

AGENDA
CITY OF STURGEON BAY
CITY PLAN COMMISSION
Wednesday, March 16, 2016
7:00 p.m.
Council Chambers, City Hall
421 Michigan Street

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from February 17, 2016.
4. Public comment on non-agenda items.
5. Consideration of: Final Planned Unit Development for New Urban Focus, Inc., 49 N. Madison Avenue.
6. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

Plan Commission Members:

Rick Wiesner – Chair
Ron Vandertie
Mike Gilson
Laurel Brooks
Jeff Norland
Robert Starr
Dennis Statz

2:00 p.m.
3/11/16
CN

CITY PLAN COMMISSION
Wednesday, February 17, 2016

A meeting of the City Plan Commission was called to order at 7:00 p.m. by Chairperson Rick Wiesner in Council Chambers, City Hall, 421 Michigan Street.

Roll call: Members Rick Wiesner, Ron Vandertie, Jeff Norland, Bob Starr, Dennis Statz, and Laurel Brooks were present. Excused: Member Mike Gilson. Also present were Planner/Zoning Administrator Ryan Kernosky, Community Development Director Marty Olejniczak, and Community Development Secretary Cheryl Nault.

Adoption of agenda: Moved by Mr. Statz, seconded by Ms. Brooks to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from January 20, 2016.
4. Public comment on non-agenda items.
5. Zoning map amendment from Light Industrial (I-1) to Single-Family Residential (R-1) for Arthur and Darlene Hohlfelder, for property located on Columbia Avenue, parcel #'s 281-66-12001401 and 281-66-12001402.
Presentation:
Public Hearing:
Consideration of:
6. Adjourn.

Carried.

Approval of minutes from January 20, 2016: Moved by Ms. Brooks, seconded by Mr. Norland to approve the minutes from January 20, 2016. All ayes. Carried.

Public comment on non-agenda items: No one spoke during public comment.

Zoning map amendment from Light Industrial (I-1) to Single-Family Residential (R-1) for Arthur and Darlene Hohlfelder, for property located on Columbia Avenue, parcel #'s 281-66-12001401 and 281-66-12001402:

Presentation: Mr. Kernosky explained that the property is located in the existing Precision Industrial Park. Other than the Cadence building, no other development has occurred in that area. Wetlands are found in and out of the parcels on the west end of the industrial park. The plan is to split the lots from two lots to four lots. If the lots were split they would comply with both the Light Industrial and Single-Family Residential zoning standards.

Mr. Hohlfelder stated that they had purchased two lots, each over two acres, with the intention of splitting them to create four residential lots. There is a majority of new homes in the area. The driveways would face Columbia Avenue. Sewer and water already exists.

Public Hearing: Chairperson Wiesner opened the public hearing at 7:05 p.m. No one spoke during the hearing. There was no correspondence. The public hearing was declared closed at 7:06 p.m.

Consideration of: Commission members discussed the request. Mr. Olejniczak stated that the Comprehensive Plan identifies this area for mixed residential development, with the wetland area as open space. He added that it would be ideal to transition from the Industrial to Two-Family Residential to Single-Family Residential.

It was moved by Mr. Statz, seconded by Ms. Brooks to vote on the request at this meeting. All ayes. Carried.

Moved by Mr. Statz, seconded by Ms. Brooks to recommend to Council to approve a zoning map amendment from Light Industrial (I-1) to Single-Family Residential (R-1) for Arthur and Darlene Hohlfelder, for property located on Columbia Avenue, parcel #281-66-12001401 and #281-66-12001402. All ayes. Carried.

Adjourn: Moved by Mr. Starr, seconded by Mr. Norland to adjourn. Carried. Meeting adjourned at 7:14 p.m.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "Cheryl Nault".

Cheryl Nault
Community Development Secretary

STAFF REPORT TO CITY PLAN COMMISSION
Final PUD – The Bay Lofts Mixed-Use Development

Background: New Urban Focus, Inc. (Jeff Gillis, Agent) petitions for approval of a Final Planned Unit Development (PUD) for a mixed-use 35 unit apartment building with roughly 3,200 square feet of commercial space located on the former Harbor Place Shoppes site (49 N Madison Avenue).

The Final PUD approval process does not require a public hearing, but a recommendation by the Plan Commission to the Common Council, and formal decision by the Council to approve or deny the Final PUD request is required. If approved, an ordinance to formally change the property's zoning classification to PUD must be enacted.

The current zoning classification is C-2, Central Business District. The proposed uses within the development conform to the C-2 district, but the PUD is necessary for the project since it exceeds C-2 limits for the residential density (35 units vs. 14 units) and building height (47 feet vs. 45 feet). In addition, some of the parking spaces are less than the required width of 9 feet and portions of the building are closer to the street than the usual 15-foot setback.

Comprehensive Plan: The future land use map of the City of Sturgeon Bay identifies that parcel as *Central Business District Commercial* which is described as:

This area is the main business "core" of the City. It includes a range of retail, service, office, entertainment and institutional uses within a geographically compact setting near the center of the City. The Central Business District is intended to be the emphasis of the community's retail activity.

The City has also adopted the West Waterfront Redevelopment Plan, which addresses this area more specifically and has greater detail of development goals and objectives. This site was included in this plan, where it was recommended that market-rate residential structures were built with below grade parking. The plan also cites that the corner of Madison Avenue and Larch Street should remain in commercial use, and as an alternative states that *"this redevelopment site could feature a new mixed-use development with ground-floor retail leveraging the Madison Avenue frontage and new residential spaces above."*

City staff is confident that this proposed use is consistent with the Comprehensive Plan and the West Waterfront Redevelopment Plan.

Changes to Final PUD Request from Preliminary PUD: The building and site design is consistent with the approved preliminary plans. A few modifications have been made. Major changes include the following:

Retail Space: The previously submitted plan had one 2,300 sq. ft. retail space on the corner of Madison Ave and Larch St. The new plans call for two separate retail spaces each with roughly 1,180 sq. ft. of floor space with a 380 sq. ft. mezzanine. The retail spaces would have separate entrances.

Parking: The previously submitted plan had 37 indoor parking stalls. The newly submitted plan calls for 35 indoor parking stalls, 21 wall-mounted bike racks, and 1 stall of

electric/hybrid vehicle charging station. Ten of the indoor parking spaces are compact car parking stalls, which are slightly less in width than the standard 9-foot wide space.

The outdoor off-street parking area added an additional two stalls on the west side of the proposed parking lot.

Exterior Elevations: Based upon the comments from the preliminary PUD review, the developers have submitted a somewhat different facade for the Larch Street facing exterior. The new plans call for a few 'breaks' in the exterior and a change in the corner coloring.

Refuse Location: City staff and members of the Plan Commission spoke about the concerns regarding the previous location of the refuse area (off of Madison Ave). The developer moved the refuse area to the indoor parking area for both the residents and the retail tenants. There is now access between the retail spaces and the parking garage.

Retail Plaza: The retail plaza off of Madison Ave has been expanded further to the south. The original plan proposed a smaller plaza area.

Site Plan and Design Considerations: City staff has thoroughly reviewed the Final PUD application both for compliance with various municipal codes and for general soundness. The following is a summary of the aspects of the development:

Proposed Use –The proposed apartments and retail uses are allowed under the zoning code. The addition of the second retail tenant space is supported and will help to solidify the downtown character of Madison Avenue.

Building Considerations – The proposed building is approximately 47 feet in height with a 17,855 sq. ft. footprint. The building covers roughly 44% of the property. The building height exceeds the C-2 standard by 2 feet. Due to high groundwater concerns and the desire for at grade access between the retail spaces and parking garage, the developers are reluctant to lower the building below current grade.

Impervious Surface Coverage – The property is zoned C-2 which has no impervious surface limitation for the development. It is noted that the proposed project has an impervious surface ratio of about 75%, which is less than the 82% ISR of the previous Harbor Places Shoppes.

Density – Under the current Zoning Code (20.27), the minimum lot area per dwelling unit is 3,500 square feet, which would allow for a total of only 14 units. The proposed development is 35 units. Therefore, if approved, the number of units/density must be addressed in the Final PUD ordinance. Given the downtown nature of the proposed development, it is appropriate that greater density be allowed than multifamily projects elsewhere in the City.

Parking – Sturgeon Bay Zoning Code (20.31) requires a minimum of 59 parking spaces for this development. The proposed development has 61 spaces. The developer has proposed indoor wall-mounted bicycle racks for residents and 1 stall will have an electric/hybrid car plug-in.

Due to space constraints the developer is proposing 10 compact car parking stalls within the indoor parking garage. Parking spaces with less than 9 feet of width are normally not

counted as official spaces. Because the stalls are smaller in width from our required code, this must be addressed within the PUD ordinance. Due to the total number of spaces provided, staff does not have a concern that some spaces are slightly less than 9 feet in width.

Landscaping - The submitted landscaping plan shows 13 total trees in the planting key, a mixture of Japanese Tree Lilac, Red Jewell Crabapple, Medora Juniper, and Dark Green Arborvitae. These are ornamental trees or evergreens. To meet the normal parking lot landscaping requirements, there needs to be at least four canopy type trees. City staff has requested that the developer address this issue by adding canopy trees, switching some of the ornamental trees to canopy trees, or requesting that the city adjust its tree requirement through the PUD approval and ordinance.

The greenspace surrounding the building has various perennials and shrubs including Koblod Blue Liatris, False Sunflower, Switchgrass, Green Velvet Boxwood, and Vanhoutte Spirea. These will do a good job of softening the lower level facade, which is mostly blank parking garage wall. The plan shows landscaping for the rain gardens, but needs to be adjusted to account for the rain gardens on either side of the parking garage entrance and the fact that the rain gardens shown on the south end of the building have been lengthened into one large rain garden.

A third landscaping issue is the need for street trees. The plan seems to indicate trees along the street but these do not exist. To comply with current city policy, six street trees are needed along Larch Street and three trees along Madison Avenue. City staff provided comments back to the developer and a revised landscaping plan is expected to be submitted that will address the above issues.

Setbacks – In the current C-2 zoning district, the standard setback for buildings is 15' from the three street property lines and 25' from the rear lot line. Assuming the proposed swap of right-of-way affecting Madison Ave and Larch St is accomplished, the proposed site plan has the following setbacks:

- Madison Ave – 12 feet for retail portion and 14 feet for residential portion
- Larch Street – 8 feet for retail portion and 15 feet for residential portion
- Locust Court – 14 feet
- Rear Yard – 78 feet

It is noted that the Plan Commission has the authority in the C-2 district to reduce the minimum street yard to establish a more traditional downtown development pattern with buildings set close to the street. It is also noted that the proposed building is set further from the street rights-of-way than the former buildings on the site. The proposed setbacks seem appropriate for the site and proposed building/uses.

