

**AGENDA**  
**CITY OF STURGEON BAY**  
**AESTHETIC DESIGN & SITE PLAN REVIEW BOARD**  
Monday, February 13, 2023  
6:00 p.m.  
Council Chambers, City Hall  
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from January 9, 2023.
4. Consideration of: Driveway connection to Highway 42-57 for Kwik Trip Store located on parcels at 957 STH 42-57 and 919 S. Duluth Avenue.
5. Consideration of: Building and site design of a Fleet Farm retail development located on the south side of State Highway 42/57 across from Grant Avenue, parcel #281-66-1300060.
6. Adjourn.

*NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.*

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

Committee members

Thad Birmingham  
Nancy Schopf  
Mark Struck  
Dave Augustson  
Kelsey Fox  
Rick Wiesner  
Pam Jorns

2/8/2023  
3:00 p.m.  
CS

AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD  
Monday, January 9, 2023

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:00 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

**Roll Call:** Members Rick Wiesner, Nancy Schopf, Mark Struck, Pam Jorns, Dave Augustson, and Thad Birmingham were present. Member Kelsey Fox was excused. Staff present were Community Development Director Marty Olejniczak and Community Development Administrative Assistant Cindy Sommer.

**Adoption of Agenda:** Moved by Ms. Schopf, seconded by Mr. Struck to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from December 19, 2022.
4. Consideration of: Request from Michelle Desotell for a roof pitch of less than 4/12 on a single-family dwelling proposed to be located on Lot 1 of The Shipyard – parcel #2812308325001.
5. Consideration of: Rules of Procedure.
6. Adjourn.

All ayes. Motion carried.

**Approval of minutes from December 19, 2022:** Moved by Ms. Schopf, seconded by Ms. JOrns to approve the minutes. All ayes. Motion carried.

**Consideration of: Request from Michelle Desotell for a roof pitch of less than 4/12 on a single-family dwelling proposed to be located on Lot 1 of The Shipyard – parcel #2812308325001.**

Mr. Olejniczak explained that single family homes are normally exempt from Aesthetic Design Board approval unless the design does not conform to the municipal code. The municipal code dictates that the roof pitch for single family homes must be at least 4/12 to bring design continuity to neighborhoods. The design for the subject property proposes a 3/12 roof pitch, which must be approved on a case by case basis.

Andy Selnar of Alair Homes, 605 George Street, De Pere, who is general contractor for the project, explained that the 3/12 roof pitch design feature was chosen for its more modern look as well as to reduce the overall height of the building so it fits in better with the neighborhood. The roof will be finished with black asphalt shingles.

Mr. Birmingham motioned to approve the project as presented. Ms. Schopf seconded the motion. All ayes, motion carried.

**Consideration of: Rules of Procedure.**

Mr. Olejniczak explained the Rules of Procedure have not been reviewed since they were initially approved back when this Board was a five-member board. He presented and explained proposed changes to the procedures as shown in the meeting packet, which are all small changes to clarify procedures and to allow for updated processes.

Mr. Birmingham motioned to approve the changes as presented. Ms. Jorns seconded the motion. All ayes, motion carried.

**Adjourn:** Moved by Ms. Jorns, seconded by Ms. Schopf to adjourn. All ayes. Motion carried. The meeting adjourned at 6:33 p.m.

Respectfully submitted,

  
Cindy Sommer  
Community Development  
Administrative Assistant



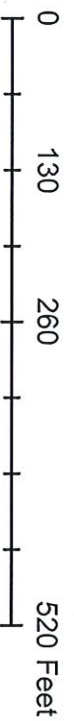
# Hwy 42-57 Access



**Legend**

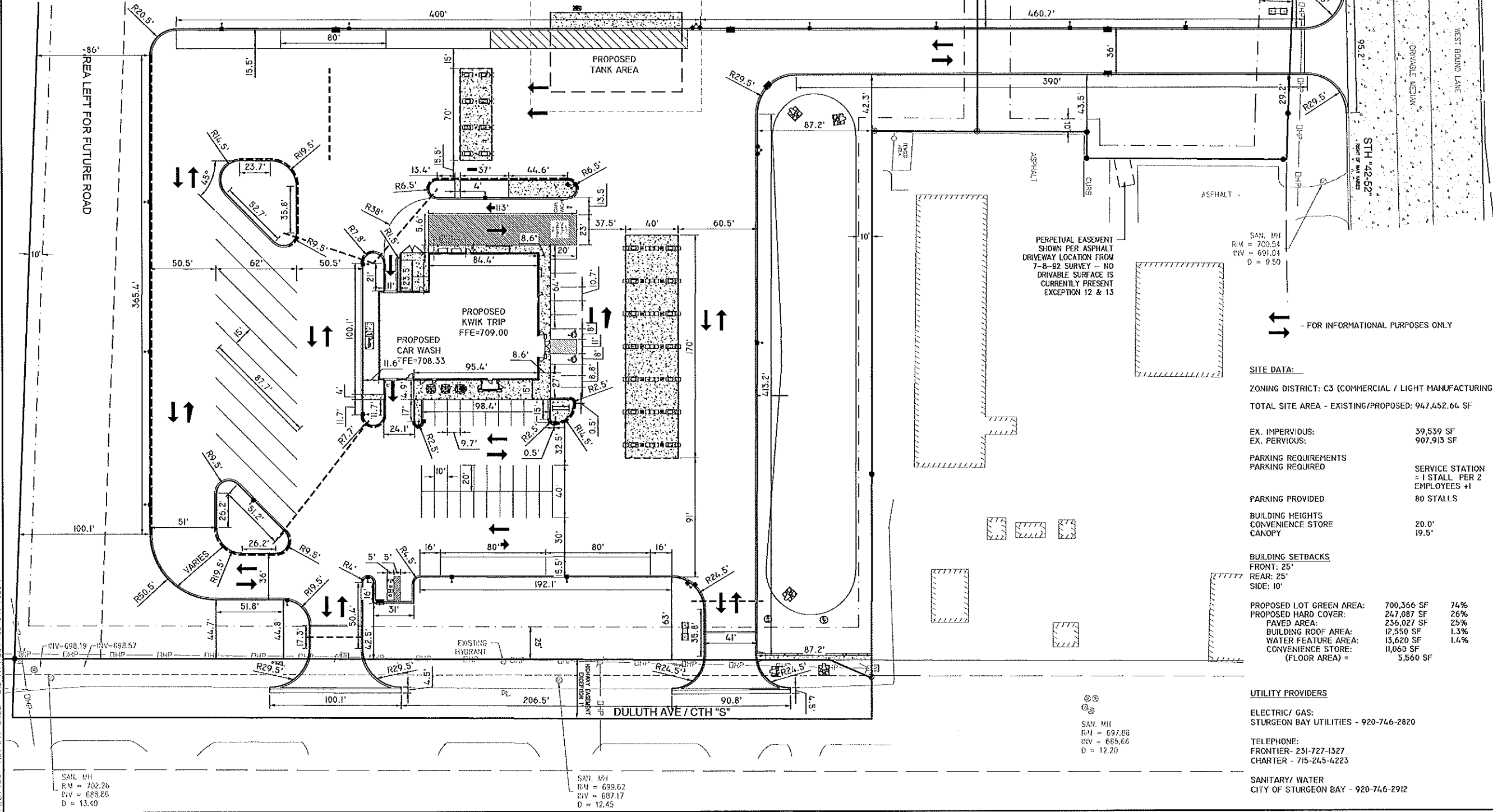
- Existing Median
- Roads
- Proposed KwikTrip Driveway
- Proposed Median

Estl, HERE, Garmin, (©) OpenStreetMap contributors, and the GIS user community, Source: Estl, Maxxi, Earthstar Geographics, and the GIS User Community



LAYOUT NOTES:

- PLAN PREPARED FROM AN ALTA/ACSM LAND TITLE SURVEY BY:  
BAUDHUI SURVEYING & ENGINEERING  
(920)743-8211
- CURBS ARE DIMENSIONED TO BACK OF CURB.
- CONVENIENCE STORE, AND ISLAND COMPLEXES ARE LOCATED FROM THE NORTHEASTERN MOST PROPERTY CORNER AND ALIGNED PARALLEL/PERPENDICULAR TO THE REFERENCE LINE LABELED S89°54'46.50"E, UNLESS OTHERWISE INDICATED ON THIS PLAN.
- UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES.  
CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 15' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS.  
EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24' O.C.
- CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH FINISHED.
- EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER:  
APR 15 - OCT 31 USE: TK-26UV  
NOV 1 - DEC 31 USE: TK-290
- EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SLI.
- DIAGONAL STRIPING LINES (HATCHING) IN THE (NO PARKING LOADING ZONE) AREA AND ANY OTHER AREA THAT IS HATCHED SHALL BE SPACED 5' ON CENTER.
- LETTERING FOR ALL WORDING SUCH AS (NO PARKING LOADING ZONE) AND CARWASH SHOULD BE 12" TALL.
- ALL DIAGONAL STRIPING SHALL BE ANGLED AS CLOSE TO 45° AS POSSIBLE.



S&M, MH  
RM = 703.19  
INV = 694.21  
D = 8.98

S&M, MH  
RM = 700.54  
INV = 691.04  
D = 9.50

AREA LEFT FOR FUTURE ROAD

S&M, MH  
RM = 699.62  
INV = 687.17  
D = 12.45

S&M, MH  
RM = 702.26  
INV = 688.86  
D = 13.40

PERPETUAL EASEMENT  
SHOWN PER ASPHALT  
DRIVEWAY LOCATION FROM  
7-8-92 SURVEY - NO  
DRIVABLE SURFACE IS  
CURRENTLY PRESENT  
EXCEPTION 12 & 13

↑↑ - FOR INFORMATIONAL PURPOSES ONLY

**SITE DATA:**

ZONING DISTRICT: C3 (COMMERCIAL / LIGHT MANUFACTURING),  
TOTAL SITE AREA - EXISTING/PROPOSED: 947,452.64 SF

EX. IMPERVIOUS:	39,539 SF
EX. PERVIOUS:	907,913 SF

PARKING REQUIREMENTS	SERVICE STATION
PARKING REQUIRED	= 1 STALL PER 2
	EMPLOYEES +1
PARKING PROVIDED	80 STALLS

BUILDING HEIGHTS	20.0'
CONVENIENCE STORE	19.5'
CANOPY	

**BUILDING SETBACKS**

FRONT: 25'  
REAR: 25'  
SIDE: 10'

PROPOSED LOT GREEN AREA:	700,366 SF	74%
PROPOSED HARD COVER:	247,087 SF	26%
PAVED AREA:	236,027 SF	25%
BUILDING ROOF AREA:	12,550 SF	1.3%
WATER FEATURE AREA:	13,620 SF	1.4%
CONVENIENCE STORE:	11,060 SF	
(FLOOR AREA) =	5,560 SF	

**UTILITY PROVIDERS**

ELECTRIC/ GAS:  
STURGEON BAY UTILITIES - 920-746-2820

TELEPHONE:  
FRONTIER- 231-727-1327  
CHARTER - 715-245-4223

SANITARY/ WATER  
CITY OF STURGEON BAY - 920-746-2912

**KWIK TRIP**

**STORES**

**KWIK STAR**

**STORES**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**REI**  
CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING  
REI Engineering, Inc.  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784 FAX: 715.675.0260  
EMAIL: MAIL@REIENGINEERING.COM



SCALE



**SITE PLAN**

**CONVENIENCE STORE #1282**

**STH 42 AND S. DULUTH AVE.  
STURGEON BAY, WI**

#	DATE	DESCRIPTION

DRAWN BY	NAP
SCALE	GRAPHIC
PROJ. NO.	10373A
DATE	11/29/22 - REVIEW DOCS
SHEET	SP1



Martin Olejniczak, AICP  
Community Development Director  
421 Michigan Street  
Sturgeon Bay, WI 54235



Phone: 920-746-2910  
Fax: 920-746-2905  
E-mail: [molejniczak@sturgeonbaywi.org](mailto:molejniczak@sturgeonbaywi.org)  
Website: [www.sturgeonbaywi.org](http://www.sturgeonbaywi.org)

January 24, 2023

Re: Aesthetic Design & Site Plan Review Board meeting – February 13, 2023

Dear Property Owner:

The City of Sturgeon Bay's Aesthetic Design & Site Plan Review Board is holding a meeting to review the proposed access driveway to Highway 42-57 (Green Bay Rd) for Kwik Trip. The proposed Kwik Trip store is located on S. Duluth Ave across from Schartner Implement. Their access plan includes a driveway connection to the highway through the property at 957 Green Bay Road. The Wisconsin Department of Transportation has determined that Kwik Trip must extend the raised median in the highway from the existing end of the median at Duluth Ave to the raised median at Ashland Avenue. This extension will eliminate the two-way left turn lane that currently exists for this stretch of highway.

Because your property will be affected if the raised median is installed, you are being notified of this meeting. The meeting is scheduled for Monday, February 13<sup>th</sup> at 6 PM in the Council Chambers at City Hall. You are invited to attend and express your thoughts on the proposed driveway access for Kwik Trip and the resulting raised median.

Sincerely,

A handwritten signature in blue ink that reads "Martin Olejniczak".

Martin Olejniczak, AICP  
Community Development Director

MO:cs

Enc.

## Olejniczak, Marty

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**From:** Nielsen, David - DOT <david.nielsen@dot.wi.gov>  
**Sent:** Tuesday, January 17, 2023 1:14 PM  
**To:** VanLieshout, Josh  
**Cc:** Shefchik, Chad; Olejniczak, Marty; 'swaddell@kwiktrip.com'; Hamilton, Rodney - DOT; Nielsen, David - DOT  
**Subject:** RE: STH 42/57 - Sturgeon Bay Kwik Trip - Median Closure

If there would have been other changes to higher intensity WisDOT would have had the same response. I don't know that there is a specific number of trips that would have triggered this due the unknown variables of how much traffic, how intense is there peak hour and type of vehicle using the entrance would all play a factor.

WisDOT has recently performed a small study of larger convenience store/gas stations to determine their trip generation and based upon that the trip generation for this type of store is over 5,000 trips per day (roughly ½ entering and ½ exiting).

### David B Nielsen, P.E.

Access Management Engineer  
Northeast Region

Wisconsin Department of Transportation  
944 Vanderperren Way  
Green Bay WI 54304

Cell : (920) 366-8961  
[david.nielsen@dot.wi.gov](mailto:david.nielsen@dot.wi.gov)

If this is related to a records request, please email: [dotdtsdnerecords@dot.wi.gov](mailto:dotdtsdnerecords@dot.wi.gov)

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**From:** VanLieshout, Josh <jvanlieshout@sturgeonbaywi.org>  
**Sent:** Tuesday, January 17, 2023 12:08 PM  
**To:** Nielsen, David - DOT <david.nielsen@dot.wi.gov>  
**Cc:** Shefchik, Chad <cshefchik@sturgeonbaywi.org>; Olejniczak, Marty <MOlejniczak@sturgeonbaywi.org>; 'swaddell@kwiktrip.com' <swaddell@kwiktrip.com>; Hamilton, Rodney - DOT <Rodney.Hamilton@dot.wi.gov>  
**Subject:** RE: STH 42/57 - Sturgeon Bay Kwik Trip - Median Closure

**CAUTION: This email originated from outside the organization.  
Do not click links or open attachments unless you recognize the sender and know the content is safe.**

Dave thank you for your email. As we prepare to move forward with the Kwik Trip review process, an important question came up that will give us a better understanding of the overall objective and policies/rules regarding medians going forward. If other changes to a higher intensity in use were to occur in this area, would the outcome of DOT review be same, or different? If different why?

Thanks for any insight you can share.

Josh

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**From:** Nielsen, David - DOT <[david.nielsen@dot.wi.gov](mailto:david.nielsen@dot.wi.gov)>

**Sent:** Friday, January 13, 2023 12:10 PM

**To:** VanLieshout, Josh <[ivanlieshout@sturgeonbaywi.org](mailto:ivanlieshout@sturgeonbaywi.org)>

**Cc:** Shefchik, Chad <[cshefchik@sturgeonbaywi.org](mailto:cshefchik@sturgeonbaywi.org)>; Olejniczak, Marty <[MOlejniczak@sturgeonbaywi.org](mailto:MOlejniczak@sturgeonbaywi.org)>; 'swaddell@kwiktrip.com' <[swaddell@kwiktrip.com](mailto:swaddell@kwiktrip.com)>; Nielsen, David - DOT <[david.nielsen@dot.wi.gov](mailto:david.nielsen@dot.wi.gov)>; Hamilton, Rodney - DOT <[Rodney.Hamilton@dot.wi.gov](mailto:Rodney.Hamilton@dot.wi.gov)>

**Subject:** STH 42/57 - Sturgeon Bay Kwik Trip - Median Closure

WisDOT has had a chance to review the City of Sturgeons Bay's request to not completely close the median just west of the Duluth Street intersection with STH 42/57 . The closure was required as a condition of Kwik Trip access to STH 42/57 for their new Store.

WisDOT along with Transportation Research Board (TRB) have design guidance on median openings. Their guidance would be to not have the functional area of the intersection overlap with the functional area of the left turn lane (median opening).

Additionally, there is guidance that in these types of suburbanized Arterials median opening should be minimized to promote safe and efficient travel on the Arterial.

The closing of the median would also be consistent with the recommendation set forth in the 2010 Traffic Operations and Safety WisDOT had performed with input from the City of Sturgeon Bay and Door County.

Based upon the above reasons and general access principles safety and efficiency WisDOT will require the median closure as part of the opening a driveway for the Kwik Trip.

**David B Nielsen, P.E.**

Access Management Engineer  
Northeast Region

Wisconsin Department of Transportation  
944 Vanderperren Way  
Green Bay WI 54304

Cell : (920) 366-8961  
[david.nielsen@dot.wi.gov](mailto:david.nielsen@dot.wi.gov)

If this is related to a records request, please email: [dotdtsdnerecords@dot.wi.gov](mailto:dotdtsdnerecords@dot.wi.gov)

# CITY OF STURGEON BAY

## AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

### APPLICATION FOR *CERTIFICATE OF APPROPRIATENESS*

Name: Sturgeon Bay Fleet Farm

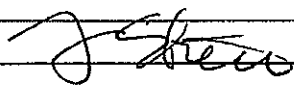
Owner of Premises: Mark Kerscher and Mark & Cindy Kerscher Trust

Address or Legal Description of Premises:  
6639, 6663, and 6703 State Highway 42/57

#### Statement of Specific Item Requested for Approval:

Proposed demo of two existing residential homes including all sheds and accessory structures. Construction of a 91,000 SF retail building and gas station with associated parking, sidewalks, landscaping, and stormwater management.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

 Frank Steeves  
Fleet Farm  
Executive Vice President

1/13/2023  
Date

Applicant

Date Received: _____
Staff Signature: _____
Date Approved/Denied: _____



# Proposed Fleet Farm Development



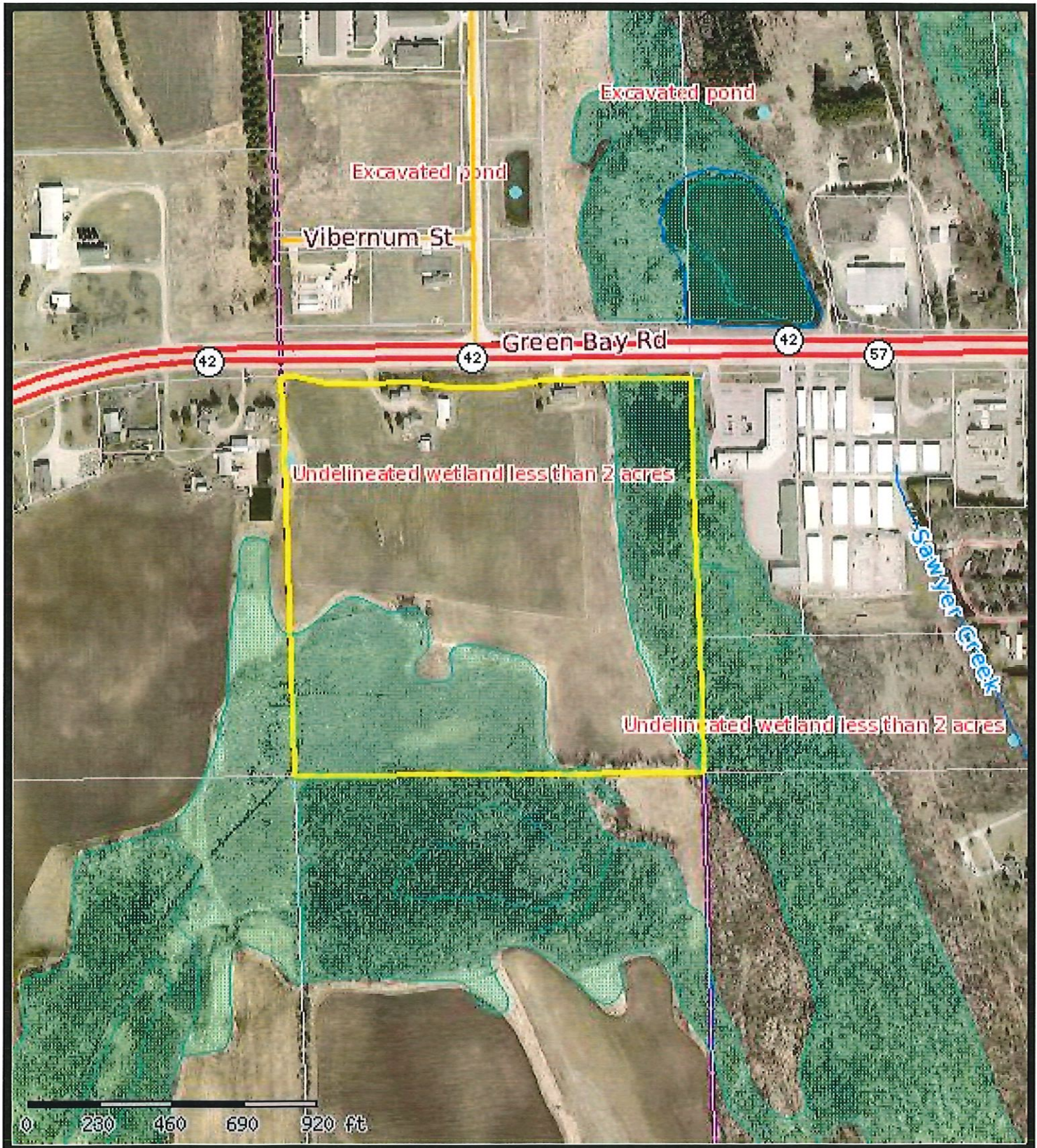
... from the Web Map of ...

( [//www.co.door.wi.gov](http://www.co.door.wi.gov) )

**Door County, Wisconsin**

**... for all seasons!**

Printed 02/08/2023 courtesy of Door County Land Information Office



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# Fleet Farm



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05/13/2019



## Fleet Farm: Aesthetic & Design Review

From the adopted design criteria, the following are the pertinent design criteria for the proposed Fleet Farm development located along Highway 42/57.

### (1) Site layout.

(a) The existing natural topographic and landscape features of a site should be incorporated into a development plan. Such plan shall include all prudent and necessary steps required to protect the natural environment of the site and surrounding areas during and after construction. **Big wetlands are avoided and protected. There is one small degraded wetland that is impacted. A portion of the hill along the road will remain. There are no other impacts.**

(b) The site shall be designed to accomplish a desirable transition from the public streetscape, and between commercial, industrial, and residential land use areas. **Wetlands form a buffer to the East and South of the property. The parking is located far enough from the future frontage road and the highway.**

(c) Where grading is necessary for the construction of structures and paved areas, the grading should blend into adjacent property. Abrupt changes in grade are discouraged. **Wetlands to the South and East. The site itself differentiates itself from surrounding areas on the site but the developed area is well away from other properties.**

(d) In areas where sidewalks exist or are planned, buildings containing retail and other commercial uses should have entrances that provide convenient pedestrian access from the street. **Potential for sidewalk to be included in the future.**

(e) Stormwater drainage shall be designed so as not to alter the natural drainage systems or cause flooding or erosion on neighboring properties. **A detailed stormwater management plan has been submitted and is being reviewed by the City engineer. The project is required to meet both local and state stormwater management requirements.**

### (2) Access, circulation and parking.

(a) Vehicular driveways into the site shall be located in a manner to minimize traffic congestion and difficult turning movements and shall be coordinated with existing and proposed access points on adjoining or nearby properties. Individual developments having more than one access point per street are discouraged and shared access driveways with adjoining properties is encouraged. **Frontage road was reviewed by WisDOT and was revised to meet their requirements. Access from frontage road to driveway into the site is located a long way from the highway intersection. Main access matches up with Grant Avenue which matches the City's official map. Traffic Impact analysis was completed and submitted to WisDOT. The traffic signals will be installed at the Grant Avenue intersection per approval by WisDOT.**

(b) The interior circulation of the site shall be designed to provide for the convenient and safe flow of pedestrians and non-pedestrian traffic through the site and to/from public streets or sidewalks. **Until sidewalks are installed, pedestrian traffic is expected to be light but at this point there are no pedestrian facilities from the building to the street network. Vehicular circulation appears to be reasonable.**

(c) Off-street parking located to the rear or side of buildings is preferred over parking between the building and the street, particularly if the amount of off-street parking supplied is greater than required under the zoning code. For stand-alone buildings under 15,000 square feet, it is preferable that not more than one tier (single row or double row) of parking be located between the building and the street it fronts. **Nearly all parking is between building and street Right of Way. The grade of the parking area is lower than the public streets and is partially hidden by the hill.**

(d) For large developments over 40,000 square feet, the site design shall allow for present or future alternative transportation modes, such as bike routes or transit stops. **Bike racks are required, none are shown on the current plan.**

(e) Permeable surfaces, bioswales, rain gardens, and other forms of stormwater runoff prevention for parking and on-site traffic areas are encouraged. **Site plan includes a large detention pond and a smaller bioretention basin.**

### (3) Building design.

(a) Buildings shall not be limited to a preferred type of architecture or building materials. However, architectural styles, which are generally not common to Sturgeon Bay or Northeastern Wisconsin, are discouraged. **The materials and style of architecture are common to the state of Wisconsin.**

(b) Buildings should be sited and designed to be aesthetically pleasing as viewed from adjoining public streets. Excessively long, unbroken building facades shall be avoided. Building materials and design features shall be consistent with the general design theme and/or proposed use of the development. **Long façade is bumped in and out at places and the roof line varies. Various building materials are used throughout building. Building materials are also consistent for the proposed gas station and the main building.**

(c) Rhythm/re-occurring patterns in windows and storefronts are encouraged. **Style elements are reused throughout the façade.**

(d) Building components, such as windows, doors, eaves, and parapet, should be in proportionate scale in relationship to one another. **None of the building components appeared to overshadow other elements.**

(e) The use of door and window canopies and awnings is encouraged. **They have a canopy over the main entrance.**

(f) The use of special architectural features, including projecting windows, towers, turrets, arches and cupolas are encouraged, particularly on corner buildings. **Signature Fleet Farm tower is included in plans. Arcade is featured on the front portion of building.**

(g) Rooftop mechanical equipment shall be screened with parapets or the roof form. **Parapet wall is intended to screen all rooftop units.**

(h) Designs seeking Leadership in Energy and Environmental Design (LEED) certification are encouraged. **Per the Narrative, Fleet Farm does incorporate a number of energy efficient features however they do not seek to acquire LEED certification.**

(i) Garages should be designed to not dominate the site. Whenever possible, detached garages shall be located to the rear of the principal building or shall be screened or have overhead doors not facing the street. Attached garages that extend beyond the front façade of the building are discouraged. Garages with three or more parking stalls shall be designed to limit the visual impact of overhead doors through features such as offsets or side-loading. **Tire center garages do not face the street nor do the loading docks. However, there are the three entry doors for the lumber yard that are located along the front façade. Garage doors are a clear polycarbonate material. Car wash bays are both side facing and at the back of the gas hut building.**

(j) Blank walls viewable from the street are undesirable. **The only visible façade is attractive and has many features. There are no blank walls that face the public street.**

(4) Materials and colors.

