

**AGENDA
CITY OF STURGEON BAY
INDUSTRIAL PARK DEVELOPMENT REVIEW TEAM**

Monday, June 5, 2023
12:00 p.m.
Council Chambers, City Hall
421 Michigan Street

1. Roll call.
2. Adoption of agenda.
3. Consideration of: 3,327 square foot building addition for Therma-Tron-X, Inc., located at 1155 S. Neenah Avenue, parcel #281-64-65000111A.
4. Consideration of: Review of fence requirements for Door County Scrap Metal located at 1456 Shiloh Road.
5. Consideration of: Housekeeping and maintenance of properties in the Industrial Park.
6. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

IPDRT Members:
Ald. Gary Nault
Bill Murrock
Sandy Hurley
Michelle Lawrie, Alternate

5/31/2022
11:30 am
cs

3

Stephanie Servia
Planner/ Zoning Administrator
421 Michigan Street
Sturgeon Bay, WI 54235



3

Phone: 920-746-2907
Fax: 920-746-2905
E-mail: sservia@sturgeonbaywi.gov
Website: www.sturgeonbaywi.org

MEMO

To: Industrial Park Development Review Team
From: Stephanie Servia, Planner/Zoning Administrator 
Date: May 30, 2023
Subject: TTX 3,327 SQFT Addition

Therma-Tron- X is requesting review of a 3,327 square foot building addition and a 122 square foot vestibule. This addition is located on the east side of the building facing the street where there are currently some garage doors and pavement. The addition will match the existing building for materials and colors. The building addition meets the requirements of the zoning code and the Industrial Park Development Standards. No parking spaces, landscaping, or impervious surfaces will be negatively impacted by this addition.

City Staff recommends approval of the building addition.

CITY OF STURGEON BAY
INDUSTRIAL PARK DEVELOPMENT REVIEW TEAM
APPLICATION FOR ***CERTIFICATE OF APPROPRIATENESS***

Name: Colin Meisel

Owner of Premises: Therma-Tron-X Inc.

Address or Legal Description of Premises:

1155 S Neenah Ave Sturgeon Bay, WI 54235

Statement of Specific Item Requested for Approval:

A proposed building addition of 3,327 sqft is to be built along with a
small vestibule, minimum pavement remove/replace and some
landscaping will also be done.

05/15/2022

Date

Colin Meisel

Applicant

DATE RECEIVED _____

STAFF SIGNATURE _____

DATE APPROVED/DENIED _____



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MILWAUKEE	WAUSAU
W204 N11509	5605 Lilac Ave
Goldendale Rd	Wausau, WI 54401
Germantown, WI 53022	Phone (715)849-3141
Phone (262)250-9710	Fax (715)849-3181
1-800-236-2534	
Fax (262)250-9740	

www.kellerbuilds.com

PROPOSED FOR:

REVISIONS

PROJECT MANAGER:
J. HALL

DESIGNER: C. MEISEL

DRAWN BY: T. PLACEK

EXPEDITOR: C. HOYER

SUPERVISOR: D. DYCE

PRELIMINARY NO: XXXX XXXX XXXX XXXX XXXX XXXX

CONTRACT NO: 83037

DATE: April 19, 2023

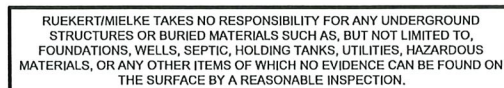
SHEET: C10

COVER SHEET SHEET: **C1.0**

"NOT ISSUED FOR CONSTRUCTION"



SHEET INDEX



PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

GENERAL NOTES:

- CONTRACTOR TO CONTACT DIGGERS HOTLINE FOR UTILITY LOCATES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY WITH UTILITY COMPANIES IF UTILITY COMPANY'S STAFF IS REQUIRED TO BE ON SITE WHEN CONSTRUCTION ACTIVITIES ARE NEAR UTILITY FACILITIES.
- LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHOWN SHALL NOT BE TAKEN AS CONCLUSIVE. CONTRACTOR SHALL VERIFY LOCATIONS AS A CONDITION OF THEIR BID AND BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM THEIR ACTIVITIES.
- CONTRACTOR SHALL TAKE CARE WHEN EXCAVATING AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVERAGE REQUIREMENTS WITH UTILITY COMPANIES.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM AVAILABLE RESOURCES FOR FIELD LOCATES. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN. CONTRACTOR IS REQUIRED TO VERIFY LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE STAKING AS NECESSARY TO LAYOUT AND PROVIDE GRADES FOR ANY SECTION OF THE WORK.
- A COMPETENT REPRESENTATIVE WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR MUST BE AT THE SITE AT ALL TIMES.
- STAGING AND MATERIAL STORAGE AREAS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE DONE IN A MANNER TO AVOID INTERFERENCE WITH THE OWNER'S ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BARRICADING AREAS OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY.
- EXISTING FACILITIES TO REMAIN INCLUDING PAVEMENT, SIDEWALKS, BUILDINGS, LANDSCAPING AND TREES SHALL BE PROTECTED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THEIR WORK FROM ALL DAMAGE INCLUDING THE PUBLIC, OTHER CONTRACTORS, AND THE ENVIRONMENT.
- EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.

UTILITIES AND STORM SEWER:

- ALL EXISTING SURFACE INFRASTRUCTURE INCLUDING HYDRANTS, VALVES, HANDHOLES, CASTINGS, IRRIGATION SYSTEMS, AND UTILITY PEDESTALS ARE REQUIRED TO BE ADJUSTED TO PROPOSED GRADE BY CONTRACTOR.
- UTILITY MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL STANDARDS AND SPECIFICATIONS FOR UTILITY COMPANIES HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND TO PROVIDE MINIMUM REQUIRED DEPTHS OF COVER. ADDITIONAL BENDS AND ASSOCIATED MATERIALS ARE TO BE INSTALLED AS REQUIRED FOR WATER MAINS AND LATERALS.
- STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE STANDARDS OF THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES FOR PRIVATE STORM SEWER CURRENT EDITIONS INCLUDING ANY ADDENDUMS.
- STORM SEWER STRUCTURES SHALL BE PRECAST CONCRETE AND THE SIZE AS NOTED ON THE PLANS.
- TRENCHES SHALL BE BACKFILLED WITH CRUSHED STONE BEDDING WITHIN 1:1 OF PAVEMENT AREAS AND WITH SPOIL IN LANDSCAPING AREAS.
- STORM SEWER 8-INCHES OR SMALLER CONNECTED TO THE STORM SEWER SHALL BE PLACED HORIZONTALLY AT THE SPRING LINE OF THE PIPE WITH A WATER TIGHT CONNECTION.
- CONNECTIONS TO EXISTING MANHOLES SHALL BE CORED AND A WATER TIGHT SEAL PROVIDED.
- TRACER WIRE OR OTHER MEANS OF LOCATING UNDERGROUND PIPES SHALL BE INSTALLED ON ALL PIPING.
- ALL DIMENSIONS ARE TO THE CENTERLINE OF UTILITIES AND STRUCTURES.
- ALL SANITARY, WATER, AND STORM SEWER UTILITY WORK PERFORMED IN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF STURGEON BAY STANDARD SPECIFICATIONS.