Utilities – The project can easily be served by existing utility lines and there are no concerns. Sturgeon Bay Utilities has submitted a plan showing how the existing overhead utility lines along Larch Street can be placed underground.

Storm Water Management – The plan mitigates runoff from the roof by directing it into various rain gardens to improve infiltration. A portion of the parking area is directed into a grass swale along the west property line and a portion is directly routed into the municipal storm sewer. All of the runoff that is not infiltrated eventually reaches the storm sewer system. The previous development had no storm water management controls. Since the

amount of impervious surfaces is less after the redevelopment and a large portion of the runoff is now being treated, the plan is supported. Final approval by the city engineer is required prior to construction beginning.

PUD Review Criteria: In general, the zoning ordinance directs the Plan Commission to consider whether the proposed development is consistent with the spirit and intent of the zoning code, has been prepared with competent professional guidance, and produces benefits to the City compared with conventional developments. In addition, there are nine specific review criteria to consider for PUD's. The following is a discussion of those criteria.

1. Compatibility with Comprehensive Plan and other Pertinent Plans – As discussed earlier, the proposed development conforms to the Comprehensive Plan and the West Waterfront Redevelopment Plan.

2. Internally and Externally Compatible Land Uses – The proposed mixed-use building will add more commercial and more market-rate residential opportunities for the west side.

3. Creative Approach in Land Development – The proposed mixed-use building integrates well into the West Side Waterfront Redevelopment efforts. There is a need for quality rental opportunities for professionals and empty nesters in Sturgeon Bay, and this development helps to create more of those opportunities. The proposed commercial spaces also helps retain the west side downtown feel and corridor leading into the east side downtown.

4. Conserves Environmentally Sensitive Areas – The site was previously developed, and there are no environmentally sensitive areas within the site.

5. Addresses Open Space and Recreation Needs – The proposed development will assist in the creation of the planned West Side Waterfront Park by generating increment for Tax Increment District #4 (TID). Residents of the development will be within short walking distance to the West Side Waterfront Park and three existing parks (Otumba Park, Bayview Park, and Sawyer Park). The proposed project also has a fitness center, roof deck and clubhouse to help with the recreational needs of tenants.

6. Would Not Adversely Affect Municipal Services (utilities, police/fire, snow removal, etc.) – The site was previously developed, therefore there's been power, sewer, water, and telecommunications to the site. No upgrades are required other than the potential burying of the overhead lines along Larch Street. Further discussion with the police and fire departments did not bring up any concerns regarding ability to maintain public safety.

7. Safe and Adequate Transportation Facilities – The existing streets and sidewalks (including new sidewalk on south side of Larch Street) satisfies this criterion. The apartments have the required parking under the code.

8. Economic Practicality – The Waterfront Redevelopment Authority will need to approve the development and create a development agreement. That will involve investigation of the developer's ability to financially complete the project and confirm that the City's portion of the overall project costs for site improvements will be covered through future tax increment generated by the mixed-use building. The financial feasibility will also be considered by the developer's lender. Furthermore, the developer has completed market analysis and research, indicating that there is a demand for market-rate residential rental dwellings in downtown Sturgeon Bay.

9. Benefits to City Justify the Intended Variations – Because the C-2 zoning district already allows considerable flexibility for new infill development, the proposed PUD does not require any significant variations from the underlying zoning requirements, with the exception of the maximum residential density. The proposed development will eliminate a blighted site, create a new option for housing, and generate tax increment for the city's redevelopment effort. Thus, it is beneficial to the City to promote this type of development through a PUD.

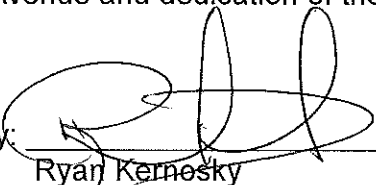
Fiscal Impact: The assessed value of the development is expected to be approximately \$4 million. This parcel is within the tax increment district #4 (TID), therefore property taxes generated will be directed toward paying the costs of the public costs for the overall West Side Redevelopment project. Once the TID is retired, the taxes will be directed to the various taxing entities. The developer intends to request TIF assistance to help with the building construction and public related improvements such as burying overhead utility lines. A development agreement will be required by the Waterfront Redevelopment Authority and Council.

Recommendation: City staff is supportive of the proposed PUD. The deviations from underlying zoning requirements are justified based upon the uniqueness of the project and the planning goals of the West Waterfront Redevelopment Plan.

The recommendation is to approve the final PUD, subject to the following parameters:

1. The landscaping plan shall be revised to include at least 4 canopy trees within 10 feet of the parking area, 6 street trees along Larch Street and 3 street trees along Madison Ave, with tree species to be approved by the City Forester.
2. The following zoning parameters shall be incorporated into the PUD zoning ordinance.
 - a. Building height is not to exceed 4 stories and 47 feet.
 - b. The proposed project is not to exceed 36 residential units.
 - c. Minimum yards and building setbacks shall conform to the final site plan, but in no case shall be less than 5 feet.
 - d. Up to 10 parking spaces within the indoor parking area may have reduced width (compact car spaces), provided the width of those spaces shall not be less than 8'-0".
3. Approval by the City of the vacation of the portion of the right-of-way off of Madison Avenue and dedication of the 8-foot strip of right-of-way along Larch Street.

Prepared by:


Ryan Kemesky
Planner & Zoning Administrator

Date

3/11/16

Reviewed by:


Marty Olejniczak
Community Development Director

Date

3-11-16

CITY OF STURGEON BAY PLANNED UNIT DEVELOPMENT APPLICATION

Date Received: _____
Fee Paid \$ _____
Received By: _____

Application For: Conceptual ___ Preliminary ___ Final X Combined Preliminary/Final ___
Note: There are different requirements for each of the above processes. A separate application is required for each.

NAME OF PROPOSED PLANNED UNIT DEVELOPMENT: _____

	APPLICANT/AGENT	LEGAL PROPERTY OWNER
Name	Mr. Jeff Gillis	Harbor Place, LLC
Company	New Urban Focus, Inc.	Attention: Wolf Bros.
Street Address	4906 Femrite Drive	155 East Walnut Street
City/State/Zip	Madison, Wisconsin 53716	Sturgeon Bay, Wisconsin 54235
Daytime Telephone No.	608.273.1069	920.743.5587
Fax No.	None	None

STREET ADDRESS(es) OF SUBJECT PROPERTY: 49 North Madison Avenue
Location if not assigned a common address: _____

TAX PARCEL NUMBER(s): 281-24-15110103A

AREA OF SUBJECT PROPERTY AND NO. OF LOTS: One (1) Parcel - 1.050 Acres

CURRENT ZONING CLASSIFICATION: C-2

CURRENT USE AND IMPROVEMENTS: Vacant Land

COMPREHENSIVE PLAN DESIGNATION OF SUBJECT PROPERTY: Central Business District - Commercial

WOULD APPROVAL OF THE PROPOSED PLANNED UNIT DEVELOPMENT CONFORM WITH THE
COMPREHENSIVE PLAN? Yes X No _____ Explain: _____

PLEASE IDENTIFY SPECIFIC PROPOSED LAND USES. USES MUST IDENTIFY AND CORRESPOND TO A PARTICULAR LOT, LOCATION, BUILDING, ETC.

Mixed-Use Development: Multi-Family Residential & Commercial/Retail

CURRENT USE AND ZONING OF ADJACENT SURROUNDING PROPERTIES:

North: Commercial - Restaurant, Hotel

South: Commercial - Gas Station

East: Commercial Land (Parking) & PUD Maritime Museum

West: Single-Family Residential (R-2)

COMPREHENSIVE PLAN DESIGNATION OF ADJACENT SURROUNDING LAND USES:

North: Recreational & Tourist Commercial

South: Central Business District Commercial

East: Recreational & Tourist Commercial

West: Public & Institutional

IS ANY VARIANCE FROM COMPREHENSIVE PLAN, SUBDIVISION ORDINANCE, OR ZONING ORDINANCE BEING REQUESTED? If yes, describe:

Potential Building Setbacks - requesting setbacks per plans

Potential Building Coverage Ratio, Floor Area Ratio, Open Space Ratio, Landscape Ratio -

Requesting ratios per plans

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? Yes IF YES, EXPLAIN:

PUD was previously approved but never implemented

Attach an 11" X 17" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 20 copies folded to 8-1/2" X 11"), full legal description (preferably on disk), location map with site boundaries marked, proof of ownership, and Agreement for Reimbursement of expenses. Site or plot plan shall include dimensions of property, structures, building elevations, proposed site improvements, signature of person who drew plan, etc.

Property Owner (Print Name)

Mr. Jeff Gillis

Applicant/Agent (Print Name)

Signature



Signature

Date

March 2, 2016

Date

I, Mr. Jeff Gillis, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.

November 5, 2015

Date of review meeting

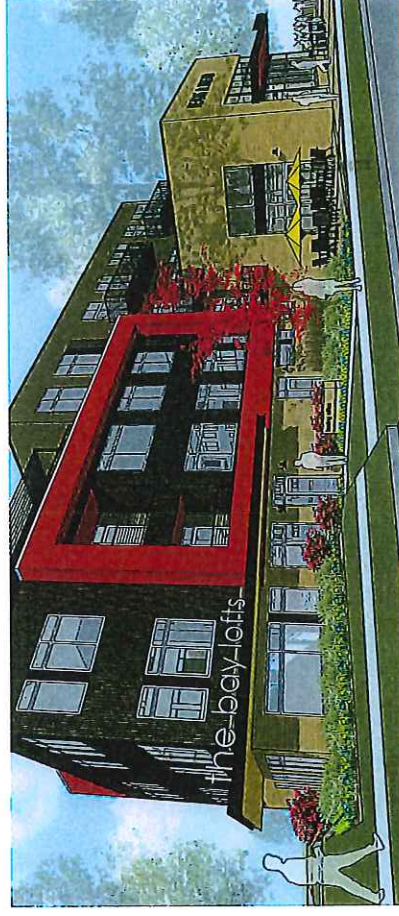


Applicant Signature

Staff Signature

THE BAY LOFTS

49 NORTH MADISON STREET
STURGEON BAY, WISCONSIN 54235



JLA
architects

FINAL PUD SUBMITTAL

LOT 1 OF CERTIFIED SURVEY MAP 1142

LOCATED IN:
GOVERNMENT LOT 3 OF SECTION 7,
TOWNSHIP 27 NORTH, RANGE 26 EAST,
CITY OF STURGEON BAY, DOOR COUNTY,
WISCONSIN.














