



**CITY OF STURGEON BAY COMMON COUNCIL AGENDA  
TUESDAY, APRIL 19, 2022  
6:00 P.M.  
COUNCIL CHAMBERS, CITY HALL – 421 MICHIGAN ST  
DAVID J. WARD, MAYOR**

1. Call to order.
2. Pledge of Allegiance.
3. Roll call.

**ORGANIZATIONAL MEETING  
DAVID J. WARD, MAYOR**

4. Roll call.
5. Adoption of agenda.
6. Public Comment on agenda items only.
7. Presentation re: Recognition of Door County Medical Center.
8. Consideration of the following bills: General Fund – \$257,753.52, Capital Fund - \$2,330.95, Cable TV - \$280.60, TID #4 - \$2,299.00, TID #6 – 1,222.00, Solid Waste Enterprise Fund - \$17,326.59 and Compost Site Enterprise Fund - \$438.32 for a grand total of \$281,650.98. [roll call]
9. CONSENT AGENDA

\* All items listed with an asterisk (\*) are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a Council member requests before the Adoption of the Agenda, in which event the item will be removed from the Consent Agenda and considered immediately following the consent agenda.

\*a. Approval of 4/5/22 regular Common Council minutes.

\*b. Place the following minutes on file:

- (1) Community Protection & Services Committee – 2/3/22
- (2) Zoning Board of Appeals – 3/22/22
- (3) Personnel Committee – 3/28/22
- (4) Zoning Board of Appeals – 3/29/22
- (5) Joint Review Board – 3/29/22
- (6) Finance/Purchasing & Building Committee – 3/29/22
- (7) City Plan Commission – 3/30/22
- (8) Board of Canvassers – 4/11/22

\*c. Place the following reports on file:

- (1) Fire Department Annual Report – 2021
- (2) Fire Department Report – February 2022
- (3) Police Department Report – March 2022
- (4) Bank Reconciliation – March 2022

(5) Revenue & Expense Report – March 2022

- \*d. Consideration of: Beverage Operator's license.
  - \*e. Consideration of: Approval of Six Month Class B Beer license for PKS3, LLC.
  - \*f. Consideration of: Approval of Temporary Class B Beer license for Sturgeon Bay Bass Tournament.
  - \*g. Personnel Committee recommendation re: Approve the proposed 2022 wage step recommendations.
  - \*h. Finance/Purchasing & Building Committee recommendation re: Write off the 2020 Delinquent personal property tax account bills in the amount of \$352.91.
  - \*i. Finance/Purchasing & Building Committee recommendation re: Approve the land swap with Fincantieri Bay Shipbuilding for Well #3 site and transfer formal ownership of the Well #3 to Sturgeon Bay Utilities.
10. Mayoral Appointments.
  11. Election of Council President. [Council Election]
  12. Consideration of: Council Rules of Order.
  13. Resolution re: Resolution Providing for the Sale of Approximately \$2,455,000 General Obligation Promissory Notes.
  14. Second reading of ordinance re: Proposed amendments to Zoning Code, which is Chapter 20 of the Municipal Code – Sections 20.03, 20.08 through 20.24, and 20.27.
  15. Second reading of ordinance re: Rezoning from Commercial/Light Manufacturing (C-3) district to General Commercial (C-1) for various parcels.
  16. Second reading of ordinance re: Rezoning from Commercial/Light Manufacturing (C-3) district to Light Industrial (I-1) for parcel #281-64-59000124C, owned by Midwest Wire, Inc. and located at 615 S. Lansing Avenue.
  17. Second reading of ordinance re: Rezoning from Multiple Family Residential (R-4), General Commercial (C-1), Single Family Residential (R-1) to Planned Unit Development (PUD) and shall be subject to the site plan and requirements (Parcel #281-62-10000106, located at 1048 Egg Harbor Road & parcel #281-62-10000108, located at 1116 Egg Harbor Road).
  18. Second reading of ordinance re: Rezoning from Single-Family Residential (R-2) to Planned Unit Development (PUD) subject to site plan and requirements (Parcel #281-62-205000208, located at 827 N. 8<sup>th</sup> Avenue).
  19. Resolution Designating Public Depositories.
  20. Resolution Designating Official Newspaper.
  21. Resolution re: Tax Incremental District #1 (TID) Affordable Housing Extension.
  22. Resolution re: Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 6, City of Sturgeon Bay, Door County, Wisconsin.
  23. Resolution re: Preliminary Resolution and Engineering Report for Declaring Intent to Levy Special Assessments for Curbing Installation along Alley W14.
  24. Resolution re: Preliminary Resolution and Engineering Report for Declaring Intent to Levy Special Assessments for Sidewalk Installations along both N 14<sup>th</sup> Avenue and Rhode Island Street.

25. City Administrator report.
26. Mayor's report.
27. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Posted:

Date: 4.14.22  
Time: 12:00pm  
By: UM

NOTE: COUNCIL CHAMBERS WILL BE OPEN TO THE PUBLIC TO OBSERVE AND RENDER PUBLIC COMMENT ON AGENDA ITEMS ONLY. THE MEETING WILL BE LIVESTREAMED AT <https://sbtv.viebit.com/> AND CABLE ACCESS CHANNEL 988.

**CITY OF STURGEON BAY**  
**GENERAL PROCEDURES FOR PUBLIC COMMENT AT COMMON COUNCIL MEETINGS**

Any citizen requesting to address the Council during the public comment portion of the meeting:

- Must fill out a "Request to Comment" form and turn it in to the City Clerk or Mayor PRIOR to the start of the meeting. Name and address must be filled in. Indicate the agenda item number that you are planning to provide public comment on. Public Comment will be restricted to Agenda Items only.
- Individuals will have a maximum of three (3) minutes to address the Council. A total of 30 minutes will be allotted to Public Comment per meeting, unless the Council body agrees to extend the time. The extensions will be 15 minute additional increments.
- Priority will be given to City residents.
- The speaker shall not engage in personal attacks against the Mayor, Council members, City staff or its representatives and remain courteous and respectful. The Council/Committee requests that all comments and interactions between those present be conducted in a constructive and respectful manner. Anyone acting in a disruptive or disrespectful manner will be asked to leave the meeting by the person presiding at the meeting.
- The Mayor/Chair may ask questions of the speaker for clarification purposes.
- The Mayor/Chair may allow, at his discretion, Council/Committee members or staff to respond to the speaker's comment. However, dialogue will not ensue.
- The Mayor/Chair may refer the matter to a committee or to the City Administrator for further follow up as needed.

IF EVERYONE ABIDES BY THESE GUIDELINES, OUR MEETINGS WILL MOVE ALONG SMOOTHLY AND BUSINESS WILL BE CONDUCTED IN AN EFFICIENT AND TIMELY MANNER. YOUR COOPERATION WILL BE APPRECIATED BY ALL PRESENT AT THE MEETING.

PLEASE NOTE THAT LETTERS WILL NOT BE READ INTO THE RECORD AS PUBLIC COMMENT. ONLY LETTERS RECEIVED FOR A PUBLIC HEARING WILL BE READ INTO THE RECORD.

NOTE: IF TOPICS THAT WILL GENERATE SIGNIFICANT POTENTIAL FOR PUBLIC COMMENT APPEAR ON THE COUNCIL AGENDA, A PUBLIC HEARING WILL TAKE PLACE PRIOR TO THE COUNCIL MEETING.

RESPECTFULLY,  
MAYOR DAVID J. WARD

REVISED: 6/2/20



DATE: 01/10/2022  
TIME:  
ID:

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

8.

INVOICES DUE ON/BEFORE 04/19/2022

8.

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
-----				
GENERAL FUND				
GENERAL FUND				
REVENUE				
R0001733	NANCY MOORE	HAZARD ITEM TAG REFUND/N MOORE	01-000-000-48120	70.50
TOTAL REVENUE				70.50
BALLFIELD LIGHTING				
WPPI ENG	WPPI ENERGY	04/22 ATHLETIC LIGHT PROJECT	01-000-981-70000	1,365.39
TOTAL BALLFIELD LIGHTING				1,365.39
TOTAL GENERAL FUND				1,435.89
CITY COUNCIL				
03133	CELLCOM WISCONSIN RSA 10	03/22 3 ALDER CELLPHONES	01-105-000-58999	98.54
TOTAL				98.54
TOTAL CITY COUNCIL				98.54
LAW/LEGAL				
03950	DAVIS KUELTHAU	02/22 GENERAL LEGAL MATTERS	01-110-000-55010	1,982.00
03950		02/21 RIGHT OF WAY ACQUISITION	01-110-000-55010	572.00
TOTAL				2,554.00
TOTAL LAW/LEGAL				2,554.00
CITY CLERK-TREASURER				
04650	DOOR COUNTY REGISTER OF DEEDS	03/22 FILINGS & COPIES	01-115-000-56350	125.50
04975	ECONO FOODS	ELECTION DAY ROLLS	01-115-000-54999	21.72
USBANK	US BANK	CORRECTION TAPE	01-115-000-51950	5.48
TOTAL				152.70
TOTAL CITY CLERK-TREASURER				152.70
ADMINISTRATION				
USBANK	US BANK	FUEL	01-120-000-56650	20.34
USBANK		FUEL	01-120-000-56650	49.12
USBANK		MEAL EXPENSE/MADISON	01-120-000-56650	24.79
TOTAL				94.25
TOTAL ADMINISTRATION				94.25
COMPUTER				
03101	CDW GOVERNMENT, INC.	SURFACE PRO-FIRE CHIEF	01-125-000-55550	1,150.00

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 2

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
GENERAL FUND				
04696	DOOR COUNTY TREASURER	03/22 IS INTERNET CHARGES	01-125-000-55550	100.00
04696		03/22 TECH SUPPORT	01-125-000-55550	4,166.67
04696		03/22 4G INTERNET CHARGES	01-125-000-55550	375.00
USBANK	US BANK	ZOOM	01-125-000-55550	63.99
TOTAL				5,855.66
TOTAL COMPUTER				5,855.66
CITY ASSESSOR				
ASSO APP	ASSOCIATED APPRAISALS	04/22 CONTRACT	01-130-000-55010	4,916.67
TOTAL				4,916.67
TOTAL CITY ASSESSOR				4,916.67
BUILDING/ZONING CODE ENFORCMT				
DCI	DOOR COUNTY INSPECTIONS, LLC	03/22 BUILDING PERMITS	01-140-000-55010	6,026.15
TOTAL				6,026.15
TOTAL BUILDING/ZONING CODE ENFORCMT				6,026.15
MUNICIPAL SERVICES ADMIN.				
03133	CELLCOM WISCONSIN RSA 10	03/22 CHAD CELL SVC	01-145-000-58250	42.56
USBANK	US BANK	DRILL & IMPACT COMBO SET	01-145-000-52700	119.00
TOTAL				161.56
TOTAL MUNICIPAL SERVICES ADMIN.				161.56
PUBLIC WORKS ADMINISTRATION				
03133	CELLCOM WISCONSIN RSA 10	03/22 STEVE CELL SVC	01-150-000-58250	33.15
03133		03/22 MIKE CELL SVC	01-150-000-58250	44.07
17700	QUILL CORPORATION	ASSORTED OFFICE SUPPLIES	01-150-000-51950	71.76
TOTAL				148.98
TOTAL PUBLIC WORKS ADMINISTRATION				148.98
ELECTIONS DEPARTMENT				
DOMINION	DOMINION VOTING SYSTEMS, INC	9 THERMAL PAPER ROLLS	01-155-000-54999	27.00
DOMINION		6 INK CARTRIDGES	01-155-000-54999	150.00
DOMINION		SHIPPING	01-155-000-54999	20.34
SIRSPEED	SIR SPEEDY	POLL BOOK COLOR PAPER/NUMBER BOX	01-155-000-54999	180.31
USBANK	US BANK	ABSENTEE BALLOT POSTAGE	01-155-000-54999	116.00

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 3

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
GENERAL FUND				
USBANK		BINDERS/ORGANIZERS	01-155-000-54999	278.62
USBANK		HANGING FILE FOLDERS	01-155-000-54999	35.40
USBANK		HANGING FILE FOLDERS	01-155-000-54999	89.52
USBANK		BINDERS	01-155-000-54999	99.30
USBANK		BINDERS	01-155-000-54999	58.78
USBANK		CREDIT	01-155-000-54999	-30.10
TOTAL				1,025.17
TOTAL ELECTIONS DEPARTMENT				1,025.17
CITY HALL				
04575	DOOR COUNTY HARDWARE	BRASS SILLCOCK	01-160-000-51850	9.99
04575		BLACK OXIDE BIT SET	01-160-000-51850	64.99
04575		DRILL BIT SET	01-160-000-51850	32.99
04575		FASTENERS	01-160-000-51850	12.49
04575		THREAD SEALANT	01-160-000-51850	24.98
04575		FASTENERS/SPIRAL SCREW EXTRACT	01-160-000-51850	15.95
04575		FASTENERS/MATERIALS	01-160-000-51850	7.19
04575		AIR FILTER	01-160-000-55300	27.98
04575		FASTENERS	01-160-000-51850	4.62
05500	ENERGY CONTROL AND DESIGN INC	VALVES	01-160-000-55300	73.48
19880	STURGEON BAY UTILITIES	1317 SHILOH RD	01-160-000-56150	17.59
19880		1317 SHILOH RD	01-160-000-58650	10.12
19880		421 MICHIGAN STREET	01-160-000-56150	2,283.54
19880		421 MICHIGAN STREET	01-160-000-58650	182.24
BLISS	LIFESTYLES BY BLISS, INC	APRIL-JUNE 22 PUBL C BATH MAINT	01-160-000-58999	2,250.00
USBANK	US BANK	DOOR OPENER	01-160-000-55300	1,107.75
USBANK		DOOR REPAIRS	01-160-000-55300	522.91
USBANK		CINTAS SPRINKLER SYSTEM INSPCT	01-160-000-58999	532.00
VIKING	VIKING ELECTRIC SUPPLY, INC	WIRE	01-160-000-55300	13.98
VIKING		SMOKE DETECTOR TESTER	01-160-000-55300	87.48
VIKING		LED LIGHTS	01-160-000-55300	85.66
WARNER	WARNER-WEXEL LLC	PAPER PRODUCTS	01-160-000-51850	275.87
TOTAL				7,643.80
TOTAL CITY HALL				7,643.80
INSURANCE				
MCCLONE	MCCLONE AGENCY, INC	05/22 WORK COMP	01-165-000-58750	11,063.00
MCCLONE		05/22 GENERAL LIAB	01-165-000-56400	2,661.00
MCCLONE		05/22 POLICE LIAB	01-165-000-57150	1,424.00
MCCLONE		05/22 PUBLIC OFFICIAL LIABILITY	01-165-000-57400	2,263.00
MCCLONE		05/22 CYBER LIABILITY	01-165-000-55450	322.00
MCCLONE		05/22 AUTO LIABILITY	01-165-000-55200	1,564.00
MCCLONE		05/22 AUTO PHYSICAL DAMAGE	01-165-000-55200	2,404.00
TOTAL				21,701.00
TOTAL INSURANCE				21,701.00

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 4

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
GENERAL FUND				
GENERAL EXPENDITURES				
02130	BAUDHUIN INC	PLAT SURVEY/KRUEGER PROP	01-199-000-58900	900.00
04696	DOOR COUNTY TREASURER	03/22 CITY HALL PHONE SVC	01-199-000-58200	67.87
04696		03/22 FIRE PHONE SVC	01-199-000-58200	22.48
04696		03/22 MUNICIPAL PHONE SVC	01-199-000-58200	15.81
04696		03/22 POLICE PHONE SVC	01-199-000-58200	19.45
DUMMAN	DUMMAN APPRAISAL GROUP, LLC	GRANT AVE ROW APPR 2ND PYMT	01-199-000-58900	1,750.00
STAPLES	WISCONSIN DOCUMENT IMAGING LLC	COPIER CONTRACT W3422	01-199-000-55650	2,729.00
WIPFLI	WIPFLI LLP	PROGRESS BILLNG 12.31.21 AUDIT	01-199-000-55150	7,500.00
TOTAL				13,004.61
TOTAL GENERAL EXPENDITURES				13,004.61
POLICE DEPARTMENT				
04150	DEJARDIN CLEANERS LLC	UNIFORM LAUNDER/BRNKMAN	01-200-000-56800	8.75
HENRY	CLINT HENRY	CLOTHING ALLOWANCE/HENRY	01-200-000-52900	102.83
SIRSPEED	SIR SPEEDY	PARKING WARNINGS	01-200-000-51600	267.00
USBANK	US BANK	LODGING/BRINKMAN	01-200-000-55600	182.00
USBANK		MEAL AT TRAINING/BRINKMAN	01-200-000-55600	19.64
TOTAL				580.22
TOTAL POLICE DEPARTMENT				580.22
POLICE DEPARTMENT/PATROL				
02134	THOMAS BAUDHUIN	MISC REIMBURSE CJP/BAUDHUIN	01-215-000-54999	17.00
03133	CELLCOM WISCONSIN RSA 10	03/22 CRADELPOINT PORT SEC CAM	01-215-000-58999	53.24
06592	FOX VALLEY TECHNICAL COLLEGE	ZACH/FLD TRAINING OFFICER	01-215-000-55600	525.00
19880	STURGEON BAY UTILITIES	SUNSET PRK BR LAUNCH	01-215-000-56150	19.73
19880		S NEENAH AVE CAMERA	01-215-000-56150	15.53
19880		SHORECREST CAMERA	01-215-000-56150	14.62
21450	THE UNIFORM SHOPPE	SHIRT/PANTS/TIE-JAGIELSKI	01-215-000-52900	155.80
DEIBELE	LUKE DEIBELE	TRAINING MEAL EXPENSES/DEIBELE	01-215-000-55600	90.35
JIM FORD	JIM OLSON FORD-LINCOLN, LLC	SQUAD 80 MAINTENANCE	01-215-000-58600	394.18
JIM FORD		INV VEHICLE MAINTENANCE	01-215-000-58600	57.88
JIM FORD		INV VEHICLE MAINTENANCE	01-215-000-58600	21.00
JIM FORD		INV VEHICLE MAINTENANCE	01-215-000-58600	279.79
JIM FORD		SQUAD 80 MAINTENANCE	01-215-000-58600	61.66
USBANK	US BANK	POLYMER GUN RAILS	01-215-000-54999	79.92
USBANK		FUEL	01-215-000-51650	42.65
ZACH	JAKE ZACH	TRAINING MEAL EXPENSES/ZACH	01-215-000-55600	116.49
TOTAL				1,944.84
TOTAL POLICE DEPARTMENT/PATROL				1,944.84
POLICE DEPT. / INVESTIGATIONS				
ACCURINT	LEXISNEXIS RISK SOLUTIONS	03/22 CONTRACT FEE	01-225-000-57950	110.78
USBANK	US BANK	EVIDENCE COLLECTION MATERIAL	01-225-000-51500	1,106.39
TOTAL				1,217.17

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 5

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
-----				
GENERAL FUND				
TOTAL POLICE DEPT. / INVESTIGATIONS				1,217.17
FIRE DEPARTMENT				
FIRE DEPARTMENT				
08225	HERLACHE SMALL ENGINE	B717 PUMP FUEL VALVE	01-250-000-53000	28.99
12100	LAMPERT YARDS INC	MINI VENTS	01-250-000-51405	10.60
15890	PACK AND SHIP PLUS	FIT TEST/FLOW TEST MACH SHIP	01-250-000-56250	49.97
19880	STURGEON BAY UTILITIES	92 E MAPLE STREET	01-250-000-56675	6.22
19880		1317 SHILOH RD	01-250-000-56675	6.22
19880		MARTIN PARK RESTROOM	01-250-000-56675	6.22
19880		421 MICHIGAN STREET	01-250-000-56675	133.25
19880		TRUCK FILL	01-250-000-56675	41.00
19880		MEM FLD WARMING HOUSE	01-250-000-56675	49.73
19880		CITY GARAGE	01-250-000-56675	49.73
19880		GARLAND PARK	01-250-000-56675	6.22
19880		SUSNET CONSN CNTR	01-250-000-56675	49.73
19880		FRANK GRASSE MEM SHELTER	01-250-000-56675	15.54
19880		OTUMBA PARK	01-250-000-56675	6.22
19880		WS WARMING HOUSE	01-250-000-56675	6.22
19880		WS FIRE	01-250-000-56675	49.73
19880		WS FIRE	01-250-000-56150	142.03
19880		WS FIRE	01-250-000-58650	92.87
19880		38 S NEENAH PAVILLION	01-250-000-56675	6.22
19880		38 S NEENAH RESTROOM	01-250-000-56675	31.08
19880		WS BALLFLD LITES	01-250-000-56675	31.08
19880		GIRLS LITTLE LEAGUE	01-250-000-56675	49.73
19880		FIRE TRAINING SITE	01-250-000-56675	6.22
19880		FIRE TRAINING SITE	01-250-000-56150	13.39
19880		QUINCY BALLFLD	01-250-000-56675	49.73
19880		PENNSYLVANIA ST DOCK	01-250-000-56675	15.54
19880		92 E MPAL ST DOCK	01-250-000-56675	6.22
19880		1ST AVE MARINA/RESTROOM	01-250-000-56675	49.73
19880		KENTUCKY ST CITY PRK RAMP	01-250-000-56675	6.22
19880		KENTUCKY ST CITY MARINA	01-250-000-56675	49.73
19880		SIGN SHED	01-250-000-56675	6.22
19880		CHERRY BLOSSOM PRK	01-250-000-56675	15.54
19880		55 VACANT LOTS QTRLY BILL	01-250-000-56675	1,026.30
FIRE SRV	FIRE SERVICE, INC.	DOOR LATCHES	01-250-000-53000	364.17
O'REILLY	O'REILLY AUTO PARTS-FIRST CALL	FUEL/WTR SEP	01-250-000-53000	47.29
O'REILLY		CREDIT RETURN	01-250-000-53000	-117.70
O'REILLY		OIL FILTER	01-250-000-53000	9.40
O'REILLY		DEF	01-250-000-53000	29.98
O'REILLY		OIL FILTER	01-250-000-53000	7.89
O'REILLY		AIR BRK FTG	01-250-000-53000	8.35
O'REILLY		DEF	01-250-000-53000	29.98
PAULCONW	PAUL CONWAY SHIELDS	VEHICLE WASH/WAX	01-250-000-53000	95.00
PORT	WEST MARINE PRODUCTS INC	4 WORK VESTS	01-250-000-51350	499.52
PREVEA	PREVEA HEALTH OCCUPTNL HEALTH	RESPIRTY CLEAR EXAM/ PHYSICAL	01-250-000-57100	2,646.90
USBANK	US BANK	TURN OUT GEAR HANGERS	01-250-000-52700	235.15
USBANK		UNIFORM PANTS	01-250-000-52900	234.33
USBANK		CHIEF EDUCATION SEMINAR REG	01-250-000-55600	225.00
USBANK		AC EDUCATION SEMINAR REG	01-250-000-55600	225.00
USBANK		CREDIT	01-250-000-52950	-17.65
USBANK		CHAIRS-REHAB TRAILER	01-250-000-54999	105.46

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 6

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
GENERAL FUND				
FIRE DEPARTMENT				
FIRE DEPARTMENT				
USBANK		HOTEL-WATEROUS TRAINING	01-250-000-55600	343.74
USBANK		REHAB MEAL	01-250-000-54999	297.80
USBANK		WATEROUS-FRANGIPANE	01-250-000-55600	600.00
USBANK		BATTERIES	01-250-000-52700	46.89
USBANK		OIL FILTER WRENCH	01-250-000-52700	17.98
USBANK		UNIFORM BOOTS	01-250-000-52900	312.05
USBANK		DRONE BATTERY REPLACEMENT	01-250-000-51350	169.00
USBANK		HOTEL	01-250-000-55600	405.96
USBANK		WATEROUS MEAL EXPNSE	01-250-000-55600	51.47
USBANK		WATEROUS MEAL EXPNSE	01-250-000-55600	11.61
USBANK		WATEROUS MEAL EXPNSE	01-250-000-55600	43.02
USBANK		WATEROUS MEAL EXPNSE	01-250-000-55600	55.19
USBANK		FUEL	01-250-000-51650	38.96
USBANK		FUEL	01-250-000-51650	29.00
USBANK		FUEL	01-250-000-51650	44.00
USBANK		FUEL	01-250-000-51650	45.51
USBANK		NWTC LEADRSHP TRN/WIEGND-AUSTD	01-250-000-51650	298.00
USBANK		LAUNDRY DETERGENT	01-250-000-54999	21.08
USBANK		NFPA LICENSE	01-250-000-56000	1,345.50
USBANK		STATION FUEL	01-250-000-51650	20.82
USBANK		STATION FUEL	01-250-000-51650	21.09
USBANK		WATEROUS MEALS	01-250-000-55600	50.27
USBANK		WATEROUS MEALS	01-250-000-55600	53.26
USBANK		WATEROUS MEALS	01-250-000-55600	51.41
USBANK		FUEL	01-250-000-51650	55.02
USBANK		TRUCK PARTS	01-250-000-53000	285.40
USBANK		TRUCK PARTS	01-250-000-53000	611.15
WARNER	WARNER-WEXEL LLC	CLEANING SUPPLIES	01-250-000-54999	151.75
TOTAL FIRE DEPARTMENT				12,218.44
TOTAL FIRE DEPARTMENT				12,218.44
LARGE ITEM PICKUP / LEAF COLL				
GFLNVIR	GFL ENVIRONMENTAL, INC	1 ELECTRONIC RECYCLED	01-311-000-58400	9.00
TOTAL				9.00
TOTAL LARGE ITEM PICKUP / LEAF COLL				9.00
ROADWAYS/STREETS				
04575	DOOR COUNTY HARDWARE	BULLSEYE	01-400-000-51400	28.99
04575		FASTENERS	01-400-000-51400	20.00
TOTAL				48.99
TOTAL ROADWAYS/STREETS				48.99
SNOW REMOVAL				
SNOW REMOVAL				
13655	MONROE TRUCK EQUIPMENT, INC	HYDRO MOTOR	01-410-000-51400	325.68

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 7

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
GENERAL FUND				
SNOW REMOVAL				
SNOW REMOVAL				
13655		SHIPPING	01-410-000-51400	19.00
13825	MORTON SALT	200.85 TN ROAD SALT	01-410-000-52400	14,744.40
USBANK	US BANK	DRIVE GUARD	01-410-000-51400	116.74
USBANK		DRIVE SHIELD	01-410-000-51400	92.75
USBANK		FRIEGHT	01-410-000-51400	14.32
USBANK		DISCOUNT	01-410-000-51400	-20.95
USBANK		FAN	01-410-000-51400	29.99
TOTAL SNOW REMOVAL				15,321.93
TOTAL SNOW REMOVAL				15,321.93
STREET SIGNS AND MARKINGS				
04575	DOOR COUNTY HARDWARE	PAINT	01-420-000-52550	98.56
TOTAL				98.56
TOTAL STREET SIGNS AND MARKINGS				98.56
STREET MACHINERY				
04575	DOOR COUNTY HARDWARE	SPRINGS	01-450-000-52150	7.38
04575		BYPASS LOPPER	01-450-000-52150	22.99
04575		PAINT SUPPLIES/DECK SCREWS	01-450-000-52150	99.94
04575		PAINT	01-450-000-52150	12.98
04575		PAINT	01-450-000-52150	22.77
04575		BIT HAMR	01-450-000-52700	19.99
04575		DENATURED ALCOHOL	01-450-000-52150	9.99
04575		SCOOP	01-450-000-52150	39.99
04575		PAINT	01-450-000-52150	20.97
04575		ADAPTER	01-450-000-52150	0.99
04575		PAINT	01-450-000-52150	6.99
04575		REFLECTIVE LETTERS	01-450-000-52150	11.12
04575		WRENCH HOLDER	01-450-000-52700	35.97
04575		TORCH RECIP BLADE	01-450-000-52150	23.99
06005	JFTCO, INC	CONNECTORS & SEALS	01-450-000-53000	16.10
06012	FASTENAL COMPANY	BOLTS	01-450-000-53000	43.40
20725	T R COCHART TIRE CENTER	17" FLAT REPAIR	01-450-000-53000	20.00
20725		16" FLAT REPAIR	01-450-000-53000	30.00
ADVAUTO	GENERAL PARTS DISTRIBUTION LLC	GLASS CLEANER	01-450-000-52150	11.02
ADVAUTO		HOSE CLAMPS/BRAKE CLEANER	01-450-000-52150	85.46
ADVAUTO		ENGINE DEGREASER	01-450-000-52150	41.76
ADVAUTO		OIL FILTER/HEADLIGHT	01-450-000-53000	13.46
FEUERSTE	FEUERSTEIN MACHINE-REPAIR INC	BLADE SHARPENING-STUMP GRINDER	01-450-000-52150	325.00
O'REILLY	O'REILLY AUTO PARTS-FIRST CALL	FASTENERS	01-450-000-52150	13.48
USBANK	US BANK	FLAT BAR	01-450-000-53000	65.10
USBANK		6"X9"X20" BEAM	01-450-000-53000	251.00
USBANK		FUEL	01-450-000-51650	42.33
USBANK		FOLDING RAMPS	01-450-000-52150	99.99
USBANK		GLOVES	01-450-000-52150	159.42
USBANK		3/8" FLAT BAR	01-450-000-53000	17.50
USBANK		FLAT BAR	01-450-000-53000	18.00
TOTAL				1,589.08



DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 8

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
-----				
GENERAL FUND				
TOTAL STREET MACHINERY				1,589.08
CITY GARAGE				
19880	STURGEON BAY UTILITIES	SALT SHED	01-460-000-56150	13.39
19880		CITY GARAGE	01-460-000-56150	955.34
19880		CITY GARAGE	01-460-000-58650	89.96
AMERWELD	AMERICAN WELDING & GAS, INC	GAS BOTTLE REFILLING	01-460-000-58999	161.51
TOTAL				1,220.20
TOTAL CITY GARAGE				1,220.20
HIGHWAYS - GENERAL				
19880	STURGEON BAY UTILITIES	EAST SIDE DOCK	01-499-000-58000	37.85
19880		808 S DULUTH AVE	01-499-000-58000	16.47
19880		EGG HARBOR RD TRAFFIC LITE	01-499-000-58000	27.01
19880		N 14TH & EGG HARBOR TRFFC LITE	01-499-000-58000	33.25
19880		2 TRAFFIC WARNING LITES	01-499-000-58000	5.50
19880		MADISON AVE TRFFC LITES	01-499-000-58000	129.61
19880		342 ORNAMENTAL ST LIGHTS	01-499-000-58000	4,960.78
19880		595 OVERHEAD ST LIGHTS	01-499-000-58000	6,564.45
19880		LANSING & WALNUT SIGN	01-499-000-58000	8.91
19880		OLD HWY RD SIGN	01-499-000-58000	16.97
TOTAL				11,800.80
TOTAL HIGHWAYS - GENERAL				11,800.80
PARK & RECREATION ADMIN				
03133	CELLCOM WISCONSIN RSA 10	03/22 CELL SVC	01-500-000-58250	26.16
03133		03/22 MIKE CELL SVC	01-500-000-58250	44.08
BUBRICKS	BUBRICK'S COMPLETE OFFICE, INC	PAPER	01-500-000-51950	43.02
INFOSEND	INFOSEND, INC	NEWSLETTER	01-500-000-52250	854.78
USBANK	US BANK	ANNUAL PARK & REC ASSOC DUES	01-500-000-56000	150.00
TOTAL				1,118.04
TOTAL PARK & RECREATION ADMIN				1,118.04
PARKS AND PLAYGROUNDS				
01766	AURORA MEDICAL GROUP	DOT DRUG SCREENS	01-510-000-57100	130.00
03025	CAPTAIN COMMUNES INC	DOG PARK PORT A POTTI	01-510-000-58999	100.00
04545	DOOR COUNTY COOPERATIVE/NAPA	STARTER BUTTON/LAMP RELAY	01-510-000-51900	27.69
04545		SWITCHES	01-510-000-51900	16.32
04575	DOOR COUNTY HARDWARE	ASSORTED SUPPLIES	01-510-000-51850	165.62
04575		DRILL/DRIVE SET	01-510-000-52700	6.99
04575		DECK SCREW/MAILBOX/MAG TAPE	01-510-000-54999	78.55

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 9

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
GENERAL FUND				
04575		CARPET FRESH/ TAPE/FENDER WASH	01-510-000-51850	43.16
04575		FASTENERS	01-510-000-51850	21.90
04575		DRYLOK	01-510-000-51850	139.99
04575		PAINT SUPPLIES	01-510-000-51850	148.57
04575		PAINT	01-510-000-52100	36.99
04575		PAINT	01-510-000-52100	36.99
04575		TARP/DRILLBIT/RAWL	01-510-000-52100	56.57
04575		CLEVIS PN	01-510-000-52700	5.97
04575		ASSORTED SUPPLIES	01-510-000-53000	27.23
04575		BULB	01-510-000-53000	8.99
04575		PAINT/FENDER WASH	01-510-000-51850	54.98
04575		CONCRETE SEALER/FROG TAPE	01-510-000-51850	46.96
08225	HERLACHE SMALL ENGINE	AIR FILTER	01-510-000-56250	6.04
19070	SCHARTNER IMPLEMENT INC	BEARINGS/SEAL/SHIPPING	01-510-000-56250	171.00
19070		BEARING/SHIPPING	01-510-000-56250	35.00
19880	STURGEON BAY UTILITIES	MICHIGAN ST CHARGING STATION	01-510-000-56150	47.28
19880		MARTIN PARK PAVILLION	01-510-000-56150	13.39
19880		MARTIN PARK RESTROOM	01-510-000-58650	8.00
19880		MEM FLD WARMING HOUSE	01-510-000-56150	63.97
19880		MEM FLD WARMING HOUSE	01-510-000-58650	51.40
19880		GARLAND PARK	01-510-000-56150	13.39
19880		GARLAND PARK	01-510-000-58650	8.00
19880		SUSNET CONSN CNTR	01-510-000-56150	217.97
19880		SUSNET CONSN CNTR	01-510-000-58650	52.16
19880		FRANK GRASSE MEM SHELTER	01-510-000-56150	19.53
19880		FRANK GRASSE MEM SHELTER	01-510-000-58650	11.40
19880		OTUMBA PARK	01-510-000-56150	13.39
19880		OTUMBA PARK	01-510-000-58650	8.00
19880		WS WARMING HOUSE	01-510-000-56150	120.01
19880		WS WARMING HOUSE	01-510-000-58650	8.00
19880		JAYCEES BALLFLD STAND	01-510-000-56150	13.39
19880		3RD AVE POWER PANEL	01-510-000-56150	13.39
19880		421 MICHIGAN FLAG LIGHT	01-510-000-56150	29.61
19880		MEM FLD PKG LOT	01-510-000-56150	13.39
19880		WS BALLFLD LITES	01-510-000-58650	18.00
19880		MEM FLD COMPLEX	01-510-000-56150	197.18
19880		GIRLS LITTLE LEAGUE	01-510-000-58650	27.00
19880		OTUMBA PRK WALKWAY	01-510-000-56150	16.87
19880		QUINCY BALLFLD	01-510-000-58650	27.00
19880		SIGN SHED	01-510-000-56150	64.48
19880		SIGN SHED	01-510-000-58650	8.00
19880		CHERRY BLOSSOM PRK	01-510-000-56150	13.39
19880		CHERRY BLOSSOM PRK	01-510-000-58650	11.40
ADVAUTO	GENERAL PARTS DISTRIBUTION LLC	POWERATED BLT	01-510-000-53000	10.68
HESLER	DARREN HESLER	SAFETY GLASSES/HESLER	01-510-000-56800	250.00
O'REILLY	O'REILLY AUTO PARTS-FIRST CALL	PAINT-NEW HOLLAND	01-510-000-51900	8.99
O'REILLY		BATTERY	01-510-000-53000	50.61
SUPERIOR	SUPERIOR VISION INSURANCE	URINE CATCHERS	01-510-000-51850	93.75
SUPERIOR		SHOCK & AWE CLEANER	01-510-000-51850	100.77
SUPERIOR		BOWL CLEANER	01-510-000-51850	25.05
SUPERIOR		SPRAY BOTTLES	01-510-000-51850	25.20
SUPERIOR		FREIGHTS	01-510-000-51850	52.22
USBANK	US BANK	WORK LIGHTS	01-510-000-52700	79.47
TOTAL				3,171.24
TOTAL PARKS AND PLAYGROUNDS				3,171.24

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 10

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
GENERAL FUND				
MUNICIPAL DOCKS				
04575	DOOR COUNTY HARDWARE	REFLECTIVE LETTERS	01-550-000-51850	5.56
04575		EYEBOLT	01-550-000-51850	25.98
19880	STURGEON BAY UTILITIES	36 S NEENAH PKG LOT LITES	01-550-000-56150	122.52
19880		38 S NEENAH PAVILLION	01-550-000-56150	270.16
19880		38 S NEENAH PAVILLION	01-550-000-58650	8.33
19880		38 S NEENAH RESTROOM	01-550-000-56150	66.57
19880		38 S NEENAH RESTROOM	01-550-000-58650	18.00
20070	TAPCO	MARCH HOSTING FEE	01-550-000-58999	50.00
TOTAL				567.12
TOTAL MUNICIPAL DOCKS				567.12
WATERFRONT PARKS & WALKWAYS				
19880	STURGEON BAY UTILITIES	DC MUSEUM WALKWAY	01-570-000-56150	58.44
19880		DC MUSEUM PRKING LOT	01-570-000-56150	104.43
19880		JUNIPER ST WALKWAY LITES	01-570-000-56150	32.02
19880		JUNIPER ST PRKING LOT	01-570-000-56150	35.32
19880		PENNSYLVANIA ST DOCK	01-570-000-58650	11.40
19880		48 KENTUCKY ST WTRFRNT	01-570-000-56150	65.70
19880		92 E MPALE ST DOCK	01-570-000-58650	8.00
19880		1ST AVE MARINA/RESTROOM	01-570-000-56150	296.44
19880		1ST AVE MARINA/RESTROOM	01-570-000-58650	51.40
19880		KENTUCKY ST CITY PRK RAMP	01-570-000-56150	165.34
19880		KENTUCKY ST CITY MARINA	01-570-000-58650	27.00
TOTAL				855.49
TOTAL WATERFRONT PARKS & WALKWAYS				855.49
EMPLOYEE BENEFITS				
ERC	ERC INC	QUARTERLY EAP SERVICES	01-600-000-50550	712.50
TOTAL				712.50
TOTAL EMPLOYEE BENEFITS				712.50
COMMUNITY & ECONOMIC DEVLPMT				
19730	STURGEON BAY VISITOR CENTER-	2ND QTR 2022 SUPPORT	01-900-000-57800	10,075.51
USBANK	US BANK	MEAL	01-900-000-55600	5.06
USBANK		BUSINESS CARDS/CS ROBINSON	01-900-000-54999	41.13
TOTAL				10,121.70
TOTAL COMMUNITY & ECONOMIC DEVLPMT				10,121.70
TOTAL GENERAL FUND				127,414.30

CAPITAL FUND

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 11

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
CAPITAL FUND				
CITY HALL				
CITY HALL EXPENSE				
04699	DOOR COUNTY VACUUMS & SVC, LLC	VACUUM-DPW REMODEL	10-160-000-59040	519.94
11995	LAFORCE HDWE MFG CORP	DPW FRONT DOOR LOCKS/OPEN CNTL	10-160-000-59040	882.00
USBANK	US BANK	OFFICE CHAIRS/FLOOR MATS	10-160-000-59040	929.01
TOTAL CITY HALL EXPENSE				2,330.95
TOTAL CITY HALL				2,330.95
TOTAL CAPITAL FUND				2,330.95
CABLE TV				
CABLE TV / GENERAL				
CABLE TV / GENERAL				
USBANK	US BANK	COMPUTER MAINTENANCE	21-000-000-56250	280.60
TOTAL CABLE TV / GENERAL				280.60
TOTAL CABLE TV / GENERAL				280.60
TOTAL CABLE TV				280.60
TID #6 DISTRICT				
TID #6 DISTRICT				
TID #6 DISTRICT				
03950	DAVIS KUELTHAU	02/22 D KRUEGER CLOSING T6	22-360-000-55001	1,222.00
TOTAL TID #6 DISTRICT				1,222.00
TOTAL TID #6 DISTRICT				1,222.00
TOTAL TID #6 DISTRICT				1,222.00
TID #4 DISTRICT				
TID #4 DISTRICT				
TID #4 DISTRICT				
03950	DAVIS KUELTHAU	02/22 GRANARY LEGAL MATTERS	28-340-000-55001	820.00
03950		02/22 W WTRFRNT ENVIRO MATTERS	28-340-000-55001	104.00
CEDARCO	CEDAR CORPORATION	WEST WTRFRNT REDEV ENGINEERING	28-340-000-58999	1,375.00
TOTAL TID #4 DISTRICT				2,299.00
TOTAL TID #4 DISTRICT				2,299.00
TOTAL TID #4 DISTRICT				2,299.00
SOLID WASTE ENTERPRISE				
SOLID WASTE ENTERPRISE FUND				
SOLID WASTE ENTERPRISE FUND				
04575	DOOR COUNTY HARDWARE	FASTENERS	60-000-000-53000	62.60
04575		FASTENERS	60-000-000-53000	3.80
04575		FASTENERS	60-000-000-53000	4.30
04575		RUBBER TARP STRAP	60-000-000-53000	7.37

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
-----				
SOLID WASTE ENTERPRISE				
SOLID WASTE ENTERPRISE FUND				
SOLID WASTE ENTERPRISE FUND				
ADVAUTO	GENERAL PARTS DISTRIBUTION LLC	FINAL CHARGES 50/50	60-000-000-53000	37.98
GFLENVIR	GFL ENVIRONMENTAL, INC	232.37 TN GARBAGE	60-000-000-58300	15,626.91
GFLENVIR		83.05 TN RECYCLING	60-000-000-58350	1,305.56
USBANK	US BANK	COVERALLS	60-000-000-54999	34.20
USBANK		COVERALLS	60-000-000-54999	11.40
USBANK		COVERALLS	60-000-000-54999	19.98
USBANK		COVERALLS	60-000-000-54999	109.89
USBANK		COVERALLS	60-000-000-54999	102.60
TOTAL SOLID WASTE ENTERPRISE FUND				17,326.59
TOTAL SOLID WASTE ENTERPRISE FUND				17,326.59
TOTAL SOLID WASTE ENTERPRISE				17,326.59
COMPOST SITE ENTERPRISE FUND				
COMPOST SITE ENTERPRISE FUND				
COMPOST SITE ENTERPRISE FUND				
19880	STURGEON BAY UTILITIES	92 E MAPLE STREET	64-000-000-58999	2.00
19880		1317 SHILOH RD	64-000-000-58999	2.00
19880		MARTIN PARK RESTROOM	64-000-000-58999	2.00
19880		421 MICHIGAN STREET	64-000-000-58999	10.00
19880		MEM FLD WARMING HOUSE	64-000-000-58999	6.00
19880		CITY GARAGE	64-000-000-58999	6.00
19880		GARLAND PARK	64-000-000-58999	2.00
19880		SUSNET CONSN CNTR	64-000-000-58999	6.00
19880		FRANK GRASSE MEM SHELTER	64-000-000-58999	2.00
19880		OTUMBA PARK	64-000-000-58999	2.00
19880		WS WARMING HOUSE	64-000-000-58999	2.00
19880		WS FIRE	64-000-000-58999	6.00
19880		38 S NEENAH PAVILLION	64-000-000-58999	2.00
19880		38 S NEENAH RESTROOM	64-000-000-58999	4.00
19880		WS BALLFLD LITES	64-000-000-58999	4.00
19880		GIRLS LITTLE LEAGUE	64-000-000-58999	6.00
19880		COMPOST SITE	64-000-000-56150	14.32
19880		FIRE TRAINING SITE	64-000-000-58999	2.00
19880		QUINCY BALLFLD	64-000-000-58999	6.00
19880		PENNSYLVANIA ST DOCK	64-000-000-58999	2.00
19880		92 E MPALE ST DOCK	64-000-000-58999	2.00
19880		1ST AVE MARINA/RESTROOM	64-000-000-58999	6.00
19880		KENTUCKY ST CITY PRK RAMP	64-000-000-58999	2.00
19880		KENTUCKY ST CITY MARINA	64-000-000-58999	6.00
19880		SIGN SHED	64-000-000-58999	2.00
19880		CHERRY BLOSSOM PRK	64-000-000-58999	2.00
19880		55 VACANT LOTS QTRLY BILL	64-000-000-58999	330.00
TOTAL COMPOST SITE ENTERPRISE FUND				438.32
TOTAL COMPOST SITE ENTERPRISE FUND				438.32
TOTAL COMPOST SITE ENTERPRISE FUND				438.32
TOTAL ALL FUNDS				151,311.76

**MANUAL CHECKS**

WISCONSIN PUBLIC SERVICE	\$3,305.49
04/06/2022	
Check #90059	
03/22 Statement charges	
Various Departmental Accounts	
 DELTA DENTAL	 \$6,232.32
04/06/2022	
Check # 90061	
04/22 Dental Insurance	
Various Departmental Accounts	
 EFT GROUP INSURANCE	 \$114,543.80
04/06/2022	
Check # 90061	
04/22 Health Insurance	
Various Departmental Accounts	
 SUN LIFE FINANCIAL	 \$2,294.33
04/6/2022	
Check # 90060	
04/22 Short & Long Term Disability	
01-000-000-21545	
 SPECTRUM	 \$176.94
04/08/2022	
Check # 90129	
Cable Statement Charges	
21-000-000-58999/01-160-000-58999	
 SECURIAN FINANCIAL GROUP	 \$2,435.78
04/08/22	
Check # 90054	
05/22 Life Insurance	
01-600-000-50552	
 AT&T MOBILITY	 \$1,350.56
04/08/22	
Check # 90131	
03/22 Police Dept Cellphone Charges	
01-215-000-58250	
 <b>TOTAL MANUAL CHECKS</b>	 <b>\$ 130,339.22</b>

DATE: 04/12/1922  
TIME: 14:01:08  
ID: AP443ST0.WOW

CITY OF STURGEON BAY  
DEPARTMENT SUMMARY REPORT

PAGE: 13

INVOICES DUE ON/BEFORE 04/19/2022

VENDOR #	NAME	ITEM DESCRIPTION	ACCOUNT #	AMOUNT DUE
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SUMMARY OF FUNDS:

GENERAL FUND	<del>127,414.30</del>	257,753.52
CAPITAL FUND	2,330.95	
CABLE TV	280.60	
TID #6 DISTRICT	1,222.00	
TID #4 DISTRICT	2,299.00	
SOLID WASTE ENTERPRISE	17,326.59	
COMPOST SITE ENTERPRISE FUND	438.32	
	-----	
TOTAL --- ALL FUNDS	<del>151,311.76</del>	281,650.98

Seth Viamades 4/12/22  
Dan White 4/12/22



COMMON COUNCIL  
April 5, 2022

A meeting of the Common Council was called to order at 6:00 p.m. by Mayor Ward. The Pledge of Allegiance was recited. Roll call: Bacon, Statz, Williams, Gustafson, Nault, Wiederanders and Reeths were present.

Williams/Gustafson to adopt agenda. Carried.

No one people spoke during public comment.

Bacon/Wiederanders to approve following bills: General Fund - \$102,632.18, Capital Fund - \$87,229.73, Cable TV - \$5,361.25, TID #4 District -7,232.34, Solid Waste Enterprise Fund - \$4,642.72 and Compost Site Enterprise Fund - \$108.33 for a grand total of \$207,206.55. Roll call: All voted aye. Carried.

Nault/Bacon to approve consent agenda:

- a. Approval of 3/15/22 regular Common Council minutes.
- b. Approval of the following minutes:
  - (1) Police & Fire Commission – 10/21/21
  - (2) Bicycle & Pedestrian Advisory Board – 2/21/22
  - (3) Aesthetic Design & Site Plan Review Board – 02/21/22
  - (4) Finance/Purchasing & Building Committee – 3/8/22
  - (5) Local Arts Board- 3/9/22
  - (6) Ad Hoc NERR Advisory Committee – 3/11/22
  - (7) Bicycle & Pedestrian Advisory Board – 3/14/22
  - (8) Aesthetic Design & Site Plan Review Board – 03/14/22
  - (9) Personnel Committee – 3/17/22
  - (10) Parking & Traffic Committee – 3/28/22
- c. Place the following report on file:
  - (1) Bank Reconciliation- December 2021
  - (2) Revenue & Expense Report – December 2021
  - (3) Bank Reconciliation- February 2022
  - (4) Revenue & Expense Report – February 2022
- d. Consideration of: Approval of Beverage Operator licenses.
- e. Consideration of: Street Closure Application from Ace Building Services.
- f. Finance/Purchasing & Building Committee recommendation re: Approve the purchase of a new ILH HD Shore Conveyor from Inland Lake Harvesters, Burlington, WI in an amount not to exceed \$49,950.

Carried.

There were no mayoral appointments.

RECOMMENDATION

We, the Finance/Purchasing & Building Committee, hereby recommend to approve easement with Crossroads at Big Creek for parcel #281-68-04001501B.

Finance/Purchasing & Building  
By: Helen Bacon, Chr.

Introduced by Bacon. Crossroads approached the City to provide restoration to an area of land the City utilizes for snow storage. The restoration would protect the wetlands and create walking trails. The City would retain ownership of the land. Bacon/ Wiederanders to adopt. Carried.

#### RECOMMENDATION

We, the Finance/Purchasing & Building Committee, hereby recommend to approve the purchase of one ADA accessible kayak launch from DC Docks & Boat Lifts in an amount not to exceed \$38,276.25 and transfer \$5,276.25 from 10-400-000-59060 to 10-550-000-59999.

Finance/Purchasing & Building  
By: Helen Bacon, Chr.

Introduced by Bacon. The ADA accessible launch would be installed at Bullhead Point. Municipal Services Director Barker noted the launch price increased by 17% over the 2021 quote. There is grant funding of \$17,000 and the installation will be completed by the city staff. Bacon/ Reeths to adopt. Carried.

Staats/Williams to read in title only the first reading of ordinance re: Proposed amendments to Zoning Code, which is Chapter 20 of the Municipal Code-Sections 20.03, 20.08 through 20.24, and 20.27. Carried.

