

AGENDA
CITY OF STURGEON BAY
CITY PLAN COMMISSION
Wednesday, August 16, 2017
6:00 p.m.
Council Chambers, City Hall
421 Michigan Street

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from July 19, 2017.
4. Conditional use request from Premier Sturgeon Bay Amity, LLC for construction of a 24-unit multiple-family residential development, located in the 700 blocks of Erie and Florida Streets, parcel #281-23-0527260006, aka Amity Field.

Presentation
Public Hearing
Consideration of
5. Consideration of: Zoning code amendment relating to accessory dwelling units.
6. Public comment on Plan Commission related items.
7. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

Plan Commission Members:

Rick Wiesner – Chair
Ron Vandertie
Mike Gilson
Steven Hurley
Jeff Norland
Robert Starr
Dennis Statz

CITY PLAN COMMISSION

Wednesday July 19, 2017

A meeting of the City Plan Commission was called to order at 6:00 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

Roll Call: Members Robert Starr, Jeff Norland, Rick Wiesner, Ron Vandertie, Steven Hurley, and Mike Gilson were present. Absent: Member Dennis Statz. Also present were City Administrator Josh Van Lieshout, Community Development Director Marty Olejniczak, and Community Development Secretary Cheryl Nault.

Adoption of the Agenda: Moved by Mr. Starr, seconded by Mr. Norland to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from June 21, 2017.
4. Consideration of: Zoning code amendment relating to accessory dwelling units.
5. Public comment on Plan Commission related items.
6. Adjourn.

All ayes. Carried.

Approval of minutes from June 21, 2017: Moved by Mr. Gilson, seconded by Mr. Hurley to approve the Plan Commission minutes from June 21, 2017. All ayes. Carried.

Consideration of: Zoning code amendment relating to accessory dwelling units: Mr. Olejniczak stated that the Plan Commission has been discussing and tweaking this for quite some time. A revised draft ordinance was presented with options regarding how much of the floor area of a detached accessory dwelling unit would count against the maximum overall floor area for accessory buildings on a lot. The options were to exempt the first 200 square feet of the floor area of the accessory dwelling unit, exempt 50% of the floor area, or exempt all of the floor area.

Members discussed the options. Mr. Wiesner liked the idea of an 800 square-foot unit that can go above a garage. Each request would have to be approved individually through a conditional use. Mr. Starr also preferred the option to exempt the floor area of the detached accessory dwelling unit.

Mr. Hurley suggested not exempting the floor area on smaller lots. Mr. Olejniczak responded that was an option that could be drafted and would be similar to the current zoning rule that allows accessory buildings to have more floor area - up to 2,000 square feet instead of the usual 1,000 square feet – as the lot gets bigger. He also mentioned

that there are requirements for accessory buildings that have to be met as far as height, roof pitch, etc. A detached accessory dwelling unit may not fit on every lot.

Mr. Norland stated that he cannot support the allowance of accessory dwelling units in the R-1 zoning district. He felt it would not be fair to the neighbors who purchased R-1 Single-Family Residential property. If the floor area of a detached accessory dwelling unit is exempted, there could possibly be an 800-square foot accessory dwelling unit plus a 1000 square-foot garage, in addition to the main dwelling. That scenario would not be in keeping with the intent of the R-1 district.

Discussion continued. Mr. Gilson believed that for attached units, if done right you wouldn't be able to tell if a dwelling has two units.

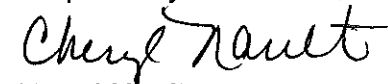
Moved by Mr. Starr, seconded by Mr. Vandertie to delay this item until next month's Plan Commission meeting. Mr. Starr added that this will give the opportunity for more discussion with the public. Mr. Van Lieshout suggested prohibiting detached accessory units in the R-1 zoning district. Mr. Vandertie would prefer to see larger lots and not have another house between him and his neighbor.

A vote was taken on the motion. All ayes. Carried. This item will come back to the next Plan Commission meeting.

Public Comment on Plan Commission Items: There was no public comment.

Adjourn: Moved by Mr. Starr, seconded by Mr. Hurley to adjourn. All ayes. Carried. Meeting adjourned at 6:26 p.m.

Respectfully Submitted,



Cheryl Nault

Community Development/Building Inspection Secretary

Staff Report
Conditional Use for Multiple-Family Dwellings
Three 8-Unit Townhomes for Premier Real Estate Management

Proposal: Premier Real Estate Management, LLC petitions for approval of a conditional use for a 24-unit multiple-family residential development. There are three 8-unit buildings. The units are proposed to be market rate townhomes. In addition, there is a combination office/storage building. The subject site is a vacant 3.3-acre parcel located between Florida and Erie Streets, a short distance east of 7th Avenue. The site is commonly referred to as Amity Field. It is owned by the City of Sturgeon Bay, but the developer has an approved option to purchase, subject to approval of the actual development.

Existing Conditions: The current site is a vacant field. During World War II there were apartments to house defense workers erected on the site. These were removed after the war and it has been vacant ever since. The City acquired the parcel in the early 1970's and leased it to the School District. The property is no longer needed by the School District and is available for development.

Drainage is toward the northwest. The site drops about 15 feet from the southeast corner to the northwest corner, about a 3% slope. There are no waterways or wetlands on the site.

The surrounding land uses are mostly a mixture of single-family, two-family, and multiple-family dwellings. Sunset School is located across Erie Street and the parking lot for the school abuts the subject site on the east.

In terms of existing zoning classification, the subject parcel is zoned Multiple-Family Residential (R-4). Multiple-family dwellings greater than 8 units are a conditional use in the R-4 district. There also is R-4 zoning to the east. The properties to the north, west, and south are zoned Single-Family Residential (R-2).

Comprehensive Plan: The Future Land Use Map of the Sturgeon Bay Comprehensive Plan shows the subject area within the Public & Institutional land use category, which is "an area containing community facilities or public buildings such as schools, colleges, hospitals, churches, municipal buildings, and cultural facilities. This designation likely reflects that at the time of adoption of the Comprehensive Plan the site was under lease to the school district. The site is surrounded for the Multiple-Family Residential and Single-Family Residential – Higher Density categories on the Future Land Use Map. Given that the School District no longer uses or desires the site and there are no other public/institutional uses envisioned for the site at this time, the proposed multiple family residential use would be consistent. Nevertheless, if the project is approved, the Future Land Use Map should be amended. There appears to be no other specific recommendations from the Comp Plan pertaining to the subject site.

Site Plan and Design Considerations: The following is a summary of the major site and design issues:

Building layout: The proposal is for three 8-unit townhome building to be oriented north-south in three quadrants of the site. The northwest quadrant is a proposed stormwater detention area. The townhomes included attached garages that face inward toward the center of the site. The parking is a single tier down the center. There also is a 28' x 28' office/garage building off of Erie Street and a 10' x 10' mail hut in the center of the site. The buildings and parking comply with the minimum setbacks of the zoning code. The building layout is reasonable, especially considering the shape of the lot. At the time the City obtained the lease release from the School District, District leadership expressed a strong desire to discourage vehicles from accessing from the unit directly onto Erie Street. This request is accommodated in the site layout.

Driveway access: There is a driveway that runs the length of the lot from Erie Street to Florida Street. This driveway serves all three buildings and the parking area. The width is 26 feet wide at the right-of-way and the locations of the access points are fine. The only issue is that the flairs where the driveway meets the road must be narrowed to 35 feet or less in width.

Density: The density of units is 7.32 units per acre, which is less than the maximum 12.4 units per acre allowed under the zoning code. It is fairly low density. For comparison, the nearby Sunset View Apartments has a density of 11.1 units per acre.

Building Design: The building is two-story. The top level is set back from the footprint of the level. It uses a variety of roof heights and roof pitches, which does a good job of breaking up the long facade. There are recesses and bump-outs to the exterior walls to further break up the length of the walls. The garages extend out from the units which makes them more prominent. But, all garages face the middle of the lot rather than the streets or neighboring parcels.

There are rear patios which are accessed by large sliding doors and separated by privacy walls. Windows are evenly spaced throughout the front and back facades with one window per unit, except that for the end units the window faces the side rather than the front. The side facade is pretty plain with one window and one entrance door. There also is a mechanical room on the side facing away from the street. Consideration should be given to enhancing the street facade, such as by adding a window(s), shutters, and/or architectural detailing.

The front facade has a brick exterior on the first floor. The upper level is a combination of shake siding and horizontal vinyl siding. Front windows include shutters. The sides and rear are faced with horizontal siding. The roof consists of architectural shingles. It is noted that the Aesthetic Design and Site Plan Review Board must approve the project and their meeting is scheduled for August 14th.

Mix of Units: All of the units are two-bedroom units. Each bedroom has its own full bathroom. The apartments have the main living space on the first floor with the bedrooms located on the second floor. Each unit has a one-car attached garage except the end units have two-car garages.

Parking: There are 10 garage stalls per building and 17 outdoor parking spaces for a total of 47 spaces. In addition, there is room for a parking space in front of each garage door. The design of the spaces complies with the zoning code and the layout is efficient.

Pedestrian Access: There is no sidewalk currently along the south side of Erie Street or north side of Florida Street and none is proposed. There is a sidewalk on the north side of Erie Street that provides good connectivity to the rest of the pedestrian network. Because this site is located mid-block, adding sidewalk along the frontage of the subject lot will not enhance pedestrian convenience unless it is to be extended along the entire block between 7th and 8th Avenues. Putting sidewalk on Florida Street to connect to 8th Ave is hampered by the very narrow right-of-way width close to 8th Avenue. The Plan Commission will need to decide if a sidewalk is necessary along one or both sides. One option might be to require sidewalk only on Erie Street from the driveway west to the existing crosswalk at 7th Place (~85'), which would allow residents to go from the site to the existing sidewalk network.

Utilities: The development will be served by municipal utilities. Sanitary sewer will come from the south side of the site. The developer proposes to replace an old unused sanitary main that runs parallel to Florida Street from 7th Avenue. It would then extend north through the site as a private main with laterals to the three buildings. Water would come from the north by extending into the site from the corner of Erie/7th Place. Again, it would be a private main with service laterals coming off the private main. Sturgeon Bay Utilities has reviewed the plan and is OK with it.