PREPARED BY:
BALDWIN INCORPORATED
55 S. 3RD AVENUE
P.O. BOX 105
STURGEON, MN 54235
DRAWN BY: JMG
HINC@BALDWIN.COM

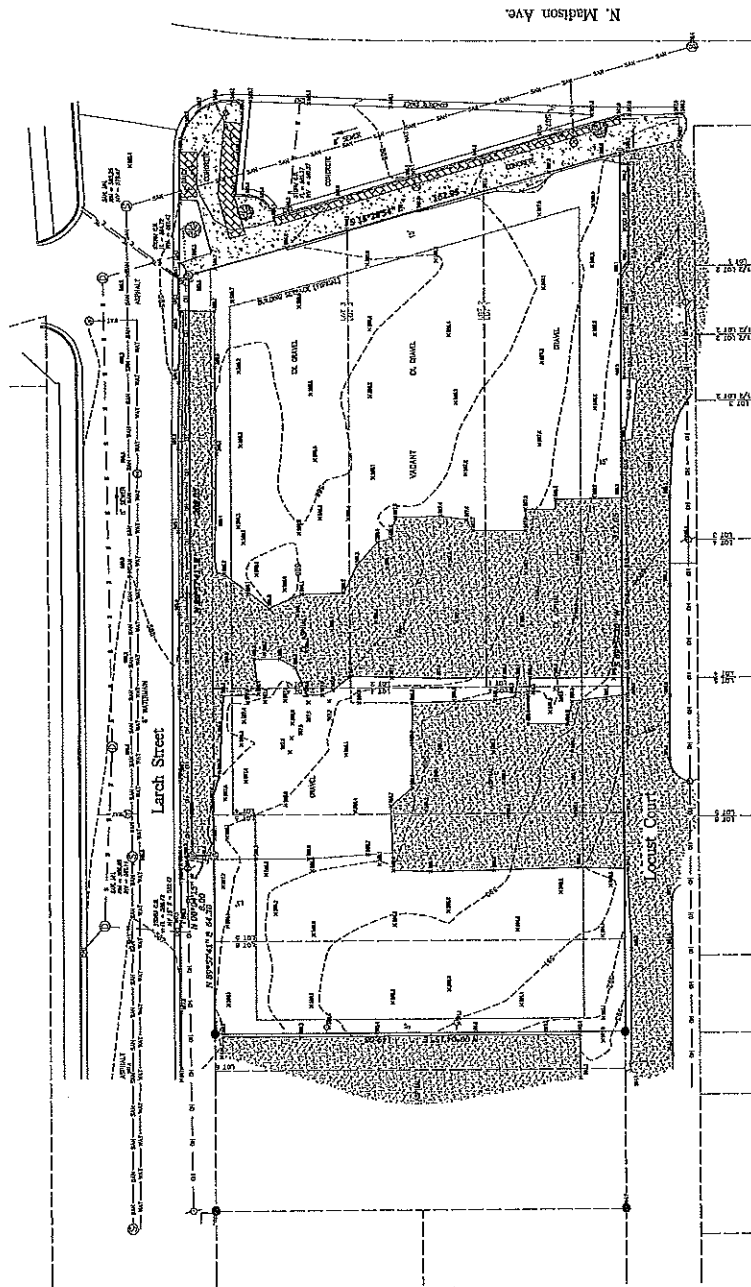
PAPER CONTAIN - 45.02 SQUARE FEET

TECHNICAL - PAPER 02239 (NAF008)

ZOLLING -- CENTRAL BUSINESS DISTRICT (C-2)
NO PORTION OF THE PROPERTY IS BELOW THE BASE FLOOD
ELEVATION OF SIXTYFOUR FEET

[illegible]

 GUY WIRE
 POWER POLE
 LIGHT POLE
 OATE VALVE
 CURB STOP
 HYDRANT
 SANITARY MANHOLE
 STORM INLET
 STORM MANHOLE
 SET 5/8" REBAR
 FOUND 0/0" REBAR