#### RECOMMENDATION

We, the City Plan Committee, hereby recommend to approve a zoning map amendment from Commercial/Light Manufacturing (C-3) district to General Commercial (C-1) for the following parcels:

1. 281-12-06010001, 217 Green Bay Rd, Midwest Wire Products Inc.
2. 281-62-10000102A, 1121-1125 Egg Harbor Rd, Eric Hoogland Ltd Partnership
3. 281-62-10000102B, 1201 Egg Harbor Rd, River Valley One LLC
4. 281-62-1000113 (Portion of), 916 N 14<sup>th</sup> Ave3, County of Door
5. 281-62-15000104A, 1023 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
6. 281-62-15000104B, 1033 Egg Harbor Rd, PT Tower LLC
7. 281-62-15000105, 911 N 14<sup>th</sup> Ave, City of Sturgeon Bay
8. 281-62-15000106, 835 N 14<sup>th</sup> Ave, City of Sturgeon Bay
9. 281-62-15000111A, 1019 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
10. 281-62-15000113, 514 N 12<sup>th</sup> Ave, Premier Sturgeon Bay LLC
11. 281-62-15000116, 664 N 12<sup>th</sup> Ave, Steven C Ehlers
12. 281-62-15000117, 606 N 12<sup>th</sup> Ave, Cornerstone Solutions Inc
13. 281-62-15000123, 636 N 12<sup>th</sup> Ave, S&B Green Bay Investments LLP
14. 281-62-15000124, 620 N 12<sup>th</sup> Ave, Sturgeon Bay Community Church Inc.
15. 281-64-59000117A, vacant, Midwest Wire Products Inc.
16. 281-64-77000300A, 245 E Vine St, Skipper Properties LLC
17. 281-66-13000109 (Portion of), 941-951 S Duluth Ave, Phill-Mart of Sturgeon Bay
18. 281-66-13000110 (Portion of), 919 S Duluth Ave, Randal L Sahs

City Plan Commission  
By: David Ward, Chr.

Gustafson/Bacon to adopt. Carried.

Nault/Wiederanders to read in title only the first reading of ordinance re: Rezoning from Commercial/Light Manufacturing (C-3) district to General Commercial (C-1) for various parcels. Carried.

#### RECOMMENDATION

We, the City Plan Commission, hereby recommend to approve a zoning map amendment from Commercial/Light Manufacturing (C-3) district to Light Industrial (I-1) for parcel #281-64-59000124C, owned by Midwest Wire, Inc. and located at 615 S. Lansing Avenue.

City Plan Commission  
By: David Ward, Chr.

Williams/Nault to adopt. Carried.

Staats/Reeths to read in title only the first reading of ordinance re: Rezoning from Commercial/Light Manufacturing (C-3) district to Light Industrial (I-1) for parcel #281-64-59000124C, owned by Midwest Wire, Inc. and located at 615 S. Lansing Avenue. Carried.

#### RECOMMENDATION

We, the City Plan Commission hereby recommend to approve the Final Planned Unit Development for Cherry Point Investments, LLC to develop a 68-unit multiple-family residential development on property located at 1048 Egg Harbor Rd and a portion of 1116 Egg Harbor Road subject to the following conditions.

1. Underlying zoning district shall be R-4 Multiple-Family Residential.
2. The development shall be consistent with the final site plan approved by the Plan Commission.
3. Final approval by the city engineer of the stormwater management plan including accommodating water flow from the Alabama Street extension.
4. Dedication of the necessary public right-of-way to complete the Alabama Pl / 12<sup>th</sup> Place road connection, with exact location/dimension as determined by the City.
5. Approval of the final utility layout and providing the necessary easements for Sturgeon Bay Utilities for any public sanitary sewer or water mains, and electrical services.
6. Approval of final project designs by the Aesthetic Design & Site Plan Review Board.
7. Record a certified survey map for the required property division.
8. Provide two separate names for the north and south group of apartments
- 9.

City Plan Commission  
By: David Ward Chr.

Introduced by Planning Zoning Administrator Sullivan-Robinson. The 68-unit multi-family housing development consists of 5-12-unit buildings that have access to Egg Harbor Rd and 2- 4-unit buildings with access to the northern end of the property on a new proposed road. The development plan fits with the comprehensive plan and direction of the City meeting workforce and affordable housing needs. Approval is need from the Aesthetic Design Board. The developer has agreed to dedicate for rad extension from Alabama to 12<sup>th</sup> Place. Bacon/ Gustafson to adopt. Carried.

Staats/Williams to read in title only the first reading of ordinance re: Rezoning from Multiple Family Residential (R-4), General Commercial (C-1), Single Family Residential (R-1) to Planned Unit Development (PUD) and shall be subject to the site plan and requirements. Carried.

#### RECOMMENDATION

We, the City Plan Commission, hereby recommend to approve the final Planned Unit Development for S.C Swiderski, LLC to develop a 26 unit multiple-family residential development on the former Sunset School property located at 827 N 8<sup>th</sup> Avenue subject to the following conditions.

1. Underlying zoning district shall be R-4 Multiple-Family Residential.
2. The development shall be consistent with the final site plan approved by the Plan Commission.
3. Final approval by the city engineer of the stormwater management plan
4. Final approval by Sturgeon Bay Utilities of the utility plans.
5. Approval by the Aesthetic Design & Site Plan Review Board

City Plan Commission  
By: David Ward, Chr.

Introduced by Community Development Director Olejniczak. There a approved and signed development agreement with S.C Swiderski. The development plans submitted are in line with the development agreement and match what the neighborhood and Plan Commission has requested. Mr. Sullivan-Robinson summarized the 26- unit development will consist of 2-8-unit 2 story building with attached garages off Erie St and 4- and 6-unit single story attached buildings off 8<sup>th</sup> Ave. There were 2 changes to the plan, the visitor parking changed to a patio space and the driveways have been separated. The utility plan needs refining, Aesthetic Board approval and final storm water management plan needs approval. Courtney of S.C Swiderski noted the timeline of the project. Bids are in process for demolition, the Aesthetic Board approval in May and start date is on schedule for July. Reeths/ Wiederanders to adopt. Carried.

Gustafson/Williams to read in title only the first reading of ordinance re: Rezoning from Single -Family Residential (R-2) to Planned Unit Development (PUD) subject to site plan and requirements. Carried.

City Administrator VanLieshout gave his report.

Mayor Ward gave his report.

Nault/Wiederanders to adjourn. Carried. The meeting adjourned at 6:45 p.m.

Respectfully submitted,



Tricia Metzger  
Office Assistant II

**COMMUNITY PROTECTION & SERVICES COMMITTEE**  
**February 3, 2022**

A meeting of the Community Protection & Services Committee was called to order at 4:30 p.m. by Chairperson Williams in the Council Chambers, City Hall. **Roll Call:** Members Ald. Williams, Ald. Wiederanders and Ald. Reeths were present. Also present from City Departments were Chief Henry and Ms. Clarizio.

*Moved by Ald. Wiederanders, seconded by Ald. Williams to adopt the following agenda:*

1. Roll Call
2. Adoption of Agenda
3. Approval of Minutes from December 2, 2021
4. Public Comment on Agenda Items
5. Consideration of: Review of Ordinances for Possible Revision
  - a. Chapter 3 – Financial Procedure
  - b. Chapter 4 – Emergency Government
  - c. Chapter 10 – Orderly Conduct
6. Adjourn

*All Ayes. Carried.*

**Approval of Meeting Minutes**

*Moved by Ald. Wiederanders, seconded by Ald. Reeths to approve the December 2, 2021 minutes unless, upon review, changes are needed. Ald. Williams deemed the minutes acceptable. All Ayes. Carried.*

**Public Comment**

None.

**Chapter 3 - Financial Procedure**

When the ordinances in Chapter 3 of the Municipal Code were created, the City Treasurer and City Clerk positions were combined. The positions have since been separated. Some of the ordinances did not require change, but the ones that did were reviewed and cleaned up by staff. The following sections include: 3.01(1) and (2)-Preparation of Tax Roll and Tax Receipts; 3.035(1) and (2)(a)-Reimbursement of Expenses; 3.085(2)-Access to Public Records; and 3.09(1) and (2)-Disposition of Municipal Property and Remittance of Funds.

**3.01(1) and (2)-Preparation of Tax Roll and Tax Receipts**

*Moved by Ald. Wiederanders, seconded by Ald. Reeths to recommend the Common Council approve the changes to Section 3.01(1) and (2) of the City of Sturgeon Bay Municipal Code – Preparation of Tax Roll and Tax Receipts. All ayes. Carried.*

**3.035(1) and (2)(a)-Reimbursement of Expenses**

*Moved by Ald. Reeths, seconded by Ald. Wiederanders to recommend the Common Council approve the changes to Section 3.035(1) and (2)(a) of the City of Sturgeon Bay Municipal Code – Reimbursement of Expenses. All ayes. Carried.*

### **3.085(2)-Access to Public Records**

*Moved by Ald. Reeths, seconded by Ald. Wiederanders to recommend the Common Council approve the changes to Section 3.085(1) and (2) of the City of Sturgeon Bay Municipal Code – Access to Public Records. All ayes. Carried.*

### **3.09(1) and (2)-Disposition of Municipal Property and Remittance of Funds**

*Moved by Ald. Wiederanders, seconded by Ald. Reeths to hereby recommend the Common Council approve the changes to Section 3.09(1) and (2) of the City of Sturgeon Bay Municipal Code – Disposition of Municipal Property and Remittance of Funds. All ayes. Carried.*

### **Chapter 4 – Emergency Management**

This chapter is in regards to an ordinance of the Door County Board, which provides a county-municipal joint action emergency services plan of organization.

*Moved by Ald. Reeths, seconded by Ald. Wiederanders to recommend the Common Council approve the changes to Section 4.02 of the City of Sturgeon Bay Municipal Code – Appointment of Emergency Management Director as presented. All ayes. Carried.*

### **Chapter 10 – Orderly Conduct**

Chief Henry discussed additional sections and reworks of some chapters that are needed in order to issue more specific citations for violations. If there is no crime committed, citations for certain offenses are being issued under the blanket of "disorderly conduct." The police department would like to adopt ordinances in this chapter so that citations can be issued that fit the offense. The following are the proposed sections: 10.013 – Restriction on Facsimile Firearms; 10.014 – Restrictions on Laser Pointer; 10.16 – Obscene Literature; 10.115 – False Complaints of Police Misconduct; 10.22 – Public Assistance Fraud; and 10.066 – Crimes Against Public Peace, Order & Other Interests.

#### **10.013 – Restriction on Facsimile Firearms**

*Moved by Ald. Wiederanders, seconded by Ald. Reeths to approve Section 10.013 of the City of Sturgeon Bay Municipal Code – Restriction on Facsimile Firearms as presented, and refer it to the City Attorney for review. All ayes. Carried.*

#### **10.014 – Restrictions on Laser Pointer**

*Moved by Ald. Reeths, seconded by Ald. Wiederanders to approve Section 10.014 of the City of Sturgeon Bay Municipal Code – Restriction on Laser Pointers as presented, and refer it to the City Attorney for review. All ayes. Carried.*

#### **10.16 – Obscene Literature**

This ordinance is currently on the books, but it is unsure if it can be enforced. It will be reviewed and held over for the next meeting.

#### **10.115 – False Complaints of Police Misconduct**

*Moved by Ald. Reeths, seconded by Ald. Wiederanders to approve Section 10.115 of the City of Sturgeon Bay Municipal Code – False Complaints of Police Misconduct as presented, and refer it to the City Attorney for review. All ayes. Carried.*

**10.22 – Public Assistance Fraud**

*Moved by Ald. Wiederanders, seconded by Ald. Reeths to approve Section 10.22 of the City of Sturgeon Bay Municipal Code – Public Assistance Fraud as presented, and refer it to the City Attorney for review. All ayes. Carried.*

**10.066 – Crimes Against Public Peace, Order & Other Interests**

*Moved by Ald. Reeths, seconded by Ald. Wiederanders to approve Section 10.066 of the City of Sturgeon Bay Municipal Code – Crimes Against Public Peace, Order & Other Interests as presented, and refer it to the City Attorney for review. All ayes. Carried.*

*Moved by Ald. Reeths seconded by Ald. Wiederanders, to adjourn the meeting of the Community Protection Services Committee. All ayes. Carried. The meeting was adjourned at 5:10 p.m.*

Respectfully submitted,



Sarah Spude-Olson  
Police Department Office Manager



## **Zoning Board of Appeals Tuesday, March 22, 2022**

A meeting of the City of Sturgeon Bay Zoning Board of Appeals was called to order at 12:00 p.m. by Chairperson William Murrock in Council Chambers, City Hall, 421 Michigan Street.

**Roll call [#1]:** Members William Murrock, Dave Augustson, Nancy Schopf and Morgan Rusnak and alternate member Michael Marit were present. Members Bill Chaudoir was excused. Also present were Community Development Director Marty Olejniczak, Planner/Zoning Administrator Chris Sullivan-Robinson and Administrative Assistant Suzanne Miller.

**Adoption of Agenda [#2]:** Moved by Marit, seconded by Augustson to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from December 14, 2021.
4. Public Hearing: Petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C.
5. Consideration of: Petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C.
6. Adjourn.

All ayes. Motion carried.

**Approval of Minutes from December 14, 2021 [#3]:** Moved by Schopf, seconded by Rusnak to approve the minutes from December 14, 2021. All ayes. Motion carried.

**Public hearing [#4]:** Petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding (FBS) located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C. Chairperson Murrock opened the public hearing at 12:04 p.m.

Zoning Variance request read aloud by Miller.

Introduction given by Sullivan-Robinson described Fincantieri Bay Shipbuilding's (FBS) petition for two variances to accommodate construction of a 65' x 350' x 32' high machine shop along 3<sup>rd</sup> Avenue near the northeast corner of their property (350' along 3<sup>rd</sup> Ave. [east] & 65' along Florida St. [north]). Proposals show the building 2' off the north property line and 2' off the east property line. Property is zoned Heavy Industrial (I-2), which requires the building to have a 50' setback along 3<sup>rd</sup> Ave. and a 20' setback along Florida St. FBS is proposing a land swap along the north lot line with the City to allow the northward positioning needed to keep the building outside of the FEMA floodplain. Sullivan-Robinson instructed the Authority that to be granted the variance, FBS must: 1. Prove an unnecessary hardship 2. Identify physical property limitations that require the variance 3. Prove the variance would not negatively impact the public interest.

Sullivan-Robinson reported positives include elimination of areas of outside storage that encroach into City right-of-way, improved curb appeal, some additional green space, and a better-designed/looking building than some of FBS's existing structures. Negatives include the

undesirable 2-foot separation between the property line and an industrial building and the effects that pushing an industrial building close to the street may have on the aesthetics of 3<sup>rd</sup> Ave.

Also of concern is how much variance is needed from 3<sup>rd</sup> Ave based on the space FBS requires to reasonably access the graving dock/gantry crane area. He informed the Authority that approval of the variance can be subject to added conditions to address the aesthetics of the structure such as building materials, beautifying the frontage along 3<sup>rd</sup> Ave. and/or site clean-up items.

Jan Allman, Sr. V.P. for Public Affairs and Community Relations and Aaron Bley, Facilities Manager, both representing FBS and Stuart Johnson of A.C.E. Building Services were present.

Allman explained: 1.) The age and poor condition of the existing building, that does not meet code (no sprinkler system), they plan to replace. 2.) The importance of keeping the new building out of the flood plain 3.) The necessity of placing the building as proposed to allow continued efficient production and safe operation of the shipyard without limiting production. She reported they would not be able to operate due to limited space between the new building and the gantry crane if prohibited from moving the new building northward. She stated FBS will look at requests from the Authority regarding aesthetics. She described the land swap as a long sliver along the northside of the property of ~3,000sq.ft., presented a printed layout, and stated FBS already has equipment/materials and fencing in that area and has a high-level agreement with the City to make the swap. She stated there will be no additional fencing installed as the building will become the fence. Indoor production allowed via the new building will reduce noise, dust, and debris in the area. Allman reported the original beautification project (south of Iowa St.) will be installed in second quarter 2022.

Bley reported the new building will replace the old machine shop. Location of the building in relation to the graving dock/gantry crane is critical to move parts and materials, build ships and launch ships. He reported they have no second option and without the variance to relocate the building, the effect on production will be drastic. He reported boring results were very positive and bedrock was reached at 12 feet. The south end of the building will include the guard shack resulting in a facelift for the north entrance to FBS. Utility services are already inside the shipyard and conveniently located.

Johnson described the proposed pre-engineered metal building that will match the other new buildings in appearance.

Noralea Lautenbach of 632 No. 3<sup>rd</sup> Ave. spoke in favor of the variance as an improvement in appearance over the present "mess" and raised several concerns: 1.) The lack of parking on 3<sup>rd</sup> Ave. She and her immediate neighbors do not have parking on the street (east side) in front of their homes and the FBS workers are "nasty" when neighbors park on the west side of the street. 2.) There are no trees along the west side of 3<sup>rd</sup> Ave. in this area. 3.) Snow removal is problematic as plow deposits a great deal of snow on their side of the street and the sidewalk.

Chris Kellems of 120 Alabama St. spoke in favor of the proposal, especially improved dust control. She spoke of a missed opportunity for solar panels on the roof of new buildings and raised concern regarding seagull nesting on the roof.

No one spoke in opposition of the variance request and there were no letters of correspondence in favor of or against the variance request.

Allman responded FBS would look at snow removal issues, is willing to plant trees, is planning to

dispose of some of the items stored outside and will be using more inside storage. FBS has a sustainability program and are evaluating the use of solar. Brey reported the roofs are designed to support the weight of future solar panels and FBS participates in a seagull mitigation program with the DNR in the summer. The building must be 65 feet to accommodate the length of shafts and other components.

The public hearing was declared closed at 12:21 p.m.

**Consideration of petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C. [5]:**

Discussion: Authority members voiced support for the proposal as the area will be cleaned up and sound will be mitigated through indoor production. Augustson stated he would like to see more green space and maintain views of the yard. Augustson also stated: 1.) The building allows completion of Navy contracts, 2.) The flood plain and space limitations of the property leave no other options for placement, and 3.) The City and Utilities property to the north of the lot line provide adequate green space. Schopf stated support due to improved aesthetics in the area and the project supporting the economy of the City.

**Motion #1:** Augustson made a motion to approve the petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C, allowing FBS to construct a building encroaching the setback from the north lot line by 18 feet and allowing the structure's corner to be sited within two feet of the lot line. Second by Shopf. All ayes by roll call vote. Motion carried.

Discussion: Authority members discussed the size of the building and amount of area along 3<sup>rd</sup> Ave. available for green space.

**Motion #2:** Murrock made a motion to approve the petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C, allowing FBS to construct a building encroaching the setback from 3<sup>rd</sup> Avenue by 48 feet with the condition that FBS extend the current 3<sup>rd</sup> Avenue Beautification Project from its current termination at Iowa St. to the end of the FBS property at Florida St. Shopf seconded the motion. All ayes by roll call vote. Motion carried.

**Adjourn [#6]:** Motion to adjourn by Augustson, seconded by Shopf. All ayes. Motion carried. The meeting adjourned at 1:05 p.m.

Respectfully submitted,

  
Suzanne Miller  
Administrative Assistant

PERSONNEL COMMITTEE  
March 28, 2022

A meeting of the Personnel Committee was called to order by Chair Williams at 1:00 p.m. in the Council Chambers. Roll call: Members Williams, Gustafson, and Statz were present.

Gustafson/Statz to adopt the following agenda:

1. Call to order.
2. Roll call.
3. Adoption of agenda.
4. Convene in closed session in accordance with the following exemption:  
Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility. Wis. Stats. 19.85(1)(c)  
Consideration of: City Administrator Performance evaluation.  
Move to reconvene in open session to take formal action upon preceding subject of closed session, if appropriate; or to conduct discussion or give further consideration where the subject is not appropriate for closed session consideration.
5. Consideration of: 2022 Wages.
6. Adjourn.

Carried.

After the Chair announced the statutory basis, Statz/Gustafson to convene in closed session in accordance with the following exemption: Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility. Wis. Stats. 19.85(1)(c) Consideration of: City Administrator Performance Evaluation. Move to reconvene in open session to take formal action upon preceding subject of closed session, if appropriate; or to conduct discussion or give further consideration where the subject is not appropriate for closed session consideration. Carried.

The Council convened in open session at 1:35 p.m.

City Administrator VanLieshout summarized the performance evaluation process and potential step increases for administrative employees based on the 2020 wages survey. Discussion took place regarding the Planning/Zoning Administrator position and the Administrative Assistant to the City Administrator position. Williams/Gustafson to allow the City Administrator to conduct a performance evaluation on the part-time admin assistant position and increase up to and including step 13 based on the evaluation. Carried. Statz/Gustafson to recommend to the Common Council to approve the proposed 2022 wage step recommendations for the following positions:

<b>Position</b>	<b>2022</b>	
	<b>Rec Step</b>	<b>Rec Wage</b>
City Administrator	14	\$116,376.00
Finance Director	19	\$105,186.00
Police Chief	17	\$104,204.00
Community Development Director	24	\$103,388.00
City Engineer	17	\$101,241.00
City Clerk/HR Director	22	\$93,780.00
Municipal Services Director	8	\$90,153.00
Assistant Fire Chief	17	\$88,859.00

Engineering Technician	23	\$79,153.00
Planner/Zoning Admin	8	\$59,876.00
Municipal Services Secretary	18	\$24.29/hr
Office Assistant II	8	\$22.92/hr
Police Assistant	15	\$22.70/hr
Admin Assistant to City Admin	9	\$20.51/hr

Carried.

Gustafson/Statz to adjourn. Carried. The meeting adjourned at 1:52 p.m.

Respectfully submitted,



Stephanie L. Reinhardt  
City Clerk/HR Director

**Zoning Board of Appeals  
March 29, 2022**

The City of Sturgeon Bay Zoning Board of Appeals was called to order at 12:01 p.m. by Chairperson William Murrock in Council Chambers, City Hall, 421 Michigan Street.

**Roll call:** Members William Murrock, Nancy Schopf, Morgan Rusnak and Alternate Michael Marit were present. Members Dave Augustson and Bill Chaudoir were excused. Also present were Community Development Director Marty Olejniczak, Planner/Zoning Administrator Chris Sullivan-Robinson and Deputy Clerk/Treasurer Laurie Spittlemeister.

**Adoption of agenda:** Moved by Ms. Rusnak, seconded by Mr. Murrock to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Public Hearing: Petition for variance from Section 20.27 (1), 20.31(4)(c), and 27.13(4)(c)(5) of the Municipal Code for Richard Robinson located at 911 Green Bay Rd; parcel #281-66-13000101.
4. Consideration of: Petition for variance from Section 20.27 (1), 20.31(4)(c), and 27.13(4)(c)(5) of the Municipal Code for Richard Robinson located at 911 Green Bay Rd; parcel #281-66-13000101.
5. Adjourn.

All ayes. Carried.

**Public hearing: Petition for variance from Section 20.29(2), 20.31(4)(c), and 27.13(4)(c)(5) of the Municipal Code for Richard Robinson located at 911 Green Bay Rd; parcel #281-66-13000101:** Chairperson Murrock opened the public hearing at 12:05 p.m.

Mr. Sullivan-Robinson introduced the item for public hearing. Mr. Robinson is looking to redevelop the property by razing the six buildings currently on the lot, constructing a new building and redoing the parking lot. The applicant site plan shows a total impervious ratio of 89.22% for the northerly parcel. Ordinance from section 20.27(1) requires the combination of all impervious surfaces not to exceed 70% for parcels zoned General commercial (C-1).

Ordinance 20.31(4)(c) for off-street parking requires a 5-foot setback to allow for safety and separation. The current site plan has a 2-foot setback at the closest point and would affect 2 parking stalls.

In regards to ordinance 27.13(4)(c)(5), this section requires ground signs to have at least 5 feet of separation from the street right-of-way. The purpose of this ordinance is to provide safety and aesthetics. It is up to the applicant to prove unnecessary hardship, property limitations, and that the variance would not negatively impact the public interest.

The expected usage of this building would be office space/retail and restaurant. The anchor tenant is dictating the number of spaces for the parking lot.

Mr. Olejniczak added that if the sign variance is denied, it would need to be pushed further to the west towards Comfort Inn. They would appreciate the sign to be placed according to the site plan and not the ordinance. Staff members are in favor of splitting the lot in two.

Ms. Schopf asked if the sign would block traffic views.

Mr. Olejniczak responded it would not.

Mr. Murrock asked who is the current owner of the property.

Mr. Olejniczak stated that it is Jennifer Woldt and sale of the property is contingent on approval.

Richard Robinson, 3405 Hawthorne Blvd, St Louis, MO, explained he and his partners currently have Starbuck's as the anchor tenant, who is dictating the number of spaces for the parking lot. The parking stalls run straight across and the impacted stalls from the variance would be the same distance from the highway as the others. If these two stalls are not granted, it would complicate that row of parking.

The sign on the site plan will require moving a utility pole. The proposed sign placement would provide safety for installation and viewing.

Ms. Schopf inquired if there was a line of cars will there still be enough room to drive through and around.

Mr. Robinson responded there would.

Ms. Schopf asked mentioned that intersection is already busy from people entering Walgreens. Are Walgreens satisfied with the additional traffic.

Mr. Robinson stated Walgreens does not have an issue.

Mr. Murrock stated that there is a main utility pole at that intersection.

Mr. Robinson mentioned that it is a main transmission pole. That pole is being moved to the corner of the two lots and another pole will be installed to withstand the utility lines.

Ms. Rusnak inquired if the other two tenants will need additional signs.

Mr. Robinson replied that there will be one pole for the sign and the other tenants will be listed below Starbucks.

Renee Borkovitz, Baudhuin Engineering CAD Draftsman, 312 N 5<sup>th</sup> Ave, stated that the percentage of impervious surface for both lots is 74%. Additional efforts were made to provide more green space on the site plan. Storm water will be collected and stored underground in the basement of the stores. Overflow will be drain to existing basins in the streets.

Mr. Murrock asked what would happen if the basement fills to maximum capacity.

Mr. Robinson responded water would be outlet to the City's stormwater system.



Mr. Murrock inquired if curb and gutter will be all around the parking lot.

Mr. Robinson replied that there would.

Mr. Murrock questioned the parking lot grading plan and asked if impervious pavers were considered.

Dave Phillips, Portside Builders Sales Rep, stated that they do not work as well for the space provided. Baudhuin Engineering came up with the underground water retention in the basement. The plan is costly but effective. The storm water run off is kept on site. With the amount of green space in front of the building and parking lot, it reduces the percentage calculation of impervious surface. Many sites in the area are already over the percentage of impervious surface allowed by ordinance.

The building is simple, however Starbucks is dictating what the building will look like. The design meets their wants and needs. The building will be on a slab on frost wall.

Mr. Murrock asked for clarification on the percentage of impervious surface.

Ms. Borkovitz replied the entire parcel will be 74.6%, north parcel will be 89.22% and down to 81.3% with landscaping.

Mr. Robinson further stated that Starbucks is requiring a certain amount of parking spaces based on building size. A minimum of 42 spaces were required for the three tenants.

Mr. Murrock inquired where the snow will be placed during the winter months.

Mr. Robinson answered that the snow would be piled in a couple parking stalls and may need to be removed.

Mr. Murrock commented that the snow pile at Walgreens is in parking stalls next to the highway, which obstructs the view for traffic.

Mr. Robinson responded that is a good point and will have the snow piles placed so they do not interfere with traffic views.

Mark Paulsen, 836 S Duluth Ave spoke in favor of the development. He believes they will be a good neighbor and the redevelopment is an attractive building. Design to move the driveway to the north is beneficial for traffic flow.

There were no letters of correspondence in support of the variance requests.

No one spoke in opposition of the variance requests.

There were no letters of correspondence in opposition of the variance requests.

The public hearing was declared closed at 12:51 p.m.

**Consideration of: Petition for variance from Section 20.29(2), 20.31(4)(c), and 27.13(4)(c)(5) of the Municipal Code for Richard Robinson located at 911 Green Bay Rd; parcel #281-66-13000101:**

Moved by Ms. Schopf, seconded by Ms. Rusnak to approve the variance from Section 20.29(2) as presented. Ms. Schopf's reasons are that they have done everything possible for the site to reduce impervious surface. Ms. Rusnak agreed and added she appreciates the appearance of green space. Roll call: all ayes. Carried.

Moved by Ms. Schopf, seconded by Mr. Marit to approve the variance from Section 20.31(4)(c) as presented. Ms. Schopf's reasons are there is space provided and enough green space to compensate the number of parking spaces. Mr. Marit agrees with the reasons. Roll call: all ayes. Carried.

Moved by Mr. Murrock, seconded by Ms. Rusnak to approve the variance from Section 27.13(4)(c)(5) as presented. Mr. Murrock's reasons are the sign is more conforming and further away from the highway than the existing sign on the property. Ms. Rusnak agrees with the reasons. Roll call: all ayes. Carried.

Moved by Ms. Schopf, seconded by Ms. Rusnak to adjourn. All ayes. Carried. The meeting adjourned at 12:58 p.m.

Respectfully submitted,



Laurie Spittlemeister,  
Deputy Clerk/Treasurer

**JOINT REVIEW BOARD**

Tuesday, March 29, 2022

A meeting of the Joint Review Board was called to order at 1:03 p.m. by City Administrator, Joshua VanLieshout, in the Council Chambers, City Hall, 421 Michigan Street.

**Roll call:** Members present were City Representative Joshua VanLieshout, Door County Representative Ken Pabich, NWTC Representative Bob Mathews, Sturgeon Bay Schools Representative Mike Stephani. Also present were Community Development Director Marty Olejniczak, Robert W Baird Representative Brian Ruechel, and Finance Director/City Treasurer Valerie Clarizio.

**Agenda:**

1. Call to Order.
2. Roll Call.
3. Appointment of Chairperson.
4. Appointment of Public Member.
5. Discuss Role of the Joint Review Board
6. Overview of purpose and description of the Tax Incremental District No.6 being created.
7. Set next meeting date for formal review and action on Tax Incremental District No.6.
8. Adjourn.

**Appointment of Chairperson:** Moved by Mr. Pabich seconded by Mr. Stephani to nominate Joshua VanLieshout as Chairperson of the Joint Review Board. Carried.

**Appointment of Public Member:**

Moved by Mr. Pabich, seconded by Mr. Stephani to nominate Bill Chaudoir as the public member of the Joint Review Board. Carried. Mr. Chaudoir then joined the meeting.

**Discuss Role of the Joint Review Board:** Community Development Director Olejniczak explained that by law the Joint Review Board is tasked with reviewing project plans and boundaries. Brian Ruechel, Robert W. Baird, went through the process to create a TID which includes a public hearing before the Plan Commission, the passage of a resolution by the Plan Commission which is then forwarded to the Council for approval, and then final action by the Joint Review Board. Mr. Ruechel stated the draft project plan, which includes a proforma, meets the statutory requirements. The proposed TID is a mixed use TID with a 20 life and per the financial proforma the TID could support additional projects.

**Overview of purpose and description of the Tax Incremental District No.6 being created:**

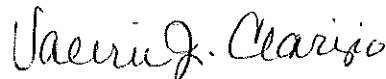
Community Development Director Olejniczak provided an overview of the proposed TID 6. The district flows along Egg Harbor Road. Discussions for a TID in this area date back to 2005. The plan includes infill development, extending Alabama Place to connect to 12<sup>th</sup> Place, storm water management, infrastructure improvements for Colorado Place, and several other improvements within the boundaries. The proposed TID 6 meets the percentage requirements for a mixed use TID which includes commercial, residential, and industrial uses.

The board discussed expanding the boundaries to include other nearby areas and properties that could use improvements such as the intersection of Egg Harbor Road and 14<sup>th</sup> Avenue, the old Hardees site located at the Egg Harbor Road and Georgia Street intersection, parcels at Georgia Street and 14<sup>th</sup> Avenue, and a road connection from Bonnie View Drive to Egg Harbor Road. The board also discussed the half-mile rule being that qualifying improvements within a half mile of the TID boundaries could be made using TID dollars. Mr. VanLieshout mentioned that if the boundary was extended further south, the school could be benefited with improvements to the athletic complex.

**The next meeting date is planned for April 26, 2022 at 1:00 pm in the Council Chambers, City Hall. However, in the event there is no Zoning Board of Appeals meeting on this date the JRB will meet at 12:30 p.m.**

**Adjourn:** Moved by Mr. Pabich, seconded by Mr. Stephani to adjourn. Carried. The meeting adjourned at 1:25 p.m.

Respectfully submitted,

A handwritten signature in cursive script that reads "Valerie J. Clarizio".

Valerie J. Clarizio  
Finance Director/City Treasurer

**FINANCE/PURCHASING & BUILDING COMMITTEE**  
**March 29, 202**

A meeting of the Finance/Purchasing & Building Committee was called to order at 4:00 pm by Chairperson Bacon in the Council Chambers, City Hall. Roll call: Alderpersons Bacon, Wiederanders and Williams were present. Also present: Mayor David Ward, City Administrator VanLieshout, City Treasurer/Finance Director Clarizio, Community Development Director Olejniczak, Sturgeon Bay Utility General Manager Jim Stawicki and Deputy Clerk/Treasurer Spittlemeister.

A motion was made by Alderperson Williams, seconded by Alderperson Wiederanders to adopt the following agenda.

1. Roll call.
2. Adoption of agenda.
3. Public comment on agenda items and other issues related to finance & purchasing.
4. Consideration of: Offer to Swap Property – Fincantieri Bay Shipbuilding/SBU Well #3.
5. Consideration of: Extension of Tax Increment District #1 for Affordable Housing.
6. Consideration of: Write-off of 2020 Delinquent Personal Property Tax Accounts.
7. Consideration of: Technology Upgrades for the Community Room.
8. Consideration of: Assignment of Lease for Sarter Marine Towing to Great Lakes Towing.
9. Convene in closed session in accordance with the following exemptions:
  - Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. Wis. Stats. 19.85(1)(e)
  - a. Consideration of: Assignment of Lease from Sarter Marine Towing to Great Lakes Towing.

Move to reconvene in open session to take formal action upon preceding subject of closed session, if appropriate; or to conduct discussion or give further consideration where the subject is not appropriate for closed session consideration. The Committee may adjourn in closed session.
10. Review bills.
11. Adjourn.

Carried.

Chris Kellems, 120 Alabama Street spoke during public comment on agenda items and other issues related to finance & purchasing.

Consideration of: Offer to Swap Property – Fincantieri Bay Shipbuilding/SBU Well #3:

Community Development Director Olejniczak introduced the offer to swap property between Fincantieri Bay Shipbuilding and Sturgeon Bay Utilities. Fincantieri is constructing a new building that will be tight to the lot line. After survey work was completed, it was discovered that Fincantieri's fence is over the actual lot line. To remedy this, proposal for a land swap of property was suggested. The proposed land that will be swapped is currently owned by the City. The real estate swap is the same square footage for both. Fincantieri also leases air rights from Sturgeon Bay Utilities over a portion of the well site, which will remain in effect.

Moved by Alderperson Williams, seconded by Alderperson Wiederanders to recommend to Common Council and approve the land swap with Fincantieri Bay Shipbuilding for Well #3 site. Moved by Alderperson Williams, seconded by Alderperson Wiederanders to amend motion to transfer formal ownership of the Well #3 to Sturgeon Bay Utilities. Amendment carried. Motion as amended carried.

Consideration of: Extension of Tax Increment District #1 for Affordable Housing:

Mr. Olejniczak explained that Tax Increment District #1 has recovered all of its expenditures and debt, but has remained open as a donor district for TID #2. This donor relationship is no longer needed and TID #1 can now close. Due to a change in Wisconsin law a few years ago, a tax district can be extended by one

year to use 75 percent of the tax revenue to benefit affordable housing in Sturgeon Bay. The extension for TID #1 will not hinder the creation of TID #5 and TID #6.

Moved by Alderperson Wiederanders, seconded by Mr. Williams to adopt the resolution to extend TID #1 by one year for affordable housing and forward to Common Council. Carried.

Consideration of: Write-off of 2020 Delinquent Personal Property Tax Accounts:

City Treasurer/Finance Director Clarizio presented the list of delinquent personal property tax accounts for 2020 due in 2021 for a total amount of \$352.91. Each account receives multiple notices, some of which are certified. Accounts considered for write-off are those that cannot be collect because some are no longer in business or the dollar amount to pursue collection far exceeds the proposed write-off amount. Per state statute, accounts that qualify will also have a chargeback to the relevant taxing jurisdictions.

Moved by Alderperson Williams, seconded by Alderperson Wiederanders to recommend to Common Council to write-off the following 2020 delinquent personal property taxes in the amount of \$352.91.

Write-Off List

<u>Tax Account #</u>	<u>Name</u>	<u>Proposed Write-Off Amount</u>
281-0193	May Tax Service	\$ .32
281-0946	Super 8 Motel	\$ 36.31
281-1118	Stellar Fitness DBA Anytime Fitness	\$ 2.26
281-1159	Eldercare Innovations, LLC	\$ 33.81
281-1160	Eldercare Innovations, LLC	\$ 46.95
281-1161	Eldercare Innovations, LLC	\$ 40.37
281-1317	Jody Jessup DBA Nutrition & Consulting	\$ 9.39
281-1351	Pasza, LLC	\$ .30
281-1480	Results Personal Training, LLC	\$ 89.19
281-1529	Robert A. Paul	\$ 23.48
281-1533	Nutmeg & Spice	\$ 23.48
281-1546	Accent Health	\$ 16.08
281-1603	Audry Milbach DBA Kims Boutique	\$ 2.81
281-1605	Wayne Fredrich DBA DC Graphics 7 Gifts	\$ 28.16
	<b>TOTAL</b>	<b>\$352.91</b>

Carried.

Consideration of: Technology Upgrades for the Community Room:

City Administrator VanLieshout explained the Community Room at City Hall is in need of technology upgrades. The City not only utilizes the room, but other outside groups do as well. Jason Mann from Mann Communications was asked to get an estimate from Camera Corner for the upgrades, which costs came in over \$56,000. This item will also need to be recommended by Community Protection & Services Committee prior to Common Council approval. If the Committee would like the work to be done in 2022, a ¾ vote by the Common Council is needed as the item is not budgeted. Options include use of Cable TV funds and sole source purchasing from Camera Corner in 2022, use Cable TV funds and go through bidding process, include in the 2023 budget or deny upgrade.

Moved by Alderperson Williams, seconded by Alderperson Wiederanders to recommend to Common Council to approve the proposed technology upgrades to the Community Room for implementation in 2022 using Cable TV funds and sole source purchasing from Camera Corner. Carried.

Consideration of: Assignment of Lease from Sarter Marine Towing to Great lakes Towing:

City Administrator VanLieshout stated that Julie Sarter, owner of Sarter Marine Towing, has sold the towing business to Great Lakes Towing. The sale closing took place on March 23, 2022. Great Lakes Towing has asked that the dockwall lease between the City of Sturgeon Bay and Sarter Marine Towing be assigned to them. As part of the agreement of sale, Great Lakes Towing has agreed to employ all Sarter Marine Towing full and part time employees and the purchase of two Sarter Marine Towing boats. Discussion took

place in regards to the site being used appropriately by the new tug company, concern that towing rates for businesses such as Fincantieri Bay Shipbuilding would increase, protection of the waterfront, concern for addition of an accessory building and the installation of a fence along the waterfront.

Moved by Alderperson Williams, seconded by Alderperson Wiederander to refer back to staff to have conversations and finalize further negotiation with Great Lakes Towing to address fence along the waterfront, accessory building, towing rates, protection of waterfront with appearance and the allowable number of tugs to be moored. Carried.

The Committee did not enter into closed session.

Review bills

Moved by Alderperson Wiederanders, seconded by Alderperson Williams to approve the bills as presented and forward to the Common Council for payment. Carried.

Moved by Alderperson Williams, seconded by Alderperson Wiederanders to adjourn. Carried. The meeting adjourned at 4:51 pm.

Respectfully submitted,



Laurie Spittlemeister  
Deputy Clerk/Treasurer

## CITY PLAN COMMISSION MINUTES March 30, 2022

A meeting of the City Plan Commission was called to order at 6:00p.m. on March 30th, 2022, by Chairperson David J. Ward in the Council Chambers, City Hall, 421 Michigan Street, Sturgeon Bay.

**Roll Call (#1):** Members present: David Ward, Helen Bacon, Dennis Statz, Mark Holey, Debbie Kiedrowski, and Kirsten Reeths were present. Jeff Norland was excused. Staff present were Community Development Director Marty Olejniczak, Zoning and Planning Administrator Christopher Sullivan-Robinson, and Administrative Assistant Suzanne Miller.

**Agenda (#2):** Motion by Bacon and second by Holey to accept the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from February 16, 2022.
4. Public comment on non-agenda Plan Commission related items.
5. Zoning map amendment from Commercial/Light manufacturing (C-3) to General Commercial (C-1) for the following parcels:
  - 281-12-06010001, 217 Green Bay Rd, Midwest Wire Products Inc.
  - 281-62-10000102A, 1121-1125 Egg Harbor Rd, Eric Hoogland Ltd Partnership
  - 281-62-10000102B, 1201 Egg Harbor Rd, River Valley One LLC
  - 281-62-11000113 (Portion of), 916 N 14<sup>th</sup> Ave, County of Door
  - 281-62-15000104A, 1023 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
  - 281-62-15000104B, 1033 Egg Harbor Rd, PT Tower LLC
  - 281-62-15000105, 911 N 14<sup>th</sup> Ave, City of Sturgeon Bay
  - 281-62-15000106, 835 N 14<sup>th</sup> Ave, City of Sturgeon Bay
  - 281-62-15000111A, 1019 Egg Harbor Rd, 1023 Egg Harbor Rd LLC
  - 281-62-15000113, 514 N 12<sup>th</sup> Ave, Premier Sturgeon Bay LLC
  - 281-62-15000116, 664 N 12<sup>th</sup> Ave, Steven C Ehlers
  - 281-62-15000117, 606 N 12<sup>th</sup> Ave, Cornerstone Solutions Inc.
  - 281-62-15000123, 636 N 12<sup>th</sup> Ave, S&B Green Bay Investments LLP
  - 281-62-15000124, 620 N 12<sup>th</sup> Ave, Sturgeon Bay Community Church Inc.
  - 281-64-59000117A, Midwest Wire Products Inc.
  - 281-64-77000300A, 245 E Vine St, Skipper Properties LLC
  - 281-66-13000109 (Portion of), 941-951 S Duluth Ave, Phill Mart of Sturgeon Bay
  - 281-66-13000110 (Portion of), 919 S Duluth Ave, Randal L Sahs
    - a. Presentation
    - b. Public Hearing
    - c. Consideration/Recommendation (*Note: The Plan Commission will not make a recommendation at this meeting, unless a motion is made and passed by ¾ of the members present to act on the request at this meeting.*)
6. Zoning map amendment from Commercial/Light manufacturing (C-3) to Light Industrial (I-1) for parcel 281-64-59000124C, 615 S. Lansing Ave owned by Midwest Wire Products Inc.:
  - a. Presentation
  - b. Public Hearing
  - c. Consideration/Recommendation (*Note: The Plan Commission will not make a recommendation at this meeting, unless a motion is made and passed by ¾ of the members present to act on the request at this meeting.*)
7. Project plan and boundaries for Tax Incremental District No. 6:
  - a. Presentation
  - b. Public Hearing
  - c. Consideration



8. Consideration of: Combined Preliminary/Final Planned Unit Development for a 68-unit multiple-family residential development proposed by Cherry Point Investments, LLC for property located at 1048 Egg Harbor Road and the rear portion of 1116 Egg Harbor Road.
9. Consideration of: Final Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8<sup>th</sup> Avenue.
10. Consideration of: Conceptual Planned Unit Development for Premier Real Estate (Pre-3) for a 96-unit apartment complex located off S. Duluth Ave immediately east of Target; Parcel #281-66-12001605.
11. Adjourn.

**Approval of minutes from February 16, 2022 (#3):** Motion by Kiedrowski and second by Reeths to approve the minutes from February 16, 2022. All ayes. Motion carried.

**Public Comment on non-agenda Plan Commission related items (#4):** No citizens presented for public comment.

**Zoning map amendment from Commercial/Light manufacturing (C-3) to General Commercial (C-1) for the 18 parcels described in the fifth item of the agenda included on page 1 of this document (#5):**

**Presentation:** List of parcels read aloud by Ward. Olejniczak stated this is the 3<sup>rd</sup> presentation of this information to the Commission. The amendment would eliminate the redundant Commercial/Light Manufacturing (C-3) district as it is identical to General Commercial (C-1). Current C-3 properties must be rezoned or they will be part of a district that no longer exists. Sullivan-Robinson reported all calls fielded on this issue were in support.

**Public Hearing:** No citizens presented to speak.

**Consideration:** Motion by Statz and second by Kiedrowski to act on this request. No discussion. All ayes. Motion carried.

Motion by Holey and second by Bacon to make a recommendation to the Common Council to amend the zoning map from Commercial/Light manufacturing (C-3) to General Commercial (C-1) for all 18 parcels listed in the public hearing notice. All ayes. Motion carried.

**Zoning map amendment from Commercial/Light manufacturing (C-3) to Light Industrial (I-1) for parcel 281-64-59000124C, 615 S. Lansing Ave owned by Midwest Wire Products Inc.: (#6):**

**Presentation:** Olejniczak described a proposed zoning map amendment addressing a manufacturing facility, currently zoned Commercial/Light manufacturing (C-3), that requires Light Industrial (I-1) zoning for an expansion plan that will allow the manufacturer to grow.

**Public Hearing:** No citizens presented to speak.

**Consideration/Recommendation:** Motion by Holey and second by Bacon to act on this request. No discussion. All ayes. Motion carried.

Motion by Reeths and second by Kiedrowski to make a recommendation to the Common Council to amend the zoning map from Commercial/Light manufacturing (C-3) to Light Industrial (I-1) for parcel 281-64-59000124C, 615 S. Lansing Ave owned by Midwest Wire Products Inc. All ayes. Motion carried.

### **Project plan and boundaries for Tax Incremental District (TID) No. 6 (#7):**

**Presentation:** Olejniczak explained the City hired Robert W. Baird & Co. to prepare a Project Plan for the proposed Tax Incremental District No. 6 and the Commission is asked to act upon a formal resolution to create the TID to promote new and redevelopment within the Egg Harbor Rd. region. Public hearing and adoption of separate resolutions by City Plan Commission, Common Council, and Joint Review Board are required. The proposed resolution for the Plan Commission was included in the agenda materials. He stated the Joint Review Board met on March 29, 2022 and response was favorable, though the Board may wish to add street improvements. The City is not required to complete the projects listed in the current project plan, which can be amended.

Brian Reuchel of R.W. Baird described the Project Plan as including a financial cash proforma that shows a 20-year plan for a mixed-use district projected to be successful and close within the planned 20 years or earlier. Individual projects in the District and the dollar amounts are listed in the Plan. Boundary amendments to the District are limited to four, but specific projects can be added over time through Plan amendments.

Commission concerns were: 1) A beautification project to make Egg Harbor Road more closely resemble downtown in landscaping and signage be included. Olejniczak stated that could be incorporated into the Plan prior to its presentation at Common Council on April 19, 2022 and stated improvements within a ½ mile of the District can be added to the Plan if the improvement is related to the District. 2) Incentives for homeowners for exterior improvements be included. Ward stated such incentives were not right for Egg Harbor Rd., though staff could recommend incentives for improvements for existing businesses in this TID to be presented to the Joint Review Board.

### **Public Hearing:**

Nissa Norton of 945 Bonnie View Drive stated the family was not able to develop the Colorado Place lots they own jointly due to the expense of development (sewer/water) and they are in favor of the project.

Miller read a letter from Collin Jeanquart of Doco Loco, LLC who stated he owns properties within the proposed TID and is in favor of the project.

**Consideration:** Motion by Bacon and second by Holey approving TID No. 6 as presented. All ayes. Motion carried.

### **Consideration of: Combined Preliminary/Final Planned Unit Development for a 68-unit multiple-family residential development proposed by Cherry Point Investments, LLC for property located at 1048 Egg Harbor Road and the rear portion of 1116 Egg Harbor Road (#8):**

Sullivan-Robinson presented the changes requested by the Commission on February 16, 2022 and now included in the project designs: 1.) No agreement was reached between Cherry Point Investments and the owners of neighboring Tall Pines Estates regarding shared driveway. Proposed plan now shows a separate driveway. 2.) Access is divided into two sections. South section connects to Egg Harbor Rd. and serves Cherry Tree Terrace (48 units). North section connects to Alabama and 12th Pl. and serves Apple Tree Terrace (20 units). City Engineer and Fire Chief approved this plan. 3.) No green space was added as site is 50% green space, but playground is added next to gazebo area. 4.) Total number of units is 68 rather than 70. 5.) Final engineering regarding run off by the new road is not complete, but is under review by Baudhuin, Inc. Approval of the project is contingent upon approval of water flow analysis and final storm water management plan by City Engineer. 6.) Alabama St. extension has 15ft. separation from neighboring homes and will be sunken to create a berm where trees will be planted. 7.) SBU provided an alternative plan for sewer and water at the request of Fire Chief to allow improved access to hydrants and water meter closets. 8.) A strip of evergreens is shown along the west side of the site. Landscape plan must be approved by Aesthetic Design and Site Plan Review Board.

Developers presented a new blue and white color scheme. Commissioners questioned whether there will be a sidewalk along the west of the site to connect Alabama Pl. to Egg Harbor Rd. and responded positively to the color scheme and the step-down placement of the buildings to match the elevation changes from west to east on the site.

Staff recommends approval of the PUD contingent upon approval of water flow analysis and final storm water management, approval by Aesthetic Design Board and provision of a certified survey map.

Letter received from City resident Chesla Anschutz dated March 4, 2022 was included in agenda packet and discussed. Anschutz requests the Commission consider: 1.) Pedestrian access points to the development aside from the driveways and access to the west property line of Cherry Point Mall. 2.) Provision of electric vehicle charging stations in this and future developments. 3.) Shared driveway and cul de sac as entrance to both the proposed development and Tall Pines Estates for use by school bus. Olejniczak stated the property between the proposed development and Cherry Point Mall is private and contains a berm and utilities. Staff is unable to address access to private property. Ward requested staff discuss the issue with the owners of Cherry Point Mall.

**Consideration:** Motion by Bacon to make a recommendation to Common Council to approve the Combined Preliminary/Final Planned Unit Development for a 68-unit multiple-family residential development proposed by Cherry Point Investments, LLC for property located at 1048 Egg Harbor Road and the rear portion of 1116 Egg Harbor Road with the following conditions: 1.) Underlying zoning district shall be R-4 Multiple-Family Residential. 2.) the development shall be consistent with the final site plan approved by the Plan Commission. 3.) Final approval by the City Engineer of the stormwater management plan including accommodating water flow from the Alabama St. extension. 4.) Dedication of the necessary public right-of-way to complete the Alabama Pl./12<sup>th</sup> Pl. road connection, with exact location/dimension as determined by the City. 5.) Approval of the final utility layout and providing the necessary easements for Sturgeon Bay Utilities for any public sanitary sewer or water mains, and the electrical services. 6.) Approval of final project designs by the Aesthetic Design & Site Plan Review Board. 7.) Record a certified survey map for the required property division. 8.) Provide two separate names for the north and south group of apartments.

**Consideration of: Final Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8th Avenue (#9):**

The PUD project includes 26 apartments in two 8-unit buildings, a 6-unit building and a 4-unit building, all with attached garages and was previously reviewed by the Commission for the Development Agreement. Sullivan-Robinson reported the City requested the driveways be redrawn and the visitor parking area be removed/revised and possibly converted to a patio space. Sturgeon Bay Utilities requests revision of the sewer and water service plan. Fire Chief determined an on-site fire hydrant is not needed. Staff recommends approval of the final PUD with contingencies: 1.) A revised utility plan meeting the requirements of SBU and SBFD is provided. 2.) Approval by Aesthetic Design and Site Plan Review Board. 3.) Approval of final stormwater management plan by City Engineer.