EROSION CONTROL:

- CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO WDNR BEST MANAGEMENT PRACTICES.
- EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE PRUNED TO REMOVE LOW HANGING, BROKEN, AND UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
- ALL AREAS DISTURBED BY CONTRACTOR OPERATIONS SHALL BE PREPARED FOR GRASS SEED BY LOOSENING RUTS AND WORKING THE SOIL AREAS TO A MINIMUM OF 6-INCHES PRIOR TO THE FINE GRADING AND SEEDING. AREAS SHALL HAVE A MINIMUM OF 4-INCHES OF TOPSOIL PLACED, SEEDED, AND MULCHED UNLESS OTHERWISE INDICATED.
- INSPECTION OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE BY CONTRACTOR ONCE PER WEEK AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 1/2-INCH OR GREATER.
- CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24-HOURS AFTER INSPECTION. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES NOT SHOWN ON THIS PLAN MAY BE NECESSARY AS A RESULT OF CONSTRUCTION PRACTICES OR AS DIRECTED BY OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OF PROPOSED CHANGES TO THE EROSION CONTROL PLAN AND/OR SEQUENCE PRIOR TO IMPLEMENTING THE CHANGE.
- EXCESS MATERIAL THAT IS HAULED OFF SITE SHALL BE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL OBTAIN PROPER PERMIT APPROVALS FOR EACH FILL SITE. EROSION AND SEDIMENT CONTROL MEASURES, RESTORATION, AND STABILIZATION AT FILL SITE IS CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO NOTIFY OWNER OF ALL FILL AND BORROW SITES.
- CONTRACTOR SHALL SWEEP STREETS ADJACENT TO PROJECT AS NEEDED.
- ALL INSTALLATION, MAINTENANCE, AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE WDNR TECHNICAL STANDARDS.
- IF DEWATERING IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICES. DISCHARGE OF SEDIMENT LADEN WATER TO THE STORM OR SURFACE WATER IS PROHIBITED.
- STABILIZE NEWLY GRADED AREAS WITHIN 3 DAYS OF BEING INACTIVE.
- REMOVE EROSION AND SEDIMENT CONTROL DEVICES AFTER 80% OF VEGETATION HAS BEEN ESTABLISHED IN RESTORED AREAS.

GRADING AND PAVING:

- ALL SITE CONSTRUCTION INCLUDING GRADING, EXCAVATION, AND PAVEMENT CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS EXCEPT AS MODIFIED. QUALITY CONTROL AND QUALITY ASSURANCE TESTING WILL NOT BE REQUIRED. TESTING WILL BE COMPLETED AT THE OWNER'S DIRECTION.
- CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC MATERIALS FOUND WITH THE SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. LANDSCAPING AREAS SHALL BE GRADED LOW TO ALLOW FOR TOPSOIL PLACEMENT.
- MATERIAL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB MAY BE ORDERED AND PAID FOR BY THE OWNER. IF TESTING IS ORDERED, CONTRACTOR SHALL FURNISH SAMPLES FOR SAID TESTING. RETESTING AND CORRECTION OF FAILING MATERIAL SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
- SUBGRADE SHALL BE COMPACTED PRIOR TO PLACEMENT OF BASE AGGREGATE AS REQUIRED IN THE STANDARD SPECIFICATIONS. SUBGRADE SHALL BE PROOF ROLLED PRIOR TO PLACEMENT OF BASECOURSE. AREAS IDENTIFIED AS SOFT AND YIELDING SHALL BE IDENTIFIED FOR REMOVAL PRIOR TO PLACEMENT OF BASE AGGREGATE.
- BACKFILL AND FILL MATERIALS SHALL BE PLACED IN LAYERS NOT MORE THAN 8-INCHES LOOSE IF COMPACTED WITH HEAVY EQUIPMENT AND NOT MORE THAN 4-INCHES LOOSE IF COMPACTED BY HAND EQUIPMENT.
- BASE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR (AASHTO T-180).
- ACCESSIBLE ROUTES AND HANDICAP PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
- DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE SHALL CONFORM TO ACTI 330R-08.
- ALL CONCRETE FLATWORK SHALL HAVE A LIGHT BROOMED FINISH.
- EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH A CONTINUOUS 0.5-INCH FIBER EXPANSION JOINT.
- ALL ASPHALT AND SURFACE COURSE SHALL BE DESIGNED TO 98.0% OF MAXIMUM SPECIFIC GRAVITY AT NDES AND DURING FIELD PRODUCTION PERCENT OF MAXIMUM SPECIFICATION GRAVITY WILL BE INCREASED TO 97.0% PER THE STANDARD SPECIFICATIONS.
- TWO PAINT COATS SHALL BE APPLIED ON NEW PAVEMENT. THE FIRST COAT SHALL BE AFTER PAVING OPERATIONS HAVE BEEN COMPLETED. THE SECOND COAT SHALL BE APPLIED 30 CALENDAR DAYS AFTER PAVING HAS BEEN COMPLETED.
- ELEVATIONS ARE TO FLANGE.