BAY LOFTS
PROJECT DATA
March 2, 2016

BUILDING DATA

REPAIR	1-BEDROOM UNITS										2-BEDROOM UNITS										3-BEDROOM UNITS										TOTALS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
	Unit 101-108		Unit 109-116		Unit 117-124		Unit 125-132		Unit 133-140		Unit 141-148		Unit 149-156		Unit 157-164		Unit 165-172		Unit 173-180		Unit 181-188		Unit 189-196		Unit 197-204		Unit 205-212		Unit 213-220		Unit 221-228		Unit 229-236		Unit 237-244		Unit 245-252		Unit 253-260		Unit 261-268		Unit 269-276		Unit 277-284		Unit 285-292		Unit 293-300		Unit 301-308		Unit 309-316		Unit 317-324		Unit 325-332		Unit 333-340		Unit 341-348		Unit 349-356		Unit 357-364		Unit 365-372		Unit 373-380		Unit 381-388		Unit 389-396		Unit 397-404		Unit 405-412		Unit 413-420		Unit 421-428		Unit 429-436		Unit 437-444		Unit 445-452		Unit 453-460		Unit 461-468		Unit 469-476		Unit 477-484		Unit 485-492		Unit 493-500		Unit 501-508		Unit 509-516		Unit 517-524		Unit 525-532		Unit 533-540		Unit 541-548		Unit 549-556		Unit 557-564		Unit 565-572		Unit 573-580		Unit 581-588		Unit 589-596		Unit 597-604		Unit 605-612		Unit 613-620		Unit 621-628		Unit 629-636		Unit 637-644		Unit 645-652		Unit 653-660		Unit 661-668		Unit 669-676		Unit 677-684		Unit 685-692		Unit 693-700		Unit 701-708		Unit 709-716		Unit 717-724		Unit 725-732		Unit 733-740		Unit 741-748		Unit 749-756		Unit 757-764		Unit 765-772		Unit 773-780		Unit 781-788		Unit 789-796		Unit 797-804		Unit 805-812		Unit 813-820		Unit 821-828		Unit 829-836		Unit 837-844		Unit 845-852		Unit 853-860		Unit 861-868		Unit 869-876		Unit 877-884		Unit 885-892		Unit 893-900		Unit 901-908		Unit 909-916		Unit 917-924		Unit 925-932		Unit 933-940		Unit 941-948		Unit 949-956		Unit 957-964		Unit 965-972		Unit 973-980		Unit 981-988		Unit 989-996		Unit 997-1004		Unit 1005-1012		Unit 1013-1020		Unit 1021-1028		Unit 1029-1036		Unit 1037-1044		Unit 1045-1052		Unit 1053-1060		Unit 1061-1068		Unit 1069-1076		Unit 1077-1084		Unit 1085-1092		Unit 1093-1100		Unit 1101-1108		Unit 1109-1116		Unit 1117-1124		Unit 1125-1132		Unit 1133-1140		Unit 1141-1148		Unit 1149-1156		Unit 1157-1164		Unit 1165-1172		Unit 1173-1180		Unit 1181-1188		Unit 1189-1196		Unit 1197-1204		Unit 1205-1212		Unit 1213-1220		Unit 1221-1228		Unit 1229-1236		Unit 1237-1244		Unit 1245-1252		Unit 1253-1260		Unit 1261-1268		Unit 1269-1276		Unit 1277-1284		Unit 1285-1292		Unit 1293-1300		Unit 1301-1308		Unit 1309-1316		Unit 1317-1324		Unit 1325-1332		Unit 1333-1340		Unit 1341-1348		Unit 1349-1356		Unit 1357-1364		Unit 1365-1372		Unit 1373-1380		Unit 1381-1388		Unit 1389-1396		Unit 1397-1404		Unit 1405-1412		Unit 1413-1420		Unit 1421-1428		Unit 1429-1436		Unit 1437-1444		Unit 1445-1452		Unit 1453-1460		Unit 1461-1468		Unit 1469-1476		Unit 1477-1484		Unit 1485-1492		Unit 1493-1500		Unit 1501-1508		Unit 1509-1516		Unit 1517-1524		Unit 1525-1532		Unit 1533-1540		Unit 1541-1548		Unit 1549-1556		Unit 1557-1564		Unit 1565-1572		Unit 1573-1580		Unit 1581-1588		Unit 1589-1596		Unit 1597-1604		Unit 1605-1612		Unit 1613-1620		Unit 1621-1628		Unit 1629-1636		Unit 1637-1644		Unit 1645-1652		Unit 1653-1660		Unit 1661-1668		Unit 1669-1676		Unit 1677-1684		Unit 1685-1692		Unit 1693-1700		Unit 1701-1708		Unit 1709-1716		Unit 1717-1724		Unit 1725-1732		Unit 1733-1740		Unit 1741-1748		Unit 1749-1756		Unit 1757-1764		Unit 1765-1772		Unit 1773-1780		Unit 1781-1788		Unit 1789-1796		Unit 1797-1804		Unit 1805-1812		Unit 1813-1820		Unit 1821-1828		Unit 1829-1836		Unit 1837-1844		Unit 1845-1852		Unit 1853-1860		Unit 1861-1868		Unit 1869-1876		Unit 1877-1884		Unit 1885-1892		Unit 1893-1900		Unit 1901-1908		Unit 1909-1916		Unit 1917-1924		Unit 1925-1932		Unit 1933-1940		Unit 1941-1948		Unit 1949-1956		Unit 1957-1964		Unit 1965-1972		Unit 1973-1980		Unit 1981-1988		Unit 1989-1996		Unit 1997-2004		Unit 2005-2012		Unit 2013-2020		Unit 2021-2028		Unit 2029-2036		Unit 2037-2044		Unit 2045-2052		Unit 2053-2060		Unit 2061-2068		Unit 2069-2076		Unit 2077-2084		Unit 2085-2092		Unit 2093-2100		Unit 2101-2108		Unit 2109-2116		Unit 2117-2124		Unit 2125-2132		Unit 2133-2140		Unit 2141-2148		Unit 2149-2156		Unit 2157-2164		Unit 2165-2172		Unit 2173-2180		Unit 2181-2188		Unit 2189-2196		Unit 2197-2204		Unit 2205-2212		Unit 2213-2220		Unit 2221-2228		Unit 2229-2236		Unit 2237-2244		Unit 2245-2252		Unit 2253-2260		Unit 2261-2268		Unit 2269-2276		Unit 2277-2284		Unit 2285-2292		Unit 2293-2300		Unit 2301-2308		Unit 2309-2316		Unit 2317-2324		Unit 2325-2332		Unit 2333-2340		Unit 2341-2348		Unit 2349-2356		Unit 2357-2364		Unit 2365-2372		Unit 2373-2380		Unit 2381-2388		Unit 2389-2396		Unit 2397-2404		Unit 2405-2412		Unit 2413-2420		Unit 2421-2428		Unit 2429-2436		Unit 2437-2444		Unit 2445-2452		Unit 2453-2460		Unit 2461-2468		Unit 2469-2476		Unit 2477-2484		Unit 2485-2492		Unit 2493-2500		Unit 2501-2508		Unit 2509-2516		Unit 2517-2524		Unit 2525-2532		Unit 2533-2540		Unit 2541-2548		Unit 2549-2556		Unit 2557-2564		Unit 2565-2572		Unit 2573-2580		Unit 2581-2588		Unit 2589-2596		Unit 2597-2604		Unit 2605-2612		Unit 2613-2620		Unit 2621-2628		Unit 2629-2636		Unit 2637-2644		Unit 2645-2652		Unit 2653-2660		Unit 2661-2668		Unit 2669-2676		Unit 2677-2684		Unit 2685-2692		Unit 2693-2700		Unit 2701-2708		Unit 2709-2716		Unit 2717-2724		Unit 2725-2732		Unit 2733-2740		Unit 2741-2748		Unit 2749-2756		Unit 2757-2764		Unit 2765-2772		Unit 2773-2780		Unit 2781-2788		Unit 2789-2796		Unit 2797-2804		Unit 2805-2812		Unit 2813-2820		Unit 2821-2828		Unit 2829-2836		Unit 2837-2844		Unit 2845-2852		Unit 2853-2860		Unit 2861-2868		Unit 2869-2876		Unit 2877-2884		Unit 2885-2892		Unit 2893-2900		Unit 2901-2908		Unit 2909-2916		Unit 2917-2924		Unit 2925-2932		Unit 2933-2940		Unit 2941-2948		Unit 2949-2956		Unit 2957-2964		Unit 2965-2972		Unit 2973-2980		Unit 2981-2988		Unit 2989-2996		Unit 2997-3004		Unit 3005-3012		Unit 3013-3020		Unit 3021-3028		Unit 3029-3036		Unit 3037-3044		Unit 3045-3052		Unit 3053-3060		Unit 3061-3068		Unit 3069-3076		Unit 3077-3084		Unit 3085-3092		Unit 3093-3100		Unit 3101-3108		Unit 3109-3116		Unit 3117-3124		Unit 3125-3132		Unit 3133-3140		Unit 3141-3148		Unit 3149-3156		Unit 3157-3164		Unit 3165-3172		Unit 3173-3180		Unit 3181-3188		Unit 3189-3196		Unit 3197-3204		Unit 3205-3212		Unit 3213-3220		Unit 3221-3228		Unit 3229-3236		Unit 3237-3244		Unit 3245-3252		Unit 3253-3260		Unit 3261-3268		Unit 3269-3276		Unit 3277-3284		Unit 3285-3292		Unit 3293-3300		Unit 3301-3308		Unit 3309-3316		Unit 3317-3324		Unit 3325-3332		Unit 3333-3340		Unit 3341-3348		Unit 3349-3356		Unit 3357-3364		Unit 3365-3372		Unit 3373-3380		Unit 3381-3388		Unit 3389-3396		Unit 3397-3404		Unit 3405-3412		Unit 3413-3420		Unit 3421-3428		Unit 3429-3436		Unit 3437-3444		Unit 3445-3452		Unit 3453-3460		Unit 3461-3468		Unit 3469-3476		Unit 3477-3484		Unit 3485-3492		Unit 3493-3500		Unit 3501-3508		Unit 3509-3516		Unit 3517-3524		Unit 3525-3532		Unit 3533-3540		Unit 3541-3548		Unit 3549-3556		Unit 3557-3564		Unit 3565-3572		Unit 3573-3580		Unit 3581-3588		Unit 3589-3596		Unit 3597-3604		Unit 3605-3612		Unit 3613-3620		Unit 3621-3628		Unit 3629-3636		Unit 3637-3644		Unit 3645-3652		Unit 3653-3660		Unit 3661-3668		Unit 3669-3676		Unit 3677-3684		Unit 3685-3692		Unit 3693-3700		Unit 3701-3708		Unit 3709-3716		Unit 3717-3724		Unit 3725-3732		Unit 3733-3740		Unit 3741-3748		Unit 3749-3756		Unit 3757-3764		Unit 3765-3772		Unit 3773-3780		Unit 3781-3788		Unit 3789-3796		Unit 3797-3804		Unit 3805-3812		Unit 3813-3820		Unit 3821-3828		Unit 3829-3836		Unit 3837-3844		Unit 3845-3852		Unit 3853-3860		Unit 3861-3868		Unit 3869-3876		Unit 3877-3884		Unit 3885-3892		Unit 3893-3900		Unit 3901-3908		Unit 3909-3916		Unit 3917-3924		Unit 3925-3932		Unit 3933-3940		Unit 3941-3948		Unit 3949-3956		Unit 3957-3964		Unit 3965-3972		Unit 3973-3980		Unit 3981-3988		Unit 3989-3996		Unit 3997-4004		Unit 4005-4012		Unit 4013-4020		Unit 4021-4028		Unit 4029-4036		Unit 4037-4044		Unit 4045-4052		Unit 4053-4060		Unit 4061-4068		Unit 4069-4076		Unit 4077-4084		Unit 4085-4092		Unit 4093-4100		Unit 4101-4108		Unit 4109-4116		Unit 4117-4124		Unit 4125-4132		Unit 4133-4140		Unit 4141-4148		Unit 4149-4156		Unit 4157-4164		Unit 4165-4172		Unit 4173-4180		Unit 4181-4188		Unit 4189-4196		Unit 4197-4204		Unit 4205-4212		Unit 4213-4220		Unit 4221-4228		Unit 4229-4236		Unit 4237-4244		Unit 4245-4252		Unit 4253-4260		Unit 4261-4268		Unit 4269-4276		Unit 4277-4284		Unit 4285-4292		Unit 4293-4300		Unit 4301-4308		Unit 4309-4316		Unit 4317-4324		Unit 4325-4332		Unit 4333-4340		Unit 4341-4348		Unit 4349-4356		Unit 4357-4364		Unit 4365-4372		Unit 4373-4380		Unit 4381-4388		Unit 4389-4396		Unit 4397-4404		Unit 4405-4412		Unit 4413-4420		Unit 4421-4428		Unit 4429-4436		Unit 4437-4444		Unit 4445-4452		Unit 4453-4460		Unit 4461-4468		Unit 4469-4476		Unit 4477-4484		Unit 4485-4492		Unit 4493-4500		Unit 4501-4508		Unit 4509-4516		Unit 4517-4524		Unit 4525-4532		Unit 4533-4540		Unit 4541-4548		Unit 4549-4556		Unit 4557-4564		Unit 4565-4572		Unit 4573-4580		Unit 4581-4588		Unit 4589-4596		Unit 4597-4604		Unit 4605-4612		Unit 4613-4620		Unit 4621-4628		Unit 4629-4636		Unit 4637-4644		Unit 4645-4652		Unit 4653-4660		Unit 4661-4668		Unit 4669-4676		Unit 4677-4684		Unit 4685-4692		Unit 4693-4700		Unit 4701-4708		Unit 4709-4716		Unit 4717-4724		Unit 4725-4732		Unit 4733-4740		Unit 4741-4748		Unit 4749-4756		Unit 4757-4764		Unit 4765-4772		Unit 4773-4780		Unit 4781-4788		Unit 4789-4796		Unit 4797-4804		Unit 4805-4812		Unit 4813-4820		Unit 4821-4828		Unit 4829-4836		Unit 4837-4844		Unit 4845-4852		Unit 4853-4860		Unit 4861-4868		Unit 4869-4876		Unit 4877-4884		Unit 4885-4892		Unit 4893-4900		Unit 4901-4908		Unit 4909-4916		Unit 4917-4924		Unit 4925-4932		Unit 4933-4940		Unit 4941-4948		Unit 4949-4956		Unit 4957-4964		Unit 4965-4972		Unit 4973-4980		Unit 4981-4988		Unit 4989-4996		Unit 4997-5004		Unit 5005-5012		Unit 5013-5020		Unit 5021-5028		Unit 5029-5036		Unit 5037-5044		Unit 5045-5052		Unit 5053-5060		Unit 5061-5068		Unit 5069-5076		Unit 5077-5084		Unit 5085-5092		Unit 5093-5100		Unit 5101-5108		Unit 5109-5116		Unit 5117-5124		Unit 5125-5132		Unit 5133-5140		Unit 5141-5148		Unit 5149-5156		Unit 5157-5164		Unit 5165-5172		Unit 5173-5180		Unit 5181-5188		Unit 5189-5196		Unit 5197-5204		Unit 5205-5212		Unit 5213-5220		Unit 5221-5228		Unit 5229-5236		Unit 5237-5244		Unit 5245-5252		Unit 5253-5260		Unit 5261-5268		Unit 5269-5276		Unit 5277-5284		Unit 5285-5292		Unit 5293-5300		Unit 5301-5308		Unit 5309-5316		Unit 5317-5324		Unit 5325-	

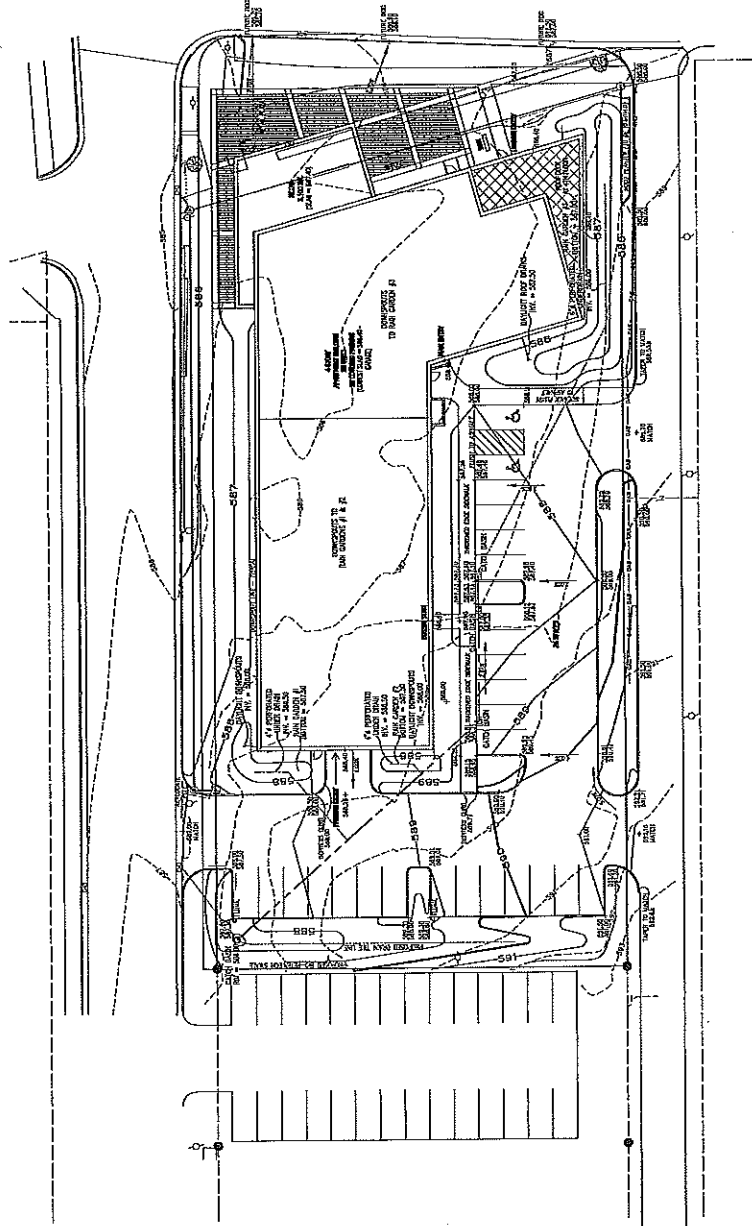
Preliminary Grading & Drainage Plan

LOT 1 OF CERTIFIED SURVEY MAP 1142
BEING:

LOCATED IN:
GOVERNMENT LOT 3 OF SECTION 7,
TOWNSHIP 2 NORTH, RANGE 2 EAST,
CITY OF STURGEON LAKE, DOUG COUNTY,
WISCONSIN.



PREPARED BY:
BAUER ENGINEERING, INC.
205 S. DOUGLAS AVE.
P.O. BOX 103
STURGEON LAKE, WI 54235
BAUERENGINEERING.COM



CONCEPT DATA									
1.05 ACRES (+/-) = 39.3 U/A									
F	UNITS					PARKING			
	ST	1BR	1BR+	2BR	3BR	TOTAL	BRS	SURFACE COVERED	TOTAL RATIO
4	0	5	0	7	1	11	20		
3	0	3	0	9	1	13	24		
2	0	4	0	5	1	11	19		
1	3,100 S.F. COMMERCIAL / RETAIL							35	
T.	0	10	0	22	3	35	63	26	61 1.74/UNIT
	0%	28%	0%	63%	9%				

Preliminary Utility Plan

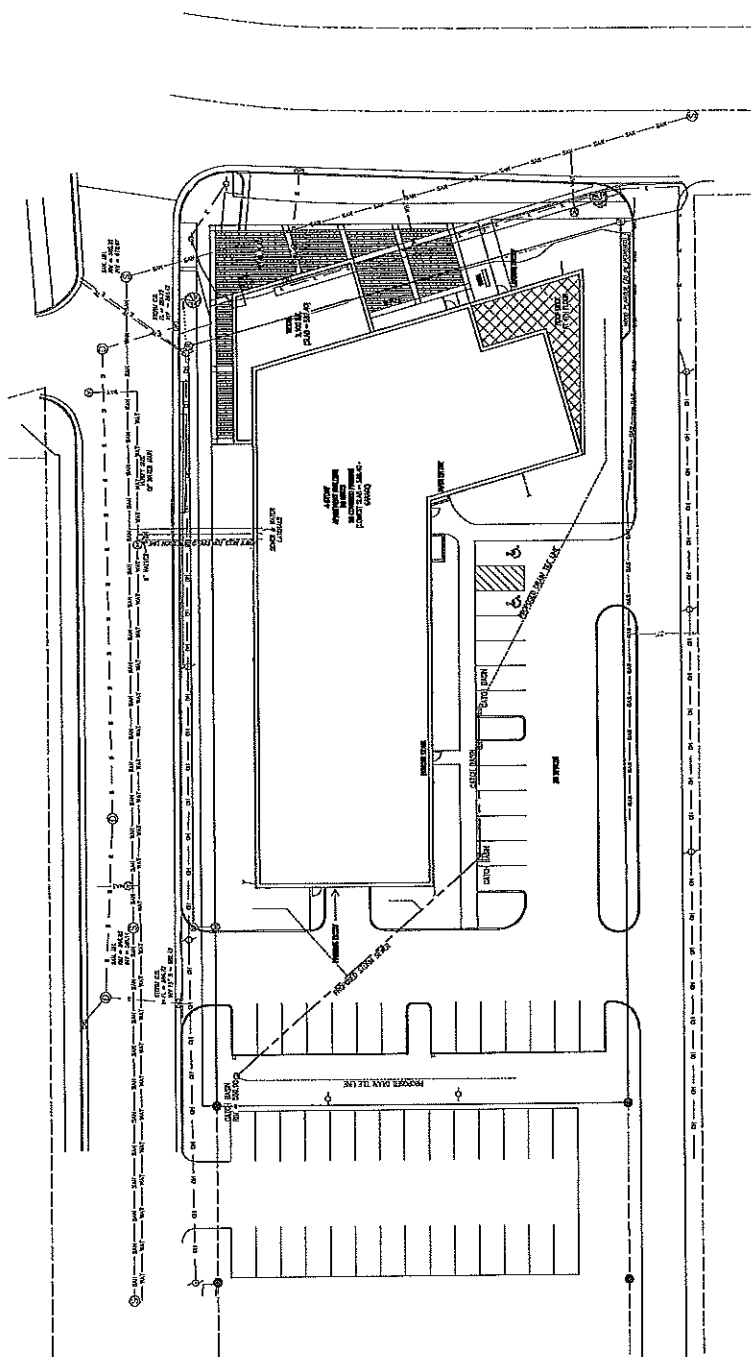
BEING:
LOT 1 OF CERTIFIED SURVEY MAP 1142
LOCATED IN SECTION 7,
TOWNSHIP 36 NORTH, RANGE 10 EAST,
CITY OF STURGEON BAY, DOOR COUNTY,
WISCONSIN.



PREPARED BY:
BAUER/ANDERSON ASSOCIATES
P.O. BOX 102
STURGEON BAY, WISCONSIN 54782
PH: 920.861.1100
WWW.BAUAUD.COM

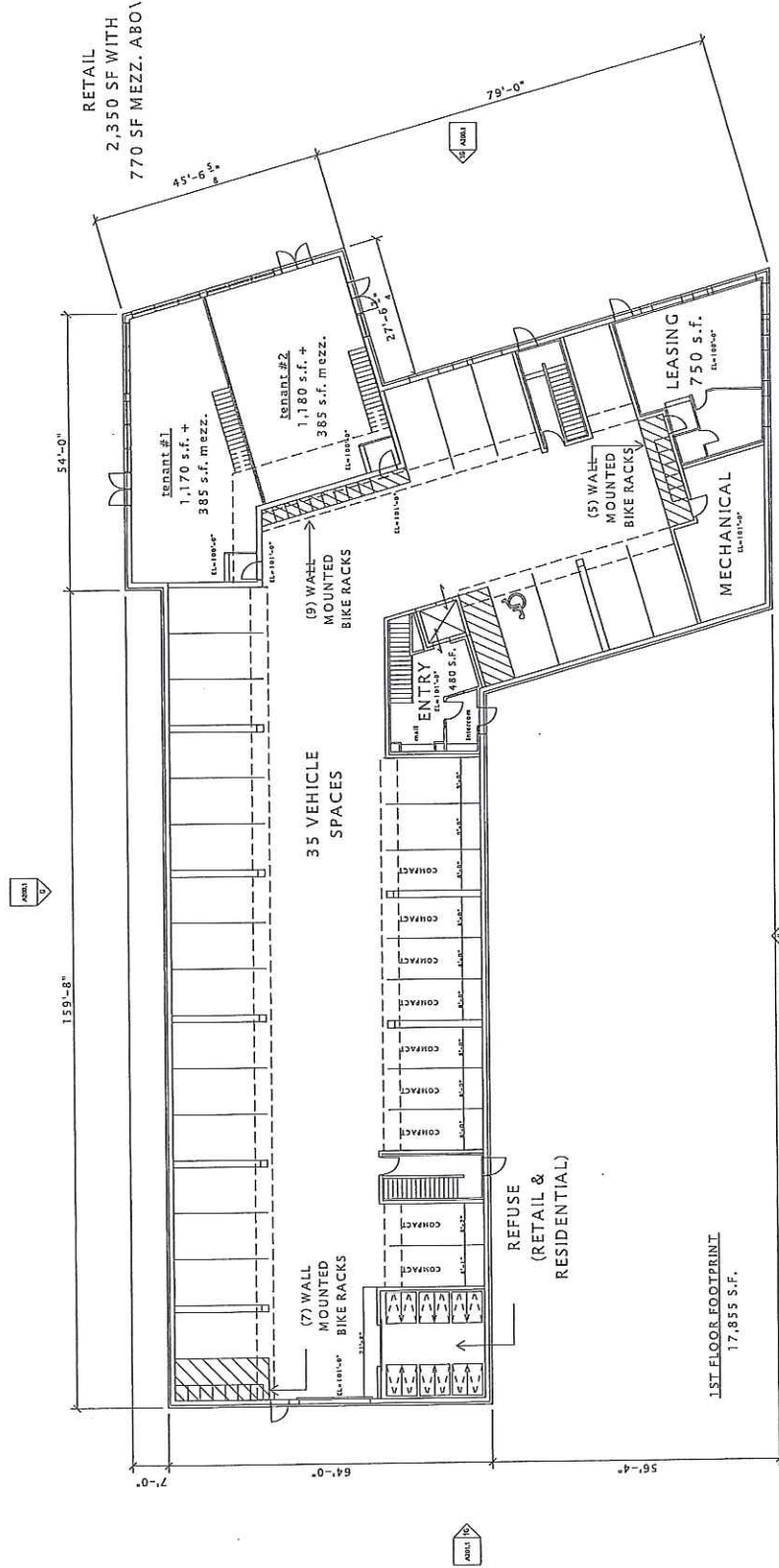
PARCEL CONTAIN - 4000 SQUARE FEET
ZONING - PHOTOS 18.25 (MUNICIPAL)
ZONING - CENTRAL BUSINESS DISTRICT (C-2)
STURGEON BAY CITY TO REVIEW THE BASE FLOOD
ELEVATION & FLOODPLAIN MAP

- 1" = 1' ELECTRICAL
- 2" = 1' WATER
- 3" = 1' GAS
- 4" = 1' SANITARY SEWER
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- 996" = 1' SANITARY SEWER
- 1000" = 1' SANITARY SEWER



CONCEPT DATA									
1.05 ACRES (+/-) = 35.3 U/A									
UNITS					PARKING				
ST	1BR	2BR	3BR	TOTAL	BRKS	SURFACE	COVERED	TOTAL	RATIO
4	0	3	0	3	1	11	20		
3	0	3	0	3	1	13	24		
2	0	4	0	4	1	11	19		
1	3,100 S.F. COMMERCIAL / RETAIL						35		
T.	0	10	0	22	3	35	63	61	1.74/UNIT
	0%	28%	0%	63%	9%				

WINDOW SCHEDULE				
Type	Symbol	Material	Manufacturer	Notes
1		Aluminum	Aluminum	See Comments



JLA

JOSEPH J. L. ASSOCIATES
150 KANSAS AVENUE, SUITE 1000
KANSAS CITY, MO 64105
816.241.1000

IN PROJECT NUMBER: 816.241.1000

NEW URBAN FOCUS,
INC.