Jacqui McElroy and Madelyn Check of S.C. Swiderski presented updated civil plans which include: 1.) Separated driveways at Bedford buildings will have buffers and landscaping between the units. 2.) Patio space for gathering/grilling will be installed where the visitor parking was eliminated. 3.) Facade of Bedford garages is enhanced. 4.) Cedar privacy fencing added. 5.) Enhanced back of Huntington units. 6.) Raised garden beds added.

The Commissioners raised the following concerns: 1.) Communal patio is too close to 8th Ave. and might be moved back toward the center of the development. McElroy stated relocation would require revision of the civil plan. 2.) Timeline. McElroy responded demolition is planned at the end of May, but demolition work must go out for bid due to City involvement in the project. 3.) Cedar trees shown in landscape plan will get very large. Deciduous trees were recommended.

Olejniczak stated the zoning district is currently Single-Family (R-2). The change to Multi-Family (R-4) makes sense given the shape of the parcel. Though staff recommends R-4, the underlying district is determined by Common Council.

**Consideration:** Motion by Holey and second by Statz to recommend the Common Council approve the final Planned Unit Development for a 26-unit multiple-family residential development proposed by S.C. Swiderski for the former Sunset School property located at 827 N. 8<sup>th</sup> Avenue subject to 1.) Underlying zoning district shall be R-4 Multiple-Family Residential. 2.) The development shall be consistent with the final site plan approved by the Plan Commission. 3.) Final approval by the City Engineer of the stormwater management plan. 4.) Final approval by Sturgeon Bay Utilities of the utility plans. 5.) Approval by the Aesthetic Design & Site Plan Review Board. All Ayes. Motion Carried.

**Consideration of: Conceptual Planned Unit Development (PUD) for Premier Real Estate (Pre-3) for a 96-unit apartment complex located off S. Duluth Ave immediately east of Target; Parcel #281-66-12001605 (#10):**

Olejniczak introduced a conceptual PUD for 26 apartments on a 12.6-acre parcel off S. Duluth Ave. for which the Common Council previously approved some development incentives. Applicant is requesting a combined approval process.

Chris Slater of Pre-3 described 26 2-bedroom apartments with living space above the attached single-car garages that include private entrances and in-unit laundries. The units will rent for ~\$1,200/mo. A primary driveway on the east side of the parcel is planned as well as north and south entries off the two existing driveways that lead to Target on the west of the parcel.

The Commission commented: 1.) Response regarding location and layout was positive. 2.) A playground and gathering space/gazebo were requested and Slater responded they would consider adding them. 3.) Proposed landscape plan showed highly invasive trees. Native trees were recommended. 4. Sidewalks to Duluth Ave. were suggested with the understanding that the City may have to participate financially.

Olejniczak stated a separate driveway, dumpster positions, storm sewer outfall location, and utility concerns on the part of SBU required evaluation. A trail around the property and a communal space built on a bump-out into the pond were suggested, but are not requirements.

**Next meeting:** Chair Ward stated the next meeting of the Commission is moved to Wednesday, April 27, 2022 at 7pm.

**Adjourn (#11)** Statz made the motion to adjourn, second by Holey. All ayes. The motion carried. The meeting adjourned at 7:40p.m.

Respectfully submitted,

  
Suzanne Miller  
Administrative Assistant

**Board of Canvassers  
April 11, 2022**

The Board of Canvassers was called to order at 11:30 a.m. by Vice-Chairperson Valerie Clarizio in Council Chambers, City Hall, 421 Michigan Street.

**Roll call:** Members Valerie Clarizio and Mary Lou Allen were present. Member Stephanie Reinhardt was excused. Also present was Deputy Clerk/Treasurer Laurie Spittlemeister.

**Adoption of agenda:** Moved by Ms. Allen, seconded by Ms. Clarizio to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Canvass the results of the April 5, 2022 Spring Election for Municipal Offices.
4. Adjourn.

Carried.

The Board canvassed the results for local Mayoral, and District 2, District 4, and District 6 Aldermanic races. Moved by Ms. Clarizio, seconded by Ms. Allen to accept the results for local offices from the April 5, 2022 election. Carried.

Moved by Ms. Allen, seconded by Ms. Clarizio to adjourn. Carried. The meeting adjourned at 11:52 a.m.

Respectfully submitted,



Laurie Spittlemeister,  
Deputy Clerk/Treasurer



9c1.

9c1.



***STURGEON BAY FIRE DEPARTMENT  
ANNUAL REPORT  
2021***

***ISO  
CLASS 2***



## *From the Chief*

On behalf of the men and women of the Sturgeon Bay Fire Department, it is my pleasure to present our 2021 Annual Fire Report. The purpose of this report is to provide a snapshot of the activities in which the department is involved. Within the report, you will find response statistics for all jurisdictions, photos showing some highlights, and other interesting facts related to the department.

I work alongside 29 well-trained and highly skilled professional firefighters, fire officers, and chief officers. Together, we provide high-quality emergency, prevention, and risk-reduction educational services to more than 13,100 residents within our 130-square-mile first due response area. The role of the fire service has significantly changed and increased in complexity over the years, our commitment to serving our community to the best of our ability remains steadfast and focused. Our Departments service areas are highly diverse and challenging, your Fire Department is a dedicated group of professionals who consistently provide exceptional service.

In 2021, we responded to 1,694 calls for service which is a new high record. In comparison to ten years ago, we have overall increased calls for service by 51.25%, within the City of Sturgeon Bay we have increased by 55%. In comparison to twenty years ago, we have overall increased by 84.93%, within the City we have increased by 90.02%. Our calls for service include all types of fires, vehicle accidents, water and ice rescues, high-angle and confined space, and medical emergencies.

While not responding to emergencies our department engages in station and vehicle maintenance, extensive training in all fields for the response, emergency preparedness, public education, and fire prevention. Every year our members show a high level of compassion for our communities and those we serve. The level of expected service when calling 911 has increased, and I cannot praise our members enough for their continued dedication in stepping up and providing the level of service expected and higher.

The demand for Fire and Rescue services continues to grow as you can see by our ten and twenty-year call volume comparisons. To continue to provide these services we need to assess future staffing levels and station upgrades to meet the needs of public safety services.

In closing, we want to thank our community for their continued support and appreciation throughout the year. Our doors are always open so feel free to stop in and visit, ask questions, or to just meet our crews. We remain here, always, to serve you our public.



Tim Dietman  
Sturgeon Bay Fire Chief



# **STURGEON BAY FIRE DEPARTMENT**

## **MISSION STATEMENT**

*The Sturgeon Bay Fire Department's mission is to protect  
Life and Property from Fire, Medical, and Environmental  
Emergencies for our Community through Public Education,  
Code Management and Incident Response.*

## **STATEMENT OF VALUES**

- *We value **RESPECT**. We will at all times display respect for our customers, our peers, and for each other.*
- *We value **INNOVATION**. We are professional problem solvers: our creativity and ingenuity is the most important tools that we can wield.*
- *We value **EXCELLENCE**, both collectively and individually, and will strive for it in all that we do.*
- *We value **INTEGRITY**. We recognize that our citizens are the reason for our existence and that the trust the public places in us is hard-earned and easily lost. We will honor that trust by acting at all times with honesty and integrity.*
- *We value **TEAMWORK** and **COOPERATION**. Together we are stronger, smarter, and better.*



# **STURGEON BAY FIRE DEPARTMENT STAFFING**

**FIRE CHIEF**  
TIM DIETMAN

**ASSISTANT FIRE CHIEF**  
KALIN MONTEVIDEO

## **2021 CAREER FIREFIGHTER STAFFING**

**RED SHIFT**  
LT Mike Smith  
FF Mike Writt  
FF Mike Cihlar  
FF Ethan Jorns

**BLUE SHIFT**  
LT Brent Wiegand  
FF Mark Smith  
FF Richard Soukup  
FF Mike Paye

**GREEN SHIFT**  
LT Matt Austad  
FF Mike Frangipane  
FF Brian Hanson  
FF Austin Gulley

**PART-TIME FIRE INSPECTOR**  
Shane Wautier

## **2021 PART-TIME FIREFIGHTER STAFFING**

**SHIFT ONE**  
Todd Ploor  
Ben Weber  
John Jorns  
Kory Nell

**SHIFT TWO**  
Jeremy Paszczak  
Jason Mann  
Randy Lynch  
Ryan Zoromski  
Anthony Moore

**SHIFT THREE**  
Dean Gordon  
Anthony Aldrich  
Bogdan Savenko  
Lucas Pierre  
Isaiah Scudder



### **Sturgeon Bay Station #1**

**421 Michigan Street**

Station #1 (Eastside Station) is the department headquarters. It is staffed 24-hours a day, seven days a week with two firefighters.

The Fire Chief and Assistant Fire Chief work a 40/week, a 24hr week Fire Inspector work out of this station as well.

Apparatus housed at this station:

- Fire Engine
- Heavy Rescue Squad
- Brush Truck
- Ice/Water Squad
- Tender
- 100' Platform/Ladder Truck
- UTV/Command Trailer

### **Sturgeon Bay Station #2**

**656 S. Oxford Ave**

Station #2 (Westside Station) is staffed 24-hours a day, seven days a week with two firefighters.

Apparatus housed at this station:

- Fire Engine
- Tender
- Brush Truck/Mini-Pumper



# STURGEON BAY FIRE DEPARTMENT EQUIPMENT

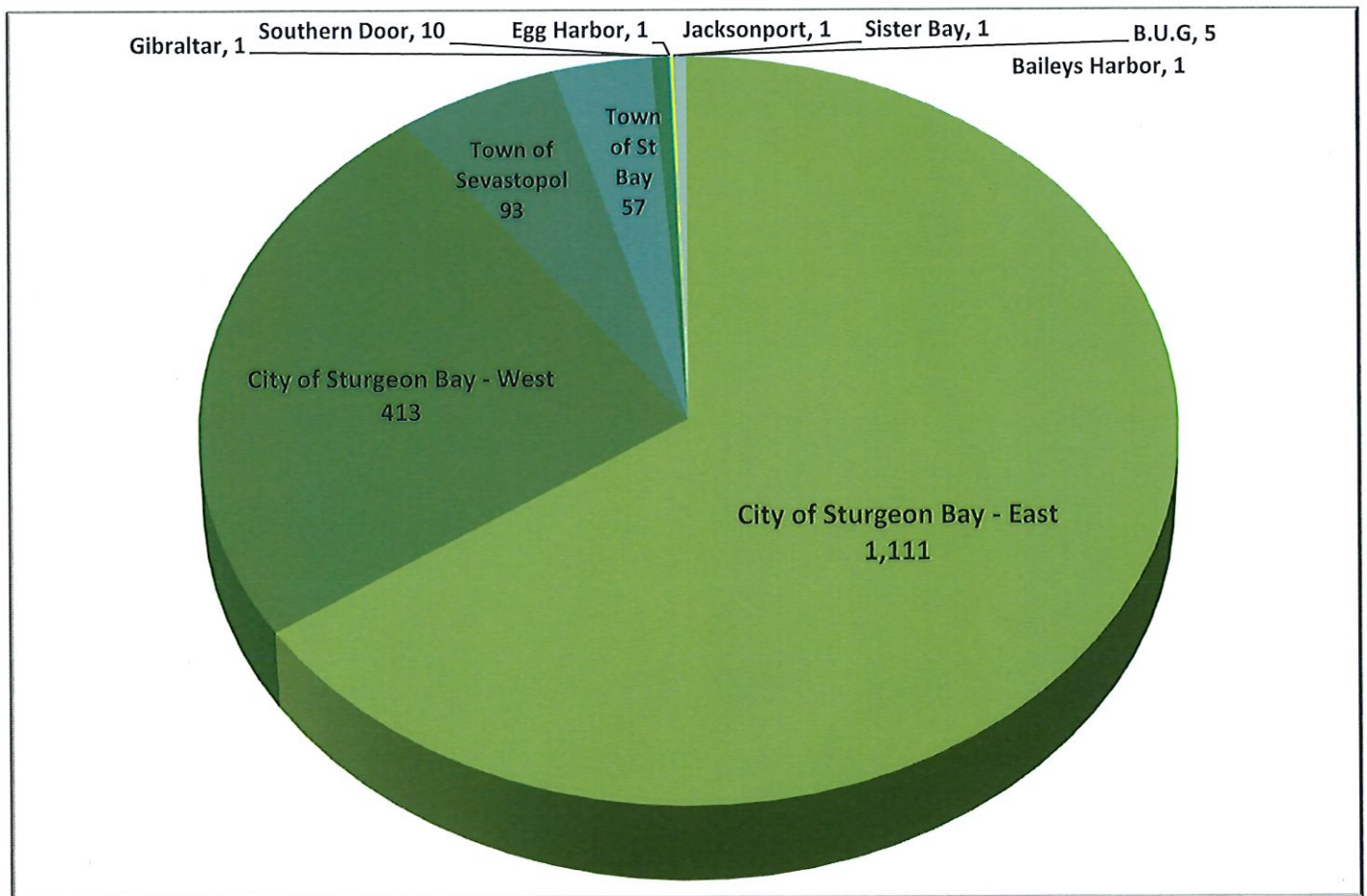
## APPARATUS

Tender 1	2008 Freightliner Tender; 1,000 GPM Pump with 2000 gallons Water
Truck 2	2018 Ferrara, 100' Rear Mount Platform; 2,000 GPM Pump with 400 gallons Water
Tender 3	2016 Freightliner Tender; 1,250 GPM Pump with 2000 gallons Water
Engine 4	2019 Ferrara Engine; 2,000 GPM Pump with 1,000 gallons Water
Brush 5	2009 Ford 4x4 crew cab, 200-gallon water tank/pump
Engine 6	2019 Ferrara Engine; 2,000 GPM Pump with 1,000 gallons Water
Squad 7	1996 Chevrolet, step-van, Ice/Water Squad
Brush 8	2014 Ram 4x4 Mini-Pumper, 500 GPM Pump with 250 gallons Water
Chief 10	2017 Chevy Tahoe, Fire Chief Vehicle
Chief 11	2020 Chevy Tahoe, Assistant Chief Vehicle
Utility 15	2009 Ford F150, Fire Inspection/Public Education Vehicle
Squad 1	2006 Marion, Heavy Duty Rescue Truck
Marine 1	2010 27' SAFE Boat, Joint Police & Fire/Rescue
Marine 2	2003 Quicksilver 12ft Rescue Raft
UTV	2005 John Deere Gator (UTV) w/60 gallon skid pump
Special Response Trailer	Carries Trench/Collapse Rescue Equipment; Rehab Trailer
UTV/Mobile Command Trailer	Carries UTV, Mobile Command; Rehab Trailer

# Sturgeon Bay Fire Department Incident Summary

Total Incidents: 1,694

City of SB - Eastside:	<u>1,111</u> Calls	<u>169</u> Fire Calls	<u>942</u> EMR Calls
City of SB - Westside:	<u>413</u> Calls	<u>83</u> Fire Calls	<u>330</u> EMR Calls
Town of Sevastopol:	<u>93</u> Calls	<u>74</u> Fire Calls	<u>19</u> EMR Calls
Town of Sturgeon Bay:	<u>57</u> Calls	<u>18</u> Fire Calls	<u>39</u> EMR Calls
Southern Door:	<u>10</u> Calls	<u>08</u> Fire Calls	<u>02</u> EMR Calls
Gibraltar:	<u>01</u> Call	<u>01</u> Fire Call	
Egg Harbor:	<u>01</u> Call	<u>01</u> Fire Call	
Jacksonport:	<u>01</u> Call	<u>01</u> Fire Call	
Sister Bay:	<u>01</u> Call	<u>01</u> Fire Call	
Brussels, Union, Gardner	<u>05</u> Calls	<u>05</u> Fire Calls	
Baileys Harbor	<u>01</u> Call	<u>01</u> Fire Call	



## Average Response Times:

City - Eastside calls (emergent):	<u>04 Minutes 05 Seconds</u>
City - Eastside calls (non-emergent):	<u>05 Minutes 00 Seconds</u>
City - Westside calls (emergent):	<u>03 Minutes 59 Seconds</u>
City - Westside calls (non-emergent):	<u>04 Minutes 45 Seconds</u>
Town of Sturgeon Bay (emergent):	<u>08 Minutes 23 Seconds</u>
Town of Sturgeon Bay (non-emergent):	<u>09 Minutes 40 Seconds</u>
Town of Sevastopol (emergent):	<u>09 Minutes 33 Seconds</u>
Town of Sevastopol (non-emergent):	<u>12 Minutes 12 Seconds</u>

## INCIDENT TYPE BY JURISDICTION

INCIDENT TYPE	CITY ST BAY	TOWN SEVASTOPOL	TOWN ST BAY	EGG HARBOR	SISTER BAY	BUG	GIBRALTAR	BAILEYS HARBOR	SOUTHERN DOOR	JACKSONPORT
Cooking Fire	3	2								
Outside/Trash/ Grass Fire	6	6	1	1						
Chimney Fire	1	1							2	
Water Vehicle Fire	2									
Structure Fire	5	1	1		1	4	1	1	3	
Vehicle Fire	2	1				1				
Outside Storage / Equipment Fire	1	2	1							
Extrication Rescue		2	1							
Medical Assist	1,272	19	39						2	
Elevator Rescue	2									
Ice / Water Rescue	10	8	1						2	1
Chemical/Haz Mat	1									
Flam/Comb Leak/Spill	24	2	2							
Confined Space Rescue	1									
Carbon Monoxide Incident	27	5								
Electrical/Equip Problem	7	2								
Power Line Down		2	1							
Animal Rescue	4	1								
Public Service	10	1	1							
Unauthorized Burning	1	1								
Lock-Out	1									
Smoke/Odor Removal	4									
Smoke Scare/Smoke Odor	10	2								
Alarm Activation, No Fire	76	11	2							
Vehicle Accident	31	21	4							
Citizen Complaint	4									
Assist Law /Gvmt Agency	11	2	1							
Sprinkler System Activation, No Fire	5									
Authorized Burn		1	2							
Fire Investigation	1									
Excessive Heat, Burns, No Ignition	1									
Search for Person on Land	1								1	
<b>TOTAL</b>	<b>1524</b>	<b>93</b>	<b>57</b>	<b>1</b>	<b>1</b>	<b>5</b>	<b>1</b>	<b>1</b>	<b>10</b>	<b>1</b>



# Staff Hour Summary

## Community Service:

- \* Assist Other Department
- \* Honor Guard or Funeral Activities

- \* Testing Marina Dock Systems
- \* Sevastopol Burning Permits: 86

249.08 Hours

## Firefighter Training:

- \* Training Inside of Tower: **379.5 Hours**
- \* Training not at Training Site: **3,447.96 Hours**

- \* Training at Training Site: **743.75 Hours**

4,571.21 Hours

## Fire Inspections:

- \* City of Sturgeon Bay – 1830.17 Hours
  - 1,546 Regular Inspections
  - 200 Re-Inspections
  - 23 Occupancy

- \* Town of Sevastopol – 85.38 Hours
  - 133 Inspections
  - 17 Re-Inspections
  - 04 Occupancy

- \* Town of Sturgeon Bay – 15.93 Hours
  - 21 Inspections
  - 02 Re-Inspections

- \* Town of Jacksonport – 47.39 Hours
  - 86 Inspections
  - 11 Re-Inspections

1,978.87 Hours

## Incident Response:

2,393.15 Hours

## Miscellaneous Hours:

- \* City/Town Meetings
- \* Building Pre-Plans

- \* Staff Meetings
- \* Office/Reports/Research

- \* Physical Agility & Testing
- \* Job Shadow/Intern

287.83 Hours

## Public Fire/Safety Education:

- \* Sprinkler System Testing
- \* Special Events/Parades
- \* Fire Extinguisher Demos

- \* Car Seat Safety/Installations
- \* Fire Safety Presentations for Schools/Civic Groups/Businesses
- \* Fire Drills/Testing

- \* Community CPR

213.42 Hours

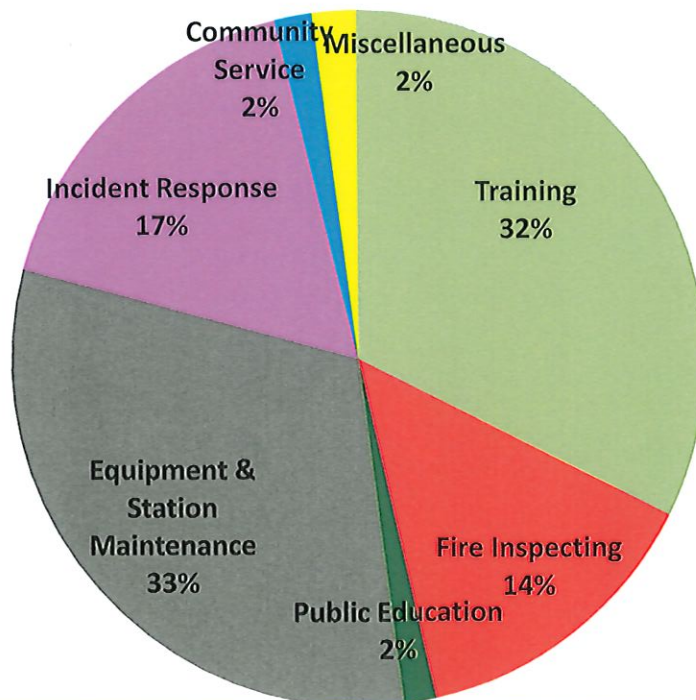
## Station/Equipment Maintenance:

- \* Apparatus Inventories
- \* Ladder Inspection/Maint
- \* Hose Testing

- \* Station Maintenance/Cleaning
- \* Apparatus/Equipment Maint/Repair
- \* SCBA Maintenance/Fit Testing

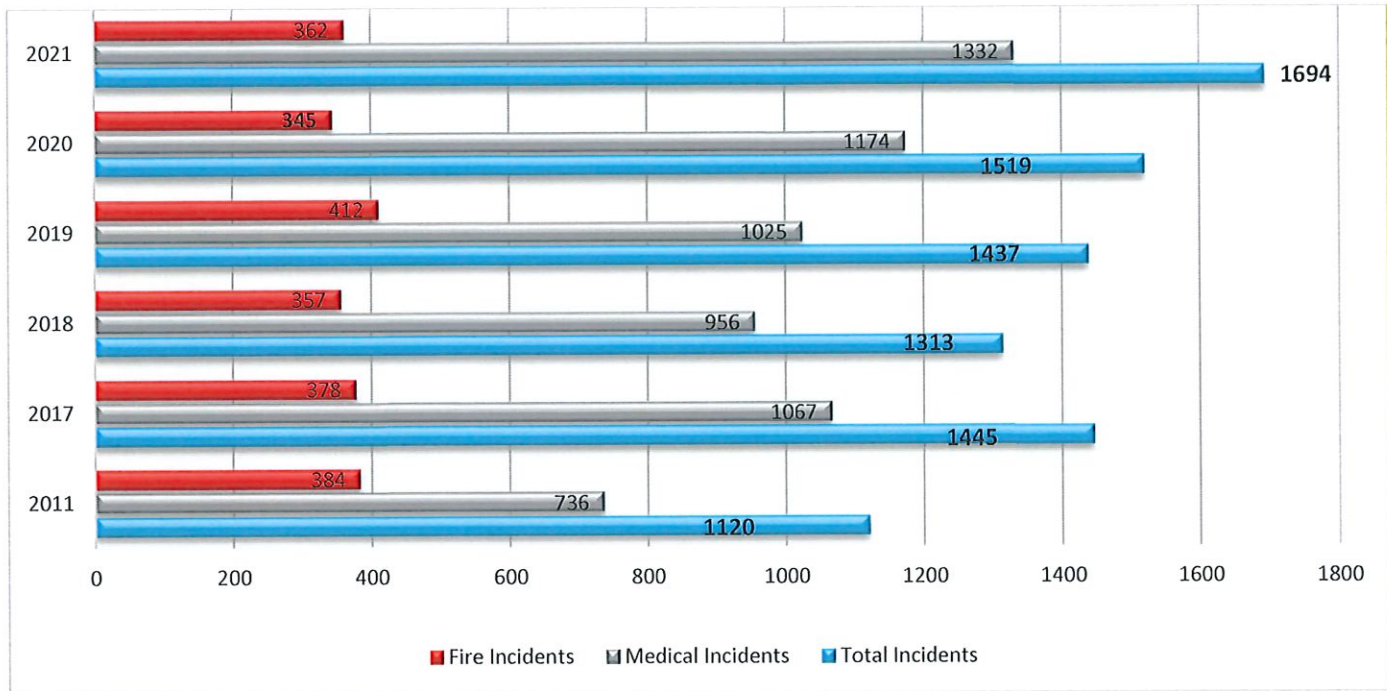
- \* Apparatus/Equipment Checks
- \* PPE/Gear Inspections

4,397.27 Hours



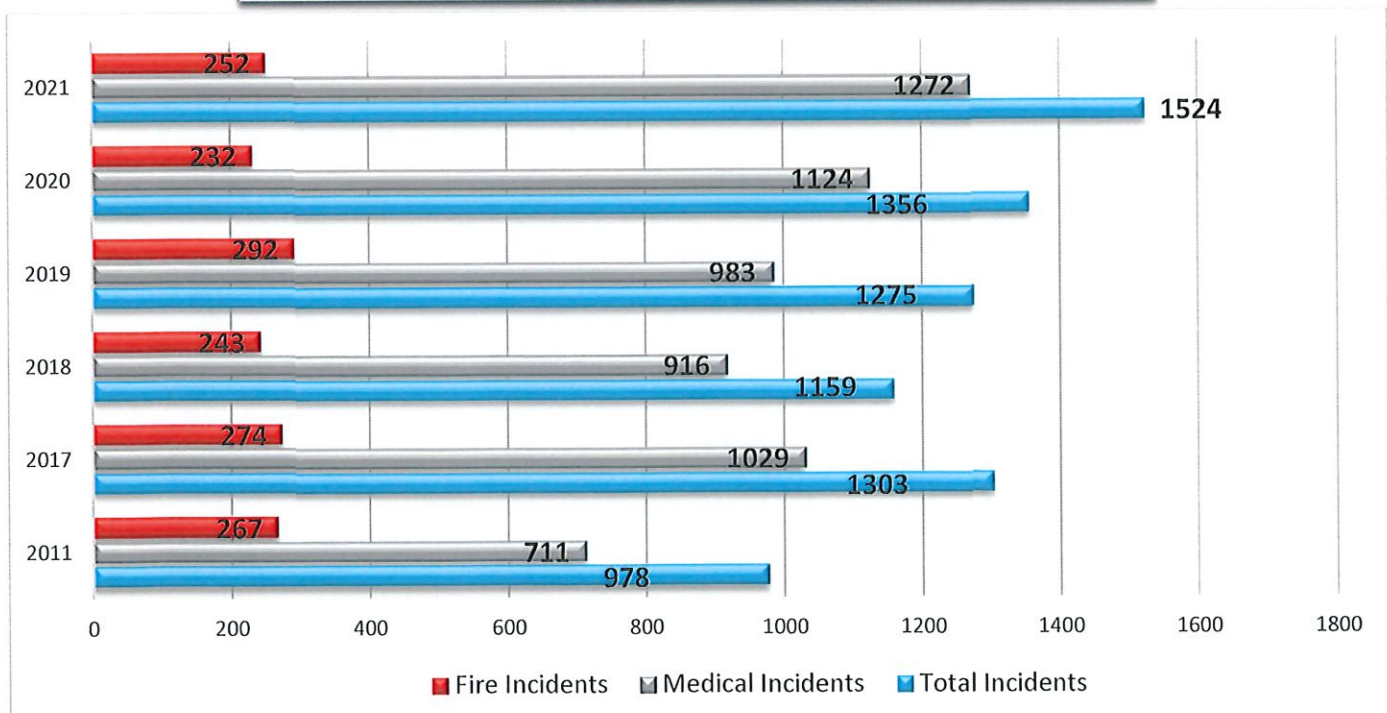
# 5 & 10 YEAR INCIDENT COMPARISON

## TOTAL INCIDENTS



2001 to 2021: 84.93% increase --- 2011 to 2021: 51.25% Increase

## CITY OF STURGEON BAY

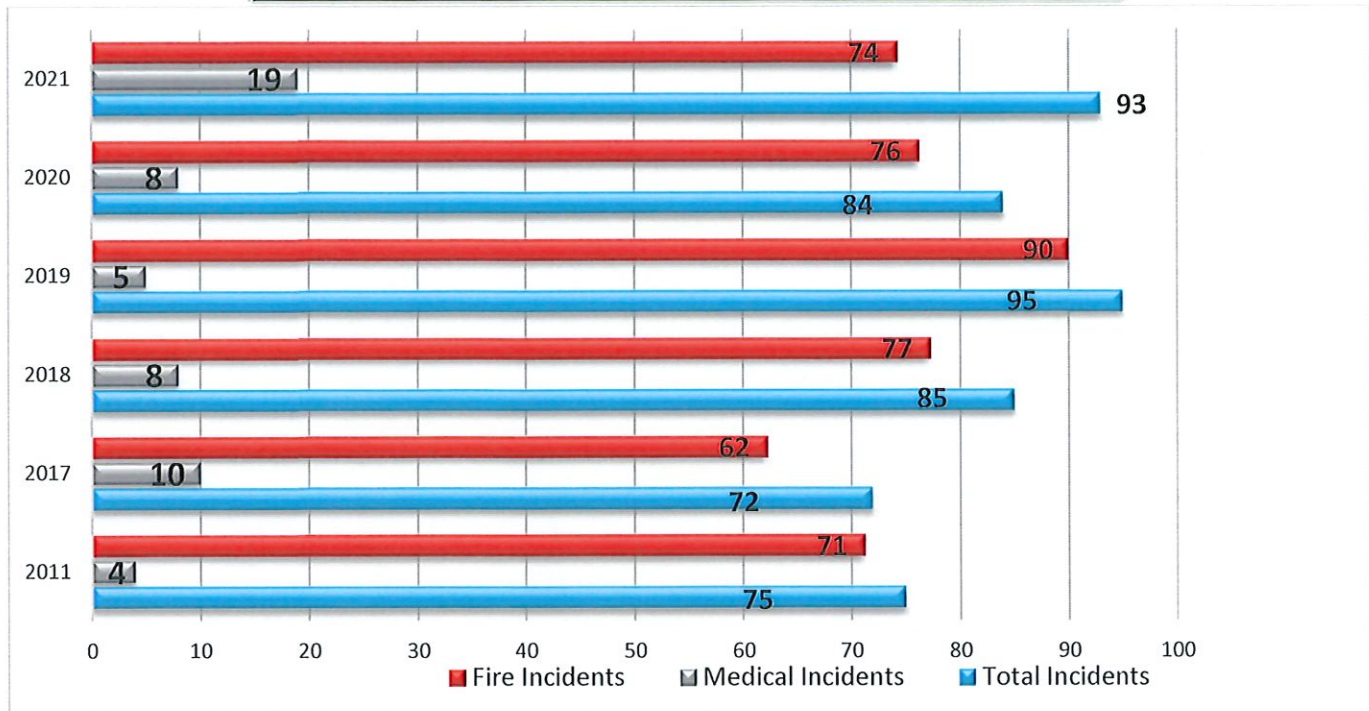


2001 to 2021: 90.02% increase --- 2011 to 2021: 55% Increase



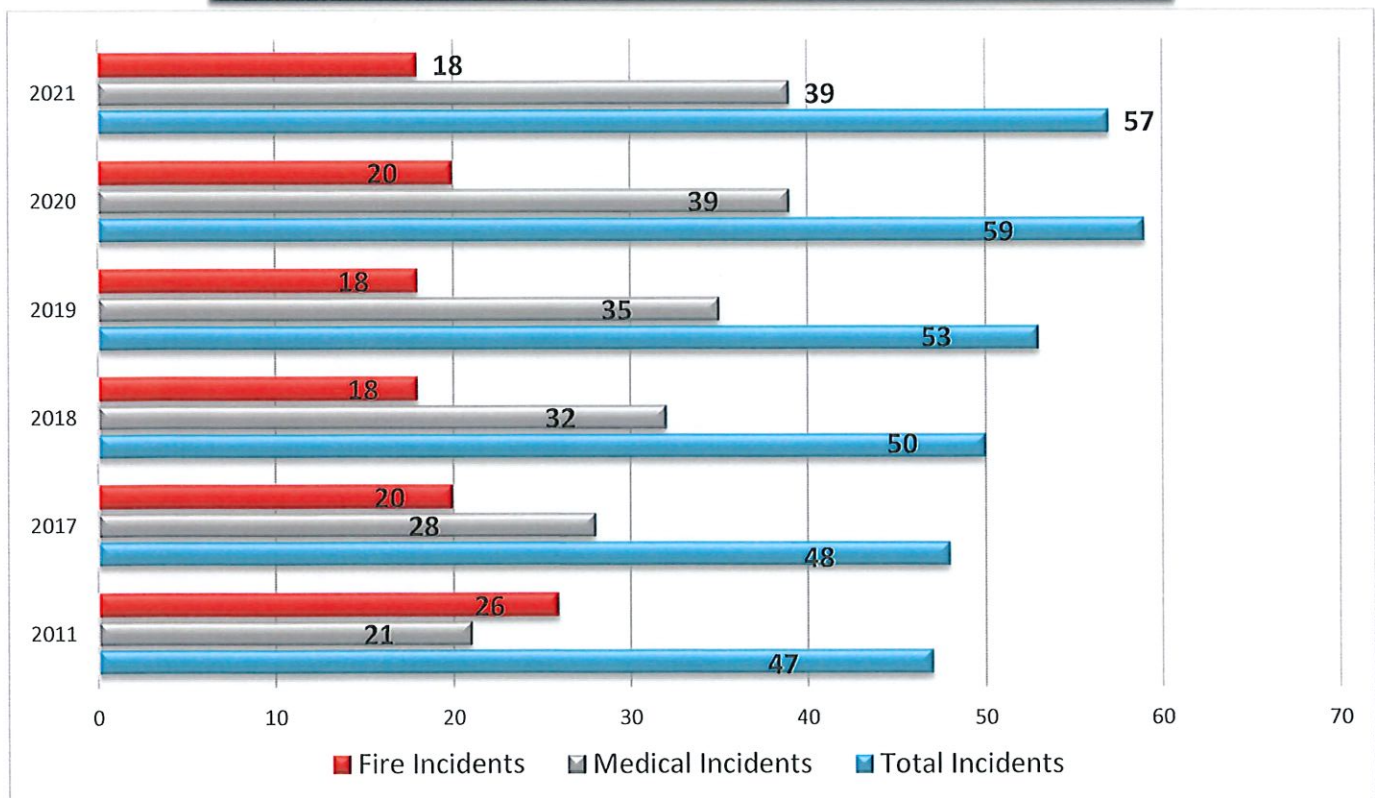
# 5 & 10 YEAR INCIDENT COMPARISON

## TOWN OF SEVASTOPOL



2011 to 2021: 24% increase

## TOWN OF STURGEON BAY



2011 to 2021: 22% Increase



## AGENCY OVERVIEW

Some primary services provided by the Sturgeon Bay Fire Department include:

- Fire Suppression
- Emergency Medical Responder Services, Tactical Medical/RTF(rescue task force)
- Public Education/Community Risk Reduction/Community Service
- Fire Prevention (Inspection)
- Fire Investigation/Special Investigations
- Special Rescue (Marine, Technical)



## TRAINING SITE





## ICE & WATER RESCUE

- Sturgeon Bay Fire provides first response rescue capabilities for all types of ice & water related incidents.
- The Sturgeon Bay Fire Department Ice & Water Rescue Team also responds to emergencies assisting the Door County Dive Team as needed.
- Sturgeon Bay Fire Departments members are highly trained and utilize a variety of equipment some of which include a 27' Fire/Rescue boat, and a 12' rescue boat. The team is also supported by a drone housed out of station 1.
- Sturgeon Bay Fire Ice & Water rescue team works and trains with the United States Coast Guard and Wisconsin DNR on a regular basis



## Fire Prevention/Community Risk Reduction/Public Education

- Programs include: smoke alarm/carbon monoxide detector installation, home safety visits, preschool, and grade school fire safety programs, and community CPR and AED education and certification programs
- Education and installation of Child Safety Seats by a Certified Technician. In 2021, 37 child seats installed
- Emergency planning and fire prevention in the home and workplace which includes:
  - Fire extinguisher presentations, including use of extinguishers with live-fire
  - Building Pre-plans, evacuation, and emergency operations













Kalin Montevideo  
Assistant Fire Chief

## CITY of STURGEON BAY FIRE DEPARTMENT

421 Michigan St  
Sturgeon Bay, WI 54235

920-746-2916 Station 920-746-2448 Office  
Email: kmontevideo@sturgeonbaywi.org

### STURGEON BAY FIRE DEPARTMENT FEBRUARY 2022 FIRE REPORT

FEBRUARY INCIDENTS: 136  
2022 TOTAL INCIDENTS: 276

#### INCIDENTS BY JURISDICTION:

#### AVERAGE RESPONSE TIME:

CITY - East Side: 87 Year to Date: 164 EMERGENT: 4.01 Minutes NON-EMERGENT: 4.46 Minutes  
72 – Medical Incident 02 – Vehicle Accident 02 – Carbon Monoxide Incident  
01 – Structure Fire 01 – Public Service Assistance 02 – Alarm/Detector Activation, No Fire  
01 – Assist Invalid 01 – Trash/Rubish Fire 01 – Arcing/Shorted Electrical Equipment  
04 – Assist Law Enforcement/Govmt Agency

CITY - West Side: 35 Year to Date: 82 EMERGENT: 3.13 Minutes NON-EMERGENT: 5.46 Minutes  
32 – Medical Incident 01 – Gas Leak 01 – Carbon Monoxide Incident  
01 – Vehicle Accident

Town of Sevastopol: 02 Year to Date: 05 EMERGENT: 11.08 Minutes NON-EMERGENT: N/A  
02 – Vehicle Accident

Town of Sturgeon Bay: 06 Year to Date: 13 EMERGENT: 9.25 Minutes NON-EMERGENT: N/A  
06 – Medical Incident

#### MUTUAL AID/MABAS INCIDENTS

Brussels, Union, Gardner: 03 Year to Date: 06  
03 – Structure Fire

Southern Door: 03 Year to Date: 03  
03 – Structure Fire

Jacksonport: 0 Year to Date: 03

#### INSPECTION REPORT:

	<u>Regular Inspections</u>	<u>Re Inspections</u>	<u>Occupancy Inspections</u>	<u>Hours</u>
Inspections – City of Sturgeon Bay:	<u>23</u>	<u>05</u>	<u>03</u>	<u>13.55</u>
Inspections – Town of Sevastopol:	<u>14</u>	<u>0</u>	<u>0</u>	<u>12.22</u>
Inspections – Town of Sturgeon Bay:	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>
Inspections – Town of Jacksonport:	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>

Sevastopol Burn Permit:

Permits Issued for Month: 08

Year to Date Permits Issued: 13

## **SPECIAL REPORTS, TRAINING, AND MAINTENANCE**

### **MAINTENANCE:**

Firefighters conducted maintenance and repairs on SCBA units; inventory on apparatus; completed annual flow tests on SCBA; replaced facepiece rubber on SCBA masks; installed emergency lights and wiring on trailer; repaired leaks in ice rescue suits; installed extrication equipment on T711; repaired the trash drawer in the day room; installed chains on the UTV; changed oil & filters on T711, Squad 721 & 722, E707, E706, T712, and Truck 724; repaired a door latch on E707 and lubricated the ladder/waterway on Truck 724.

### **TRAINING:**

288 hours of training were conducted in February. Firefighters trained with driver/operator procedures; confined space operations; rescue task force (RTF); ice rescue procedures and techniques; 3 firefighters continued Blue Card Command training (online); AC Montevideo completed multiple child safety seat certification CEUs; on-duty firefighters toured vessels at Bay Ship; FF Gulley & FF Nell attended a Waterous pump mechanics seminar in MN; Apex workplace safety online training and Lt Austad & Lt Wiegand attended a one day transition into leadership training at NWTC-Green Bay.

### **OTHER:**

Fire Chief and AC attended City and other Town meetings and installed one car seat.





# STURGEON BAY POLICE DEPARTMENT



*The mission of the Sturgeon Bay Police Department is to serve, protect, and work in partnership with the community to ensure a safe, nurturing environment.*

To: The Honorable Mayor  
Members of the Common Council  
Members of the Police and Fire Commission  
City Administrator Josh VanLieshout

From: Assistant Chief Daniel J. Brinkman

Subject: Monthly Report for March, 2022

Date: April 11, 2022

The following is a summary of the Police Department's activities for the month of March that includes crimes investigated, traffic accidents investigated, training completed, and public education provided by department members.

## Crimes Investigated

The Department, during the month, investigated a total of 33 crimes.

These crimes can be broken down and classified as follows.

Bail Jumping.....	02
Theft.....	04
Fraud / Forgery.....	08
Death Investigation.....	02
Domestic Abuse.....	02
Disorderly Conduct.....	07
Possess Controlled Substance.....	01
ICAC Investigations.....	02
Violate Court Order.....	03
Child Abuse or Neglect.....	02
<b>TOTAL</b>	<b>33</b>

## Arrests

The Department completed a total of 90 arrests during the month. These arrests encompass violations from traffic to felony, and are listed below by type of violations and number of arrests for each category.

<b>A. Felony Crime Arrests</b>	
Aggravated Assault.....	01
<b>TOTAL</b>	<b>01</b>
<b>B. Misdemeanor Crime Arrests</b>	
Disorderly Conduct.....	04
Battery.....	01
<b>TOTAL</b>	<b>05</b>

Wisconsin Probation & Parole Arrests / Warrant Arrests.....	06
	<b>TOTAL 06</b>

**C. Ordinance Violation Arrests**

Disorderly Conduct .....	02
Disorderly Conduct w/Motor Vehicle .....	03
Underage Consumption / Possession of Alcohol.....	03
Indecent Conduct / Language in Public.....	01
	<b>TOTAL 09</b>

**D. Traffic Crime Arrests**

Operate while Intoxicated.....	02
Operate while Revoked.....	03
Ignition Interlock Tampering.....	02
Hit & Run Unattended Vehicle.....	01
	<b>TOTAL 08</b>

**E. Traffic Violation Arrests**

Operate Motor Vehicle while Intoxicated.....	07
Operate Motor Vehicle while Suspended/Revoked.....	12
Speeding.....	10
No Valid Driver's License.....	02
Operate M/V without Insurance.....	02
Miscellaneous Violations.....	28
	<b>TOTAL 61</b>

In addition to the preceding arrests, the Department conducted a total of 162 traffic stops during the month and logged 70 violations for various motor vehicle defects and local ordinances and issued 52 written warnings for those violations. A total of 18 parking tickets were issued for violations throughout the city.

**Traffic Accidents**

The Department during the month investigated a total of 16 vehicle accidents. These accidents are categorized into four types.

A. Motor Vehicle Accidents Involving Fatalities .....	00
B. Motor Vehicle Accidents Involving Injuries.....	02
C. Motor Vehicle Accidents Involving Property Damage .....	11
(greater than \$1,000.00)	
D. Motor Vehicle Accidents Involving Property Damage .....	03
(less than \$1,000.00)	
	<b>TOTAL 16</b>

## Police Service Calls

Department members handled 358 service calls during the month. These calls consist of both citizen requests for police service as described below (303), crimes investigated (33), traffic accidents investigated (16), and Wisconsin Probation and Parole Assists (06).

### A. Traffic and Road Incidents.....83

This category consists of all assignments involving assists to stranded motorists, directing traffic, complaints of noisy or otherwise disorderly vehicles, removing obstructions from roadways, and all parking problem complaints.

### B. Noise Complaints.....03

These complaints involve private parties, licensed liquor establishments, and parties in public places.

### C. Sick and Injured Persons..... 17

Assistance rendered to the Ambulance Service and sick or injured persons.

### D. Alarms.....21

Officers responded to activated burglar and hold-up alarms at area banks and other business establishments and residences as well as fire alarms.

### E. Complaints Involving Animals..... 19

Investigations by officers of noisy animals, loose animals, animal bites, wild animals and sick, injured or dead animal complaints.

### F. Civil Disputes.....06

Arguments between neighbors, landlords and tenants, and family members where no crimes have been committed.

### G. Escorts.....04

Transporting citizens, money escorts for area financial institutions, funerals, and for area industry and farming.

### H. Citizen Assist .....45

This category is broad and involves such services as assistance in gas drive-off, emergency notifications, attempts to locate people, retrieval of personal property, and vehicle registration assistance.

### I. Assistance Rendered to Other Agencies.....08

Includes assistance to other law enforcement and government agencies.

### J. Suspicious Person / Vehicle / Circumstance .....21

Involves both citizen complaints and observations by officers on patrol who took investigative action in regard to the suspicious behavior of vehicles and people.

K. Self-Initiated Field Activity.....00

All initiated activity by the officer to include, but not limited to, routine security checks of area industries, businesses, city parks, residences, and compliance checks of local liquor establishments.

L. Juvenile Problems .....04

Requests for police service that strictly involve property calls and all unfounded calls for police service. The calls vary from mischief to family problems to runaway situations.

M. Miscellaneous Incidents .....54

Includes arrest warrants served, recovered property calls, unfounded calls for police service and minor calls for police service. This category includes 9-1-1 calls investigated by Department members during the month.

N. Welfare Checks ..... 18

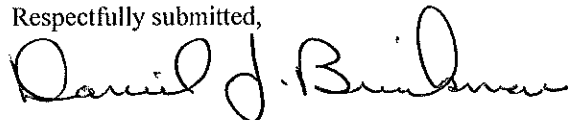
Includes calls to check on the well-being of a person who has not been heard from or seen for a period of time by family, friends, neighbors, or employers.

**TOTAL 303**

#### **Department Training**

The Joint SWAT Team and Dive Team completed their monthly training. Department members completed their biennial CPR / First Aid recertifications, three members attended a HAZ MAT table top exercise at Bay Shipbuilding, five officers attended Blue Life Support seminar, one officer attended Advanced Interview & Interrogation training, and three officers completed their Field Training Officer certification.

