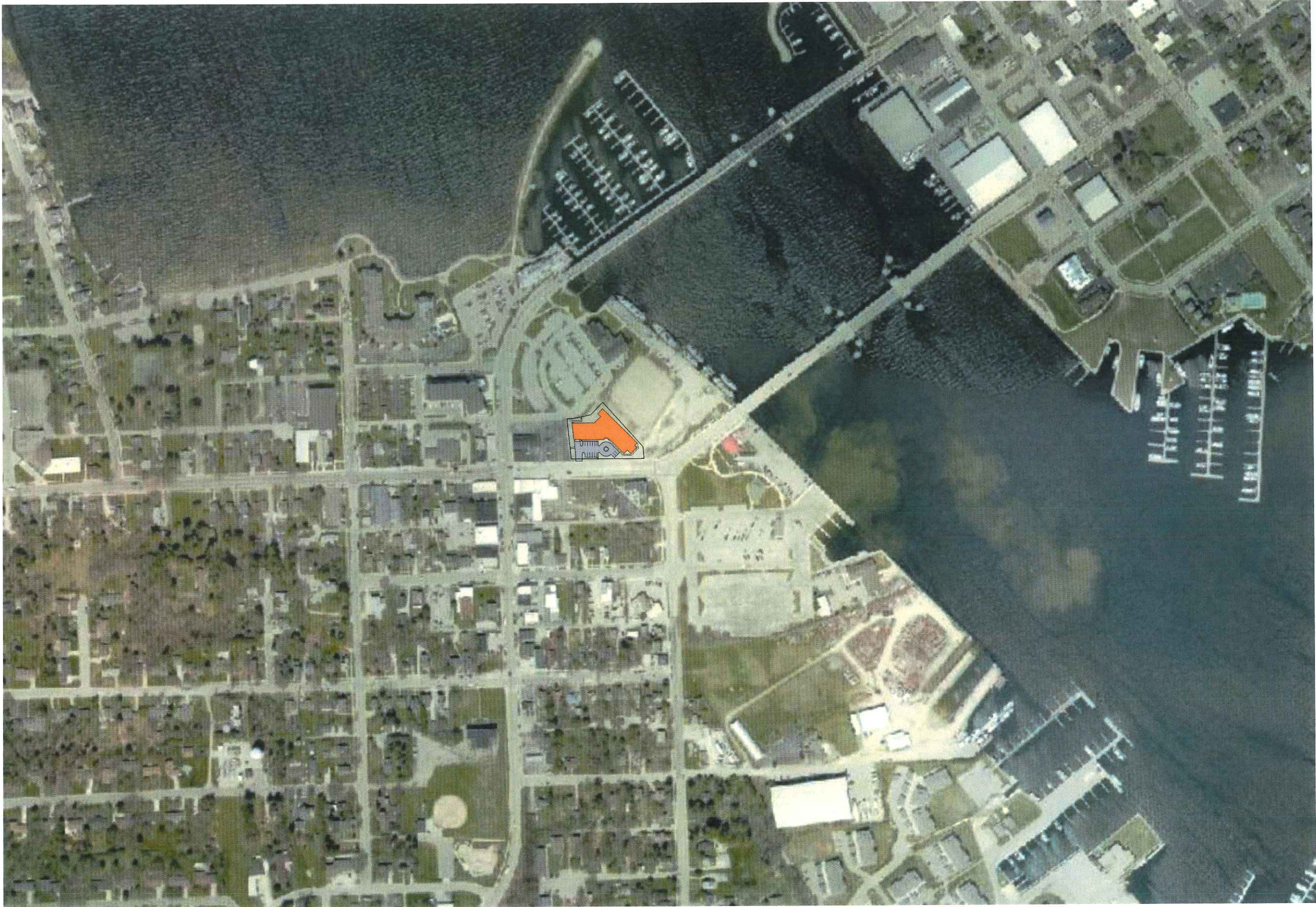
LOT COVERAGE		
ZONING: C-2 - CENTRAL BUSINESS DISTRICT		
ALL SURROUNDING ZONING: C-2 - CENTRAL BUSINESS DISTRICT		
TOTAL LOT AREA	40,291 S.F.	
GROSS FLOOR AREA	71,100 S.F.	
MAX. ALLOWED	35,550 S.F. (50% COM. FLOOR AREAS)	
PROPOSED LOT COVERAGE	28,257 S.F. (40% COM. FLOOR AREAS)	
PROPOSED BUILDING COVERAGE	17,775 S.F. (25% COM. FLOOR AREAS)	