FINAL PUD SUBMITTAL

THE BAY LOFTS

PROCESS DOCUMENTS
This document is a process document and is not a contract. It is subject to change, including additional details. These documents are for informational purposes only and are not to be used for final bidding or construction of the project.

DATE OF ISSUANCE: MARCH 11, 2015

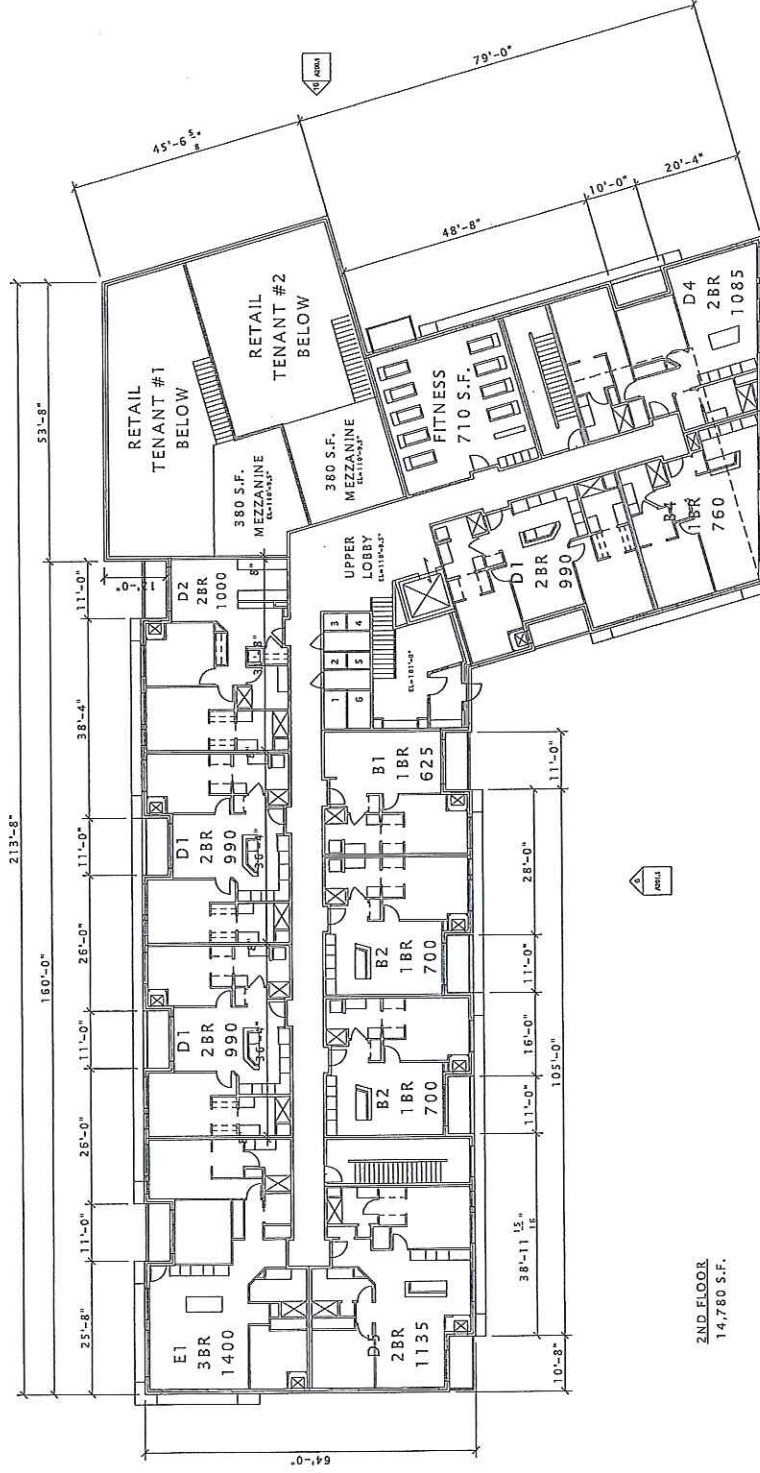
REVISIONS SCHEDULE

NO. DESCRIPTION DATE

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A102

WINDOW SCHEDULE				
NO.	TYPE	SIZE	LOCATION	TYPE COMMENTS
1	WALL	4'x6'	REAR PORCH	WALL
2	WALL	4'x6'	REAR PORCH	WALL
3	WALL	4'x6'	REAR PORCH	WALL
4	WALL	4'x6'	REAR PORCH	WALL
5	WALL	4'x6'	REAR PORCH	WALL
6	WALL	4'x6'	REAR PORCH	WALL
7	WALL	4'x6'	REAR PORCH	WALL
8	WALL	4'x6'	REAR PORCH	WALL
9	WALL	4'x6'	REAR PORCH	WALL
10	WALL	4'x6'	REAR PORCH	WALL



2ND FLOOR
14,780 S.F.

NEW URBAN FOCUS,
INC.

FINAL PUD SUBMITTAL

THE BAY LOFTS

PROCESS DOCUMENTS
This document is a process document and is not for construction. It is subject to change without notice and shall not be used for the building or construction of the project.

DATE OF ISSUANCE: MARCH 11, 2016

REVISIONS SCHEDULE

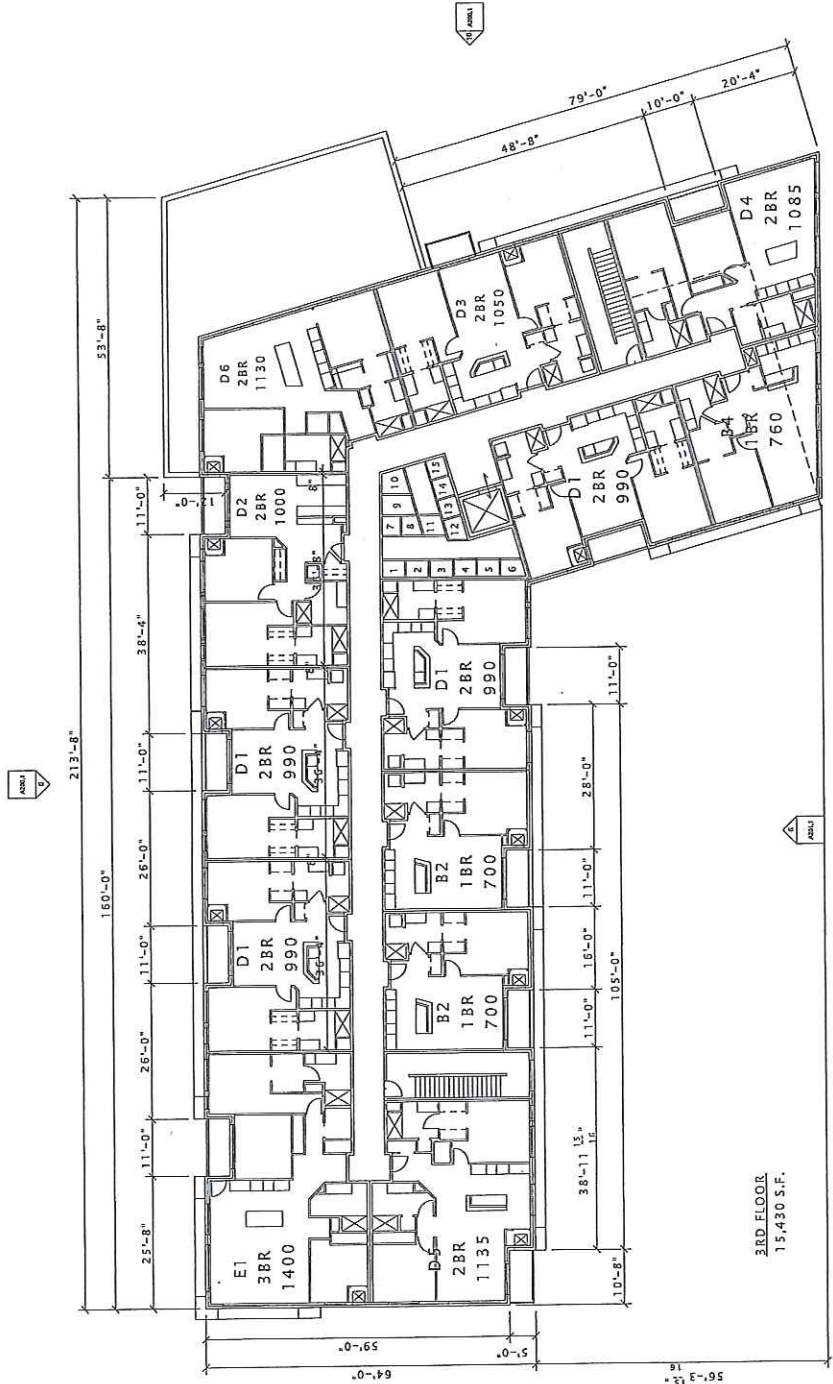
NO. DESCRIPTION DATE

SHEET TITLE
THIRD FLOOR PLAN

SHEET NUMBER

A103

WINDOW SCHEDULE					
TYPE	WALL	DOOR	WALL	DOOR	TYPE
WALL	WALL	DOOR	WALL	DOOR	TYPE
WALL	WALL	DOOR	WALL	DOOR	TYPE
WALL	WALL	DOOR	WALL	DOOR	TYPE
WALL	WALL	DOOR	WALL	DOOR	TYPE



3RD FLOOR
15,430 S.F.

NEW URBAN FOCUS,
INC.