Respectfully submitted,



Assistant Chief Daniel J. Brinkman

CHECKING ACCOUNTSMARCH 2022 BANK RECONCILIATIONINVESTMENT ACCOUNTS

GENERAL FUND		ARPA		GENERAL/CAPITAL FUND	
NICOLET		NICOLET		INVESTMENTS	
PRIOR G/L BALANCE	6,489,186.18		467,645.90		249,262.52
REVENUE	1,008,638.93		11.92		191.01
DISBURSEMENTS	1,871,200.70		0.00		0.00
AMOUNT IN TRANSIT	16,944.74		0.00		0.00
ADJUSTMENTS	48,431.10		0.00		0.00
ENDING BALANCE	5,658,110.77		467,657.82		249,453.53

BANK BALANCE	5,678,176.36	467,657.82	249,453.53
LESS OUTS, CHECKS	20,065.59	0.00	0.00
	5,658,110.77	467,657.82	249,453.53

SAVINGS ACCOUNTS

GENERAL FUND		GENERAL FUND		CAPITAL - BUILDING DEBT		CAPITAL PROJECTS		CAPITAL PROJECTS DEBT		TIF #3 CONSTRUCTION		TIF #3 DEBT	
STATE - #2		NICOLET BANK - MMBI		STATE - #9		STATE - #13		STATE - #15		STATE - #14		STATE - #08	
PRIOR G/L BALANCE	5,350,606.77		20,135.58		6,327.41		179,784.16		130,804.72		6,276.80		834,791.41
REVENUE	358,722.77		0.01		0.87		287,997.89		18.08		0.87		113.99
DISBURSEMENTS	287,972.00		20,135.59		0.00		54,857.50		0.00		0.00		22,095.00
AMOUNT IN TRANSIT	0.00		0.00		0.00		0.00		0.00		0.00		0.00
ADJUSTMENTS	0.00		0.00		0.00		0.00		0.00		0.00		0.00
ENDING BALANCE	5,421,357.54		0.00		6,328.28		412,924.55		130,822.80		6,276.67		812,810.40

BANK BALANCE	5,421,357.54	0.00	6,328.28	412,924.55	130,822.80	6,276.67	812,810.40
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TIF #1 DEBT		TIF #2 CONSTRUCTION		TIF #2 DEBT 98A&B		TIF #2 AMENDED AREA		TIF #2 AMENDED AREA		TIF #4 DEBT SVC		TID #4 CONSTRUCTION	
STATE - #11		STATE - #3		STATE - #10		CONST. - STATE - #06		CAP. INT. - STATE - #7		STATE - #12		STATE - #01	
PRIOR G/L BALANCE	1,052,020.33		12,782.15		4,116,342.09		55,745.93		145,928.27		51,453.42		527,570.43
REVENUE	145.40		1.77		560.87		7.70		19.99		4.57		57.98
DISBURSEMENTS	0.00		0.00		128,694.70		0.00		2,888.63		40,639.58		108,781.85
AMOUNT IN TRANSIT	0.00		0.00		0.00		0.00		0.00		0.00		0.00
ADJUSTMENTS	0.00		0.00		0.00		0.00		0.00		0.00		0.00
ENDING BALANCE	1,052,165.73		12,783.92		3,988,208.26		55,753.63		143,059.63		10,818.41		418,846.56

BANK BALANCE	1,052,165.73	12,783.92	3,988,208.26	55,753.63	143,059.63	10,818.41	418,846.56
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CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 1  
F-YR: 22

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FOR FUND: GENERAL FUND  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH		%	FISCAL	ANNUAL	FISCAL	%
	BUDGET	ACTUAL					
REVENUES							
GENERAL FUND	13,641,065.00	197,965.47	(98.5)	13,641,065.00	13,641,065.00	6,124,399.83	(55.1)
TOTAL REVENUES	13,641,065.00	197,965.47	(98.5)	13,641,065.00	13,641,065.00	6,124,399.83	(55.1)
EXPENSES							
GENERAL FUND	1,391,104.56	109,970.92	92.0	1,428,253.68	1,595,425.00	112,853.70	92.9
MAYOR	13,745.00	915.02	93.3	13,745.00	13,745.00	2,745.06	80.0
CITY COUNCIL	66,685.00	4,898.11	92.6	66,685.00	66,685.00	18,496.66	72.2
LAW/LEGAL	95,000.00	4,401.00	95.3	95,000.00	95,000.00	4,401.00	95.3
CITY CLERK-TREASURER	466,830.00	46,964.88	89.9	466,830.00	466,830.00	107,780.24	76.9
ADMINISTRATION	208,015.00	21,238.70	89.7	208,015.00	208,015.00	42,251.69	79.6
COMPUTER	141,350.00	4,727.11	96.6	141,350.00	141,350.00	45,472.06	67.8
CITY ASSESSOR	78,208.33	4,916.67	93.7	78,224.99	78,300.00	19,904.80	74.5
BOARD OF REVIEW	1,520.00	0.00	100.0	1,520.00	1,520.00	0.00	100.0
BUILDING/ZONING CODE ENFORCEM	116,890.00	4,953.71	95.7	116,890.00	116,890.00	10,573.88	90.9
MUNICIPAL SERVICES ADMIN.	251,965.00	26,786.03	89.3	251,965.00	251,965.00	52,301.50	79.2
PUBLIC WORKS ADMINISTRATION	236,340.00	24,867.84	89.4	236,340.00	236,340.00	51,136.98	78.3
ELECTIONS DEPARTMENT	31,415.00	0.00	100.0	31,415.00	31,415.00	0.00	100.0
CITY HALL	202,300.00	17,848.91	91.1	202,300.00	202,300.00	32,701.86	83.8
INSURANCE	298,520.00	25,381.00	91.4	298,520.00	298,520.00	121,669.02	59.2
GENERAL EXPENDITURES	1,554,645.00	23,889.71	98.4	1,554,645.00	1,554,645.00	27,451.88	98.2
POLICE DEPARTMENT	621,630.00	62,510.09	89.9	621,630.00	621,630.00	131,090.00	78.9
PATROL BOAT	15,310.00	0.00	100.0	15,310.00	15,310.00	0.00	100.0
PARKING ENFORCEMENT	0.00	0.00	0.0	0.00	0.00	0.00	0.0
POLICE DEPARTMENT/PATROL	2,230,655.00	220,061.94	90.1	2,230,655.00	2,230,655.00	466,516.71	79.0
POLICE DEPT. / INVESTIGATIONS	175,285.00	19,225.40	89.0	175,285.00	175,285.00	43,232.00	75.3
FIRE DEPARTMENT	2,089,670.00	232,885.63	88.8	2,089,670.00	2,089,670.00	525,088.42	74.8
STORM SEWERS	36,495.00	634.06	98.2	36,495.00	36,495.00	686.88	98.1
LARGE ITEM PICKUP / LEAF COLL.	54,155.00	320.00	99.4	54,155.00	54,155.00	629.50	98.8
COMPOST/SOLID WASTE SITE	0.00	0.00	0.0	0.00	0.00	0.00	0.0
STREET SWEEPING	46,015.00	0.00	100.0	46,015.00	46,015.00	0.00	100.0
WEED ABATEMENT	4,575.00	0.00	100.0	4,575.00	4,575.00	0.00	100.0
ROADWAYS/STREETS	292,045.00	38,449.72	86.8	292,045.00	292,045.00	55,626.87	80.9
SNOW REMOVAL	222,480.00	36,863.55	83.4	222,480.00	222,480.00	96,002.44	56.8
STREET SIGNS AND MARKINGS	52,310.00	13,476.71	74.2	52,310.00	52,310.00	13,879.03	73.4
CURB/GUTTER/SIDEWALK	33,825.00	33.36	99.9	33,825.00	33,825.00	33.36	99.9
STREET MACHINERY	217,685.00	29,277.14	86.5	217,685.00	217,685.00	42,284.13	80.5
CITY GARAGE	68,490.00	7,276.59	89.3	68,490.00	68,490.00	17,747.75	74.0
CELEBRATION & ENTERTAINMENT	44,125.00	11,277.47	74.4	44,125.00	44,125.00	11,277.47	74.4
HIGHWAYS - GENERAL	487,695.00	40,225.43	91.7	487,695.00	487,695.00	102,329.45	79.0
PARK & RECREATION ADMIN	112,530.00	10,267.32	90.8	112,530.00	112,530.00	24,913.57	77.8
PARKS AND PLAYGROUNDS	521,300.00	35,825.45	93.1	521,300.00	521,300.00	75,369.42	85.5
BALLFIELDS	30,015.00	0.00	100.0	30,015.00	30,015.00	0.00	100.0

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DATE: 04/12/2022  
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CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 2  
F-YR: 22

FOR FUND: GENERAL FUND  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
EXPENSES							
ICE RINKS	11,900.00	3,522.93	70.3	11,900.00	11,900.00	9,806.85	17.5
BEACHES	5,230.00	0.00	100.0	5,230.00	5,230.00	0.00	100.0
MUNICIPAL DOCKS	51,635.00	449.97	99.1	51,635.00	51,635.00	1,068.78	97.9
WATER WEED MANAGEMENT	90,815.00	1,272.08	98.5	90,815.00	90,815.00	1,701.81	98.1
WATERFRONT PARKS & WALKWAYS	77,915.00	1,952.97	97.4	77,915.00	77,915.00	3,256.30	95.8
EMPLOYEE BENEFITS	46,900.00	1,247.59	97.3	46,900.00	46,900.00	6,436.70	86.2
PUBLIC FACILITIES	80,500.00	0.00	100.0	80,500.00	80,500.00	15,747.52	80.4
BOARDS AND COMMISSIONS	720.00	43.08	94.0	720.00	720.00	43.08	94.0
COMMUNITY & ECONOMIC DEVLPMT	431,215.00	32,834.61	92.3	431,215.00	431,215.00	84,835.66	80.3
TOTAL EXPENSES	13,307,652.89	1,121,692.70	91.5	13,344,818.67	13,512,065.00	2,379,343.83	82.3
TOTAL FUND REVENUES	13,641,065.00	197,965.47	(98.5)	13,641,065.00	13,641,065.00	6,124,399.83	(55.1)
TOTAL FUND EXPENSES	13,307,652.89	1,121,692.70	91.5	13,344,818.67	13,512,065.00	2,379,343.83	82.3
SURPLUS (DEFICIT)	333,412.11	(923,727.23)	(377.0)	296,246.33	129,000.00	3,745,056.00	2803.1

DATE: 04/12/2022  
TIME: 12:04:22  
ID: GL480000.WOW

CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 3  
F-YR: 22

FOR FUND: CAPITAL FUND  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH		ACTUAL	VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL		VARI- ANCE
	BUDGET	%					YEAR-TO-DATE ACTUAL	%	
REVENUES									
PATROL	4,183,930.00		12,589.84	(99.6)	4,183,930.00	4,183,930.00	302,681.43	(92.7)	
TOTAL REVENUES	4,183,930.00		12,589.84	(99.6)	4,183,930.00	4,183,930.00	302,681.43	(92.7)	
EXPENSES									
CITY CLERK-TREASURER	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
ADMINISTRATION	500.00	0.00	0.00	100.0	500.00	500.00	0.00	100.0	0.0
COMPUTER	33,500.00	0.00	0.00	100.0	33,500.00	33,500.00	0.00	100.0	0.0
CITY ASSESSOR	10,000.00	0.00	0.00	100.0	10,000.00	10,000.00	0.00	100.0	0.0
MUNICIPAL SERVICES ADMIN.	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
ELECTIONS	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
CITY HALL	187,000.00	0.00	0.00	100.0	217,000.00	352,000.00	42,025.49	88.0	0.0
GENERAL EXPENDITURES	91,715.00	0.00	0.00	100.0	91,715.00	91,715.00	0.00	100.0	0.0
POLICE DEPARTMENT	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
PATROL BOAT	4,583.33	0.00	0.00	100.0	13,749.99	55,000.00	0.00	100.0	0.0
POLICE DEPT. / INVESTIGATIONS	152,505.00	0.00	0.00	100.0	152,505.00	152,505.00	19,254.00	87.3	100.0
FIRE DEPARTMENT	7,000.00	0.00	0.00	100.0	7,000.00	7,000.00	0.00	100.0	0.0
STORM SEWERS	657,895.00	5,029.19	99.2	0.0	657,895.00	657,895.00	76,896.04	88.3	0.0
SOLID WASTE MGMT/REFUSE/RECYC	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
SOLID WASTE MGMT/SPRING/FALL	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
ROADWAYS/STREETS	1,842,015.00	180.00	99.9	0.0	1,842,015.00	1,842,015.00	180.00	99.9	0.0
SNOW REMOVAL	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
CURB/GUTTER/SIDEWALK	45,000.00	0.00	0.00	100.0	45,000.00	45,000.00	0.00	100.0	0.0
CITY GARAGE	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
PARKS AND PLAYGROUNDS	783,500.00	0.00	0.00	100.0	783,500.00	783,500.00	0.00	100.0	0.0
BALLFIELDS	208.33	0.00	0.00	100.0	624.99	2,500.00	0.00	100.0	0.0
ICE RINKS	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
BEACHES	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
MUNICIPAL DOCKS	60,000.00	0.00	0.00	100.0	60,000.00	60,000.00	0.00	100.0	0.0
WATER WEED MANAGEMENT	60,000.00	0.00	0.00	100.0	60,000.00	60,000.00	0.00	100.0	0.0
WATERFRONT PARKS & WALKWAYS	18,000.00	0.00	0.00	100.0	18,000.00	18,000.00	655.40	96.3	0.0
SANITARY & WATER MAIN	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
PUBLIC FACILITIES	19,800.00	0.00	0.00	100.0	19,800.00	19,800.00	0.00	100.0	0.0
COMMUNITY & ECONOMIC DEVLPMT	0.00	0.00	0.00	0.0	0.00	0.00	0.00	0.0	0.0
TOTAL EXPENSES	3,973,221.66	5,209.19	99.8		4,012,804.98	4,190,930.00	139,010.93	96.6	
TOTAL FUND REVENUES	4,183,930.00	12,589.84	(99.6)		4,183,930.00	4,183,930.00	302,681.43	(92.7)	
TOTAL FUND EXPENSES	3,973,221.66	5,209.19	99.8		4,012,804.98	4,190,930.00	139,010.93	96.6	
SURPLUS (DEFICIT)	210,708.34	7,380.65	(96.4)		171,125.02	(7,000.00)	163,670.50	(2438.1)	



DATE: 04/12/2022  
TIME: 12:04:22  
ID: GL480000.WOW

CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 4  
F-YR: 22

FOR FUND: ARPA -AMERICAN RESCUE PLAN ACT  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
ARPA / GENERAL	38,976.99	11.92	(99.9)	116,930.97	467,724.00	34.59	(99.9)
TOTAL REVENUES	38,976.99	11.92	(99.9)	116,930.97	467,724.00	34.59	(99.9)
EXPENSES							
ARPA / GENERAL	77,944.83	0.00	100.0	233,834.49	935,338.00	0.00	100.0
TOTAL EXPENSES	77,944.83	0.00	100.0	233,834.49	935,338.00	0.00	100.0
TOTAL FUND REVENUES	38,976.99	11.92	(99.9)	116,930.97	467,724.00	34.59	(99.9)
TOTAL FUND EXPENSES	77,944.83	0.00	100.0	233,834.49	935,338.00	0.00	100.0
SURPLUS (DEFICIT)	(38,967.84)	11.92	(100.0)	(116,903.52)	(467,614.00)	34.59	(100.0)

CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: CABLE TV  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
CABLE TV / GENERAL	123,057.08	0.00	100.0	128,111.24	150,855.00	32,507.73	(78.4)
TOTAL REVENUES	123,057.08	0.00	100.0	128,111.24	150,855.00	32,507.73	(78.4)
EXPENSES							
CABLE TV / GENERAL	112,625.00	5,400.82	95.2	112,625.00	112,625.00	26,118.89	76.8
TOTAL EXPENSES	112,625.00	5,400.82	95.2	112,625.00	112,625.00	26,118.89	76.8
TOTAL FUND REVENUES	123,057.08	0.00	100.0	128,111.24	150,855.00	32,507.73	(78.4)
TOTAL FUND EXPENSES	112,625.00	5,400.82	95.2	112,625.00	112,625.00	26,118.89	76.8
SURPLUS (DEFICIT)	10,432.08	(5,400.82)	(151.7)	15,486.24	38,230.00	6,388.84	(83.2)

DATE: 04/12/2022  
TIME: 12:04:22  
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CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: TID #6 DISTRICT  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	VARI- ANCE
EXPENSES							
TID #6 DISTRICT	0.00	0.00	0.0	0.00	0.00	0.00	0.0
TOTAL EXPENSES	0.00	0.00	0.0	0.00	0.00	0.00	0.0

CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: TOURISM FUND  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH		% VARI- ANCE	FISCAL YEAR-TO-DATE		ANNUAL BUDGET	FISCAL YEAR-TO-DATE		% VARI- ANCE
	BUDGET	ACTUAL		BUDGET	ACTUAL		ACTUAL	ACTUAL	
REVENUES									
TOURISM COMMITTEE / GENERAL	0.00	0.00	0.0	0.00		0.00	0.00	0.0	0.0
TOTAL REVENUES	0.00	0.00	0.0	0.00		0.00	0.00	0.0	0.0
EXPENSES									
TOURISM COMMITTEE / GENERAL	0.00	0.00	0.0	0.00		0.00	0.00	0.0	0.0
TOTAL EXPENSES	0.00	0.00	0.0	0.00		0.00	0.00	0.0	0.0
TOTAL FUND REVENUES	0.00	0.00	0.0	0.00		0.00	0.00	0.0	0.0
TOTAL FUND EXPENSES	0.00	0.00	0.0	0.00		0.00	0.00	0.0	0.0
SURPLUS (DEFICIT)	0.00	0.00	0.0	0.00		0.00	0.00	0.0	0.0

CITY OF STURGEON BAY  
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: TID #2 DISTRICT  
 FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH		FISCAL		FISCAL	
	BUDGET	ACTUAL	YEAR-TO-DATE BUDGET	ANNUAL BUDGET	YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES						
TID DISTRICT #2	2,367,307.00	590.33	(99.9)	2,367,307.00	2,367,307.00	701,332.17 (70.3)
TOTAL REVENUES	2,367,307.00	590.33	(99.9)	2,367,307.00	2,367,307.00	701,332.17 (70.3)
EXPENSES						
TID DISTRICT #2	2,550,594.00	131,583.33	94.8	2,550,594.00	2,550,594.00	356,557.87 86.0
TOTAL EXPENSES	2,550,594.00	131,583.33	94.8	2,550,594.00	2,550,594.00	356,557.87 86.0
TOTAL FUND REVENUES	2,367,307.00	590.33	(99.9)	2,367,307.00	2,367,307.00	701,332.17 (70.3)
TOTAL FUND EXPENSES	2,550,594.00	131,583.33	94.8	2,550,594.00	2,550,594.00	356,557.87 86.0
SURPLUS (DEFICIT)	(183,287.00)	(130,993.00)	(28.5)	(183,287.00)	(183,287.00)	344,774.30 (288.1)

DATE: 04/12/2022  
TIME: 12:04:23  
ID: GL480000.MOW

CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: TID #1 DISTRICT  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
TID #1 DISTRICT	891,917.00	145.40	(99.9)	891,917.00	891,917.00	598,345.85	(32.9)
TOTAL REVENUES	891,917.00	145.40	(99.9)	891,917.00	891,917.00	598,345.85	(32.9)
EXPENSES							
TID #1 DISTRICT	1,345,808.00	0.00	100.0	1,345,808.00	1,345,808.00	0.00	100.0
TOTAL EXPENSES	1,345,808.00	0.00	100.0	1,345,808.00	1,345,808.00	0.00	100.0
TOTAL FUND REVENUES	891,917.00	145.40	(99.9)	891,917.00	891,917.00	598,345.85	(32.9)
TOTAL FUND EXPENSES	1,345,808.00	0.00	100.0	1,345,808.00	1,345,808.00	0.00	100.0
SURPLUS (DEFICIT)	(453,891.00)	145.40	(100.0)	(453,891.00)	(453,891.00)	598,345.85	(231.8)

DATE: 04/12/2022  
 TIME: 12:04:23  
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CITY OF STURGEON BAY  
 SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 10  
 F-YR: 22

FOR FUND: TID #3 DISTRICT  
 FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
TID #3 DISTRICT	69,564.00	114.86	(99.8)	69,564.00	69,564.00	49,099.97	(29.4)
TOTAL REVENUES	69,564.00	114.86	(99.8)	69,564.00	69,564.00	49,099.97	(29.4)
EXPENSES							
TID #3 DISTRICT	120,474.00	22,095.00	81.6	120,474.00	120,474.00	22,095.00	81.6
TOTAL EXPENSES	120,474.00	22,095.00	81.6	120,474.00	120,474.00	22,095.00	81.6
TOTAL FUND REVENUES	69,564.00	114.86	(99.8)	69,564.00	69,564.00	49,099.97	(29.4)
TOTAL FUND EXPENSES	120,474.00	22,095.00	81.6	120,474.00	120,474.00	22,095.00	81.6
SURPLUS (DEFICIT)	(50,910.00)	(21,980.14)	(56.8)	(50,910.00)	(50,910.00)	27,004.97	(153.0)



DATE: 04/12/2022  
TIME: 12:04:23  
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CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 11  
F-YR: 22

FOR FUND: TID #4 DISTRICT  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
TID #4 DISTRICT	577,496.00	1,153.55	(99.8)	598,996.00	695,746.00	299,952.40	(56.8)
TOTAL REVENUES	577,496.00	1,153.55	(99.8)	598,996.00	695,746.00	299,952.40	(56.8)
EXPENSES							
TID #4 DISTRICT	0.00	0.00	0.0	0.00	0.00	0.00	0.0
TID #4 DISTRICT	1,374,474.66	41,942.73	96.9	1,385,375.98	1,434,432.00	280,140.40	80.4
TOTAL EXPENSES	1,374,474.66	41,942.73	96.9	1,385,375.98	1,434,432.00	280,140.40	80.4
TOTAL FUND REVENUES	577,496.00	1,153.55	(99.8)	598,996.00	695,746.00	299,952.40	(56.8)
TOTAL FUND EXPENSES	1,374,474.66	41,942.73	96.9	1,385,375.98	1,434,432.00	280,140.40	80.4
SURPLUS (DEFICIT)	(796,978.66)	(40,789.18)	(94.8)	(786,379.98)	(738,686.00)	19,812.00	(102.6)

DATE: 04/12/2022  
TIME: 12:04:23  
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CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 12  
F-YR: 22

FOR FUND: TID #5 DISTRICT  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
EXPENSES							
TID #5 DISTRICT	81,276.31	0.00	100.0	243,828.93	975,316.00	0.00	100.0
TOTAL EXPENSES	81,276.31	0.00	100.0	243,828.93	975,316.00	0.00	100.0

DATE: 04/12/2022  
 TIME: 12:04:23  
 ID: GL480000.WOW

CITY OF STURGEON BAY  
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: REVOLVING LOAN FUND (STATE)  
 FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
REVOLVING LOAN FUND (STATE)	0.00	0.00	0.0	0.00	0.00	0.00	0.0
TOTAL REVENUES	0.00	0.00	0.0	0.00	0.00	0.00	0.0
EXPENSES							
REVOLVING LOAN FUND (STATE)	0.00	0.00	0.0	0.00	0.00	0.00	0.0
TOTAL EXPENSES	0.00	0.00	0.0	0.00	0.00	0.00	0.0
TOTAL FUND REVENUES	0.00	0.00	0.0	0.00	0.00	0.00	0.0
TOTAL FUND EXPENSES	0.00	0.00	0.0	0.00	0.00	0.00	0.0
SURPLUS (DEFICIT)	0.00	0.00	0.0	0.00	0.00	0.00	0.0

DATE: 04/12/2022  
 TIME: 12:04:23  
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CITY OF STURGEON BAY  
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: SOLID WASTE ENTERPRISE  
 FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH	MARCH	%	FISCAL	ANNUAL	FISCAL	%
	BUDGET	ACTUAL	VARI- ANCE	YEAR-TO-DATE BUDGET	BUDGET	YEAR-TO-DATE ACTUAL	VARI- ANCE
REVENUES							
SOLID WASTE ENTERPRISE FUND	595,735.83	45,769.30	(92.3)	597,137.49	603,445.00	137,253.35	(77.2)
TOTAL REVENUES	595,735.83	45,769.30	(92.3)	597,137.49	603,445.00	137,253.35	(77.2)
EXPENSES							
SOLID WASTE ENTERPRISE FUND	551,635.81	43,403.35	92.1	556,047.43	575,900.00	80,579.95	86.0
TOTAL EXPENSES	551,635.81	43,403.35	92.1	556,047.43	575,900.00	80,579.95	86.0
TOTAL FUND REVENUES	595,735.83	45,769.30	(92.3)	597,137.49	603,445.00	137,253.35	(77.2)
TOTAL FUND EXPENSES	551,635.81	43,403.35	92.1	556,047.43	575,900.00	80,579.95	86.0
SURPLUS (DEFICIT)	44,100.02	2,365.95	(94.6)	41,090.06	27,545.00	56,673.40	105.7

CITY OF STURGEON BAY  
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: COMPOST SITE ENTERPRISE FUND  
 FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL YEAR-TO-DATE BUDGET	ANNUAL BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
COMPOST SITE ENTERPRISE FUND	20,136.65	13,532.90	(32.7)	40,409.95	131,640.00	38,805.57	(70.5)
TOTAL REVENUES	20,136.65	13,532.90	(32.7)	40,409.95	131,640.00	38,805.57	(70.5)
EXPENSES							
COMPOST SITE ENTERPRISE FUND	8,824.10	3,415.15	61.2	26,472.30	105,890.00	7,119.01	93.2
TOTAL EXPENSES	8,824.10	3,415.15	61.2	26,472.30	105,890.00	7,119.01	93.2
TOTAL FUND REVENUES	20,136.65	13,532.90	(32.7)	40,409.95	131,640.00	38,805.57	(70.5)
TOTAL FUND EXPENSES	8,824.10	3,415.15	61.2	26,472.30	105,890.00	7,119.01	93.2
SURPLUS (DEFICIT)	11,312.55	10,117.75	(10.5)	13,937.65	25,750.00	31,686.56	23.0

DATE: 04/12/2022  
TIME: 12:04:24  
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CITY OF STURGEON BAY  
SUMMARIZED REVENUE & EXPENSE REPORT

PAGE: 16  
F-YR: 22

MUNICIPAL REPORT TOTALS  
FOR 3 PERIODS ENDING MARCH 31, 2022

DEPARTMENT DESCRIPTION	MARCH BUDGET	MARCH ACTUAL	% VARI- ANCE	FISCAL		FISCAL	
				YEAR-TO-DATE BUDGET	ANNUAL BUDGET	YEAR-TO-DATE ACTUAL	% VARI- ANCE
TOTAL MUNICIPAL REVENUES	22,509,185.55	271,873.57	(98.7)	22,635,368.65	23,203,193.00	8,284,412.89	(64.2)
TOTAL MUNICIPAL EXPENSES	23,504,531.26	1,374,742.27	94.1	23,932,683.78	25,859,372.00	3,290,965.88	87.2
SURPLUS (DEFICIT)	(995,345.71)	(1,102,868.70)	10.8	(1,297,315.13)	(2,656,179.00)	4,993,447.01	(287.9)

**BEVERAGE OPERATOR LICENSES**

1. Brunette, Santanna M.
2. Fennzy, Joseph T.
3. Jorgensen, Erika L.
4. Weckler, Lyle H.



***SIX MONTH CLASS B BEER LICENSE***

PKS3, LLC.  
DBA: The Hill Raceway  
Agent: Melanie Rose Sargent  
5780 West Jorns Lane  
Sturgeon Bay, WI 54235  
Location: 812 North 14<sup>th</sup> Avenue  
Dates: May 1, 2022 – October 1, 2022

***TEMPORARY CLASS B BEER LICENSE***

Sturgeon Bay Bass Tournament, LLC

Agent: Gary Nault

711 Hickory Street

Sturgeon Bay, WI 54235

Location: Sawyer Park Pavilion, Neenah Avenue

Dates: May 9 & 10, 2022 (May 11, 2022 if blow day)

**R E C O M M E N D A T I O N****TO THE HONORABLE MAYOR AND COMMON COUNCIL:**

We, the Personnel Committee, hereby recommend to approve the proposed 2022 wage step recommendations for the following positions:

<b><u>Position</u></b>	<b>2022</b>	
	<b><u>Rec Step</u></b>	<b><u>Rec Wage</u></b>
City Administrator	14	\$116,376.00
Finance Director	19	\$105,186.00
Police Chief	17	\$104,204.00
Community Development Director	24	\$103,388.00
City Engineer	17	\$101,241.00
City Clerk/HR Director	22	\$93,780.00
Municipal Services Director	8	\$90,153.00
Assistant Fire Chief	17	\$88,859.00
Engineering Technician	23	\$79,153.00
Planner/Zoning Admin	8	\$59,876.00
Municipal Services Secretary	18	\$24.29/hr
Office Assistant II	8	\$22.92/hr
Police Assistant	15	\$22.70/hr
Admin Assistant to City Admin	9	\$20.51/hr

Respectfully submitted,

PERSONNEL COMMITTEE

By: Dan Williams, Chr.

RESOLVED, that the foregoing recommendation be adopted.

Dated: March 28, 2022

\* \* \* \* \*

Moved by Alderperson \_\_\_\_\_, seconded by Alderperson \_\_\_\_\_ that the said recommendation be adopted.

Passed by the Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

## RECOMMENDATION

TO THE HONORABLE MAYOR AND COMMON COUNCIL:

We, the Finance/Purchasing & Building Committee, hereby recommend to write-off the following 2020 delinquent personal property taxes in the amount of \$352.91.

## Write-Off List

<u>Tax Account #</u>	<u>Name</u>	<u>Proposed Write-Off</u>
<u>Amount</u>		
281-0193	May Tax Service	\$ .32
281-0946	Super 8 Motel	\$ 36.31
281-1118	Stellar Fitness DBA Anytime Fitness	\$ 2.26
281-1159	Eldercare Innovations, LLC	\$ 33.81
281-1160	Eldercare Innovations, LLC	\$ 46.95
281-1161	Eldercare Innovations, LLC	\$ 40.37
281-1317	Jody Jessup DBA Nutrition & Consulting	\$ 9.39
281-1351	Pasza, LLC	\$ .30
281-1480	Results Personal Training, LLC	\$ 89.19
281-1529	Robert A. Paul	\$ 23.48
281-1533	Nutmeg & Spice	\$ 23.48
281-1546	Accent Health	\$ 16.08
281-1603	Audry Milbach DBA Kims Boutique	\$ 2.81
281-1605	Wayne Fredrich DBA DC Graphics 7 Gifts	<u>\$ 28.16</u>
	<b>TOTAL</b>	<b>\$352.91</b>

Respectfully submitted,  
 FINANCE/PURCHASING & BUILDING  
 COMMITTEE  
 By: Helen Bacon, Chairperson

RESOLVED, that the foregoing recommendation be adopted.

Dated: March 29, 2022

\*\*\*\*\*

Introduced by \_\_\_\_\_.

Moved by Alderperson \_\_\_\_\_ seconded by \_\_\_\_\_

Alderperson \_\_\_\_\_ that said recommendation be adopted.

Passed by the Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

## EXECUTIVE SUMMARY

**TITLE:** Write-off of 2020 Delinquent Personal Property tax accounts

**BACKGROUND:** In November of 2004 the City adopted a Billing/Accounts Receivable Policy which includes provisions for write-offs. Per the policy, accounts considered for writing-off are those that cannot be collected under any of the following circumstances:

- 1) The party owing the City money cannot be located.
- 2) The party owing the City money has filed bankruptcy (all pertinent claims will be filed by the city in the cases of bankruptcy)
- 3) The expense of collecting the delinquent funds owed to the City exceeds the amount of the delinquency. Per the City Attorney a cut off of \$250 should be used.

Following is a list detailing the delinquent Personal Property Tax accounts for which I am proposing to write-off. The delinquent personal property tax accounts received several collection notices in 2020.

<b><u>Write-off List</u></b>		<b><u>Proposed</u></b>
<b><u>Account #</u></b>	<b><u>Name</u></b>	<b><u>Write-off Amt</u></b>
281-0193	May Tax Service	\$ .32
281-0946	Super 8 Motel	\$ 36.31
281-1118	Stellar Fitness DBA Anytime Fitness	\$ 2.26
281-1159	Eldercare Innovations, LLC	\$ 33.81
281-1160	Eldercare Innovations, LLC	\$ 46.95
281-1161	Eldercare Innovations, LLC	\$ 40.37
281-1317	Jody Jessup DBA Nutrition & Consulting	\$ 9.39
281-1351	Pasza LLC	\$ .30
281-1480	Results Personal Training LLC	\$ 89.19
281-1529	Robert A. Paul	\$ 23.48
281-1533	Nutmeg & Spice	\$ 23.48
281-1546	Accent Health	\$ 16.08
281-1603	Audry Milbach DBA Kims Boutique	\$ 2.81
281-1605	Wayne Fredrich DBA DC Graphics 7 Gifts	\$ 28.16
<b>Total</b>		<b>\$ 352.91</b>

The proposed delinquent personal property tax write-off in the amount of \$352.91 is strictly the City's liability as per statute. Where Wisconsin statute allows, the City will chargeback uncollected personal property taxes to the pertinent taxing jurisdictions (county, school, technical college).

**FISCAL IMPACT:** The fiscal impact to the City for writing off the above listed delinquent personal property tax accounts is \$352.91.

- OPTIONS:**
- 1) Write-off the delinquent personal property accounts as detailed above.
  - 2) Leave the above listed delinquent personal property tax accounts open and

on the City's books.

RECOMMENDATION:

Recommend to the Common Council to write-off \$352.91 in 2020 delinquent personal property taxes as per the above listing.

PREPARED BY:

  
Valerie J. Clarizio  
Finance Director/City Treasurer

3/9/22  
Date

REVIEWED BY:

  
Josh VanLieshout  
City Administrator

4/12/22  
Date



## Personal Property Chargebacks for 2020 Taxes Uncollectible in 2021

Name	Chargeback State of Wisconsin	Chargebacks County of Door	Chargebacks City of Sturgeon Bay	Chargebacks Sturgeon Bay School District	Chargebacks Sevastopol School District	Chargebacks Southern Door School District	Chargebacks NMTC	Total Chargebacks per Owner	Ceased Operations (CO) Bankruptcy (B) Removed from next Assent Roll (R)	Action	Payment Date	Reimbursed to Tasing Jurisdictions
281-0193 May Tax Service	0.00	0.05	0.13	0.13			0.01	0.32		Write-off		
281-0946 Super 8 Motel	0.00	5.25	14.53	15.18			1.05	36.31		Write-off		
281-1118 Stellar Fitness DBA Anytime Fitness	0.00	0.33	0.92	0.94			0.07	2.26		Write-off		
281-1159 Eldercare Innovations LLC	0.00	11.95	33.81	34.59			2.39	82.74	R	Chargeback & Write-off		
281-1160 Eldercare Innovations LLC	0.00	16.60	48.95	48.04			3.32	114.91	R	Chargeback & Write-off		
281-1161 Eldercare Innovations LLC	0.00	14.28	40.37	41.31			2.85	98.92	R	Chargeback & Write-off		
281-1317 Jody Jessup DBA Nutrition & Consulting	0.00	3.32	9.39	9.61			0.86	22.98	R	Write-off		
281-1351 Pasza	0.00	0.04	0.12	0.13			0.01	0.30		Write-off		
281-1480 Results Personal Training LLC	0.00	31.54	89.19	91.28			6.31	218.32	CO	Write-off		
281-1529 Robert A Paul	0.00	8.30	23.48	24.02			1.85	57.46	R	Write-off		
281-1533 Nurmog & Spice	0.00	8.30	23.48	24.02			1.85	57.46	R	Write-off		
281-1546 Accent Health	0.00	2.32	6.58	6.72			0.46	16.08		Write-off		
281-1603 Audry Milbach DBA Kims Boutique	0.00	1.00	2.81	2.88			0.20	6.89	R	Write-off		
281-1605 Wayne Friedrich DBA DC Graphics & Gifts	0.00	9.95	28.16	28.83			1.99	68.94	R	Chargeback & Write-off		
Total Delinquent amounts	0.00	113.24	320.22	327.68	0.00	0.00	22.65	783.79				

## RECOMMENDATION

TO THE HONORABLE MAYOR AND COMMON COUNCIL:

We, the Finance/Purchasing & Building Committee, hereby recommend to approve the land swap with Fincantieri Bay Shipbuilding for Well #3 site and transfer formal ownership of the Well #3 to Sturgeon Bay Utilities.

Respectfully submitted,  
FINANCE/PURCHASING & BUILDING  
COMMITTEE

By: Helen Bacon, Chairperson

RESOLVED, that the foregoing recommendation be adopted.

Dated: March 29, 2022

\*\*\*\*\*

Introduced by \_\_\_\_\_.

Moved by Alderperson \_\_\_\_\_ seconded by

Alderperson \_\_\_\_\_ that said recommendation be adopted.

Passed by the Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

## EXECUTIVE SUMMARY

**Title:** Offer to Swap Property – Fincantieri Bay Shipbuilding/SBU Well #3

**Background:** Sturgeon Bay Utilities operates well #3 at the southwest corner of N. Third Avenue/Florida Street. This property is part of the overall property owned by the City of Sturgeon Bay that encompasses Sunset Park and the Florida Street right-of-way. Fincantieri leases air rights over a portion of the well site with semi-annual \$1,400 payments going to Sturgeon Bay Utilities. That arrangement has been in place for many years, probably as long as the graving dock/gantry crane have been in existence.

Fincantieri is proposing to construct a new 65' x 330' building to replace an older building. The location is along N. Third Ave and is within 2 feet of the lot line. Variances from the minimum side yard and minimum street yard were approved by the Zoning Board of Appeals on March 22<sup>nd</sup>. While doing their survey work, it was discovered that Fincantieri's fence was over the actual lot lines and encroached onto the well site. To correct this situation and allow the new building to be in the most advantageous place for the shipyard, Fincantieri is proposing a land swap. About 3,176 square feet of property would be transferred from the south edge of the City parcel to Fincantieri and an equal amount added the west side of the City parcel.

Sturgeon Bay Utilities has reviewed the proposed swap and concurs with the proposed new lot lines. But since the City of Sturgeon Bay, and not SBU, appears to still be the owner of record, it requires action from the Common Council to approve the transfer of real estate.

What is proposed is the following: A certified survey map is created at Fincantieri's expense to adjust the lot boundaries and to create a separate parcel for the City property south of Florida Street. This separate parcel is the property being used and maintained by SBU for the well. Once the lot is created, the City can transfer ownership to Fincantieri for the land swap portion and also transfer ownership of the rest to SBU. SBU can then resume its lease with Fincantieri for the use of the portion of the land and the air rights for the Gantry crane, including negotiating a new rental rate if necessary. This proposal is essentially the same as what the City/SBU did for the property along S. First Avenue, whereby the formal title to the electric substation was granted to SBU with the City retaining formal title to the parking lot parcel.

There appears to be several parcels that are titled to the City of Sturgeon Bay but are assets of SBU, with use and maintenance controlled by SBU. A payment in lieu of taxes is made by SBU for these various parcels along with other parcels that are already titled to SBU. While not the subject of this meeting, it would be beneficial to formally resolve the ownership of those properties as well.

**Fiscal Impact:** None. The amount of real estate being swapped is the same for both parties so it will have a negligible impact on the property tax. The future lease payments by Fincantieri are expected to go to SBU like the current lease payments do. The cost of the surveying and recording will be borne by Fincantieri.

**Recommendation:** Approve the land swap with Fincantieri and transfer formal ownership of site for well #3 to Sturgeon Bay Utilities.

Prepared by: Martin Olejniczak  
Martin Olejniczak, Community Development Director

3-23-2022  
Date

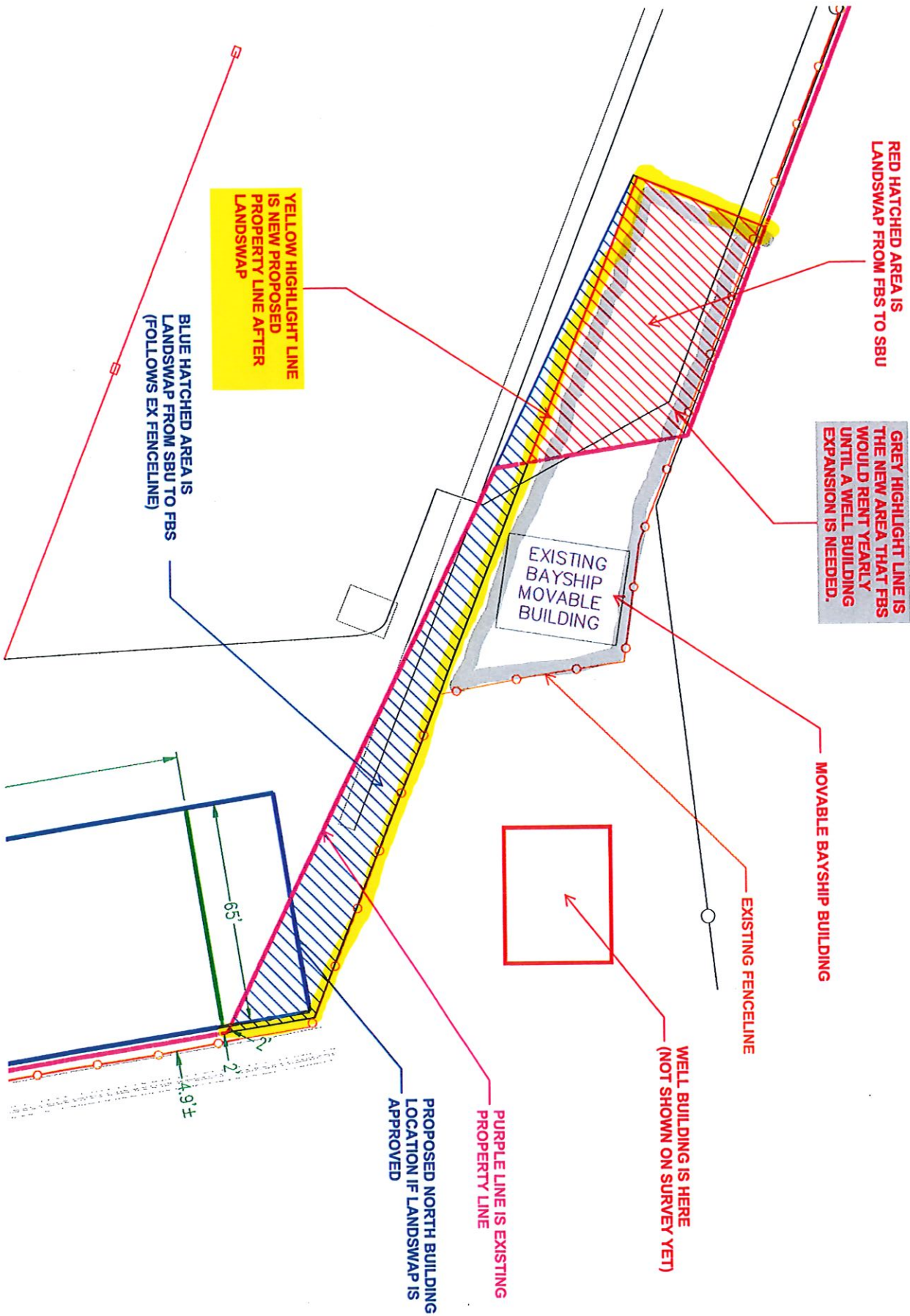
Reviewed by: Valerie Clarizio  
Val Clarizio, Finance Director

3/23/22  
Date

Reviewed by: Josh Van Lieshout  
Josh Van Lieshout, City Administrator

4/12/22  
Date





RED HATCHED AREA IS LANDSWAP FROM FBS TO SBU

GREY HIGHLIGHT LINE IS THE NEW AREA THAT FBS WOULD RENT YEARLY UNTIL A WELL BUILDING EXPANSION IS NEEDED.

MOVABLE BAYSHIP BUILDING

EXISTING FENCELINE

WELL BUILDING IS HERE (NOT SHOWN ON SURVEY YET)

PURPLE LINE IS EXISTING PROPERTY LINE

PROPOSED NORTH BUILDING LOCATION IF LANDSWAP IS APPROVED

YELLOW HIGHLIGHT LINE IS NEW PROPOSED PROPERTY LINE AFTER LANDSWAP

BLUE HATCHED AREA IS LANDSWAP FROM SBU TO FBS (FOLLOWS EX FENCELINE)

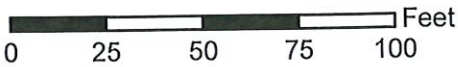
65'

2'

4.9'±



# Location Map - Property Swap with Bay Shipbuilding



Map Date: March 23, 2022



Well #3 - viewed from the north



© All Pictometry



Committee 2022-2023	Chair	Vice-Chair	Member	Member	Member	District
Finance Purchasing & Building (3)	Helen Bacon	Seth Wiederanders	Dan Williams			Helen Bacon Finance Park & Rec Chair 1
Personnel (3)	Dan Williams	J. Spencer Gustafson	Dennis Statz			Plan Commission Arts Board Library Board 2
Park & Rec (3)	Helen Bacon	Gary Nault	J Spencer Gustafson			Dennis Statz Parking and Traffic Plan Commission Personnel Historic Preservation 3
Parking & Traffic (3)	Kirsten Reeths	J Spencer Gustafson	Dennis Statz			
Community Protection & Services (3)	Dan Williams	Kirsten Reeths	Seth Wiederanders			
City Plan Commission (3)			Dave Ward	Kirsten Reeths	Helen Bacon	Dan Williams Personnel Chair CP&S Finance WRA Utility Commission 4
Utility Commission (4)	Elected		Gary Nault	Seth Wiederanders	Dave Ward	Dan Williams Chair 5
Harbor Commission(1)			Gary Nault			
Historic Preservation (1)				Dennis Statz		J Spencer Gustafson Parking & Traffic Vice Chair Personnel Vice Chair Park and Rec WRA Library Board 6
Local Arts Board (1)	Helen Bacon					
Board of Park and Recreation (3)	Helen Bacon	Gary Nault	J Spencer Gustafson			Gary Nault Harbor Commission Chair Park & Rec Vice Chair Utility Commission Industrial Park Review 7
BiCycle and Pedestrian (1)	Kirsten Reeths		Chris Sullivan Robinson			
Waterfront Redevelopment Authority (2)			Dan Williams	J Spencer Gustafson		
Library Board (2)			Helen Bacon	J Spencer Gustafson		Seth Wiederanders Finance Vice Chair Utility Commission CP&S SB Visitor Center 8
Industrial Park Review (1)			Gary Nault			
Door County Economic Development Corp. (1)			Dave Ward			Kirsten Reeths Parking & Traffic Chair Bike & Ped CP&S Plan Commission 9
Sturgeon Bay Visitor Center			Seth Wiederanders			
Weed Commissioner	Mike Barker					

Resolution No. \_\_\_\_\_

RESOLUTION PROVIDING FOR THE SALE OF APPROXIMATELY  
\$2,455,000 GENERAL OBLIGATION PROMISSORY NOTES

WHEREAS, the City of Sturgeon Bay, Door County, Wisconsin (the "City") is presently in need of approximately \$2,455,000 for public purposes, including paying the cost of street and parking lot improvements, improvements to public buildings, sites and facilities, and the acquisition of vehicles and equipment; and

WHEREAS, it is desirable to borrow said funds through the issuance of general obligation promissory notes pursuant to Section 67.12(12), Wisconsin Statutes.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City that:

Section 1. Issuance of the Notes. The City shall issue its General Obligation Promissory Notes (the "Notes") in an amount of approximately \$2,455,000 for the purposes above specified.

Section 2. Sale of the Notes. The Common Council hereby authorizes and directs that the Notes be offered for public sale. At a subsequent meeting, the Common Council shall consider such bids for the Notes as may have been received and take action thereon.

Section 3. Notice of Sale. The City Clerk (in consultation with Robert W. Baird & Co. Incorporated ("Baird")) be and hereby is directed to cause notice of the sale of the Notes to be disseminated in such manner and at such times as the City Clerk may determine and to cause copies of a complete Official Notice of Sale and other pertinent data to be forwarded to interested bidders as the City Clerk may determine.

Section 4. Official Statement. The City Clerk (in consultation with Baird) shall cause an Official Statement concerning this issue to be prepared and distributed by Baird. The appropriate City officials shall determine when the Official Statement is final for purposes of Securities and Exchange Commission Rule 15c2-12 and shall certify said Official Statement, such certification to constitute full authorization of such Official Statement under this resolution.

Adopted, approved and recorded April 19, 2022.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

(SEAL)

## EXECUTIVE SUMMARY

**TITLE:** Debt Issuance of general obligation promissory notes for capital projects and purchases including street and parking lot improvements, improvements to public buildings, sites and facilities, and the acquisition of vehicles and equipment

**BACKGROUND:** The proposed \$2,455,000 general obligation promissory notes will be issued to provide financing for the following capital items as detailed in the 2022 budget. The City will apply prior years excess debt proceeds, thereby, reducing the 2022 budgeted debt proceed dollars.

Bridge Cameras  
Municipal Services Parking Lot Pavement  
Patrol Boat Motors  
FLIR – Forward Looking Infrared  
Axon Fleet Three Recording System  
Squad Car  
Body Cameras  
Evidence Fuming Hood  
Hose Tester  
Brush Truck  
Rescue Squad  
Annual Road Improvements  
Skid Steer  
One Ton Dump Truck  
Heavy Duty Plow Truck w/Dump Box  
Hwy 42/57 Intersection Improvements  
Annual Expense Alley/Parking Lots  
Sunset Pavilion  
Memorial Field Building (Roof, Soffit, and Facia)  
Little Lake Improvements  
Riding Lawnmowers (2)  
Water Weed Truck  
Library Building (Insulation, Door, LED)

**FISCAL IMPACT:** See attached financing plan for the estimated debt payment schedule.

**RECOMMENDATION:** Recommend to the Common Council that the City issue approximately \$2,455,000 in general obligation promissory notes for the purpose of funding capital projects and purchases including street and parking lot improvements, improvements to public buildings, sites and facilities, and the acquisition of vehicles and equipment.

**PREPARED BY:**

Valerie J. Clarizio  
Valerie J. Clarizio  
Finance Director/City Treasurer

4/7/22  
Date

REVIEWED BY:



Joshua VanLieshout  
City Administrator

4/7/22  
Date

BAIRD

## City of Sturgeon Bay

Finance Committee Meeting

April 12, 2022

**Bradley D. Viegut, Managing Director**

[bviegut@nwbaird.com](mailto:bviegut@nwbaird.com)

777 East Wisconsin Avenue

Milwaukee, WI 53202

Phone 414.765.3827

Fax 414.298.7354

# City of Sturgeon Bay

Finance Committee Meeting

April 12, 2022

## Timeline

- Finance Committee considers plan of finance..... April 12, 2022
- Common Council considers Set Sale Resolution for General Obligation Promissory Notes (the "Notes") ..... April 19, 2022
  - Preparations are made for issuance
    - ✓ Official Statement
    - ✓ Notes Rating
- Common Council considers Award Resolution for the Notes (finalizes terms and interest rates)..... May 17, 2022
- Notes Closing (funds available to pay project costs) ..... June 6, 2022

BAIRD

# City of Sturgeon Bay

Finance Committee Meeting

April 12, 2022

BAIRD

## Borrowing Amount / Structure / Purpose

Amount:	\$2,445,000	
Issue:	General Obligation Promissory Notes	
Dated/Settlement Date:	June 6, 2022	
Maturity Dates:	October 1, 2026-2031	
First Interest:	October 1, 2022	
Callable:	2030 & 2031 callable on 10/1/2029 or any date thereafter	
Purpose:	<p><b>CIP - 10 Years -- \$2,289,055</b></p> <p>Municipal Services Parking Lot Pavement  Unit 5 Replacement – Brush Truck  Unit 7 Replacement – Squad  Annual Road Improvements  Skid Steer Loader  One Ton Dump Truck  Heavy Duty Plow Truck with Dump Bos  Hwy 42/57 Intersection Improvements  Annual Expense Alley/Parking Lots  Memorial Field (Rood, Soffit &amp; Facia)  Little Lake  Water Weed Truck  Library (Insulation, Door, LED)</p>	<p><b>CIP - 5 Years -- \$92,000</b></p> <p>Patrol Boat Motors  Riding Lawnmowers (2)</p>
Estimated Interest Rate:	2.85%	
Purchaser:	TBD – Competitive Bid	



# City of Sturgeon Bay

Finance Committee Meeting

April 12, 2022

## CIP – Financing Plan -- Breakdown

Municipal Services Parking Lot Pavement  
Unit 5 Replacement - Brush Truck  
Unit 7 Replacement - Squad  
Annual Road Improvements  
Skid Steer Loader  
One Ton Dump Truck  
Heavy Duty Plow Truck w/Dump bos  
Hwy 42/57 Intersection Improvements  
Annual Expense Alley/Parking Lots  
Memorial Field (Roof, Soffit, & Facia)

Little Lake

Water Weed Truck  
Library (Insulation, Door, LED.)

Patrol Boat Motors  
Riding Lawnmowers (2)

YEAR DUE	10 Year Allocation				5 Year Allocation				YEAR DUE
	PRINCIPAL (10/1)	INTEREST (4/1 & 10/1)	LESS: TIC= 2.86%	TOTAL	PRINCIPAL (10/1)	INTEREST (4/1 & 10/1)	LESS: TIC= 2.74%	TOTAL	
2022		\$28,341		\$0		\$1,214		\$0	2022
2023		\$88,719		(\$28,341)		\$3,800		(\$1,214)	2023
2024		\$88,719		(\$88,719)		\$3,800		(\$3,800)	2024
2025		\$88,719		(\$8,937)		\$3,800		\$3,800	2025
2026		\$88,719		\$88,719		\$3,800		\$98,800	2026
2027		\$88,719		\$443,719					2027
2028		\$74,519		\$444,519					2028
2029		\$59,719		\$439,719					2029
2030		\$44,519		\$444,519					2030
2031		\$28,519		\$443,519					2031
2032		\$14,513		\$444,513					2032
2033									2033
2034									2034
2035									2035
2036									2036
2037									2037
2038									2038
2039									2039
	\$2,350,000	\$605,003	(\$125,996)	\$2,829,007	\$95,000	\$16,414	(\$5,014)	\$106,400	

# City of Sturgeon Bay

Finance Committee Meeting

April 12, 2022

## CIP – Financing Plan



Levy Supported									
\$2,445,000									
G.O. PROMISSORY NOTES - POS									
Dated June 6, 2022									
(First interest 10/1/2022)									
YEAR DUE	EXISTING DEBT SERVICE (A)	EXISTING DEBT SERVICE (A)	Levy Supported (A)	PRINCIPAL (10/1)	INTEREST (4/1 & 10/1) TIC= 2.85%	LESS: HYPOTHETICAL BID PREMIUM	TOTAL	COMBINED DEBT SERVICE	YEAR DUE
									Levy Supported
2022	\$4,130,406	\$1,495,465			\$29,555	(\$29,555)	\$0	\$1,495,465	2022
2023	\$3,419,296	\$1,655,693			\$92,519	(\$92,519)	\$0	\$1,655,693	2023
2024	\$3,394,037	\$1,593,764			\$92,519	(\$8,937)	\$83,582	\$1,677,346	2024
2025	\$3,392,217	\$1,586,768			\$92,519		\$92,519	\$1,679,287	2025
2026	\$2,768,046	\$770,916		\$450,000	\$92,519		\$542,519	\$1,313,435	2026
2027	\$2,780,614	\$773,316		\$370,000	\$74,519		\$444,519	\$1,217,835	2027
2028	\$2,784,955	\$770,060		\$380,000	\$59,719		\$439,719	\$1,209,779	2028
2029	\$1,792,635	\$531,385		\$400,000	\$44,519		\$444,519	\$975,904	2029
2030	\$1,534,598	\$273,385		\$415,000	\$28,519		\$443,519	\$716,904	2030
2031	\$1,118,298	\$67,735		\$430,000	\$14,513		\$444,513	\$512,248	2031
2032	\$409,191	\$66,085						\$66,085	2032
2033	\$408,654	\$64,435						\$64,435	2033
2034	\$292,785	\$67,785						\$67,785	2034
2035	\$286,985	\$65,985						\$65,985	2035
2036	\$291,095	\$69,095						\$69,095	2036
2037	\$289,948	\$67,048						\$67,048	2037
2038	\$223,700								2038
2039	\$224,400								2039
	\$29,541,860	\$9,918,920		\$2,445,000	\$621,417	(\$131,010)	\$2,935,407	\$12,854,327	

(A) Net of bid premium from the 2020 & 2021 G.O. Promissory Notes.