There is an issue with water for fire protection. Although the buildings will have fire suppression systems (sprinklers), the location of existing fire hydrants is still a concern. Building #2 is further than 300 feet from the nearest hydrant. The Fire Chief would like to see either a public hydrant on Florida Street by extending the water main from 7th Ave or a private hydrant lead coming off the proposed private main near the center of the site.

Stormwater Management: The total impervious surface of the site is 57,346 square feet, which is 40.1% of the site area. This easily complies with the maximum 70% impervious surface ratio that Sturgeon Bay uses. Stormwater management is being designed by Harris & Associates, consultant for the project. The plan is to route runoff through open swales or ditches to a clay-lined detention area in the northwest corner of the site. It will be a wet pond, meaning it will be designed to hold water before, during, and after storm events. There will be about a 4-5' high berm on the northwest separating the pond from the adjoining residential parcels. The City Engineer has reviewed the basic design and is OK with it subject to a final review and approval of the plan and calculations.

Landscaping: A landscaping plan was submitted. Regarding the parking lot landscaping, there is a strip of landscaping separating the two sides of the parking area by Buildings 2 and 3. In addition, there are 4 white birch trees proposed adjacent to the parking area. Thus, the parking lot landscaping requirement is met.

Street trees are required in the right-of-way at an interval of one for every 50 feet of frontage. The required 6 trees along Erie and 7 trees along Florida Street are shown in the plan. These are a combination of lindens, oaks, and maples. The City Forester is OK with the proposed species.

Regarding the rest of the landscaping, a variety of shrubs are proposed around the building foundations, including the office/garage and mailroom. Daylillies and shrubs are proposed around the sign. There are no specific standards for landscaping of the overall lot. Adding more trees, particularly at the ends of the buildings to enhance the plain side facade and for cooling in the summertime, is encouraged.

Lighting: A lighting plan has not been submitted yet. For previous projects the Plan commission has typically required that exterior lighting be shielded to prevent light from being cast skyward or off the property. The lighting could also be a topic for the Aesthetic Design and Site Plan Review Board to address.

Miscellaneous: The dumpster location is near the center of the site on a concrete pad. It is proposed to be enclosed by a cedar board fence. The mailroom is a 10' x 10' shed that houses the mailboxes for the units. A monument sign is proposed along the Florida Street side.

There are no recreational facilities shown on the plan. But there is a public playground across the street at Sunset School and three parks (Garland, Big Hill and Sunset) are all within the service area of the development.

Conditional Use Review Criteria: In general, the zoning ordinance directs the Plan Commission to consider whether the proposed development will adversely affect property values in the vicinity and review the architectural and engineering plans for the project. In addition, there are six review criteria listed in the conditional use section of the code. The development appears to comply with the review criteria of the zoning code. The code also specifies that the Plan Commission can place conditions on the project if necessary.

Public Hearing: The required public hearing is scheduled for August 16th. The Plan Commission will

CITY OF STURGEON BAY CONDITIONAL USE PERMIT APPLICATION

Date Received: 7-25-17
 Fee Paid \$ 400.00
 Received By: CN

	APPLICANT/AGENT	LEGAL PROPERTY OWNER (if different)
Name	Robert D. Tollefson	Cal Akin
Company	Harris & Associates, Inc.	Premier Sturgeon Bay Amity, LLC
Street Address	2718 N. Meade St.	3120 Gateway Road
City/State/Zip	Appleton, WI 54911	Brookfield, WI 53045
Daytime Telephone No.	920-733-8377	262-790-4560
Fax No.		
STREET ADDRESS OF SUBJECT PROPERTY: <u>Florida Street/Erie Street</u> Location if not assigned a common address: <u>East of North 7th Avenue</u>		
TAX PARCEL NUMBER: <u>281-230527260006</u>		
CURRENT ZONING CLASSIFICATION: <u>R-4 Multi-Family</u>		
CURRENT USE AND IMPROVEMENTS: <u>Currently open field. Proposing (3) 8 unit townhome buildings and associated site.</u>		
IDENTIFY MUNICIPAL CODE SECTION PERTINENT TO REQUEST AND STATEMENT OF SPECIFIC ITEM BEING REQUESTED FOR REVIEW: <u>20.12(2)(1) Requesting approval for</u> <u>(3) 8 unit townhomes. (24 units on lot)</u>		
ZONING AND USES OF ADJACENT SURROUNDING PROPERTIES: North: <u>R-2 Single Family Residential and Sunset School Early Learning Center</u> South: <u>R-2 Single Family Residential</u> East: <u>R-4 School Parking Lot</u> West: <u>R-2 Single Family Residential</u>		

PROPOSED USE OF SURROUNDING PROPERTY UNDER COMPREHENSIVE PLAN:

North: Single Family Residential and School

South: Single Family Residential

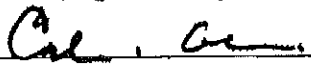
East: Multi-Family Residential

West: Single Family Residential

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? No IF YES, EXPLAIN: _____

Attach an 8-1/2" X 11" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 15 large sized copies), full legal description (preferably on disk), 8-1/2 x 11" location map, construction plans for the proposed project, and Agreement for Reimbursement of expenses. Site plan shall include dimensions of property, pertinent structures and buildings, proposed site improvements, signature of person who drew plan, etc.

Cal Akin
Property Owner (Print Name)


Signature

7-24-17
Date


Robert D. Tollefson
Applicant/Agent (Print Name)


Signature

7-25-17
Date

I, Robert D. Tollefson, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

7-21-17
Date of review meeting


Applicant Signature

Staff Signature

Attachments:

Procedure & Check List

Agreement For Reimbursement of Expenses

STAFF USE ONLY

Application conditions of approval or denial:

Date

Community Development Director

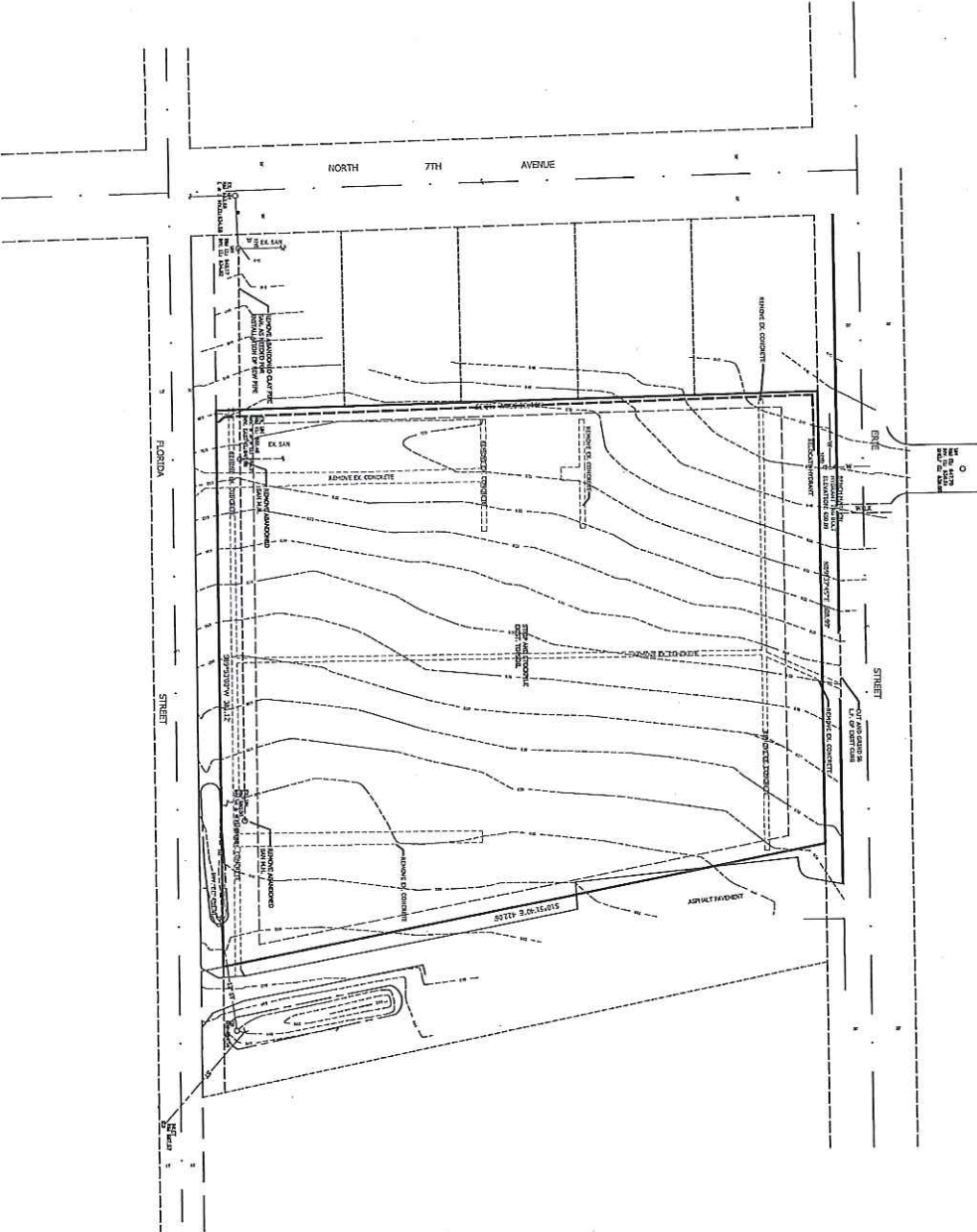
CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN



 **HARRIS**
& ASSOCIATES, INC.
CONSULTING ENGINEERS
AND LAND SURVEYORS

2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

PREMIER AMITY FIELD TOWNHOMES CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN



DEMOLITION PLAN
SCALE 1" = 40'-0"