(a) Opaque or reflective window tints and glazes are discouraged. **To our knowledge there are no reflective window tints.**

(b) The use of identical building materials on all sides of a building that are visible from public streets is encouraged. **The grey insulated metal panel is the primary building material on all sides of building.**

(c) For developments with multiple buildings, a palette of options for exterior building colors for use throughout the site should be established. The range should be wide enough to allow for variety, yet narrow enough to unify all the buildings on a site. **All buildings utilize a similar design and color palette.**

(d) Metal siding is strongly discouraged except for industrial buildings or for facades not facing public areas such as streets or parking areas. **Material is an insulated metal paneling that is along the majority of the building exterior. Per the narrative, the exterior features "horizontal decorative metal panel inlays and a stucco style finished insulated metal panel system".**

(5) Landscaping.

(a) The appearance of paved areas should be enhanced through landscaping. Large parking areas shall comply with the interior landscaping requirements of the Sturgeon Bay Zoning Code. Required landscape islands shall be dispersed throughout the parking area to avoid large expanses of pavement. **Total areas of islands exceed minimum amount for zoning code, islands are evenly dispersed throughout the parking lot.**

(b) Storage areas, dumpsters and other places that tend to be unsightly shall be screened by walls, fences, berms, vegetation, or combinations of these. The screening should be equally effective in winter and summer. **Plans show that there is brick screen around the dumpsters. Lumber yard has a 12' high black fencing surrounding it and a black chain link fence along the south side of the yard.**

(c) To reduce erosion and surface runoff, trees and other vegetative land cover shall be removed only where necessary for the construction of structures or paved areas. **Site is two homesteads and a farm field currently. There is not much existing vegetation, however the few existing trees along the front of the property are to be removed.**

(d) Vegetative landscaping shall be used to soften the appearance of blank walls. **Landscaping will be present along the east and north façades along the northeast corner of the building which will soften the visible blank walls.**

(e) Fences and retaining walls shall be surfaced, painted, landscaped or otherwise treated to blend with their surroundings. **Lumber yard is enclosed by 12' high black fencing on all sides with black chain link fencing on the southern side of the yard.**

(f) Utility lines should be placed underground where appropriate and economically feasible to reduce the visual impact on open and scenic areas. Utility pedestals should be screened. **All utilities servicing the building are underground. There is an existing American Transmission Company electric transmission line that runs diagonally through the site.**

(g) The use of native and indigenous plant species is encouraged over exotic species. The use of invasive species, as defined by the Wisconsin Department of Natural Resources, is prohibited. **None of the species listed are on the WDNR invasive species list, however there is uncertainty over whether the species are native and indigenous or not.**

#### (6) Lighting.

(a) Exterior light fixtures shall be shielded such that direct beams of light are not cast skyward or onto adjoining property. Exterior light fixtures for signage, building entrances, accents, parking lots, and landscaped areas are strongly encouraged to be downward directed. Auto-dimmers and timers are encouraged for all exterior lights to limit energy waste during non-operational hours. **Lighting plans show variety of fixtures which are night sky friendly (downward directed). The lighting plans do not mention timers and auto-dimmers to our knowledge.**

(b) Lighting of an intensity beyond which is reasonably required to conduct operations or maintain security is discouraged. **Unsure, photometric plan is illegible.**

(c) Lighting fixtures and devices promoting energy efficiency are encouraged. **Unsure.**

#### (7) Signs.

(a) The location, size, design, materials, and colors of signs should be compatible with the building style. **Both proposed monument and pylon sign have similar materials.**

(b) The location and design of freestanding signs shall be coordinated with the landscape treatment. **Proposed monument sign should be relocated out of the right of way. Landscape plan does not include the signs so we are unsure if there are landscaping plans associated with the signs.**

(c) Neon signs, portable arrow signs, and light box signs are discouraged. Interior lit cabinet signs, when approved, should be designed with opaque materials such that only the

message/logo is lit rather than the entire cabinet. **There are no neon signs, portable arrow signs, or lightbox signs used in this project.**

(d) Signs that are raised on a pole or pylon should have landscaping such as shrubs or flower beds surrounding the base of the sign. **Refer to (b)**

(e) Lighted signage is strongly encouraged to be halo-lit such that there is no visible light source. Auto-dimmers and timers are strongly encouraged to limit energy waste during non-operational hours. **Halo-lighting is utilized for the lit signs. Unsure if auto-dimmers and timers are used.**

Per 20.41 of the municipal code, there are certain requirements for large retail establishments. These will be reviewed and considered by the Plan Commission at their next meeting on Feb 15th, 2023 at 6 pm. There is a lot of cross over between Aesthetic guidelines and the large retail requirements. For your convenience, the large retail establishment requirements are listed below:

**20.41 - Requirements for large retail establishments.**

*(3) Site access.*

(a) All such retail projects shall have at least one access driveway to an existing or planned arterial street, collector street, or frontage road as identified in the comprehensive plan.

(b) The development shall facilitate traffic and pedestrian flow into adjoining commercial areas and shall provide connections to adjoining roads and neighborhoods, as deemed appropriate by the plan commission.

*(4) Building placement/orientation.*

(a) The placement of the building shall be compatible with existing or planned public streets, pedestrian facilities, utilities, and stormwater management facilities.

(b) Buildings that are located more than 450 feet from the adjoining public street shall allow for development on pads or outlots that are adjacent to the street.

*(5) Building facades.* The building shall employ varying setbacks, heights, roof treatments, doorways, window openings, and other structural or decorative elements to reduce the apparent size and scale of the building. These provisions shall not apply to facades that do not face public streets or customer parking areas.

(a) Facades greater than 150 feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least six feet and extending at least 20 percent of the length of the facade. No uninterrupted length of any facade shall exceed 150 horizontal feet.

(b) Building facades shall include a repeating pattern that includes no less than three of the following elements:

- Color change.
- Texture change.
- Material module change.
- Expression of architectural or structural bay through a change in plane not less than 12 inches in width, such as an offset, reveal or projecting rib.

At least one of the above elements shall repeat horizontally. All elements shall repeat at intervals of no more than 30 feet.

(c) Ground floor facades that face public streets shall have arcades, display windows, entry areas, awnings or other such features along no less than 35 percent of their horizontal length.

*(6) Roofs.*

(a)*Parapets.* Flat roofs and rooftop equipment such as HVAC units shall be concealed by parapets. The average height of such parapets shall not exceed 15 percent of the height of the supporting wall and such parapets shall not at any point exceed one-third of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatment.

(b)*Eaves.* Sloping roofs shall have overhanging eaves, extending no less than two feet past the supporting walls.

(c)*Roof slope.* Roofs with a particular slope may be required by the plan commission to complement existing buildings or otherwise establish a particular aesthetic objective. In general, the height of sloping roofs should not exceed the average height of the supporting walls and should have an average slope greater than or equal to one foot of vertical rise for every three feet of horizontal run (i.e. 4:12 pitch).

(d)*Eave/parapet lines.* A minimum of 20 percent of all of the combined linear roof eave or parapet lines of the building shall have differences in height of four feet or more as measured eave to eave or parapet to parapet.

#### (7) *Materials and colors.*

(a) Predominant exterior building materials shall be high quality materials, including but not limited to, brick, stone, wood, and tinted/textured concrete masonry units. The predominant exterior building materials shall not include smooth faced concrete block, tilt-up concrete panels, or prefabricated steel panels.

(b) Facade colors shall be low reflectance colors. The use of metallic colors, fluorescent colors, or black on facades is prohibited.

(c) Building trim and architectural accent areas may feature bright colors or black, but such colors shall not be metallic or fluorescent.

#### (8) *Entryways.*

(a) Customer entryways into the building shall be clearly defined and highly visible. They shall be emphasized by the on-site pedestrian and traffic flow and shall incorporate three or more of the following design features:

- Canopies or porticos.
- Overhangs.
- Recesses/projections.
- Arcades.
- Raised corniced parapets over the entrance.
- Peaked roof forms over the entrance.
- Arches.
- Outdoor patios.

- Display windows.
- Architectural details such as tile work and moldings, which are integrated into the building structure and design.

(b) There shall be at least one customer entrance for each 75,000 square feet of building footprint or fraction thereof. If the building directly abuts two or more public rights-of-way, it is preferred (but not necessarily required) that at least two of the sides abutting public rights-of-way feature a customer entrance, which shall conform to the above requirements.

(9) *Landscaping/screening.*

(a) A landscaping plan shall be submitted to the plan commission as part of the approval process. Landscaping plants and materials shall be used to break up the mass of the parking area, soften the appearance of large walls of the building, improve the streetscape, provide pedestrian amenities, and provide a buffer for adjoining residential uses, as well as to lessen the amount of impervious surfaces.

(b) All ground-mounted and wall-mounted mechanical equipment, refuse containers, and any permitted outdoor storage areas shall be screened by screen walls which match the building exterior in materials and design or by opaque landscaping.

(c) Where a building abuts property that is used for residential purposes or vacant land that is residentially zoned, a vegetative screen shall be used instead. Such screen shall at a minimum meet the requirements contained in [section 20.34](#)(2) of the zoning code.

(d) Street trees at a minimum of two-inch caliper shall be required along all adjoining public rights-of-way at a rate of at least one tree per 50 feet. The tree species shall be approved by the city forester.

(e) Landscaped areas at least ten feet in width shall be provided along at least 30 percent of the building's total perimeter and shall be designed to enhance building entrances and features, or to provide visual breaks in the mass of the building.

(10) *Parking.*

(a) All parking areas shall comply with the landscaping requirements of [section 20.31](#)(11). In addition:

1. Landscaped islands shall be provided within each parking aisle spaced at intervals no greater than one island per every 12 spaces within that aisle. Islands at the ends of aisles shall count toward meeting this requirement.

2. Each required landscaped island shall be a minimum of 160 square feet in landscaped area.

3. Existing canopy trees that are at least 12 inches in diameter and are preserved within landscaped islands or within 10 feet of the perimeter of the parking area shall count as two trees for the purpose of meeting the minimum canopy trees for parking areas.

(b) If more than 60 percent of the off-street parking spaces are located between the front facade of the building and the primary abutting street, a minimum 20-foot-wide landscaped buffer shall



be provided between the parking area and the abutting street right-of-way, with landscaping materials to be approved by the plan commission.

*(11) Exterior lighting.*

(a) Total cut-off luminaries with angles of less than 90 degrees shall be required for all parking lot and building security lighting.

(b) The maximum height for all light poles shall be 20 feet. The color and design of lighting standards shall be compatible with the building design.

*(12) Outdoor display.*

(a) Exterior display areas shall be identified on the approved site plan. Such areas shall be separated from traffic and pedestrian routes by a minimum of six feet and shall be clearly defined.

(b) Display areas on building aprons shall not reduce walkway width to less than eight feet between the display area and any adjoining vehicle drives.

*(13) Pedestrian and bicycle facilities.*

(a) Sidewalks at least five feet in width shall be provided along all sides of the lot that abut a public street.

(b) Continuous internal pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of the building. Such walkways shall feature adjoining landscaped areas that include trees, shrubs, benches, flowerbeds, ground covers, or other such materials for no less than 50 percent of the length of the walkway.

(c) Sidewalks, no less than eight feet in width, shall be provided between the building facade and any adjoining access drive, and along any portion of the facade abutting public parking areas.

(d) All internal pedestrian walkways shall be adequately protected, separated, or distinguished from adjoining driving surfaces. Crosswalks shall be distinguished from driving surfaces to enhance pedestrian safety by using different pavement materials, pavement color, or pavement textures.

(e) The development shall provide at least one secure bicycle rack near each customer entrance.

(f) The development shall provide exterior pedestrian furniture in appropriate locations at a rate of at least one bench seat for every 10,000 square feet of gross floor area.

(Ord. No. 1138-0205, § 1, 2-1-05; Ord. No. 1173-0906, §§ 1—4, 9-20-06; Ord. No. 1188-0807, §§ 1—3, 8-21-07; Ord. No. 1191-1207, § 1, 12-4-07; Ord. No. 1201-0608, § 1, 6-3-08)



NARRATIVE FOR:  
PROPOSED FLEET FARM  
City of Sturgeon Bay

# Fleet Farm<sup>™</sup>

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## SUBMITTAL NARRATIVE FOR THE PROPOSED FLEET FARM CITY OF STURGEON BAY

### Contact Information:

#### Full Name of Applicant:

Fleet Farm  
2401 S Memorial Drive  
Appleton, WI 54915  
Phone number: 920-731-8121  
Email: [frank.steeves@fleetfarm.com](mailto:frank.steeves@fleetfarm.com)  
Contact: Frank Steeves

#### Landowner:

Mark. A and Cindy Lou Kercher Trust dated  
December 22, 2008 (6703)  
49 W. Maple Stret  
Sturgeon Bay, WI 54235  
Email: [loriflick4606@gmail.com](mailto:loriflick4606@gmail.com)  
Contact: Lori Flick

#### General Contractor:

CR Structures Group, Inc.  
327 Randolph Drive  
Appleton, WI 54913  
Phone number: 920-858-1648  
Email: [jeff@crstructures.com](mailto:jeff@crstructures.com)  
Contact: Jeff Peterson

#### Civil Engineer/Surveyor:

raSmith  
1675 West Bluemound Road  
Brookfield, WI 53005-5939  
Phone: 262-781-1000  
Email: [matt.kocourek@rasmith.com](mailto:matt.kocourek@rasmith.com)  
Contact: Matt Kocourek

#### Architect:

Gries Architectural Group, Inc  
500 N Commercial Street  
Neenah, WI 54956  
Phone: 920-722-2445  
Email: [bgries@gries.design](mailto:bgries@gries.design)  
Contact: Brannin Gries

## OPERATIONAL CONSIDERATION

### Store Information:

We plan to build a 91,952 square foot retail store with an automotive service center and exterior yard. Further this site will include a 4800 SF fuel station with a 2-bay car wash. The south half of the land is wetland and is not available for development. We have over a decade of experience and an understanding of what it takes to run a successful store. We have been a successful company since 1955. Fleet Farm operates 48 store locations throughout Wisconsin, Minnesota, Iowa, North Dakota, and South Dakota with goals of continued new store expansion.

At Fleet Farm, you'll find the heart of a general store, with the expertise and selection of a specialty store. We're your one-stop shop with a welcoming, neighborly shopping experience. Fleet Farm is local. We live here, work here, and are proud to be part of the communities we serve. We deliver the best products to our hardworking customers.

One of Fleet Farm core values is to make a meaningful difference in the lives of the residents of the communities they live in. The local store manager is encouraged to give back to the local community through a strong giving culture. From sponsorships to donations, we are always looking to support



charities and local community organizations. Fleet Farm's website encourages local groups that want to sponsorship to just stop in the store and speak with the General Manager.

Here are just a few examples:

- West Bend, WI – Donating to local shelter
- Fond du Lac, WI – Sponsoring the Navy Club & our Veterans of need.
- Wausau, WI – Shop with a Hero (Fire and Police Department)
- Germantown, WI – One of 50+ Local Baseball and Hockey Sponsorships
- Brooklyn, MN – Annual "Kids Fishing Day" at all stores.
- Monticello, MN - Supporting Local High Schools via Sponsorship & Partnership
- Lakeville, MN – Partnering and supporting the local Chamber of Commerce

We will work with the WisDOT on safe access to and from the highway.

This development is estimating the creation of 150 new jobs. This includes full and part time jobs in the main retail store, auto center and fuel station. Our daily customer count average is 1,500 per day. This is an average count based on 361 days of business (closed Easter, Thanksgiving, and Christmas) for the main store and fuel center. The customer count increase during the peak seasons of quarter two and four.

**Hours of business:**

Main Store and Gas Station:	Monday to Saturday 7 am to 8 pm Sunday 8 am to 6 pm
Auto Service:	Monday to Sunday 8 am to 5 pm
Car Wash	24/7

The new store is the first of a new smaller prototype.

**Land and Site Considerations**

**Existing Land Use**

The proposed site consists mostly of existing agricultural lands but includes two small residential parcels as well. Each residential parcel a separate access off of Green Bay Road. The two private driveways will be combined into a signalized intersection with a public road to the south and west.

**Existing Zone and Land Use**

As this site is in process of annexation into the City of Sturgeon Bay, the current zoning is based off of Door County. The site is currently zoned rural/agriculture. The 2040 Sturgeon Bay Comprehensive Plan shows the surrounding area to be commercial which is consistent with our proposed zoning after annexation.

**Existing Environmental**

We have prepared a wetland delineation for this site. There are three wetland areas denoted as W-1, W-2, and W-3 on the report. Based on the proposed grading and wetland report, a portion of wetland W-1 will need to be filled. The report characterizes this wetland as a "farmed wetland/wet meadow"



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dominated by reed canary grass. The total area of disruption is 5,481 SF. Wetlands W-2 and W-3 are higher quality and characterized as “shallow marsh/wet meadow/shrub carr” by the report. These wetlands will be avoided and protected.

Additionally, we obtained an Endangered Resource Preliminary Assessment from the DNR for this project. The following was included in the Assessment: “No records of pertinent endangered resources are present in the area and an Endangered Resources Assessment is not needed for this project”.

## **Trip Generations:**

The proposed Fleet Farm development is expected to generate approximately 3,415 new trips daily, 190 (105 in/85 out) new trips during the weekday morning peak hour, 265 (135 in/130 out) new trips during the weekday evening peak hour, and 430 (220 in/210 out) new trips during the Saturday midday peak hour. A trip is considered any movement to or from the development. So, a typical visit to the site would include 1 inbound trip and 1 outbound trip.

Development traffic is expected to distribute among the existing roadway network with approximately 30% to/from WIS 42/57 (west) and 70% to/from WIS 42/57 (east). More traffic is expected to/from east due to proximity to the City of Sturgeon Bay. The development represents an increase in traffic along the local roadway network of 5% to 15% above current conditions.

A new public roadway is proposed to be constructed with the development. The roadway will be located north of the Fleet Farm development, will allow for future connection to the parcel to the west, and its connection to WIS 42/57 will align with Grant Avenue. Access to the Fleet Farm store and fuel station will be along the new public road. The TIA will evaluate various traffic control alternatives (including stop control, signalization, and a roundabout) at the WIS 42/57 intersection with Grant Avenue/new public roadway.

## **Landscaping:**

Landscaping will be provided to emphasize foundation plantings along the front of the building and the east side where the Auto Center will receive customers. Due to the limited site area and existing wetlands on both the east and west sides of the site these foundation plantings will be minimized on the west side where the fenced yard is located. Subsequently, we are requesting a waiver to reduce the area of foundation plantings as required by the big box ordinance. The remaining site will focus on meeting the City’s landscape ordinance. Each row of parking in the main lot is ‘book-ended’ by parking islands and there is ample landscaping planned along the frontage road and Green Bay Ave to screen the lot from view. All trees have been removed 20’ either way of the existing ATC lines that cut through the site.

## **Parking:**

The City of Sturgeon Bay parking requirements are 1 stall for every 200 SF of floor area. The proposed main retail building and the gas station/convenience store will be broken out separately from a parking standpoint. The gross square footage of the main retail building is roughly 91,000 SF and of that 67,466 SF is floor area. 337 parking stalls are required to meet the City Ordinance. The gross square footage of the convenience store is roughly 4,800 SF and of that 1,400 SF is floor area. 7 parking

stall is required to meet the City Ordinance.

Based on the proposed site plan, we are providing 373 stalls with 8 ADA stalls of which all 8 are van accessible, for the main retail building. Also, we are providing 12 stalls with 2 ADA stalls of which 1 is van accessible, for the convenience store. Our numbers indicate the parking requirements for both the City of Sturgeon Bay and ADA have been met.

#### Site Lightning:

The site lighting is down cast full cut off fixtures. Exterior lighting was designed to meet city requirements for light level requirements. All site lighting will be LED, and the fixtures will be black in color including the decorative wall mounted fixtures adjacent to the building entrances. All site lighting poles will contain a hand-rubbed exposed concrete base for vehicle protection.

See Exhibit "A" attached herein.

#### Noise:

There will be a slight increase in noise going from a greenfield site to a developed site. The noise is minimal with vehicular, pedestrian, truck, and forklift traffic. Trucks DO NOT deliver 24 hours a day. Normal business hours for Fleet Farm are:

Store/Gas Station	Monday – Saturday 8 am – 8 pm Sunday – 8 am – 6 pm
Auto Service Car Wash	Monday – Sunday 8 am – 5 pm 24/7

#### Building and Façade Consideration:

##### Shipping and Receiving (Loading Docks):

There are three (3) separate recessed loading docks provided in the design. Based on the existing Fleet Farm locations, (3) loading docks will cover all required shipping and receiving needs for the proposed store. We also have a flatbed truck loading and unloading designated area along the west gate storage yard, south of the snow removal gate. This will support shipping and receiving into the outdoor retail yard.

##### Exterior Storage:

Exterior storage is a critical component to Fleet Farm. The exterior storage supports the entire Buy Online Pick Up in Store (BOPUIS) process and is integral to the way Fleet Farm operates to service their customers. The Exterior Storage area will (3) modern glass overhead door entryways which will be signed for "Online Pickup", "Yard Entrance" and "Exit" for one way traffic purposes. This is identified with decorative brick surrounds. As customers enter the outdoor retail area storage racking will be 16 feet in height containing pick up items and large format storage items including assembled lawn/garden equipment, farm accessories and home improvement materials BOPUIS is offer for all indoor and outdoor retail item available at the store. The Customer pickup area is within an interior enclosed unconditioned building. The building provides the required protection of both the customers and the retail pick-up items from inclement weather. After the customers picks up from BOPUIS, they will be able to perform a "U turn" with ample turning radius to then exit out past the security building and through the glass overhead exit door element.



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Within the exterior storage area there will be freestanding 16' high storage racking. The entire yard space will be enclosed with 12' high black fencing on all sides. The north and west sides will have a 12' high black decorative fencing and the south will have black chain link fencing. Note all materials stored in the yard will be stored in a neat and orderly fashion.

## **Exterior Building and Fencing Materials:**

The overall building design is constructed to be harmonious with the natural and built surroundings. In the design our team utilized four-sided architecture using similar materials on all sides of the building. The exterior of the main Fleet Farm retail building shell consists of decorative CMU wainscot, inlaid brick masonry, expansive glass, a decorative icon tower, vertical and horizontal decorative metal panel inlays and a stucco style finished insulated metal panel system. The variation in materials and textures break-up the overall expanse of the exterior walls. Brick accent elements and eyebrow canopy elements are utilized throughout the façades to create articulation in the building elevations. Large glass curtain wall with automatic sliding entry doors defines the main customer entry. Heated canopies are designed over all the main customer entry point to make a better customer experience in inclement weather and assist in identifying customer entry points into the building. Clerestory windows have been added to create a more modern look and feel at the main façade. All service doors and overhead doors will be colored to match the building to help blend these elements into the overall facades. A tall parapet system was chosen to assist in screening the RTUs at the main building. The design of this Fleet Farm building meets the intent of the Sturgeon Bay "Big Box Retail" design guidelines. The variety of materials, textures and projects make this building design a well-articulated and overall, visually appealing facility.

## **Exterior Retail Display:**

The exterior retail display is used for our customers to get a quick look at larger pre-assembled outdoor seasonal items. The items are arranged in a matter to have customers stop in and look while providing an organized and neat visual attraction. The items listed below are switched out on a seasonal basis.

## **Main Retail Display Area Items:**

Trailers, Lawn Mowers, (riders and push mowers), Snow Blowers, Hunting Blinds, Bikes, Log Splitters, Leaf Vacs, Grills, Kayaks, Wheelbarrows, King Cutters: including small implements such as brush cutters, box blades, and soil discs.

## **Gas Hut and Car Wash:**

The exterior of the of gas hut facility and combined car wash building complement the main retail facility by utilizing the same inlaid brick masonry, decorative CMU wainscot, stucco finished insulated metal panel, and large expanses of glass to identify the entryway. The main entrance to the gas hut is defined with a matching canopy element similar to the main retail building. This is also heated and identifies the customer entry point. The standalone gas pump canopy is required and will be at a height to accommodate tractor trailer vehicles. Along the building there are two items that are always outside, these items are Rhino Blue tank propane cage and the bagged ice freezer. Other items sold would include salt and washer fluid. Please view the attached photo of our outdoor storage at the Rapid City location which will be consistent with outdoor storage at the Sturgeon Bay location.

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## **Gas Hut Display Items:**

Stainless Steel Rhino Blue Propane tank storage, bagged ice freezer windshield washer fluid and salt.

## **Garden Center:**

Fleet Farm will also operate a seasonal garden center. The garden center season typically starts mid to late April and ends early to mid-June. The usual garden center season is about an 8-week duration.

There are typically 2 -3 weeks post operation required for takedown. During the operation, they will be staffed for the area daily and 380 total hours are scheduled for team members through the week. The garden center requires a mobile shed for point of sales during the season listed above. The mobile shed is required to be lite and flexible as it is stored inside the yard during the off season and needs to be lifted via forklift. Drawings of the mobile shed are provided in the submittal documents. The "Kool House" and "Shade Structure" are set up by a 3<sup>rd</sup> party contractor each year. The 3<sup>rd</sup> party contractor stores both the "Kool House" and "Shade Structure" for the off-season at an off-site location. If the store were to keep these items on site, management will find an area in the building to store for the off season. The only structure that is a 100% ours and is expected to be stored will be the mobile garden shed. This is typically stored in the yard.

See Exhibit "B" specification sheets and pictures of the temporary structures commonly used in the garden center area attached herein.

## **Outdoor display items in the Garden Center include:**

Lawn statuary, Bagged mulch, Plants, Porch Pots, Hanging Planters, Trees, and Bushes.