## ORDINANCE NO. \_\_\_\_\_

THE COMMON COUNCIL OF THE CITY OF STURGEON BAY, WISCONSIN DO ORDAIN AS FOLLOWS:

SECTION 1: Various terms within Section 20.03 – Definitions of the Sturgeon Bay Municipal Code are repealed, recreated, or amended as follows:

*Boardinghouse* is repealed.

*Commercial building* is repealed.

*Garage, public* is repealed.

*General warehousing* is recreated as *Warehousing*: The storage of materials unrelated to any on-site manufacturing activity.

*Light manufacturing/high technology manufacturing* is repealed.

*Lodging house* is recreated: A dwelling unit where lodging rooms are provided for compensation for five to 12 persons, pursuant to previous arrangements for definite periods, but not available to the public or transients.

*Public Utilities (minor facilities)* is amended: Any structure or equipment used or designed for the production, transmission, delivery, or furnishing of heat, light, water, power, sewerage, or communication services either directly or indirectly to or for the public, where the land area bounded by the location of such structure or equipment is 400 square feet or less.

*Public Utilities (major facilities)* is amended: Any structure or equipment used or designed for the production, transmission, delivery, or furnishing of heat, light, water, power, sewerage, or communication services either directly or indirectly to or for the public, where the land area bounded by the location of such structure or equipment is more than 400 square feet.

SECTION 2: Section 20.08(1) of the Sturgeon Bay Municipal Code (Zoning) is amended as follows:

(1) *Districts enumerated.* Zoning districts are provided as follows:

- (a) *Single-Family Residential (R-1).* The R-1 district is intended to provide a pleasant, safe and quiet neighborhood environment free from traffic hazards, incompatible land uses, or public annoyance for single-family residential development in the city.
- (b) *Single-Family Residential (R-2).* The R-2 district is intended to provide a pleasant, safe, and quiet neighborhood environment free from traffic hazards, incompatible land uses, or public annoyance for primarily single-family residential development, but at slightly higher density than the R-1 district.

- (c) *Two-Family Residential (R-3)*. The R-3 district is intended to provide a pleasant, suitable location primarily for two-family residences, or for a mixture of single-family, two-family, and three-unit or four-unit multiple-family residences.
- (d) *Multiple-Family Residential (R-4)*. The R-4 district is intended to provide for higher density residential uses and compatible nonresidential uses.
- (e) *Manufactured Home Court Residential (R-M)*. The R-M district is intended to provide areas for manufactured home/mobile home courts as a development option.
- (f) *General Commercial (C-1)*. The C-1 district is intended to provide commercial areas outside of the central business district. Permitted uses shall be general commercial uses as well as those commercial uses which are oriented to the highway user or which require greater space.
- (g) *Central Business District (C-2)*. The C-2 district is intended for the central business district on both the east and west sides of the city. It is intended to provide development and redevelopment opportunities consistent with the historic development pattern of the areas. Targeted uses shall be those commercial uses which do not detract from this area because of noise, smoke, odors, or disruption of traffic patterns.
- (h) *Reserved*.
- (i) *Office/Business Park (C-4)*. The C-4 district is intended to provide limited areas within the commercial area of the city for office and business park development. The uses permitted are those uses which are compatible with office park development.
- (j) *Mixed Commercial-Residential (C-5)*. The C-5 district is intended for areas of the city where residential properties are converting to commercial uses or vice versa, especially areas where it is desired to maintain the existing buildings or architectural character of the neighborhood. It is also intended for areas of the city where a continued mixture of residential and commercial uses is desirable. The uses permitted are those uses which are generally compatible in areas with a combination of both residential and commercial properties.
- (k) *Light Industrial (I-1)*. The I-1 district is intended to provide space for industrial and manufacturing uses at appropriate locations in the city. Such property shall be occupied and used only for those uses that would not generate noise, smoke, odor, vibration, air, water or other environmental pollution that would create a public or private nuisance.
- (l) *Light Industrial (Industrial Park) (I-1A)*. The I-1A district is intended to provide space for the same industrial and manufacturing uses permitted in the I-1 district, but subject to the additional development standards contained in section 20.32 of this chapter. This district provides property owners additional protection by requiring specific landscape and building design criteria for new development. It is intended primarily for the Sturgeon Bay Industrial Park.
- (m) *Heavy Industrial (I-2)*. This district reserves land for all uses permitted in the I-1 district plus certain businesses that require the use of unlimited outdoor storage and production yards and involve the use of heavy outdoor equipment and machinery.

- (n) *Heavy Industrial (Industrial Park) (I-2A)*. The I-2A district is intended to provide space for the same industrial and manufacturing uses permitted in the I-2 district, but subject to the additional development standards contained in section 20.32 of this chapter. This district provides property owners additional protection by requiring specific landscape and building design criteria for new development. It is intended primarily for the Sturgeon Bay Industrial Park.
- (o) *Agricultural (A)*. The agricultural district is established to help conserve good farming areas and prevent uncontrolled, uneconomical spread of residential or commercial development, in accordance with the Sturgeon Bay comprehensive plan, since it results in excessive costs to the community for provision of essential public improvements and services (sewer and water lines, etc.).
- (p) *Conservancy (CON)*. The conservancy district is intended to provide parkland and open space, to preserve the natural state of scenic areas, to provide natural areas and buffer strips and to discourage intensive development of marginal lands so as to prevent potential hazards to public and private property.
- (q) *Planned Unit Development (PUD)*. The PUD district shall overlay on one or more of the zoning districts enumerated in this section. This district is intended to provide flexibility for development in a planned and coordinated manner, especially where a mixing of principal uses and development types is sought. This district is also intended for special development projects that do not neatly fit into one of the other enumerated zoning districts. The principal uses and other requirements for the PUD district shall be established for each individual planned unit development and are subject to the provisions of section 20.24.

SECTION 3: Section 20.09 of the Sturgeon Bay Municipal Code (Zoning) is repealed and recreated as follows:

#### 20.09 – Principal Uses

- (1) The principal uses allowed in the PUD district shall be based upon the underlying zoning district or as established for each individual planned unit development in accordance with section 20.24. The principal uses allowed in the other zoning districts shall be as shown in sub. (3) – Table of Principal Uses, except that adult oriented entertainment uses shall be allowed as prescribed in section 20.40.



(2) How to use the table of principal uses.

Table of Principal Uses (portion)

TYPE OF USE	ZONING DISTRICTS					
	R-1	R-2	R-3	C-1	C-2	C-5
<b>RESIDENTIAL USES</b>						
Accessory Dwelling Units [20.10(2)]		C	C			C
Boarding houses			C	C	C	C
Multiple Family Dwellings [20.10(5)]			C	C	C	C
Single-Family Dwellings [20.10(7)]	P	P	P			P / C
Two-Family Dwellings [20.10(8)]		P / C	P			P / C
<b>COMMERCIAL USES</b>						
Automobile and Recreation Vehicle Sales and/or Repair Establishments				P	C	
Banks and Other Financial Institutions				P	P	P / C

Bracketed section means there are requirements applicable to the specified use. Refer to the listed subsection.

P = Use is permitted .

Space without symbol means the use is not allowed that district.

C = Use requires conditional use approval.

Refer to footnote at end of table for special provision.

P/C = Use might be permitted or conditional use depending upon specific circumstances. Refer to subsection pertaining to that particular use.

(3) Table of Principal Uses.

TYPE OF USE	ZONING DISTRICTS													
	R-1	R-2	R-3	R-4	R-M	C-1	C-2	C-4	C-5	I-1/I-1A	I-2/I-2A	A	CON	
RESIDENTIAL USES														
Accessory Dwelling Units [20.10(2)]		C	C	C		C	C		C			C		
Commercial Housing Facility				C		C	C			C		C		
Community Living Arrangements [20.10(3)]	P / C	P / C	P / C	P / C	P / C	P / C	P / C		P / C					
Lodging Houses			C	P		C	C		C					
Mobile / Manufactured Home Parks [20.10(4)]					P									
Multiple Family Dwellings [20.10(5)]			C	P / C		C	C		C					
Residential Use in a Mixed-Use Building / Parcel [20.10(6)]						P	P		P					
Single-Family Dwellings [20.10(7)]	P	P	P	P / C					P / C			P		
Two-Family Dwellings [20.10(8)]		P / C	P	P / C					P / C			C		
COMMERCIAL USES														
Automobile and Recreation Vehicle Sales and/or Repair						P	C							
Banks and Other Financial Institutions						P	P	P	P / C <sup>1</sup>	C		C		
Bed & Breakfast Establishments	P	P	P	P	P	P	P		P / C <sup>1</sup>			P		
Bus Depots						P	P							
Commercial Storage Facilities						P				C		C		
Conference Facilities						P	P		P / C <sup>1</sup>					
Customer Service Establishments [20.10(9)]				C		P	P		P / C <sup>1</sup>	C				
Farm Implement Sales Lots						P								
Funeral Homes						P	P		P / C <sup>1</sup>					
Gasoline Stations						P	C							
Home Occupations [20.10(10)]	P / C	P / C	P / C	P / C	P / C	P / C	P / C		P / C			P / C		
Hotels and Motels						P	P		C					
Kennels												C		
Lumber and Building Supply Yards[20.10(12)]						P				C		C		
Medical, Dental, and Veterinarian Clinics				C		P	P	P	P / C <sup>1</sup>					
Parking Lots (principal use)				C		P	P	P	C			P		
Professional Offices [20.10(11)]				C		P	P	P	P / C <sup>1</sup>			P		
Radio and Television Stations						P	P	P				P		
Restaurants and Taverns						P	P		C					
Retail Establishments (Not Specifically Listed Elsewhere) [20.10(12)]						P	P		P / C <sup>1</sup>	C		C		
Tourist Information Centers						P	P	P	P / C <sup>1</sup>					
Tourist Rooming Houses [20.10(13)]	P	P	P	P	P	P	P		P / C <sup>1</sup>			P		
INSTITUTIONAL & UTILITY USES														
Airports													C	
Ambulance, Fire, Police, and Other Public Safety Facilities						P	P	P		P	P	C		
Animal Shelters and Pounds						C								
Charitable Institutions and Clubs or Lodges				P		P	P	P	P / C <sup>1</sup>					





TYPE OF USE	ZONING DISTRICTS												
	R-1	R-2	R-3	R-4	R-M	C-1	C-2	C-4	C-5	I-1 / I-1A	I-2 / I-2A	A	CON
INDUSTRIAL USES (continued)													
Outdoor Storage Areas for Materials, Supplies, Finished/Semi-Finished Products, Equipment, or Refuse Containers [20.10(17)]										P	P		
Printing and Publishing										P	P		
Salvage and Recycling Facilities											P		
Sawmills/Planing Mills											P		
Trade and Construction Contractors Establishments											P		
Truck Terminals / Freight Transfer Facilities											P		
Vocational Rehabilitation Centers (Not For Profit)											P		
Warehousing or Wholesale Distribution [20.10(18)]						C	C			P	P		
AGRICULTURAL USES													
Farming [20.10(19)]													P
Roadside Stands for Sale of Products Produced on the Premises													P
Greenhouses						P				C	C		P

Notes/additional requirements:

1. In the C-5 district, the uses indicated with a "1" are permitted uses if they occupy an existing building or occupy a new building with a building footprint not exceeding 3,000 square feet. Such uses proposed to be located within a new building exceeding 3,000 square feet shall require conditional use approval.

SECTION 4: Section 20.10 of the Sturgeon Bay Municipal Code (Zoning) is repealed and recreated as follows:

20.10 - Particular Use Requirements.

- (1) *Applicability.* As identified in section 20.09(3) Table of Principal Uses, certain uses shall be subject to the particular use requirements in this section. The requirements for particular uses in this section are in addition to other regulations established elsewhere in this Chapter. In any instance where these requirements conflict other regulations of the zoning code, the requirements of this section shall control.
- (2) *Accessory Dwelling Units.* Accessory dwelling units are subject to the following:
  - (a) *Number permitted.* Not more than one accessory dwelling unit shall be permitted on a lot.
  - (b) *Minimum lot size.* Accessory dwelling units shall be allowed only on a lot having at least 7,000 square feet.
  - (c) *Floor area requirements.* Accessory dwelling units shall not exceed 800 square feet in floor area and shall have a minimum floor area of 250 square feet.
  - (d) *Residency Required.* The property owner of record must reside in either the primary dwelling unit or the accessory dwelling unit as their permanent and legal address. A restrictive agreement shall be recorded to this effect.
  - (e) *Parking.* In addition to off-street parking spaces required for the primary dwelling unit, a minimum of one off-street parking space for an efficiency or one-bedroom accessory dwelling unit, or a minimum of two off-street parking spaces for a two or more-bedroom accessory dwelling unit, shall be provided.
  - (f) *Short-term rental restrictions.*
    1. The accessory dwelling unit shall not be rented for periods of less than seven consecutive days.
    2. If the accessory dwelling unit is rented for periods of more than six but fewer than 29 consecutive days, the total number of days within any consecutive 365-day period that the dwelling may be rented shall not exceed 180 days. The maximum 180 days shall run consecutively within each 365-day period. The owner of the accessory dwelling unit shall notify the city clerk in writing when the first rental within a 365-day period begins.
    3. A restrictive agreement shall be recorded to this effect.
    4. If the property owner of record resides in the accessory dwelling unit, then these short-term rental restrictions shall apply to the primary dwelling unit.
  - (g) *Separate ownership/conveyance restricted.* The accessory dwelling unit shall not be conveyed or separated in ownership from the primary dwelling unit.
  - (h) *Compliance with housing and building codes.* The accessory dwelling unit shall comply with the Sturgeon Bay Housing Code (Chapter 22 of the Municipal Code) and with all pertinent building codes.

- (i) Accessory dwelling units may be attached to or detached from the single-family residence.
- (j) *Additional requirements for attached accessory dwelling units.* Attached accessory dwelling units shall comply with the following:
  - 1. The accessory dwelling unit shall be clearly incidental to the principal dwelling unit and the building's exterior shall appear to be single-family.
  - 2. If the accessory dwelling unit is created from a portion of the principal dwelling unit, the floor area of the principal dwelling unit shall not be reduced below the minimum floor area required for the zoning district in which it is located.
  - 3. Location of entrances. Only one entrance may be located on the facade of the dwelling facing the street, unless the dwelling contained additional entrances before the accessory dwelling unit was created. An exception to this regulation is entrances that do not have access from the ground such as entrances from balconies or decks.
  - 4. Exterior stairs. Fire escapes or exterior stairs for access to an upper level accessory dwelling shall not be located on the front of the primary dwelling unit.
- (k) *Additional requirements for detached accessory dwelling units.* Detached accessory dwelling units shall comply with the following:
  - 1. The accessory dwelling unit shall be subject to the requirements of section 20.29 - *Accessory building height and area regulations*, except the minimum side and rear yards shall be ten feet for accessory buildings constructed after April 1, 2019.
  - 2. The accessory dwelling unit shall comply with all building code regulation relating to dwellings.
- (3) *Community Living Arrangements.* Community living arrangements as regulated in § 62.23(7)(i), Wis. Stats., are permitted uses. In addition, the 2,500-foot distance described in § 62.23(7)(i)2r.a., Wis. Stats., shall not apply. All other community living arrangements require conditional use approval.
- (4) *Manufactured Home Parks.* Manufactured home parks are subject to the requirements of section 9.07 of the municipal code.
- (5) *Multiple-Family Dwellings.*
  - (a) In the R-3 district, MF dwellings shall be limited to not more than 4 units per building.
  - (b) In the R-4 district, projects with 24 or fewer units on a lot are permitted. Projects containing 25 or more units on a lot shall require conditional use approval.
- (6) *Residential Use in a Mixed-Use Building/Parcel.*
  - (a) In the C-1 districts, the residential portion of the mixed-use building shall not exceed 50% of the available floor area of the building.

- (b) In the C-2 district the residential portion shall not exceed 50% of the combined floor area of all principal buildings within the lot.

(7) *Single-Family Dwellings.*

- (a) In the R-4 district, single-family dwellings proposed on lots that exceed 20,000 square feet of area shall require a conditional use approval.
- (b) In the C-5 district, single-family dwellings established within an existing building, including repairs/reconstruction of such dwellings and additions up to 50% of the original floor area are permitted. Newly constructed single-family dwellings and additions to existing dwellings that exceed 50% of the original floor area shall require conditional use approval.

(8) *Two-Family Dwellings.*

- (a) In the R-2 district, two-family dwellings that specifically designated for such dwellings at the time of platting are permitted, subject to the following:
  - 1. The lot must be identified as intended for a two-family dwelling on the plat or certified survey map that created the lot.
  - 2. Such designation shall only be allowed if approved by the Plan Commission prior to the recording of the plat or certified survey map.
  - 3. The number of lots designated for two-family dwellings under this paragraph within any individual subdivision plat or certified survey map shall not exceed the greater of two lots or 25 percent of the total number of lots within the plat of certified survey map.
  - 4. These provisions apply to lots specifically designated for development of two-family dwellings. Other lots that meet the dimensional requirements for two-family dwellings may be developed as such provided a conditional use permit is approved by the Plan Commission.
- (b) In the R-4 district, two-family dwellings proposed on lots that exceed 20,000 square feet of area shall require a conditional use approval.
- (c) In the C-5 district, two-family dwellings established within an existing building, including repairs/reconstruction of such dwellings and additions up to 50% of the original floor area are permitted. Newly constructed two-family dwellings and additions to existing dwellings that exceed 50% of the original floor area shall require conditional use approval.

- (9) *Customer Service Establishments.* In the I-1/I-1A and I-2/I-2A districts, customer service establishments are limited to travel agencies, health clubs, and quick-printing/copy shops.

(10) *Home Occupations.*

- (a) *Conditional Use.* Home occupations shall comply with the following restrictions and shall require conditional use approval, except for home occupations meeting the criteria of par. (b):

1. The home occupation shall be conducted only by residents of the dwelling unit and shall be conducted entirely within the dwelling unit.
  2. There shall be no outdoor storage or display of equipment, materials, or articles offered for sale.
  3. There shall be no articles offered for sale on the premises except such as is directly produced by the home occupation.
  4. There shall be no mechanical equipment used other than such as is permissible for purely domestic purposes.
  5. There shall be no signage associated with the home occupation, except for one wall sign not to exceed 4 square feet and not illuminated.
- (b) *Permitted Use.* A home occupation which meets the criteria listed in par. (b) above and, in addition, contains no signage, has no retail sales, has no stock in trade kept or sold, and in which the clients do not generally visit the premises, shall be permitted and shall not require conditional use approval.
- (11) *Professional Offices.* In the I-1/I-1A and I-2/I-2A districts, except for offices incidental to a principal use of the premises, professional offices shall have at least 10,000 square feet of floor area.
- (12) *Retail Establishments.* In the I-1/I-1A and I-2/I-2A districts, retail establishments shall comply with the following requirements:
- (a) *Building size.* The retail establishment shall be located within a building that contains at least 4,000 square feet of floor area.
  - (b) *Location.* The retail establishment shall be located within 600 feet of the right-of-way of State Highway 42/57.
  - (c) *Specific retail types allowed.* The retail use shall be limited to appliance dealers, carpet and floor covering dealers, electrical showrooms and shops, furniture stores, lawn and garden equipment and supply stores, lighting showrooms and shops, lumber and building materials sales centers, paint stores, plumbing showrooms and shops, stationary and office equipment/supply stores, retail sales associated with not for profit vocational rehabilitation programs, boat sales/showrooms, and similar types of retail that support the building and manufacturing industries.
- (13) *Tourist Rooming Houses.* Tourist rooming houses are subject to the requirements of section 9.05 of the municipal code.
- (14) *Travel Trailer Parks.* Travel trailer parks are subject to the requirements of section 9.075 of the municipal code.
- (15) *Business Incubators.* Business incubators shall be operated by the Door County Economic Development Corporation or other nonprofit organization approved by the City of Sturgeon Bay.

(16) *Manufacturing, Production, Processing, Fabrication, Packaging and Assembly of Goods.*

(a) In the C-1 and C-2 districts the manufacturing, production, processing, fabrication, packaging and assembly of goods shall be subject to the following requirements:

1. Such uses shall be entirely contained inside the building used for such activity.
2. There shall be no outside storage of any raw material, finished product, or waste material other than in a dumpster receptacle that is routinely used and regularly serviced in the normal course of business.
3. There shall be no prolonged noise above 85 decibels at any point further than 100 feet from any part of the building or the lot line, whichever is closer.
4. There shall be no release of smoke, fumes, or odors that may create a public or private nuisance, nor shall there be other activity conducted on the premises that may constitute a public or private nuisance.
5. The use shall be specifically limited to the particular manufacturing and/or storage activity indicated in the conditional use application and may not be changed to a different activity.
6. In the event that a particular activity, which received conditional use approval under this section, is discontinued for any reason, voluntary or involuntary, with no immediate intent to resume, the conditional use approval shall also be deemed automatically terminated with no further notice or hearing.
7. In the event that there is an existing building with an existing fire protection system installed at the time of the approval of the conditional use, that fire protection system must remain intact and must be maintained in an operating condition at all times, unless a special exemption is approved by the fire chief.
8. Additional conditions may be placed upon any conditional use approval in order for the proposed manufacturing use to not detract from the purposes of the C-1 and C-2 districts or the zoning code in general.

(b) In the I-1/I-1A districts, all manufacturing, processing, assembly, and testing activities shall occur inside a building, except for the occasional assembly, testing or shipping of components too large to fit in buildings.

(17) *Outdoor Storage.* In the I-1/I-1A districts, outdoor storage shall not exceed 200% of the building footprints of the principal buildings on the site.

(18) *Warehousing or Wholesale Distribution.* In the C-1 and C-2 districts, General warehousing or wholesale distribution shall be subject to the requirements of sub. (16)(a).



- (19) *Farming*. Buildings housing farm animals, barnyards, and feed lots shall be located at least 100 feet from a residential district and at least 100 feet from any waterway and located such that manure will not drain into any waterway.

SECTION 5: Sections 20.11 through 20.23 are repealed.

SECTION 6: Section 20.24(3)(d) regarding planned unit developments (PUD) is repealed and recreated as follows:

- (d) *When Required*. Approval of a PUD shall be required for any single-family residential or two-family residential development with two or more principal buildings on a lot.

SECTION 7: Section 20.27(1) is repealed and recreated to remove the reference to the C-3 district as follows:

- (1) *Maximum impervious surface*. For each lot in the R-4, C-1, C-4, and C-5 districts, the combined area of all roofed, paved, and other impervious surfaces shall not exceed 70 percent of the total area of the lot. Existing lots with impervious surfaces that exceeded 70 percent prior to adoption of this section shall be exempted from this provision provided that there shall be no further net increase of impervious surfaces on such lots.

SECTION 8: Section 20.27(2) [table of dimensional requirements] is repealed and recreated to remove the row containing the C-3 district from the table.

SECTION 9: This ordinance shall take effect on the day after its publication.

Approved:

Attest:

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David J. Ward  
Mayor

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Stephanie Reinhardt  
City Clerk

## ORDINANCE NO. \_\_\_\_\_

THE COMMON COUNCIL OF THE CITY OF STURGEON BAY, WISCONSIN DO  
ORDAIN AS FOLLOWS:

SECTION 1: The following described properties or portions thereof are hereby rezoned  
from Commercial/Light Manufacturing (C-3) to General Commercial (C-1):

**Parcel No. 281-12-06010001 – 217 Green Bay Rd., Midwest Wire  
Products Inc.**

Description:

A tract of land in Subdivision 59 (Southeast ¼ of the Southwest ¼), Section  
7, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County,  
Wisconsin and described as follows:

Unit 1 of Bay Plaza Condominium, recorded in Document No. 540997,  
Volume 568 of deeds, Page 151.

**Parcel No. 281-62-10000102A, 1121-1125 Egg Harbor Rd., Eric  
Hoogland Ltd Partnership**

**Parcel No. 281-62-10000102B, 1201 Egg Harbor Rd., River Valley One  
LLC**

**Parcel No. 281 62-11000113 (Portion of), 916 N. 14<sup>th</sup> Ave, County of  
Door**

**Parcel No. 281-61-15000104A, 1023 Egg Harbor Rd., 1023 Egg Harbor  
Rd, LLC**

**Parcel No. 281-62-15000104B, 1033 Egg Harbor Rd., PT Tower LLC**

**Parcel No. 281-62-15000105, 911 N. 14<sup>th</sup> Ave., City of Sturgeon Bay**

**Parcel No. 281-62-15000106, 835 N. 14<sup>th</sup> Ave., City of Sturgeon Bay**

**Parcel No. 281-62-15000111A, 1019 Egg Harbor Rd., 1023 Egg Harbor  
Rd LLC**

**Parcel No. 281-62-15000113, 514 N 12<sup>th</sup> Ave, Premier Sturgeon Bay  
LLC**

**Parcel No. 281-62-15000116, 664 N. 12<sup>th</sup> Ave., Steven C. Ehlers**

**Parcel No. 281-62-15000117, 606 N. 12<sup>th</sup> Ave., Cornerstone Solutions  
Inc.**

**Parcel No. 281-62-15000123, 636 N. 12<sup>th</sup> Ave., S&B Green Bay  
Investments LLP**

**Parcel No. 281-62-15000124, 620 N. 12<sup>th</sup> Ave., Sturgeon Bay  
Community Church Inc.**

Description:

A tract of land located in the Northeast ¼ of Section 5, Township 17 North,

Range 26 East, City of Sturgeon Bay, Door County and described as follows:

Commencing at the intersection of the southeasterly right-of-way line of Egg Harbor Road and the easterly right-of-way line of North 12<sup>th</sup> Avenue, thence southeasterly and southerly along said right-of-way line 1350.14 feet to the intersection with the  $\frac{1}{4}$  section line, thence easterly along said  $\frac{1}{4}$  section line 539 feet more or less to the intersection with the north-south  $\frac{1}{16}$ <sup>th</sup> line, thence northerly along the north-south  $\frac{1}{16}$ <sup>th</sup> line 788 feet, thence easterly 450.83 feet more or less, thence northerly 1000.98 feet, thence westerly 450.60 feet more or less to the intersection the north-south  $\frac{1}{16}$ <sup>th</sup> line, thence southerly along the north-south  $\frac{1}{16}$ <sup>th</sup> line 442 feet more or less to the intersection with the east-west  $\frac{1}{16}$ <sup>th</sup> line, thence westerly along said east-west  $\frac{1}{16}$ <sup>th</sup> line 395.6 feet more or less to the southwest corner of Lot 1 of Certified Survey No. 3529, thence northwesterly along the west line of said Lot 1 329.14 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, thence southwest along said right-of-way line 774.28 feet to the point of beginning.

**Parcel No. 281-64-59000117A, Midwest Wire Products Inc.**

Description:

A tract of land in Subdivision 59 (Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$ ), Section 7, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin and described as follows:

Lot 3 of Certified Survey No. 1620, recorded in Volume 9, of Certified Survey Maps, Page 345-347.

**Parcel No. 281-64-77000300A, 245 E. Vine St., Skipper Properties LLC**

A tract of land located partly in Subdivision 76 (part of fractional Southeast  $\frac{1}{4}$ ) of Section 7, and partly in Subdivision 77 (part of fractional Southwest  $\frac{1}{4}$ ) of Section 8, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin and described as follows:

Lot 1 of Certified Survey No. 1703 recorded in Volume 10 of Certified Survey Maps, Page 180-188.

**Parcel No. 281-66-13000109 (Portion of), 941-951 S. Duluth Ave., Phill-Mart of Sturgeon Bay**

Description:

The east 5 acres of the south 10 acres of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 13, Township 27 North, Range 25 East, Town of Nasewaupee, Door County, Wisconsin.

**Parcel No. 281-66-13000110 (Portion of), 919 S. Duluth Ave., Randal L. Sahs**

Description:

A tract of land located in the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 13, Township 17 North, Range 25 East, Town of Nasewaupee, Door County, Wisconsin and described as follows:

Commencing at the Northeast corner of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , thence southerly along the east line of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  337.25 feet to the point of beginning, thence westerly and parallel to the north line of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  448 feet, thence northerly and parallel to the east line of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  78.25 feet, thence westerly and parallel to the north line of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  to the intersection with the west line of the east  $\frac{1}{2}$  of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , thence southerly along said west line of the east  $\frac{1}{2}$  of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  to the intersection with the north line of the south 10 acres of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , thence easterly along said north line of the south 10 acres of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  to the intersection with the east line of said Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , thence northerly along said east line of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  to the point of beginning.

SECTION 2: This ordinance shall take effect on the day after its publication.

Approved: \_\_\_\_\_  
David Ward, Mayor

Attest: \_\_\_\_\_  
Stephanie Reinhardt, City Clerk

ORDINANCE NO. \_\_\_\_\_

THE COMMON COUNCIL OF THE CITY OF STURGEON BAY, WISCONSIN DO  
ORDAIN AS FOLLOWS:

SECTION 1: The following described property is hereby rezoned from Commercial/Light  
Manufacturing (C-3) to Light Industrial (I-1):

A parcel of land located in Section 7, Township 27 North, Range 26 East,  
City of Sturgeon Bay, Door County, Wisconsin and described as follows.

Lot 2 of Certified Survey Map #2385 recorded in Volume 14, Page  
164. (Parcel No. 281-64-59000124C owned by Midwest Wire, Inc)

SECTION 2: This ordinance shall take effect on the day after its publication.

Approved: \_\_\_\_\_  
David Ward, Mayor

Attest: \_\_\_\_\_  
Stephanie Reinhardt, City Clerk

## ORDINANCE NO. \_\_\_\_\_

THE COMMON COUNCIL OF THE CITY OF STURGEON BAY, WISCONSIN DO  
ORDAIN AS FOLLOWS:

SECTION 1: The following described property is hereby rezoned from Multiple Family Residential (R-4), General Commercial (C-1), Single Family Residential (R-1) to Planned Unit Development (PUD) and shall be subject to the site plan and requirements incorporated herein:

A parcel of land located in the NW 1/4 of the NE 1/4 of Section 5, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin. Bounded and described as follows:

Commencing at the North 1/4 Corner of said Section 5-27-26; thence S. 89°48'19" E., 319.00 feet along the north line of the NW 1/4 of the NE 1/4 of said Section 5-27-26 to the point of beginning of lands to be described; thence continue S. 89°48'19" E., 318.80 feet along said north line; thence S. 05°16'19" E., 680.47 feet; thence N. 89°36'00" W., 60.52 feet; thence S. 00°24'00" W., 150.00 feet; thence N. 89°36'00" W., 12.71 feet; thence S. 00°01'00" E., 18.01 feet; thence N. 89°57'49" W., 225.68 feet; thence S. 00°02'11" W., 403.05 feet to the northerly right of way line of Egg Harbor Road; thence S. 50°22'02" W., 106.41 feet along said northerly right of way line to the southeasterly corner of Lot 2 of C.S.M. Number 3180 recorded at Volume 19, Page 247 of Certified Survey Maps as Document Number 812318; thence N. 00°02'11" E., 1316.94 feet along the easterly line of Lot 2 of said C.S.M. Number 3180 (and easterly line extended) to the point of beginning.

Said parcel contains 326,755 square feet.

SECTION 2: The following requirements and conditions are place upon the property described within the legal description.

- A. Underlying Zoning: The underlying zoning district shall be Multiple-Family Residential (R-4). If the PUD expires, the zoning classification of the property shall revert to the R-4 district.
- B. Permitted Uses: Multiple-family dwellings with a total of 68-units are permitted provided such dwellings are consistent with the approved final PUD plans. Accessory uses associated with the multiple family dwelling are permitted.
- C. PUD Requirements: The following requirements shall apply:
  - 1. The design of the buildings, parking area, landscaping, lighting, signage and other development aspects shall be in substantial conformance with the approved PUD plans.



2. There shall be two separate names for the north and south groups of apartment buildings.
3. Easements shall be established for public utilities and other public infrastructure constructed through the property.

SECTION 3: This ordinance shall take effect on the day after its publication.

Approved:

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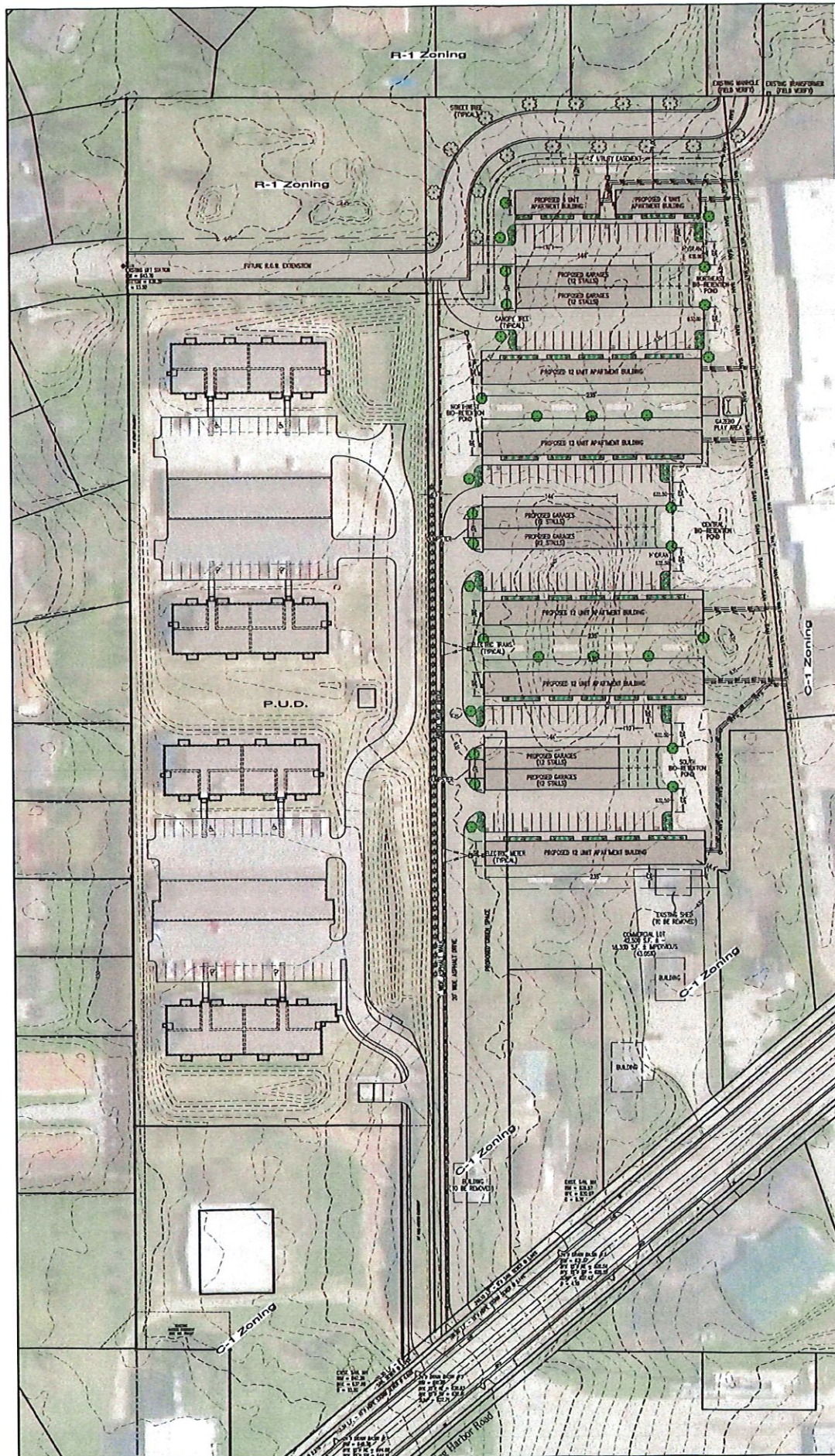
David Ward  
Mayor

Attest:

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Stephanie L. Reinhardt  
City Clerk





**NOTES**

CURRENT ZONING OF SUBJECT PARCELS IS R-1, R-1.5, AND O-1.

PROPOSED ZONING OF SUBJECT PARCELS IS P.U.D.

PROPOSED OUTDOOR PARKING SPACES = 114. PROPOSED COVERED PARKING SPACES = 72 (108 TOTAL).

CONSTRUCTION SEQUENCE:

- 12 UNIT BUILDING, NORTHWEST 12 UNIT BUILDING AND ASSOCIATED GARAGES - SPRING, 2021.
- CENTRAL 12 UNIT BUILDING AND ASSOCIATED GARAGES - SPRING, 2022.
- SOUTHWEST 12 UNIT BUILDING AND ASSOCIATED GARAGES - SPRING, 2023.

**PLANT SPECIFICATIONS**

AREA OF PARKS = 20,000 S.F. & AREA OF PROPOSED = 14,000 S.F. & IMPERVIOUS SURFACE PER CENT IMPERVIOUS = 40.0%

LANDSCAPE BEDS SHOWN TO BE PLANTED WITH A VARIETY OF THE FOLLOWING:

- BLUE SPRUCE
- WHITE AND ROSE HEDERA
- STONE BURNING BUSH
- SEA OCHER JASMINE
- BARKED WINTERBERRY
- SWEET GUM
- JAPANESE SPYR

ALL OF THE ABOVE TO BE PLACED UNDER THE GUIDANCE OF LANDSCAPE ARCHITECT'S TO MAINTAIN COMPLIANCE WITH CITY OF STURGEON BAY CODE.

ALL LANDSCAPE BEDS TO BE EITHER LANDSCAPE STONE OR BARK OVER RED BARKER (UNLESS OTHERWISE NOTED).



## ORDINANCE NO. \_\_\_\_

THE COMMON COUNCIL OF THE CITY OF STURGEON BAY, WISCONSIN DO  
ORDAIN AS FOLLOWS:

SECTION 1: The following described property is hereby rezoned from Single-Family Residential (R-2) to Planned Unit Development (PUD) and shall be subject to the site plan and requirements incorporated herein:

The East 8 acres of Lot Two (2) and Lot Three (3), in Subdivision 5 of the City of Sturgeon Bay, Door County, Wisconsin, according to the Assessor's Map of said City recorded in the office of the Register of Deeds of Door County, Wisconsin on Page(s) 14 of plat books:

With the exception of 5 acres of land acquired by the United States of America by judgement in the District Court of the United States for the Eastern District of Wisconsin, entered March 30, 1942, a certified copy thereof having been filed in the Office of the Register of Deeds in and for Door County, Wisconsin on April 9, 1942, in Volume 20 of Miscellaneous, on page(s) 210, as Document No. 236507. Subject to existing public right-of-way in public streets, and more particularly described as follows.

Commencing at the intersection of the northerly right-of-way line of Erie Street and the westerly right-of-way line of North 8<sup>th</sup> Avenue, thence S 88°30'03" W along said northerly right-of-way line of Erie Street 316.75 feet to the southeast corner of Lot 1, Block 3 of Sunset Hill Plat, thence N 04°24'33" W along the easterly line of Sunset Hill Plat 418.25 feet to the northeast corner of Lot 6, Block 3 of Sunset Hill Plat, thence N 88°34'24" E along the southerly right-of-way line of Delaware Street 255.84 feet to the intersection with the westerly right-of-way line of North 8<sup>th</sup> Avenue, thence S 12°37'55" E along said westerly right-of-way line of North 8<sup>th</sup> Avenue 425.39 feet to the point of beginning. Containing 119,533 square feet (2.744 acres) of land.

SECTION 2: The following requirements and conditions are placed upon the property described within the legal description.

**A. Underlying Zoning:** The underlying zoning district shall be Multiple-Family Residential (R-4) General Commercial District. If the PUD expires, the zoning classification of the property shall be the R-4 district.

**B. Permitted Uses.** Multiple-family dwellings with a total of 26 units are permitted, provided such dwellings are consistent with the approved final PUD plans. All other permitted, conditional, and accessory uses shall conform to the R-4 district.

**C. PUD Requirements:** The design of the buildings, parking area, landscaping, lighting, signage and other development aspects shall be in substantial conformance with the approved PUD plans.

SECTION 3: This ordinance shall take effect on the day after its publication.

Approved:

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David J. Ward, Ph. D.  
Mayor

Attest:

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Stephanie Reinhardt  
City Clerk



## RESOLUTION DESIGNATING PUBLIC DEPOSITORIES

RESOLVED, the following bank institutions: Nicolet National Bank, Sturgeon Bay, Wisconsin; Associated Bank and Associated Wealth Management, Sturgeon Bay, Wisconsin; Bank of Luxemburg, Sturgeon Bay, Wisconsin; North Shore Bank, Sturgeon Bay, Wisconsin; Capital Credit Union, Sturgeon Bay, Wisconsin; Raymond James Financial Services, Inc., Sevastopol, Wisconsin; RBC Wealth Management, Sturgeon Bay, Wisconsin; State of Wisconsin Local Government Pooled Investment Fund, Madison, Wisconsin; and the Wisconsin Investment Trust, Milwaukee, Wisconsin qualified as public depositories under Chapter 34 of the Wisconsin Statutes, shall be and are hereby designated, until further action, as public depositories for all public monies coming into the hands of the Treasurer of the City of Sturgeon Bay, Wisconsin, Door County, State of Wisconsin.

RESOLVED FURTHER that draft or order checks drawn on any one of the above named depositories shall be only as provided in Section 66.0607 of the Wisconsin Statutes; that in accordance herewith all draft or order checks shall be signed by the following persons: Mayor, City Clerk, City Treasurer, or the Deputy Clerk or Deputy Treasurer in the absence of the Mayor, Clerk or Treasurer, and shall be so honored.

RESOLVED FURTHER that any transfer orders of the above named depositories shall be signed by two of the following persons: Mayor, City Treasurer, City Clerk, Deputy Treasurer or Deputy Clerk.

RESOLVED FURTHER, that in lieu of their personal signature(s), the following facsimile signatures, which have been adopted by them as below shown

*[Note: Copy with facsimile signatures will be provided to depositories]*

may be affixed on such order check(s); that any one of the above named depositories shall be fully warranted and protected in making payment on any order check bearing such facsimile(s) notwithstanding that the same may have been placed thereon without the authority of the designated person or persons.

FURTHER RESOLVED, that a certified copy of this resolution shall be delivered to each of the above named depositories, and said depositories may rely on this resolution until changed by lawful resolution and a certified copy of such resolution has been given to the cashier of the respective above named depositories.

\* \* \* \*

Read by \_\_\_\_\_.

Moved by Alderperson \_\_\_\_\_, and seconded by Alderperson \_\_\_\_\_ that said resolution be adopted.

Passed by the Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.



## RESOLUTION

BE IT RESOLVED, by the Common Council of the City of Sturgeon Bay, that the Door County Advocate is hereby designated as the official newspaper of the City of Sturgeon Bay for the year beginning May 1, 2022 and ending April 30, 2023.

\* \* \* \* \*

Introduced by \_\_\_\_\_.

Motion made by Alderperson \_\_\_\_\_, seconded by

Alderperson \_\_\_\_\_ to adopt.

Passed by the Common Council on this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

# Tax Incremental District (TID) Affordable Housing Extension Resolution

City \_\_\_\_\_ of \_\_\_\_\_ Sturgeon Bay \_\_\_\_\_ TID 1 Resolution \_\_\_\_\_  
(town, village, city) (municipality) (number) (number)

WHEREAS, the City \_\_\_\_\_ of \_\_\_\_\_ Sturgeon Bay \_\_\_\_\_ created TID 1 on 09 20, 1991, and  
(month) (day) (year)  
 successfully completed implementation of the project plan and sufficient increment was collected or will be  
 collected in 2022 from the 2021 tax roll to pay off its aggregate project costs; and  
(year) (year)

WHEREAS, state law requires termination of a TID after all project costs have been paid, state law (sec.  
 66.1105(6)(g), Wis. Stats.), does allow extension of a TID up to one year, using the last year of tax increment  
 to improve the City \_\_\_\_\_'s housing stock; and

WHEREAS, at least 75 percent of the final increment must benefit affordable housing with the remaining  
 portion used to improve housing stock; and

THEREFORE BE IT RESOLVED, that the City \_\_\_\_\_ of \_\_\_\_\_ Sturgeon Bay \_\_\_\_\_ hereby extends the life of TID  
1 for 12 months to use the final year's increment collected in 2023 from the 2022 tax roll to  
(number) (year) (year)  
 benefit affordable housing; and

BE IT FURTHER RESOLVED, the City \_\_\_\_\_ of \_\_\_\_\_ Sturgeon Bay \_\_\_\_\_ shall use the final increment to improve  
 housing quality and affordability by *(describe specifically how funds will be used)*: The funds will be used  
anywhere in the City. 75% of the funds will be used for housing that costs no more than 30% of the household's gross  
monthly income and 25% of the funds will be used to improve housing in general.; and

BE IT FURTHER RESOLVED, that the City \_\_\_\_\_ of \_\_\_\_\_ Sturgeon Bay \_\_\_\_\_ Clerk shall notify the Wisconsin  
 Department of Revenue by providing a copy of this resolution.

Adopted this 19 day of \_\_\_\_\_ April \_\_\_\_\_, 2022  
(day) (month) (year)

Resolution introduced and adoption moved by alderperson \_\_\_\_\_  
(name)

Motion for adoption seconded by alderperson \_\_\_\_\_  
(name)

On roll call motion passed by a vote of \_\_\_\_\_ ayes to \_\_\_\_\_ nays  
(number) (number)

ATTEST:

\_\_\_\_\_  
 Mayor/Head of Government Signature

\_\_\_\_\_  
 Clerk Signature

## EXECUTIVE SUMMARY

Title: Extension of Tax Increment District #1 for Affordable Housing

Background: Under the Wisconsin Tax Increment Law, municipalities that have tax incremental districts which have fully recovered their expenditures are required to close the districts. But, the law was changed a few years ago to allow such districts to remain open for one additional year provided that 75% of the tax increments received during that additional year are used to benefit affordable housing and the remaining tax increments are used to improve the city's housing stock.

TID #1 has recovered all of its expenditures and debts. It was being kept open as a donor district to TID #2, but it no longer needed for that function and could be closed. However, given the advantages of extending it by one year for housing purposes, R. W. Baird was asked to assist with the steps necessary to extend the life for one more year.

A resolution from the Council is required. The resolution specifies the amount of time of the extension (one year max) and the adopted resolution is forwarded to the Department of Revenue. The Joint Review Board is not involved in an extension for affordable housing. Only the approval of the Council is required.

If the resolution is passed, the City can use the collected tax increments for a variety of projects benefiting housing. Affordable housing is defined in the statute as housing that costs a household no more than 30 percent of the household's gross monthly income. Thus, a wide array of projects is possible. The Council has already approved using some of the anticipated tax increment for the apartments proposed by Duquaine Development located off of Sawyer Drive (W. Oak St), provided the TID extension is approved.

Fiscal impact: For 2022, TID #1 is expected to generate about \$845,000 in tax revenue. If the district is extended for the additional year, the tax revenue for year 2023 is expected to be similar to that figure. So, the amount of funds that would be available for housing projects should be in the vicinity of \$850,000.

Recommendation: The Finance Committee should recommend to the Common Council approval of the resolution to extend TID #1 by one year for affordable housing. The Common Council should then approve the resolution.

Prepared by: Martin Olejniczak  
Martin Olejniczak  
Community Development Director

3-22-2022  
Date

Reviewed by: Val Clarizio  
Val Clarizio  
Finance Director

3/22/22  
Date

Reviewed by: Josh Van Lieshout  
Josh Van Lieshout  
City Administrator

4/10/22  
Date

**EXECUTIVE SUMMARY****Title:** Tax Increment District #6

**Background:** The Council previously agreed to hire R. W. Baird to draft a project plan for a tax incremental district (TID) for the Egg Harbor Road region. The boundaries of the TID and project plan have been established by Baird with the assistance of city staff.


The project plan identifies a number of municipal improvements that are proposed to be undertaken in and near the TID that would benefit the TID. Many of these infrastructure improvements would be difficult to undertake without tax incremental financing. The project plan was initially reviewed by the Joint Review Board. Then, the Plan Commission held a public hearing and adopted a resolution recommending approval. Based upon the comments of the JRB and Plan Commission, the project plan was amended to include additional projects, specifically improvements to other nearby streets and a façade/site improvement program for businesses within or near the TID.

There are several vacant or underutilized parcels in the proposed TID that could be developed in the near future, particularly if the infrastructure improvements are accomplished. The tax increments generated from the new development would be used to cover the costs including financing costs of the projects.


TID #6 is being established as a mixed-use TID, which provides a 20-year timeframe to complete the projects and recover the expenditures. The financial proforma prepared by Baird shows that the TID's expenses would be recovered within the life of the TID. It is also noted that the listed expenditures are not required to occur. Other sources of funds such as grants and special assessments can potentially offset some of the costs and projects can be scaled back if necessary.

To create Tax Increment District #6 the Common Council must approve a resolution. The final step is approval of a resolution by the Joint Review Board, which is comprised of representatives from the taxing jurisdictions.

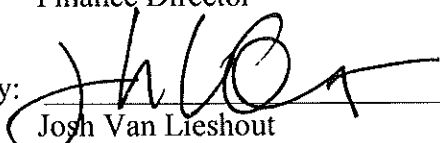
**Recommendation:** Approval of the Council resolution approving the boundaries and project plan for TID #6.

Prepared by:   
Martin Olejniczak  
Community Development Director

4-12-2022  
Date

Reviewed by:   
Valerie Clarizio  
Finance Director

4/12/22  
Date

Reviewed by:   
Josh Van Lieshout  
City Administrator

4/12/22  
Date

Resolution Formally Establishing the Boundaries of and Approving the Project Plan for  
Tax Incremental District No. 6

**ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT  
PLAN FOR TAX INCREMENTAL DISTRICT NO. 6, CITY OF STURGEON  
BAY, DOOR COUNTY, WISCONSIN**

**WHEREAS**, pursuant to Wisconsin Statutes §66.1105 the City of Sturgeon Bay has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

**WHEREAS**, Tax Incremental District No. 6 (“the District”) is proposed to be created as a “mixed-use district” where not less than fifty percent (50%) by area, of the real property within the District is suitable for industrial, commercial, residential development. and

**WHEREAS**, a Project Plan for Tax Incremental District No. 6 has been prepared that includes the following:

1. A statement listing the kind, number, and location of proposed public works or improvements within the District;
2. An economic feasibility study;
3. A detailed list of estimated project costs;
4. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
5. A map showing existing uses and conditions of real property in the District;
6. A map showing proposed improvements and uses in the District;
7. Proposed changes of zoning ordinance, master plan, map, building codes, and City Ordinances;
8. A statement of the proposed method for relocation of any person to be displaced;
9. A statement indicating how creation of the District promotes the orderly development of the City;
10. A list of estimated non-project costs;
11. An Opinion of the City Attorney advising that the plan is complete and complies with Wis. Statute §66.1105(4)(f); and

**WHEREAS**, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on March 30, 2022, held a public hearing concerning the project plan and boundaries and proposed creation of the District providing interested parties a reasonable opportunity to express their views on the proposed creation of a tax incremental district and the proposed boundaries of the District; and

**WHEREAS**, after said public hearing, the Plan Commission adopted a resolution, and recommended to the Common Council that it create the District.