LEGEND – CIVIL ENGINEERING DRAWINGS

CONTROL		SANITARY SEWER		UTILITIES		WATER MAIN	
	BENCHMARK		SANITARY MANHOLE		CABLE BOX		EXISTING HYDRANT
	CHISELED MARK		SEPTIC SYSTEM		CABLE MANHOLE		EXISTING LOCATOR BOX
	CONTROL POINT		SEPTIC TANK COVER		UNDERGROUND TV CABLE		EXISTING SPRINKLER HEAD
	IRON PIPE (GENERIC)		SEPTIC VENT		ELECTRIC BOX		EXISTING WATER CURB STOP
	IRON PIPE (1" D/A)		SANITARY SEWER		ELECTRIC MANHOLE		EXISTING WATER MAIN BEND
	IRON PIPE (2" D/A)		PROPOSED SANITARY MANHOLE		ELECTRIC METER		EXISTING WATER MAIN CROSS
	IRON PIPE SET		PROPOSED SANITARY RISER		ELECTRIC PAD		EXISTING WATER MAIN OFFSET
	IRON ROD (GENERIC)		PROPOSED SANITARY LATERAL		ELECTRIC TRANSFORMER		EXISTING WATER MAIN PLUG
	IRON ROD (3/4" D/A)		PROPOSED SANITARY SEWER		POWER POLE		EXISTING WATER MAIN PLUG W/ AIR RELEASE
	IRON ROD (1 1/4" D/A)		STORM SEWER		UNDERGROUND ELECTRIC		EXISTING WATER MAIN REDUCER
	MONUMENT		STORM CATCH BASIN		GAS CURB STOP		EXISTING WATER VALVE
	NAIL		STORM FIELD INLET		GAS MANHOLE		EXISTING WATER VALVE MANHOLE
	PAINT MARK		STORM INLET		GAS METER		EXISTING WELL
	PK NAIL		STORM MANHOLE		GAS TEST STATION		EXISTING YARD HYDRANT
	RAILROAD SPIKE		STORM YARD DRAIN		GAS VALVE		EXISTING WATER MAIN
	REFERENCE TIE		STORM SEWER		GAS VALVE TEST		EXISTING WATER SERVICE
	SECTION CORNER		CULVERT (SIZE & TYPE NOTED)		GAS VENT		PROPOSED CURB STOP
	SECTION CORNER MONUMENT		PROPOSED STORM INLET		UNDERGROUND GAS MAIN		PROPOSED HYDRANT
	TEMPORARY CONTROL POINT		PROPOSED STORM MANHOLE		TELEPHONE BOX		PROPOSED LOCATOR BOX
	USGS MONUMENT		PROPOSED STORM LATERAL		TELEPHONE MANHOLE		PROPOSED WATER MAIN BEND (ANGLE NOTED)
			PROPOSED STORM SEWER		UNDERGROUND TELEPHONE		PROPOSED WATER MAIN CROSS
					UNDERGROUND FIBER OPTIC		PROPOSED WATER MAIN OFFSET
<u>GROUND</u>		<u>GENERAL</u>		<u>LANDSCAPE</u>		<u>PAVEMENT</u>	
	WATER ELEVATION		AIR CONDITIONER		CONIFEROUS MULTIPLE TRUNK TREE		EXISTING SIGN
	WETLANDS (SURVEYED LOCATION)		CLEAN OUT		CONIFEROUS TREE		EDGE OF ASPHALT PAVEMENT
	CROPFIELD		DELINEATOR POST		DECIDUOUS TREE		EDGE OF GRAVEL PAVEMENT
	DITCH		FLAG POLE		DECIDUOUS MULTIPLE TRUNK TREE		EDGE OF CONCRETE PAVEMENT
	GUARD RAIL		GENERIC HAND HOLE		DECORATIVE ROCK		PROPOSED DETECTABLE WARNING FIELD
	TOE OF SLOPE		GENERIC MANHOLE		STUMP		PROPOSED SIGN
	TOP OF BANK		GENERIC METER		EDGE OF PLANTER/LANDSCAPE BED		PROPOSED EDGE OF ASPHALT PAVEMENT
	WETLAND BOUNDARY		GENERIC PEDESTAL		EDGE OF TREES & BRUSH		PROPOSED EDGE OF CONCRETE PAVEMENT
<u>EROSION CONTROL</u>			GENERIC VALVE		FENCE		PROPOSED SLOPE INTERCEPT
	PROPOSED DITCH CHECK		GENERIC VENT		RAILROAD SIGNAL BOX		
	PROPOSED EROSION LOGS/EROSION WADDLES		GUY POLE		RAILROAD SIGNAL FLASHER		
	PROPOSED INLET PROTECTION TYPE A		GUY WIRE		RAILROAD SPIKE		
	PROPOSED INLET PROTECTION TYPE B		LIGHT POLE		RAILROAD TRACKS		
	PROPOSED INLET PROTECTION TYPE C		MAIL BOX		CONTROL BOX/LIGHTING CABINET		
	PROPOSED INLET PROTECTION TYPE D		MARKER POST		PULL BOX		
	PROPOSED BARRIER FENCE		MONITORING WELL		TRAFFIC SIGNAL		
	PROPOSED SILT FENCE		PILING		UNDERGROUND LOOP DETECTOR		
	PROPOSED EROSION MAT		POST				
	PROPOSED RIP RAP		REVISION LABEL				
	PROPOSED TRACKING PAD		SOIL BORING				
			UTILITY POLE				
			YARD LIGHT				



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PROPOSED FOR:
THERMA-TRON-X, INC.
1155 S. NEENAH AVE. STURGEON BAY, WISCONSIN 54235

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REVISIONS

PROJECT MANAGER: J. HALL

DESIGNER: C. MEISEL

DRAWN BY: T. PLACEK

EXPEDITOR: C. HOYER

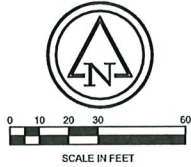
SUPERVISOR: D. DYCE

PRELIMINARY NO: -----

CONTRACT NO: 83037

DATE: April 19, 2023

SHEET: C2.0





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Point Table				
Point #	Raw Description	Elevation	Northing	Easting
1004	PK GCP CK	691.160	149580.2820	492454.7480
900	PK GCP	691.327	149580.3290	492454.7270
901	PK GCP	694.642	149535.6770	492014.0970
902	PK GCP	680.710	150745.3910	492445.9600
14	CP14	687.749	150424.1060	492480.2500
903	PK GCP	661.775	151332.2840	492455.4360
904	PK GCP	671.495	151359.6310	492046.3550
10	CP10	694.454	149514.5730	492013.1830



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RUEKERTMIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