## **Accessory Building Information:**

All accessory structures visible to customers including the dumpster enclosure, security shack at the yard entrance, and tire storage enclosure are designed to complement the main retail facility and gas hut. A pre-manufactured Pet Wash Station will also be included onsite. The accessory pet wash station is critical to support the pet friendly environment Fleet Farm offers to customers at our Fleet Farm locations.

See Exhibit "C" Pet Wash Station attached herein.

## **Pedestrian and bicycle facilities:**

This is not applicable for our site location.

## **Future renewal:**

Fleet Farm has been in business since 1955 and has never closed a store. For almost 70 years, Fleet Farm has continuously served communities where they have opened stores. It's rare to find a retailer with this commitment to their employees, customers and communities. Today, Fleet Farm has 48 stores with 1 under construction due to open in 2023. If the rarest of circumstances did occur with Fleet Farm in Sturgeon Bay, WI, this location would not be vacant long. The location is dominant along Hwy. 42 at the entry to Sturgeon Bay. Furthermore, the lack of commercially zoned opportunities in Sturgeon Bay makes a vacant box desirable to new retailers in the market. If the activity amongst vacant boxes in



Wisconsin in recent years is any indication of a potential outcome if the Fleet Farm would become vacant, you could expect one of the following outcomes: (i) a competitor in the fleet and farm category, (ii) a grocery/general merchandising store, (iii) self-storage, (iv) marine storage or (v) a number of mid-box retailers (3 to 5) to demise and fill the vacant box.

## Signage:

Stratus Unlimited a national Fleet Farm signage provider is proposing a uniform sign program that is consistent with the Fleet Farm brand standards.

The proposed ground sign(s) for this location are strategically placed to identify and assist the traveling motorist with safe wayfinding to and from this location.

The materials for the various signs are manufactured to our high standards that provides materials such as aluminum, LEDs' electronic message centers, as well as steel and concrete.

Below is a summary for the various sign types

## Pylon Sign

The Fleet Farm pylon sign consists of various materials to make up the overall sign that is 20' OAH, 5'-6" wide and 14" deep that is a double face illuminated sign. The pylon sign is located along Green Bay Road with sign oriented along said roadway for optimal visibility. With a proposed sign setback of approx.15' (with a minimum setback of 5' from roadway and 15' from property line).

The pylon sign is made up of multiple cabinets that are cohesively designed and mounted to the steel structural as outlined below:

- The main structural is made of steel that is mounted into the concrete pier supports that meets our sign engineering specifications and city code.
- The base of the sign consists of Brick and CMU block to match existing building materials and colors.
- The full color electronic message center comes in two (2) units each that is sandwiched and mounted to either side of the steel supporting structure. The electronic message is a full color 10 MM display with cellular data communication. The message center is made up of many RGB LED modules to provide a full color outdoor display.
- The price changer is made of a 14" deep extruded aluminum cabinet skinned with aluminum with copy that is routed and backed, and cabinet painted to match Fleet Farm color specifications. The fuel labels will illuminate Unleaded and Diesel as well as incorporate the price changer LED display.
- The Fleet Farm w/logo cabinet will be internally illuminated using LED's and power supplies with copy that will be routed and backed to provide the copy to illuminate only. The cabinet will be made out of aluminum angle that is fully

welded and skinned with aluminum and painted to match Fleet Farm color specifications. The copy material is made of 1" routed push thru acrylic faces with orange logo translucent vinyl w/ second surface diffuser film.

- The Car Wash w/logo cabinet will be internally illuminated using LED's and power supplies with copy that will be routed and backed to provide the copy to illuminate only. The cabinet will be made of aluminum angle that is fully welded and skinned with aluminum and painted to match Fleet Farm color specifications. The copy material is made of 1" routed push thru acrylic faces with orange logo translucent vinyl w/ second surface diffuser film.
- The main top cabinet with the "Logo" for Fleet Farm consists of an aluminum angle fully welded cabinet and skinned with aluminum and painted to match the Fleet Farm color specifications. The copy material is made of 1" routed push thru acrylic faces with orange logo translucent vinyl w/ second surface diffuser film. Internal illumination we will be using LED's and power supplies. The architectural cornice topper will be made of aluminum and painted to match.

## Monument Sign

The Fleet Farm monument sign consists of various materials to make up the overall sign that is 8'-9" OAH, 5'-6" wide and 14" deep that is a double face illuminated sign.

The monument sign is located along Green Bay Road with sign oriented along said roadway for optimal visibility. The proposed sign setback is 35' from the property line and 10' setback from the roadway (with a minimum setback of 5' from the roadway and 15' from the property line).

The monument sign is made up of multiple cabinets that are cohesively designed and mounted to the steel structural as outlined below:

- The main structural is made of steel that is mounted into the concrete pier supports that meets our sign engineering specifications and city code.
- The base of the sign consists of Brick and CMU block to match existing building materials and colors.
- The price changer is made of a 14" deep extruded aluminum cabinet skinned with aluminum with copy that is routed and backed, and cabinet painted to match Fleet Farm color specifications. The fuel labels will illuminate Unleaded and Diesel as well as incorporate the price changer LED display.  
The Car Wash w/logo cabinet will be internally illuminated using LED's and power supplies with copy that will be routed and backed to provide the copy to illuminate only. The cabinet will be made of aluminum angle that is fully welded and skinned with aluminum and painted to match Fleet Farm color specifications. The copy material is made of 1" routed push thru acrylic faces with orange logo translucent vinyl w/ second surface diffuser film.
- Top the Fleet Farm w/logo cabinet will be internally illuminated using LED's and power supplies with copy that will be routed and backed to provide the copy to illuminate only. The cabinet will be made of aluminum angle that is fully welded

# Fleet Farm™

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and skinned with aluminum and painted to match Fleet Farm color specifications.

- The copy material is made of 1" routed push thru acrylic faces with orange logo translucent vinyl w/ second surface diffuser film.



## Exhibit “A”



Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

# Mirada Medium (MRM)

## Outdoor LED Area Light



OVERVIEW	
Lumen Package	7,000 - 48,000
Wattage Range	48 - 401
Efficacy Range (LPW)	117 - 160
Weight lbs(kg)	30 (13.6)

### QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

### FEATURES & SPECIFICATIONS

#### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

#### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

#### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

#### Controls

- Optional Integral passive infrared Bluetooth™ motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details).

#### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

#### Warranty

- LSI LED Fixtures carry a 5-year warranty.

#### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 62622 mechanical impact code

*Specifications and dimensions subject to change without notice.*





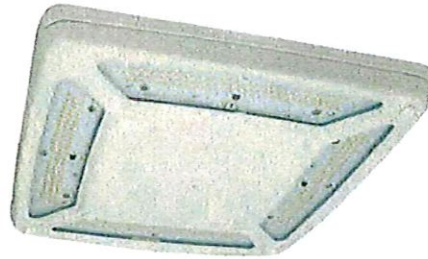


Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

# Scottsdale Vertex™ (SCV)

## Petroleum Canopy LED Luminaire



OVERVIEW	
Lumen Package	9,000 - 23,000
Wattage Range	67 - 188
Efficacy Range (LPW)	109 - 154
Weight lbs(kg)	18.5 (8.4)

### QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

### FEATURES & SPECIFICATIONS

#### Construction

- Rugged low-profile die-cast aluminum housing, optical unit, and driver cover.
- Below canopy access to optical chamber and driver housing for serviceability.
- IP66 rated luminaire protects integral components from dust and water.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.
- Four fasteners secure the door frame to housing. Door frame also provides quick and easy access to the electrical compartment for servicing.
- Shipping weight: 18.5 lbs in carton.

#### Optical System

- Symmetrical distribution utilizes a clear tempered flat glass lens to uniformly illuminate the area under the gas canopy.
- Combination Forward Throw distribution uses clear tempered flat glass and optical grade PMMA acrylic lens to create an industry leading unique distribution pattern to illuminate the area under the gas canopy and the area between the gas canopy and convenience store eliminating the need for extra floodlights.
- Available in 5000K, 4000K and 3000K color temperatures.
- Minimum CRI of 80.

#### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.

- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 2)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F) when mounted to Steel/ Aluminum surfaces for 10L, 13L, & 15L Lumen Packages, +45°C for 20L Lumen Package, and +35°C for 23L Lumen Package. If mounted to a non-metallic surface, reduce ambient by 5°C.
- Power factor: >0.90
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs are mounted to (4) circuit boards to maximize heat dissipation
- Driver components are fully encased in potting material for moisture resistance. Driver complies with FCC standards.

#### Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 with all lumen packages and distributions only when properly installed per LSI installation instructions. Models with optional controls are not approved for Class 1, Division 2 applications.  
Gas Groups A,B,C, and D - Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

#### Installation

- Installs in a 12" or 16" deck pan.
- Four fasteners are provided for use in single deck steel canopies. Other suitable fasteners may be required and provided by others.
- Unit is designed to quickly retrofit into existing Scottsdale (4") hole.
- Aluminum locking collar and gasket are included and required for complete seal and support of canopy deck.
- Retrofit panels are available for existing Encores, Richmond, 2x2 Universal, and more.
- Direct mount to surface or recessed J box with hardware bracket kit ordered separately as an accessory.

#### Warranty

- LSI LED Fixtures carry a 5-year warranty or 10-year warranty with registration for petroleum applications only (contact your LSI representative for details).

#### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- State of California Title 24 Compliant with IMSBT or ALSC/ALSCS option.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- IDA compliant with 3000K or lower color temperature.







Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

# LifeStyle Small (XDLS)

## Outdoor Decorative Area Light



OVERVIEW	
Lumen Output Range	6,000 - 9,000
Wattage	76 - 106
Efficacy Range (LPW)	72 - 99
Fixture Weight lbs (kg)	24 (10.8)



### QUICK LINKS

[Ordering Guide](#)[Performance](#)[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Cast aluminum. Wiring emerges from crown through compression seal fitting to prevent water entry. One-piece silicone gasket seals crown to shade for water and dust-tight construction.
- Spun aluminum shade. Two shade styles available - A - Angle and B - Bell.
- Optical unit and aluminum door frame recessed into shade and sealed with one-piece silicone gasket.
- Door frame retaining fasteners are captive.
- Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.
- Luminaire is proudly made in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 24 lbs in carton.

### Optical System

- Select high-brightness LEDs in Cool White (5000K), Neutral White (4000K) or Warm White (3500K) color temperature. 70 CRI CW, 80 CRI NW and WW.
- Types 3, 5 and FT available.
- Clear tempered flat glass lens sealed with silicone gasket to door frame (includes pressure-stabilizing breather).

- Optical unit is tethered and provides access to driver.
- Zero uplight.

### Electrical

- LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature.
- Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (UE - 50/60Hz input), and 347-480VAC.
- Available in SS (Super Saver) and HO (High Output) drive currents (Drive currents are factory programmed.).
- Components are fully encased in potting material for moisture resistance.
- Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Operating temperature: -40°C to +50°C (-40°F to +122°F).
- 0-10V dimming (10% - 100%) Optional.

### Controls

- Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.
- Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

### Installation

- Classic Hook (CH) and Side Arm (SA - 4" O.D. minimum pole top required) available. See Steel Round Pole and Aluminum Round Pole data sheets for pole selection information.
- Side Arm pole mount requires LSI B3 reduced drilling pattern.
- Classic hook mount requires a 4" O.D. pole or tenon.

### Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

### Listings

- Listed to UL 1598 and UL 8750.
- Suitable for wet Locations.
- US patent 7,828,456 8,002,428, 8,177,386 8,434,893
- Specifications and dimensions subject to change without notice.





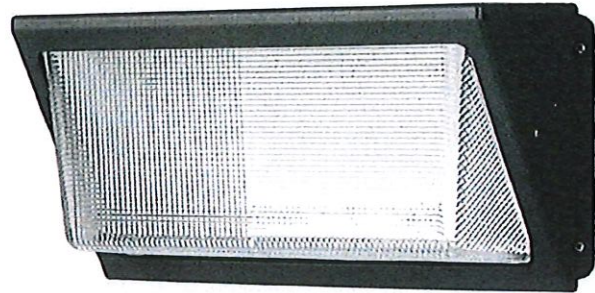


Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

# Traditional Wall Light Extra Large (TXWP)

## Wall Light



OVERVIEW	
Lumen Package	7,000 -13,000
Wattage Range	56 - 115
Efficacy Range (LPW)	108 - 124
Weight lbs (kg)	15 (6.8)

### QUICK LINKS

[Ordering Guide](#)

[Performance](#)

[Photometrics](#)

[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged traditional aluminum die cast housing provides proven environmental protection for LED modules.
- Traditional fixture design provides a familiar look and standard installation requirements.
- Retaining this look allows the ability to upgrade fixtures gradually, while retaining the same overall fixture appearance throughout a facility.
- Patent pending thermal stacking technology system features a unique internal design that allows for lower operating temperatures which results in a brighter, whiter light, more stable color and longer LED and driver life.
- LEDs manufactured for the TXWP series utilize Epoxy Guard conformal coating which reduces the chance of board corrosion.
- Weight: 15 lbs in carton.

### Optical System

- Tempered glass lens.
- Lens assembly is designed to provide high efficiency and to target the light where needed to satisfy outdoor lighting requirements.
- Positioning of the LEDs result in the light being directed to desired locations eliminating glare and offensive light.

- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377.
- Minimum CRI of 80.

### Electrical

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 Vac)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +40°C (-40°F to +104°F).
- Power factor: >0.90
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 4kV surge rating
- Optional 120v-277v integral emergency battery pack is available to meet critical life safety lighting requirements. The 90-minute batteries provide constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. Provides ~1,500 lumens of emergency illumination.

### Controls

- Optional factory installed electronic button photocontrol (apertures for field install).

### Installation

- Fixture retains the same knock-out sizes and positions as previous models, reducing wiring costs.

### Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on optional button photocell.
- 1 Year warranty on optional Battery Back Up. Test regularly in accordance with local codes.

### Listings

- Listed to UL 1598 and UL 8750.
- CSA Listed.
- Meets Buy American Act requirements.
- RoHS Compliant.
- Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions qualify.







Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

# Mirada Small Wall Sconce (XWS)

## Outdoor LED Wall Light







**IP65 IK10**


OVERVIEW	
Lumen Output Range	2,000 - 6,000
Wattage Range	15 - 52
Efficacy Range (LPW)	119 - 151
Luminaire Weight lbs (kg)	8 (3.6)

### QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Extended housing available with 1/2" threaded hubs for surface conduit and rated wire.
- Standard luminaire shipping weight: 10 lbs in carton.
- Max luminaire shipping weight (with back housing): 20 lbs in carton.

### Optical System

- Choice of acrylic lens or high impact resistant polycarbonate lens
- The lens is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire
- Reflector system with recessed light engine reduces glare and brightness.
- Forward Throw Wide and Medium distributions available.
- Optional diffused lens for reduced LED pixilation over the lens and maximum visual comfort.
- Zero uplight.
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377.
- Minimum CRI of 80

### Electrical

- High-performance driver features over-voltage under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L70 Calculated Life: >60k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F).
- Power factor: >.90
- Input power stays constant over life.
- Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance. Driver complies with FCC standards. Accessible driver and electrical components.
- Optional Dual Drivers/Circuit/Power Feeds.
- Optional battery backup provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. Standard battery rated for 0° to 50° with cold weather battery rated for -20°C to 50°. 120-277V Only.

### Controls

- Optional Integral passive Infrared Bluetooth™ motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.

- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

### Installation

- Universal wall mounting plate mounts directly to vertical surface or 4" junction box (octagonal or square).
- Luminaire hinges to the top of the mounting plate and is secured via two flush mount screws that help to conceal the hardware and prevent over tightening during installation.

### Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 2700K or 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP65 rated luminaire per IEC 60598-1.
- IK10 rated luminaire per IEC 66262 mechanical impact code with clear polycarbonate lens (MTP).
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product are DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

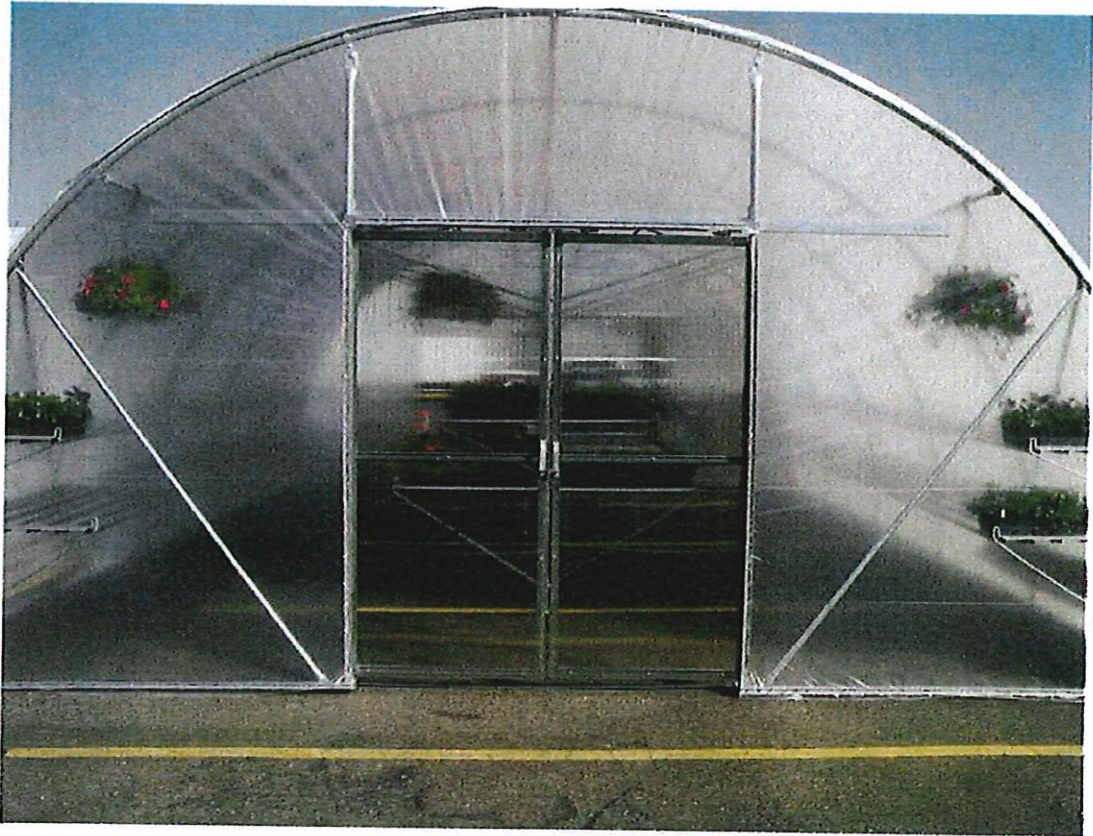


## Exhibit “B”



# Fleet Farm.

## SEASONAL OUTDOOR GARDEN CENTER GREENHOUSE



# Fleet Farm.

## SEASONAL OUTDOOR GARDEN CENTER SHADE STRUCTURE





# W-TRUSS

## shade structure system

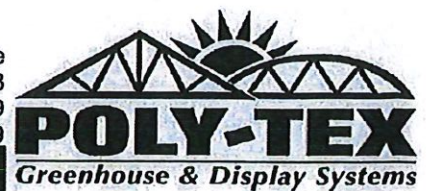
### INSTALLATION INSTRUCTIONS



P.O. Box 458  
27725 Danville Avenue  
Castle Rock, MN 55010  
[www.poly-tex.com](http://www.poly-tex.com)

REV. AD-120621

U.S. & Canada Toll Free  
800-852-3443  
(651) 463-7009  
fax (651) 463-2479



## Exhibit “C”



PET WASH



**All Paws Pet Wash  
for Fleet Farm  
RAL 2008**

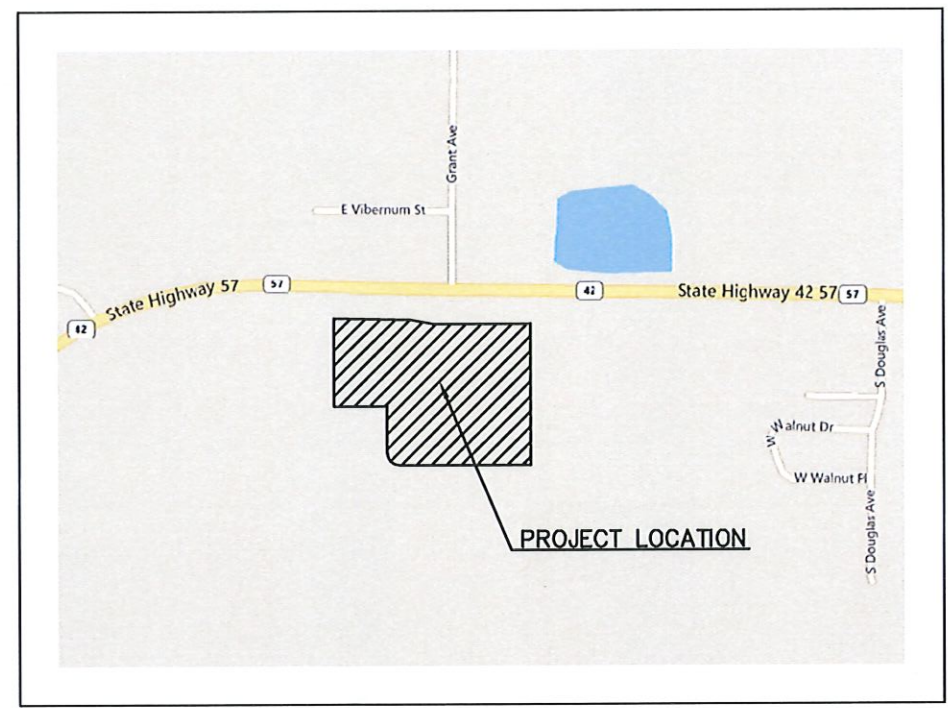


# PLAN COMMISSION SUBMITTAL CIVIL AND LANDSCAPE PLANS

## FOR FLEET FARM

### GREEN BAY ROAD (STH 42/57) CITY OF STURGEON BAY, WI

#### VICINITY MAP



#### LEGEND (PROPOSED FEATURES)

- TREE REMOVAL
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING BUILDING/STRUCTURE TO BE REMOVED
- SANICUT LINE
- PROPOSED PROPERTY LINE
- PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
- MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
- SIGN
- HEAVY-DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- COLORED AND STAMPED CONCRETE
- 

#### LEGEND

- ( ) INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILBOARD
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/VAN/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

#### ENGINEER AND LANDSCAPE ARCHITECT:

**raSmith**  
CREATIVITY BEYOND ENGINEERING  
16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

#### DEVELOPER / OWNER:

FLEET FARM  
CONTACT: FRANK STEEVES  
2401 SOUTH MEMORIAL DRIVE  
APPLETON, WI 54914  
PH.: (920) 731-8121

#### COMMUNITY:

CITY OF STURGEON BAY  
CONTACT: CHAD SHEFCHIK  
ENGINEERING DEPARTMENT  
421 MICHIGAN STREET  
STURGEON BAY, WI 54235  
PH.: (920) 746-2913

#### PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
C100	DEMOLITION PLAN
C200	INTERIM EROSION CONTROL PLAN
C201	FINAL EROSION CONTROL PLAN
C300	SITE PLAN
C400	GRADING PLAN
C500	SANITARY AND WATER UTILITY PLAN
C501	STORM SEWER UTILITY PLAN
C600	EROSION CONTROL DETAILS
C601	SITE DETAILS
C602	PAVING DETAILS
C603	UTILITY DETAILS
C604	POND DETAILS
C700	SPECIFICATIONS
L100	LANDSCAPE PLAN OVERALL
L200	LANDSCAPE PLAN - WEST
L201	LANDSCAPE PLAN - NORTHEAST
L202	LANDSCAPE PLAN - SOUTHEAST

#### BENCHMARKS:

- BM #1  
MAG SPIKE IN EAST FACE OF POWER POLE  
(WEST END OF ROW OFF GREEN BAY ROAD)  
#6144-19  
MEASURED E.L. = 724.56'
- BM #2  
MAG SPIKE IN NORTH FACE OF POWER POLE  
(OFF GREEN BAY ROAD ACROSS FROM  
GRANT AVE)  
#6144-3  
MEASURED E.L. = 725.28'
- BM #3  
MAG SPIKE IN NORTH FACE OF POWER POLE  
(EAST END OF ROW OFF GREEN BAY ROAD)  
#6144-3  
MEASURED E.L. = 720.90'

#### DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988  
(NAVD 1988)

#### HORIZONTAL DATUM:

WISCONSIN COUNTY REFERENCE SYSTEM (WISCRS)  
DOOR COUNTY, NAD 83 (2011)



Know what's below.  
Call before you dig.