PROJECT: PREMIER STURGEON BAY AMITY, LLC.
AMITY FIELD TOWNHOMES

LOCATION: ERIE STREET / FLORIDA STREET
STURGEON BAY, WISCONSIN

DESCRIPTION: DEMOLITION PLAN

REV. NO.	DESCRIPTION	DATE	BY
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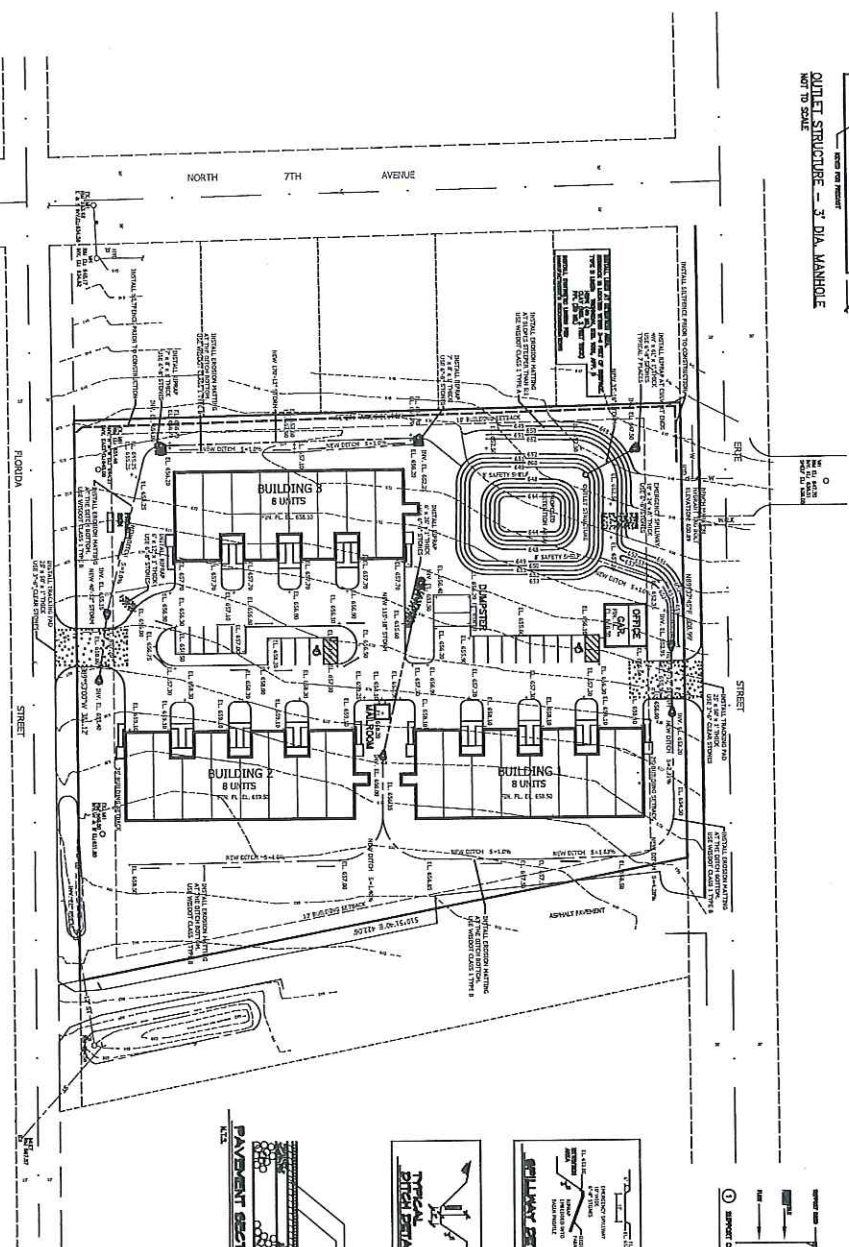
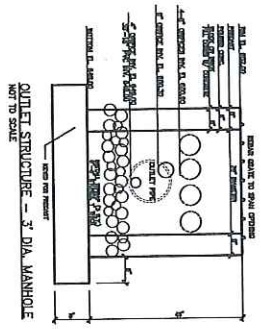


2718 NORTH MERCE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

DIO
7/20/24

PREMIER AMITY FIELD TOWNHOMES

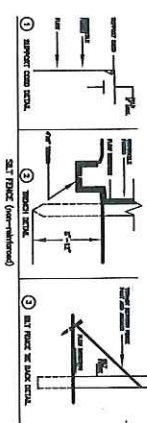
CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN



SITE GRADING / EROSION PLAN
SCALE: 1" = 40'-0"



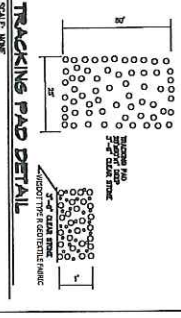
SILT FENCE DETAIL



EROSION CONTROL NOTES

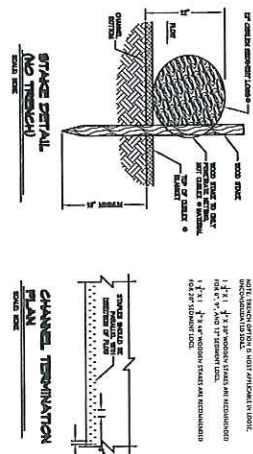
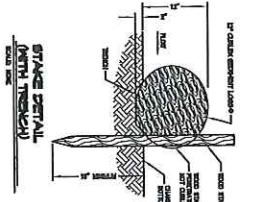
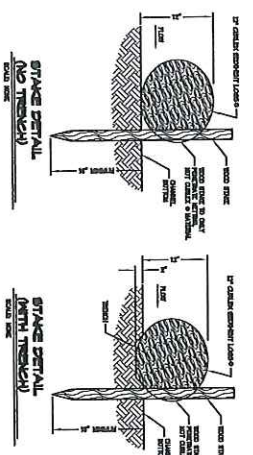
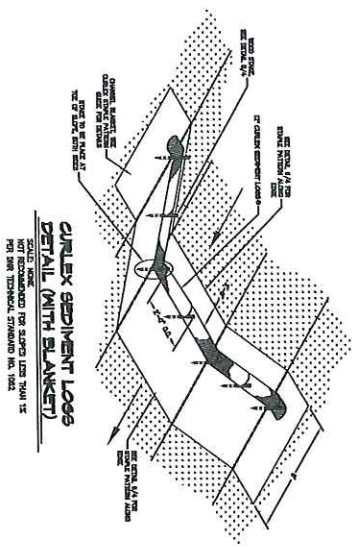
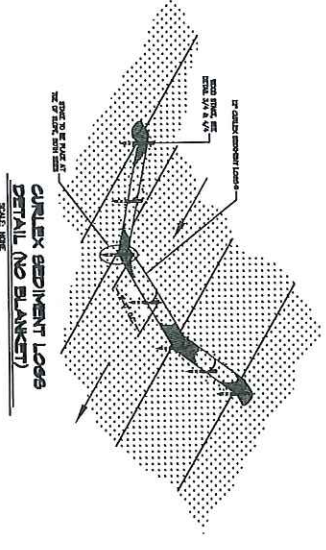
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PAVEMENT SECTION

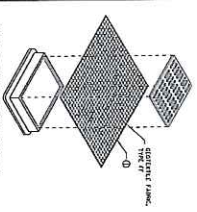


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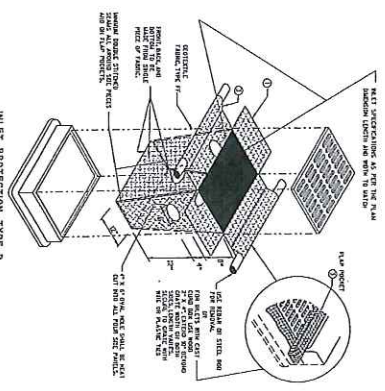
PREMIER AMITY FIELD TOWNHOMES CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN



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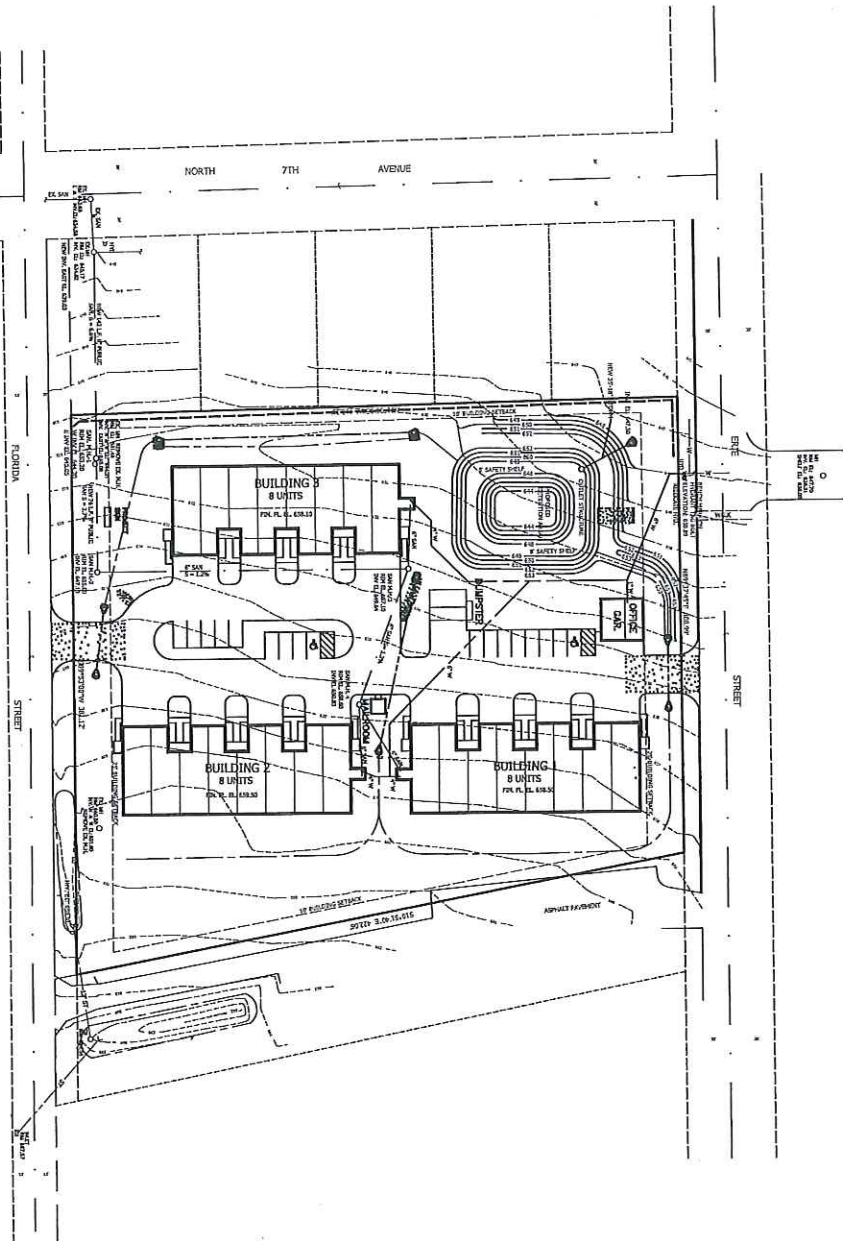
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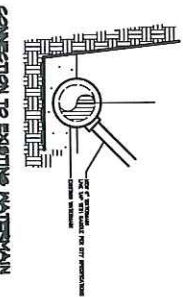
PREMIER AMITY FIELD TOWNHOMES

CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN

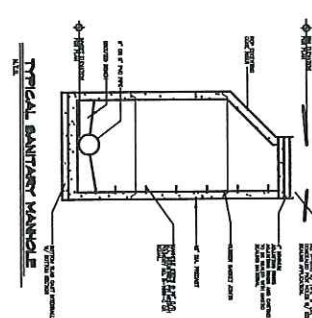


SITE UTILITIES PLAN

SCALE: 1" = 40'-0"



CONNECTION TO EXISTING WATERMAIN



TYPICAL SANITARY MANHOLE

- 1. SANITARY SEWER LATERALS SHALL BE CONNECTED TO MAIN WITH IN-LINE WIRE FITTING.
- 2. ALL WATERMAIN AND SERVICE PIPES SHALL BE INSTALLED WITH PLASTIC COATED AND COPPER SOLDER TRACER WIRE.
- 3. ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO CITY OF STURGEON BAY SEWER AND WATER UTILITY SPECIFICATIONS.
- 4. ALL WATER METERS TO BE LOCATED IN SEPARATE UTILITY ROOMS PROVIDED WITH EACH BUILDING.
- 5. MAINTAIN A MINIMUM OF 6.5' OF COVER OVER ALL WATERMAIN AND SANITARY SEWER.
- 6. A TOTAL OF 300 WATER PIPING UNITS WERE CALCULATED FOR THIS DEVELOPMENT (3 BUILDINGS X 144 DUU PER BUILDING = 432).
- 7. A TOTAL OF 300 WATER PIPING UNITS WERE CALCULATED FOR THIS DEVELOPMENT (3 BUILDINGS X 100 WPU PER BUILDING = 300).

PLUMBING CALCULATIONS FOR 8 UNIT APARTMENTS
STATE OF WISCONSIN

DATE: 07/19/17	DATE: 07/19/17
UNIT	UNIT
TYPE	TYPE
1. BATHROOM	2. BATHROOM
3. KITCHEN	4. KITCHEN
5. LIVING	6. LIVING
7. BEDROOM	8. BEDROOM
9. CLOSET	10. CLOSET
11. HALL	12. HALL
13. ENTRY	14. ENTRY
15. PORCH	16. PORCH
17. TERRACE	18. TERRACE
19. DRIVEWAY	20. DRIVEWAY
21. GARAGE	22. GARAGE
23. LAUNDRY	24. LAUNDRY
25. STORAGE	26. STORAGE
27. UTILITY	28. UTILITY
29. PORCH	30. PORCH
31. DRIVEWAY	32. DRIVEWAY
33. GARAGE	34. GARAGE
35. LAUNDRY	36. LAUNDRY
37. STORAGE	38. STORAGE
39. UTILITY	40. UTILITY
41. PORCH	42. PORCH
43. DRIVEWAY	44. DRIVEWAY
45. GARAGE	46. GARAGE
47. LAUNDRY	48. LAUNDRY
49. STORAGE	50. STORAGE
51. UTILITY	52. UTILITY
53. PORCH	54. PORCH
55. DRIVEWAY	56. DRIVEWAY
57. GARAGE	58. GARAGE
59. LAUNDRY	60. LAUNDRY
61. STORAGE	62. STORAGE
63. UTILITY	64. UTILITY
65. PORCH	66. PORCH
67. DRIVEWAY	68. DRIVEWAY
69. GARAGE	70. GARAGE
71. LAUNDRY	72. LAUNDRY
73. STORAGE	74. STORAGE
75. UTILITY	76. UTILITY
77. PORCH	78. PORCH
79. DRIVEWAY	80. DRIVEWAY
81. GARAGE	82. GARAGE
83. LAUNDRY	84. LAUNDRY
85. STORAGE	86. STORAGE
87. UTILITY	88. UTILITY
89. PORCH	90. PORCH
91. DRIVEWAY	92. DRIVEWAY
93. GARAGE	94. GARAGE
95. LAUNDRY	96. LAUNDRY
97. STORAGE	98. STORAGE
99. UTILITY	100. UTILITY

LINE TYPE LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- UNITS OF EASEMENT
- BIABLE LAND SURVEY SECTION LINE
- SHOULDER CONSTRUCTION LINE
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING CHAIN LINK FENCE
- BUILDING SETBACK LINE

PROJECT: PREMIER STURGEON BAY AMITY, LLC.
AMITY FIELD TOWNHOMES
LOCATION: ERIE STREET / FLORIDA STREET
STURGEON BAY, WISCONSIN
DESCRIPTION: SITE UTILITIES PLAN

REV. NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

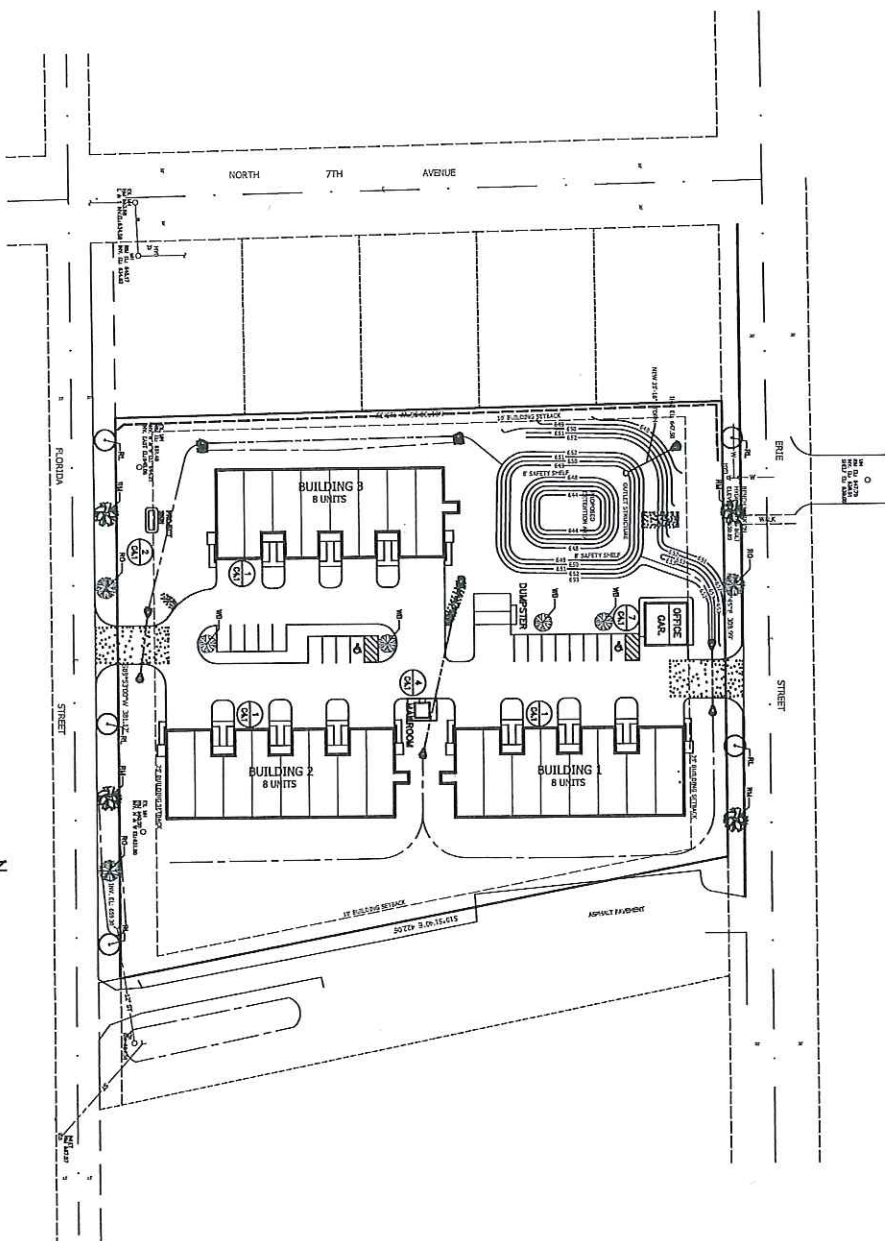
PREMIER
REAL ESTATE MANAGEMENT, LLC
1111 WEST WISCONSIN AVENUE, SUITE 200
STURGEON BAY, WISCONSIN 54801
TEL: (920) 733-8377
FAX: (920) 733-4731

HARRIS & ASSOCIATES, INC.
CONSULTING ENGINEERS
AND LAND SURVEYORS
2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

C30
07-28-17
07-28-17

PREMIER AMITY FIELD TOWNHOMES

CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN



LANDSCAPE NOTES:

1. VERIFY UTILITIES BEFORE BEGINNING ANY WORK.
2. ALL PLANT BEDS SHALL HAVE 6" TOPSOIL, FABRIC WEED BARRIER AND 4" CONTINUOUS LAYER OF HARDWOOD MULCH.
3. ALL TREES AND LARGE SHRUBS IN LAWN AREAS AND BEDDED PLANTING AREAS SHALL BE MULCHED WITH A 4" HARDWOOD MULCH PINE. PROVIDE PLASTIC MULCH TO ALL PLANTING BEDS AS PER PLANS.
4. PLASTIC EDGING SHALL BE 1/2" THICK AND 1/2" HIGH. PROVIDE 1/2" BLACK PLASTIC EDGING TO ALL PLANTING BEDS.
5. ALL TREES SHALL BE BBS STAKED AND CURED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSEMEN'S STANDARDS.
6. NEW AND DISTURBED LAWNS SHALL BE RESTORED WITH SEED AND MULCH OR HYDRO-SEEDING.
7. MODIFICATIONS OR PROPOSED CHANGES TO PLANT MATERIALS OR DESIGN.
8. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED SITE WORK. IN CASE OF DISCREPANCIES BETWEEN PLAN AND PLANT COUNTS, PLAN SHALL GOVERN.
9. ALL LANDSCAPING WITHIN THE FRONT YARD SETBACK SHALL HAVE THE FOLLOWING RESTRICTIONS: 1) SHRUBS SHALL BE MAINTAINED AT A HEIGHT OF NO GREATER THAN THREE (3) FEET; 2) TREES MUST HAVE A CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE FIRST BRANCH OF A MINIMUM OF SIX (6) FEET.