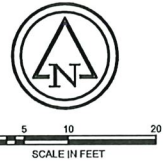
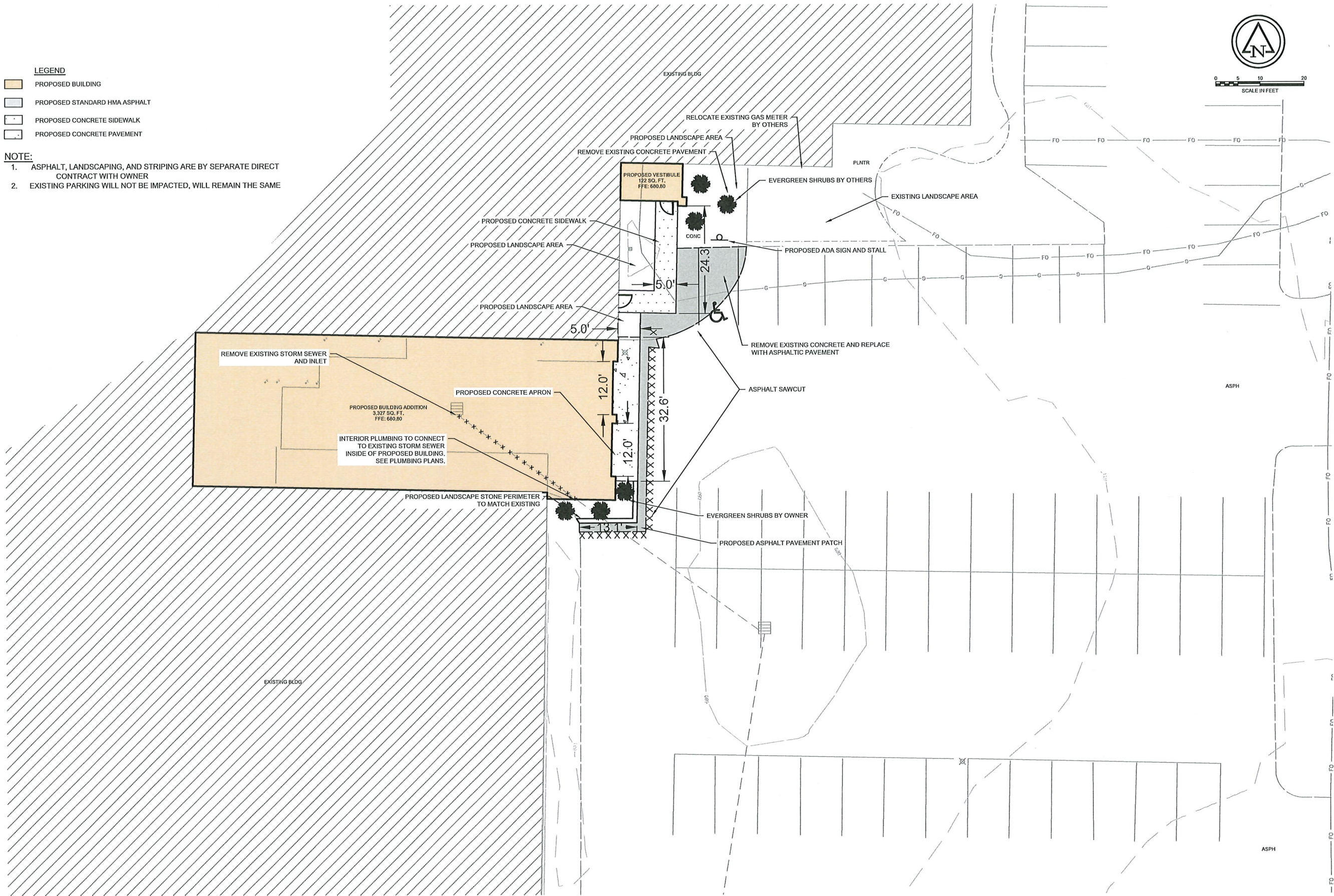
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EXISTING CONDITIONS

"NOT ISSUED FOR CONSTRUCTION"

- LEGEND**
- PROPOSED BUILDING
 - PROPOSED STANDARD HMA ASPHALT
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE PAVEMENT

- NOTE:**
1. ASPHALT, LANDSCAPING, AND STRIPING ARE BY SEPARATE DIRECT CONTRACT WITH OWNER
 2. EXISTING PARKING WILL NOT BE IMPACTED, WILL REMAIN THE SAME



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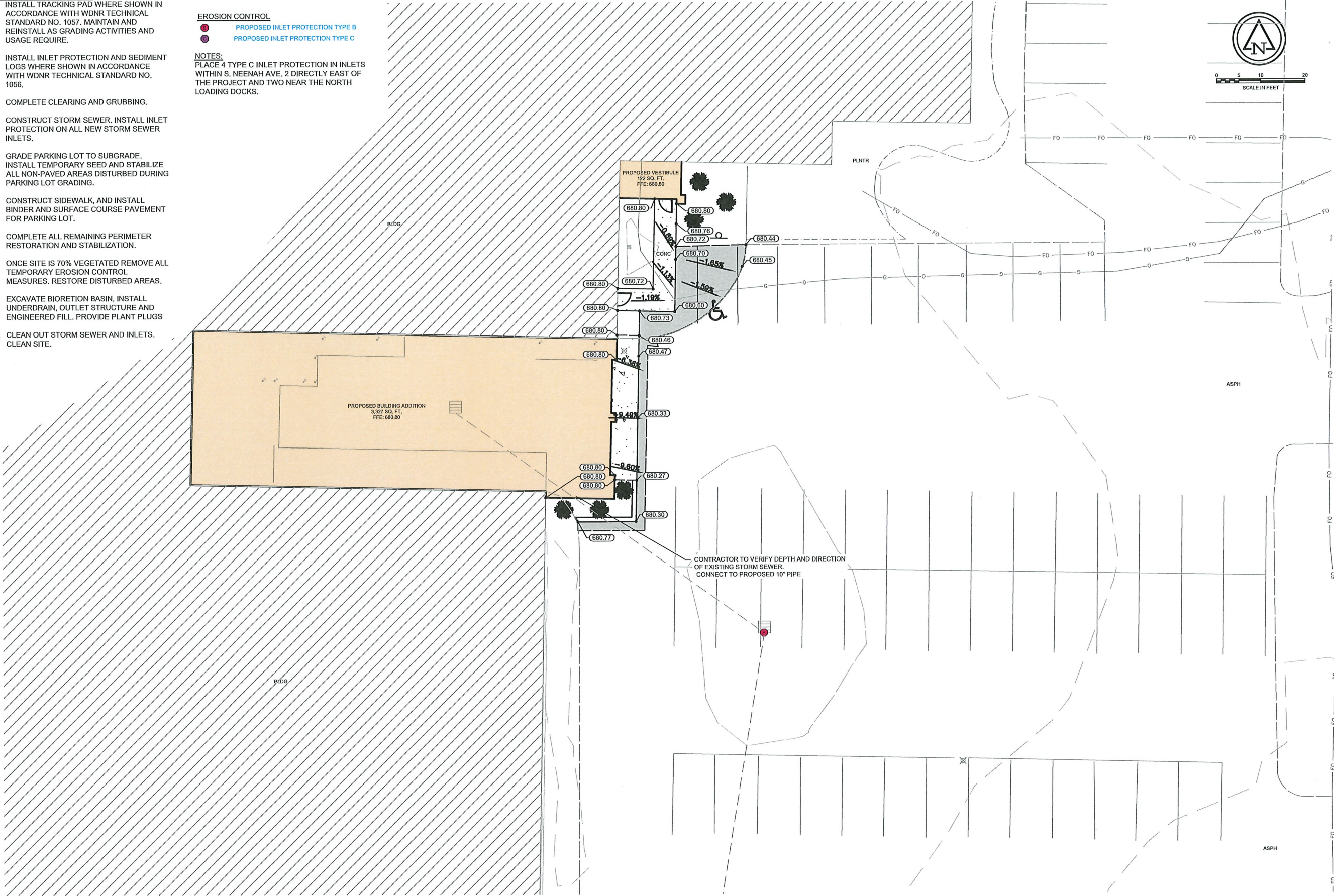
CONSTRUCTION SEQUENCE