LOT COVERAGE



C-1.3



PROJECT # 202070

BREAKWATER RESIDENCES
54 E MAPLE STREET - STURGEON BAY, WI

PRELIMINARY DATES	
05/19/21	
06/02/21	
07/26/21	
08/04/21	
NOT FOR CONSTRUCTION	



PROJECT # 202070

BREAKWATER RESIDENCES
54 E MAPLE STREET - STURGEON BAY, WI

PRELIMINARY DATES	
05/19/21	**NOT FOR CONSTRUCTION**
06/02/21	
07/26/21	
08/04/21	

FIRST FLOOR PLAN
SHEET:

A1.1



UNIT MIX					
	1 BEDS	1 BED + DEN	2 BEDS	2 BED + DEN	UNITS PER FLOOR
1ST	7	1	3	2	13
2ND	6	1	4	2	13
3RD	8	1	3	2	14
4TH	6	2	3	2	13
	27	5	13	8	53

AVERAGE S.F. = 765 S.F. 1,030 .F. 1,029 S.F. 1,236 S.F.

PARKING COUNT	
	STALLS
UNDERGROUND	44
SURFACE	14
SUBTOTAL ON SITE	
58	
SHARED PARKING PER CONCEPT LAYOUT	33
CHANGE TO 9' STALLS IN SHARED LOT	3
TOTAL AVAILABLE	94

1.1 STALLS PER UNIT

1.8 STALLS PER UNIT

BUILDING HEIGHT = 57' MAX.*
*HEIGHT MEASURED FROM TOP OF NEW FLOOD BUFFER GRADE TO TOP OF PARAPET

PROJECT DENSITY = 1 UNIT per 760 S.F.
53 UNITS / 40,290 s.f. = 760 s.f.

FIRST FLOOR

CONCEPT
FLOOR PLAN
NORTH
SCALE: 1/8" = 1' (WITH FULL SIZE PRINTS)

BREAKWATER RESIDENCES
54 E MAPLE STREET - STURGEON BAY, WI



SECOND FLOOR


LEAF MADE STREET STURGEON BAY WI

[illegible]

SHE

A1.4



 NORTH

FLOOR PLAN

SCALE: 1/8" = 1' (WITH FULL SIZE PRINTS)

WOOD GRAIN ACCENT SIDING:

- NICHIHA RIFTSAWN - COLOR 'CHESTNUT'



INSPIRATION IMAGE:

- BRONZE METAL INFILLS AND TRIM
- BRONZE CASEMENT WINDOWS
- BRICK - ENDICOTT - LIGHT GREY BLEND



OVERALL SIDING:

- JAMES HARDIE LAP SIDING - COLOR 'LIGHT MIST'



PROJECT # 202070

BREAKWATER RESIDENCES
54 E MAPLE STREET - STURGEON BAY, WI



PRELIMINARY DATES	
05/19/21	**NOT FOR CONSTRUCTION**
07/26/21	
08/04/21	
	NOT FOR CONSTRUCTION

BREAKWATER RESIDENCES
 54 E MAPLE STREET - STURGEON BAY, WI



(PARTIAL FRONT)
 SOUTHWEST ELEVATION
 SCALE: 1/8" = 1 FOOT (WITH FULL SIZE PRINTS)



(PARTIAL)
 SOUTH ELEVATION
 SCALE: 1/8" = 1 FOOT (WITH FULL SIZE PRINTS)



(MAIN ENTRANCE)
 SOUTH ELEVATION
 SCALE: 1/8" = 1 FOOT (WITH FULL SIZE PRINTS)