LANDSCAPE PLAN
SCALE 1" = 40'-0"



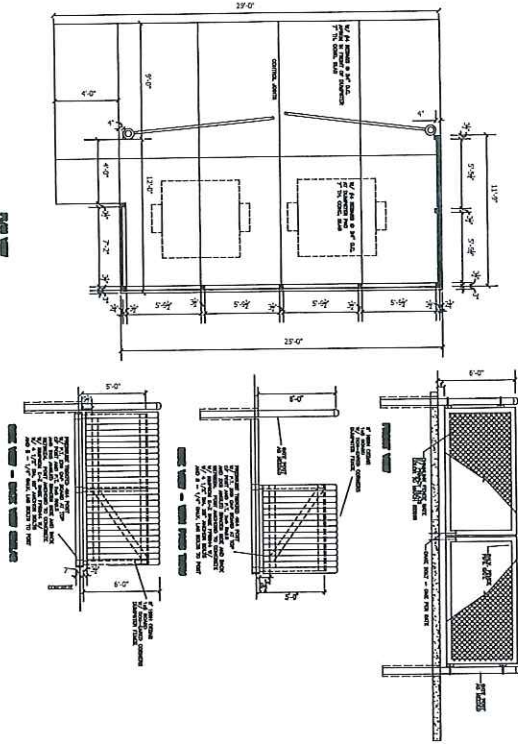
PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	PLANT SIZE	MATURITY	QUANTITY / SPACING
RL	AMERICAN REDWOOD	REDWOOD LINEN	2 1/2" CAL	50'	5 / SPACE PER PLAN
RO	QUERCUS ROBUR	RED OAK	2 1/2" CAL	50'	3 / SPACE PER PLAN
RM	ACER RUBRA	RED MAPLE	2 1/2" CAL	20'	4 / SPACE PER PLAN
WB	BETULA PULCHRA	WHITESPICE BIRCH	2 1/2" CAL	20'	4 / SPACE PER PLAN

TREES

PREMIER AMITY FIELD TOWNHOMES

CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN



3 DUMPSTER ENCLOSURE
C4.1 N.T.S.

PROJECT SIGN PLANT SCHEDULE

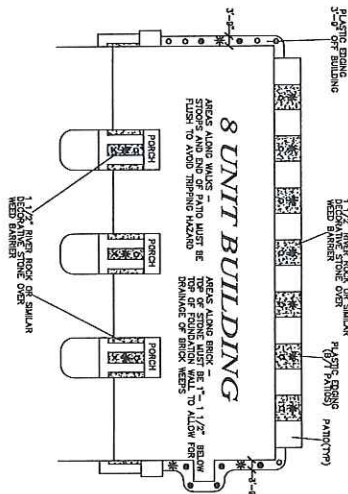
KEY	COMMON NAME	PLANT SIZE	QUANTITY
△	HEBERGOLLS DAVIELLY	1 GAL.	7
□	HEBERGOLLS DAVIELLY	1 GAL.	7
*	VERBENA SPERMATOPHYTES	5 GAL.	2
*	VERBENA SPERMATOPHYTES	5 GAL.	2
*	VERBENA SPERMATOPHYTES	5 GAL.	2
*	VERBENA SPERMATOPHYTES	5 GAL.	2

2 PROJECT SIGN PLANTING DETAIL
C4.1 N.T.S.

PLANT SCHEDULE (PER BUILDING)

KEY	COMMON NAME	PLANT SIZE	QUANTITY
○	POTENTILLA FRUTICOSA	3 GAL.	15
●	THALIA OCCIDENTALIS	5 GAL.	6
*	VERBENA SPERMATOPHYTES	5 GAL.	13
*	VERBENA SPERMATOPHYTES	5 GAL.	13
*	VERBENA SPERMATOPHYTES	5 GAL.	13
*	VERBENA SPERMATOPHYTES	5 GAL.	13

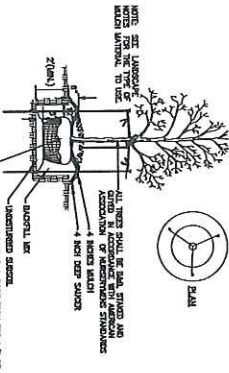
1 BUILDING PLANTING DETAIL
C4.1 N.T.S.



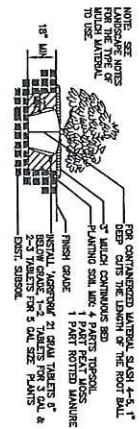
PLANT SCHEDULE

KEY	COMMON NAME	PLANT SIZE	QUANTITY
△	HEBERGOLLS DAVIELLY	1 GAL.	8
□	HEBERGOLLS DAVIELLY	1 GAL.	8
*	VERBENA SPERMATOPHYTES	5 GAL.	3
*	VERBENA SPERMATOPHYTES	5 GAL.	3

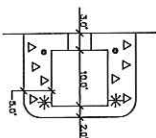
7 GARAGE PLANTING DETAIL
C4.1 N.T.S.



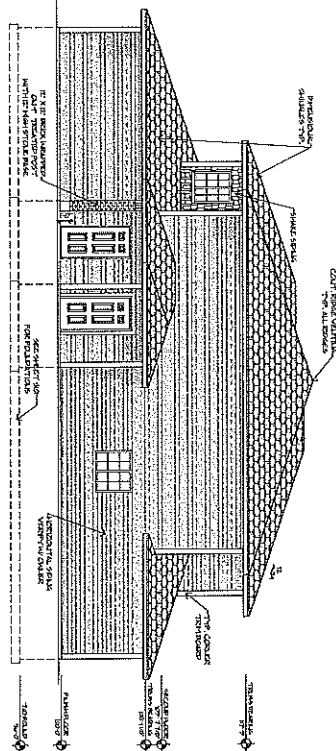
6 TREE PLANTING DETAIL
C4.1 N.T.S.



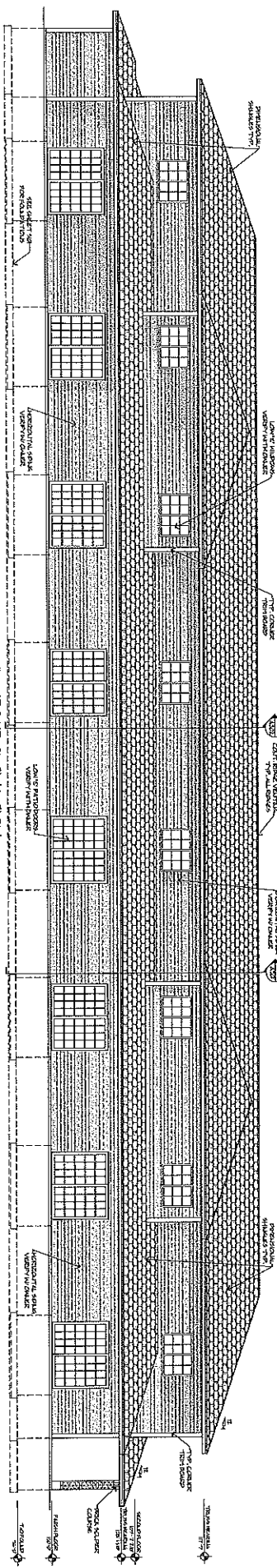
5 SHRUB PLANTING DETAIL
C4.1 N.T.S.



4 MAILBOX PLANTING DETAIL
C4.1 N.T.S.

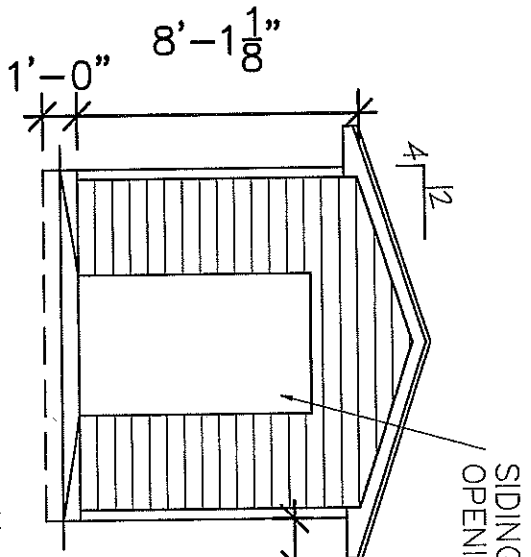


3 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

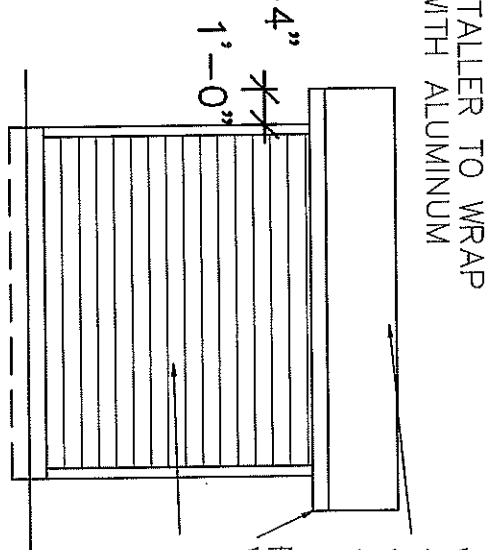


4 REAR ELEVATION SCALE 3/8" = 1'

NOTE: INDICATE IF THE BIDDER HAS BEEN PREVIOUSLY DISQUALIFIED OR DEBARRED FOR CAUSING THE CONTRACTOR TO STOP WORKING ON THE PROJECT OR FOR THE PROJECT TO STOP WORKING.	8 UNIT BUILDING FOR: AMITY FIELD TOWNHOMES SURGEON BAY, WISCONSIN LLOYD CARPENTER-ARCHITECT, LLC 2465 JAMES HILLS DRIVE GREEN BAY, WI 54603 TEL: 920.833.1587 CARP.AECH@SMALL.COM	DATE: 7-25-17 FILE: _____ JOB: _____ SHEET: _____ A-201
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FRONT ELEVATION