1. INSTALL TRACKING PAD WHERE SHOWN IN ACCORDANCE WITH WDNR TECHNICAL STANDARD NO. 1057. MAINTAIN AND REINSTALL AS GRADING ACTIVITIES AND USAGE REQUIRE.
2. INSTALL INLET PROTECTION AND SEDIMENT LOGS WHERE SHOWN IN ACCORDANCE WITH WDNR TECHNICAL STANDARD NO. 1056.
3. COMPLETE CLEARING AND GRUBBING.
4. CONSTRUCT STORM SEWER. INSTALL INLET PROTECTION ON ALL NEW STORM SEWER INLETS.
5. GRADE PARKING LOT TO SUBGRADE. INSTALL TEMPORARY SEED AND STABILIZE ALL NON-PAVED AREAS DISTURBED DURING PARKING LOT GRADING.
6. CONSTRUCT SIDEWALK, AND INSTALL BINDER AND SURFACE COURSE PAVEMENT FOR PARKING LOT.
7. COMPLETE ALL REMAINING PERIMETER RESTORATION AND STABILIZATION.
8. ONCE SITE IS 70% VEGETATED REMOVE ALL TEMPORARY EROSION CONTROL MEASURES. RESTORE DISTURBED AREAS.
9. EXCAVATE BIORETION BASIN, INSTALL UNDERDRAIN, OUTLET STRUCTURE AND ENGINEERED FILL. PROVIDE PLANT PLUGS
10. CLEAN OUT STORM SEWER AND INLETS. CLEAN SITE.

EROSION CONTROL

- PROPOSED INLET PROTECTION TYPE B
- PROPOSED INLET PROTECTION TYPE C

NOTES:
PLACE 4 TYPE C INLET PROTECTION IN INLETS WITHIN S. NEENAH AVE. 2 DIRECTLY EAST OF THE PROJECT AND TWO NEAR THE NORTH LOADING DOCKS.



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SUPERVISOR:	D. DYCE
PRELIMINARY NO:	
CONTRACT NO:	83037

DATE:	April 19, 2023
SHEET:	C5.0



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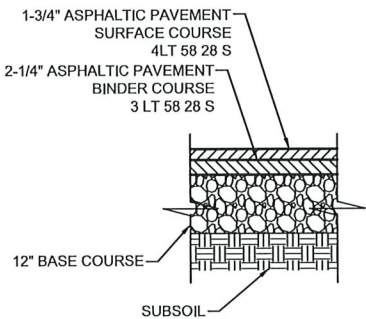
83037

DATE:

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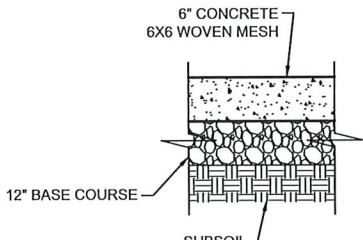
SHEET:

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**PARKING LOT PAVEMENT
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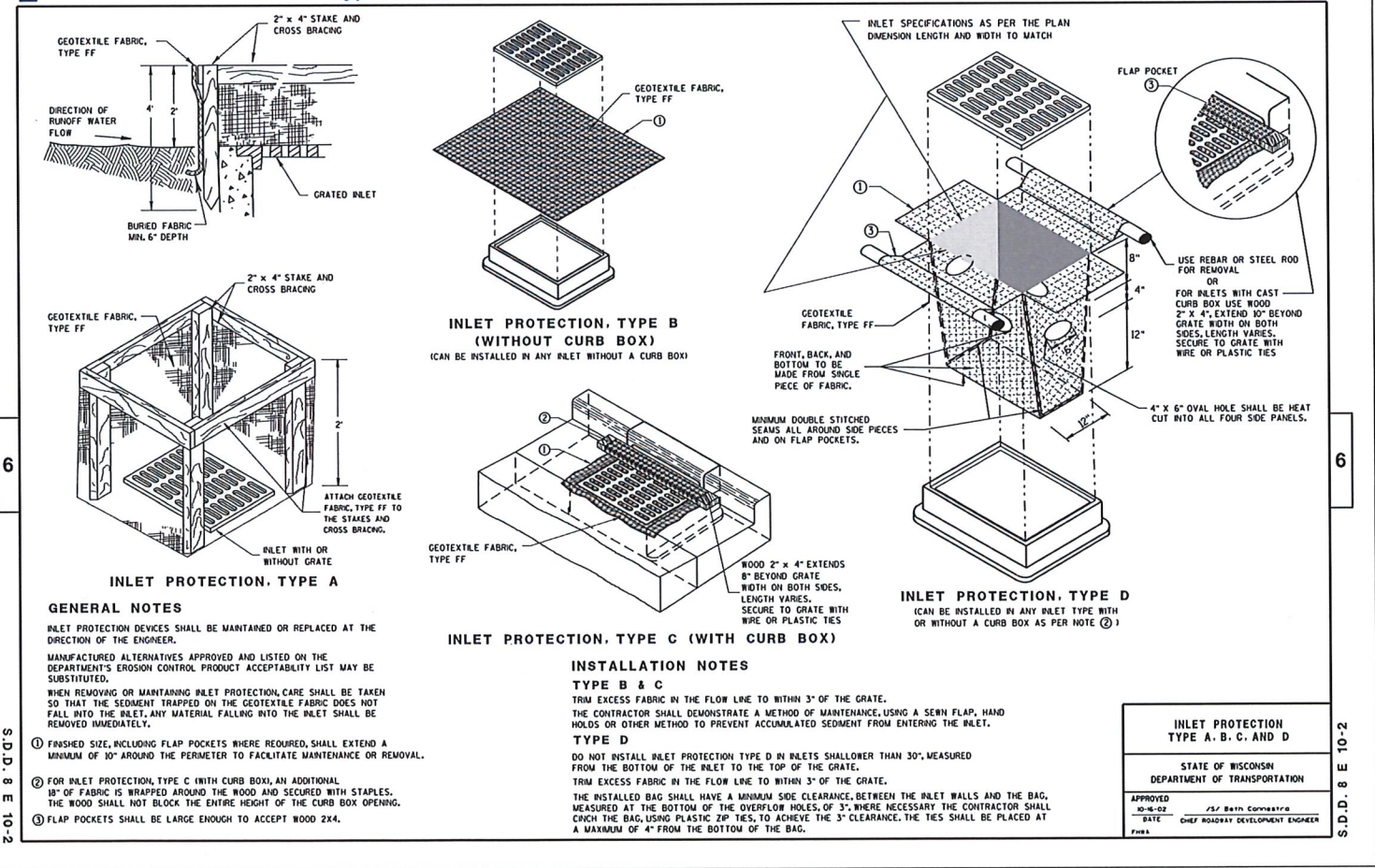
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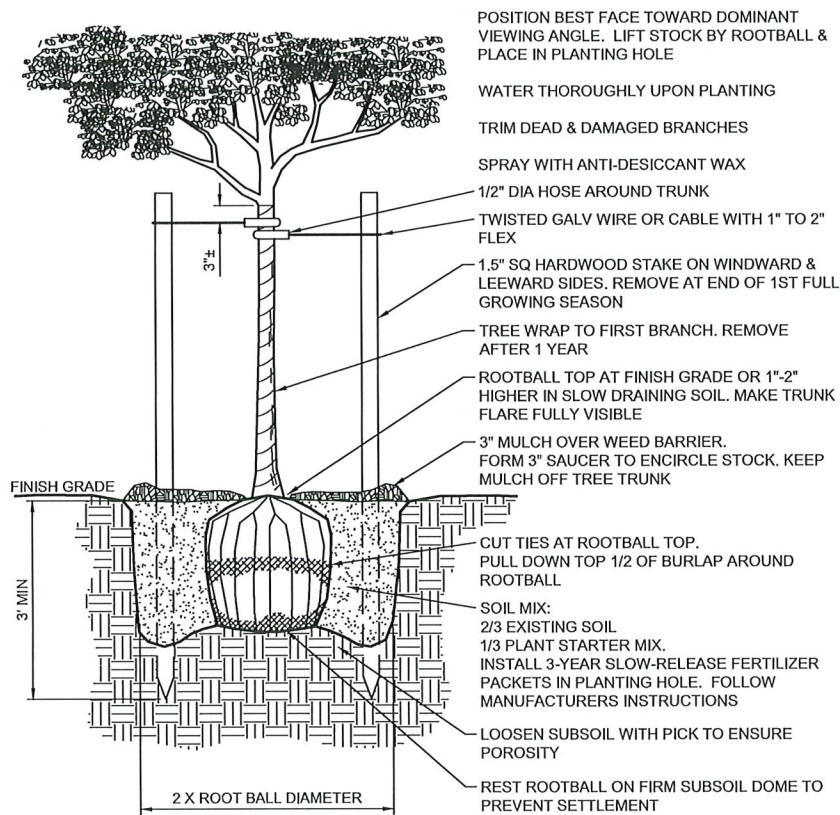