FINAL PUD SUBMITTAL

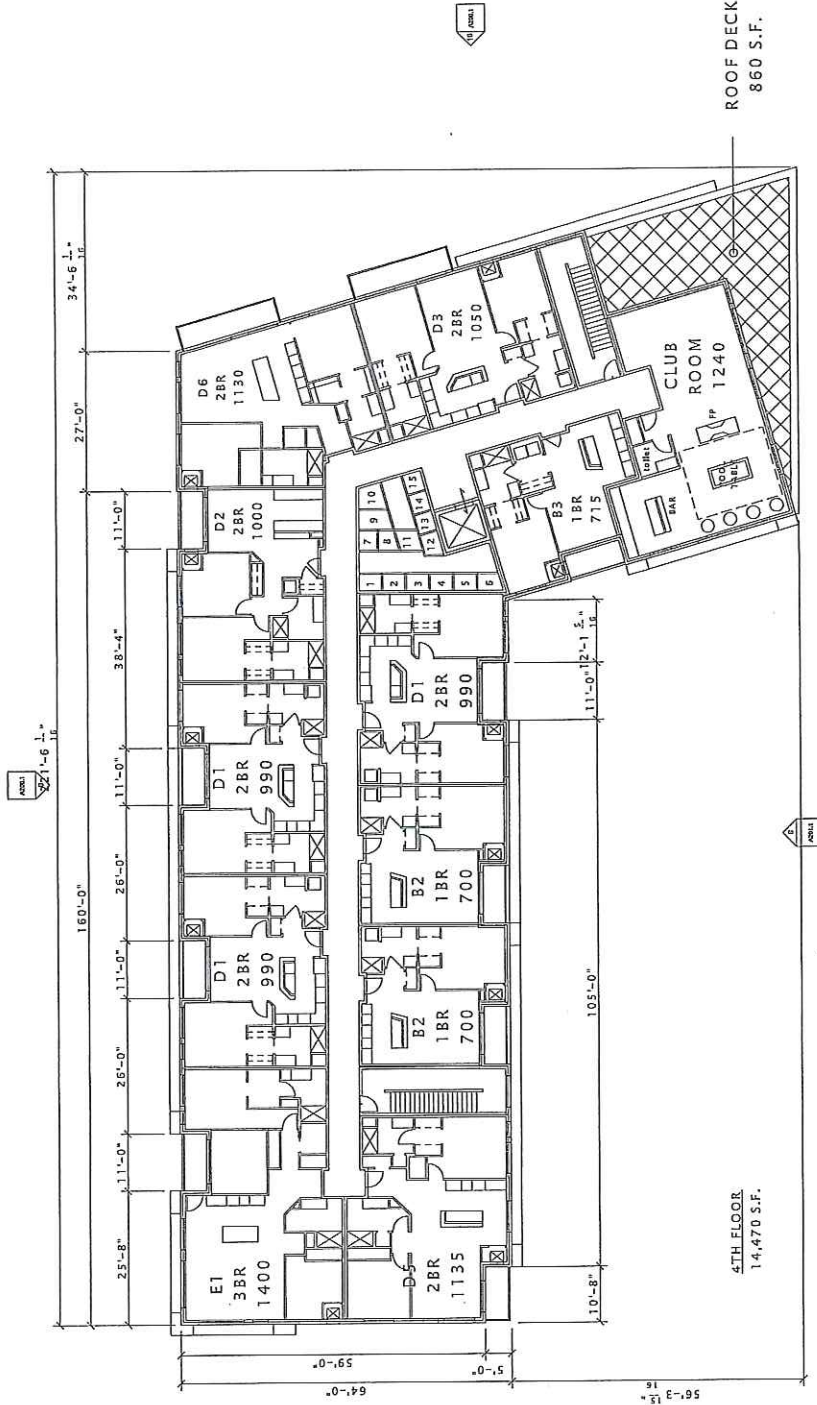
THE BAY LOFTS

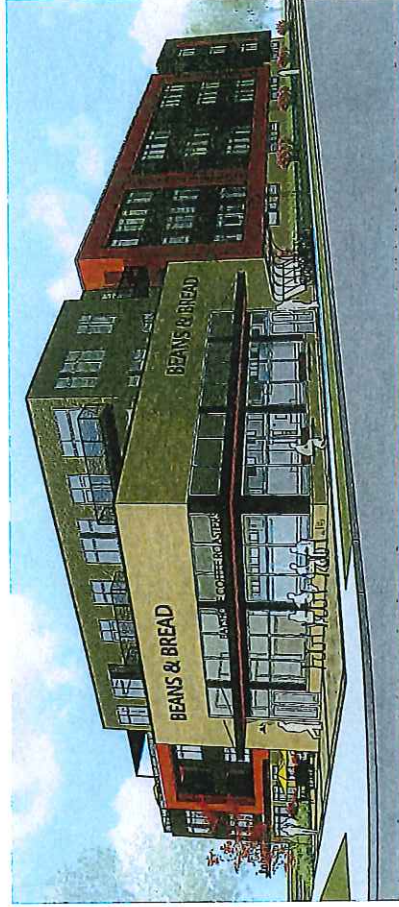
PROGRESS DOCUMENTS
These documents reflect progress and changes to the project. They are not for construction and should not be used for construction purposes. They are for informational purposes only.

DATE OF ISSUE	REVISION	SCHEDULE
MARCH 11, 2015		
DATE	REVISION	SCHEDULE

FOURTH FLOOR PLAN

SHEET NUMBER
A104

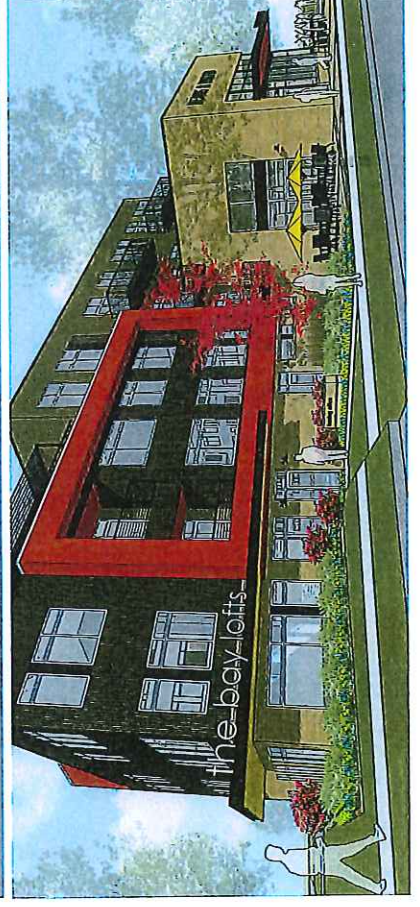




EXTERIOR IMAGERY
CORNER OF MADISON & LARCH



EXTERIOR IMAGERY
MADISON AVENUE - LOOKING WEST



EXTERIOR IMAGERY
MADISON AVENUE - LOOKING NORTHWEST

JLA
ARCHITECTURAL & INTERIOR DESIGN

1000 AVENUE 100, SUITE 100
DENVER, COLORADO 80202
303.733.1111
JLA PROJECT NUMBER: 11-1111

NEW URBAN FOCUS,
INC.

FINAL PUD SUBMITTAL

THE BAY LOFTS

PROGRESS DOCUMENTS
This document is a progress document and is not for construction. It is subject to change, including a different final design. This document is not to be used for construction or other purposes.

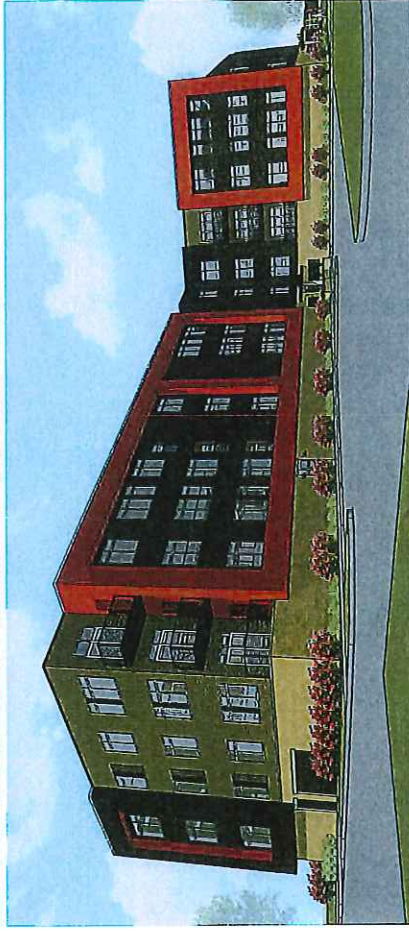
DATE OF ASSURANCE	MARKET 11, 2016
REVISION SCHEDULE	
DATE	DESCRIPTION

EXTERIOR IMAGERY

A200



EXTERIOR IMAGERY
LARCH STREET - LOOKING EAST



EXTERIOR IMAGERY
REAR PARKING LOT - LOOKING EAST



EXTERIOR IMAGERY
PARKING LOT ENTRY

JLA

JOSEPH L. ALLEN & ASSOCIATES
ARCHITECTS
1000 LARCH STREET, SUITE 100
PORTLAND, OREGON 97201
503.255.1111

54 PROJECT NUMBER 42-1173

NEW URBAN FOCUS,
INC.

FINAL PUD SUBMITTAL

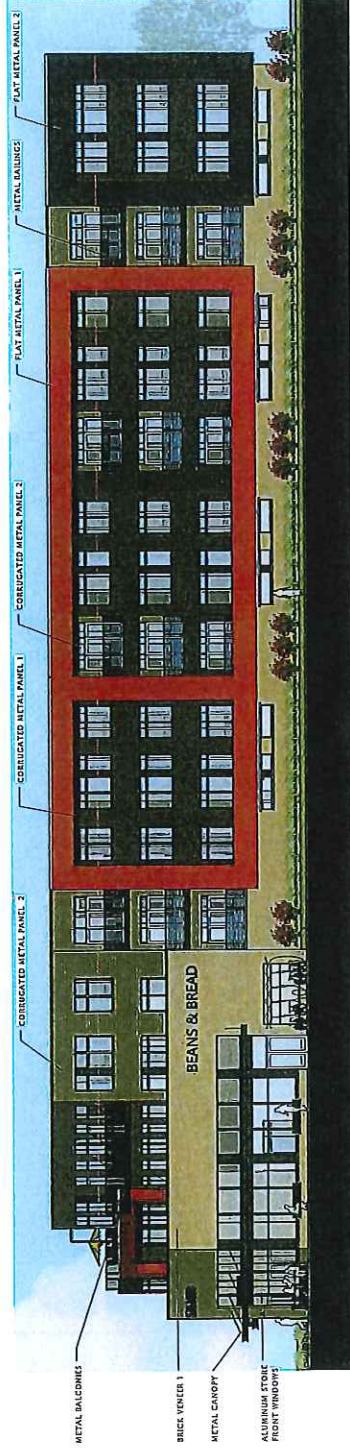
THE BAY LOFTS

PROGRESS DOCUMENTS
This document is for informational purposes only. It is not a contract. It is subject to change without notice. The client acknowledges that the information contained herein is for informational purposes only and is not intended to be used for any other purpose.