SIDE ELEVATION

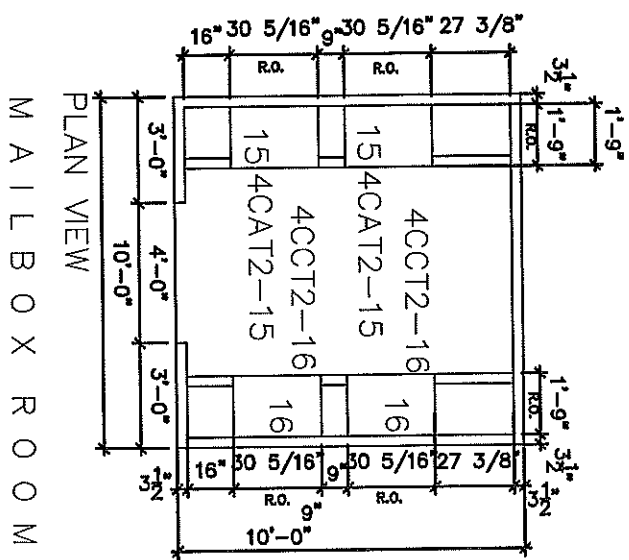
SIDING INSTALLER TO WRAP
OPENING WITH ALUMINUM

WOOD ROOF TRUSSES @ 2'-0" O.C. WITH
15/32" ROOF SHEATHING W/ CLIPS,
WITH 15# FELT,
WITH DIMENSIONAL SHINGLES OVER.

PREFINISHED FULLY
VENTED ALUM. SOFFIT

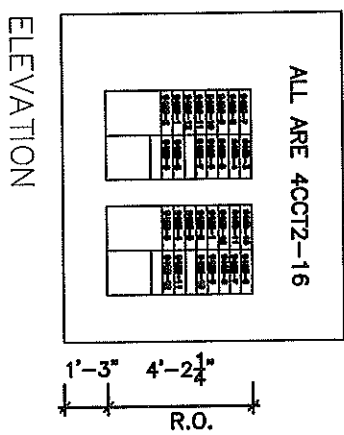
VINYL SIDING OVER
HOUSE WRAP OVER
15/32" SHEATHING OVER
2 X 4'S @ 16" O.C.

4" TH, CONC. SLAB W/
12" THICKENED EDGES

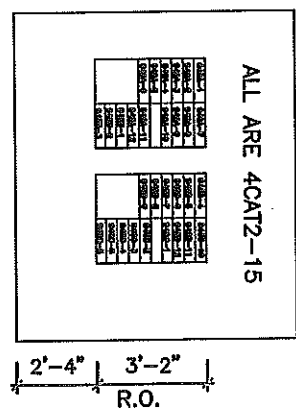


PLAN VIEW

MAIL BOX ROOM



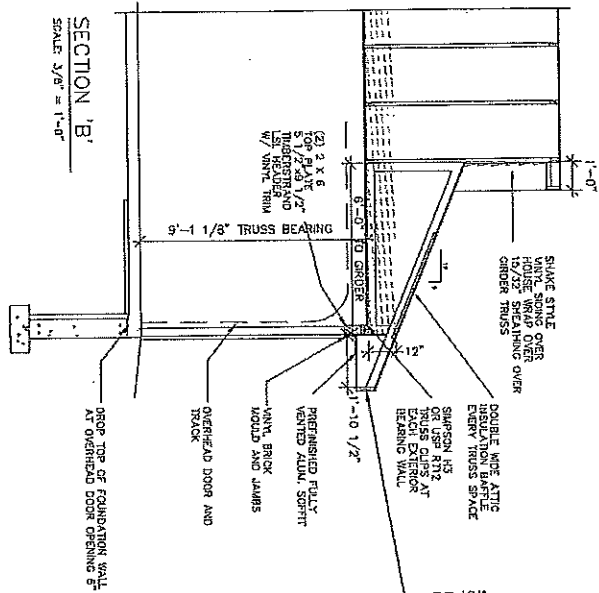
ELEVATION



ELEVATION

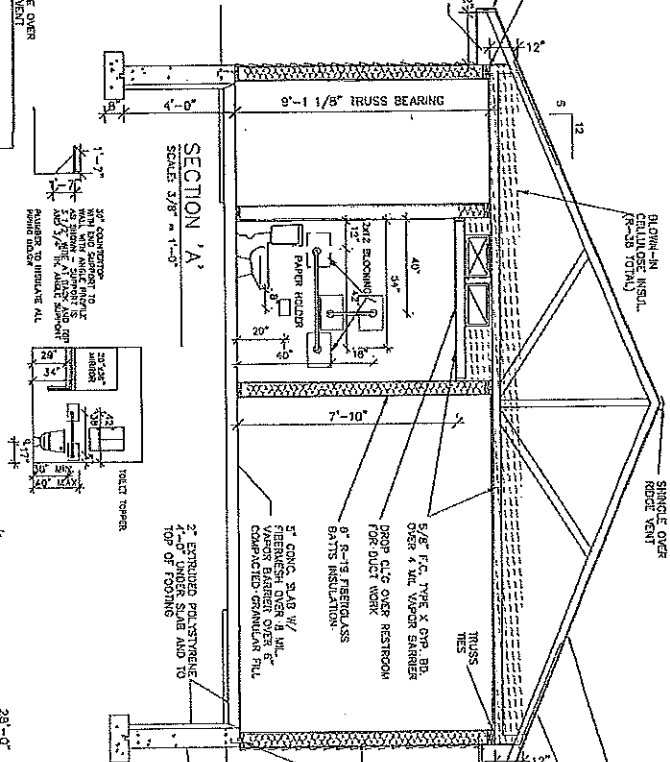
SECTION 'B'

SCALE 3/8" = 1'-0"



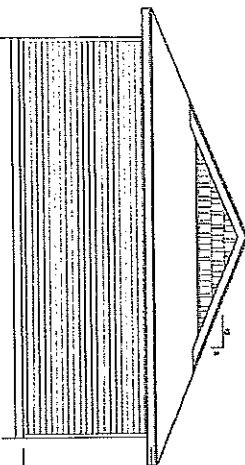
SECTION 'A'

SCALE 3/8" = 1'-0"



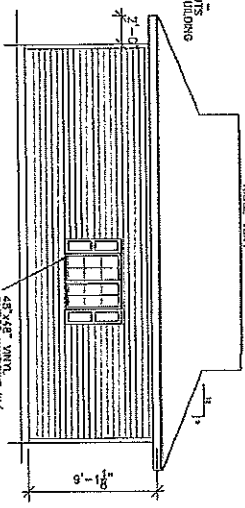
BACK ELEVATION

SCALE 1/8" = 1'-0"



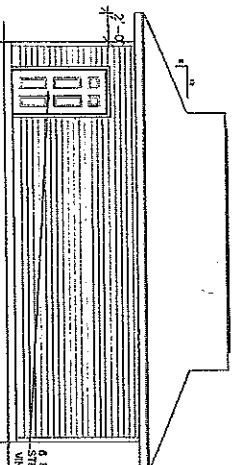
SIDE ELEVATION

SCALE 1/8" = 1'-0"



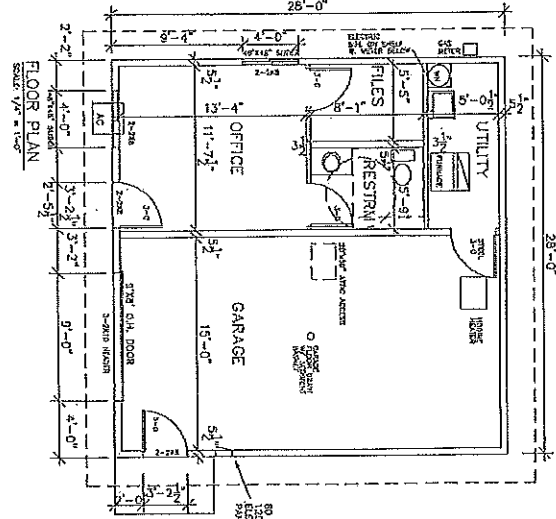
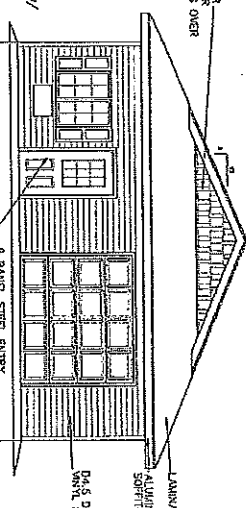
SIDE ELEVATION

SCALE 1/8" = 1'-0"



FRONT ELEVATION

SCALE 1/8" = 1'-0"



G1

OFFICE MAINTENANCE GARAGE
FLOOR PLAN
EXTERIOR ELEVATIONS

PREMIER OFFICE GARAGE
FOR PREMIER REAL ESTATE MANAGEMENT
WISCONSIN

DATE	REVISION
5/12/12	1

DIMENSION STRING FOR LOCATION OF REBARS IN CONCRETE BASE

3 PIECES AT $+ - 3\frac{3}{4}$ " BY
13" WIDE X 2 $1\frac{1}{4}$ " TH. SMOOTH
FLAT TOP CUT STONE CAP
W/ HAMMERED EDGES

FACE BRICK TO WRAP AROUND SIGN
W/ 1 1/4" REVEAL

13'-0"x4'-0"x12" TH. CONC. SLAB W/ #4 BARS
12" O.C. EACH WAY - PROVIDE DOWELS
2-2-#4 DOWELS 48" ABOVE SLAB AT EACH PIER
4" APART CENTERED ON PIER