**CONCRETE PAVEMENT
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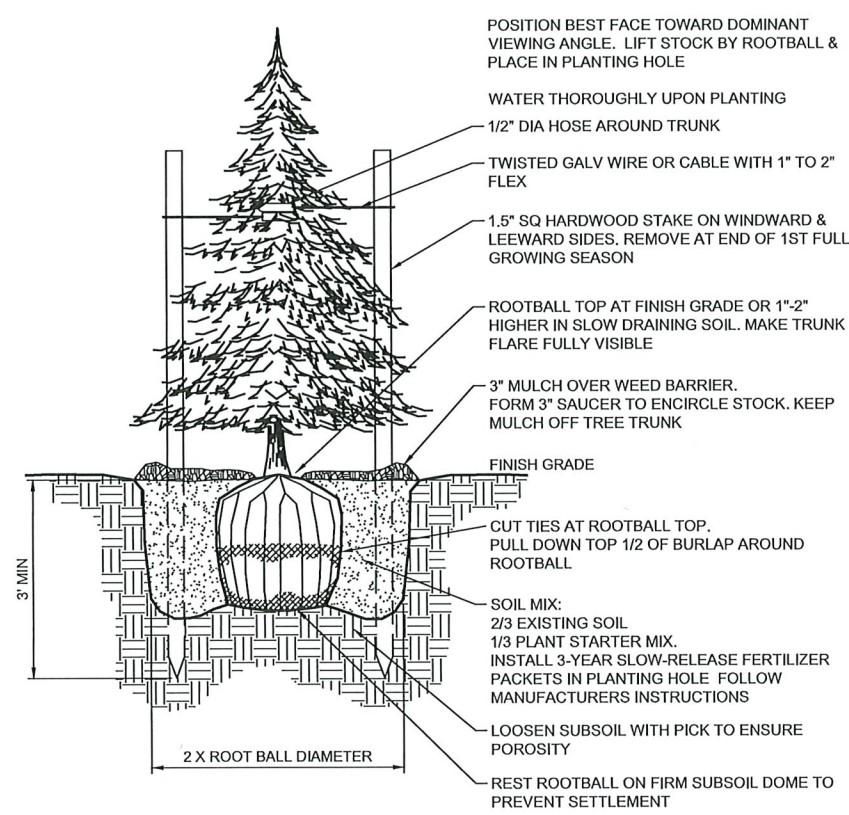
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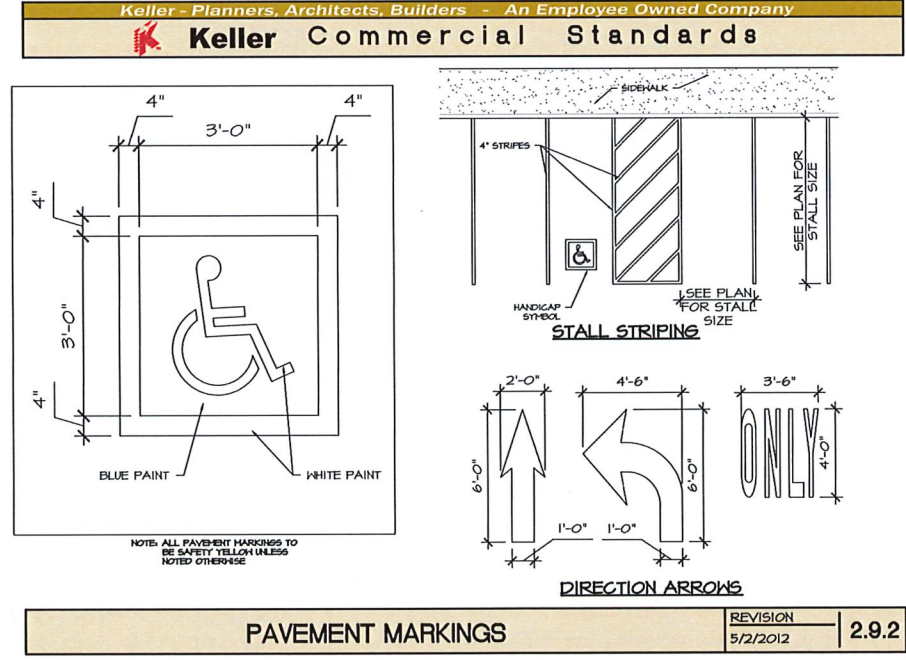
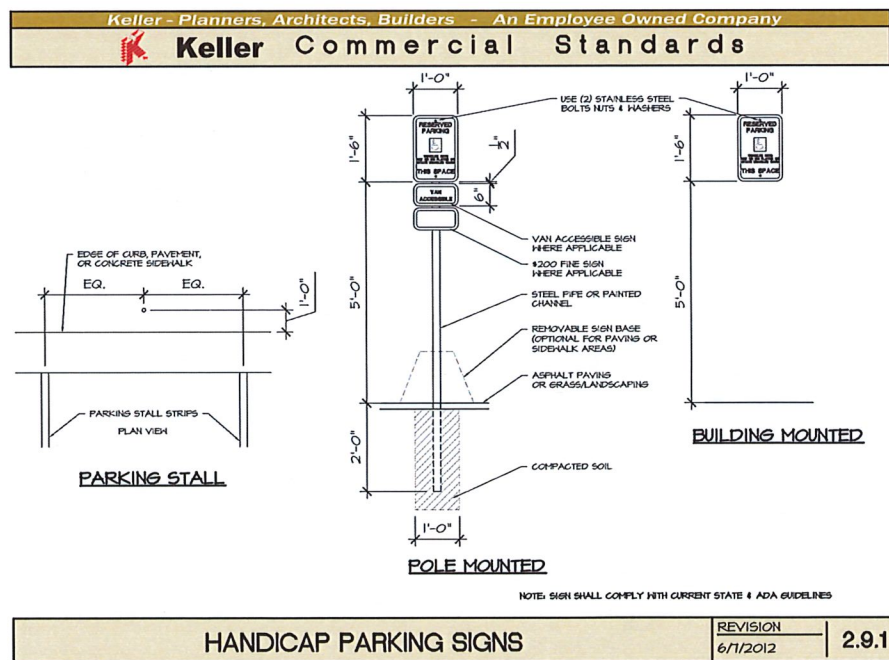
DECIDUOUS TREE PLANTING