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REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

PLAN DATE: 01/13/2023

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com



CREATIVITY BEYOND ENGINEERING  
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

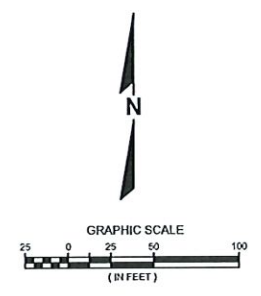
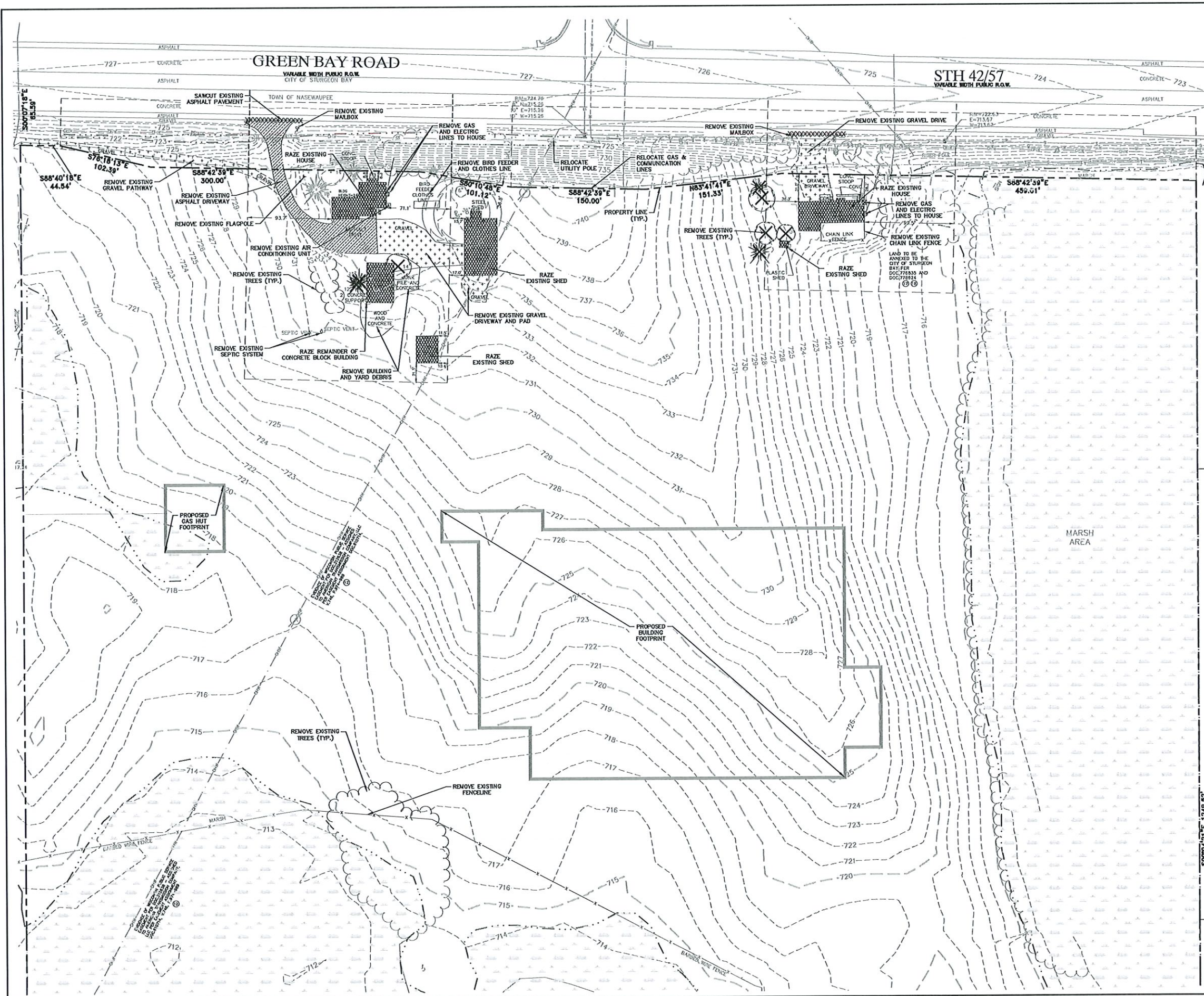
FLEET FARM  
CITY OF STURGEON BAY, WI

TITLE SHEET

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

© COPYRIGHT 2023 R.A. Smith, Inc.
DATE: 01/13/2023
SCALE: 1"=400'
JOB NO. 3220086
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: TJR
CHECKED BY: MPK
SHEET NUMBER C000





**LEGEND**

	PROPERTY LINE
	PROPOSED BUILDING FOOTPRINT
	PROPOSED LIMITS OF DISTURBANCE
	EXISTING 5-FT CONTOUR
	EXISTING 1-FT CONTOUR
	EXISTING UTILITY TO BE REMOVED
	SAWCUT LINE PAVEMENT
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	DELINEATED WETLANDS
	EXISTING TREE TO BE REMOVED

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

FLEET FARM  
CITY OF STURGEON BAY, WI  
DEMOLITION PLAN

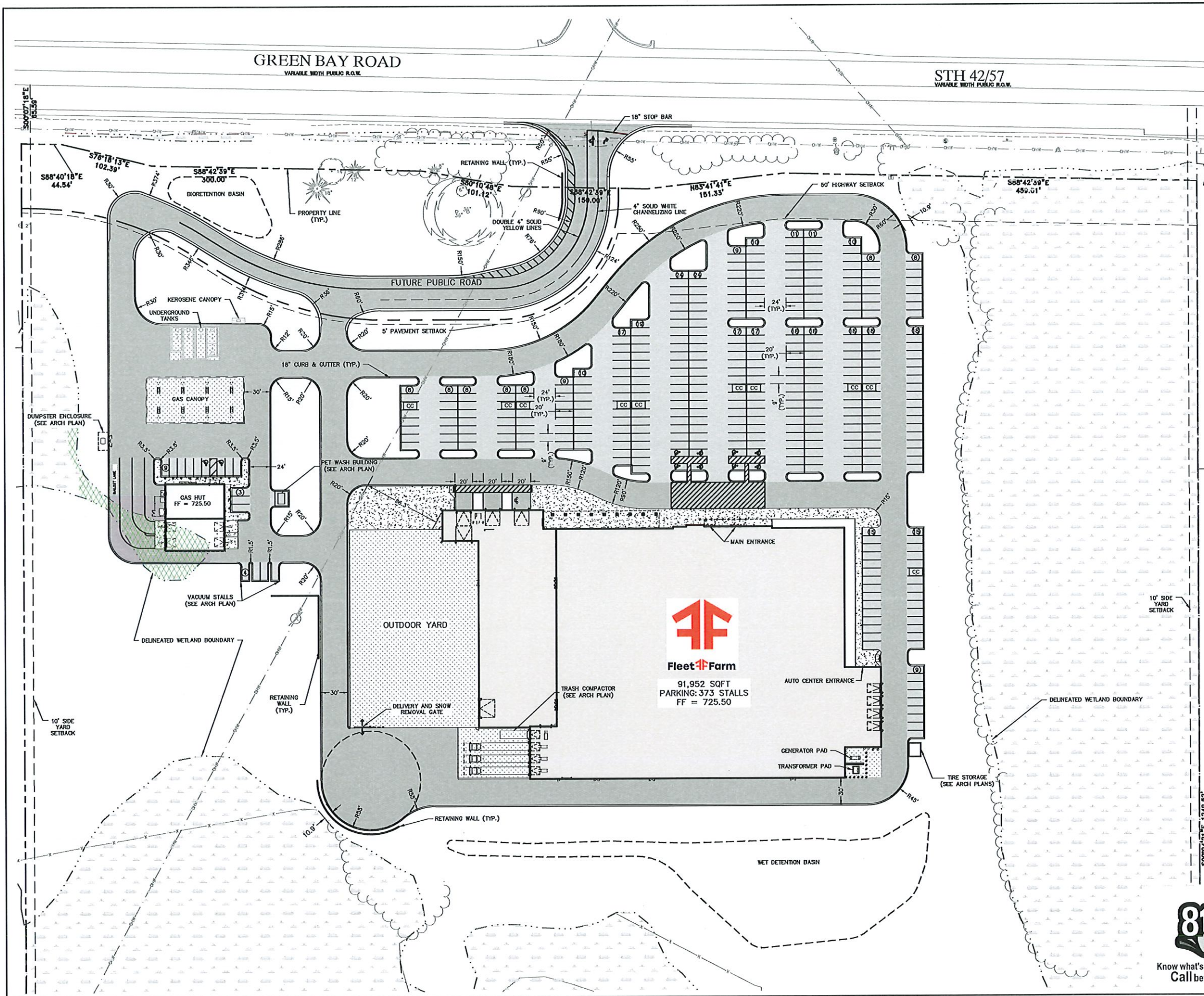
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

© COPYRIGHT 2023 R.A. Smith, Inc.
DATE: 01/13/2023
SCALE: 1" = 50'
JOB NO. 3220086
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: TJR
CHECKED BY: MPK
<b>SHEET NUMBER</b> C100

**811**  
Know what's below.  
Call before you dig.

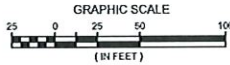
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GREEN BAY ROAD  
VARIABLE WIDTH PUBLIC R.O.W.

STH 42/57  
VARIABLE WIDTH PUBLIC R.O.W.



LEGEND

- PROPOSED 18" LOW SIDE CURB & GUTTER
- PROPOSED 18" HIGH SIDE CURB & GUTTER
- - - PROPERTY LINE
- [Pattern] HEAVY-DUTY CONCRETE PAVEMENT
- [Pattern] CONCRETE SIDEWALK
- [Pattern] HEAVY-DUTY ASPHALT PAVEMENT
- [Pattern] STANDARD-DUTY ASPHALT PAVEMENT
- (C) STALL PARKING COUNT
- CC CART CORRAL
- [Symbol] PROPOSED ACCESSIBLE PAVEMENT MARKING
- [Symbol] SIGN
- [Pattern] WETLAND DISTURBANCE

PARKING CALCULATIONS

PROVIDED MAIN PARKING  
373 PARKING SPACES  
PROVIDED BUILDING RATIO = 4.06/1000 SF OF BUILDING AREA  
PROVIDED C-STORE PARKING  
16 PARKING SPACES  
REQUIRED PARKING  
337 PARKING SPACES  
REQUIRED RATIO = 1.00/200 SF OF FLOOR AREA  
\*BASED ON 67,466 SQFT OF FLOOR AREA

ZONING

CURRENT ZONING: RURAL/AGRICULTURE  
PROPOSED USE: COMMERCIAL, C-1

GENERAL NOTES

1. EXISTING TOPOGRAPHY OBTAINED BY reSmith, DATED 07/08/2022.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBLES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF STURGEON BAY EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
4. ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB OR LIMITS OF PARKING. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING. ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED.
5. ALL RADII ARE 4.5' AT FACE OF CURB UNLESS OTHERWISE NOTED.

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-9938  
(262) 781-1000  
resmith.com

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Cedarburg, WI | Naperville, IL | Irvine, CA

FLEET FARM  
CITY OF STURGEON BAY, WI  
SITE PLAN

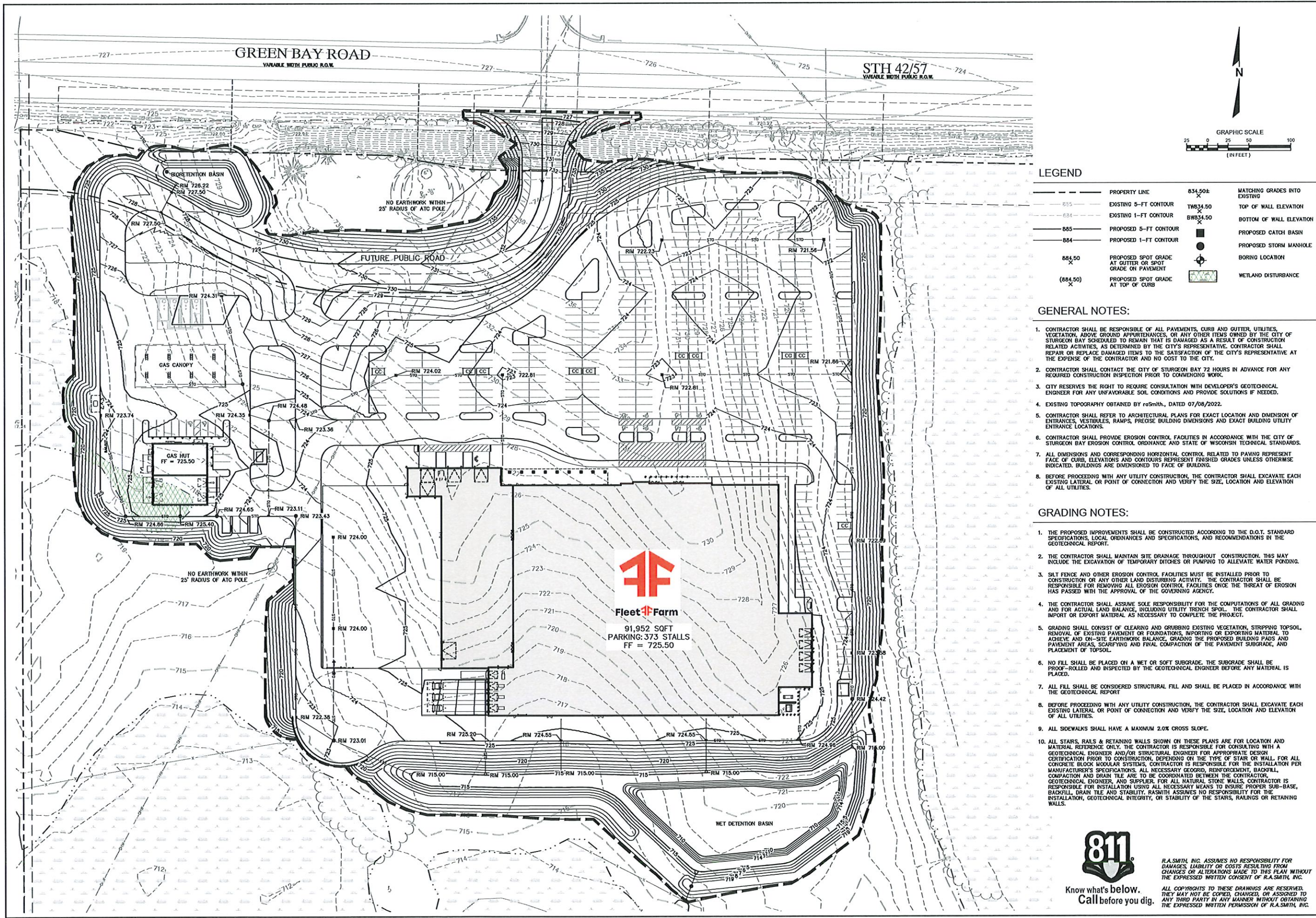
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CONSTRUCTION**

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DATE: 01/13/2023
SCALE: 1" = 50'
JOB NO. 3220086
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: TJR
CHECKED BY: MPK
SHEET NUMBER C300



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DATE	DESCRIPTION

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 (262) 781-1000  
 rasmith.com



**FLEET FARM**  
**CITY OF STURGEON BAY, WI**  
**GRADING PLAN**

**PRELIMINARY**  
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**CONSTRUCTION**

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DATE: 01/13/2023
SCALE: 1" = 50'
JOB NO. 3220086
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: JLM
CHECKED BY: MPK
<b>SHEET NUMBER</b> C400

**LEGEND**

- PROPERTY LINE
- - - 55 EXISTING 5-FT CONTOUR
- - - 64 EXISTING 1-FT CONTOUR
- - - 85 PROPOSED 5-FT CONTOUR
- - - 84 PROPOSED 1-FT CONTOUR
- 884.50 PROPOSED SPOT GRADE AT CUTTER OR SPOT GRADE ON PAVEMENT
- (884.50) PROPOSED SPOT GRADE AT TOP OF CURB
- 834.50± MATCHING GRADES INTO EXISTING
- TMB34.50 TOP OF WALL ELEVATION
- BWB34.50 BOTTOM OF WALL ELEVATION
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- ⊕ BORING LOCATION
- WETLAND DISTURBANCE

**GENERAL NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE OF ALL PAVEMENTS, CURB AND GUTTER, UTILITIES, VEGETATION, ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEMS OWNED BY THE CITY OF STURGEON BAY SCHEDULED TO REMAIN THAT IS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES, AS DETERMINED BY THE CITY'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED ITEMS TO THE SATISFACTION OF THE CITY'S REPRESENTATIVE AT THE EXPENSE OF THE CONTRACTOR AND NO COST TO THE CITY.
- CONTRACTOR SHALL CONTACT THE CITY OF STURGEON BAY 72 HOURS IN ADVANCE FOR ANY REQUIRED CONSTRUCTION INSPECTION PRIOR TO COMMENCING WORK.
- CITY RESERVES THE RIGHT TO REQUIRE CONSULTATION WITH DEVELOPER'S GEOTECHNICAL ENGINEER FOR ANY UNFAVORABLE SOIL CONDITIONS AND PROVIDE SOLUTIONS IF NEEDED.
- EXISTING TOPOGRAPHY OBTAINED BY raSmith, DATED 07/08/2022.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF STURGEON BAY EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

**GRADING NOTES:**

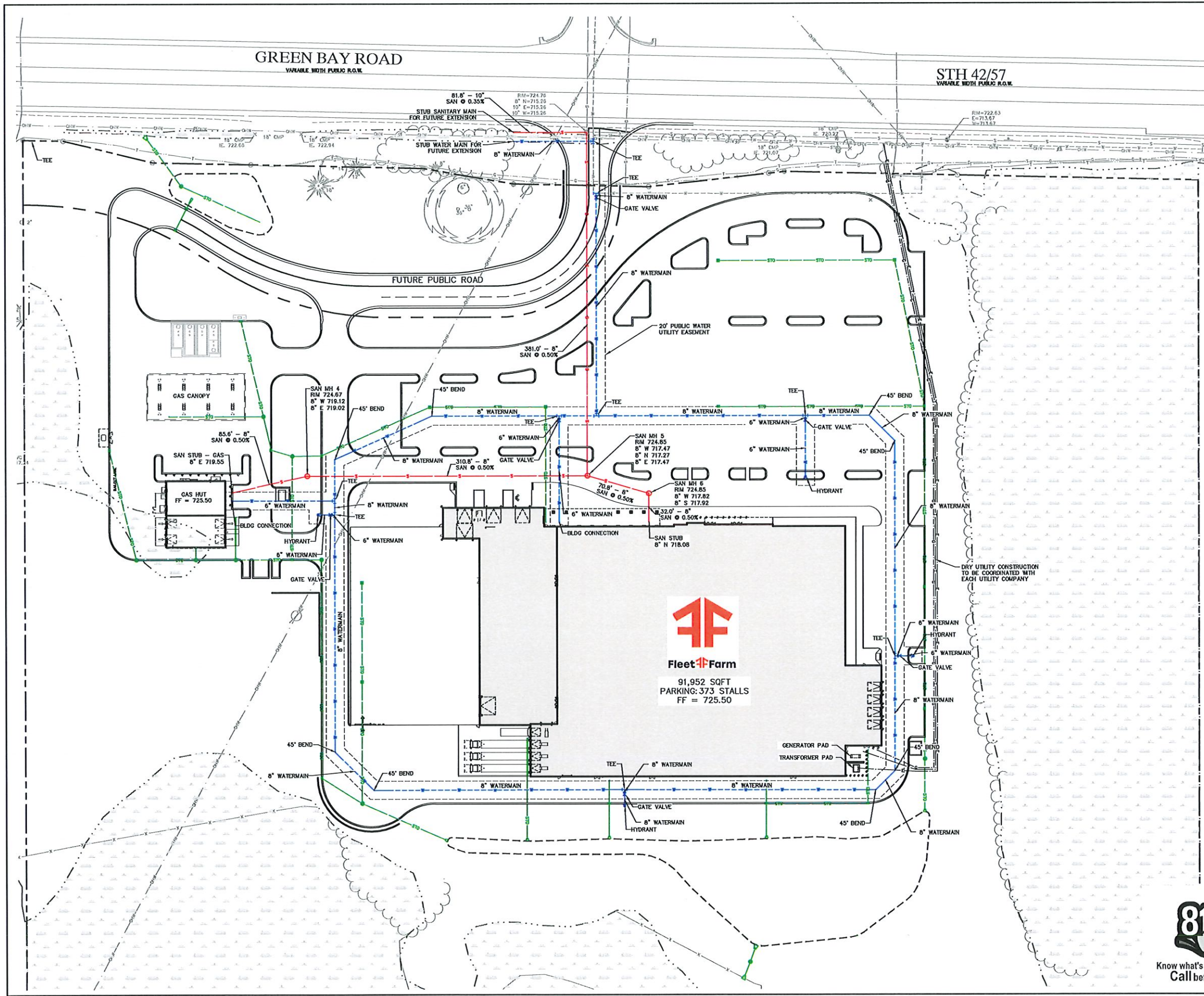
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPILL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- ALL SIDEWALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
- ALL STAIRS, RAILS & RETAINING WALLS SHOWN ON THESE PLANS ARE FOR LOCATION AND MATERIAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH A GEOTECHNICAL ENGINEER AND/OR STRUCTURAL ENGINEER FOR APPROPRIATE DESIGN. CERTIFICATION PRIOR TO CONSTRUCTION, DEPENDING ON THE TYPE OF STAIR OR WALL. FOR ALL CONCRETE BLOCK MODULAR SYSTEMS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL NECESSARY GEORIG, REINFORCEMENT, BACKFILL, COMPACTION AND DRAIN TILE ARE TO BE COORDINATED BETWEEN THE CONTRACTOR, GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL NATURAL STONE WALLS, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION USING ALL NECESSARY MEANS TO INSURE PROPER SUB-BASE, BACKFILL, DRAIN TILE AND STABILITY. RASMITH ASSUMES NO RESPONSIBILITY FOR THE INSTALLATION, GEOTECHNICAL INTEGRITY, OR STABILITY OF THE STAIRS, RAILINGS OR RETAINING WALLS.



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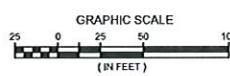
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GREEN BAY ROAD  
VARIABLE WIDTH PUBLIC R.O.W.

STH 42/57  
VARIABLE WIDTH PUBLIC R.O.W.



**LEGEND**

- PROPERTY LINE
- S10- EXISTING STORM SEWER
- S EXISTING SANITARY SEWER
- W EXISTING WATERMAIN
- S10- PROPOSED STORM SEWER
- S PROPOSED SANITARY SEWER
- W PROPOSED WATERMAIN
- E PROPOSED UTILITY EASEMENT
- G PROPOSED GAS LINE
- E PROPOSED ELECTRIC LINE
- T PROPOSED TELEPHONE LINE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED SANITARY STRUCTURE
- ▲ PROPOSED WATER STRUCTURE

**GENERAL NOTES:**

1. EXISTING TOPOGRAPHY OBTAINED BY roSmith, DATED 07/08/2022.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMP, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
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5. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

**UTILITY NOTES:**

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
2. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER LATERAL CROSSES UNDER SEWER. MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER LATERAL CROSSES OVER SEWER. PROVIDE INSULATION BETWEEN WATER MAIN & LATERALS AND SEWER CROSSINGS WHERE THE VERTICAL SEPARATION IS LESS THAN 2.0'.
3. WATER SERVICE AND ASSOCIATED STRUCTURES ARE TO CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
4. PROVIDE GRANULAR BACKFILL FOR WATER MAIN IN ALL PAVED AREAS. PROVIDE SPOIL BACKFILL FOR WATER MAIN OUTSIDE OF PAVED AREAS.
5. ALL WATER SERVICE JOINTS SHALL BE RESTRAINED WITH MEGALUGS.
6. ALL SANITARY SEWER AND WATER TO BE INSTALLED IN ACCORDANCE WITH STURGEON BAY WATER UTILITY STANDARDS.
7. ALL APPLICATIONS AND FEES FOR SANITARY SEWER AND WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER/WATER SYSTEMS.
8. ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY CITY OF STURGEON BAY 48 HOURS IN ADVANCE OF CONNECTING TO SEWER.
9. ALL WATER GREATER THAN 2" IN DIAMETER SHALL BE D.P.P. CLASS 150 AND CONFORM TO ANWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.10.0 OF SSSNWC.
10. ALL WATER 2" IN DIAMETER AND LESS SHALL BE TYPE "K" COPPER IN ACCORDANCE WITH SECTION 8.24.0 OF SSSNWC AND CONFORM TO ASTM B88.
11. ALL SANITARY SEWER SHALL BE POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.10.6 AND 8.41.4 OF SSSNWC.



**Fleet Farm**  
91,952 SQFT  
PARKING: 373 STALLS  
FF = 725.50

DRY UTILITY CONSTRUCTION TO BE COORDINATED WITH EACH UTILITY COMPANY

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rosmith.com

**roSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

**FLEET FARM  
CITY OF STURGEON BAY, WI  
SANITARY AND WATER  
UTILITY PLAN**

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NOT FOR  
CONSTRUCTION**

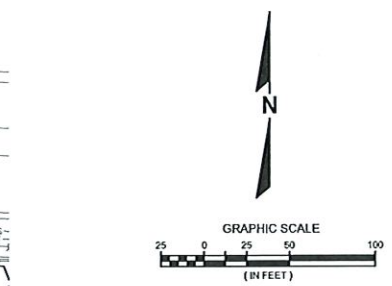
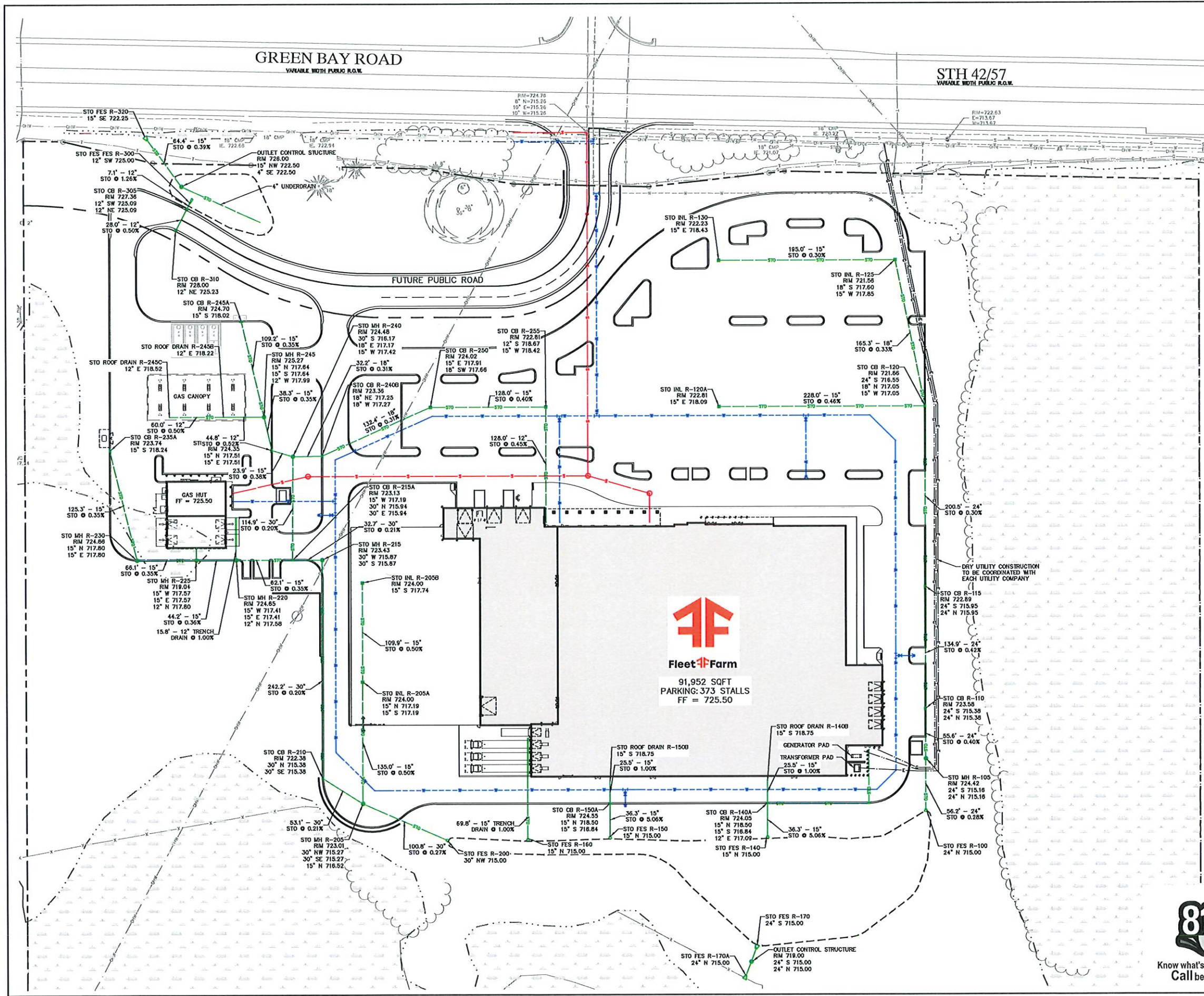


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DATE: 01/13/2023
SCALE: 1" = 50'
JOB NO. 3220086
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: JLM
CHECKED BY: MPK
<b>SHEET NUMBER</b> C500





- LEGEND**
- PROPERTY LINE
  - - - - - STO EXISTING STORM SEWER
  - - - - - S EXISTING SANITARY SEWER
  - - - - - W EXISTING WATERMAIN
  - - - - - STO PROPOSED STORM SEWER
  - - - - - S PROPOSED SANITARY SEWER
  - - - - - W PROPOSED WATERMAIN
  - - - - - U PROPOSED UTILITY EASEMENT
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- GENERAL NOTES:**
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  - ALL STORM SEWER GREATER THAN 24" IN DIAMETER SHALL BE POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS CONFORMING TO ASTM D3212.
  - ALL STORM SEWER 24" IN DIAMETER AND LESS SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS SHALL BE ADS N12 WT AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.