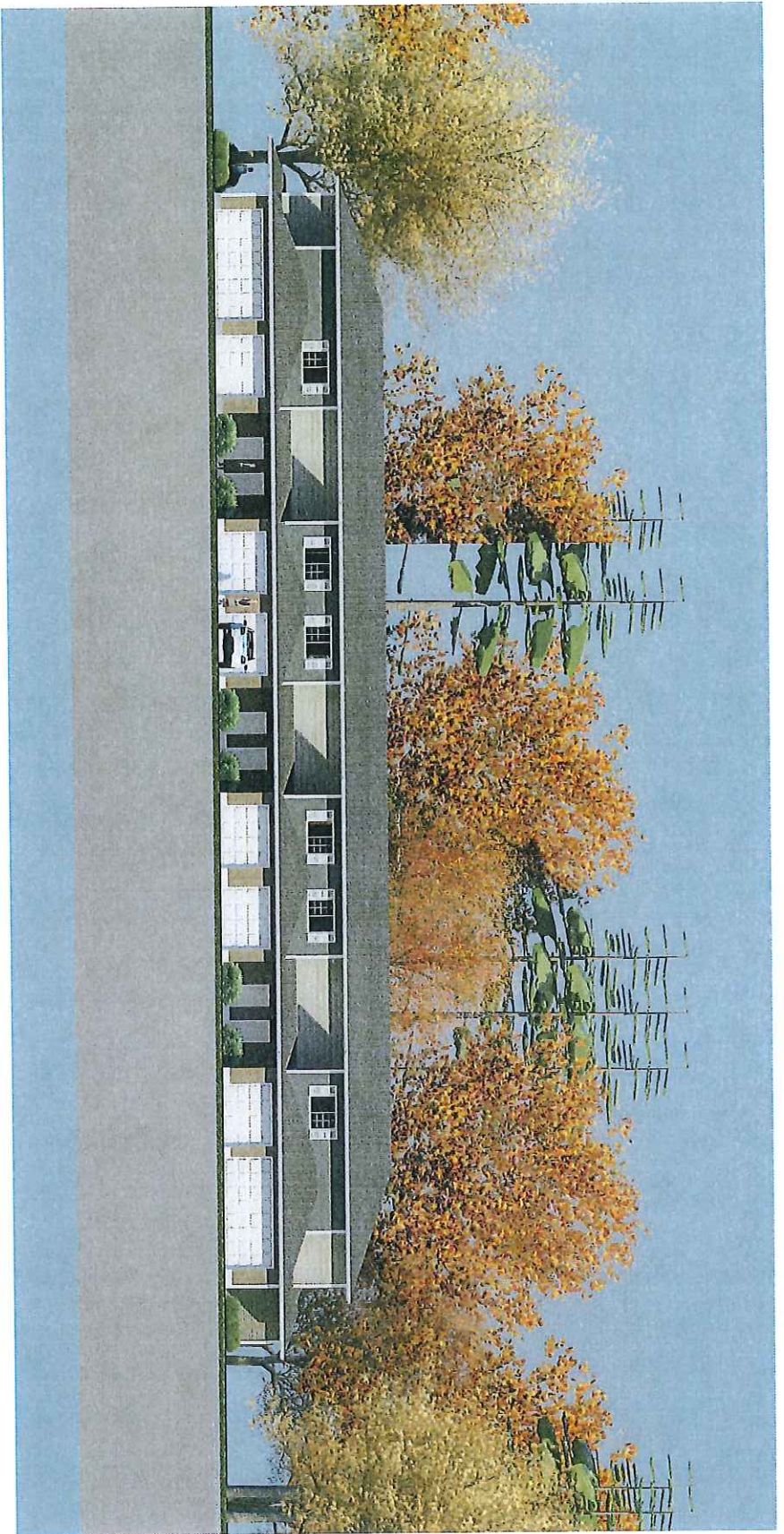
GRADE LINE

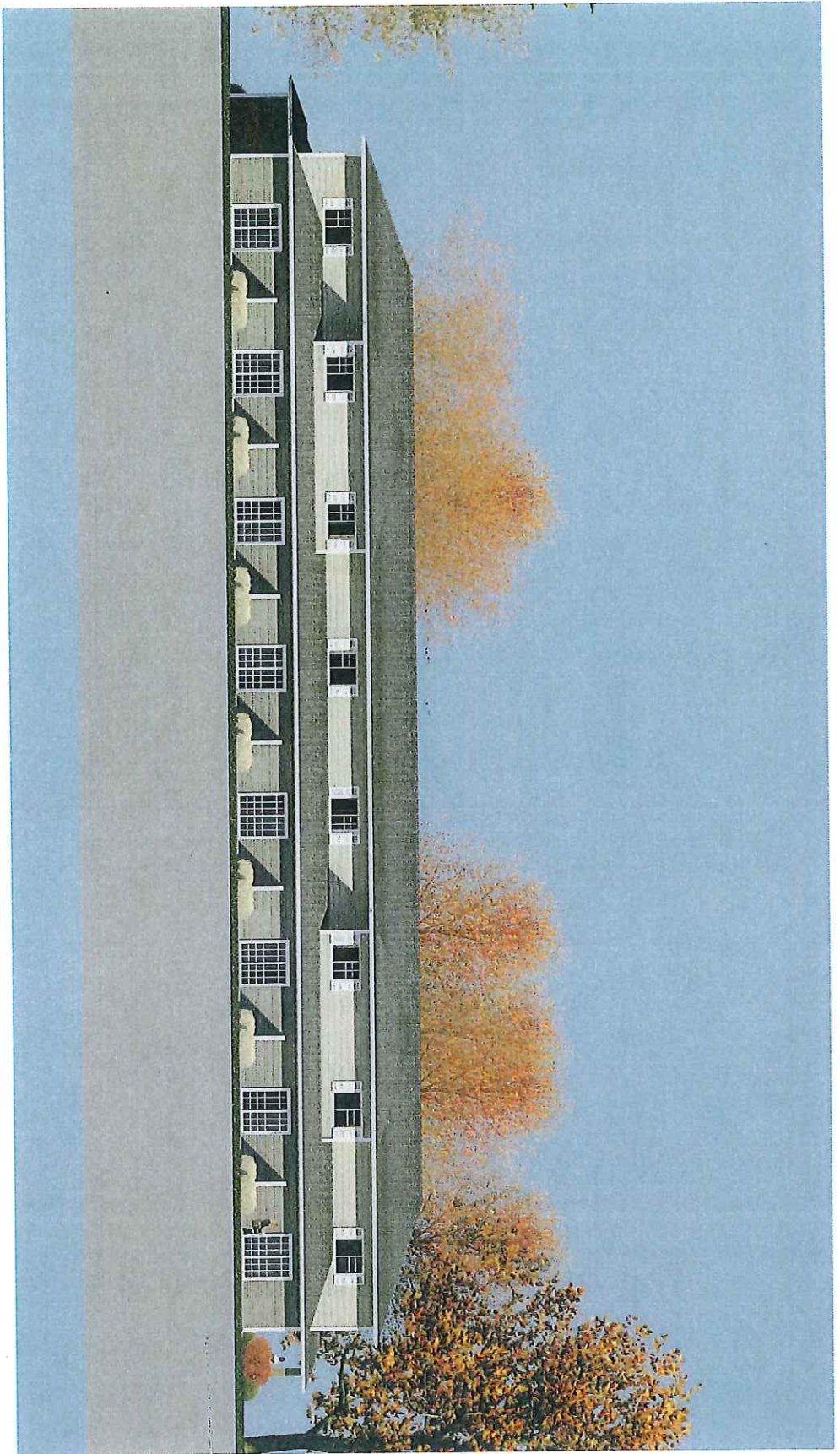
SIDE VIEW

PLAN VIEW

PREMIER ESTATES

LARGE PROJECT SIGN

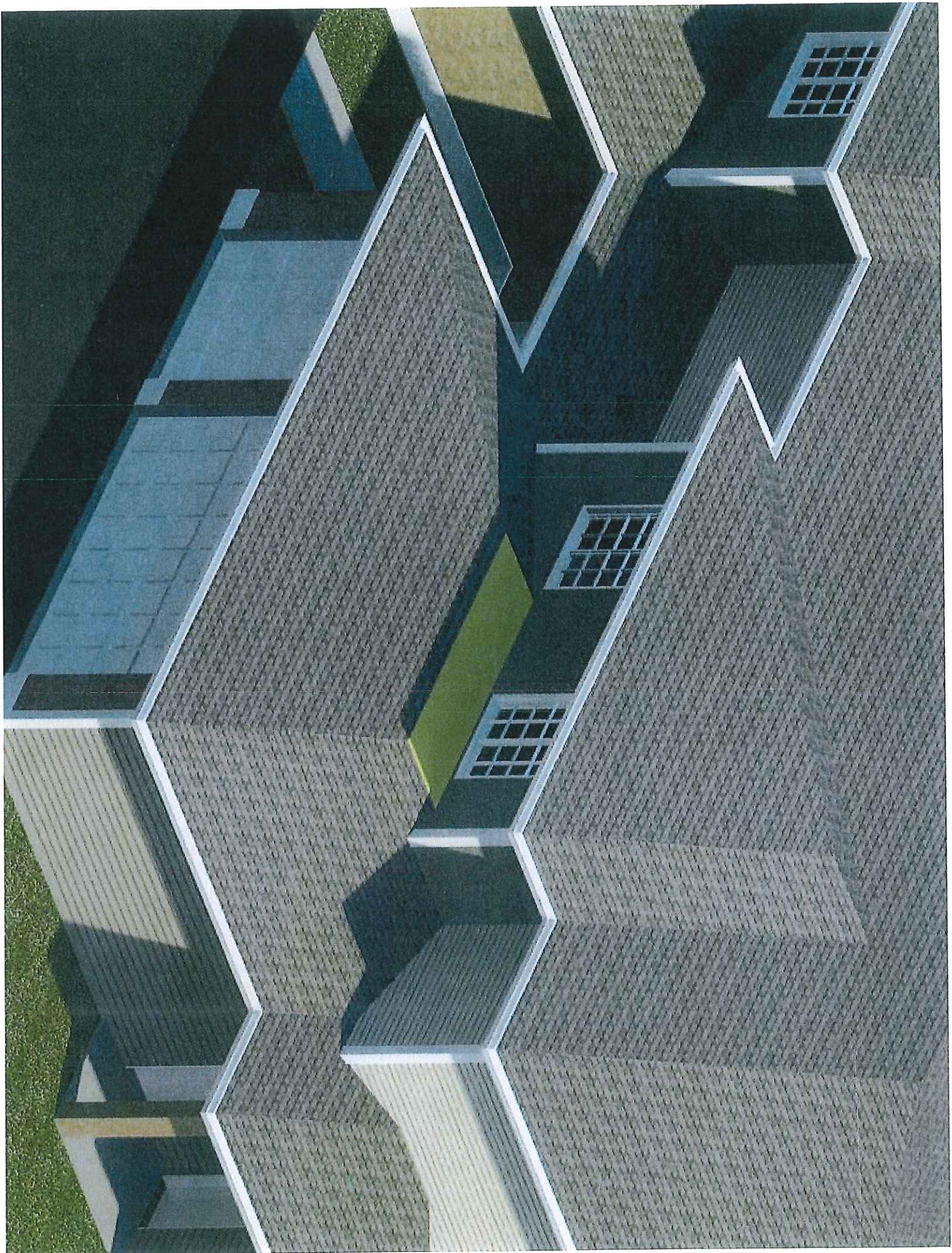






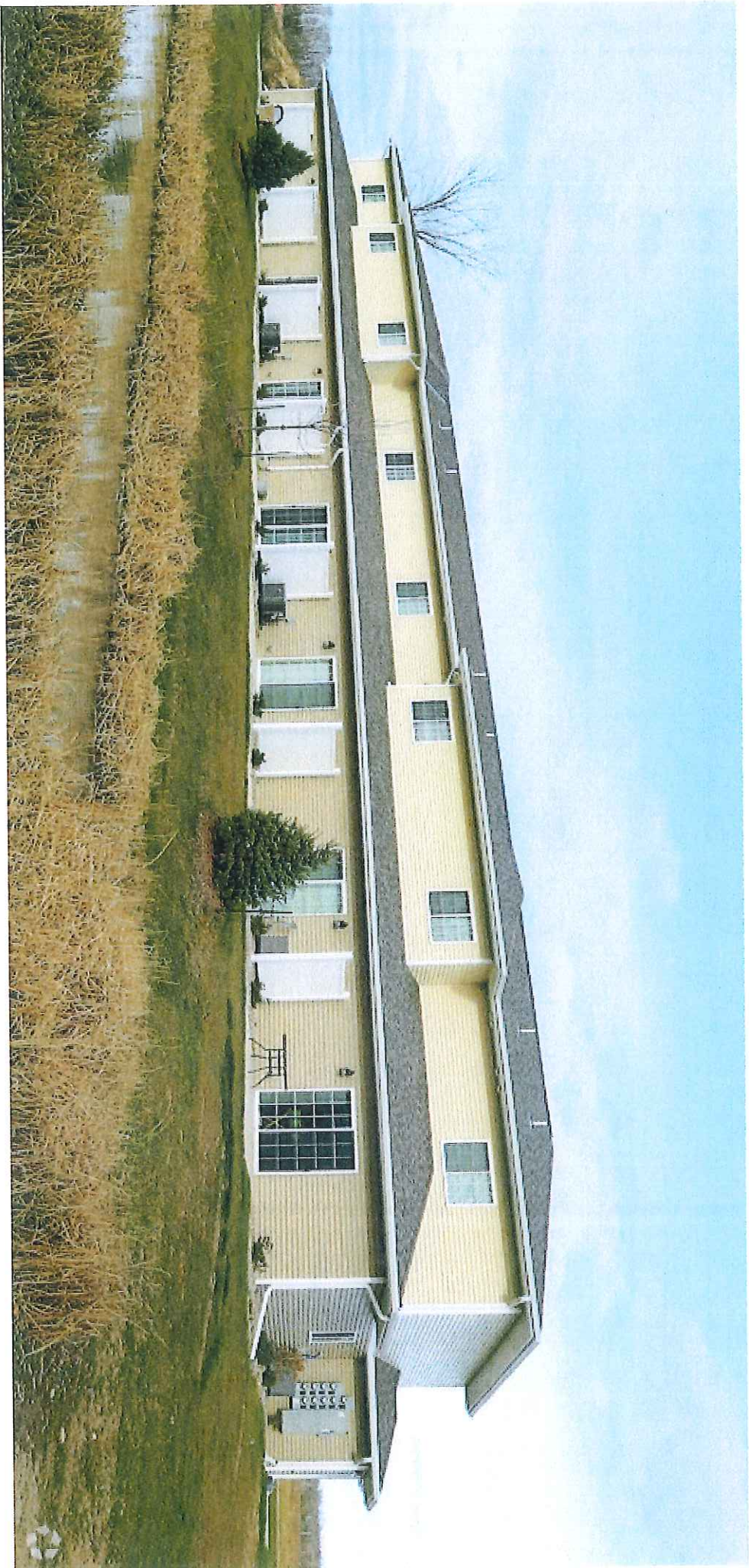






Examples of Existing Townhomes









PUBLIC HEARING NOTICE

The City of Sturgeon Bay Plan Commission will conduct a public hearing in the Council Chambers, 421 Michigan Street, Sturgeon Bay, Wisconsin on Wednesday, August 16, 2017, at 6:00 p.m. or shortly thereafter, regarding a petition for approval of a conditional use for multiple-family dwellings under Section 20.12(2)(i) of the Municipal Code (Zoning Code). The proposal is for three 8-unit townhome buildings with attached garages. The subject property is a vacant 3.28-acre parcel located on the corner of Florida Street and Erie Street and east of N. 7th Avenue, being developed by Premier Sturgeon Bay Amity, LLC, and currently owned by the City of Sturgeon Bay. The application is on file with the Community Development Department, located at 421 Michigan Street, and can be viewed weekdays between 8:00 a.m. and 4:30 p.m. The public is invited to give testimony in favor or against the proposed conditional use, either in person at the hearing or in writing.

By order of:

City of Sturgeon Bay Plan Commission

Amity Field - looking north



04/25/2015

Location Map

Akin - 24 Unit Townhomes

Conditional Use Request



Subject Area



Note: Public Hearing to be held August 16, 2017 at 6:00 pm

DRAFT 6/21/2017

Accessory Dwelling Units
Proposed Zoning Text Amendments to Allow as a Conditional Use in Residential Districts

Proposed Amendment of s. 20.03
 Creation of s. 20.09(2)(h)
 Creation of s. 20.175(2)(p)
 Creation of s. 20.22(2)(m)

S. 20.03 – Definitions

Accessory dwelling unit: A smaller, secondary home on the same lot as a principal dwelling. Accessory dwelling units are independently habitable and provide the basic requirements of shelter, heating, cooking and sanitation.

S. 20.09(2)(h) – Conditional Use of R-1 Zoning District

(h) Accessory Dwelling Units, subject to the following:

1. Not more than one accessory dwelling unit shall be permitted on a lot.
2. Accessory dwelling units shall be allowed only on a lot having at least 7,000 square feet.
3. Accessory dwelling units shall not exceed 800 square feet in floor area and shall have a minimum floor area of 250 square feet.
4. The property owner of record must reside in either the primary dwelling unit or the accessory dwelling unit as their permanent and legal address. A restrictive agreement shall be recorded to this effect.
5. In addition to off-street parking spaces required for the primary dwelling unit, a minimum of one off-street parking space for an efficiency or one-bedroom accessory dwelling unit, or a minimum of two off-street parking spaces for a two- or more bedroom accessory dwelling unit, shall be provided.