**NOW THEREFORE, BE IT RESOLVED** by the Common Council of the City of Sturgeon Bay that:

Resolution Formally Establishing the Boundaries of and Approving the Project Plan for  
Tax Incremental District No. 6

1. The Recitals set forth above are incorporated herein and are made an enforceable part of this resolution.
2. The boundaries of the District are hereby approved and established as legally described in Exhibit A attached and incorporated herein by reference.
3. The District is created effective as of January 1, 2022.
4. The City Council finds and declares that:
  - a. Not less than fifty percent (50%), by area, of the real property within the District is suitable for industrial, commercial, residential development within the meaning of Section §66.1105(2)(cm) of the Wisconsin Statutes.
  - b. Based upon the findings, as stated in (a) above, the District is declared to be a mixed-use development district based on the identification and classification of the property included within the District.
  - c. The improvement of the area is likely to significantly enhance all the other real property's value in the District.
  - d. The private development activities projected in the Project Plan would not occur without tax incremental financing.
  - e. The equalized value of the taxable property in the District plus the value increment of all other existing tax incremental districts within the City does not exceed 12% of the total equalized value of taxable property within the City.
  - f. The City estimates that not more 43% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Section §66.1105 (5)(b) of the Wisconsin Statutes.
  - g. Confirms less than 35 percent of the District is land proposed for newly platted residential development. Residential housing density is a least three unit per acre.
  - h. The project costs relate directly to promoting mixed-use development in the District consistent with the purpose for which the District is created.
  - i. Confirms that the boundaries of the District do not include any annexed territory that was not within the boundaries of the City on January 1, 2004.
5. The Project Plan, prepared by Robert W. Baird & Co. dated March 14, 2022 and revised April 12, 2022, which is incorporated herein in its entirety by reference, is approved and the City further finds that plan is feasible and in conformity with the master plan of the City.

**BE IT FURTHER RESOLVED THAT** the City Clerk is hereby authorized and directed to apply to the Wisconsin Department of Revenue, in such form as may be prescribed, for a "Determination of Tax Incremental Base", as of January 1, 2022, pursuant to the provisions of Section §66.1105 (5) (b) of the Wisconsin Statutes.

**BE IT FURTHER RESOLVED THAT** the City Assessor is hereby authorized and directed to identify upon the assessment roll returned and examined under section §70.45 of the Wisconsin Statutes, those parcels of property which are within the District, specifying thereon the name of the District, and the City Clerk is hereby authorized and



Resolution Formally Establishing the Boundaries of and Approving the Project Plan for  
Tax Incremental District No. 6

directed to make similar notations on the tax roll made under Section §70.65 of the  
Wisconsin Statutes, pursuant to Section §66.1105(5)(f) of the Wisconsin Statutes.

Adopted this 19th day of April, 2022

**City of Sturgeon Bay**

By \_\_\_\_\_  
David J. Ward, Ph.D., Mayor

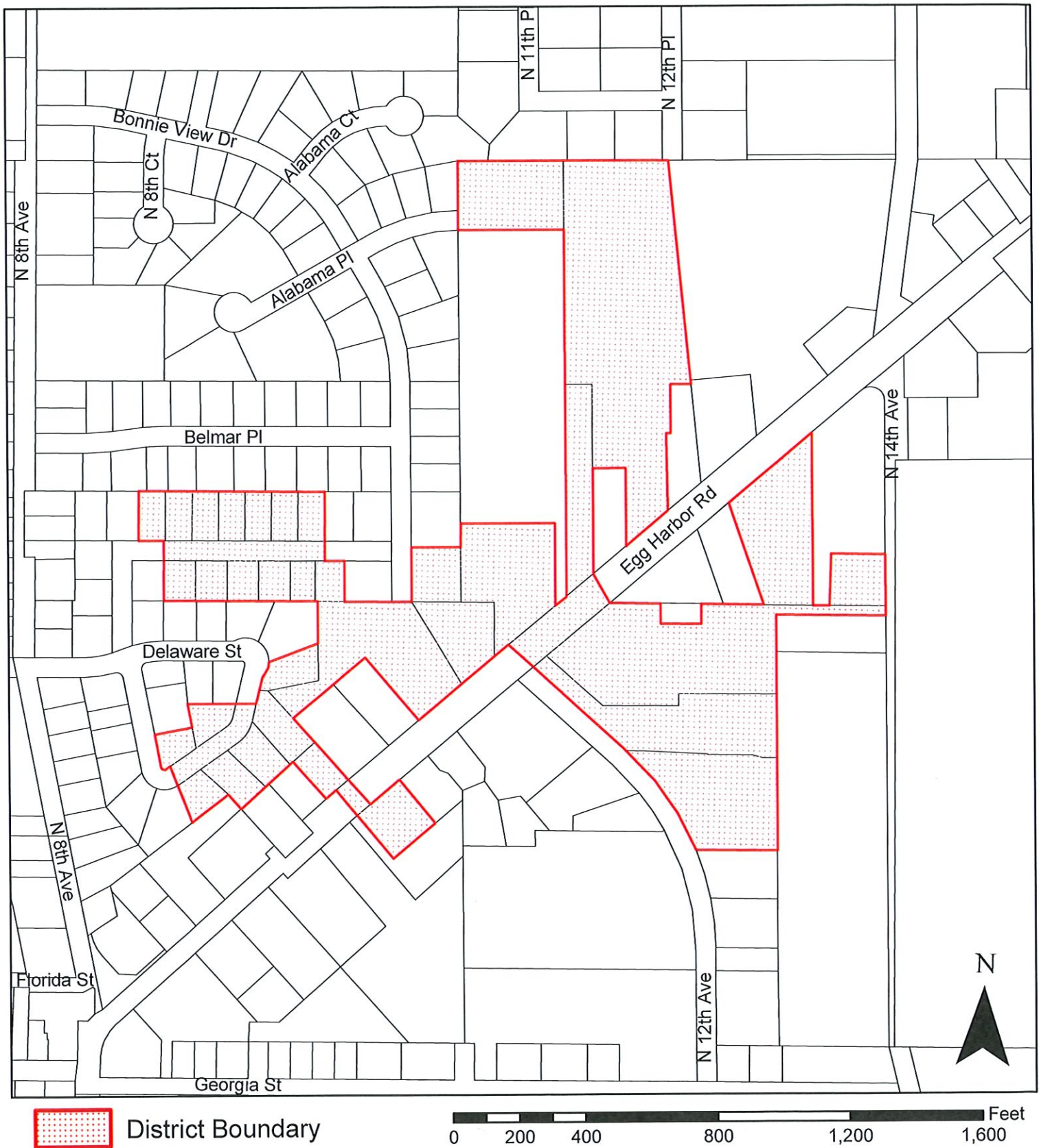
**CERTIFICATION**

I hereby certify that the foregoing Resolution was duly adopted by the Common Council  
of the City of Sturgeon Bay on the 19th day of April, 2022.

\_\_\_\_\_  
Stephanie L. Reinhardt,  
City of Sturgeon Bay  
City Clerk

# EXHIBIT A

## Boundaries of Tax Incremental District #6



## **TID #6 BOUNDARY LEGAL DESCRIPTION**

A tract of land located partly in the NE  $\frac{1}{4}$  of the NW  $\frac{1}{4}$  (Subdivision 9), partly in the SE  $\frac{1}{4}$  of the NW  $\frac{1}{4}$  (Subdivision 16), partly in the NW  $\frac{1}{4}$  of the NE  $\frac{1}{4}$  (Subdivision 10) and partly in the SW  $\frac{1}{4}$  of the NE  $\frac{1}{4}$  (Subdivision 15) of Section 5, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin and described as follows;

Commencing at the North  $\frac{1}{4}$  Corner of said Section 5, thence southerly along the  $\frac{1}{4}$  section line 209.63 feet to the northwest corner of Lot 2 of Certified Survey No. 3180 recorded in Volume 19 of Certified Survey Maps, Page 247, thence along the boundary of said Lot 1 of CSM 3180 as follows; easterly 319 feet, and southerly 1107.31 to the intersection of the northwesterly right-of-way line of Egg Harbor Road, southwesterly along said right-of-way line 45.47 feet, northerly 248.84 feet, and westerly 284 feet to the intersection with the  $\frac{1}{4}$  section line, thence southerly along the  $\frac{1}{4}$  section line 72 feet +/- to the southeast corner of Lot 14 of Sunset Subdivision, thence westerly 150 feet to southwest corner of said Lot 14, thence southerly along the easterly right-of-way line of Bonnie View Drive 166' feet, thence westerly along the southerly line of Sunset Subdivision 203.45 feet to the southwest corner of Tract C of Certified Survey No. 512 recorded in Volume 3 of Certified Survey Maps, Page 11, thence northerly 124.08 feet to the southerly right-of-way line of Colorado Place, thence westerly along said right-of-way line 60 feet +/- to the intersection with the easterly line of Lot 10 of Sunset Subdivision extended, thence northerly 60 feet to the southeast corner of said Lot 10, thence northerly 150 feet to the northeast corner of said Lot 10, thence westerly along the northerly line of Sunset Subdivision 563.01 feet to the northwest corner of Lot 4 of Sunset Subdivision, thence along the boundary of said Lot 4 as follows; southerly 150 feet and easterly 80.43 feet to the southeast corner of said Lot 4, thence southerly 60 feet +/- to the northwest corner of Lot 21 of Sunset Subdivision, thence southerly 124.42 feet to the southwest corner of said Lot 21, thence easterly along the shared line between Sunset Subdivision and Cherry Hill Subdivision 466.15 feet to the northeast corner of Lot 9 of Cherry Hill Subdivision, thence along the boundary of said Lot 9 as follows; southerly 125.00 feet and southwesterly 159.70 feet to the southwest corner of said Lot 9, thence southerly along the easterly line of Cherry Court 133 feet +/- to the intersection with the northerly line of Lot 33 of Cherry Hill Subdivision extended, thence westerly 62 feet +/- to the northeast corner of said Lot 33, thence along the boundary of said Lot 33 as follows; westerly 147.63 feet, and southeasterly 72.62 feet to the northeast corner of Lot 32 of Cherry Hills Subdivision, thence westerly 115.00 feet to the northwest corner of said Lot 32, thence southerly and easterly along the right-of-way line of Cherry Court 134' +/- to the intersection with the westerly line of Lot 14 of Cherry Hill Subdivision extended, thence southerly 62 feet +/- to the

northwest corner of said Lot 14, thence along the boundary of said Lot 14 as follows; southerly 119.99 feet, and northeasterly 139.15 feet, thence southeasterly 59.00 feet to the southwest corner of Lot 13 of Cherry Hill Subdivision, thence northeasterly 210.85 feet +/- to the northwest corner of Lot 2 of Certified Survey No. 3093 recorded in Volume 19 of Certified Survey Maps, Page 44, thence along the boundary of said Lot 2 as follows; southeasterly 150 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 37.33 feet, thence southeasterly 100 feet +/- to the northwest corner of Tract 1 of Certified Survey No. 481 recorded in Volume 2 of Certified Survey Maps, Page 387, thence along the boundary of said Lot 1 as follows; southeasterly 170.00 feet, northeasterly 166.80 feet, northwesterly 170.00 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, and southwesterly along said right-of-way line 114 feet +/-, thence northwesterly 100 feet +/- to the southeast corner of said Lot 2 of CSM #3093, thence northwesterly along the easterly line of said Lot 2 and the easterly line of Cherry Hill Subdivision 250.11 feet to the southwest corner of Lot 1 of Certified Survey No. 2993 recorded in Volume 18 of Certified Survey Maps, Page 154, thence along the boundary of said Lot 1 as follows: northeasterly 285.13 feet, thence southeasterly 250 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 355 feet +/- to the intersection with the easterly right-of-way line of North 12<sup>th</sup> Avenue extended, thence southeasterly along said easterly right-of-way line extended to the intersection with the southeasterly right-of-way line of Egg Harbor Road, thence southeasterly along the easterly right-of-way line of North 12<sup>th</sup> Avenue 748.96 feet to the northwest corner of Lot 1 of Certified Survey No. 549 recorded in Volume 3 of Certified Survey Maps, Page 89, thence easterly 245.99 feet to the northeast corner of said Lot 1, thence northerly 473 feet +/- to the southeast corner of Lot 1 of Certified Survey No. 3195 recorded in Volume 19 of Certified Survey Maps, Page 282, thence along the boundary of said Lot 1 as follows; northerly 241.5 feet, and easterly 331.75 feet to the intersection with the westerly right-of-way line of North 14<sup>th</sup> Avenue, thence northerly along said right-of-way line 187 feet, thence westerly 160.4 feet, thence southerly 157.13 feet to the intersection with the northerly line of said Lot 1 of CSM #3195, thence westerly along said northerly line 50.1 feet to the southeast corner of Lot 1 of Certified Survey No. 3529 recorded in Document No. 850606, thence along the boundary of said Lot 1 as follows; northerly 523.54 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, southwesterly along said right-of-way line 328.30 feet, southeasterly 329.14 feet to the intersection with the northerly line of aforementioned CSM #3195, thence westerly along said northerly line 191 feet +/- to the northeast corner of Outlot 1 of said CSM #3195, thence along the boundary of said Outlot 1 as follows; southerly 61.26, westerly 121.77 feet, and northerly 61.26 feet to the

northwest corner of said Outlot 1, thence westerly along said northerly line of CSM #3195 158.27 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, thence northwesterly 102 feet +/- to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northerly 317.2 feet, thence easterly 100 feet, thence southerly 234.5 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 167.8 feet, thence northerly 233.4 feet, thence easterly 12.7 feet, thence northerly 150 feet, thence easterly 60.7 feet, thence northerly 681.3 feet to the intersection with the ¼ section line, thence westerly along the ¼ section line 637.8 feet to the point of commencement.

**Project Plan & District Boundary  
Tax Incremental District No. 6  
in the  
CITY OF STURGEON BAY, WISCONSIN**



**April 12, 2022**

(Approved Actions)

Organizational Joint Review Board Meeting Held.....March 29, 2022  
Public Hearing Held.....March 30, 2022  
Adopted by Planning Commission.....March 30, 2022  
Adopted by City Council.....April 19, 2022  
Approved by Joint Review Board.....April 26, 2022

Prepared in part by:



Robert W. Baird & Co.  
Public Finance  
777 E. Wisconsin Ave.  
Milwaukee, WI 53202  
800.792.2473



## **Table of Contents**

TABLE OF CONTENTS.....	2
CITY OF STURGEON BAY OFFICIALS.....	3
INTRODUCTION AND DESCRIPTION OF DISTRICT.....	4
SUMMARY OF FINDINGS.....	5
MAP OF PROPOSED DISTRICT BOUNDARY.....	7
MAP OF ONE-HALF MILE RADIUS OF PROPOSED DISTRICT BOUNDARY.....	8
MAP SHOWING EXISTING USES AND CONDITIONS.....	9
PRELIMINARY PARCEL LIST & ANALYSIS.....	10
EQUALIZED VALUATION TEST.....	11
STATEMENT OF KIND, NUMBER AND LOCATION OF PROPOSED PROJECTS.....	11
MAPS SHOWING PROPOSED IMPROVEMENTS AND USES.....	16
DETAILED LIST OF PROJECT COSTS.....	18
ECONOMIC FEASIBILITY.....	19
METHOD OF FINANCING AND TIMING OF WHEN COSTS ARE TO BE INCURRED.....	19
ANNEXED PROPERTY.....	21
PROPOSED CHANGES IN ZONING ORDINANCES.....	21
PROPOSED CHANGES IN MASTER PLAN, MAP, BUILDING CODES AND CITY ORDINANCES.....	22
RELOCATION.....	22
ORDERLY DEVELOPMENT OF THE CITY.....	22
A LIST OF ESTIMATED NON-PROJECT COSTS.....	22
CITY ATTORNEY OPINION.....	22
Exhibit A: TID #6 CASH FLOW PROFORMA ANALYSIS.....	23
Exhibit B: CITY ATTORNEY OPINION.....	24
Exhibit C: TID #6 BOUNDARY LEGAL DESCRIPTION.....	25
DISCLAIMER.....	28

## **City of Sturgeon Bay Officials**

### **City Council**

David J. Ward Ph.D	Mayor
Helen L. Bacon	Alderpersion District 1
Dennis Statz	Alderpersion District 2
Dan Williams	Alderpersion District 3
J. Spencer Gustafson	Alderpersion District 4
Gary Nault	Alderpersion District 5
Seth Wiederanders	Alderpersion District 6
Kirsten Reeths	Alderpersion District 7

### **City Staff**

Josh Van Lieshout	City Administrator
Stephanie L. Reinhardt	City Clerk
Valerie J. Clarizio	Finance Director/City Treasurer
Martin J. Olejniczak	Community Development Director

### **Planning Commission**

David J. Ward Ph.D, Chairperson	Jeff Norland
Helen L. Bacon	Kirsten Reeths
Mark Holey	Dennis Statz
Debbie Kiedrowski	

### **Joint Review Board**

Josh Van Lieshout	City Representative
Ken Pabich	Door County
Bob Mathews	Northeast Wisconsin Area Technical College
Mike Stephani	Sturgeon Bay School District
Bill Chaudoir	Public Member

## **Introduction and Description of District**

The City plans to use Tax Incremental Financing ("TIF") as a successful economic development programming tool by providing public improvements and development incentives to encourage and promote residential and commercial development. The goal is to increase the tax base, to create and enhance economic opportunities, and to increase housing options within the City. The City works with developers and property owners to provide infrastructure improvements and incentives for development. Public infrastructure and property improvements will be financed by a combination of TIF increments and debt financing.

The Tax Increment District ("TID") is being created as a "Mixed-Use District" based on the identification and classification of the property proposed to be included in the TID. The maximum life (absent extension) of the TID is 20 years from the date of adoption.

Tax incremental financing is proposed for several properties along and near Egg Harbor Road that are underutilized or vacant. Some of these likely need financial incentives or infrastructure improvements to be developed. The proposed and potential new development will generate additional property taxes (tax increment) that will be used to offset the cost of the public investments resulting from, or needed by, the new development. Planned or potential development projects are detailed in the Statement of Kind, Number and Location of Proposed Projects section of this project plan.

The City anticipates various public improvement project cost expenditures of approximately \$3,210,000 plus financing/interest costs during the TID's 15-year expenditure period. Proposed public project improvements may include, but not limited to infrastructure, professional and organizational services, administrative costs, and finance costs. As part of the project plan, developer incentives may be provided by the City to developers of property within the TID in the form of cash grants or TID loans.

As a result of the creation of this TID, the City projects a preliminary and conservative cash flow analysis indicating \$6,121,682 in increments. The TID increment will primarily be used to pay the debt service costs of the TID, and project development incentives. The City projects land and improvement values (incremental value) of approximately \$16,400,000 will be created in the TID by the end of 2028. This additional value will be a result of the improvements made and projects undertaken with the TID.

Maps depicting the boundaries and existing uses and conditions of the TID are found in the respective mapping sections of this project plan.

## **Summary of Findings**

As required by s.66.1105 Wis. Stats., and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this TID, the development projected as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City. In making this determination, the City has considered the following information:
  - Development within the TID has not occurred at the pace anticipated by the City. Infrastructure and other development related expenses are not likely to be borne exclusively by private developers; therefore, the City has concluded that public investment will be required to fully achieve the City’s objectives for this area.
  - To achieve its objectives, the City has determined that it must take an active role in encouraging development by making appropriate public expenditures in the area. Without the availability of tax increment financing, these expenditures are unlikely to be made. Enhancement of this area will complement existing venues in the City, and benefit, not only the City, but all overlapping taxing jurisdictions. Accordingly, the costs to implement the needed projects and programs are appropriately funded through tax increment financing.
  - In order to make the area included within the TID suitable for development, the City will need to make a substantial investment to pay costs of some or all of the projects listed in the project plan and to maintain a rent structure that does not exceed the upper end of market levels. Due to the public investment that is required, the City has determined that development of the area will not occur at the pace or levels desired solely as a result of private investment.
2. The economic benefits of the Tax Incremental District, as measured by increased property values, are sufficient to compensate for the cost of the improvements. In making this determination, the City has considered the following information:
  - As demonstrated in the Economic Feasibility Section of this Project Plan, the tax increments projected to be collected and the debt issuance will be more than sufficient to pay for the proposed project costs. On this basis alone, the finding is supported.

**City of Sturgeon Bay**  
**TID #6 Project Plan & District Boundary**

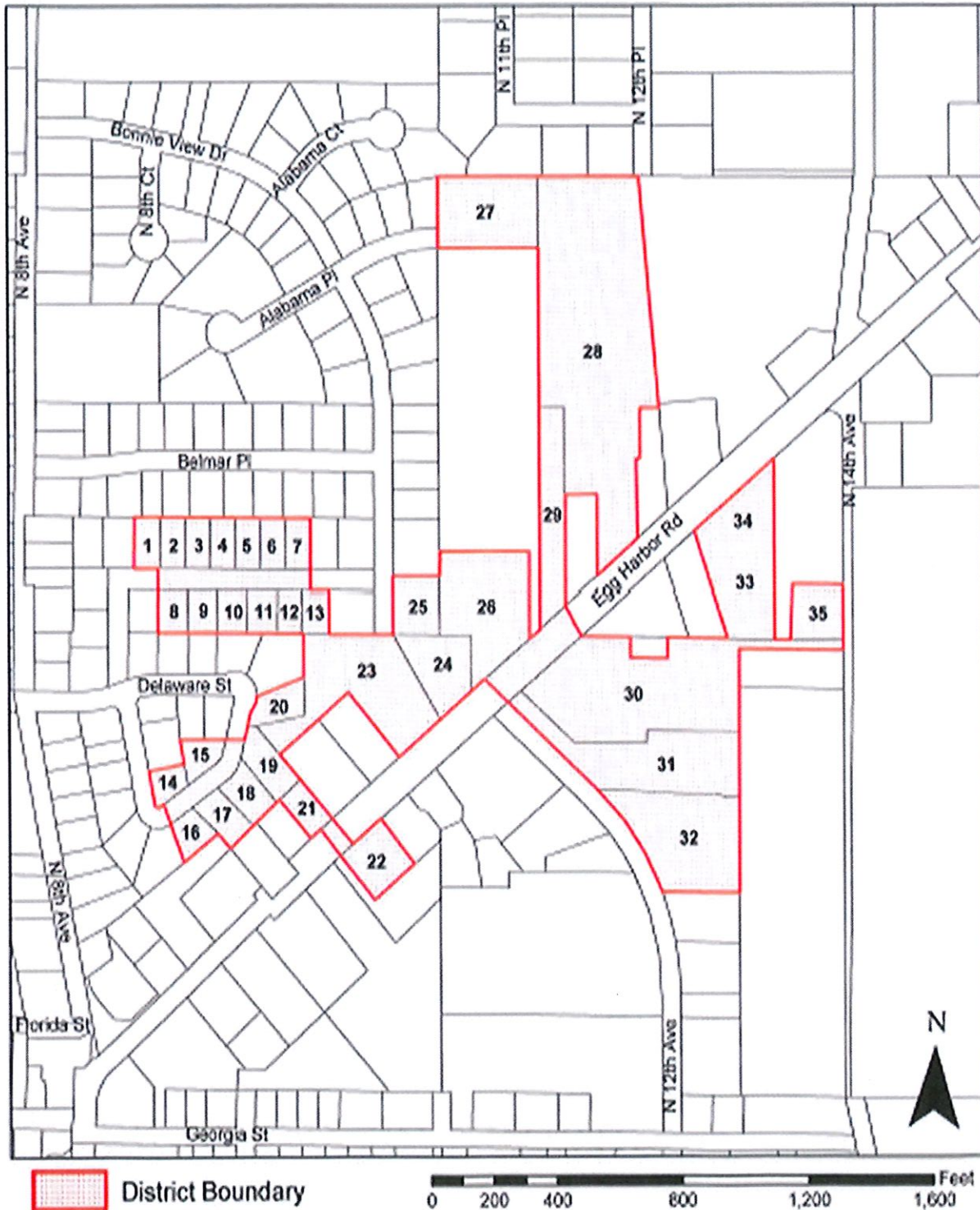
3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.
  - Since the development expected to occur is unlikely to take place without the use of Tax Incremental Financing (see Finding #1) and since the TID will generate economic benefits that are more than sufficient to compensate for the cost of the improvements (see Finding #2), the City reasonably concludes that the overall benefits of the TID outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the "but for" test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the TID is not created.
4. The improvements to be made within the TID are likely to significantly enhance the value of substantially all other real property in the City surrounding the TID.
5. The equalized value of taxable property of the TID does not exceed 12% of the total equalized value of taxable property within the City.
6. The Project Plan for the TID is feasible and is in conformity with the master plan of the City.
7. The City estimates that 43% of the territory within the District will be the maximum amount devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wisconsin Statutes Sections 66.1105(5)(b).
8. The City confirms less than 35 percent of the District is land proposed for newly platted residential development. Residential housing density is at least three units per acre.
9. The TID is being created as a Mixed-Use District. This project plan has met the definition and requirements for a Mixed-Use District. Not less than 50% of the proposed district's area land is suitable for industrial, commercial, and residential use.

**City of Sturgeon Bay**  
**TID #6 Project Plan & District Boundary**

**Map of Proposed District Boundary**

Current Map is reflective of the 01/01/2022 parcel list.

**Tax Increment District #6**











**City of Sturgeon Bay  
TID #6 Project Plan & District Boundary**

**Preliminary Parcel List and Analysis**

As of the 01/01/2022 parcel list.

ID	Address	Parcel #	Valuation
1	N/A	2814690000400	\$ 2,000
2	N/A	2814690000500	\$ 2,000
3	N/A	2814690000600	\$ 2,000
4	N/A	2814690000700	\$ 2,000
5	N/A	2814690000800	\$ 2,000
6	N/A	2814690000900	\$ 2,000
7	N/A	2814690001000	\$ 2,000
8	N/A	2814690002100	\$ 2,000
9	N/A	2814690002000	\$ 2,000
10	N/A	2814690001900	\$ 2,000
11	N/A	2814690001800	\$ 2,000
12	N/A	2814690001701	\$ 2,000
13	927 Colorado Pl	2814690001601	\$ 123,500
14	N/A	2811430003200	\$ 0
15	N/A	2811430003300	\$ 0
16	N/A	2811430001401	\$ 21,000
17	N/A	2811430001300	\$ 0
18	N/A	2811430001200	\$ 0
19	N/A	2811430001100	\$ 0
20	N/A	2811430001000	\$ 23,500
21	N/A	2816216000109B	\$ 61,000
22	939 Egg Harbor Rd	2816216000117	\$ 153,500
23	N/A	2816216000111B1	\$ 184,500
24	1014 Egg Harbor Rd	2816216000111B2	\$ 181,000
25	N/A	2816209000110	\$ 15,000
26	1026 Egg Harbor Rd	2816210000105A	\$ 186,000
27	N/A	2816210000116	\$ 31,500
28	1116 Egg Harbor Rd	2816210000108	\$ 375,000
29	1048 Egg Harbor Rd	2816210000106	\$ 0
30	1023 Egg Harbor Rd	2816215000104A	\$ 486,600
31	1019 Egg Harbor Rd	2816215000111A	\$ 923,500
32	664 N 12 <sup>th</sup> Ave	2816215000116	\$ 324,000
33	N/A	2816210000117	\$ 126,500
34	1227 Egg Harbor Rd	2816210000103	\$ 176,500
35	917 N. 14 <sup>th</sup> Ave	2816210000101	\$ 52,000
<b>Total Valuation</b>			<b><u>\$3,468,600</u></b>

## **Equalized Valuation Test**

The following calculations demonstrate that the City is in compliance with s.66.1105(4)(gm)4.c. Wis. Stats., which requires that the equalized value of the taxable property in the proposed TID, plus the value increment of any existing Tax Incremental Districts, does not exceed 12% of the total equalized value of taxable property within the City. With TID #6, the value increment of all existing Tax Increment Districts will be approximately 8.73%.

### **Valuation Test Compliance Calculation**

2021 Equalized Valuation (TID IN)	\$ 1,029,653,800
Limit for 12% Test	\$ 123,558,456
Increment Value of Existing TIDs	\$ 86,464,200
Projected Base Value of New TID	\$ 3,468,600
Total Value Subject to Test	\$ 89,932,800
Compliance ( $\$89,932,800 < \$123,558,456$ )	Meets Requirement

## **Statement of Kind, Number and Location of Proposed Projects**

The City expects to implement the following public project improvements. Any costs including eligible administrative costs necessary or convenient to the creation of the district or directly or indirectly related to the public works and other projects are considered "project costs" and eligible to be paid with tax increment revenues of the TID.

### **1. REGIONAL STORMWATER DETENTION POND**

**LOCATION:** Approximately 1.6 acres along east side of N. 12<sup>th</sup> Ave, which is the vacant portion of parcel #2816215000116 located at 664 N. 12<sup>th</sup> Avenue

**TOTAL:** \$320,000

**DESCRIPTION:** Includes the acquisition of property, engineering/design, construction of wet detention pond along with storm sewer and related street repair. This detention pond will serve new and existing development in the general Egg Harbor Road region.

**2. ALABAMA PLACE TO N 12<sup>TH</sup> PLACE STREET CONNECTION**

LOCATION: East end of Alabama Place extended westerly to south end of N. 12<sup>th</sup> Place

TOTAL: \$285,000

DESCRIPTION: The project constructs about 800 feet of new street that connects two existing dead-end streets. It improves east-west traffic flow while creating street frontage for residential development. The project includes property acquisition, design/engineering, asphalt and curbing. Stormwater improvements to handle existing and new runoff from the street is also part of the project.

**3. PUBLIC WATER AND SANITARY SEWER FACILITIES WITHIN ALABAMA PLACE EXTENSION REGION**

LOCATION: Within or near the new street right-of-way for the Alabama Pl to N 12<sup>th</sup> Pl street extension

TOTAL: \$135,000

DESCRIPTION: The project includes the installation of sanitary sewer and water mains within the right-of-way of the new street in order to serve intended residential development. An existing sanitary sewer lift station is proposed to be eliminated and existing dead-end water main will be looped. The estimated total cost of \$135,000 is the City's portion of the project, with Sturgeon Bay Utilities anticipated to cover about \$70,000 in additional costs.

**4. INFRASTRUCTURE IMPROVEMENTS FOR COLORADO PLACE**

LOCATION: Unbuilt portion of platted Colorado Place between N. 8<sup>th</sup> Place and Bonnie View Drive

TOTAL: \$395,000

DESCRIPTION: Construction of approximately 650 feet new street to connect Bonnie View Drive to N. 8<sup>th</sup> Place. The project includes pavement and curb/gutter along with extensions of sanitary sewer main and water main to serve existing platted lots. These lots have existed since the 1980's but never have been developed due to lack of infrastructure.

**City of Sturgeon Bay**  
**TID #6 Project Plan & District Boundary**

5. BONNIE VIEW DR EXTENSION TO EGG HARBOR RD

LOCATION: South end of Bonnie View Drive southeasterly to Egg Harbor Road

TOTAL: \$125,000

DESCRIPTION: This approximately 330-foot long street extension would provide a convenient connection to the Egg Harbor Road business district from the Bonnie View Heights neighborhood for vehicles, pedestrians and bicyclists.

6. REPAVE CHERRY COURT & N. 8<sup>th</sup> PLACE

LOCATION: Cherry Court south of Delaware St and N. 8<sup>th</sup> Pl north of Delaware St

TOTAL: \$105,000

DESCRIPTION: Mill and pave 785 feet of Cherry Court and 335 feet of N. 8<sup>th</sup> Avenue.

7. 14<sup>TH</sup> AVE STREET IMPROVEMENTS

LOCATION: 14<sup>th</sup> Avenue between Egg Harbor Road and Bluebird Street and also the west side of N. 14<sup>th</sup> Ave along the Best Western Maritime Inn

TOTAL: \$145,000

DESCRIPTION: Repave 14<sup>th</sup> Avenue from Egg Harbor to Bluebird Street. Also pave approximately 300 feet of existing gravel shoulder on the west side of 14<sup>th</sup> Ave and add street trees.

8. EGG HARBOR ROAD RESURFACING

LOCATION: Egg Harbor Road from Georgia Street to northeasterly of N. 14<sup>th</sup> Avenue

TOTAL: \$620,000

DESCRIPTION: Resurface approximately 3,700 feet of Egg Harbor Road.



**9. N. 8<sup>TH</sup> AVENUE RESURFACING**

LOCATION: N. 8<sup>th</sup> Avenue from Egg Harbor Road to Delaware Street

TOTAL: \$145,000

DESCRIPTION: Resurface approximately 1,050 feet of 8<sup>th</sup> Avenue.

**10. N. 12<sup>TH</sup> PLACE RESURFACING**

LOCATION: N. 12<sup>th</sup> Place from its south terminus to Bluebird Street

TOTAL: \$65,000

DESCRIPTION: Resurface approximately 625 feet of N. 12<sup>th</sup> Place.

**11. STORMWATER DETENTION POND FOR CHERRY CT DEVELOPMENT**

LOCATION: Vacant property east of Cherry Court

TOTAL: \$120,000

DESCRIPTION: This detention pond will serve new affordable housing development along Cherry Court. The project includes the acquisition of property, engineering/design, construction of detention pond along with storm sewer and associated street patching/repair.

**12. DEVELOPER INCENTIVES.**

LOCATION: Development and redevelopment sites within the District

TOTAL: \$620,000

DESCRIPTION: As an inducement to spur development or redevelopment in the District, incentives for developers may be required, especially for affordable and workforce housing projects. Incentives are proposed to be in the form of TIF-financed loans but may be cash grants or other incentives. Development agreements will be required and each development project that includes incentives will be negotiated separately. All financial incentives will be tied to the increment value of the proposed development.

**City of Sturgeon Bay**  
**TID #6 Project Plan & District Boundary**

13. EGG HARBOR ROAD FAÇADE/SITE IMPROVEMENTS

LOCATION: Egg Harbor Road business corridor & vicinity

TOTAL: 100,000

DESCRIPTION: Low/no interest loans or mini-grants to businesses to improve building facades, signage, and landscaping of parking areas within the Egg Harbor Road business corridor.

14. FINANCING & INTEREST, CAPITALIZED INTEREST, COST OF ISSUANCE

LOCATION: Entire TID

TOTAL: \$1,818,025

DESCRIPTION: Debt financing and interest, capitalized interest, and cost of issuance fees.

15. ADMINISTRATIVE / ORGANIZATIONAL FEES

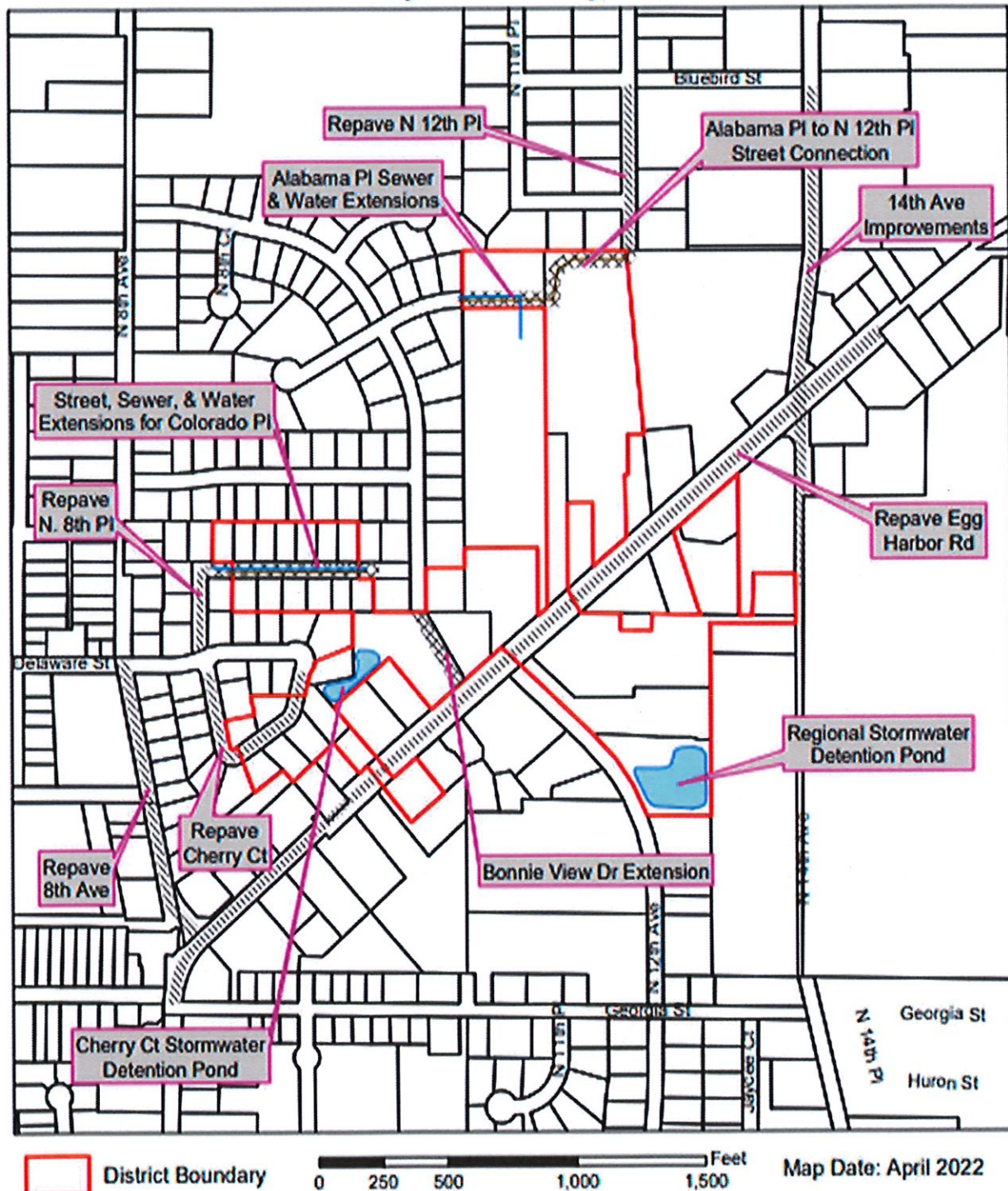
LOCATION: Entire TID

TOTAL: \$30,000

DESCRIPTION: Annual TID and City staff administration fees and professional fees for creation and organization, including legal fees.

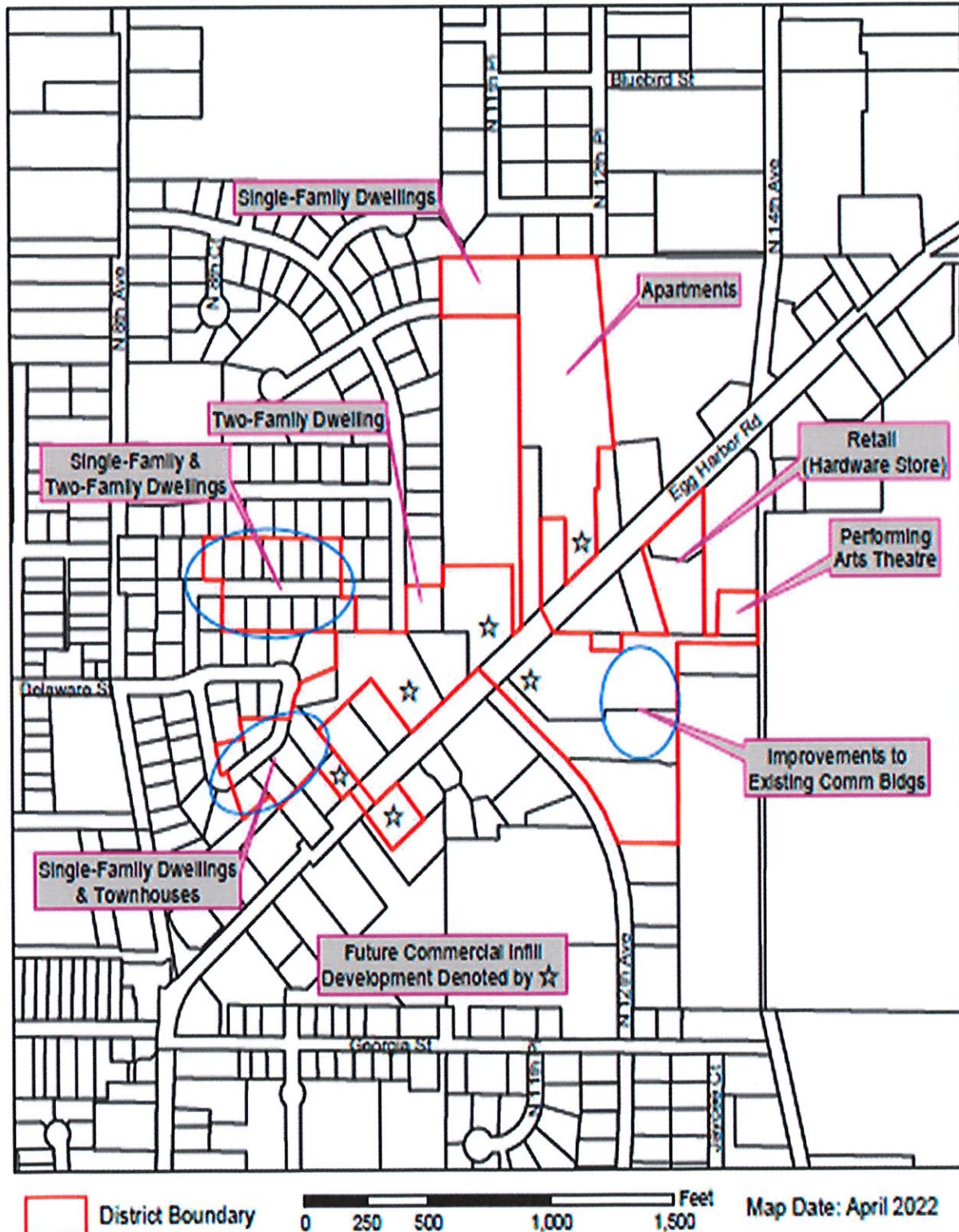
Maps Showing Proposed Improvements and Uses

Tax Increment District #6  
Proposed Projects





## Tax Increment District #6 Proposed Future Development and Uses



**Detailed List of Project Costs**

1. REGIONAL STORMWATER DETENTION POND	\$320,000
2. ALABAMA PLACE TO N. 12 <sup>TH</sup> PLACE STREET CONNECTION	\$285,000
3. PUBLIC WATER AND SANITARY SEWER FACILITIES WITHIN ALABAMA PLACE EXTENSION REGION	\$135,000
4. INFRASTRUCTURE IMPROVEMENTS FOR COLORADO PLACE	\$395,000
5. BONNIE VIEW DR EXTENSION TO EGG HARBOR RD	\$125,000
6. REPAVE CHERRY COURT & N. 8 <sup>TH</sup> PLACE	\$105,000
7. 14 <sup>TH</sup> AVE STREET IMPROVEMENTS	\$145,000
8. EGG HARBOR ROAD RESURFACING	\$620,000
9. N. 8 <sup>TH</sup> AVENUE RESURFACING	\$145,000
10. N 12 <sup>TH</sup> PLACE RESURFACING	\$65,000
11. STORMWATER DETENTION POND FOR CHERRY CT DEVELOPMENT	\$120,000
12. DEVELOPER INCENTIVES	\$620,000
13. EGG HARBOR RD FACADE/SITE IMPROVEMENTS	\$100,000
14. FINANCING & INTEREST, CAPITALIZED INTEREST, COST OF ISSUANCE	\$1,818,025
15. ADMINISTRATIVE / ORGANIZATIONAL FEES	\$30,000
<b>Total</b>	<b>\$5,028,025</b>

The project cost is based on current prices and preliminary estimates. The City reserves the right to increase this cost to reflect inflationary increases and other uncontrollable circumstances between the creation of the TID and the time of construction. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of the Plan.

This Plan is not meant to be a budget nor an appropriation of funds for specific projects, but a framework within which to manage projects. All costs included in the Plan are estimates based on the best information available. The City retains the right to delete or pursue future projects listed in the prior paragraph, and shown on the map, or change the scope and/or timing

**City of Sturgeon Bay  
TID #6 Project Plan & District Boundary**

of projects implemented as they are individually authorized by the Common Council, without amending the Plan.

The Plan authorizes the expenditure of funds for project costs within a 1/2-mile radius of the TID boundary.

**Economic Feasibility**

The information and exhibits contained within this project plan demonstrate that the proposed TID is economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan. A listing of "Method of Financing and Timing of When Costs are to be Incurred" follows.
- The development anticipated to occur as a result of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. This Plan identifies the following: 1) the development expected to occur, 2) a projection of tax increments to be collected resulting from that development and other economic growth within the TID, and 3) a cash flow model demonstrating that the projected tax increment collections and all other revenues available such as debt issuance will be sufficient to pay all Project Costs.

In order to evaluate the economic feasibility of TID #6 it is necessary to project the amount of tax revenue that can be reasonably generated over the legal life of the TID. Included in Exhibit A is a proforma analysis of TID #6. The proforma analyzes expenses based on project plan costs of TID #6 against projected TID revenue. Tax revenue is conservatively estimated. Cash received from future TID #6 tax increments will be used to fund project costs and implementation of this Plan will also require that the City issue debt obligations to provide direct or indirect financing for the Projects to be undertaken. In 2043, the final year of revenue collection for the TID, it is projected to have repaid all expenditures and is left with a positive surplus balance.

**Method of Financing and Timing of When Costs are to be Incurred**

The City plans to fund project costs with cash received from future TID #6 tax increments and to issue obligations to provide direct or indirect financing for the Projects to be undertaken. The following is a list of the types of obligations the City may choose to utilize.



**City of Sturgeon Bay**  
**TID #6 Project Plan & District Boundary**

General Obligation (G.O.) Bonds or Notes

The City may issue G.O. Bonds or Notes to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of G.O. and State Trust Fund Loan debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (including increment values).

Board of Commissioners of Public Lands State Trust Fund Loans

The City may issue State Trust Fund Loans to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of State Trust Fund Loan and GO debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (including increment values).

Bonds Issued to Developers ("Pay as You Go" Financing)

The City may issue a bond to one or more developers who provide financing for projects included in this Plan. Repayment of the amounts due to the developer under the bonds are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the City's obligation is limited to not more than the agreed percentage of the actual increments collected. Bonds issued to developers in this fashion are not general obligations of the City and therefore do not count against the City's borrowing capacity.

Federal/State Loan Grant Programs

The State and Federal governments often sponsor grant and loan programs that municipalities may potentially use to supplement TID expenditures or provide financing for capital costs which positively impact the District. These programs include Wisconsin Community Development Block Grants, Rural Development Administration Community Facility Loan/Grants, Transportation Economic Assistance Grants, and Economic Development Administration Grants. These programs require local match funding to ensure State and Federal participation in the project.

The actual amount of debt issuance will be determined by the City at its convenience and as dictated by the nature of the projects as they are implemented.

Plan Implementation

Projects identified will provide the necessary anticipated governmental services to the area, and appropriate inducements to encourage development

**City of Sturgeon Bay  
TID #6 Project Plan & District Boundary**

of the area. The City anticipates making total project expenditures of approximately \$3,210,000 plus financing/interest costs to undertake the projects listed in this Project Plan. The Expenditure Period of this District is 15 years from the date of adoption of the Creation Resolution by the Common Council. The projects to be undertaken pursuant to this Project Plan are expected to be financed primarily with tax increments and debt proceeds. The City reserves the right to alter the implementation of this Plan to accomplish this objective. Interest rates projected are based on current market conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.

**If financing as outlined in this Plan proves unworkable, the City reserves the right to use alternate financing solutions for the projects as they are implemented.**

**Annexed Property**

There are no lands proposed for inclusion within the TID that were annexed by the City on or after January 1, 2004.

**Proposed Changes in Zoning Ordinances**

The property located at 1048 Egg Harbor Rd (parcel #2816210000106) and a portion of the property located at 1116 Egg Harbor Rd (parcel # 2816210000108) are proposed to be changed from a combination of C-1, R-4, and R-1 to Planned Unit Development (PUD). That zoning map amendment is under consideration by the Plan commission and Common Council and may be implemented by the time of adoption of this project plan.

The properties at 664 N. 12<sup>th</sup> Ave (parcel # 2816215000116), 1019 Egg Harbor Rd (parcel # 2816215000111A), and 1023 Egg Harbor Rd (parcel #2816215000104A) are proposed to be changed from C-3 to C-1. That zoning map amendment is under consideration by the Plan commission and Common Council and may be implemented by the time of adoption of this project plan.

No other change in zoning is proposed for the current property in the TID.

## **Proposed Changes in Master Plan, Map, Building Codes and Town Ordinances**

The City does not anticipate that the TID will require any changes in the master plan, map, building codes, and City ordinances to implement this project plan. The proposed development and uses are consistent with the adopted Sturgeon Bay Comprehensive Plan.

## **Relocation**

The City does not anticipate the need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the City will follow applicable state statutes as required in Wisconsin Statutes Chapter 32.

## **Orderly Development of the City**

The creation of the TID will enable the City to undertake projects in furtherance of the stated objectives of its Comprehensive Plan and other planning documents. To this extent, the creation of the TID promotes the orderly development of the City.

## **A List of Estimated Non-Project Costs**

Non-Project costs are public works projects that only partly benefit the TID or are not eligible to be paid with tax increment, or costs not eligible to be paid with Tax Incremental Financing funds. The City does not anticipate any non-project costs for the TID.

## **City Attorney Opinion**

Exhibit B contains a signed opinion from the City attorney advising whether the project plan amendment is complete and complies with Section 66.1105(4)(f) of the Wisconsin Statutes.