RAISED LETTER BACKLIGHTING COLORS:	
	BLUE #1
	BLUE #2
	BLUE #3
	WHITE

PRELIMINARY DATES	
05/19/21	
07/26/21	
08/04/21	

****NOT FOR CONSTRUCTION****

BREAKWATER RESIDENCES
54 E MAPLE STREET - STURGEON BAY, WI



NORTH ELEVATIONS
SCALE: 1/8" = 1 FOOT (WITH FULL SIZE PRINTS)



WEST END ELEVATION
SCALE: 1/8" = 1 FOOT (WITH FULL SIZE PRINTS)

PRELIMINARY DATES	
05/19/21	**NOT FOR CONSTRUCTION**
07/26/21	
08/04/21	

SECTIONS

SHEET:

A2.2



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE
LLC

**BREAKWATER
RESIDENCE**

kba
knothe • bruce
ARCHITECTS

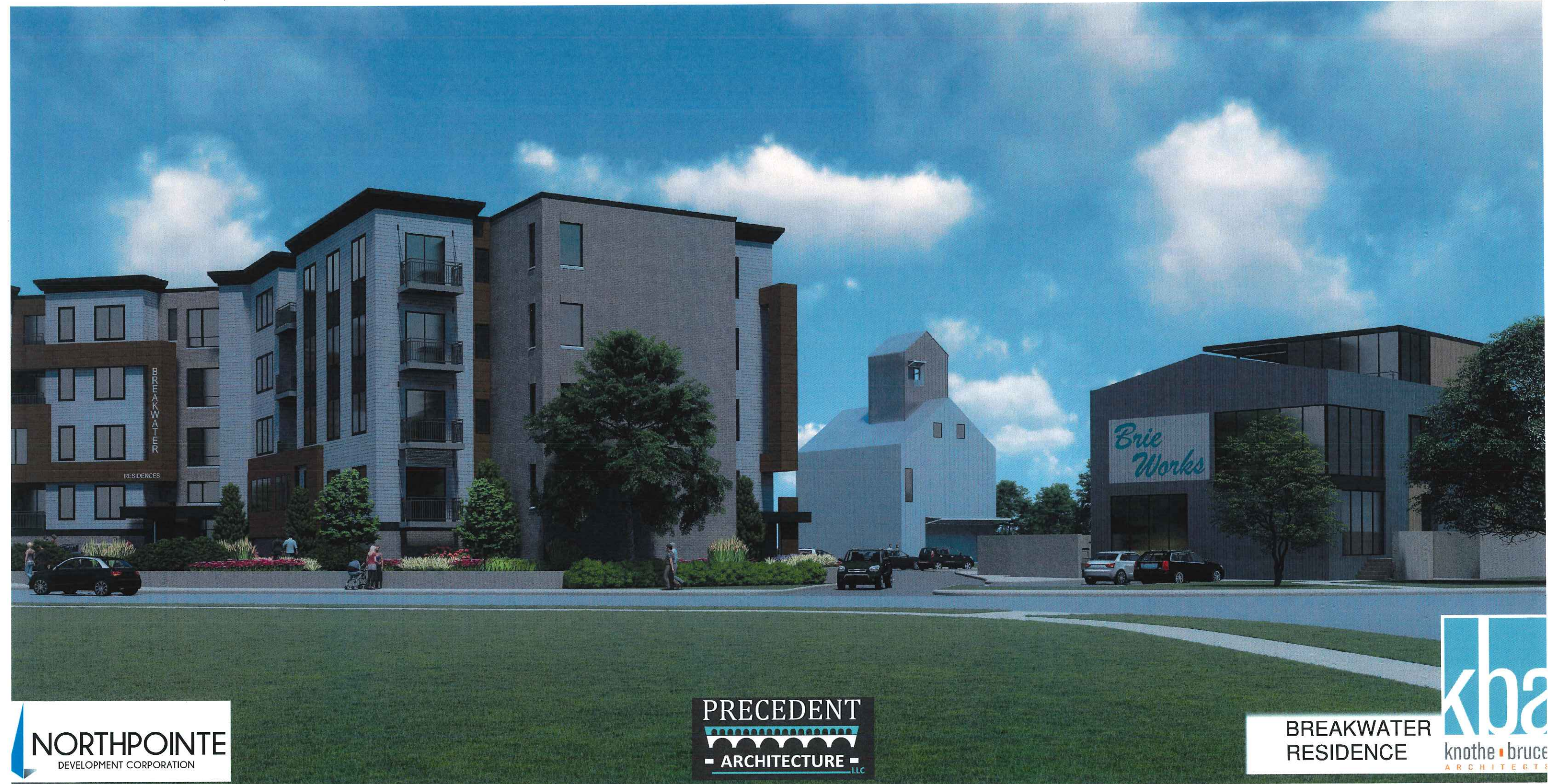


NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE
LLC

**BREAKWATER
RESIDENCE**

kb2
knothe • bruce
ARCHITECTS



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE LLC

**BREAKWATER
RESIDENCE**

kba
knothe • bruce
ARCHITECTS



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE LLC

**BREAKWATER
RESIDENCE**

kb2
knothe • bruce
ARCHITECTS



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE LLC

**BREAKWATER
RESIDENCE**

kba
knothe • bruce
ARCHITECTS



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE LLC

**BREAKWATER
RESIDENCE**

kb
knothe
ARCHITECTS



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE LLC

**BREAKWATER
RESIDENCE**

kba
knothe • bruce
ARCHITECTS



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE LLC

**BREAKWATER
RESIDENCE**

kb2
knothe • bruce
ARCHITECTS



NORTHPOINTE
DEVELOPMENT CORPORATION

PRECEDENT
ARCHITECTURE LLC

**BREAKWATER
RESIDENCE**

kba
knothe • bruce
ARCHITECTS

ORDINANCE NO. ____

THE COMMON COUNCIL OF THE CITY OF STURGEON BAY, WISCONSIN DO ORDAIN AS FOLLOWS:

SECTION 1: The following described property is hereby rezoned from Central Business District (C-2) to Planned Unit Development (PUD) and shall be subject to the approved final site plan and requirements incorporated herein:

Lot 1 of Certified Survey Map No. ____, recorded in Volume ____, Page ____.

SECTION 2: The following requirements and conditions are placed upon the property described within the legal description:

A. Underlying Zoning: The underlying zoning district shall be C-2 Central Business District. The permitted uses and other zoning requirements of the underlying district shall apply, except as otherwise indicated under the PUD requirements shown below or in the approved final PUD plans.