LS-TREE-02 1 NO SCALE



EVERGREEN TREE PLANTING

LS-TREE-03 1 NO SCALE



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CONSTRUCTION DETAILS

"NOT ISSUED FOR CONSTRUCTION"

Map

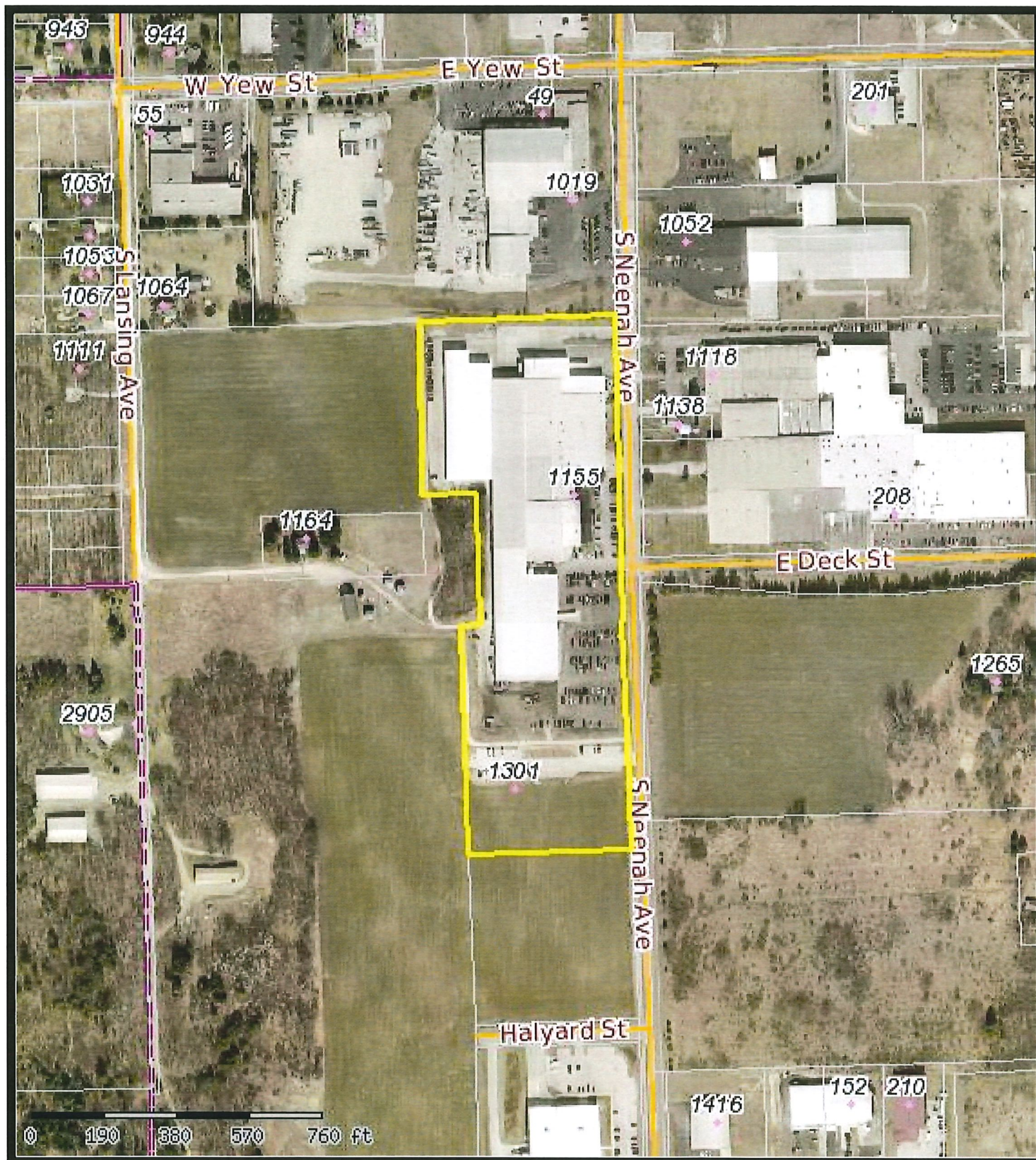
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4

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MEMO

To: Industrial Park Development Review Team
From: Stephanie Servia, Planner/Zoning Administrator 
Date: May 30, 2023
Subject: Door County Scrap Metal Fence Review – 1456 Shiloh Road

It has come to the attention of City Staff that requirements set forth by the Industrial Park Development Review Team back in May of 2015 were never fulfilled. It was requested then that the fence surrounding the property at 1456 Shiloh Road needed attention. It was determined that the fence needed to be extended in the northwest corner of the property because it was not properly screening the view of the outdoor storage on the property. It was also determined that the entirety of the fence should be painted a uniform earthtone color.

Quite some time has passed since this was decided. The issue was brought up again at the July 2020 meeting with no result. DC Scrap Metal has changed hands since the initial decision was made with the review board. Travis Mueller of DC Scrap Metal was contacted by City Staff on May 25th, 2023, he stated that they were not aware that the fence needed attention. The purpose of discussing this again during an Industrial Park Development Review Team meeting is to get everyone involved on the same page about what is required as well as determine a new schedule for when the fence repairs and painting will need to be completed.

Industrial Park Development Review Team
Wednesday, May 13, 2015

A meeting of the Industrial Park Development Review Team was called to order at 12:03 p.m. by Chairperson Jerry Stults in Community Room, City Hall, 421 Michigan Street.

Roll call: Members Jerry Stults, William Murrock, and Sandy Hurley were present. Also present were Alternate Bill Chaudoir, Chris Mueller, owner of Lakeshore Waste Systems Inc. (Door County Scrap Metal and Royal Flush) and Mueller Towing and Repair), Alderman Ron Vandertie, Community Development Director Marty Olejniczak, and Community Development Secretary Cheryl Nault.