City of Sturgeon Bay  
TID #6 Project Plan & District Boundary

EXHIBIT A  
CASH FLOW PROFORMA ANALYSIS  
TID #6

BAIRD

Assumptions									
Annual Inflation During Life of TID.....				0.00%					
2021 Gross Tax Rate (per \$1,000 Equalized Value).....				\$22.77					
Annual Adjustment to tax rate.....				0.00%					
Investment rate.....				0.50%					
Data above dashed line are actual									

Background Data			
(a)	(b)	(c)	(d)
TIF District	Construction	TIF Increment	Tax
Valuation	Increment	Over Base	Rate
(January 1)	(1)		
Base Value			
\$3,468,600			
2022	\$2,100,000	\$1,434,700	\$22.77
2023	\$2,600,000	\$4,034,700	\$22.77
2024	\$3,500,000	\$7,534,700	\$22.77
2025	\$3,500,000	\$11,034,700	\$22.77
2026	\$900,000	\$11,934,700	\$22.77
2027	\$700,000	\$12,634,700	\$22.77
2028	\$3,100,000	\$15,734,700	\$22.77
2029		\$15,734,700	\$22.77
2030		\$15,734,700	\$22.77
2031		\$15,734,700	\$22.77
2032		\$15,734,700	\$22.77
2033		\$15,734,700	\$22.77
2034		\$15,734,700	\$22.77
2035		\$15,734,700	\$22.77
2036		\$15,734,700	\$22.77
2037		\$15,734,700	\$22.77
2038		\$15,734,700	\$22.77
2039		\$15,734,700	\$22.77
2040		\$15,734,700	\$22.77
2041		\$15,734,700	\$22.77
2042		\$15,734,700	\$22.77
2043		\$15,734,700	\$22.77

Revenues			
(e)	(f)	(g)	(h)
Tax	Land	Investment	Total
Revenue	Sales	Proceeds	Revenues
(1)			
2022	\$0	\$0	\$0
2023	\$32,663	\$85,000	\$117,663
2024	\$91,885	\$85,000	\$176,909
2025	\$171,336	\$54	\$171,386
2026	\$231,218	\$163	\$231,381
2027	\$271,707	\$179	\$271,886
2028	\$287,644	\$190	\$287,834
2029	\$338,219	\$191	\$338,409
2030	\$338,219	\$260	\$338,479
2031	\$338,219	\$334	\$338,552
2032	\$338,219	\$414	\$338,632
2033	\$338,219	\$503	\$338,722
2034	\$338,219	\$579	\$338,798
2035	\$338,219	\$645	\$338,864
2036	\$338,219	\$731	\$338,949
2037	\$338,219	\$813	\$339,032
2038	\$338,219	\$888	\$339,107
2039	\$338,219	\$959	\$339,178
2040	\$338,219	\$1,035	\$339,254
2041	\$338,219	\$1,110	\$339,329
2042	\$338,219	\$1,185	\$339,404
2043	\$338,219	\$1,260	\$339,479

Example New Issue				
\$3,210,000				
General Obligation Bonds (2)				
Dated October 1, 2022				
Amount for Projects	\$3,210,000			
Bid Premium Available for D/S	\$209,981			
Costs of Issuance (estimate)	\$76,514			
Rounding	\$0			
Less: Rerefunding Premium				(\$286,496)

Expenditures				
(i)	(j)	(k)	(l)	(m)
Principal	Interest	LESS: Hypothetical Bid Premium	Debt Service	Combined Expenditures
(10/1)	(4/1 & 10/1)	7/1 = 3.86%		
2022	\$158,400	(\$158,400)	\$0	\$0
2023	\$158,400	(\$51,581)	\$106,819	\$106,819
2024	\$158,400		\$158,400	\$158,400
2025	\$158,400		\$253,400	\$253,400
2026	\$158,400		\$306,175	\$306,175
2027	\$153,175		\$269,650	\$269,650
2028	\$144,650		\$287,775	\$287,775
2029	\$137,775		\$344,525	\$344,525
2030	\$129,525		\$343,775	\$343,775
2031	\$118,775		\$342,525	\$342,525
2032	\$107,525		\$340,775	\$340,775
2033	\$95,775		\$343,525	\$343,525
2034	\$83,525		\$345,525	\$345,525
2035	\$70,525		\$341,775	\$341,775
2036	\$56,775		\$342,525	\$342,525
2037	\$42,525		\$344,025	\$344,025
2038	\$29,025		\$344,850	\$344,850
2039	\$14,850			\$0
2040				\$0
2041				\$0
2042				\$0
2043				\$0

TID Status		
(n)	(o)	(p)
Annual Balance	Year End Cumulative Balance	Cost Recovery
(December 31)		
2022	\$0	\$0
2023	\$10,844	\$10,844
2024	\$18,509	\$29,353
2025	\$3,283	\$32,636
2026	\$3,206	\$35,842
2027	\$2,236	\$38,078
2028	\$59	\$38,137
2029	\$13,884	\$52,021
2030	\$14,704	\$66,725
2031	\$16,027	\$82,752
2032	\$17,637	\$100,610
2033	\$15,197	\$115,806
2034	\$13,273	\$129,079
2035	\$17,089	\$146,168
2036	\$16,424	\$162,592
2037	\$15,007	\$177,599
2038	\$14,257	\$191,855
2039	\$339,178	\$531,033
2040	\$360,974	\$892,007
2041	\$362,779	\$1,254,786
2042		\$1,639,378
2043		

Expenditures Incurred		
2022		
2023		
2024		
2025		
2026		
2027		
2028		
2029		
2030		
2031		
2032		
2033		
2034		
2035		
2036		
2037		
2038		
2039		
2040		
2041		
2042		
2043		

Type of TID: Mixed-Use  
2022 TID Inception (4/26/2022)  
2037 Final Year to Incur TIF Related Costs  
2042 Maximum Legal Life of TID (20 Years)  
2043 Final Tax Collection Year

(1) Per City estimates.  
(2) May be preceded by Note Anticipation Note.

**EXHIBIT B  
CITY ATTORNEY OPINION**

**EXHIBIT C  
TID #6 BOUNDARY LEGAL DESCRIPTION**

A tract of land located partly in the NE  $\frac{1}{4}$  of the NW  $\frac{1}{4}$  (Subdivision 9), partly in the SE  $\frac{1}{4}$  of the NW  $\frac{1}{4}$  (Subdivision 16), partly in the NW  $\frac{1}{4}$  of the NE  $\frac{1}{4}$  (Subdivision 10) and partly in the SW  $\frac{1}{4}$  of the NE  $\frac{1}{4}$  (Subdivision 15) of Section 5, Township 27 North, Range 26 East, City of Sturgeon Bay, Door County, Wisconsin and described as follows;

Commencing at the North  $\frac{1}{4}$  Corner of said Section 5, thence southerly along the  $\frac{1}{4}$  section line 209.63 feet to the northwest corner of Lot 2 of Certified Survey No. 3180 recorded in Volume 19 of Certified Survey Maps, Page 247, thence along the boundary of said Lot 1 of CSM 3180 as follows; easterly 319 feet, and southerly 1107.31 to the intersection of the northwesterly right-of-way line of Egg Harbor Road, southwesterly along said right-of-way line 45.47 feet, northerly 248.84 feet, and westerly 284 feet to the intersection with the  $\frac{1}{4}$  section line, thence southerly along the  $\frac{1}{4}$  section line 72 feet +/- to the southeast corner of Lot 14 of Sunset Subdivision, thence westerly 150 feet to southwest corner of said Lot 14, thence southerly along the easterly right-of-way line of Bonnie View Drive 166' feet, thence westerly along the southerly line of Sunset Subdivision 203.45 feet to the southwest corner of Tract C of Certified Survey No. 512 recorded in Volume 3 of Certified Survey Maps, Page 11, thence northerly 124.08 feet to the southerly right-of-way line of Colorado Place, thence westerly along said right-of-way line 60 feet +/- to the intersection with the easterly line of Lot 10 of Sunset Subdivision extended, thence northerly 60 feet to the southeast corner of said Lot 10, thence northerly 150 feet to the northeast corner of said Lot 10, thence westerly along the northerly line of Sunset Subdivision 563.01 feet to the northwest corner of Lot 4 of Sunset Subdivision, thence along the boundary of said Lot 4 as follows; southerly 150 feet and easterly 80.43 feet to the southeast corner of said Lot 4, thence southerly 60 feet +/- to the northwest corner of Lot 21 of Sunset Subdivision, thence southerly 124.42 feet to the southwest corner of said Lot 21, thence easterly along the shared line between Sunset Subdivision and Cherry Hill Subdivision 466.15 feet to the northeast corner of Lot 9 of Cherry Hill Subdivision, thence along the boundary of said Lot 9 as follows; southerly 125.00 feet and southwesterly 159.70 feet to the southwest corner of said Lot 9, thence southerly along the easterly line of Cherry Court 133 feet +/- to the intersection with the northerly line of Lot 33 of Cherry Hill Subdivision extended, thence westerly 62 feet +/- to the northeast corner of said Lot 33, thence along the boundary of said Lot 33 as follows; westerly 147.63 feet, and southeasterly 72.62 feet to the northeast corner of Lot 32 of Cherry Hills Subdivision, thence westerly 115.00 feet to the northwest corner of said Lot 32, thence southerly and easterly along the right-of-way line of Cherry Court 134' +/- to the intersection with the westerly line of Lot 14 of



**City of Sturgeon Bay**  
**TID #6 Project Plan & District Boundary**

Cherry Hill Subdivision extended, thence southerly 62 feet +/- to the northwest corner of said Lot 14, thence along the boundary of said Lot 14 as follows; southerly 119.99 feet, and northeasterly 139.15 feet, thence southeasterly 59.00 feet to the southwest corner of Lot 13 of Cherry Hill Subdivision, thence northeasterly 210.85 feet +/- to the northwest corner of Lot 2 of Certified Survey No. 3093 recorded in Volume 19 of Certified Survey Maps, Page 44, thence along the boundary of said Lot 2 as follows; southeasterly 150 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 37.33 feet, thence southeasterly 100 feet +/- to the northwest corner of Tract 1 of Certified Survey No. 481 recorded in Volume 2 of Certified Survey Maps, Page 387, thence along the boundary of said Lot 1 as follows; southeasterly 170.00 feet, northeasterly 166.80 feet, northwesterly 170.00 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, and southwesterly along said right-of-way line 114 feet +/-, thence northwesterly 100 feet +/- to the southeast corner of said Lot 2 of CSM #3093, thence northwesterly along the easterly line of said Lot 2 and the easterly line of Cherry Hill Subdivision 250.11 feet to the southwest corner of Lot 1 of Certified Survey No. 2993 recorded in Volume 18 of Certified Survey Maps, Page 154, thence along the boundary of said Lot 1 as follows: northeasterly 285.13 feet, thence southeasterly 250 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 355 feet +/- to the intersection with the easterly right-of-way line of North 12<sup>th</sup> Avenue extended, thence southeasterly along said easterly right-of-way line extended to the intersection with the southeasterly right-of-way line of Egg Harbor Road, thence southeasterly along the easterly right-of-way line of North 12<sup>th</sup> Avenue 748.96 feet to the northwest corner of Lot 1 of Certified Survey No. 549 recorded in Volume 3 of Certified Survey Maps, Page 89, thence easterly 245.99 feet to the northeast corner of said Lot 1, thence northerly 473 feet +/- to the southeast corner of Lot 1 of Certified Survey No. 3195 recorded in Volume 19 of Certified Survey Maps, Page 282, thence along the boundary of said Lot 1 as follows; northerly 241.5 feet, and easterly 331.75 feet to the intersection with the westerly right-of-way line of North 14<sup>th</sup> Avenue, thence northerly along said right-of-way line 187 feet, thence westerly 160.4 feet, thence southerly 157.13 feet to the intersection with the northerly line of said Lot 1 of CSM #3195, thence westerly along said northerly line 50.1 feet to the southeast corner of Lot 1 of Certified Survey No. 3529 recorded in Document No. 850606, thence along the boundary of said Lot 1 as follows; northerly 523.54 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, southwesterly along said right-of-way line 328.30 feet, southeasterly 329.14 feet to the intersection with the northerly line of aforementioned CSM #3195, thence westerly along said northerly line 191 feet +/- to the northeast corner of Outlot 1 of said CSM #3195, thence along the boundary of said Outlot 1 as

**City of Sturgeon Bay**  
**TID #6 Project Plan & District Boundary**

follows; southerly 61.26, westerly 121.77 feet, and northerly 61.26 feet to the northwest corner of said Outlot 1, thence westerly along said northerly line of CSM #3195 158.27 feet to the intersection with the southeasterly right-of-way line of Egg Harbor Road, thence northwesterly 102 feet +/- to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northerly 317.2 feet, thence easterly 100 feet, thence southerly 234.5 feet to the intersection with the northwesterly right-of-way line of Egg Harbor Road, thence northeasterly along said right-of-way line 167.8 feet, thence northerly 233.4 feet, thence easterly 12.7 feet, thence northerly 150 feet, thence easterly 60.7 feet, thence northerly 681.3 feet to the intersection with the ¼ section line, thence westerly along the ¼ section line 637.8 feet to the point of commencement.

**DISCLAIMER TEXT**

Robert W. Baird & Co. Incorporated is providing this information to you for discussion purposes. The materials do not contemplate or relate to a future issuance of municipal securities. Baird is not recommending that you take any action, and this information is not intended to be regarded as "advice" within the meaning of Section 15B of the Securities Exchange Act of 1934 or the rules thereunder.

## **PLANNING COMMISSION RESOLUTION #2022-01**

Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax  
Incremental District No. 6

### **RECOMMENDED ADOPTION OF THE PROJECT PLAN AND BOUNDARIES FOR TAX INCREMENTAL DISTRICT NO. 6 CITY OF STURGEON BAY, WISCONSIN**

**WHEREAS**, pursuant to Wisconsin Statutes §66.1105 the City of Sturgeon Bay has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

**WHEREAS**, Tax Incremental District No. 6 (“the District”) is proposed to be created as a “mixed-use district” where not less than fifty percent (50%) by area, of the real property within the District is suitable for industrial, commercial, residential development, and

**WHEREAS**, a Project Plan for Tax Incremental District No. 6 has been prepared that includes the following:

1. A statement listing the kind, number, and location of proposed public works or improvements within the District;
2. An economic feasibility study;
3. A detailed list of estimated project costs;
4. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
5. A map showing existing uses and conditions of real property in the District;
6. A map showing proposed improvements and uses in the District;
7. Proposed changes of zoning ordinance, master plan, map, building codes, and City Ordinances;
8. A statement of the proposed method for relocation of any person to be displaced;
9. A statement indicating how creation of the District promotes the orderly development of the City;
10. A list of estimated non-projects costs;
11. An Opinion of the City Attorney advising that the plan is complete and complies with Wis. Statute §66.1105(4)(f); and

**WHEREAS**, prior to its publication, a copy of the notice of the public hearing by the Plan Commission was sent to the City of Sturgeon Bay, Door County, the Sturgeon Bay School District, and Northeast Wisconsin Area Technical College which constitutes all of the local governmental entities having the power to levy taxes on property located within the proposed District; and

**WHEREAS**, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on March 30, 2022, held a public hearing concerning the project plan and boundaries and proposed creation of the District providing interested parties a reasonable opportunity to express their views on the proposed creation of a tax incremental district and the proposed boundaries of the District.

## **PLANNING COMMISSION RESOLUTION #2022-01**


Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax  
Incremental District No. 6

**NOW THEREFORE, BE IT RESOLVED** by the Plan Commission of the City  
of Sturgeon Bay that:

1. It recommends to the Common Council that Tax Incremental District No. 6, City of Sturgeon Bay, be created with boundaries as designated by Exhibit A, which is attached and incorporated herein by reference;
2. It approves the Project Plan as prepared by Robert W. Baird & Co, dated March 14, 2022, which is incorporated herein in its entirety by reference, and recommends its approval to the Common Council;
3. Creation of the District promotes orderly development in the City; and
4. That the City Clerk is hereby directed to provide the Common Council with a certified copy of this Resolution upon its adoption by the Plan Commission.

Adopted this 30th day of March, 2022

**City of Sturgeon Bay**

By   
David J. Ward Ph. D., Plan Commission Chairman

### **CERTIFICATION**

I hereby certify that the foregoing Resolution was duly adopted by the Planning  
Commission of the City of Sturgeon Bay on the 30th day of March, 2022.

---

Stephanie L. Reinhardt,  
City of Sturgeon Bay  
City Clerk

EXECUTIVE SUMMARY

**DATE:** April 12, 2022

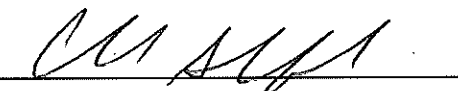
**TITLE:** Preliminary Resolution and Engineering Report for Declaring Intent to Levy Special Assessments for Curbing Installation along Alley W14

**BACKGROUND:** Alley W14 is located between E Oak Street and E Pine Street and runs from S Madison Ave to S Neenah Ave. During the development of the replacement plans for this alley the affected property owners discussed alternatives to improve drainage on the east end of the alley. Ultimately it was agreed that adding curbing along the north side of the alley from the west side of the parking lot for Kitty O'Reilly's Irish Pub to S Neenah Ave would help to improve the drainage issues. The property owners were notified that a special assessment for the new curbing would be likely, and after receiving a rough estimate of cost, they both requested to have the new curbing added. Consistent with past curbing special assessments the abutting property owners will only be assessed for the cost of the new curbing. The City will be responsible for all other costs of the completed project.

**FISCAL IMPACT:** The concrete portion of the project has been bid and has an estimated overall cost totaling \$11,398.96. There is no other contracted concrete work associated with this project so the entire amount would be assessed to the abutting property Owners.

**RECOMMENDATION:** Pass the preliminary resolution for declaring intent to levy special assessments for the curbing installation along Alley W14.

**SUBMITTED BY:**



Chad Shefchik  
City Engineer

4-12-22

Date

**REVIEWED BY:**



Val Clarizio  
Finance Director

4/12/22

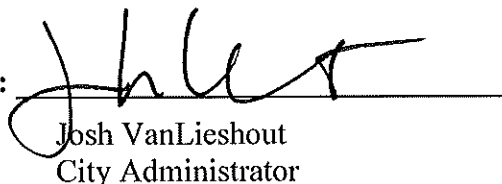
Date

**REVIEWED BY:**

Stephanie Reinhardt  
City Clerk

Date

**REVIEWED BY:**



Josh VanLieshout  
City Administrator

4/12/22

Date



**PRELIMINARY RESOLUTION  
DECLARING INTENT TO LEVY SPECIAL ASSESSMENTS UNDER MUNICIPAL  
POLICE POWER PURSUANT TO SECTION 66.0703, WIS. STATS.**

RESOLVED, by the Common Council of the City of Sturgeon Bay, Wisconsin:

1. The Common Council hereby declares its intention to exercise its police power under Section 66.0703, Wisconsin Statutes, to levy special assessments upon property in the Assessment District hereafter described for benefits conferred upon such property by reason of the following public work improvements:

Installation of new curbing along the eastern side of alley W14 on the north side of the alley.

2. The Property to be assessed lies within the following described Assessment District:

Assessment District:

Alley W14 (between E Oak Street and E Pine Street from S Madison Ave to S Neenah Ave) on the north side of the alley from the west side of the parking lot for Kitty O'Reilly's Irish Pub to S Neenah Ave.

3. It is proposed that 100 percent of the cost of the installation of the curbing in the project area of the Assessment District be assessed against the benefitted properties.
4. The Common Council determines that the improvements constitute an exercise of the police power for the health, safety, and general welfare of the municipality and its inhabitants.
5. The City Engineer shall prepare a report which shall consist of:
  - a. Preliminary plans and specifications for the improvements.
  - b. Estimate of the entire cost of the proposed improvements.
  - c. Schedule of proposed assessments.
6. When the report is completed, the City Engineer shall file a copy of the report with the Municipal Clerk for public inspection and, if state property is to be assessed, shall mail a copy of the report to the responsible state agency and, for assessments of \$50,000 or more, to the Wisconsin State Building Commission.
7. Upon receiving the report of the City Engineer, the Municipal Clerk shall cause notice to be given stating the nature of the proposed improvements, the general boundary lines of the proposed Assessment District (including a small map thereof), the time and place at which the report may be inspected, and the time

and place of the public hearing on the matters contained in the preliminary resolution and the report. This notice shall be published as a class 1 notice under ch. 985, Stats, and a copy shall be mailed, at least 10 days before the hearing, to every interested party whose address is known or can be ascertained with reasonable diligence.

8. The public hearing shall be held in the Common Council Chambers in City Hall, 421 Michigan Street, on the 17th day of May, 2022 at 6:00 p.m. or shortly thereafter, in accordance with Section 66.0703 (7), Wisconsin Statutes.
9. The assessment against any parcel may be paid in cash, subject to installment payment privileges, or subject to deferment. The determination of whether or not an assessment is deferrable will be determined by the Common Council at or after the public hearing to be held in connection with this matter. Six annual installments are hereby authorized except when total assessment on a single parcel exceeds \$6,000 then twelve installments can be applied for.

Introduced by:

Moved by: Alderperson \_\_\_\_\_, seconded by: Alderperson \_\_\_\_\_, that said resolution be adopted.

Passed by the Council on the \_\_\_\_ day of \_\_\_\_\_, 2022.

# REPORT ON THE PROPOSED SPECIAL ASSESSMENTS FOR CURBING INSTALLATION IMPROVEMENTS AGAINST PROPERTIES LOCATED IN STURGEON BAY, WISCONSIN

This report is submitted in accordance with the requirements of ss66.60, Stats., and the Preliminary Resolution of the City of Sturgeon Bay, Wisconsin, dated \_\_\_\_\_, 2022, determining to levy special assessments on the benefited properties for the public improvements described in Schedule A of this report to be made in the Assessment District described in Schedule C of this report.

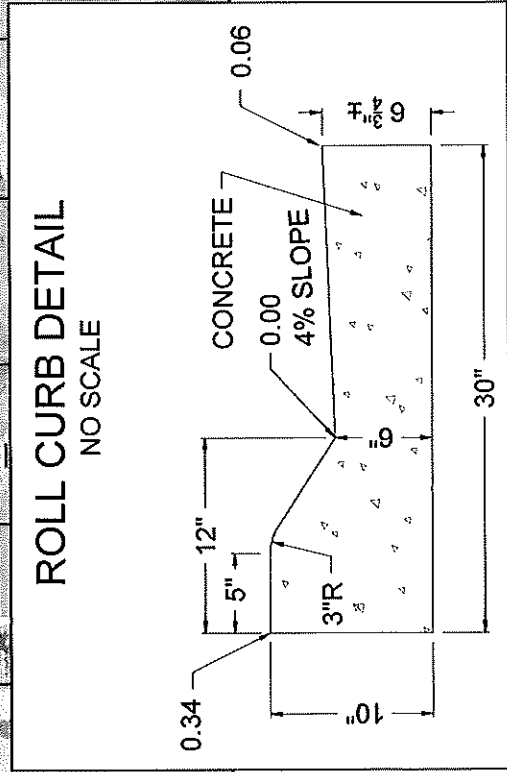
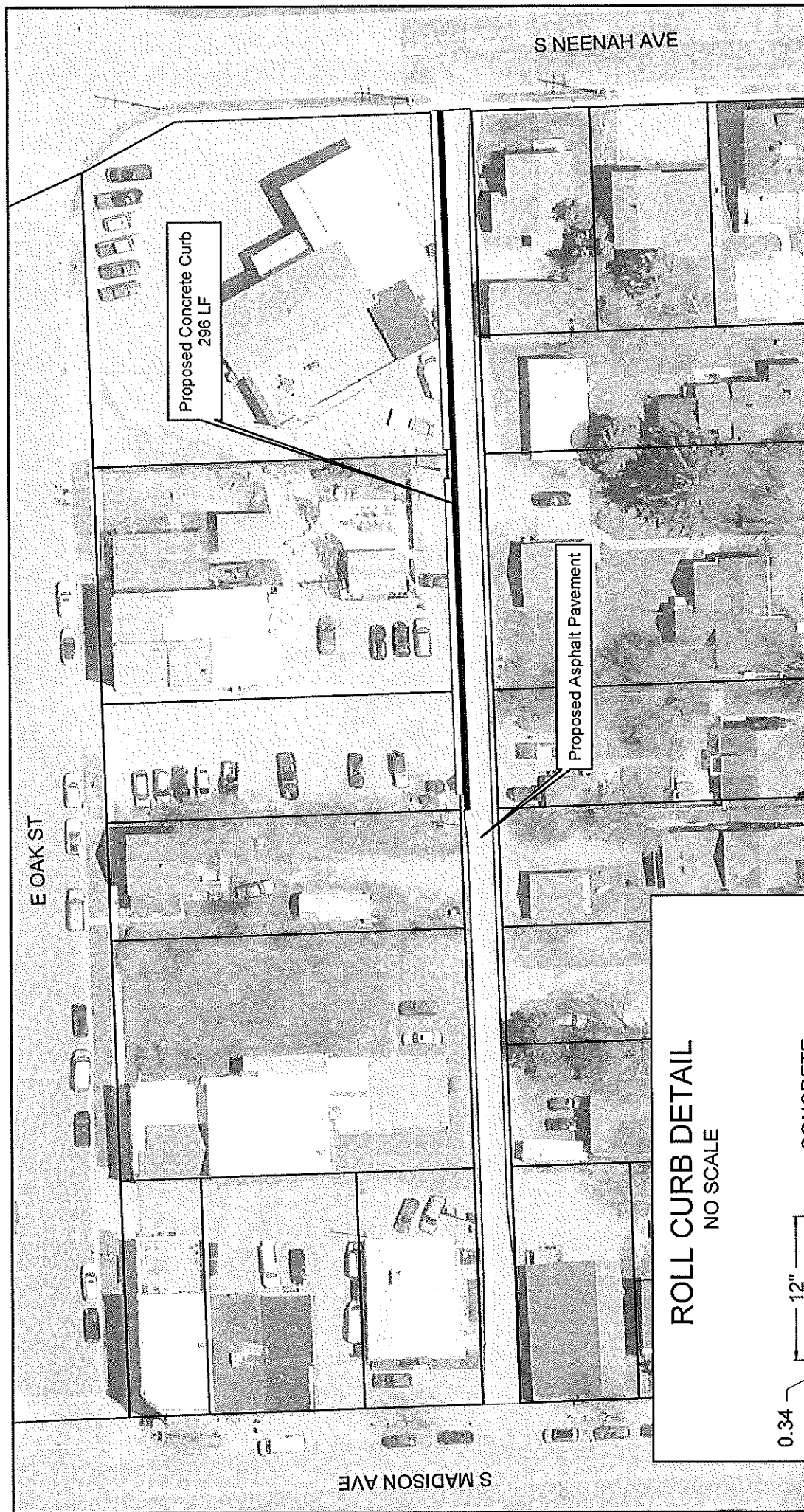
This report consists of the following schedules:

- Schedule A Preliminary plans and specifications for the improvements.
- Schedule B Estimate of the entire cost of the proposed improvements.
- Schedule C Schedule of proposed assessments.

Schedule A Preliminary plans and specifications for the improvements are attached hereto:

Schedule B Estimate of the entire cost of the proposed improvements is attached hereto:  
NOTE: Costs shown on the estimate are based on actual pricing from the awarded contractor.

Schedule C Schedule of proposed assessments is attached hereto:



**Project Summary**

**Part 1 - General**

**a) Summary**

- i) This section includes a general description of the work required and process needed to accomplish the required tasks.
  - (1) Utility Construction shall be coordinated through the Owner's on-site inspector and:
    - (a) Sanitary Sewer and Water Main shall be coordinated with Sturgeon Bay Utilities general manager Cliff White 920-746-2049.
    - (b) Storm Sewer shall be coordinated with the City Engineer 920-746-2913.
    - (c) Electrical Work shall be coordinated with Sturgeon Bay Utilities Electrical manager Jason Bieri 920-746-5972.
    - (d) All other utility conflicts shall be resolved by the Contractor.
  - (2) Road Construction shall be coordinated through the Owner's on-site representative and the City Engineer.
  - (3) A pre-construction meeting shall be conducted by the City Engineer and Contractor. All local utilities shall be invited and major subcontractors are required to attend.

**Part 2 - Products (Not Used)**

**Part 3 – Execution:**

- a) Contractor is responsible to develop a schedule for this project that adheres to the principles described in this section, and must have it approved by the City of Sturgeon Bay before starting construction. Schedule shall include the following:
  - i) Continuous progress must be maintained throughout all stages of each project location.
  - ii) Access to local businesses and residences shall be maintained throughout the project to the maximum extent practical.

## Measurement and Payment

### Part 1 General

#### 1) Summary

- a) Unit prices: shall include all equipment, material, tools and personnel to complete the desired task, measured on a per unit basis. Additional payments for items not identified in Section 00420 Bid Schedule shall be considered included with the unit price submitted.
- b) Lump sum items shall include all equipment, material, tools and personnel to complete the desired task, measured on a total cost basis. Additional payments for items not identified in Section 00420 Bid Schedule but part of the completed item shall be considered included with the lump sum bid.

#### 2) General Work items:

- a) Pavements: shall include materials, reinforcement (if required), trucking, installation and protection until accepted by the City of Sturgeon Bay as part of the finished product.
- b) Road construction: shall include all equipment, material, tools and personnel to grade, compact sub-base material, provide and compact and grade all crushed aggregate base material, per the unit prices identified in Section 00420. All tasks not itemized shall be considered incidental to the item that it is considered a component of.
- c) Items not identified: All work is considered identified and covered as part of the bid and the Contractor agrees to this contention with the submittal of the bid. If in the opinion of the City Engineer, items are not covered by the bid items in Section 00420, the Contractor shall propose a reasonable unit price rate (or lump sum if appropriate) that is justified when compared to the actual cost and expense of the item.

### Part 2 Products

- a. Measurements shall be made and confirmed with the City Engineer or their representative prior to application for payment.
- b. Applications shall be made upon the form provided in Section 00620 (Application for Payment) along with all supportive documentation in order to be considered for payment.

### Part 3 Execution

- a. Submit all pay requests with the forms provided and justification to:  
The City of Sturgeon Bay  
Attn; City Engineer  
421 Michigan Street  
Sturgeon Bay, WI 54235



**Specifications**

**Part 1 - General**

- 1) Summary
  - a) The specifications are intended to reflect good construction practices identified in the Standard Specifications for Highway and Structure Construction from the Wisconsin Department of Transportation.
  - b) This specification supersedes the standard specification in all instances referenced in this document.
- 2) Mobilization shall be a lump sum amount that is expected to cover the cost of bringing equipment and personnel to the job site and items not specifically identified with a line item or unit price should also be covered in this cost. 50% of Mobilization shall be paid with the first payment and 50% with the last payment.

**Part 2 - Products (Not Used)**

**Part 3 – Execution: CONTRACTOR USE OF SITE**

- 1) Construction Operations: Limited to immediate area of construction. Road closures shall be approved by the City Engineer and limited to areas where work is underway or completed and awaiting restoration. The Contractor is responsible for coordination of the road closures with any applicable emergency service entities. Contact information is available from the City Engineer's representative.
- 2) Time Restrictions for Performing Work: 7:00 a.m. to 7:00 p.m.

**Concrete Curb and Gutter****Part 1 General**

1. Summary
  - A. Fine grading and compaction
  - B. Curb and gutter installation
  - C. Backfilling
  - D. Finished grading
2. Submittals
  - A. Concrete design mix of composition and compressive strength test results
  - B. Results of compression and air entrainment tests
3. Quality Assurance
  - A. Provide mix design that conforms to specifications
  - B. Installation testing
  - C. Slump tests
  - D. Air-entrainment tests
  - E. Compressive strength cylinder tests
4. The following shall be in conformance with the following references
  - A. Sampling                      ASTM C172
  - B. Slump                         ASTM C143
  - C. Air-entrainment            ASTM C231
  - D. Compression                ASTM C31 and C39
5. Compressive strength tests shall consist of four standard test cylinders made from a single batch of concrete.
  - A. Test one cylinder at 5 days or 2500 psi.
  - B. Test one cylinder at 7 days (This test may be skipped if adequate strength is achieved at the 5-day test).
  - C. Test one cylinder at 28 days.
  - D. The remaining cylinder shall be tested if the prior tests fail.
6. Satisfactory Compressive Test
  - A. Results equal to or greater than specified for the 28-day test.
  - B. No individual test is less than 500 PSI below the specified compressive strength.
7. Failed compressive tests after the 4<sup>th</sup> cylinder is tested.
  - A. Core two samples from each area covered by the failed test and perform the compressive test on them.
  - B. Replace the affected area if the core samples fail the compressive test.

**Part 2 Products**

- 1) Concrete
  - a) Conform to the ASTM C94 and Section 501 of the Standard Specifications for Highway and Structure Construction from the Department of Transportation:
    - i) 28-day compressive strength of 4,000 psi
    - ii) 1.5" maximum aggregate size
    - iii) 5.5 bag per cubic yard mix
    - iv) 6% +/- 1.5% air entrainment
    - v) Maximum water to cement ratio of .44

- b) Cement shall conform to ASTM C150, type 1
- c) Aggregates shall conform to ASTM C33
- d) Expansion joint material shall conform to ASTM D1751 and be 0.75" thickness.
- e) Re-bar shall conform to ASTM A615, Grade 60
- f) Curing compounds shall be a liquid membrane-forming conforming to ASTM C-309, class A, type 1 with white pigment.
- g) Aggregate base course material shall consist of durable particles of crushed stone or crushed gravel:
  - i) Oversized stone shall be crushed to required sizes.
  - ii) Shall be free of organic matter, soft stone, shale, and conglomerations of clay, while conforming to the aggregate gradation requirements.
  - iii) Moisture content shall not exceed 7%.

**Gradation Requirements:**  
Percent by Weight Passing

Sieve Size	Crushed Stone	Crushed Gravel
1 Inch	100	100
3/8 Inch	40-75	50-85
No. 4	25-60	35-65
No. 10	15-45	25-50
No. 40	----	10-30
No. 200	3-12	3-10

**Part 3 Execution**

- 1) Preparation of subgrade.
- 2) Prepare the subgrade by excavating to the lines, grades and cross-sections shown on the drawings as required for placing the curb and gutter.
- 3) If subgrade excavation in cut is required, stockpile the surplus material for use in fill areas behind the curb and gutter, or dispose of at the City's stock pile at 1531 Division Road, Sturgeon Bay, WI 54235 or at another approved location.
- 4) If subgrade excavation in fill is required, then furnish, install and compact.
  - a. If borrow fill is suitable it shall be the preferred fill material but if not class C2 soil shall be needed.
  - b. Compact to a minimum of 95% modified proctor density (ASTM D1557).
- 5) Placing the base course:
  - a. Provide a minimum of 4 inches of base material.
  - b. Prepare the grade by grading to the lines, grades and cross-sections shown on the drawings as required for placing the curb and gutter.
  - c. Compact to 95% modified proctor density (ASTM D1557)
- 6) Catch basins / inlets shall be adjusted to the curb and gutter elevations and tuck pointed with concrete used in the curb construction.
- 7) Slip-form Construction
  - a. Slip form construction is the preferred method of placement.
  - b. Coordinate the operations of mixing, delivering, and placing of the concrete to provide uniform progress with minimal stopping of the curb machine.
  - c. The curb machine shall be capable of placing the specified type of curb with the adequate amount of vibration to eliminate honeycomb formation.

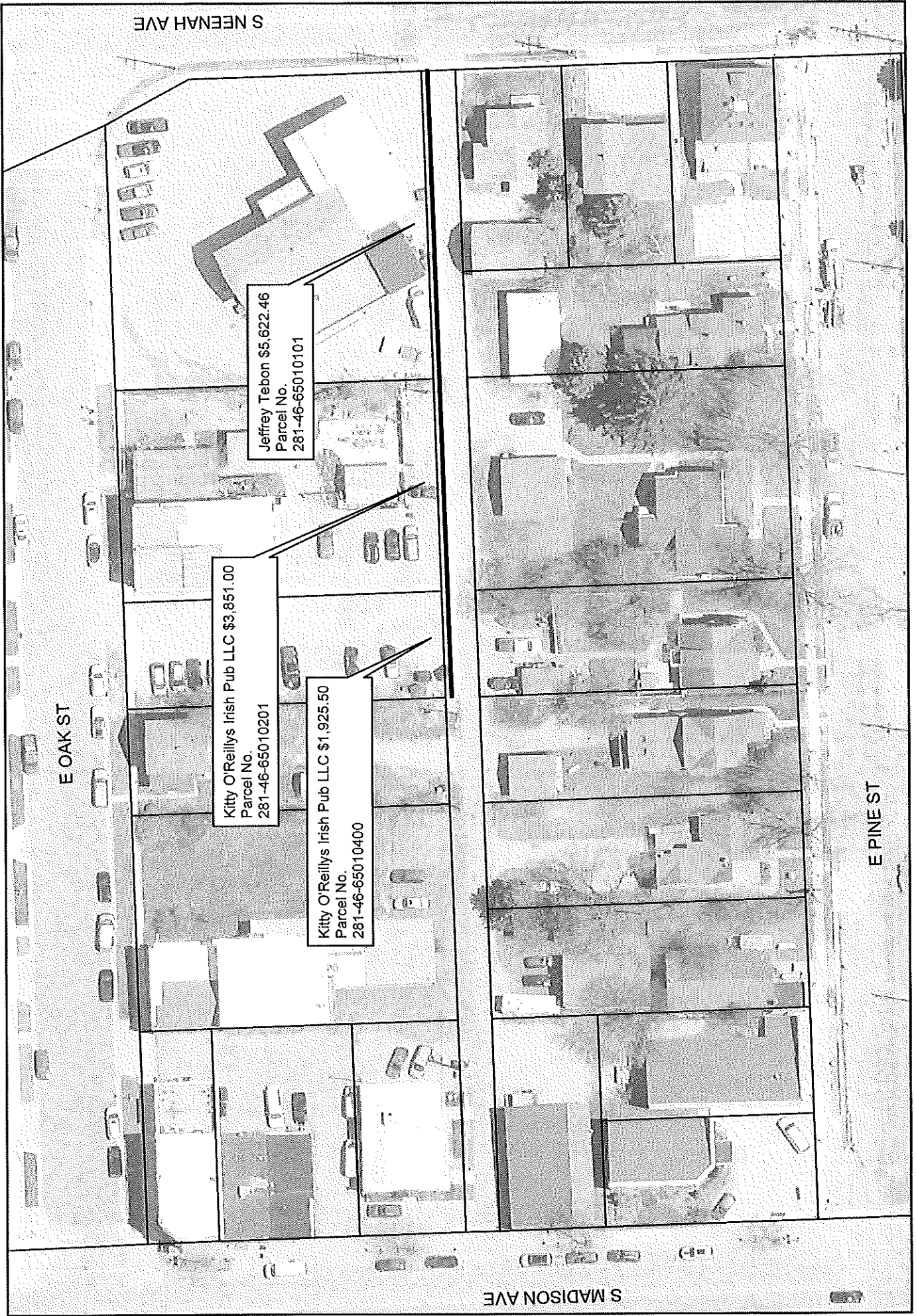
- d. Protect the curb and gutter until concrete has obtained the design strength.
- 8) Manual Placement
- a. Provide forms of the size and type of material required to properly construct the curb and gutter as required.
  - b. Properly brace or tie forms together to maintain position and shape.
  - c. Clean and coat the forms with clear mineral or paraffin base form oil prior to the placement of concrete.
  - d. Forms shall remain in place until they can be removed without damage or settling.
  - e. Protect the curb and gutter until concrete has obtained the design strength.
- 9) Placing Concrete
- a. Construct curb and gutter on the prepared and moistened foundation in one course.
  - b. Construct curb and gutter to the required lines and grades as shown on the drawings.
  - c. Consolidate concrete using mechanical vibration to eliminate honeycombing.
  - d. Contraction joints shall be sawn at 10' intervals, 2" deep as soon as the concrete has set sufficiently to preclude raveling during the saw cutting but before shrinkage cracking.
- 10) Contraction Joint Placements
- a. Place at 300' maximum spacing.
  - b. At each end of the radius sections.
  - c. Adjacent to expansion joints in existing concrete.
  - d. Place at right angles to the gutter flow line.
- 11) Drilled Tie Bars: Install 2 drilled tie bars at each joint to existing concrete curbing
- 12) Finishing
- a. Trowel and brush or dry broom the surfaces of the curb and gutter prior to concrete setting.
  - b. Round edges adjacent to expansion joints using a 1/4" jointer.
  - c. If approved by Owner honeycombed areas shall be tuck pointed as soon as found with a mortar mixture of 1-part Portland Cement and 3 parts sand.
- 13) Curb ramping shall provide depressed and sloped curb at ramp and driveway locations as shown on drawings or identified by the City Engineer.
- 14) Curing
- a. Start curing activities as soon as free water has disappeared from the surface of the concrete after placing and finishing.
  - b. Apply curing compound to all exposed surfaces by spraying a uniform coating in such a manner as to provide a continuous water impermeable surface. Apply in accordance with manufacturer's recommendations to limit loss of water to not more than 0.40 kg/m<sup>2</sup> in 72 hours.
  - c. In hot weather conform to ACI 305 or ACI 306 in cold weather.
  - d. **During the curing period protect concrete from damage, water flow, loading, shock and vibration.**

Item #	Alley W14 - Item Descriptions	Unit	Estimated Quantity	Unit Price	Line Item Total
1	New Concrete Curb & Gutter - 30" (base excavation & base by DPW)	LF	296.00	\$ 38.51	\$ 11,398.96
				<b>Totals:</b>	<b>\$ 11,398.96</b>

**Alley W14 (between Oak & Pine Neenah to Madison)**

Parcel Number	Last Name	First Name	Mailing Address				Property Address	30" Roll Curb (LF)	30" Roll Curb Cost
			Street 1	City	State	ZIP			
2814665010400	Kitty O'Reillys Irish Pub LLC		727 Prairie Ln	Sturgeon Bay	WI	54235		50.00	\$ 1,925.50
2814665010201	Kitty O'Reillys Irish Pub LLC		727 Prairie Ln	Sturgeon Bay	WI	54235	59 E Oak St	100.00	\$ 3,851.00
2814665010101	Jeffrey Tebon		63 E Oak St	Sturgeon Bay	WI	54235	63 E Oak St	146.00	\$ 5,622.46
							<b>Totals</b>	<b>296.00</b>	<b>\$ 11,398.96</b>





Kitty O'Reillys Irish Pub LLC \$3,851.00  
Parcel No.  
281-46-65010201

Kitty O'Reillys Irish Pub LLC \$1,925.50  
Parcel No.  
281-46-65010400

Jeffrey Tebon \$5,622.46  
Parcel No.  
281-46-65010101



Alley W14 Curb  
Proposed Assessments



APRIL, 2022

**EXECUTIVE SUMMARY****DATE:** April 12, 2022**TITLE:** Preliminary Resolution and Engineering Report for Declaring Intent to Levy Special Assessments for Sidewalk Installations along both N 14<sup>th</sup> Ave and Rhode Island Street

**BACKGROUND:** At the November 16, 2021 Board of Public Works meeting adding sidewalks along N 14<sup>th</sup> Ave (west side of the roadway from Egg Harbor Road to Bluebird Street) and Rhode Island Street (north side of the roadway from the City of Sturgeon Bay softball fields to S 14<sup>th</sup> Ave) was presented as part of the 2022 Capital Roadway Improvements. Consistent with past sidewalk special assessments the abutting property owners will only be assessed for the cost of the new sidewalks. The City will be responsible for all other costs of the completed project (utility relocations, spot replacement of curbing, driveway patching, apron installations, lawn restorations, curb ramp plates, etc.).

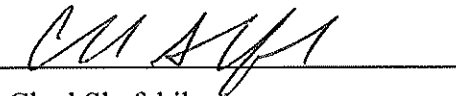
**FISCAL IMPACT:**

N 14<sup>th</sup> Ave: The concrete portion of the project has been bid and has an estimated overall cost totaling \$53,856.25. Based on the bid breakdown of quantities the City will be responsible for approximately \$19,127.25 of the total costs, and the remaining \$34,729.00 would be assessed to the abutting property Owners.

Rhode Island Street: The concrete portion of the project has been bid and has an estimated overall cost totaling \$14,318.00. Based on the bid breakdown of quantities the City will be responsible for approximately \$6,112.00 of the total costs, and the remaining \$8,206.00 would be assessed to the abutting property Owners.

The 2022 Capital Roadway Improvements budget has enough money to complete the City's portion of the projects.

**RECOMMENDATION:** Pass the preliminary resolution for declaring intent to levy special assessments for the sidewalk installations along both N 14<sup>th</sup> Ave and Rhode Island Street.

**SUBMITTED BY:**

Chad Shefchik  
City Engineer

4-12-22

Date

**REVIEWED BY:**

Val Clarizio  
Finance Director

4/12/22


Date

REVIEWED BY: \_\_\_\_\_

Stephanie Reinhardt  
City Clerk

\_\_\_\_\_  
Date

REVIEWED BY: \_\_\_\_\_

  
Josh VanLieshout  
City Administrator

4/12/22  
Date

**PRELIMINARY RESOLUTION  
DECLARING INTENT TO LEVY SPECIAL ASSESSMENTS UNDER MUNICIPAL  
POLICE POWER PURSUANT TO SECTION 66.0703, WIS. STATS.**

RESOLVED, by the Common Council of the City of Sturgeon Bay, Wisconsin:

1. The Common Council hereby declares its intention to exercise its police power under Section 66.0703, Wisconsin Statutes, to levy special assessments upon property in the Assessment District hereafter described for benefits conferred upon such property by reason of the following public work improvements:

Installation of new sidewalks along:

- N 14<sup>th</sup> Ave: west side of the roadway from Egg Harbor Road to Bluebird Street.
- Rhode Island Street: north side of the roadway from the City of Sturgeon Bay softball fields to S 14<sup>th</sup> Ave.

2. The Property to be assessed lies within the following described Assessment District:

Assessment District:

- 1) N 14<sup>th</sup> Ave: west side of the roadway from Egg Harbor Road to Bluebird Street.
  - 2) Rhode Island Street: north side of the roadway from the City of Sturgeon Bay softball fields to S 14<sup>th</sup> Ave.
3. It is proposed that 100 percent of the cost of the installation of the sidewalks in the project area of the Assessment District be assessed against the benefitted properties.
  4. The Common Council determines that the improvements constitute an exercise of the police power for the health, safety, and general welfare of the municipality and its inhabitants.
  5. The City Engineer shall prepare a report which shall consist of:
    - a. Preliminary plans and specifications for the improvements.
    - b. Estimate of the entire cost of the proposed improvements.
    - c. Schedule of proposed assessments.
  6. When the report is completed, the City Engineer shall file a copy of the report with the Municipal Clerk for public inspection and, if state property is to be assessed, shall mail a copy of the report to the responsible state agency and, for assessments of \$50,000 or more, to the Wisconsin State Building Commission.

7. Upon receiving the report of the City Engineer, the Municipal Clerk shall cause notice to be given stating the nature of the proposed improvements, the general boundary lines of the proposed Assessment District (including a small map thereof), the time and place at which the report may be inspected, and the time and place of the public hearing on the matters contained in the preliminary resolution and the report. This notice shall be published as a class 1 notice under ch. 985, Stats, and a copy shall be mailed, at least 10 days before the hearing, to every interested party whose address is known or can be ascertained with reasonable diligence.
8. The public hearing shall be held in the Common Council Chambers in City Hall, 421 Michigan Street, on the 17th day of May, 2022 at 6:00 p.m. or shortly thereafter, in accordance with Section 66.0703 (7), Wisconsin Statutes.
9. The assessment against any parcel may be paid in cash, subject to installment payment privileges, or subject to deferment. The determination of whether or not an assessment is deferrable will be determined by the Common Council at or after the public hearing to be held in connection with this matter. Six annual installments are hereby authorized except when total assessment on a single parcel exceeds \$6,000 then twelve installments can be applied for.

Introduced by:

Moved by: Alderperson \_\_\_\_\_, seconded by: Alderperson \_\_\_\_\_, that said resolution be adopted.

Passed by the Council on the \_\_\_\_ day of \_\_\_\_\_, 2022.

## REPORT ON THE PROPOSED SPECIAL ASSESSMENTS FOR SIDEWALK INSTALLATION IMPROVEMENTS AGAINST PROPERTIES LOCATED IN STURGEON BAY, WISCONSIN

This report is submitted in accordance with the requirements of ss66.60, Stats., and the Preliminary Resolution of the City of Sturgeon Bay, Wisconsin, dated \_\_\_\_\_, 2022, determining to levy special assessments on the benefited properties for the public improvements described in Schedule A of this report to be made in the Assessment District described in Schedule C of this report.

This report consists of the following schedules:

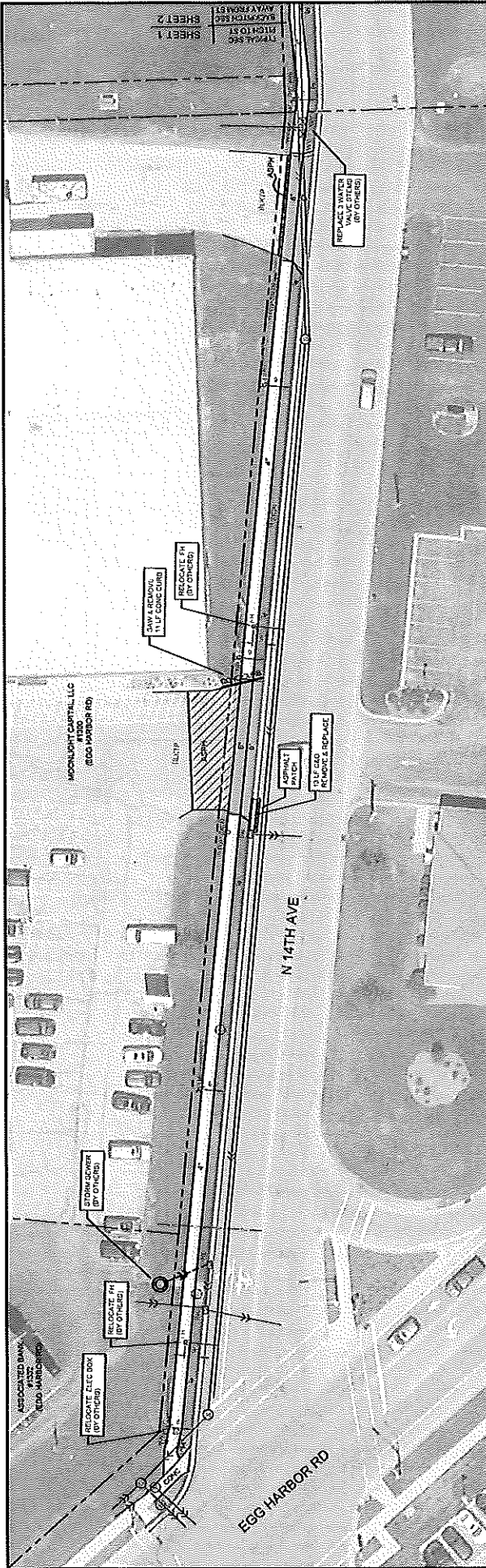
- Schedule A Preliminary plans and specifications for the improvements.
- Schedule B Estimate of the entire cost of the proposed improvements.
- Schedule C Schedule of proposed assessments.

Schedule A Preliminary plans and specifications for the improvements are attached hereto:

Schedule B Estimate of the entire cost of the proposed improvements is attached hereto:  
NOTE: Costs shown on the estimate are based on actual pricing from the awarded contractor.

Schedule C Schedule of proposed assessments is attached hereto:



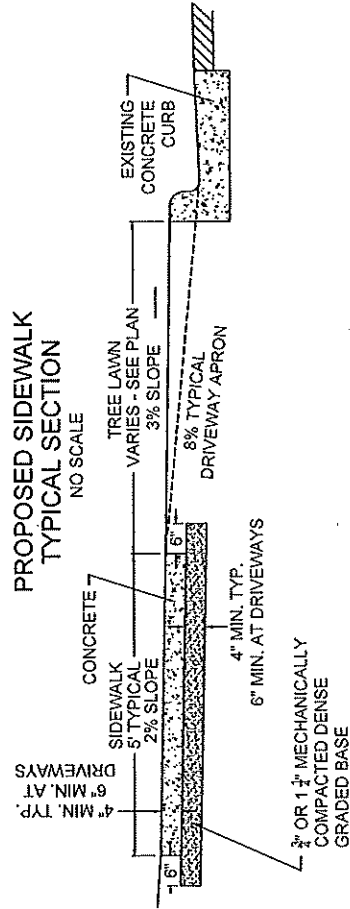


N 14TH AVE

NOTE: THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.