B. PUD Requirements: The requirements of the underlying C-2 district shall apply except that a 53-unit multiple-family dwelling shall comply with the approved final plans and the following requirements:

1. Building Height. The maximum height shall not exceed 5 stories and 57 feet in building height.
2. Density. The minimum lot area per dwelling unit shall be 760 square feet. The total number of dwelling units within the PUD shall not exceed 53 residential units.
3. Rear Yard (setback). The minimum rear yard shall be 15 feet.
4. Parking. The number of on-site parking spaces shall not be less than the number of apartment units. A payment in lieu of providing on-site parking spaces shall be made for all parking spaces required under s. 20.31 that are not created on-site.
5. Outdoor Lighting. Any exterior lighting shall be designed with cutoff fixtures to reflect light away from adjacent parcels and public streets, and away from the night sky.
6. Stormwater Management. Drainage facilities shall conform to the stormwater management plan approved by the City Engineer. Roof water shall be directed to storm sewer located northwesterly of the building.

SECTION 3: This ordinance shall take effect on the day after its publication.

Approved:

David J. Ward, PhD.
Mayor

Attest:

Stephanie Reinhardt
City Clerk

DRAFT

EXECUTIVE SUMMARY

Title: Vacation (Discontinuance) of Ackerman Street

Background: The City has received a petition to vacate a street right-of-way known as Ackerman Street. The subject right-of-way is a 60-foot wide unimproved street that extends easterly from Cove Road, near the southerly end of Cove Road. The right-of-way runs east for about 150 feet before dead-ending at the city limits. (see map). This street right-of-way was established in 1928 by the plat of Emma Morck's Addition to Sturgeon Bay. The right-of-way has never been improved and is not being used by anyone for access. However, there is a short gravel driveway that is used for a turnaround for garbage trucks, snow plows, school buses and other vehicles since there is no formal turnaround "bulb" at the end of Cove Road.