DATE	DESCRIPTION

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Brookfield, WI 53005-5938  
(262) 781-1000  
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FLEET FARM  
CITY OF STURGEON BAY, WI  
STORM SEWER  
UTILITY PLAN

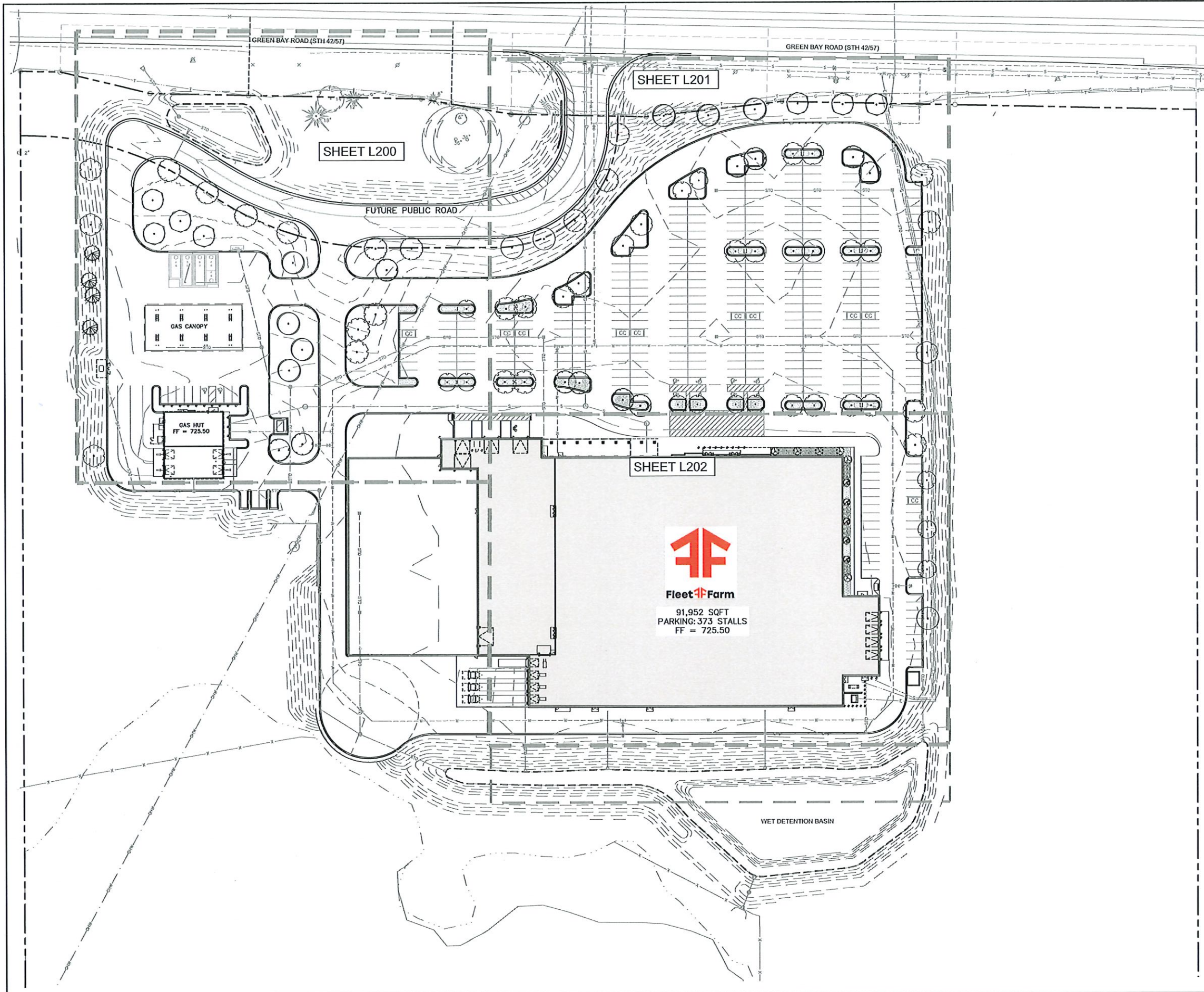
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JOB NO. 3220086
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: TJR
CHECKED BY: MPK
<b>SHEET NUMBER</b> C501

**811**  
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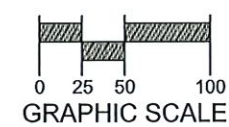
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 Cedarburg, WI | Naperville, IL | Irvine, CA

FLEET FARM  
 CITY OF STURGEON BAY, WI  
 LANDSCAPE PLAN  
 OVERALL

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DESIGNED BY: REW/NJW
CHECKED BY: MPK
<b>SHEET NUMBER</b> L100

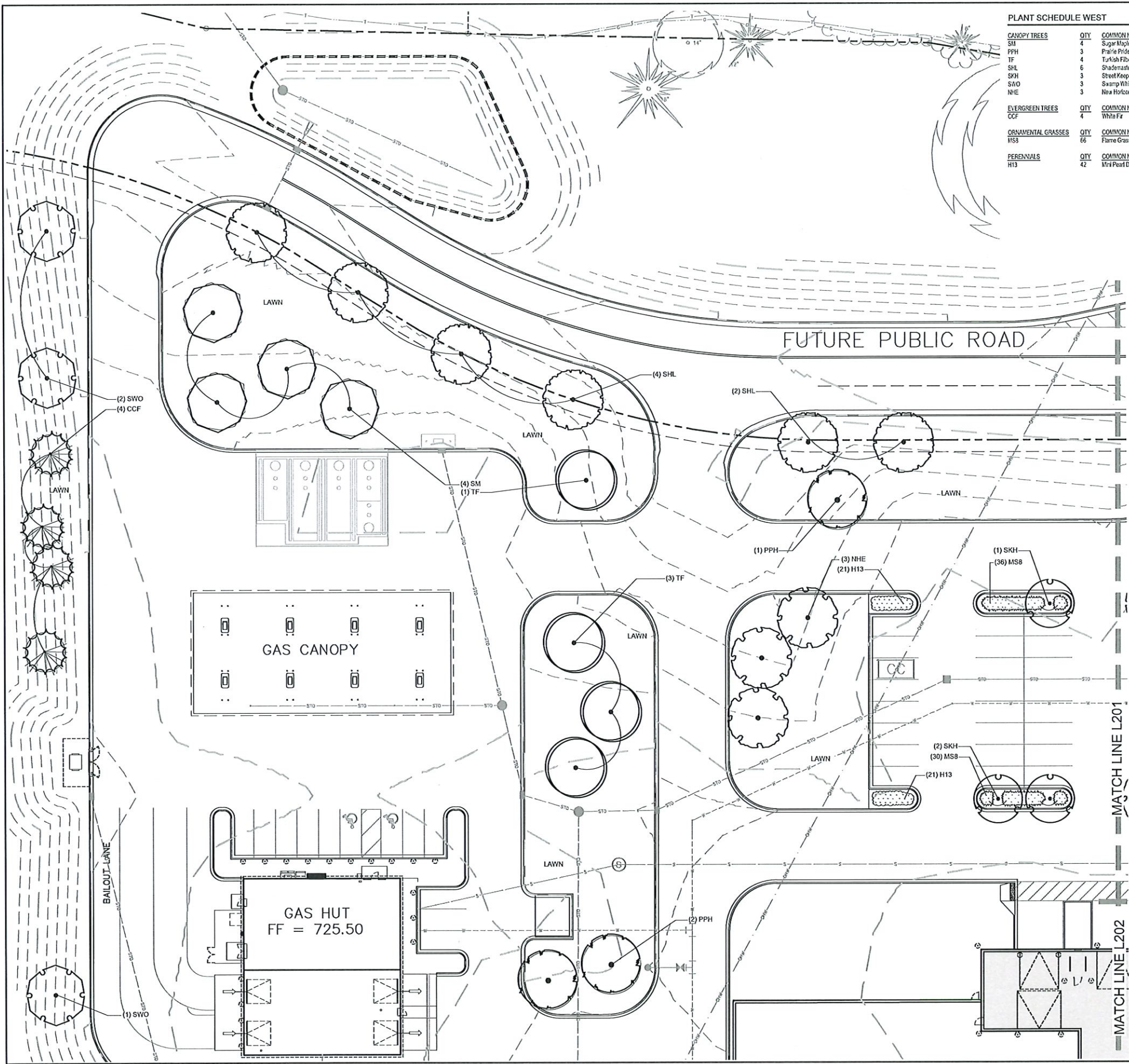


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**PLANT SCHEDULE WEST**

CANOPY TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS	MATURE SIZE
SM	4	Sugar Maple	<i>Acer saccharum</i>	2 1/2" CAL	B&B	Full, matching heads	60 x 50
PPH	3	Prairie Pride Hackberry	<i>Celtis occidentalis 'Prairie Pride'</i>	2 1/2" CAL	B&B	Full, matching heads	50 x 40
TF	4	Turkish Fibert	<i>Corylus colurna</i>	2 1/2" CAL	B&B	Full and evenly branched	45 x 30
SHL	6	Shadblow Locust	<i>Glodinia bicartha Inermis 'Shadblow'</i>	2 1/2" CAL	B&B	Full, matching heads	60 x 35
SKH	3	Street Keeper Honey Locust	<i>Glodinia bicartha 'Draves'</i>	2 1/2" CAL	B&B	Full, matching heads	45 x 20
S&O	3	Swamp White Oak	<i>Quercus bicolor</i>	2 1/2" CAL	B&B	Full, matching heads	75 x 65
NHE	3	New Horizon Elm	<i>Ulmus x 'New Horizon'</i>	2 1/2" CAL	B&B	Full, matching heads	50 x 40
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS	MATURE SIZE
OCF	4	White Fir	<i>Abies concolor</i>	6'-7' HT	B&B	Semi-spread, fully branched to ground	40 x 30
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS	MATURE SIZE
MS3	66	Flame Grass	<i>Miscanthus purpurascens</i>	1 GAL	POT	36" Spacing	4 x 2
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS	MATURE SIZE
H13	42	Mini Pearl Daylily	<i>Hemerocallis x 'Mini Pearl'</i>	4 1/2"	POT	18" Spacing	1.5 x 2



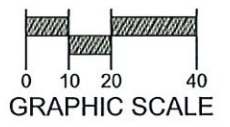
FUTURE PUBLIC ROAD

GAS CANOPY

GAS HUT  
FF = 725.50

MATCH LINE L201

MATCH LINE L202



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FLEET FARM  
CITY OF STURGEON BAY, WI  
LANDSCAPE PLAN  
WEST

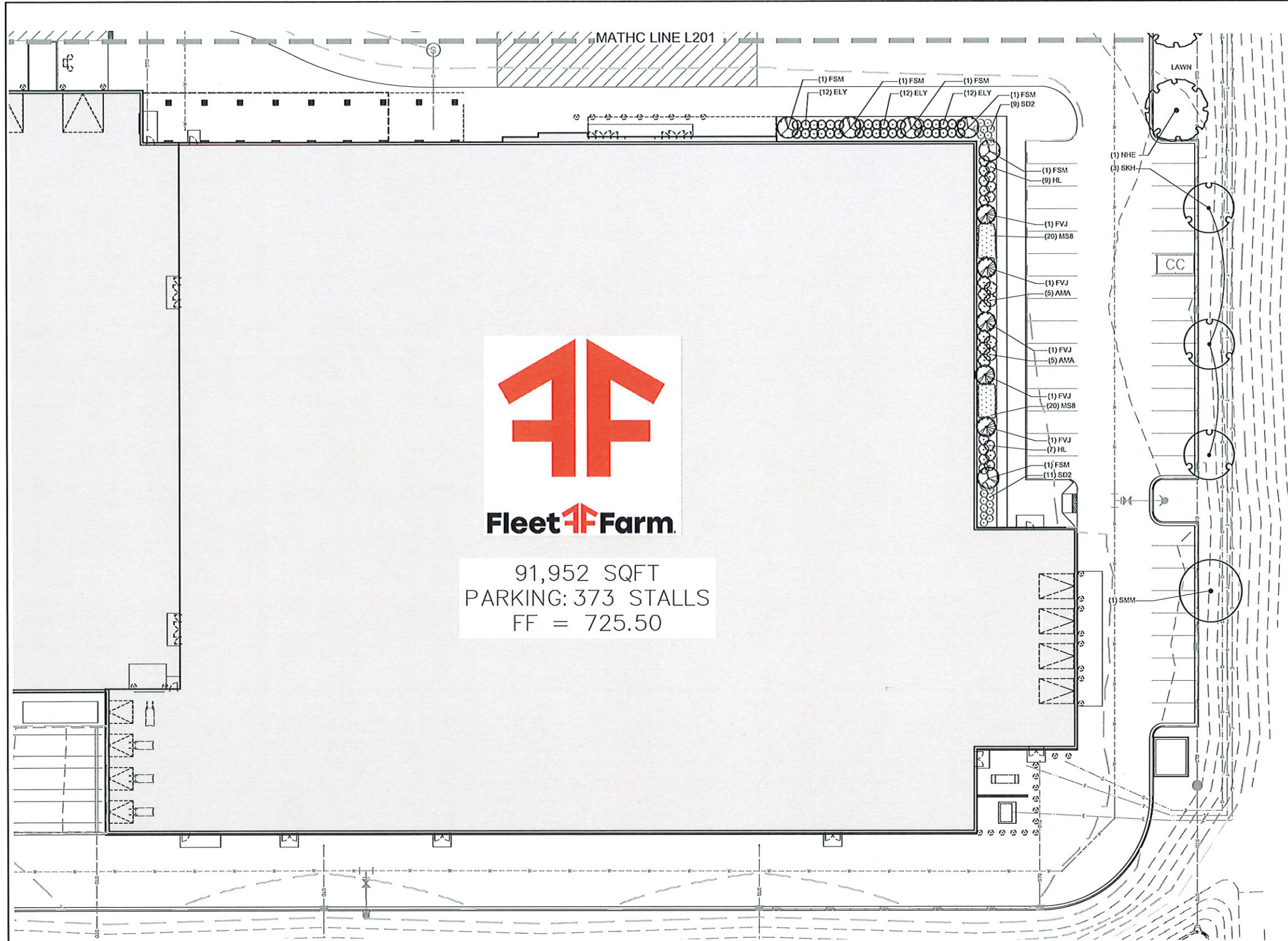
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DESIGNED BY: REW/NJW
CHECKED BY: MPK
SHEET NUMBER L200









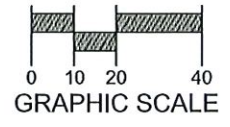
**Fleet Farm**

91,952 SQFT  
 PARKING: 373 STALLS  
 FF = 725.50

**PLANT SCHEDULE SOUTH EAST**

QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS	MATURE SIZE
1	State Street Myrtle Maple	<i>Acer myrtalis</i> 'Worlon'™	2 1/2" CAL	B&B	Full, maturing heads	50' x 40'
3	Street Keeper Honey Locust	<i>Gleditsia triacanthos</i> 'Draves'	2 1/2" CAL	B&B	Full, maturing heads	45' x 20'
1	New Horizon Elm	<i>Ulmus x 'New Horizon'</i>	2 1/2" CAL	B&B	Full, maturing heads	50' x 40'
6	Firepit Maple	<i>Carpinus caroliniana</i> 'Firepit'™	2 1/2" CAL	B&B	Full, maturing heads	20' x 10'
5	FairView Juniper	<i>Juniperus chinensis</i> 'FairView'	6' HT	B&B	Semi-sheared, fully branched to ground	15' x 8'
10	Autumn Magic Black Chokeberry	<i>Aronia melanocarpa</i> 'Autumn Magic'	24" HT	CONT.		4' x 5'
16	Little Quick Fire Hydrangea	<i>Hydrangea paniculata</i> 'Little Quick Fire'	18" HT	CONT.		4' x 4'
20	Double Play Double Spirea	<i>Spiraea x 'NCSAZ'</i> ™	18" HT	CONT.		3' x 3'

QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS	MATURE SIZE
35	EverGra Yew	<i>Taxus x media</i> 'EverGra'	18" HT	B&B		3' x 4'
40	Flame Grass	<i>Miscanthus purpurascens</i>	1 GAL	POT	30" Spacing	4' x 2'



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DESCRIPTION	DATE
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16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com CREATIVITY BEYOND ENGINEERING	
FLEET FARM CITY OF STURGEON BAY, WI LANDSCAPE PLAN SOUTH EAST	
<b>PRELIMINARY                  NOT FOR                  CONSTRUCTION</b>	
© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 01/13/2023 SCALE: 1" = 20' JOB NO. 3220086 PROJECT MANAGER: MATT P. KOCIOUREK, P.E. DESIGNED BY: REW/NJW CHECKED BY: MPK	
SHEET NUMBER <b>L202</b>	



# NEW CONSTRUCTION FOR: FLEET FARM STURGEON BAY, WISCONSIN



## MATERIAL INDEX-PLANS, SECTIONS

	EARTH		FINISHED LUMBER
	COMPACTED FILL		RIGID INSULATION
	GRAVEL FILL		BATT INSULATION
	CERAMIC TILE		DRYWALL
	POURED CONCRETE		STEEL
	CONCRETE BLOCK		PRECAST CONCRETE
	CONCRETE BLOCK FILLED		ACOUSTIC TILE
	FACE BRICK		BITUMINOUS PAVING
	STONE		EXISTING WALL TO BE REMOVED
	ROUGH LUMBER		EXISTING WALL TO REMAIN
	PLYWOOD		CONSTRUCT NEW WALL

## REFERENCE SYMBOLS

<b>SECTION CUT SYMBOL (WALL SECTIONS)</b>	
	SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION)
	DRAWING NUMBER ON WHICH SECTION APPEARS
<b>PLAN DETAIL / ENLARGED PLAN SYMBOL</b>	
	DETAIL NUMBER
	DRAWING NUMBER ON WHICH DETAIL APPEARS
<b>DETAIL CUT SYMBOL</b>	
	DETAIL NUMBER
	DRAWING NUMBER ON WHICH DETAIL APPEARS
	Name Elevation ELEVATION MARK - NEW
	Name Elevation ELEVATION MARK - EXISTING

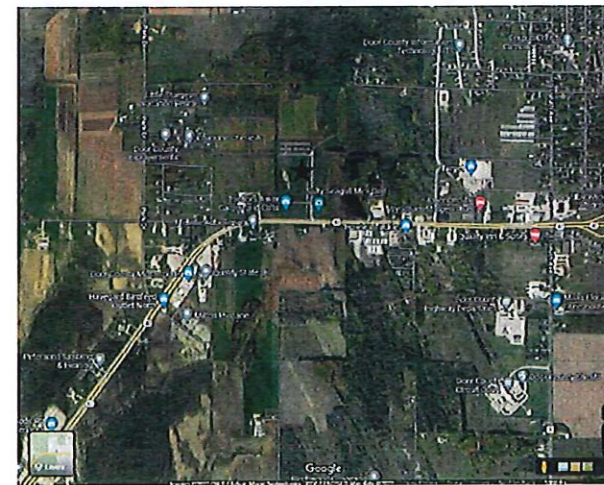
## DRAWING SYMBOLS

	DOOR TAG
	REVISION NUMBER
	WINDOW TAG
	COLUMN LINE DESIGNATION - NEW
	WALL TYPE
	UP STAIRWAY DIRECTION INDICATION
	KEYNOTE MARK - ACCESSORIES
	KEYNOTE MARK - DEMOLITION NOTES
	KEYNOTE MARK - PLAN NOTES
	10'-0" A.F.S. SPOT ELEVATION MARKER

PROJECT DATA	
GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	INTERNATIONAL BUILDING CODE 2015
CLASS OF CONSTRUCTION	BB
OCCUPANCY CLASSIFICATION	BUSINESS (B) MERCHANDISE (M), STORAGE (S-1)
LOCAL ZONING AUTHORITY	CITY OF STURGEON BAY
BUILDING SPRINKLED	YES
BUILDING AREA:	
FIRST FLOOR:	115,507 S.F.
TWO MEZZANINE:	1,211 S.F.
BACK-OF-HOUSE MEZZANINE:	723 S.F.
TOTAL BUILDING SQ. FT.:	117,441 S.F.

## PROJECT LOCATION

RACINE AVE & COLLEGE AVE  
MUSKEGO, WISCONSIN



**NOTE:**  
THE INTENT AND MEANING OF THE CONSTRUCTION DOCUMENTS IS THAT THE CONTRACTOR UNDER THE TERMS OF THE CONTRACT SHALL TAKE ALL ACTIONS NECESSARY AND REQUIRED TO PROVIDE ALL LABOR, MATERIALS, SUPPLIES, EQUIPMENT, TRANSPORTATION, FACILITIES AND APPURTENANCES WHICH ARE INDICATED OR REASONABLY IMPLIED BY EACH DRAWING AND EACH SECTION OF THE SPECIFICATIONS, ALL OF WHICH ARE COLLECTIVELY NECESSARY AND REQUIRED FOR THE CONSTRUCTION OF THE DESCRIBED STRUCTURES AND FACILITIES.

**NOTE:**  
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK.

## SHEET INDEX

C-S COVER SHEET

### ARCHITECTURAL

- A-1.0 OVERALL FLOOR PLAN
- A-1.1 MAIN RETAIL BUILDING FLOOR PLAN
- A-1.2 MAIN RETAIL FLOOR PLAN - AREA A
- A-1.3 MAIN RETAIL FLOOR PLAN - AREA B
- A-1.4 MAIN RETAIL FLOOR PLAN - AREA C
- A-1.5 MAIN RETAIL FLOOR PLAN - AREA D
- A-1.6 EXTERIOR/COVERED YARD FLOOR PLAN
- A-1.7 CANOPY & MEZZANINE PLANS
- A-2.0 SITE BUILDINGS
- A-2.1 SITE BUILDINGS
- A-2.2 ROOM SCHEDULE & WALL TYPES
- A-4.0 EXTERIOR BUILDING ELEVATIONS
- A-4.1 ELEVATION KEY NOTES
- A-5.1 BUILDING SECTIONS
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- A-8.2 ROOF PLAN - AUTO CENTER & COVERED YARD ENTRY
- A-10.0 3D PERSPECTIVES

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- S-0.1 GENERAL NOTES & SCHEDULES
- S-1.2 FOUNDATION PLAN - AREA A
- S-1.3 FOUNDATION PLAN - AREA B
- S-1.4 FOUNDATION PLAN - AREA C
- S-1.5 FOUNDATION PLAN - AREA D
- S-1.6 FOUNDATION PLAN - COVERED YARD AREA A
- S-1.7 FOUNDATION PLAN - COVERED YARD AREA D
- S-4.0 FOUNDATION DETAILS

## CONSULTANTS

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500 N. COMMERCIAL STREET  
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NEW CONSTRUCTION FOR:  
**FLEET FARM**  
STURGEON BAY, WISCONSIN

BID DOCUMENT SET (09-13-2022)

date: 10/26/2022

job: 23-113

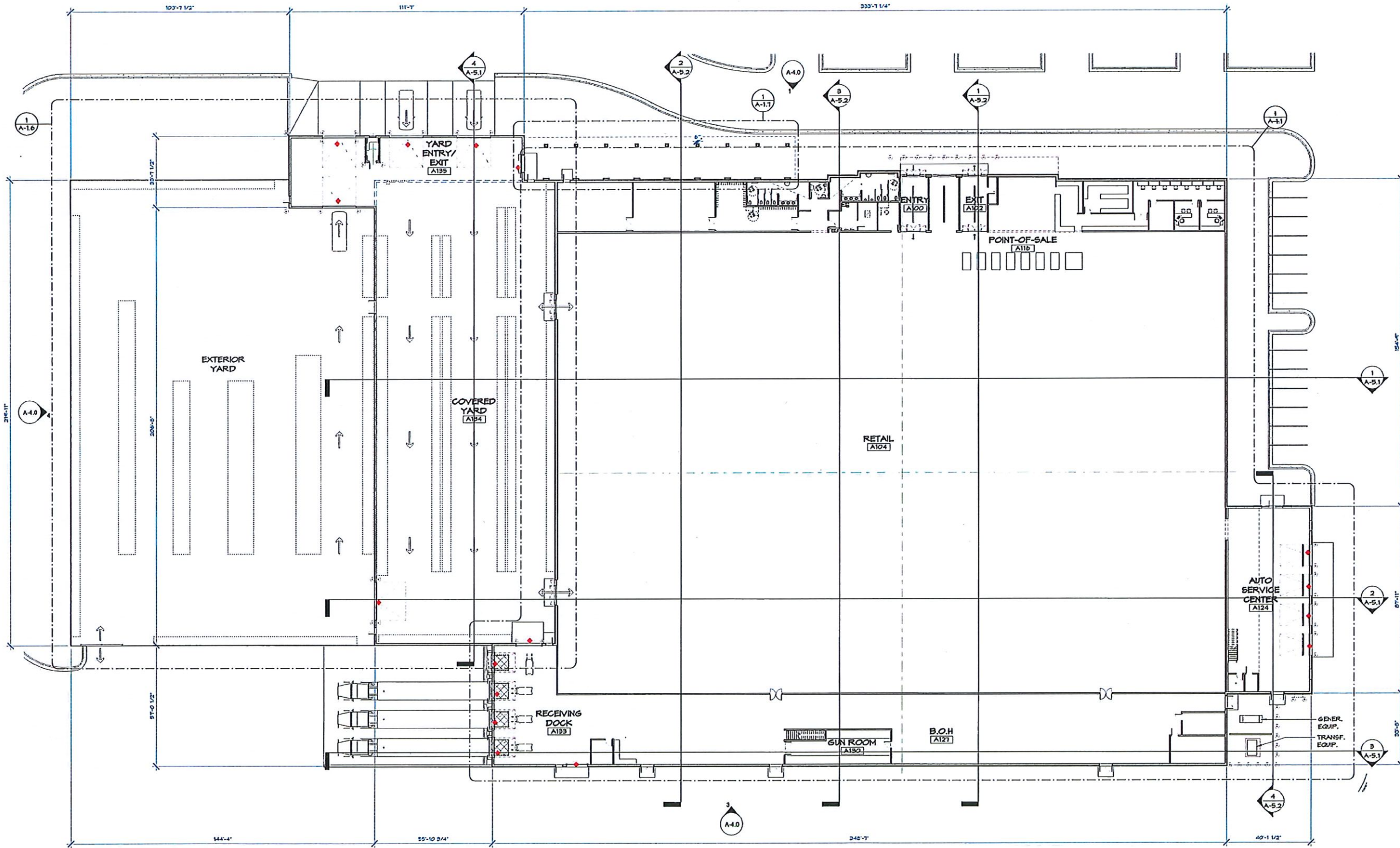
d. by: DMH

rev.:

C-S



DIMENSION NOTE:  
ALL EXTERIOR WALL  
DIMENSIONS ARE TO  
EXTERIOR FACE OF  
WALL GIRT, UNLESS  
NOTED OTHERWISE, TYP.