### PROPOSED SIDEWALK TYPICAL SECTION

NO SCALE

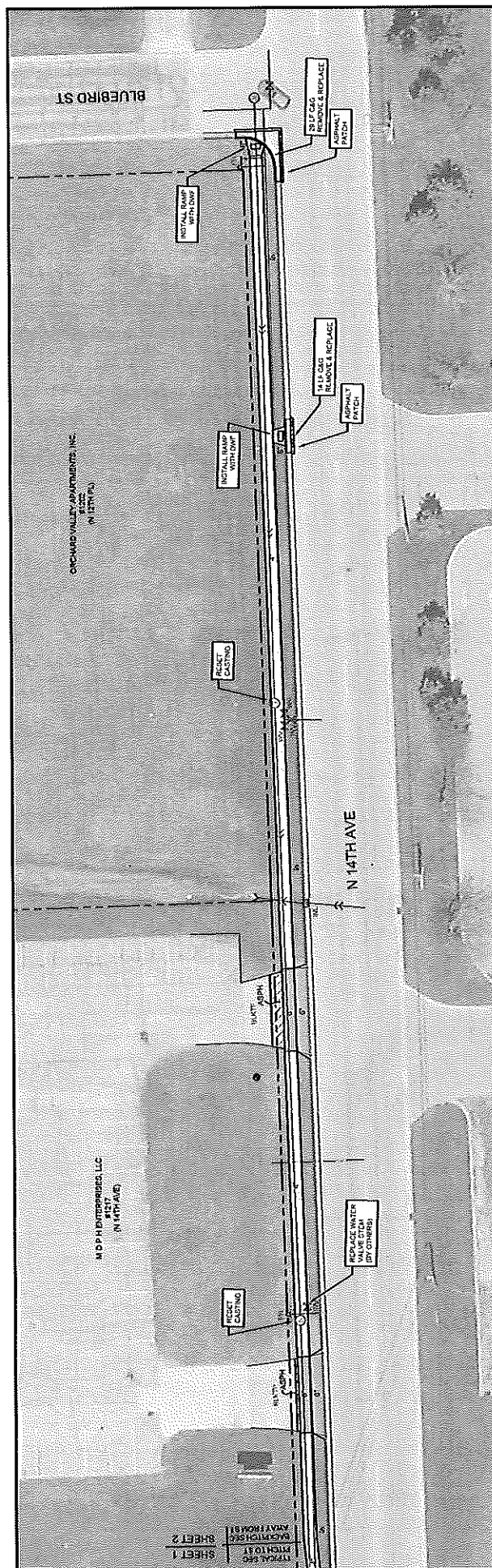


A vertical scale bar is shown on the left side of the page. It is labeled "SCALE" vertically and "FEET" horizontally. The scale has markings at 0, 20, and 40 feet.

CITY OF STURGEON BAY  
N 14TH AVE  
SITE PLAN

JULY, 2021

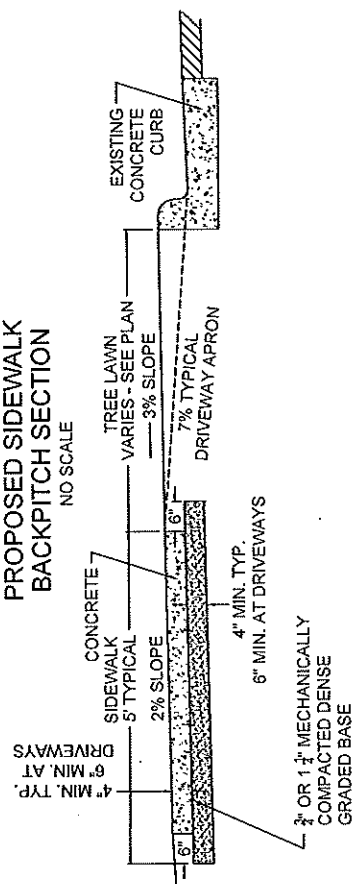
1  
SHEET



NOTE: THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNER/OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.

PROPOSED SIDEWALK  
BACKPITCH SECTION

NO SCALE

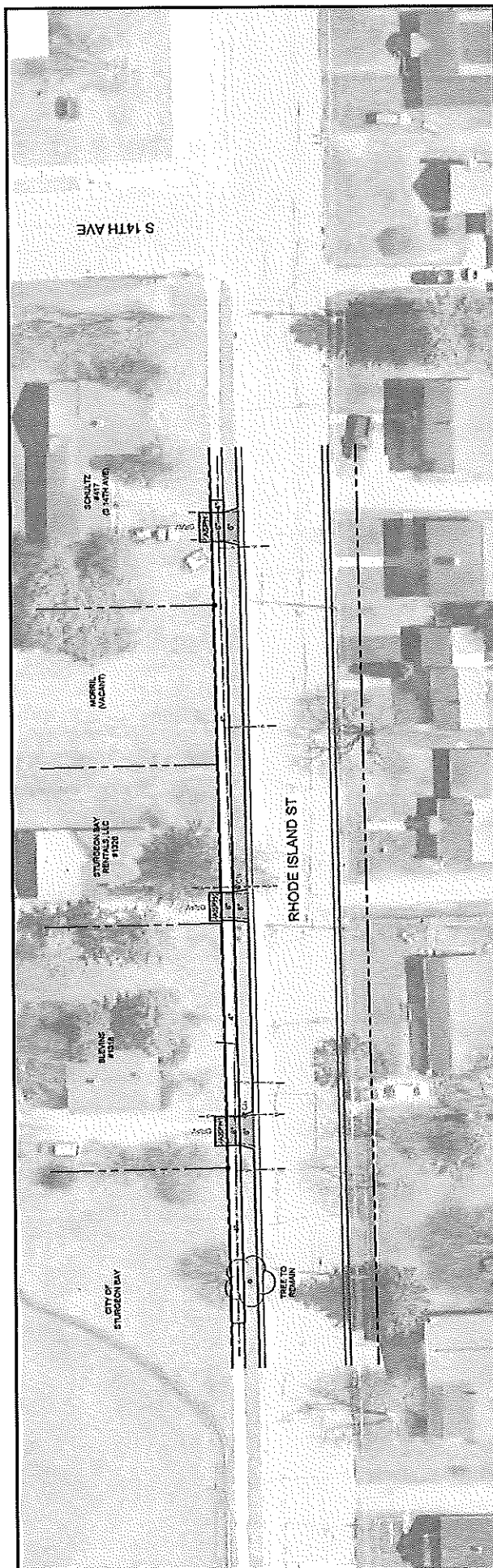


A horizontal scale bar with tick marks at 0, 20, and 40 feet. The word "SCALE" is written vertically to the left of the bar, and "FEET" is written vertically to the right of the bar.

CITY OF STURGEON BAY  
N 14TH AVE  
SITE PLAN

AUG. 2021

SHEET  
2



**Project Summary**

**Part 1 - General**

**a) Summary**

- i) This section includes a general description of the work required and process needed to accomplish the required tasks.
  - (1) Utility Construction shall be coordinated through the Owner's on-site inspector and:
    - (a) Sanitary Sewer and Water Main shall be coordinated with Sturgeon Bay Utilities general manager Cliff White 920-746-2049.
    - (b) Storm Sewer shall be coordinated with the City Engineer 920-746-2913.
    - (c) Electrical Work shall be coordinated with Sturgeon Bay Utilities Electrical manager Jason Bieri 920-746-5972.
    - (d) All other utility conflicts shall be resolved by the Contractor.
  - (2) Road Construction shall be coordinated through the Owner's on-site representative and the City Engineer.
  - (3) A pre-construction meeting shall be conducted by the City Engineer and Contractor. All local utilities shall be invited and major subcontractors are required to attend.

**Part 2 - Products (Not Used)**

**Part 3 – Execution:**

- a) Contractor is responsible to develop a schedule for this project that adheres to the principles described in this section, and must have it approved by the City of Sturgeon Bay before starting construction. Schedule shall include the following:
  - i) Continuous progress must be maintained throughout all stages of each project location.
  - ii) Access to local businesses and residences shall be maintained throughout the project to the maximum extent practical.

## **Measurement and Payment**

### **Part 1 General**

#### **1) Summary**

- a) Unit prices: shall include all equipment, material, tools and personnel to complete the desired task, measured on a per unit basis. Additional payments for items not identified in Section 00420 Bid Schedule shall be considered included with the unit price submitted.
- b) Lump sum items shall include all equipment, material, tools and personnel to complete the desired task, measured on a total cost basis. Additional payments for items not identified in Section 00420 Bid Schedule but part of the completed item shall be considered included with the lump sum bid.

#### **2) General Work items:**

- a) Pavements: shall include materials, reinforcement (if required), trucking, installation and protection until accepted by the City of Sturgeon Bay as part of the finished product.
- b) Road construction: shall include all equipment, material, tools and personnel to grade, compact sub-base material, provide and compact and grade all crushed aggregate base material, per the unit prices identified in Section 00420. All tasks not itemized shall be considered incidental to the item that it is considered a component of.
- c) Items not identified: All work is considered identified and covered as part of the bid and the Contractor agrees to this contention with the submittal of the bid. If in the opinion of the City Engineer, items are not covered by the bid items in Section 00420, the Contractor shall propose a reasonable unit price rate (or lump sum if appropriate) that is justified when compared to the actual cost and expense of the item.

### **Part 2 Products**

- a. Measurements shall be made and confirmed with the City Engineer or their representative prior to application for payment.
- b. Applications shall be made upon the form provided in Section 00620 (Application for Payment) along with all supportive documentation in order to be considered for payment.

### **Part 3 Execution**

- a. Submit all pay requests with the forms provided and justification to:  
The City of Sturgeon Bay  
Attn; City Engineer  
421 Michigan Street  
Sturgeon Bay, WI 54235

**Specifications**

**Part 1 - General**

- 1) Summary
  - a) The specifications are intended to reflect good construction practices identified in the Standard Specifications for Highway and Structure Construction from the Wisconsin Department of Transportation.
  - b) This specification supersedes the standard specification in all instances referenced in this document.
- 2) Mobilization shall be a lump sum amount that is expected to cover the cost of bringing equipment and personnel to the job site and items not specifically identified with a line item or unit price should also be covered in this cost. 50% of Mobilization shall be paid with the first payment and 50% with the last payment.

**Part 2 - Products (Not Used)**

**Part 3 – Execution: CONTRACTOR USE OF SITE**

- 1) Construction Operations: Limited to immediate area of construction. Road closures shall be approved by the City Engineer and limited to areas where work is underway or completed and awaiting restoration. The Contractor is responsible for coordination of the road closures with any applicable emergency service entities. Contact information is available from the City Engineer's representative.
- 2) Time Restrictions for Performing Work: 7:00 a.m. to 7:00 p.m.



**Unclassified Excavation**

**Part 1 - General**

1) Summary

- a) The specifications are intended to reflect good construction practices identified in the Standard Specifications for Highway and Structure Construction from the Wisconsin Department of Transportation.
- b) If items are not identified in this document the above documents will be referenced for guidance.
- c) Shall include all excavation, grading, compacting and removal of soils, plants, trees and other miscellaneous items that may be necessary to complete this project.
- d) Payments shall be made as identified in Section 01270.

**Part 2 - Products (Not Used)**

**Part 3 – Execution:**

- 1) Excavate, remove, relocate and adjust grades to match the plans.
- 2) Clearing and Grubbing of trees, brush, and stumps
  - a) Stumps shall be removed by grinding or excavation to a minimum of 18" below finished grade.
- 3) Soils acceptable to the City Engineer may be used to adjust the sub-grade provided they can be properly compacted. This includes the existing road base to fill for the support of the curb and gutter and driveways if material is acceptable to the City Engineer. Soils not intended for reuse on the project shall be removed and can be disposed of at the City's stock pile at 1531 Division Road, Sturgeon Bay, WI 54235 or hauled to another approved location. No additional payment shall be requested for this item.
- 4) Existing pavements, curbs and sidewalk slabs shall be removed and can be disposed of at the City's stock pile at 1531 Division Road, Sturgeon Bay, WI 54235 or hauled to another approved location. No additional payment shall be requested for this item. Pavements can also be recycled for reuse as fill or road base material if crushed to meet the specifications of this project.

**Asphalt and Concrete Removal**

**Part 1 - General**

1) Summary

- a) Asphalt and / or concrete pavement, sidewalk and curb & gutter shall be removed from the project in locations indicated.

**Part 2 - Products (Not Used)**

**Part 3 – Execution:**

1. Saw cut existing asphalt and / or concrete pavement, sidewalk and curb & gutter to provide a straight line to abut new pavements as shown on the on the plans. All saw cutting to be incidental and included within the pricing indicated on the Bid Schedules in Section 00420.
2. Pavement shall be collected in trucks and removed from the site by the Contractor. Materials can be disposed of at any approved site but if desired:
  - a) The City has an asphalt reuse facility and the Contractor may haul all asphalt pavement and road base materials to this site at 1531 Division Road, Sturgeon Bay, WI 54235 at no cost or benefit to the Contractor.
  - b) The City has a concrete reuse facility and the Contractor may hall all concrete pavement, sidewalk and curbing to this site at 1531 Division Road, Sturgeon Bay, WI 54235 at no cost or benefit to the Contractor.
3. Sweep loose debris off of remaining pavements and return road to use whenever possible.

**Earthwork for Roadway**

**Part 1 – General**

**1) Summary**

- a) This section includes the excavation of paved areas, filling, compaction, finished grading and disposal of surplus material.
- b) Testing will be required only when the City Engineer is concerned about the compaction effort failing to achieve the desired results. The City will inform the Contractor when testing is to be required.
  - i) IF required, it will be at the Contractor's expense using a test method, and tester acceptable to the City Engineer.
- c) Testing:
  - i) Contractor shall provide a loaded Tandem Axle Dump (10CY minimum) to proof roll proposed road base.
  - ii) Alternate test measures will only be required if proof roll is not approved.
  - iii) Back fill areas outside of the road bed shall be compacted so as to match the surrounding soils.

**Part 2 - Products**

- 1) All soils needed for this project shall be from salvaged material unless alternate material is approved or required by the City Engineer.
- 2) If poor soils are encountered a reinforcement fabric will be considered and paid for on a square yard basis.

**Part 3 – Execution:**

- 1) Excavation: Remove all material to the planned sub grade.
  - i) Materials include soils, driveways, sidewalks and curb & gutter.
  - ii) Mill or saw-cut edges of the existing pavement to provide a smooth joint to pave against.
  - iii) Use existing road base material for fill to reopen the required cross streets.
- 2) Compact sub-base material and request authorization to place road base material prior to covering any of the sub-base. Review the need for fabric reinforcement prior to installation of any road base material.

3) Install crushed stone for road base in a maximum of 8" lifts. Compact each lift to the desired results prior to the installation of any subsequent base material.

- a) Test Rolling: use a tandem axle dump truck loaded with 10 CY of soil or stone for proof rolling.
  - i) Test all road base material up to the back of curb.
  - ii) Replace and/or compact any base material as necessary.
  - iii) Re compact soil if failure is evident in the base or sub base material.
- b) Reinforcement fabric may be used if adequate compaction of sub-base material cannot be achieved.

4) Finished Grading

- a) Grade, trim and shape sub-grade to the required elevations.
  - i) Adjust slopes by grading so that transition to the existing finished grades is smooth and rounded to allow easy maintenance of landscaped areas.
  - ii) Remove all stones 3" or larger from the grading limits of the project.
  - iii) Road base of all paved areas shall be plus or minus .02' using a 10' straight edge for a guide.

## Utility Adjustments

### Part 1 – General:

- 1) Summary
  - a) Sanitary sewer castings, storm sewer castings, and water valve stem tops requiring adjustment (per plans) shall be adjusted to match the finished grade.
    - i) Replace all adjustment rings at each applicable location.
    - ii) Turn water valve stem tops to the desired height.

### Part 2 – Products:

- 1) Products provided by the City of Sturgeon Bay and / or Sturgeon Bay Utilities:
  - a) Sanitary sewer castings, storm sewer castings, and water valve stem tops
  - b) HDPE adjustment rings as manufactured by LADTECH, Inc.
  - c) Precast concrete adjustment rings
  - d) Butyl rubber gasket material
- 2) Products provided by the contractor:
  - a) Non-shrink hydraulic cement or Portland cement grout mixtures

### Part 3 – Execution:

- 1) Sanitary Sewer & Storm Sewer Manholes
  - a) Remove all existing adjustment rings and manhole casting.
  - b) Inspect the remaining manhole structure to ensure that it has not been damaged.
  - c) Install HDPE adjustment rings per manufacture's specification and apply 2 rows of 1/2" thick butyl rubber gasket material between the top adjustment ring & casting.
  - d) Backfill excavated areas around the manhole with 1-/4" dense graded base and mechanically compact in layers not to exceed 8" thick.
- 2) Storm Sewer Inlets
  - a) Remove all existing adjustment rings and inlet casting.
  - b) Inspect the remaining inlet structure to ensure that it has not been damaged.
  - c) Install precast concrete adjustment rings and apply 1/2" thick butyl rubber gasket material between each adjustment ring.
  - d) Backfill excavated areas around the inlet with 1-/4" dense graded base and mechanically compact in layers not to exceed 8" thick.
  - e) Backplaster the adjustment rings and casting with a non-shrink grout mixture
- 3) Water Valve Stem Tops
  - a) Remove and replace the valve stem top. Backfill excavated areas around the valve stem top with 1-/4" dense graded base and mechanically compact in layers not to exceed 8" thick.

## **Crushed Aggregate Base Course**

### **Part 1 General**

1. Summary
  - a. Foundation preparation.
  - b. Crushed aggregate base course for roads, sidewalks, driveways, and parking areas.
  - c. Preparation of crushed aggregate base course.
2. Submittals
  - a. Aggregate shall be supplied with an approved source testing report.
  - b. One copy of weight tickets from each truck load of material.

### **Part 2 Materials**

1. Aggregates
  - a. Aggregates shall consist of hard, durable particles of crushed stone and natural or crushed stone sand for filler.
  - b. Aggregates shall be uniformly mixed and not segregated by particle size.
  - c. Moisture content shall not exceed 7%.
  - d. Recycled material may be used for aggregate base course if approved by the City Engineer.

### **Part 3 Execution**

1. Preparation of Foundation
  - a. Remove all top soils and organic materials.
  - b. Cut or fill, grade, and compact foundation prior to placement of crushed aggregate base course material.
  - c. Remove all soft and spongy soils or cover with approved reinforcement fabric.
  - d. Apply water to material that is dry and dusty to get adequate compaction.
2. Crushed Aggregate Base Course Installation
  - a. Construct road base as shown on drawings in layers not exceeding 8" thick. Segregated materials shall be removed and remixed when identified.
  - b. A layer of larger stone may be used for the first lift if approved by the City Engineer.
  - c. Spreading the base material
    - i. Deposit material in such a manner to minimize the segregation and uniformly spread the aggregate material.
    - ii. Route hauling equipment over all portions of the previously installed aggregate material whenever possible.
3. Compaction
  - a. After aggregate is placed and spread at the desired thickness it shall be compacted.
  - b. Dry aggregate shall have water uniformly applied to achieve the required compaction of 95% of the maximum dry density as determined by the modified proctor test (ASTM D1557).



- c. Segregated materials shall be removed and replaced when compaction cannot be achieved.
  - d. Proof rolling with a loaded tandem axle truck shall be the preferred method of compaction testing, but disputed results will be verified at the Contractor's expense.
- 4. Water shall be applied as needed to control dust and maintain compaction.
- 5. Prior to paving aggregate base course shall be uniformly graded to the desired grade with no abrupt ridges or grade changes so as to create a uniform layer of asphalt. Grades shall be accurate to within .02' measured using a 10' straight edge. Any standing water, snow or ice shall be removed before paving.
- 6. Maintain aggregate base course until pavement is installed. Areas that need to be reworked may also need to be proof rolled.
- 7. Test the compactions using a fully loaded 10-yard tandem axle dump truck. Any rolling, cracking or displacement of the gravel shall be considered a failed test that requires additional compaction of either the base or sub-base material.
  - i. Contractor may choose to provide other testing methods, at their expense, to prove that the base is ready for paving.
  - ii. No paving will be allowed until testing has been completed and has proven to be adequately compacted.

**Concrete Curb and Gutter****Part 1 General**

1. Summary
  - A. Fine grading and compaction
  - B. Curb and gutter installation
  - C. Backfilling
  - D. Finished grading
2. Submittals
  - A. Concrete design mix of composition and compressive strength test results
  - B. Results of compression and air entrainment tests
3. Quality Assurance
  - A. Provide mix design that conforms to specifications
  - B. Installation testing
  - C. Slump tests
  - D. Air-entrainment tests
  - E. Compressive strength cylinder tests
4. The following shall be in conformance with the following references
  - A. Sampling               ASTM C172
  - B. Slump                 ASTM C143
  - C. Air-entrainment     ASTM C231
  - D. Compression        ASTM C31 and C39
5. Compressive strength tests shall consist of four standard test cylinders made from a single batch of concrete.
  - A. Test one cylinder at 5 days or 2500 psi.
  - B. Test one cylinder at 7 days (This test may be skipped if adequate strength is achieved at the 5-day test).
  - C. Test one cylinder at 28 days.
  - D. The remaining cylinder shall be tested if the prior tests fail.
6. Satisfactory Compressive Test
  - A. Results equal to or greater than specified for the 28-day test.
  - B. No individual test is less than 500 PSI below the specified compressive strength.
7. Failed compressive tests after the 4<sup>th</sup> cylinder is tested.
  - A. Core two samples from each area covered by the failed test and perform the compressive test on them.
  - B. Replace the affected area if the core samples fail the compressive test.

**Part 2 Products**

- 1) Concrete
  - a) Conform to the ASTM C94 and Section 501 of the Standard Specifications for Highway and Structure Construction from the Department of Transportation:
    - i) 28-day compressive strength of 4,000 psi
    - ii) 1.5" maximum aggregate size
    - iii) 5.5 bag per cubic yard mix
    - iv) 6% +/- 1.5% air entrainment
    - v) Maximum water to cement ratio of .44

- b) Cement shall conform to ASTM C150, type 1
- c) Aggregates shall conform to ASTM C33
- d) Expansion joint material shall conform to ASTM D1751 and be 0.75" thickness.
- e) Re-bar shall conform to ASTM A615, Grade 60
- f) Curing compounds shall be a liquid membrane-forming conforming to ASTM C-309, class A, type 1 with white pigment.
- g) Aggregate base course material shall consist of durable particles of crushed stone or crushed gravel:
  - i) Oversized stone shall be crushed to required sizes.
  - ii) Shall be free of organic matter, soft stone, shale, and conglomerations of clay, while conforming to the aggregate gradation requirements.
  - iii) Moisture content shall not exceed 7%.

**Gradation Requirements:**  
Percent by Weight Passing

Sieve Size	Crushed Stone	Crushed Gravel
1 Inch	100	100
3/8 Inch	40-75	50-85
No. 4	25-60	35-65
No. 10	15-45	25-50
No. 40	----	10-30
No. 200	3-12	3-10

**Part 3          Execution**

- 1) Preparation of subgrade.
- 2) Prepare the subgrade by excavating to the lines, grades and cross-sections shown on the drawings as required for placing the curb and gutter.
- 3) If subgrade excavation in cut is required, stockpile the surplus material for use in fill areas behind the curb and gutter, or dispose of at the City's stock pile at 1531 Division Road, Sturgeon Bay, WI 54235 or at another approved location.
- 4) If subgrade excavation in fill is required, then furnish, install and compact.
  - a. If borrow fill is suitable it shall be the preferred fill material but if not class C2 soil shall be needed.
  - b. Compact to a minimum of 95% modified proctor density (ASTM D1557).
- 5) Placing the base course:
  - a. Provide a minimum of 4 inches of base material.
  - b. Prepare the grade by grading to the lines, grades and cross-sections shown on the drawings as required for placing the curb and gutter.
  - c. Compact to 95% modified proctor density (ASTM D1557)
- 6) Catch basins / inlets shall be adjusted to the curb and gutter elevations and tuck pointed with concrete used in the curb construction.
- 7) Slip-form Construction
  - a. Slip form construction is the preferred method of placement.
  - b. Coordinate the operations of mixing, delivering, and placing of the concrete to provide uniform progress with minimal stopping of the curb machine.
  - c. The curb machine shall be capable of placing the specified type of curb with the adequate amount of vibration to eliminate honeycomb formation.

- d. Protect the curb and gutter until concrete has obtained the design strength.
- 8) Manual Placement
- a. Provide forms of the size and type of material required to properly construct the curb and gutter as required.
  - b. Properly brace or tie forms together to maintain position and shape.
  - c. Clean and coat the forms with clear mineral or paraffin base form oil prior to the placement of concrete.
  - d. Forms shall remain in place until they can be removed without damage or settling.
  - e. Protect the curb and gutter until concrete has obtained the design strength.
- 9) Placing Concrete
- a. Construct curb and gutter on the prepared and moistened foundation in one course.
  - b. Construct curb and gutter to the required lines and grades as shown on the drawings.
  - c. Consolidate concrete using mechanical vibration to eliminate honeycombing.
  - d. Contraction joints shall be sawn at 10' intervals, 2" deep as soon as the concrete has set sufficiently to preclude raveling during the saw cutting but before shrinkage cracking.
- 10) Contraction Joint Placements
- a. Place at 300' maximum spacing.
  - b. At each end of the radius sections.
  - c. Adjacent to expansion joints in existing concrete.
  - d. Place at right angles to the gutter flow line.
- 11) Drilled Tie Bars: Install 2 drilled tie bars at each joint to existing concrete curbing
- 12) Finishing
- a. Trowel and brush or dry broom the surfaces of the curb and gutter prior to concrete setting.
  - b. Round edges adjacent to expansion joints using a ¼" jointer.
  - c. If approved by Owner honeycombed areas shall be tuck pointed as soon as found with a mortar mixture of 1-part Portland Cement and 3 parts sand.
- 13) Curb ramping shall provide depressed and sloped curb at ramp and driveway locations as shown on drawings or identified by the City Engineer.
- 14) Curing
- a. Start curing activities as soon as free water has disappeared from the surface of the concrete after placing and finishing.
  - b. Apply curing compound to all exposed surfaces by spraying a uniform coating in such a manner as to provide a continuous water impermeable surface. Apply in accordance with manufacturer's recommendations to limit loss of water to not more than 0.40 kg/m<sup>2</sup> in 72 hours.
  - c. In hot weather conform to ACI 305 or ACI 306 in cold weather.
  - d. **During the curing period protect concrete from damage, water flow, loading, shock and vibration.**

## Concrete Sidewalks and Driveways

### Part 1 General

#### 1.1 Summary

- A. Fine grading and compaction
- B. Sidewalk and driveway installation
- C. Backfilling
- D. Finished grading

#### 1.2 Submittals

- A. Concrete design mix of composition and compressive strength test results.
- B. Results of compression and air entrainment tests.

#### 1.3 Quality Assurance

- A. Provide mix design that conforms to specifications.
- B. Installation testing
  - a. Slump tests
  - b. Air-entrainment tests
  - c. Compressive strength cylinder tests
- C. The following shall be in conformance with the following references:
  - a. Sampling           ASTM C172
  - b. Slump               ASTM C143
  - c. Air-entrainment   ASTM C231
  - d. Compression      ASTM C31 and C39
- D. Tests shall be performed twice each day or once per 100 cubic yards, whichever is greater.
- E. Compressive strength tests shall consist of four standard test cylinders made from a single batch of concrete.
  - a. Test one cylinder at 5 days.
  - b. Test one cylinder at 7 days (This test may be skipped if adequate strength is achieved at the 5 day test).
  - c. Test one cylinder at 28 days.
  - d. The remaining cylinder shall be tested if the prior tests fail.
- F. If applicable - high early strength concrete shall be used in driveways that have high early strength concrete used to construct the curb and gutter.
- G. Satisfactory Compressive Test:
  - a. Results equal to or greater than specified for the 28-day test.
  - b. No individual test is less than 500 PSI below the specified compressive strength.
- H. Failed compressive tests after the 4th cylinder is tested.
  - a. Core two samples from each area covered by the failed test and perform the compressive test on them.
  - b. Replace the affected area if the core samples fail the compressive test.

### Part 2 Products

#### 2.1 Concrete

- A. Conform to the ASTM C94 and Section 501 of the Standard Specifications for Highway and Structure Construction from the Department of Transportation:
  - a. 28-day compressive strength of 4,000 psi.

- b. 1.5" maximum aggregate size
  - c. 5.5 bag per cubic yard mix
  - d. 6% +/- 1.5% air entrainment
  - e. Maximum water to cement ratio of .44
- B. If applicable - high early strength concrete shall achieve a usable compressive strength in less than 24 hours.
- C. Cement shall conform to ASTM C150, type 1.
- D. Aggregates shall conform to ASTM C33.
- E. Expansion joint material shall conform to ASTM D1751 and be 0.75" thickness.
- F. Re-bar shall conform to ASTM A615, Grade 60.
- G. Curing Compounds shall be a liquid membrane-forming conforming to ASTM C-309, class A, type 1 with white pigment.
- H. Aggregate base material shall consist of durable particles of crushed stone or crushed gravel:
  - a. Oversized stone shall be crushed to required sizes.
  - b. Shall be free of organic matter, soft stone, shale, and conglomerations of clay, while conforming to the aggregate gradation requirements.
  - c. Moisture content shall not exceed 7%.
  - d. Gradation requirements:

Percent by Weight Passing		
Sieve Size	Crushed Stone	Crushed Gravel
1 Inch	100	100
3/8 Inch	40-75	50-85
No. 4	25-60	35-65
No. 10	15-45	25-50
No. 40	----	10-30
No. 200	3-12	3-10

### **Part 3          Execution**

#### **3.1 Preparation of subgrade.**

- A. Prepare the subgrade by excavating to the lines, grades and cross-sections shown on the drawings as required for placing the sidewalks and driveways.
- B. If subgrade excavation in cut is required, stockpile the surplus material for use in fill areas behind the sidewalks and driveways, or dispose of at the City's stock pile at 1531 Division Road, Sturgeon Bay, WI 54235 or at another approved location.
- C. If sub-grade excavation in fill is required, then furnish, install and compact.
  - a. If borrow fill is suitable it shall be the preferred fill material but if not class C2 soil shall be needed.
  - b. Compact to a minimum of 95% modified proctor density (ASTM D1557).

#### **3.2 Placing the base course:**

- A. Placing the Base Course
  - a. Provide a minimum of 4 inches of base material at 4" thick sidewalks, and a minimum of 6 inches of base material at 6" thick sidewalks or driveways.
  - b. Prepare the grade by grading to the lines, grades and cross-sections shown on the drawings as required for placing the sidewalks and driveways.
  - c. Compact to 95% modified proctor density (ASTM D1557).

### 3.3 Expansion Joints

- A. Location and geometry of expansion joints shall be as shown on the drawings or according to the following criteria:
  - 1. At right angles or tee intersections.
  - 2. At all intersections of driveways and walkways.
  - 3. At the back of curbs.
  - 4. 100' spacing, perpendicular to the edge of sidewalk.
  - 5. At all curb ramps.
- B. Felt shall be equal the depth of the concrete and placed slightly below the finished surface.

### 3.4 Slip-form Sidewalk Construction

- A. Slip form construction is the preferred method of placement.
- B. Coordinate the operations of mixing, delivering, and placing of the concrete to provide uniform progress with minimal stopping of the sidewalk machine.
- C. The sidewalk machine shall be capable of placing the specified sidewalk with the adequate amount of vibration to eliminate honeycomb formation.
- D. Protect the sidewalks until concrete has obtained the design strength.

### 3.5 Manual Placement

- A. Provide forms of the size and type of material required to properly construct the sidewalk and driveways as required.
- B. Properly brace or tie forms together to maintain position and shape.
- C. Clean and coat the forms with clear mineral or paraffin base form oil prior to the placement of concrete.
- D. Forms shall remain in place until they can be removed without damage or settling.
- E. Protect the sidewalks and driveways until concrete has obtained the design strength.

### 3.6 Placing Concrete

- A. Construct sidewalks and driveways on the prepared and moistened foundation in one course.
- B. Construct sidewalks and driveways to the required lines and grades as shown on the drawings.
- C. Consolidate concrete using mechanical vibration to eliminate honeycombing.
- D. Contraction joints shall be sawn at 5' intervals, 1.25" deep as soon as the concrete has set sufficiently to preclude raveling during the saw cutting but before shrinkage cracking.

### 3.7 Contraction Joints

- A. Place at 5' maximum spacing.
- B. At each end of each driveway.
- C. Adjacent to existing expansion joints in existing concrete.
- D. Place at right angles to the edge of sidewalk.

### 3.8 Place reinforcement if required (as shown on the plans).

### 3.9 Finishing

- A. Trowel and brush or dry broom the surfaces of the sidewalks and driveways prior to concrete settling.
- B. Round edges adjacent to expansion joints using a 1/4" jointer.
- C. If approved by Owner honeycombed areas shall be tuck pointed as soon as found with a mortar mixture of 1-part Portland cement and 3 parts sand.



### 3.10 Curb Ramping

- A. Install (2) cast iron warning fields per each location shown on the plans.
- B. Use Neenah Foundry Quick Connect Detectable Warning Plates (unpainted) unless alternate is approved by the Owner.

### 3.11 Curing

- A. Start curing activities as soon as free water has disappeared from the surface of concrete after placing and finishing.
- B. Apply curing compound to all exposed surfaces by spraying a uniform coating in such a manner as to provide a continuous water impermeable surface. Apply in accordance with manufacturer's recommendations to limit loss of water to not more than 0.40 kg/m<sup>2</sup> in 72 hours.
- C. In hot weather conform to ACI 305.
- D. In cold weather conform to ACI 306.
- E. **During the curing period protect concrete from damage, water flow, loading, shock and vibration.**

**Site Restoration**

**Part 1 - General**

**1.01 – Section Includes**

- a) Topsoil
- b) Salvaged Topsoil
- c) Seeding and Mulching
- d) Restoration, Seed

**1.02 – Reference Specifications, Codes, and Standards**

- a) Standard Specifications: Reference in these Specifications to "Standard Specifications" shall mean State of Wisconsin, Department of Transportation, Standard Specification.

**Part 2 - Products**

**2.01 – Topsoil**

- a) Topsoil shall be clean, fertile, friable natural loam capable of sustaining vigorous plant growth, being free from hard lumps, plants and roots, gravel, stone over 1 inch in any dimension, unacceptable or unspecified weeds and grasses, and having pH value between 6.0 and 7.0
- b) Pulverize and screen the topsoil such that 100 percent passes the 1" (25mm) sieve and at least 90 percent passes the No. 10 (2.00 mm).
- c) Topsoil that does not meet pH range shall be amended to be between 6.0 and 7.0.

**2.02 – Salvaged Topsoil**

- a) Shall be in accordance with requirements of "Materials" in Section 625. TOPSOIL AND SALVAGED TOPSOIL, WDOTSS.

**2.03 – Seed**

- a) Turf grass restoration seed mix shall be in accordance with requirements of "Materials" in Section 630. SEEDING, WDOTSS
  - i) Seed mixture shall be WDOT Mix #40

**2.04 – Mulch**

- a) Shall be in accordance with requirements of "Materials" in Section 627. MULCHING, WDOTSS, for WDOT seed mixes.

## **Part 3 - Execution**

### **3.01 – Damaged Improvements**

- a) Contractor shall replace shrubs, trees, or other landscaping damaged or destroyed through carelessness of the Contractor during construction at no additional cost.
- b) Contractor shall restore areas disturbed through carelessness of Contractor beyond the intended construction areas at no additional cost.

### **3.02 – Topsoil and Salvaged Topsoil**

- a) Perform in accordance with requirements of paragraph 625.3.1 and 625.3.3 of Section 625. TOPSOIL AND SALVAGED TOPSOIL, WDOTSS except as follows:
  - i) Improved Grass Areas:
    - (1) Restoration in improved grass areas, lawns, and under sod shall include placement of minimum 4 inches of topsoil.
  - ii) If Contractor fails to salvage enough topsoil to provide 4" replacement Contractor shall furnish topsoil.
  - iii) Contractor shall be responsible for topsoil replacement and finish grading of restored areas due to rainfall events, erosion, and unsatisfactory establishment of vegetation until City Engineer deems restoration areas fully established with dense vegetation.

### **3.03 – Seed**

- a) Perform in accordance with requirements for "Construction" in Section 630. SEEDING, WDOTSS except as follows:
  - i) Seeding Rate:
    - (1) Sowing rate for all seed mixtures shall be 3 pounds of seed mixture per 1,000 square feet.
    - (2) Contractor shall be responsible for reseeding restored areas due to rainfall events, erosion, and unsatisfactory establishment of vegetation until City Engineer deems restoration areas fully established with dense vegetation

Item #	New Sidewalk: N 14th Ave (west side of road from Egg Harbor Road to Bluebird St.) - Item Descriptions	Unit	Estimated Quantity	Unit Price	Line Item Total	City Quantity	Assess Quantity	City Cost	Assess Cost
1	Mobilization - Concrete Work (Includes traffic control if needed & barriers for wet concrete)	LS	1.00	\$ 1,000.00	\$ 1,000.00	1.00	0.00	\$ 1,000.00	\$ -
2	Strip Topsoil & Compact Sub-base with a Roller (For New Concrete Sidewalks)	SF	5053.00	\$ 1.00	\$ 5,053.00	5053.00	0.00	\$ 5,053.00	\$ -
3	Remove Concrete and / or Asphalt Sidewalk & Driveways (includes cutting)	SF	2755.00	\$ 1.10	\$ 3,030.50	2755.00	0.00	\$ 3,030.50	\$ -
4	Remove Curb & Gutter (includes cutting)	LF	67.00	\$ 11.00	\$ 737.00	67.00	0.00	\$ 737.00	\$ -
5	New Concrete Curb & Gutter - 30" (includes base excavation & base)	LF	56.00	\$ 45.00	\$ 2,520.00	56.00	0.00	\$ 2,520.00	\$ -
6	New Concrete Sidewalk - 4" (includes base excavation and base)	SF	4989.00	\$ 5.75	\$ 28,686.75	1.00	4988.00	\$ 5.75	\$ 28,681.00
7	New Concrete Sidewalk or Driveway - 6" (includes base excavation and base)	SF	1708.00	\$ 6.75	\$ 11,529.00	812.00	896.00	\$ 5,481.00	\$ 6,048.00
8	Cast Iron Warning Fields - 2'x4'	EA	2.00	\$ 300.00	\$ 600.00	2.00	0.00	\$ 600.00	\$ -
9	Replace Manhole or Inlet Casting & Rings - Labor Only (casting & rings to be provided by City)	EA	2.00	\$ 350.00	\$ 700.00	2.00	0.00	\$ 700.00	\$ -
					Totals:			\$ 19,127.25	\$ 34,729.00

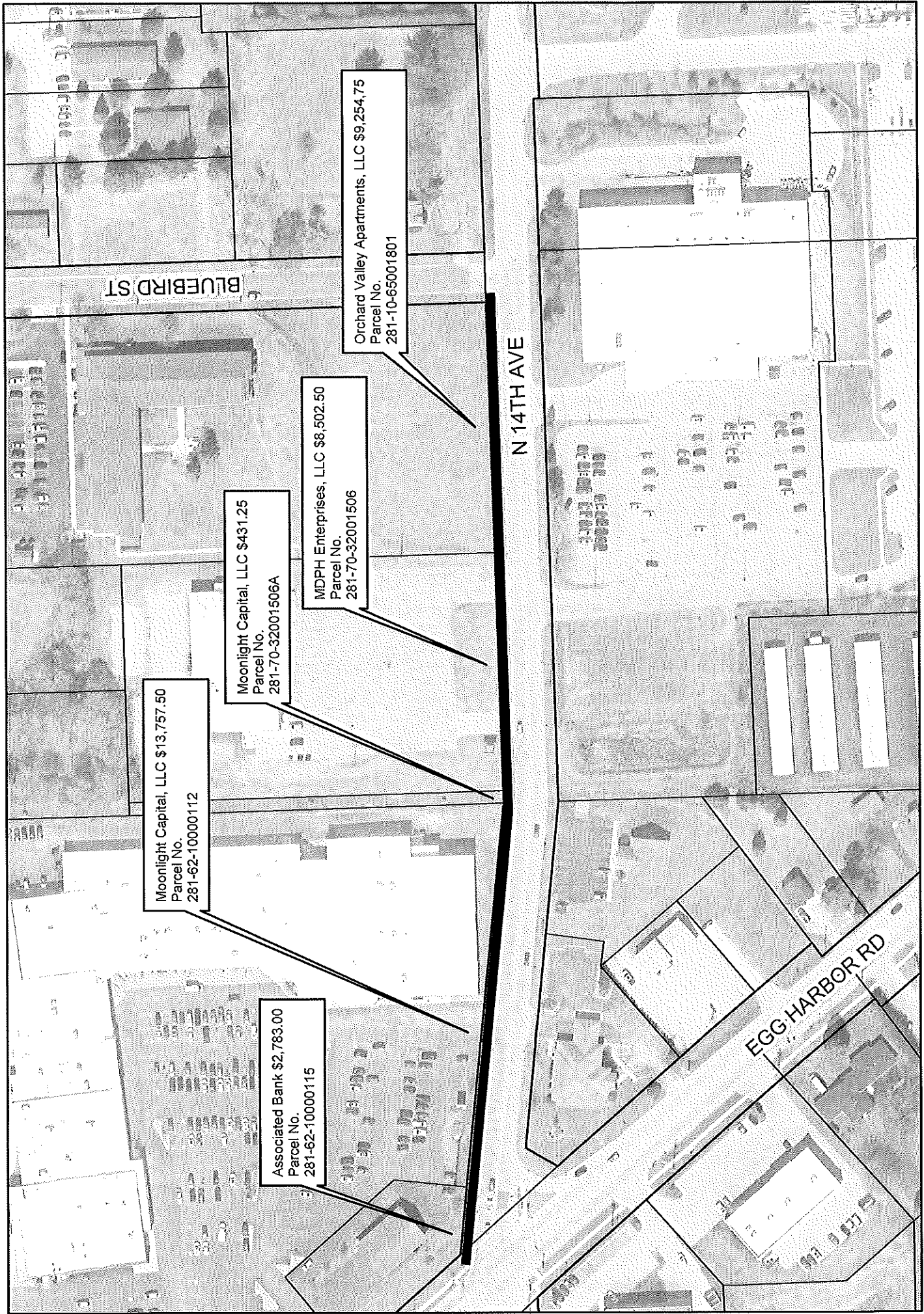
Item #	New Sidewalk: Rhode Island Street (north side of road from ballfield to address 417) - Item Descriptions	Unit	Estimated Quantity	Unit Price	Line Item Total	City Quantity	Assess Quantity	City Cost	Assess Cost
1	Mobilization - Concrete Work (Includes traffic control if needed & barriers for wet concrete)	LS	1.00	\$ 1,000.00	\$ 1,000.00	1.00	0.00	\$ 1,000.00	\$ -
2	Strip Topsoil & Compact Sub-base with a Roller (For New Concrete Sidewalks)	SF	1480.00	\$ 1.00	\$ 1,480.00	1480.00	0.00	\$ 1,480.00	\$ -
3	Remove Concrete and / or Asphalt Sidewalk & Driveways (includes cutting)	SF	25.00	\$ 2.00	\$ 50.00	25.00	0.00	\$ 50.00	\$ -
4	New Concrete Sidewalk - 4" (includes base excavation and base)	SF	1505.00	\$ 6.00	\$ 9,030.00	345.00	1160.00	\$ 2,070.00	\$ 6,960.00
5	New Concrete Sidewalk or Driveway - 6" (includes base excavation and base)	SF	394.00	\$ 7.00	\$ 2,758.00	216.00	178.00	\$ 1,512.00	\$ 1,246.00
					Totals:	\$ 14,318.00		\$ 6,112.00	\$ 8,206.00

N 14th Ave

N 14th Ave													
Mailing Address													
Parcel Number	Last Name	First Name	Street 1	City	State	ZIP	Property Address	4" Sidewalk (SF)	4" Sidewalk Cost	6" Sidewalk Typ. (SF)	6" Sidewalk - Typ. Cost	Total Cost	
2816210000115	Associated Bank		MS8227 / 433 Main St	Green Bay	WI	54301	1332 Egg Harbor Road	484.00	\$ 2,783.00	0.00	\$ -	\$	\$ 2,783.00
2816210000112	Moonlight Capital LLC		PO Box 45	McFarland	WI	53558	1300 Egg Harbor Road	1808.00	\$ 10,396.00	498.00	\$ 3,361.50	\$	\$ 13,757.50
2817032001506A	Moonlight Capital LLC		PO Box 45	McFarland	WI	53558		75.00	\$ 431.25	0.00	\$ -	\$	\$ 431.25
2817032001506	MDPH Enterprises LLC		1217 N 14th Ave	Sturgeon Bay	WI	54235	1217 N 14th Ave	1096.00	\$ 6,302.00	326.00	\$ 2,200.50	\$	\$ 8,502.50
2811065001801	Orchard Valley Apt INC		PO Box 961009	Fort Worth	TX	76161	1252 N 12th Place	1525.00	\$ 8,768.75	72.00	\$ 486.00	\$	\$ 9,254.75
							Totals	4988.00	\$ 28,681.00	896.00	\$ 6,048.00	\$	\$ 34,729.00

Rhode Island Street

Rhode Island Street													
Parcel Number	Last Name	First Name	Mailing Address					Property Address	4" Sidewalk (SF)	4" Sidewalk Cost	6" Sidewalk -		Total Cost
			Street 1	City	State	ZIP	Typ. (SF)				Typ. Cost		
										\$ 6.00		\$ 7.00	
2816228000116	Blevins	Albert	4701 N Amanda Ln	Sheboygan	WI	53081	1318 Rhode Island St	439.00	\$ 2,634.00	60.00	\$ 420.00	\$ 3,054.00	
2816229000119	Sturgeon Bay Rentals LLC		3052 15th Street	Monroe	WI	53566	1326 Rhode Island St	267.00	\$ 1,602.00	58.00	\$ 406.00	\$ 2,008.00	
281622900125	Morrill	Donald	1116 N 3rd Ave	Sturgeon Bay	WI	54235		325.00	\$ 1,950.00	0.00	\$ -	\$ 1,950.00	
2816229000117	Schultz	Kenneth	426 N Duluth Ave	Sturgeon Bay	WI	54235	417 S 14th Ave	129.00	\$ 774.00	60.00	\$ 420.00	\$ 1,194.00	
							Totals	1160.00	\$ 6,960.00	178.00	\$ 1,246.00	\$ 8,206.00	



Moonlight Capital, LLC \$13,757.50  
Parcel No.  
281-62-10000112

Moonlight Capital, LLC \$431.25  
Parcel No.  
281-70-32001506A

Associated Bank \$2,783.00  
Parcel No.  
281-62-10000115

MDPH Enterprises, LLC \$8,502.50  
Parcel No.  
281-70-32001506

Orchard Valley Apartments, LLC \$9,254.75  
Parcel No.  
281-10-65001801

N 14TH AVE

EGG HARBOR RD

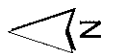
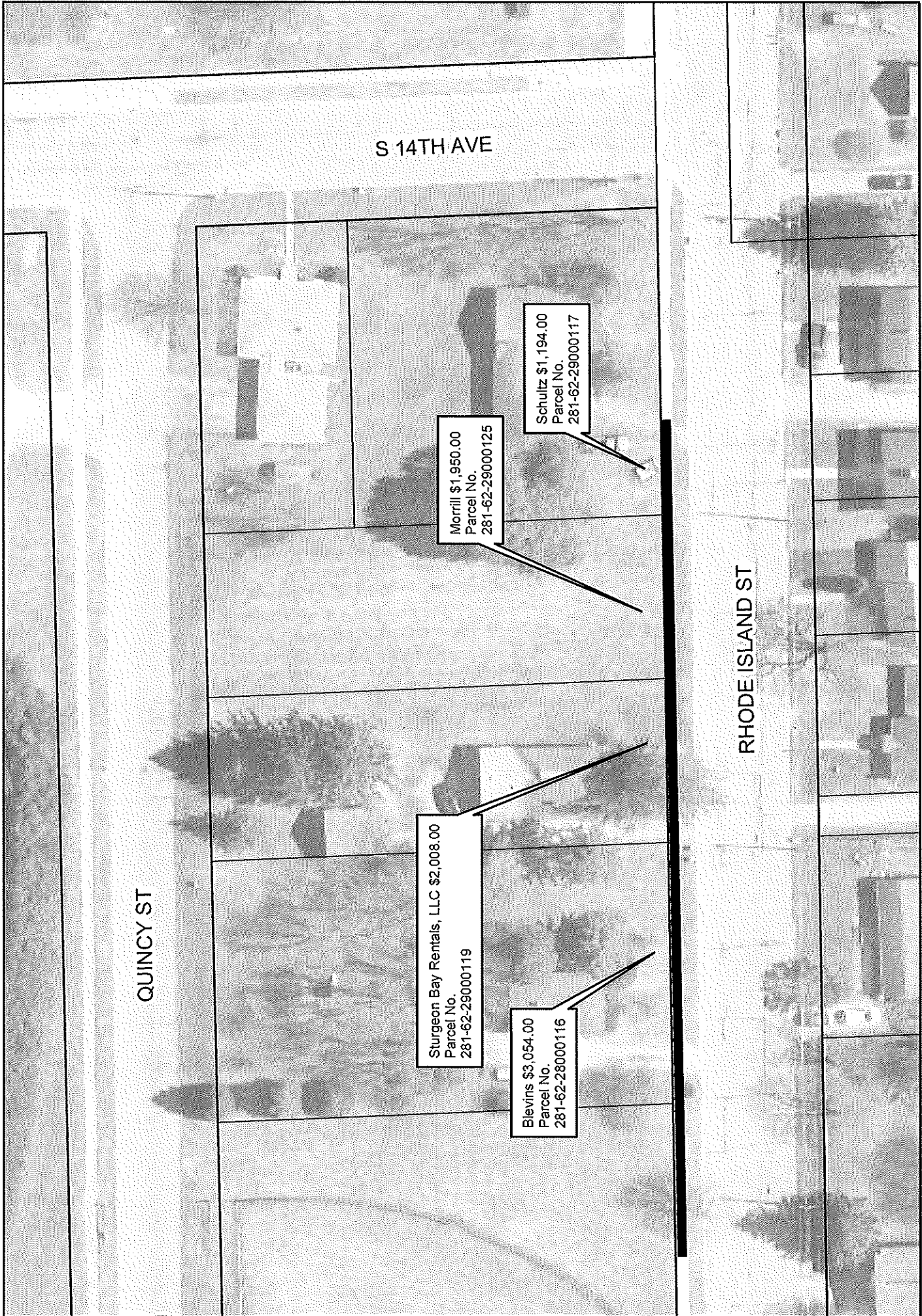


# N 14th Ave Sidewalks Proposed Assessments

NEW SIDEWALK

APRIL, 2022





# Rhode Island St Sidewalks Proposed Assessments

APRIL, 2022