The petition was signed by Collin & Kristen Jeanquart, the owners of the parcels on either side of Ackerman Street. It was also signed by Port Haven Executive Homes, LLC, one of the owners of the duplex condominium at the end of the street in the Town of Sturgeon Bay. The Jeanquarts intend to demolish the existing home on the south side of Ackerman Street and build a new home. Due in part to the required street yard (setback) from Ackerman Street, the parcel is not buildable. If the street is vacated, the land reverts to the abutting property owner and the street setback is eliminated, thereby making a new home possible.

The two abutting parcels on the south and north do not need Ackerman Street for access. The condominium parcel in the town already has access from Cove Road. Due to wetlands at the end of the right-of-way, it is very unlikely that this street could ever be extended to serve other lands. Therefore, it appears the street could be vacated without detriment to the development and transportation needs of the region. But an easement for the turnaround should be retained to ensure that vehicles still have a convenient means of turning around.

A draft resolution to vacate the street has been prepared the City Attorney. The attorney and the engineering staff are working on the turnaround easement, which will be ready prior to action by the Council. The statutory steps include a recommendation by the Plan commission. After a recommendation from the Plan Commission and a Class 3 notice, the issue will go to the Common Council for a public hearing and formal action on the resolution.

Recommended Action: Staff recommends that the Plan commission recommend approval of the vacation of Ackerman Street, subject to recording the vehicular turnaround easement.

Prepared by:  8-13-21
 Martin Olejniczak
 Community Development Director
 Date

Reviewed by:  8-13-21
 Chad Shefchik
 City Engineer
 Date

Reviewed by: _____
 Josh Van Lieshout
 City Administrator
 Date

Petition to Vacate Unimproved Street

We, the undersigned persons, representing owners of abutting land, hereby petition the City of Sturgeon Bay Common Council to vacate (discontinue) Ackerman St., a street right-of-way running easterly from near the south end of Cove Rd., pursuant to section 66.1003(2) of the Wisconsin Statutes. The street right-of-way was created by a resolution of the City to accept the plat attached on January 3rd, 1928, but has never been opened. The legal description of the street to be vacated is as follows and shown on the additionally attached map:

DESCRIPTION:

Ackerman Street as depicted on the Plat of Emma Morck's Addition to Sturgeon Bay located in the fractional Northeast one-quarter of the Southeast one-quarter of Section 16, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin and more particularly described as follows:

Commencing at the East one-quarter corner of said Section 16, thence S 00°06'07" E along the east line of said Plat of Emma Morck's Addition to Sturgeon Bay a distance of 60.00 feet, thence West 115.12 feet to the intersection with the easterly right-of-way of Cove Road, thence N 46°09'10" W along said easterly right-of-way a distance of 86.61 feet to the intersection with the north line of said Plat of Emma Morck's Addition to Sturgeon Bay, thence East along said north line a distance of 177.48 feet to the point of commencement.

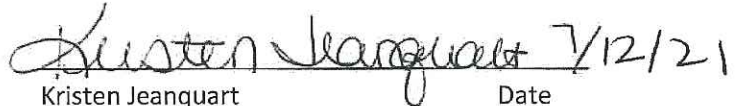
Said street right-of-way contains 0.202 acres of land.