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STURGEON BAY, WISCONSIN

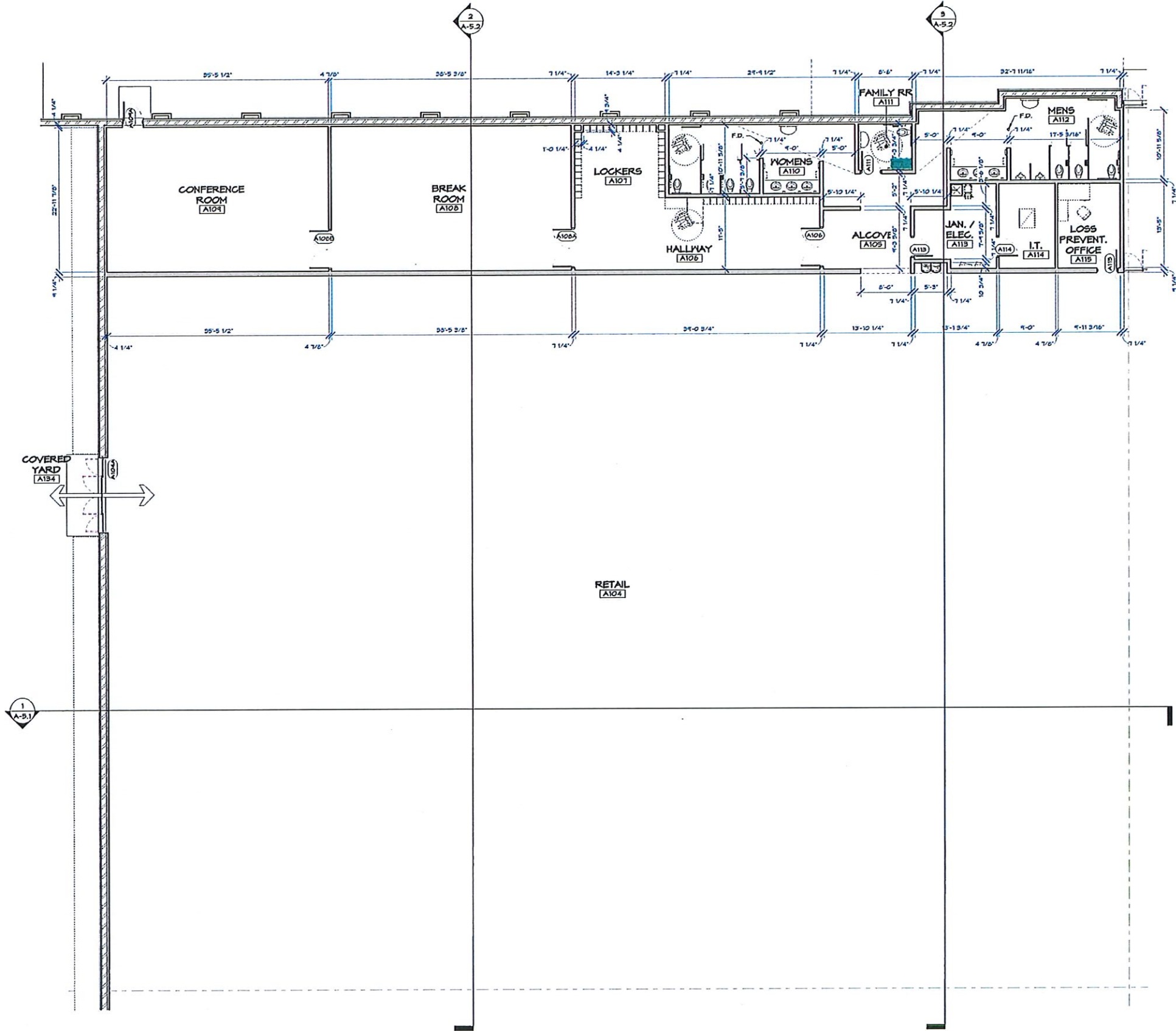
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rev.:

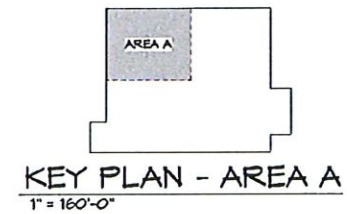
**A-1.0**

 **LEVEL 01 - OVERALL FLOOR PLAN**  
A-1.0 3/64" = 1'-0"





1 LEVEL 01 - MAIN RETAIL FLOOR PLAN - AREA A  
A-12 1/8" = 1'-0"



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date: 10/26/2022  
job: 22-113  
d. by: DMH  
rev.:

A-1.2

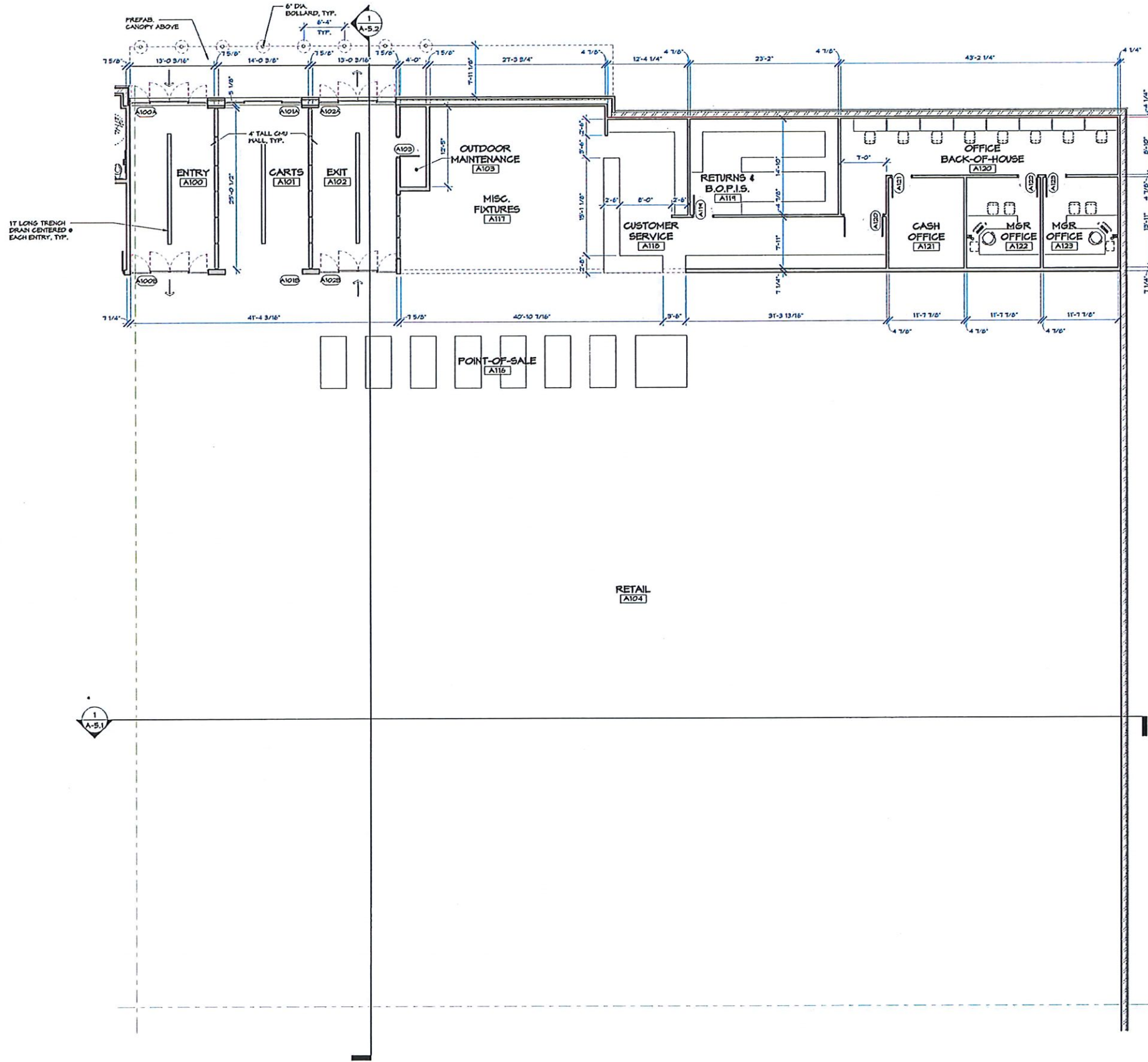
NEW CONSTRUCTION FOR:  
**FLEET FARM**  
STURGEON BAY, WISCONSIN



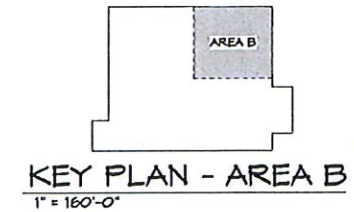
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1 LEVEL 01 - MAIN RETAIL FLOOR PLAN - AREA B  
 1 A-1.3 1/8" = 1'-0"



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 d. by: BRS, DAW  
 rev.:

A-1.3

NEW CONSTRUCTION FOR:  
**FLEET FARM**  
 STURGEON BAY, WISCONSIN



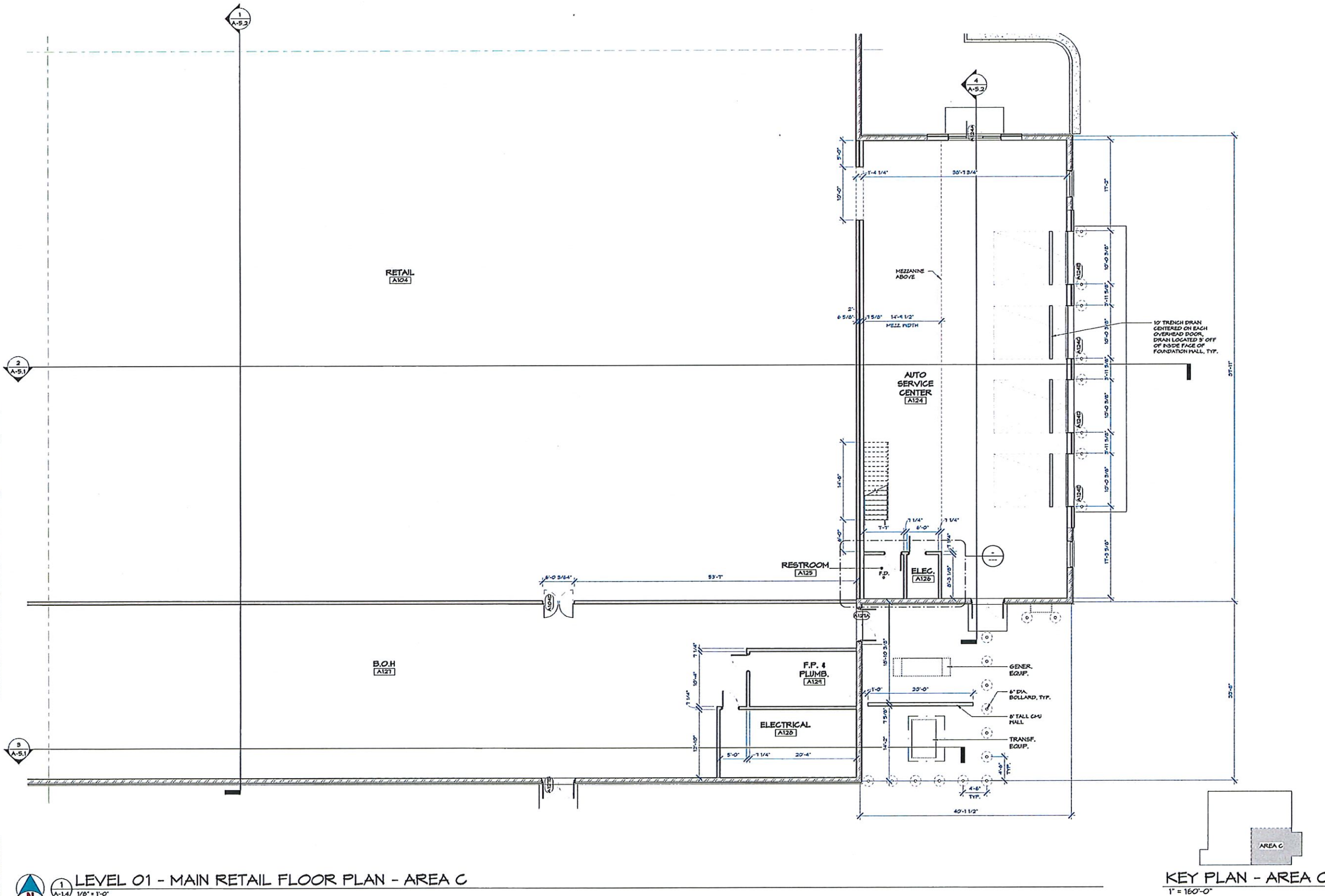
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1 LEVEL 01 - MAIN RETAIL FLOOR PLAN - AREA C  
1/8" = 1'-0"



KEY PLAN - AREA C  
1" = 160'-0"

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 rev.:

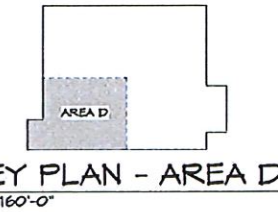
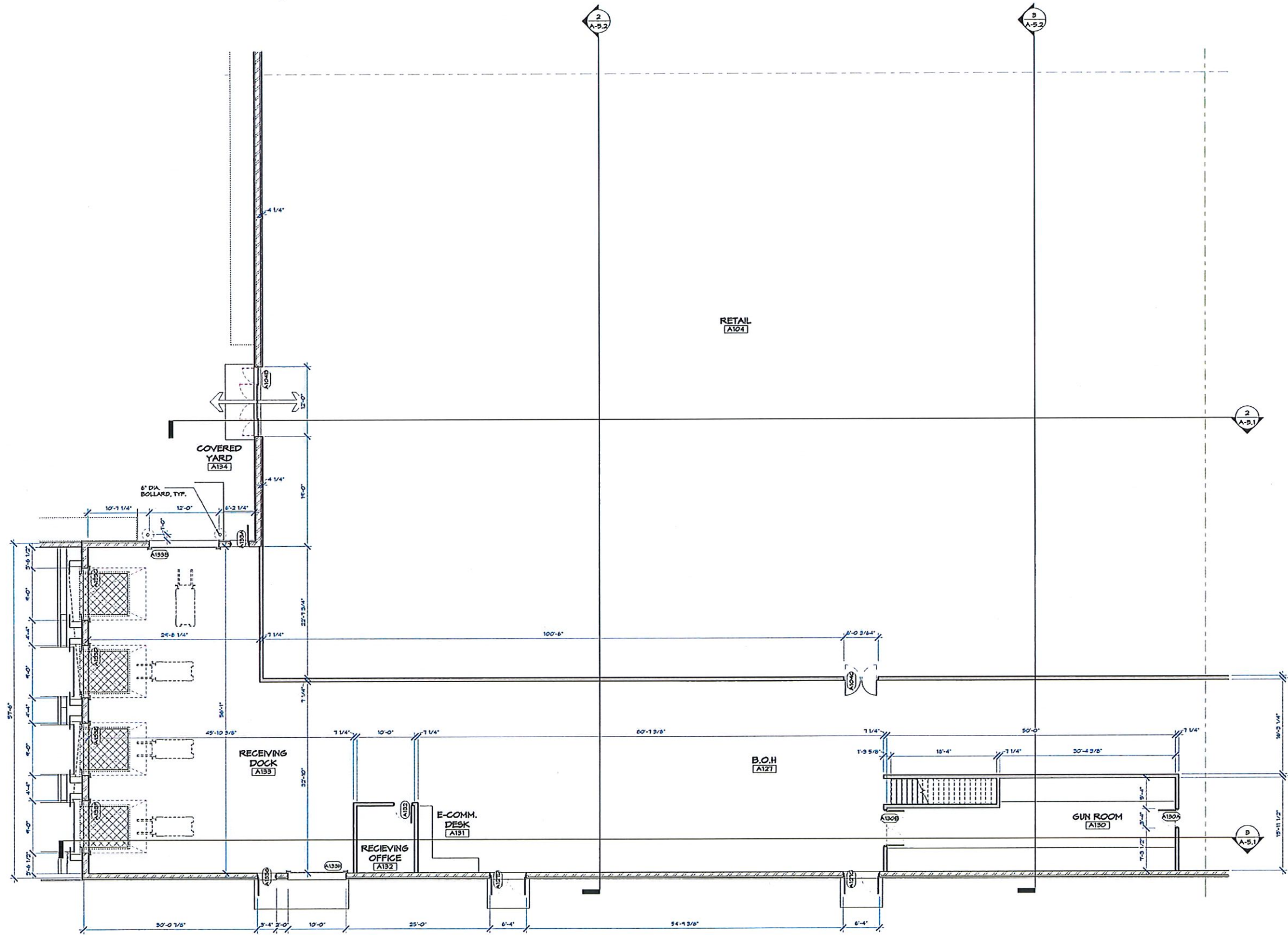
A-1.4

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FLEET FARM  
STURGEON BAY, WISCONSIN



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KEY PLAN - AREA D  
1" = 160'-0"

1 LEVEL 01 - MAIN RETAIL FLOOR PLAN - AREA D  
A-15 1/8" = 1'-0"



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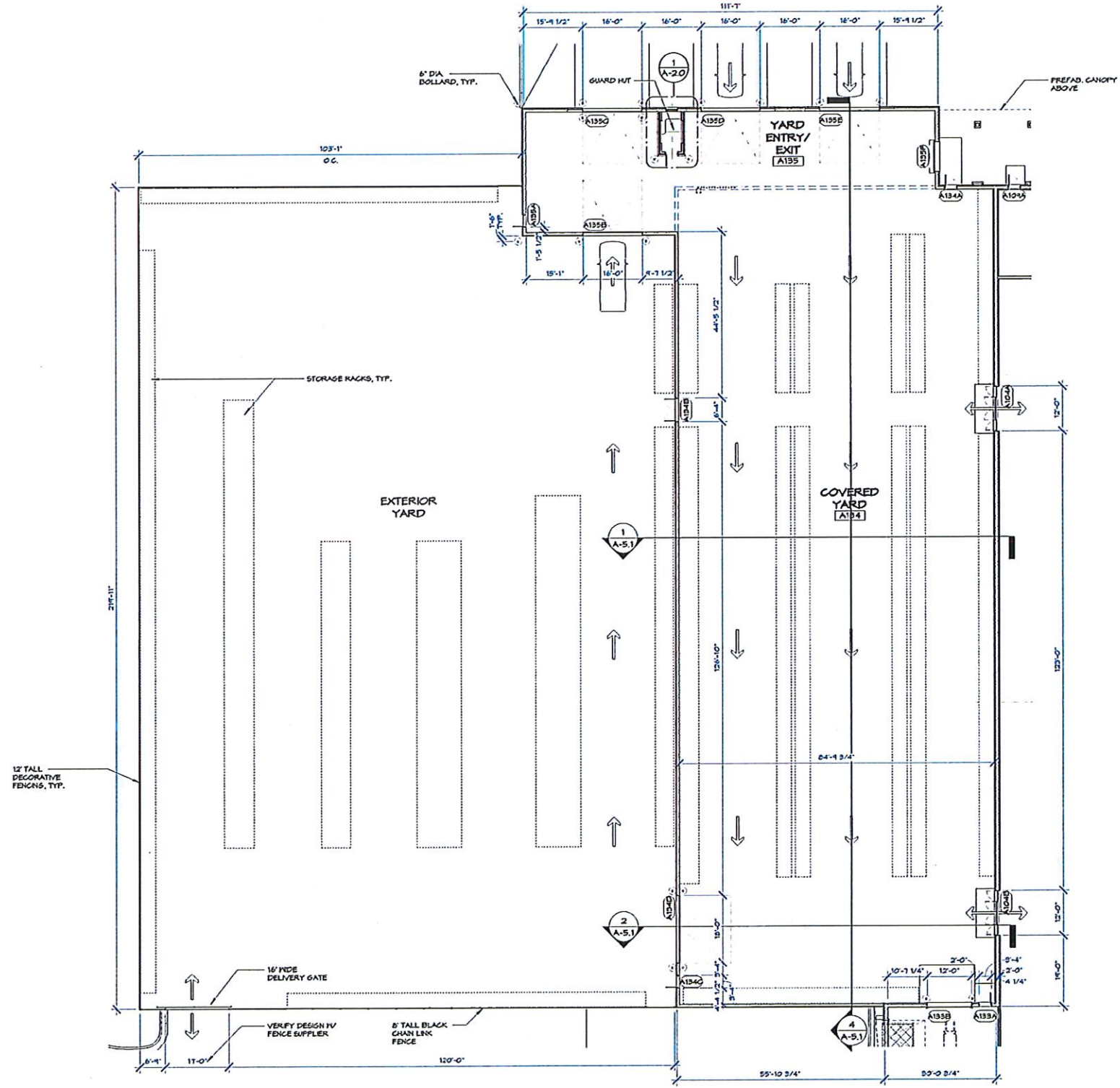
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**A-1.5**







**LEVEL 01 - EXTERIOR / COVERED YARD FLOOR PLAN**  
 1/16" = 1'-0"

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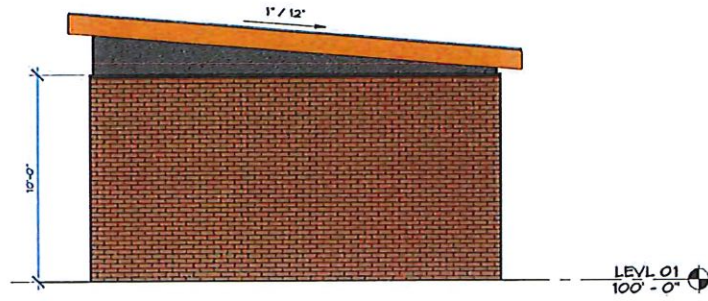
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**FLEET FARM**  
 STURGEON BAY, WISCONSIN

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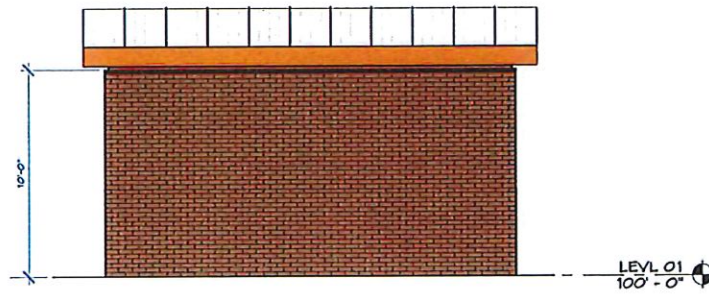
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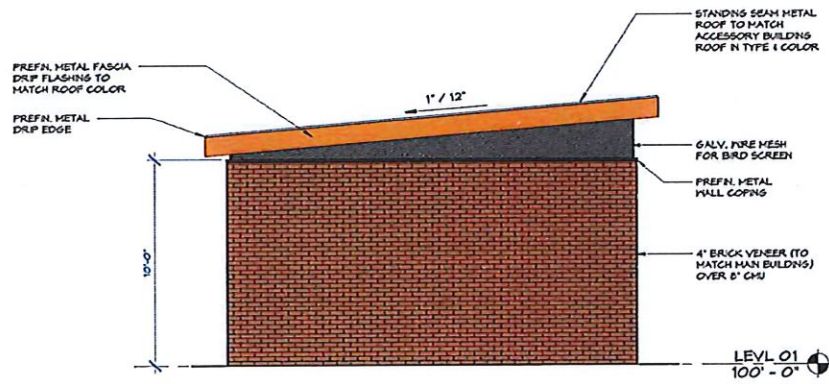




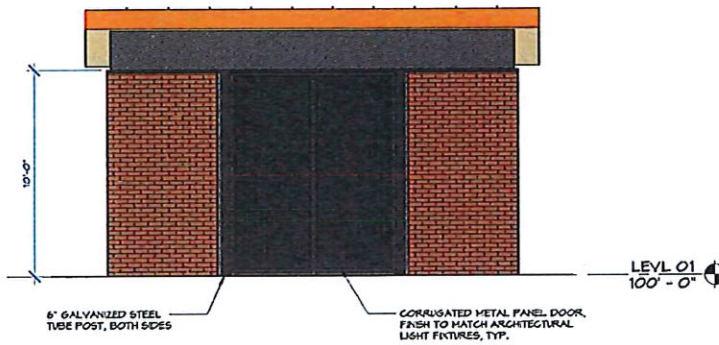
9 TIRE STOR. WEST  
A-2.0 1/4" = 1'-0"



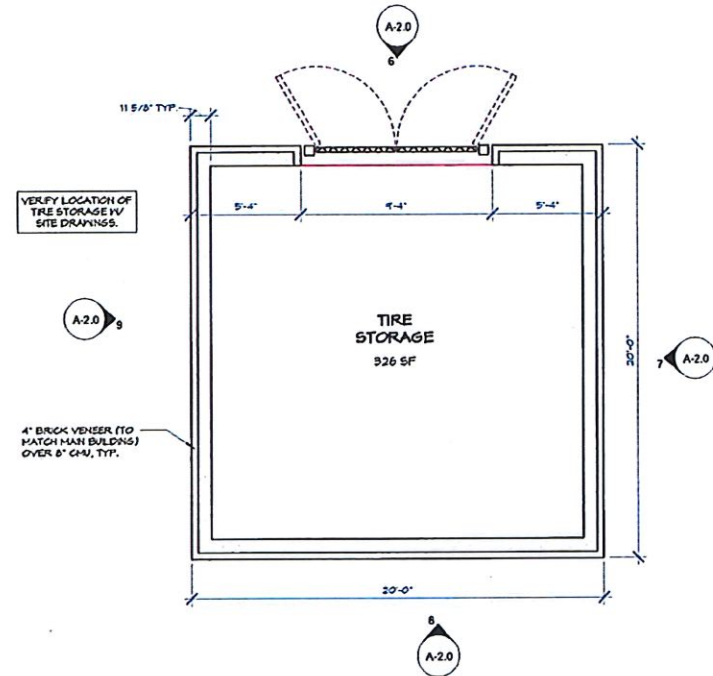
8 TIRE STO. SOUTH  
A-2.0 1/4" = 1'-0"