Adoption of Agenda: Moved by Mr. Murrock, seconded by Mr. Stults to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Consideration of: Proposed signage for Lakeshore Waste Systems Inc. (Door County Scrap Metal and Royal Flush) and Mueller Towing & Repair, 1456 Shiloh Road.
4. Review of: Fencing and landscaping issues for Lakeshore Waste Systems Inc. (Door County Scrap Metal and Royal Flush) and Mueller Towing & Repair, 1456 Shiloh Road.
5. Adjourn.

Ms. Hurley would like to see the minutes from October 15, 2014 placed on the next agenda for approval.

Carried.

Consideration of: Proposed signage for Lakeshore Waste Systems Inc. (Door County Scrap Metal and Royal Flush) and Mueller Towing & Repair, 1456 Shiloh Road: Chris Mueller presented the proposed signage for their multiple businesses on Shiloh Road. Chris and her husband, Randy, have purchased the former Sturgeon Bay Iron & Scrap. The 60" x 92"-sign-will-be-using the same size base, with an addition of a peaked roof structure to dress up the sign, with some type of solar lighting. Ms. Mueller also plans on planting flowering plants in the flower bed directly below the sign.

Mr. Olejniczak stated that the sign itself is under the 8-foot height limitation and meets all other requirements.

After further discussion, it was moved by Mr. Murrock, seconded by Ms. Hurley to approve the signage as presented and submit a plan for the roof structure to be reviewed and approved by staff and presented to the chairman, subject to plantings in the flower bed be installed and maintained, and not to exceed 8 feet from the top of the planting bed to the top of the roof structure. All ayes. Carried.

Review of: Fencing and landscaping issues for Lakeshore Waste Systems Inc. (Door County Scrap Metal and Royal Flush) and Mueller Towing & Repair, 1456 Shiloh Road: Mr. Chaudoir explained to Ms. Mueller that the zoning code includes a design review code for the Industrial Park. Any outdoor storage areas must be screened from the public right-of-way and maintained. The existing fence around the property is in need of attention. It should be painted. There are weeds in front of the fence that need to be removed. The fence on the northwest corner of the property is in poor condition and should be extended since it is not long enough to screen everything it should be shielding, as well as being blue in color. The fence should be the same color throughout in an earthtone color. Ms. Mueller responded she would try to find it in their budget to paint the fence this year.

Discussion continued. Moved by Ms. Hurley, seconded by Mr. Murrock that the vegetation between the signage and the road to be cleaned up, a plan to replace the gated gate, and paint the fencing that is there now so it meets the requirements of the Industrial Park, with it to be completed by October 31, 2015. If that does not suit their budget or timeframe they should seek an extension. All ayes. Carried.

Adjourn. Moved by Ms. Hurley, seconded Mr. Murrock to adjourn. Carried. Meeting adjourned at 12:25

p.m.

Respectfully submitted,
Cheryl Nault

Industrial Park Development Review Team

Wednesday, July 8, 2020

A meeting of the Industrial Park Development Review Team was called to order at 12:00 noon by Chairperson David Hayes in the Council Chambers, City Hall, 421 Michigan Street.

Roll call: Members David Hayes, Sandy Hurley, and William Murrock were present. Also present were Alternate DCEDC Executive Director Steve Jenkins, A.C.E. Building Service representative Chris Herzog, Dan Schwarz, owner of Sturgeon Bay Cold Storage, Planner/Zoning Administrator Chris Sullivan-Robinson, Community Development Director Marty Olejniczak, and Community Development Secretary Cheryl Nault.

Adoption of Agenda: Moved by Mr. Murrock, seconded by Ms. Hurley to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Consideration of: Addition for Dan's Fish, Inc., 152 Jib Street.
4. Consideration of: Industrial Park property maintenance.
4. Adjourn.

Carried.

Consideration of: Addition for Dan's Fish, Inc., 152 Jib Street: Mr. Schwarz mentioned that the property will be in the name of Sturgeon Bay Cold Storage and not Dan's Fish.

Mr. Sullivan-Robinson stated that the proposal is for a 12,000 square-foot addition that requires purchase of the adjacent City-owned property. There are no zoning issues with the addition. An additional landscape plan needs to be submitted, as well as a lighting plan. Ten percent of the lot is required to be landscaped. The stormwater management plan requires final approval of the City Engineer. The existing gravel also needs to be turned into asphalt.

Mr. Herzog presented the plans for the addition. The fire lane will be located completely around the facility. The construction type will be a pre-engineered Butler metal building, with prefinished metal wall panels, gable trim, gutter, and downspouts. The addition will be a single slope structure sloping downward to the south. The downspouts will be plumbed underground and roof stormwater will be directed to a proposed stormwater management area on the west side of the addition. There are two loading docks located at the SE corner of the building that are kept away from traffic. The building frame is structurally enhanced for snow load where the addition abuts the existing building. Windows will be incorporated on the west and north sides of the addition to bring natural light into the production area. An architectural metal accent panel will be installed in a horizontal direction perpendicular to the building wall panel to identify the office area.

Mr. Herzog added that he will submit the lighting, signage, and landscape plan in the future.

After further discussion, it was moved by Mr. Hayes, seconded by Mr. Murrock to approve the addition for Sturgeon Bay Cold Storage, subject to the landscape plan and exterior lighting plan be submitted before October, 2020. All ayes. Carried.

Consideration of: Industrial Park property maintenance: Ms. Hurley had suggested that it may be a good idea to address Industrial Park maintenance and housekeeping as an agenda item. There were several properties that she noted that should be addressed such as:

- The vacant property on the corner of Neenah Avenue and E. Yew Street has weeds and several sections of fallen down fencing. Mr. Olejniczak responded that he had spoken with the facility manager at Hatco, who had recently purchased the property. They will be cleaning up the property. They are not required to keep it up as a lawn, but Ms. Hurley would like to see the setback cleaned up.
- Door County Scrap had previously been instructed to paint their fence and clean up the weeds. Ms. Hurley stated that the fence has not yet been painted. Mr. Jenkins will follow up with a phone call or letter.
- There are several businesses in which their project was approved with the condition of planting trees, but were never planted (i.e. TTX). Also, Viking Electric and Warner Wexel have no trees planted. A letter should be sent to those businesses asking that after reviewing their landscape plan, why no trees were planted.
- A few places have several excess items that have been stored outside on their properties that are not allowed (i.e. Dan's Fish).

Mr. Sullivan-Robinson will find out the schedule for the paving and landscaping for TTX.

It was also mentioned that a list of items to be approved without committee approval should be put together, as well as a clarification or definition of what minor improvements are.

A copy of the Industrial Park code is to be sent to the members of the Committee.

Adjourn. Moved by Ms. Hurley, seconded Mr. Murrock to adjourn. Carried. Meeting adjourned at 12:49 p.m.

Respectfully submitted,
Cheryl Nault
Community Development Secretary

Map

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