Collin Jeanquart

7-12-21

Date



Kristen Jeanquart

Date

Owners of 1642 Cove Rd. and Parcel 2816248000115



William Hopf

Date

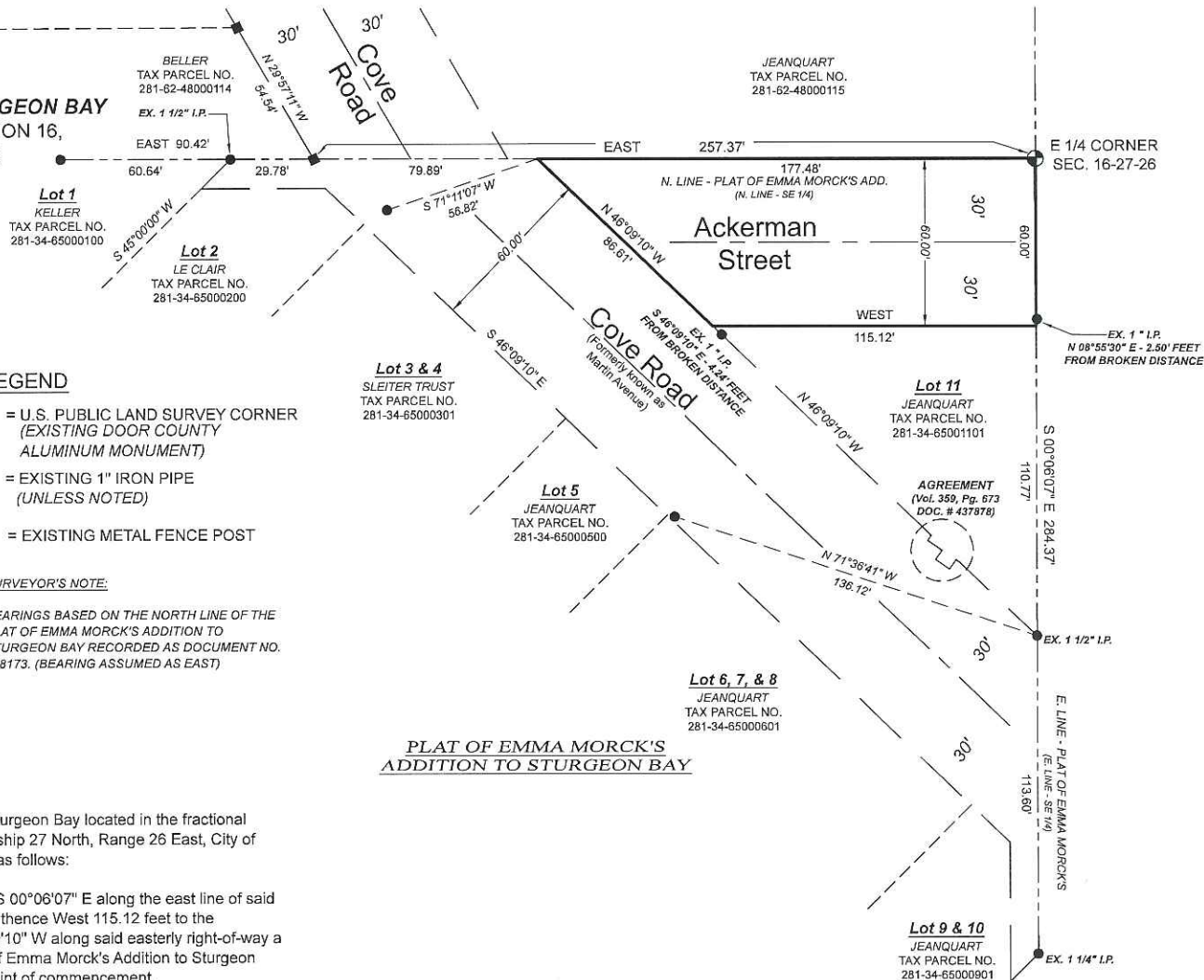
for Port Haven Executive Homes, LLC

2929 Cove Rd., Sturgeon Bay, WI 54235

Site Sketch

LOCATED IN:

THE PLAT OF EMMA MORCK'S ADDITION TO STURGEON BAY
IN THE FRACTIONAL NE 1/4 OF THE SE 1/4, SECTION 16,
T. 27 N., R. 26 E., CITY OF STURGEON BAY,
DOOR COUNTY, WISCONSIN



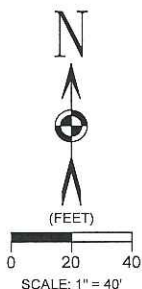
PREPARED FOR:

COLLIN & KRISTEN JEANQUART
1647 COVE ROAD
STURGEON BAY, WI 54235

CURRENT OWNER:
CITY OF STURGEON BAY
421 MICHIGAN STREET
STURGEON BAY, WI 54235

PREPARED BY:

BRIAN FRISQUE SURVEYS INC.
BRIAN D. FRISQUE
PROFESSIONAL LAND SURVEYOR
3121 MATHEY ROAD
STURGEON BAY, WI 54235
(920) 743-7183



LEGEND

- = U.S. PUBLIC LAND SURVEY CORNER
(EXISTING DOOR COUNTY ALUMINUM MONUMENT)
- = EXISTING 1" IRON PIPE
(UNLESS NOTED)
- ◆ = EXISTING METAL FENCE POST

SURVEYOR'S NOTE:

BEARINGS BASED ON THE NORTH LINE OF THE
PLAT OF EMMA MORCK'S ADDITION TO
STURGEON BAY RECORDED AS DOCUMENT NO.
208173. (BEARING ASSUMED AS EAST)

DESCRIPTION:

Ackerman Street as depicted on the Plat of Emma Morck's Addition to Sturgeon Bay located in the fractional Northeast one-quarter of the Southeast one-quarter of Section 16, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin and more particularly described as follows:

Commencing at the East one-quarter corner of said Section 16, thence S 00°06'07" E along the east line of said Plat of Emma Morck's Addition to Sturgeon bay a distance of 60.00 feet, thence West 115.12 feet to the intersection with the easterly right-of-way of Cove Road, thence N 46°09'10" W along said easterly right-of-way a distance of 86.61 feet to the intersection with the north line of said Plat of Emma Morck's Addition to Sturgeon Bay, thence East along said north line a distance of 177.48 feet to the point of commencement.

Said street right-of-way contains 0.202 acres of land.