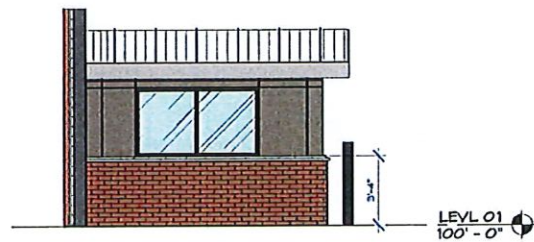
7 TIRE STO. EAST  
A-2.0 1/4" = 1'-0"



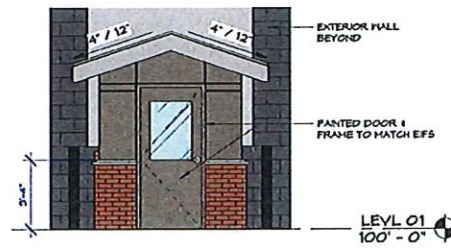
6 TIRE STO. NORTH  
A-2.0 1/4" = 1'-0"



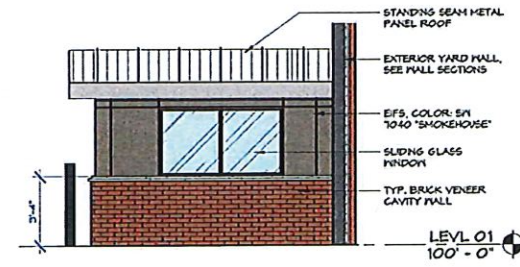
5 TIRE STORAGE PLAN  
A-2.0 1/4" = 1'-0"



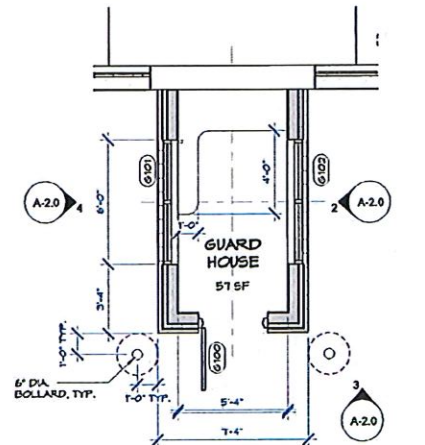
4 GUARD HOUSE WEST  
A-2.0 1/4" = 1'-0"



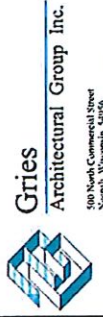
3 GUARD HOUSE SOUTH  
A-2.0 1/4" = 1'-0"



2 GUARD HOUSE EAST  
A-2.0 1/4" = 1'-0"



1 GUARD HOUSE PLAN  
A-2.0 1/4" = 1'-0"



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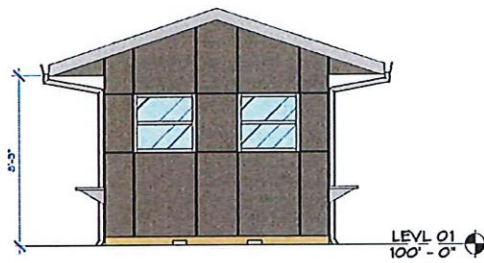
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**FLEET FARM**  
STURGEON BAY, WISCONSIN

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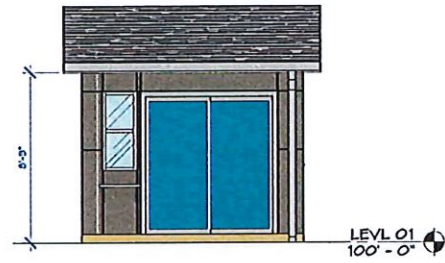
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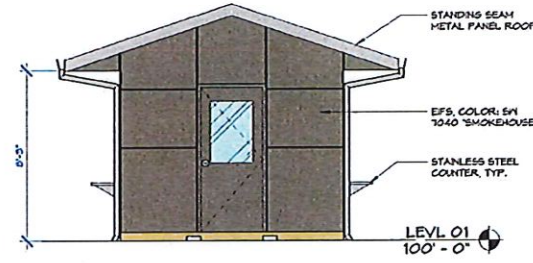




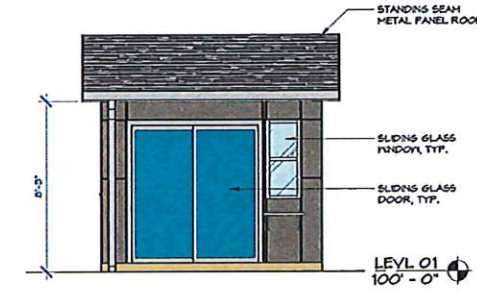
10 MOBILE SHED WEST  
A-2.1 1/4" = 1'-0"



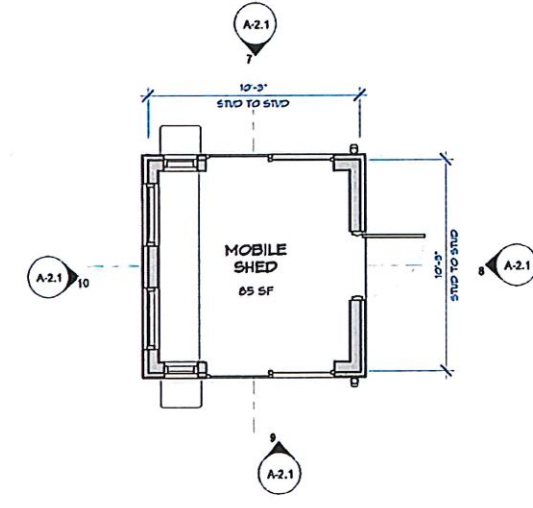
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A-2.1 1/4" = 1'-0"



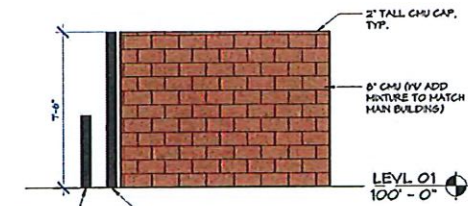
8 MOBILE SHED EAST  
A-2.1 1/4" = 1'-0"



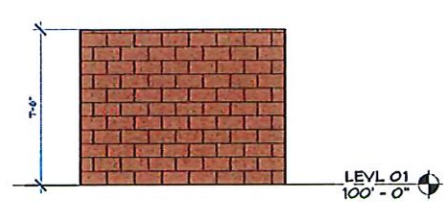
7 MOBILE SHED NORTH  
A-2.1 1/4" = 1'-0"



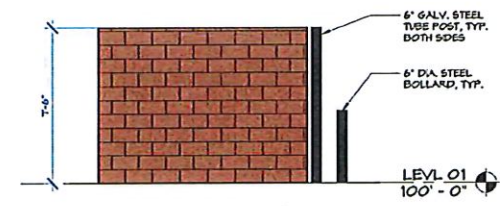
6 MOBILE SHED PLAN  
A-2.1 1/4" = 1'-0"



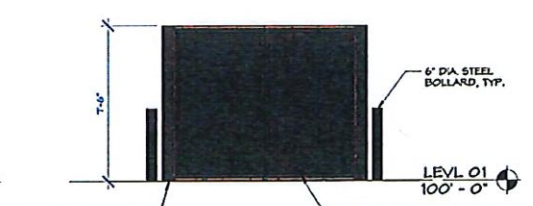
5 DUMPSTER WEST  
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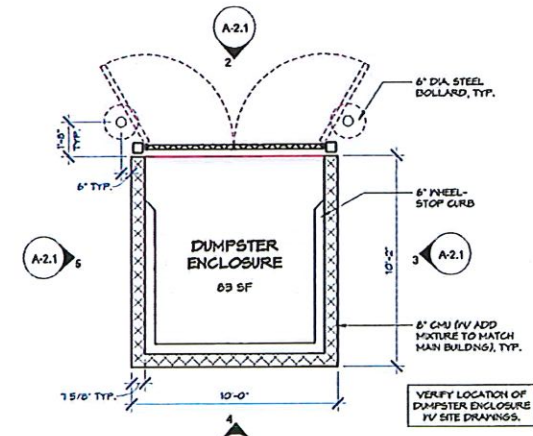
4 DUMPSTER SOUTH  
A-2.1 1/4" = 1'-0"



3 DUMPSTER EAST  
A-2.1 1/4" = 1'-0"



2 DUMPSTER NORTH  
A-2.1 1/4" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN  
A-2.1 1/4" = 1'-0"



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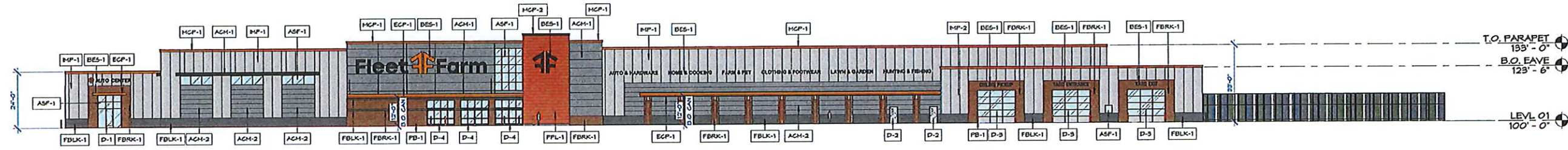
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**FLEET FARM**  
STURGEON BAY, WISCONSIN

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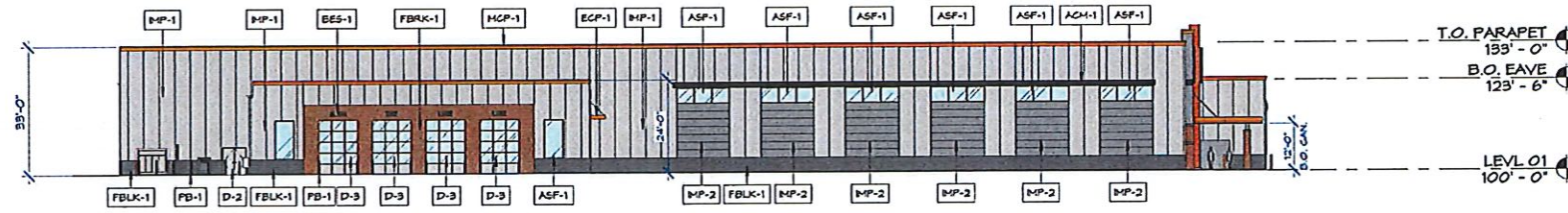
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job: 22-113  
d. by: DAN  
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A-2.1

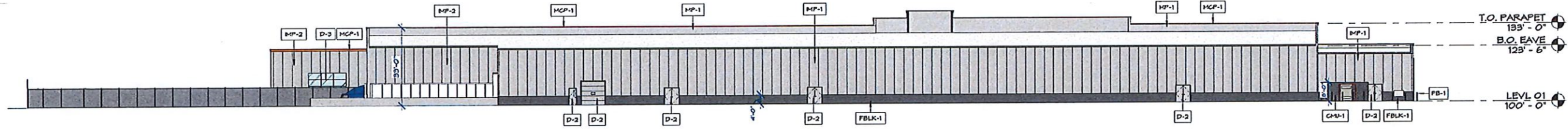




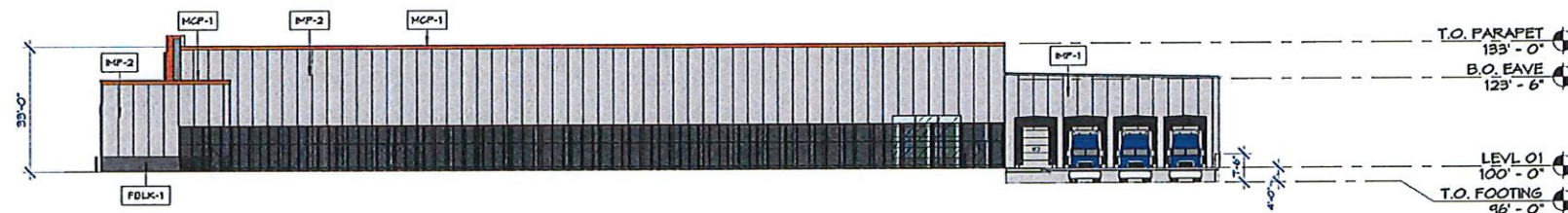
1 OVERALL - NORTH ELEVATION  
A-4.0 3/64" = 1'-0"



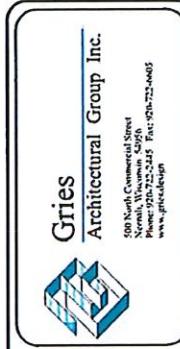
2 OVERALL - EAST ELEVATION  
A-4.0 3/64" = 1'-0"



3 OVERALL - SOUTH ELEVATION  
A-4.0 3/64" = 1'-0"



4 OVERALL - WEST ELEVATION  
A-4.0 3/64" = 1'-0"



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NEW CONSTRUCTION FOR:  
**FLEET FARM**  
STURGEON BAY, WISCONSIN

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rev.:	

A-4.0

REFER TO SHEET A-4.1 FOR KEYED ELEVATION NOTES



EXTERIOR FINISH KEY NOTES			
KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY
<b>FDK-1</b>	<b>FACE BLOCKS (OUTSIDE FACE)</b> MANUFACTURER, COUNTY MATERIALS STYLE: SOLID, # 4 THE VENEER SPILT FACE, COLOR: INTEGRAL COLOR: BROWN, T.D. INSTALLATION: PLUMB BOUD HORIZONTAL COLOR, COLOR TO MATCH MASONRY - VERIFY (EMPTY SAMPLE OF MATCH) NOTE: ALL MASONRY SHALL BE CLEANED & SEALED	<b>HCP-1</b>	<b>MTL. WALL CORNER TRIM (INSIDE FINISHED)</b> MTL. VMA-GLAD, PAC-GLAD, OR EQUAL (LOCALLY SOURCED) STYLE: PRE-FINISHED MTL. COPING SYSTEM FINISH: SOLID, COLOR: FLEET FARM ORANGE
<b>FDK-2</b>	<b>FACE BLOCKS (CONCRETE REVEAL)</b> MANUFACTURER, COUNTY MATERIALS STYLE: SOLID, # 4 THE VENEER HERITAGE COLLECTION (CONCRETE THROUGH COLOR BLOCK), SIZE: 8" X 8" COLOR: T.D. INSTALLATION: PLUMB BOUD HORIZONTAL COLOR, COLOR TO MATCH MASONRY - VERIFY (EMPTY SAMPLE OF MATCH) NOTE: ALL MASONRY SHALL BE CLEANED & SEALED	<b>HCP-2</b>	<b>MTL. WALL CORNER TRIM (INSIDE FINISHED)</b> MTL. VMA-GLAD, PAC-GLAD, OR EQUAL (LOCALLY SOURCED) STYLE: PRE-FINISHED MTL. COPING SYSTEM FINISH: SOLID, COLOR: FLEET FARM BLACK
<b>GM-1</b>	<b>GLASS</b> MANUFACTURER, COUNTY MATERIALS STYLE: SOLID, # 1 SMOOTH CLEAR COLOR: T.D. INSTALLATION: PLUMB BOUD HORIZONTAL COLOR, COLOR TO MATCH MASONRY - VERIFY (EMPTY SAMPLE OF MATCH) NOTE: ALL MASONRY SHALL BE CLEANED & SEALED	<b>ASF-1</b>	<b>ALUMINUM STOREFRONT SYSTEM</b> MTL. HANDED TRIFAB 4311 (BASE OF DESIGN) STYLE: 2" X 1 1/2" STOREFRONT FRAMING GLAZING: 1" INSULATED, REFER TO FRAME ELEVATIONS FINISH: SOLID, BLACK ANODIZED, GLASS 1
<b>MP-1</b>	<b>EXTERIOR METAL PANEL (SHEA)</b> MTL. T.D. COLOR: T.D. (DARK GREY) SYSTEM TYPE: DRY JOINT SYSTEM W/ EXTRUSIONS TO MATCH PANELS (FRAM SCREEN) LOCATION: EXTERIOR WALLS. REFER TO PLANS & ELEVATIONS	<b>D-1</b>	<b>ALUMINUM ENTRANCE W/ MTL. GLAZING</b> MANUFACTURER, REGION 8103 OR EQUAL STYLE: REFER TO DOOR SCHEDULE (ELEVATIONS - MED. STYLE) GLAZING: 1" INSULATED, REFER TO DOOR ELEVATIONS FINISH: SOLID, BLACK ANODIZED, GLASS 1
<b>MP-2</b>	<b>EXTERIOR METAL PANEL (SHEA)</b> MTL. T.D. COLOR: T.D. (DARK GREY) SYSTEM TYPE: DRY JOINT SYSTEM W/ EXTRUSIONS TO MATCH PANELS (FRAM SCREEN) LOCATION: EXTERIOR WALLS. REFER TO PLANS & ELEVATIONS	<b>D-2</b>	<b>HOLLOW METAL DOOR (SHEA)</b> STYLE: HOLLOW METAL, PAINTED, REFER TO DOOR SCHEDULE (ELEV. & ELEV.) LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS
<b>PFL-1</b>	<b>EXTERIOR PANEL GLAZING</b> MTL. POLYCARBONATE PANEL, CLEAR COLOR: T.D. (ORANGE COLOR) LOCATION: EXTERIOR WALLS. REFER TO PLANS & ELEVATIONS	<b>D-3</b>	<b>OVERHEAD DOOR POLYCARBONATE SECTIONAL</b> MANUFACTURER, RAYNOR OR EQUAL STYLE: POLYCARBONATE DOOR GLAZING: INSULATED POLYCARBONATE PANELS, CLEAR FINISH: SOLID, FRAME: CLEAR ANODIZED TRACK: STANDARD AIR-LIFT TRACK (VERIFY WITH FINAL CONST. CONDITIONS PRIOR TO ORDERING) OPERATION: AIR-LIFT
<b>ACH-1</b>	<b>ALUMINUM PANEL (SHEA)</b> MTL. ALPOLC, 4"X11" THICK COLOR: T.D. (DARK GREY COLOR) SYSTEM TYPE: DRY JOINT SYSTEM W/ EXTRUSIONS TO MATCH PANELS (FRAM SCREEN) LOCATION: EXTERIOR WALLS. REFER TO PLANS & ELEVATIONS	<b>D-4</b>	<b>ALUMINUM SLIDING ENTRANCE DOOR</b> MANUFACTURER, REGION 8103 OR EQUAL STYLE: REFER TO DOOR SCHEDULE (ELEVATIONS - MED. STYLE) GLAZING: 1" INSULATED, REFER TO DOOR ELEVATIONS FINISH: SOLID, BLACK ANODIZED, GLASS 1
<b>ACH-2</b>	<b>ALUMINUM PANEL (SHEA)</b> MTL. ALPOLC, 4"X11" THICK COLOR: T.D. (DARK GREY COLOR) SYSTEM TYPE: DRY JOINT SYSTEM W/ EXTRUSIONS TO MATCH PANELS (FRAM SCREEN) LOCATION: EXTERIOR WALLS. REFER TO PLANS & ELEVATIONS		
<b>MP-1</b>	<b>METAL PANEL</b> MTL. PRESTON-8 10300 COLOR: T.D. (GREY COLOR) SYSTEM TYPE: T.D. LOCATION: BACKSIDE OF PARAMET		
<b>HDP-1</b>	<b>METAL BUILDING PANEL</b> MTL. MTL. BUILDING W/FR. SUPPLIER COLOR: T.D. (DARK GREY COLOR) SYSTEM TYPE: STANDING MTL. BLDG. PANEL SYSTEM LOCATION: EXTERIOR WALLS. REFER TO PLANS & ELEVATIONS		

**CURTAIN WALL / STOREFRONT NOTES:**  
PROVIDE PREFINISHED ALUMINUM SLIP HEAD TO MATCH ALUMINUM STOREFRONT / CURTAIN WALL SYSTEM.  
PROVIDE PREFINISHED EXTRUDED ALUMINUM THERMALLY BROKEN SILL FLASHING WITH END DAMS. INSTALL WITH A POSITIVE SLOPE AWAY FROM INTERIOR AND SET IN SEALANT AND INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS.  
PROVIDE ALL SHIMS, SEALANT & BACKER ROD PER MANUFACTURER'S SPECIFICATIONS.

**CONTROL JOINT NOTES:**  
PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY MASONRY CONTRACTOR AND BLOCK SUPPLIER. CONTROL JOINTS NOT TO EXCEED 30'-0" MAX AND 20'-0" MIN.  
ALL CONTROL JOINT LAYOUTS TO BE REVIEWED BY ARCHITECT/ENGINEER AT THE OF CONSTRUCTION / SHOP DRAWINGS SUBMITTAL.  
ALL ELEVATIONS AND LAYOUT ARE BASE ON STANDARD MODULAR BLOCK SIZES. CONTRACTOR RESPONSIBLE FOR ANY ADJUSTMENTS IN SIZES REQUIRED IF THEY CHANGE MATERIAL SIZES.

**NOTE:**  
MASONRY FRAM TO SEALING OF BRICK & GRAFFITI GUARD. APPLIED BY MASON CONTRACTOR.

**EXTERIOR CANOPY PASTERING NOTE:**  
FASTEN ALL FOOD-BASED PANELS TO GOLD-FORM FRAMING W/ SELF-TAPPING CORROSION RESISTANT SCREWS. PNEUMATICALLY DRIVEN PINS FOR FOOD-BASED PANEL ATTACHMENT SHALL NOT BE ACCEPTED.



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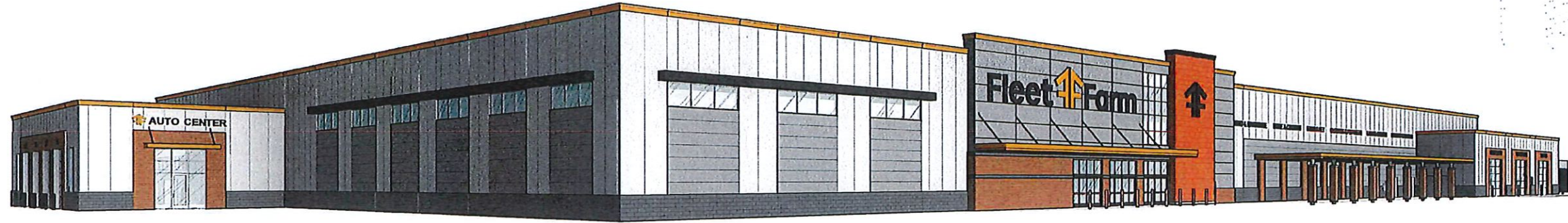
NEW CONSTRUCTION FOR:  
**FLEET FARM**  
STURGEON BAY, WISCONSIN

BID DOCUMENT SET (09-13-2022)

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job: 22-113  
d. by: oes  
rev.:

A-4.1

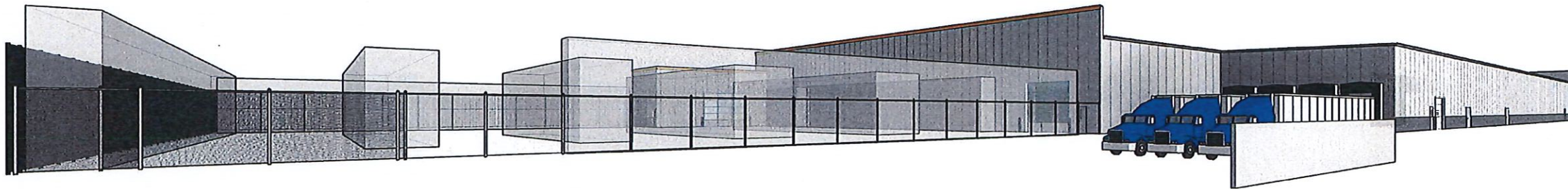




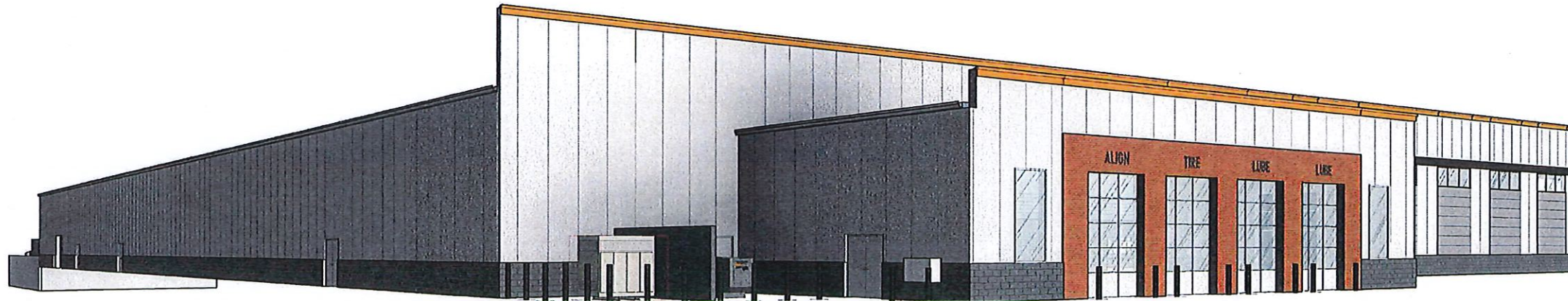
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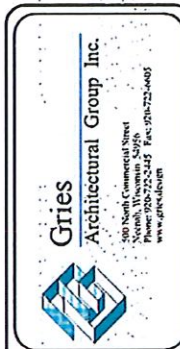
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A-10.0



3 SOUTH-WEST CORNER OVERALL PERSPECTIVE  
A-10.0



4 SOUTH-EAST CORNER OVERALL PERSPECTIVE  
A-10.0



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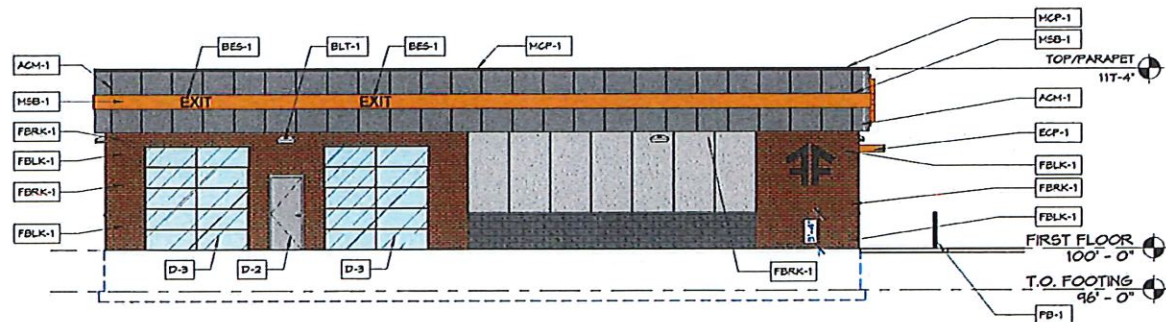
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**FLEET FARM**  
STURGEON BAY, WISCONSIN