DATE OF ISSUANCE	MARCH 11, 2016
REVISIONS	
REVISION NUMBER	
REVISION DATE	

SHEET TITLE
EXTERIOR IMAGERY

SHEET NUMBER
A201



⑥ NORTH ELEVATION (LARCH STREET)
1/8" = 1'-0"



⑦ EAST ELEVATION (MADISON AVENUE)
1/8" = 1'-0"

NEW URBAN FOCUS,
INC.

FINAL PUD SUBMITTAL

THE BAY LOFTS

PROGRESS DOCUMENTS
This document is a progress document and is not for construction. It is intended to show the progress of the design process and is not a final design. It is not to be used for construction or construction-related purposes.

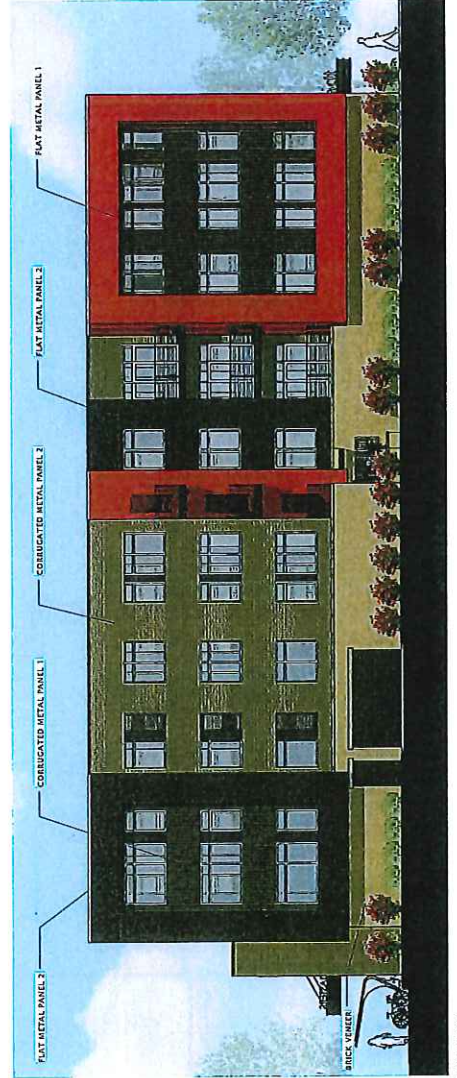
DATE OF REVISION	REVISION	REVISION DATE
03/11/2016	03/11/2016	03/11/2016

EXTERIOR ELEVATIONS

SHEET NUMBER
A203



① SOUTH ELEVATION (LOCUST STREET)
1" = 16'-0"



② WEST ELEVATION
1" = 16'-0"

JLA

ARCHITECTS ASSOCIATES

FOURTH FLOOR PLAN
SECTION, 10'0" x 10'0"

JLA PROJECT NUMBER: 154113

NEW URBAN FOCUS,
INC.

FINAL PUD SUBMITTAL

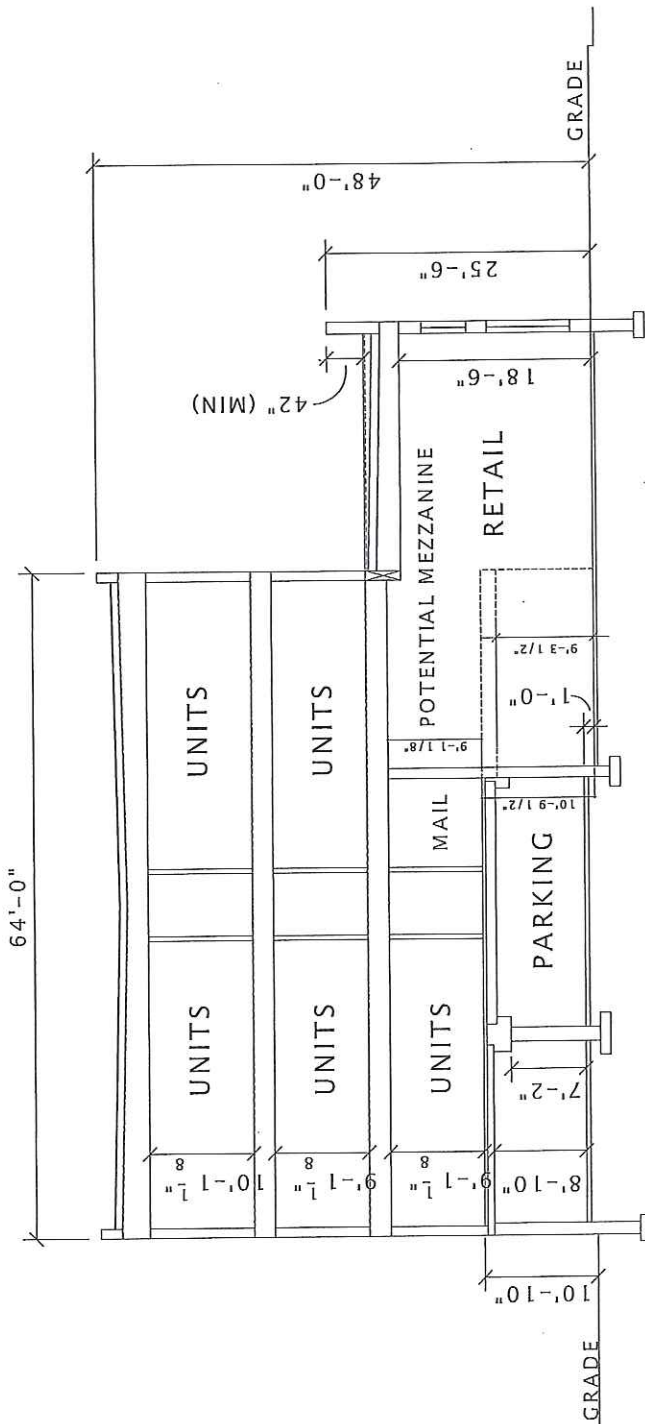
THE BAY LOFTS

PROGRESS DOCUMENTS
This document is a progress document and is not for construction. It is for informational purposes only. It is not to be used for construction or construction-related purposes.

DATE OF ISSUANCE		MARCH 11, 2016	
REVISION SCHEDULE			
Rev.	Description	Date	

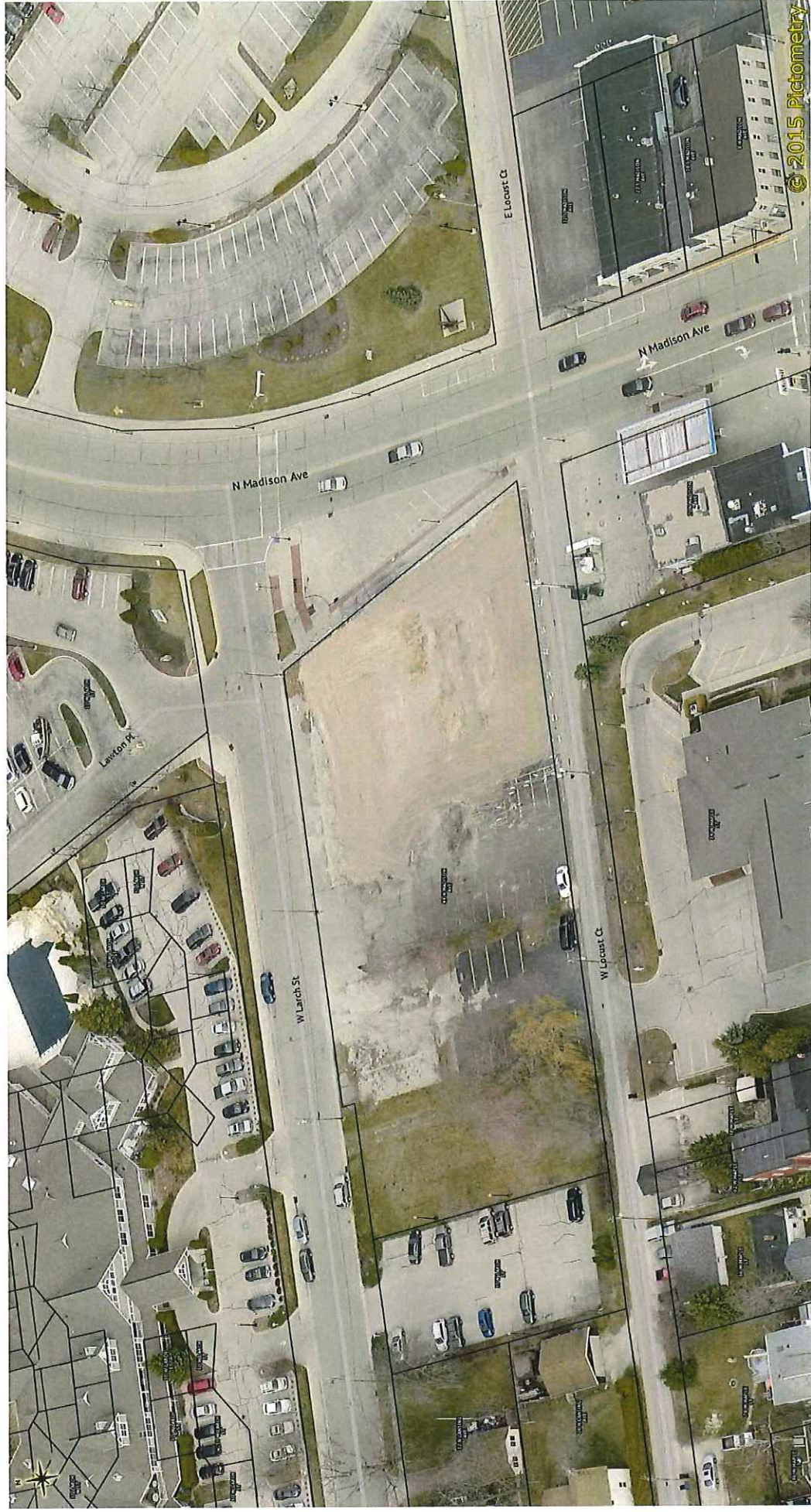
SHEET TITLE
TYPICAL BUILDING
SECTION

SHEET NUMBER
A 300



GROUND FLOOR PLAN
1/8" = 1'-0"

Final PUD Bay Loft -- Looking North



2011 - Looking West



2015 - Looking West



04/25/2015