07-09-21
D-051721L2-SS.dwg
Drawn By: C.E.C
JOB#: D-051721L2

Location Map Proposed Vacation of Ackerman St

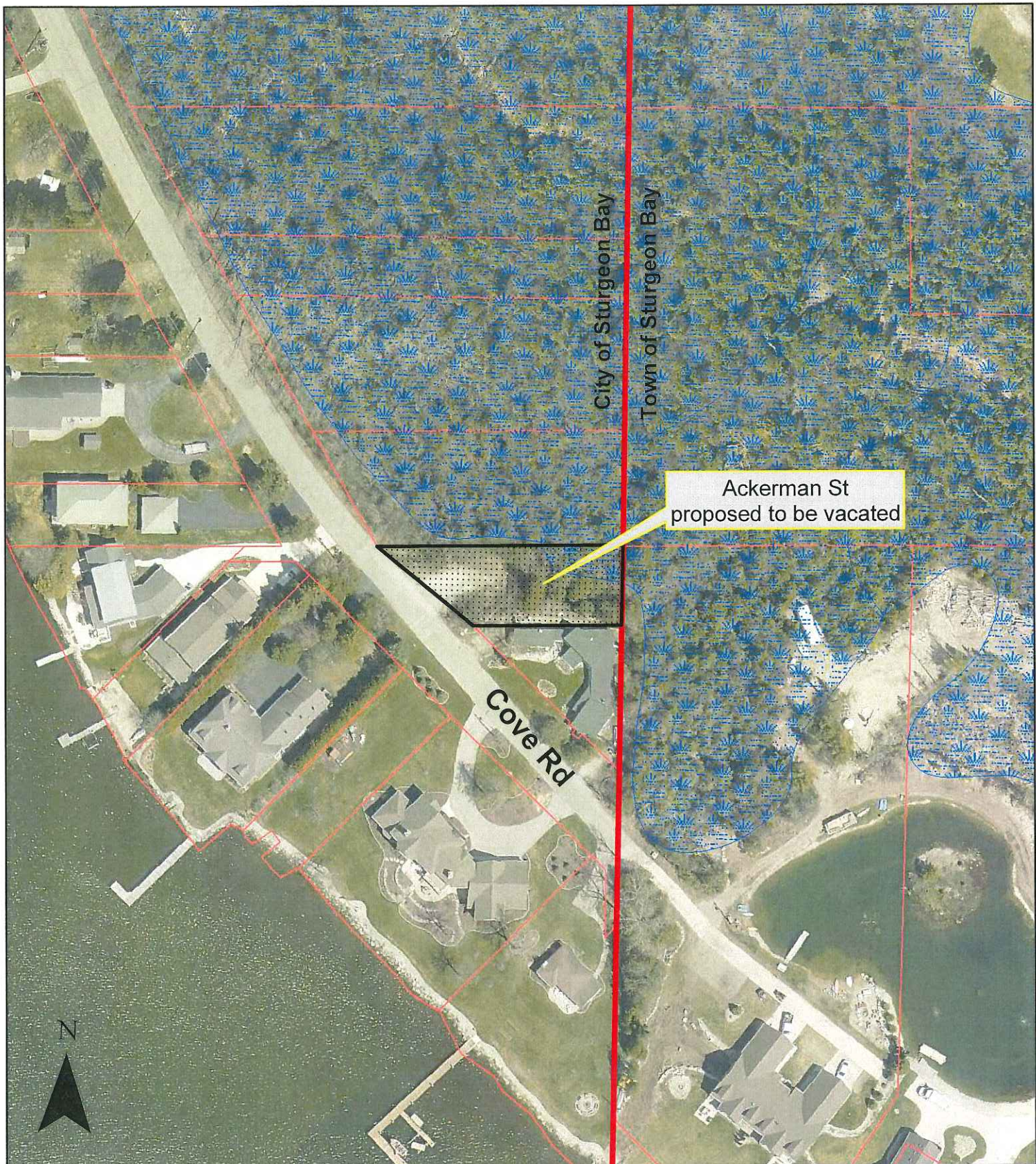




Figure 1- Gravel turnaround near end of Cove Road

CITY OF STURGEON BAY RESOLUTION #
RESOLUTION DISCONTINUING ACKERMAN STREET

Sturgeon Bay, Wisconsin
September 21, 2021

BY THE COMMON COUNCIL OF THE CITY OF STURGEON BAY:

WHEREAS, the Common Council, pursuant to § 66.1003 (4) of the Wisconsin Statutes finds the public interest requires that Ackerman Street from its intersection with Cove Street easterly to the Sturgeon Bay corporate limits, as specifically depicted and described on the attached map marked Exhibit 1, be vacated, and discontinued subject to the reservation of a vehicular turnaround access easement (Easement); and

WHEREAS: pursuant to § 66.1003(4) of the Wisconsin Statutes, prior to action on this resolution:

the plan commission shall review the discontinuance and Easement ; and

a hearing shall be held on the abandonment, vacation, and discontinuance of the above described right of way on September 21, 2021 at 7:00 PM in the Council Chambers, City Hall, 421 South Michigan Street, Sturgeon Bay, Wisconsin; and

a notice of such hearing shall be served, in the same manner provided for the service of a civil summons on the owners of the frontage of the lots and lands abutting the portion of the above described right of way at least 30 days before such hearing; and

notice of such hearing shall be published in the official newspaper of the City of Sturgeon Bay as a Class 3 notice, once a week for three successive weeks before the date of hearing; and

the City Attorney shall cause a lis pendens to be prepared and filed with the Register of Deeds for Door County, Wisconsin, pursuant to Sec. 840.11, Wis. Stats.

NOW, THEREFORE, BE IT RESOLVED pursuant to § 62.1003(4) of the Wisconsin Statutes, the public interest requires that:

Ackerman Street from its intersection with Cove Street easterly to the Sturgeon Bay City corporate limits, as specifically depicted and described on the attached map marked Exhibit 1, be abandoned, vacated, and discontinued subject to the Easement; and

the discontinuance of such right of way is hereby ordered; and

the real estate underlying the right of way shall revert to the adjacent property owners to the extent and in the manner provided by law; and

the City Attorney is directed to file a certified copy of this resolution with the Register of Deeds of Door County and to release the lis pendens.

Adopted _____

Approved _____

Mayor

Clerk

Attachment