6. The accessory dwelling unit shall not be leased for periods of less than one calendar month or 30 days. A restrictive agreement shall be recorded to this effect. If the property owner of record resides in the accessory dwelling unit, then this minimum rental period shall apply to the primary dwelling unit.
7. The accessory dwelling unit shall not be conveyed or separated in ownership from the primary dwelling unit.
8. The accessory dwelling unit shall comply with the Sturgeon Bay Housing Code (chapter 22 of the municipal code) and with all pertinent building codes.
9. Accessory dwelling units may be attached to or detached from the single family residence.
10. Attached accessory dwelling units shall comply with the following:

- a. The accessory dwelling unit shall be clearly incidental to the principal dwelling unit and the building's exterior shall appear to be single-family.
- b. If the accessory dwelling unit is created from a portion of the principal dwelling unit, the floor area of the principal dwelling unit shall not be reduced below the minimum floor area required for the zoning district in which it is located.
- c. Location of entrances. Only 1 entrance may be located on the facade of the dwelling facing the street, unless the dwelling contained additional entrances before the accessory dwelling unit was created. An exception to this regulation is entrances that do not have access from the ground such as entrances from balconies or decks.
- d. Exterior stairs. Fire escapes or exterior stairs for access to an upper level accessory dwelling shall not be located on the front of the primary dwelling unit.

11. Detached accessory dwelling units shall comply with the following:

- a. The accessory dwelling unit shall be subject to the requirements of section 20.29 *Accessory building height and area regulations*.
- b. The accessory dwelling unit shall comply with all building code regulation relating to dwellings, ~~including a frost protected foundation~~.
- c. Floor Area. *(option 1)* The first 200 square feet of floor area within the accessory dwelling unit shall be exempted from the maximum floor area for accessory buildings on the lot.
(option 2) Fifty percent (50%) of the floor area of accessory dwelling unit shall be exempted from the maximum floor area for accessory buildings on the lot.
(option 3) The floor area of accessory dwelling unit shall be exempted from the maximum floor area for accessory buildings on the lot.

S. 20.175(2)(p) – Conditional Use of C-5 Zoning District

(p) Accessory Dwelling Units. Subject to the requirements set forth in section 20.09(2)(h)

S. 20.22(2)(m) – Conditional Use of A Zoning District

(m) Accessory Dwelling Units. Subject to the requirements set forth in section 20.09(2)(h)