BID DOCUMENT SET (09-13-2022)

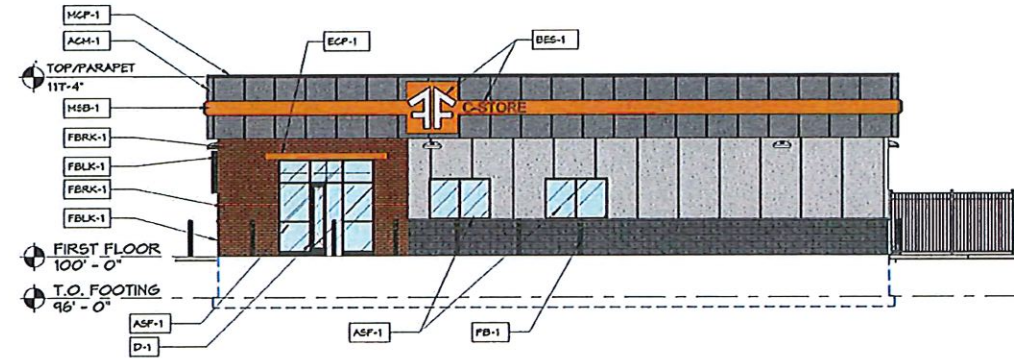
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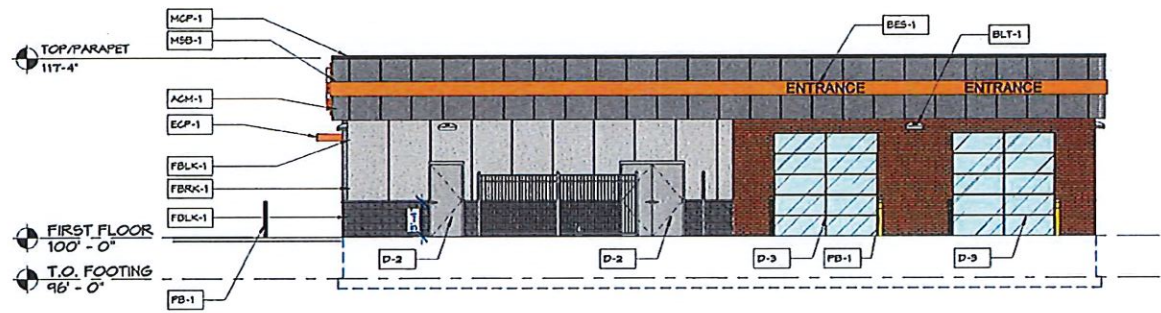




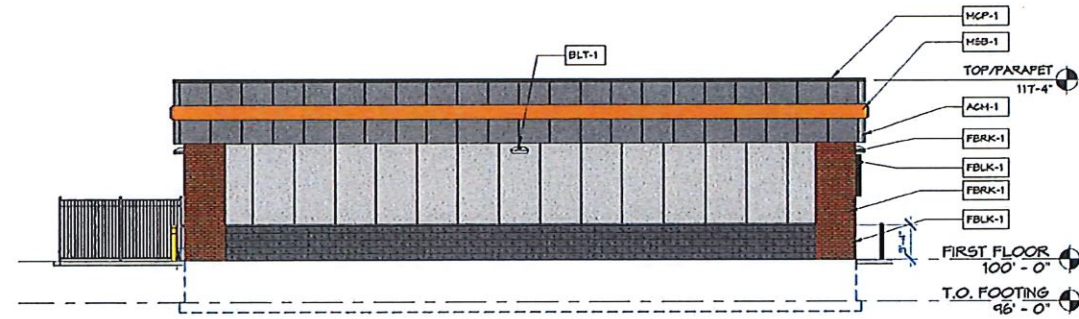
2 EAST ELEVATION  
A-4.1 1/8" = 1'-0"



1 NORTH ELEVATION  
A-4.1 1/8" = 1'-0"



4 WEST ELEVATION  
A-4.1 1/8" = 1'-0"



3 SOUTH ELEVATION  
A-4.1 1/8" = 1'-0"

EXTERIOR FINISH KEY NOTES		EXTERIOR FINISH KEY NOTES		EXTERIOR FINISH KEY NOTES	
KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY
FBK-1	EDGE BRICK (CONCRETE BRICKS) MANUFACTURE, CONY MATERIALS STYLE/SIZES: 4" THE VENER BRICK-FACE, COLOR: INTERAL COLOR: T.B.D. INSTALLATION: FINISH BOO NOTES: ALL MASONRY SHALL BE CLEANED & SEALED!	MCP-1	WALL WALL COPING (STAINLESS STEEL) NOTE: W/VA GLASS, PAC-GLAD, OR EQUAL (LOCALLY SOURCED) STYLE: PRE-FINISHED MET. COPING SYSTEM FINISHES: COLOR, FLEET FARM BLACK	PB-1	DOOR HOLLOW METAL (P.O. COORDS) COLLARED, 6" CONC. FILLER, REFER TO PLANS, NOTES, & DETAILS FINISHES: T.B.D. COLOR: REFLECTIVE TYPE HARDY COLOR, T.B.D. FINISH: REFLECTIVE STRIPES COLOR, T.B.D.
FBRK-1	EDGE BRICK (CONCRETE BRICKS) MANUFACTURE, CONY MATERIALS STYLE/SIZES: 4" THE VENER HEAT-SEAL COLLECTION (CONCRETE FULL-COLOR BRICK), COLOR: T.B.D. INSTALLATION: FINISH BOO NOTES: ALL MASONRY SHALL BE CLEANED & SEALED!	ASP-1	ALUMINUM STOREFRONT SYSTEMS NOTE: HANDED TRIFAB #117 (BASES OF DESIGN) STYLE: 2 1/4" V/2 STOREFRONT FRAMING GLASS: 1" POLY-LITE, REFER TO FRAME ELEVATIONS FINISHES: BLACK ANODIZED, GLASS 1	BLT-1	BLINDS (LUMINA BRILLIANCE) NOTE: 6" RIBBED OR EQUAL STYLE/SIZES: PERFORMANCE PULFLEX 4000X EXTERIOR WALL SCENE FINISHES: BLACK
ACH-1	ALUMINUM PANEL (GLASS) NOTE: RALPHS, 4MM THICK COLOR: T.B.D. (DARK GRAY COLOR) INSTALLATION: - DR. JOINT SYSTEM W/ EXTENSIONS TO MATCH PANELS (RAIN SCREWS) LOCATION: EXTERIOR PANELS, REFER TO PLANS & ELEVATIONS	D-1	ALUMINUM ENTRANCE (V. PANEL, GLASS) MANUFACTURE: HANDED TRIFAB OR EQUAL STYLE: REFER TO DOOR SCHEDULE & ELEVATIONS (DIED STYLE) GLASS: 1" POLY-LITE, REFER TO DOOR ELEVATIONS FINISHES: BLACK ANODIZED, GLASS 1	BES-1	BLINDS (EXTERIOR) (HUMBLEBY OTHER) (OTHER) (HUMBLEBY OTHER) MANUFACTURE: AS DIRECTED BY OWNER/OTHERS FRANCHISE STYLE/SIZES: AS DIRECTED BY OWNER/OTHERS FRANCHISE GLASS: (GLASS) (POWER IS REQUIRED, REFER TO SIGN VENDOR ELECTRICAL DRAWINGS, COORDINATE W/ TRAVEL AND SIGNAGE VENDOR. NOTE: CONTRACTOR TO PROVIDE REQUIRED BUDGETS (BUDGETS TO BE PAINTED, PAPER EXPOSED TO MATCH WALL PANELS, COLOR: METAL ACCESS PANELS AT LOCATIONS WHERE NEEDED, REFER TO PLANS OTHERS: NOTE EXTERIOR SIGNAGE IS PROVIDED BY OTHER & INSTALLED BY OTHER'S SIGN VENDOR. GENERAL CONTRACTOR SHALL COORDINATE SIGN INSTALL WITH OWNER & OTHER'S SIGN VENDOR/INSTALLER.
HSB-1	METAL SIGNAGE BOARD NOTE: T.B.D. SIGNAGE VENDOR COLOR: T.B.D. (ORANGE TO MATCH FLEET FARM ORANGE) INSTALLATION: BY SIGNAGE VENDOR LOCATION: EXTERIOR PANELS, REFER TO PLANS & ELEVATIONS	D-2	HOLLOW METAL DOOR (P.O.) NOTE: HOLLOW METAL, PAINTED, REFER TO DOOR SCHED. & ELEV. LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS		
ECP-1	EXTENSION CANOPY NOTE: HANDED OR EQUAL STYLE/SIZES: PRE-FABRICATED, 8" RIB LUMINA, ALUMINA, (NO PANELS) (PASCAL-8" STD. EXTRUDED 3" STYLE FIN. 1/2" THK ALUMINA REAR DRAINAGE TO DOWNSPOUT FINISHES: 3 COAT ROYAL COLOR, T.B.D. (TO MATCH FLEET FARM ORANGE) LOCATION: EXTERIOR CANOPY NOTE: CANOPY TO HAVE EXT. LED SOFT-TYPE LIGHTING INSTALLED, REFER TO REF. CLG. PLAN & EXT. ELEV. FOR ADDL. INFO.	D-3	OVERHEAD DOOR (POLY-LITE) (POLY-CARBONATE) (RECTANGULAR) MANUFACTURE: RAYOR OR EQUAL STYLE: POLY-LITE SECTIONAL DOOR GLASS: POLY-LITE POLY-CARBONATE PANELS, CLEAR FINISHES: CLEAR ANODIZED OPERATION: AIR-LIFT NOTE: STANDARD AIR-LIFT TRACK (VERIFY WITH FINAL CONST. CONDITIONS PRIOR TO ORDERING) OPERATOR: AIR-LIFT		

**GURTANALL/STOREFRONT NOTES:**  
PROVIDE PREFINISHED ALUMINUM SLIP HEAD TO MATCH ALUMINUM STOREFRONT/ GURTANALL PANEL SYSTEM.  
PROVIDE PREFINISHED EXTRUDED ALUMINUM-THERMALLY BROKEN SILL FLASHING WITH END DAMS, INSTALL WITH A POSITIVE SLOPE AWAY FROM INTERIOR AND SET IN SEALANT AND INSTALL PER MANUFACTURER'S FINISH SPECIFICATIONS.  
PROVIDE ALL SHIMS, SEALANT & BACKER ROD PER MANUFACTURER'S SPECIFICATIONS.

**CONTROL JOINT NOTES:**  
PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY MASONRY CONTRACTOR AND BLOCK SUPPLIER. CONTROL JOINTS NOT TO EXCEED 30'-0" MAX AND 20'-0" MIN.  
ALL CONTROL JOINT LAYOUTS TO BE REVIEWED BY ARCHITECT/ENGINEER AT TIME OF CONSTRUCTION/ SHOP DRAWINGS SUBMITTAL.  
ALL ELEVATIONS AND LAYOUT ARE BASED ON STANDARD MODULAR BLOCK SIZES. CONTRACTOR RESPONSIBLE FOR ANY ADJUSTMENTS IN SIZES REQUIRED IF THEY CHANGE MATERIAL SIZES.

**NOTE:**  
MASONRY PRIME TO SEALING OF BRICK & GRAFFITI GUARD, APPLIED BY MASON CONTRACTOR.

**FASTENERS FASTENER NOTE:**  
FASTEN ALL WOOD-BASED PANELS TO COLD-FORM FRAMING W/ SELF-TAPPING CORROSION RESISTANT SCREWS. PNEUMATICALLY DRIVEN PINS FOR WOOD-BASED PANEL ATTACHMENT WILL NOT BE ACCEPTED.



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A NEW BUILDING FOR:  
**FLEET FARM G-STORE/CARWASH**  
STURGEON BAY, WISCONSIN

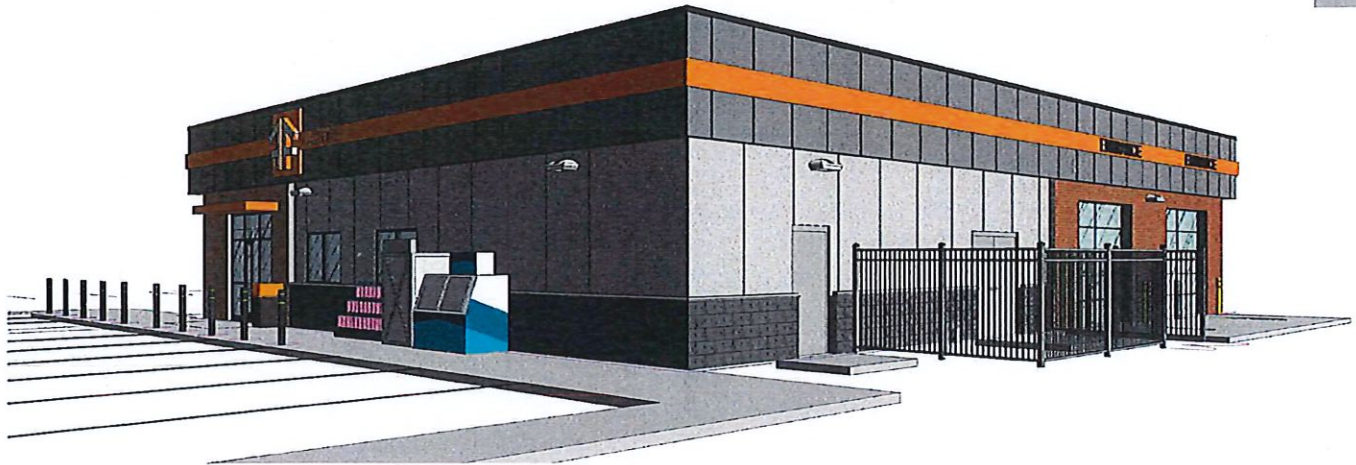
date: 10/13/2022  
job: 22-113  
d. by: bjs  
rev:

A-4.1



Z:\2022\22-113 Fleet Farm Sturgeon Bay\22-113 Revit\22-113\_Fleet Farm Sturgeon Bay\_Car Wash.rvt

11/16/2022 9:50:55 AM



EXTERIOR- 3D VIEW- NORTHWEST CORNER



EXTERIOR- 3D VIEW- NORTHEAST CORNER



EXTERIOR- 3D VIEW- SOUTHWEST CORNER



EXTERIOR- 3D VIEW- SOUTHEAST CORNER

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A NEW BUILDING FOR:  
FLEET FARM C-STORE/CARWASH  
STURGEON BAY, WISCONSIN

date: 10/13/2022  
job: 22-113  
d. by: eas  
rev.:

A-4.2



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**LOCATION NUMBER:**

18251

**SITE ADDRESS:**

Green Bay Road  
Sturgeon Bay, WI 54235

**Fleet  Farm.**  
**EXTERIOR SIGNAGE**

Monitor Ohio 44080

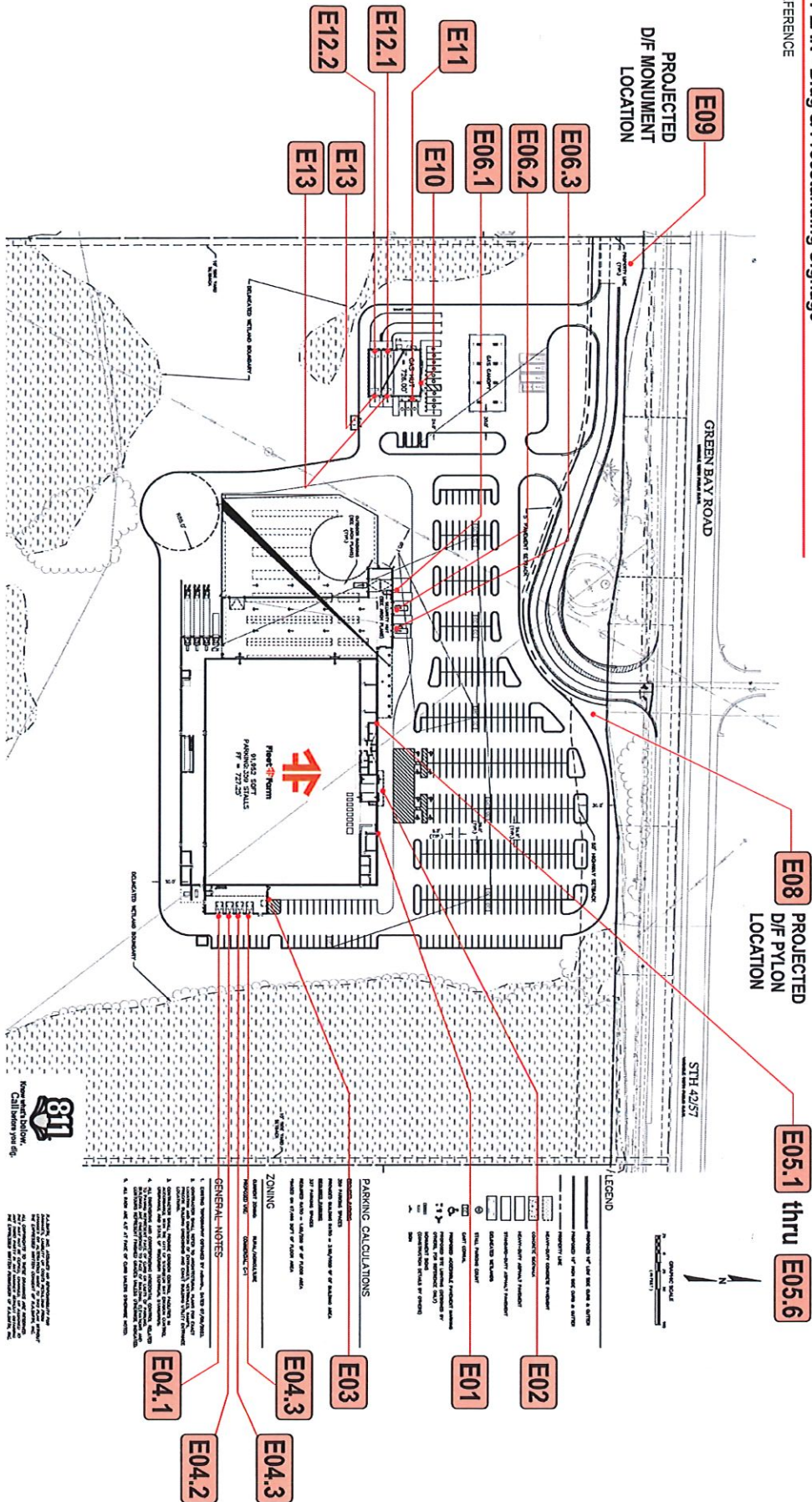
Green Bay Area  
Sturgeon Bay, WI 54235

1

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CLIENT:	<b>Fleet Farm</b>	ORDER NUMBER:	1185473	PROJECT NUMBER:	85723
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Rev #	Rev #	Date/Artist	Description
Original	00782	11/15/22 JT	
Rev 1	10978	12/09/22 PV	

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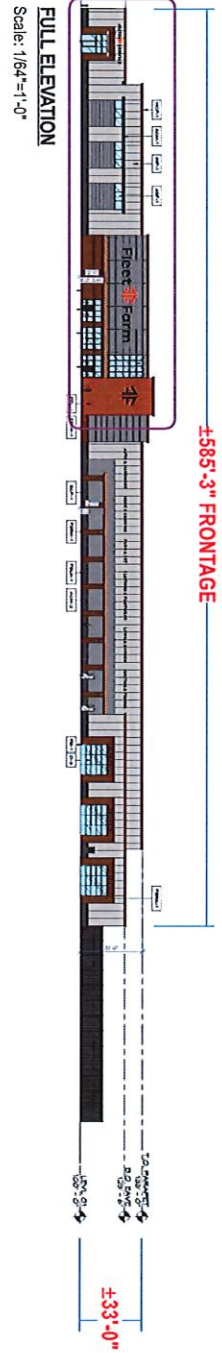


# NORTH (Storefront) ELEVATION

Scale: AS NOTED



ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



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CLIENT: **Fleet Farm**

ORDER NUMBER: 1183473

PROJECT NUMBER: 85723

ADDRESS: Great Bay Road, Sturgeon Bay, WI 54253

BASELINE NO: 7

SITE NUMBER: 18251

PROJECT MANAGER: JASYN PECKHAM

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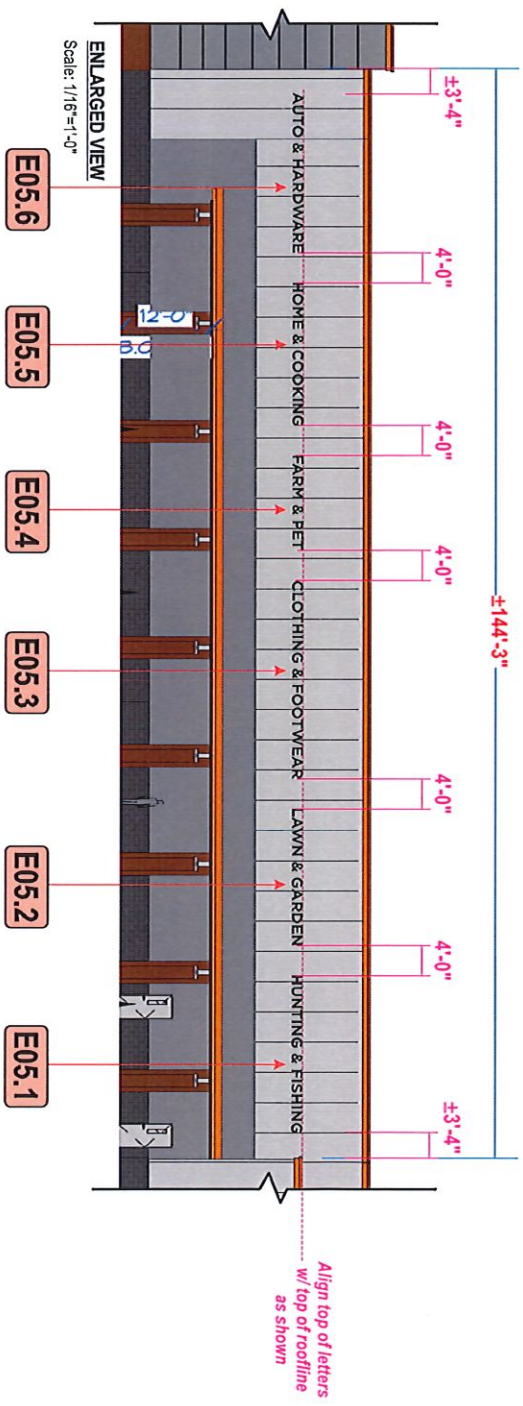
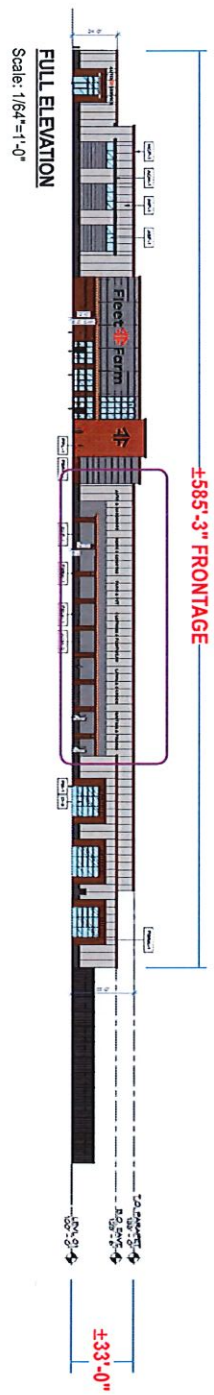
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Original	40722	11/15/22 JT					
Rev 1	40978	12/08/22 PV					

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**E05** NORTH (Storefront) ELEVATION  
Scale: AS NOTED



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PAGE NO.: **8**

ORDER NUMBER: 1185473

PROJECT NUMBER: 85723

SITE NUMBER: 18251

PROJECT MANAGER: JASYN PECKHAM

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Rev 1	40976	1/28/22 PV					

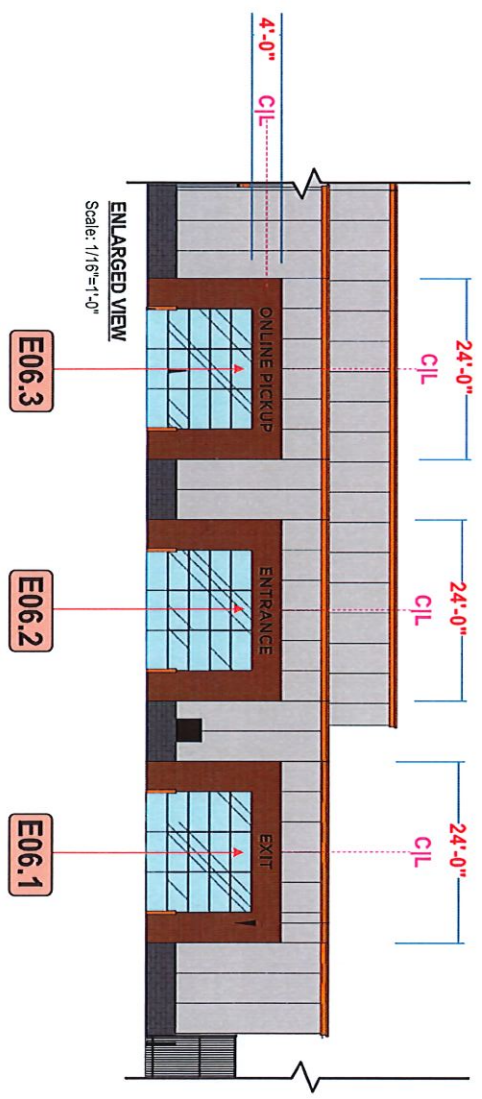
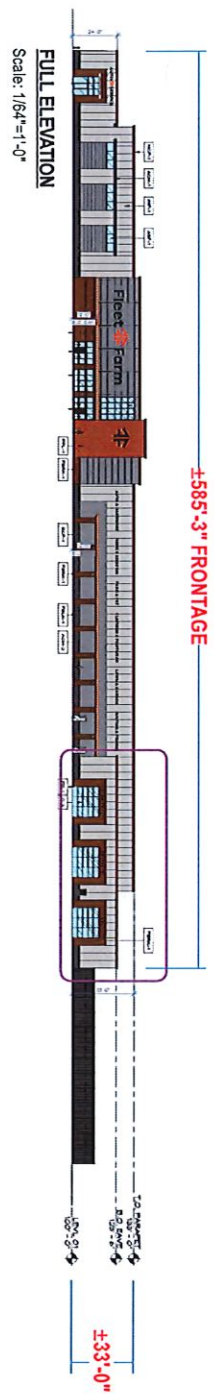
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**E06** NORTH (Storefront) ELEVATION  
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PAGE NO.: 9

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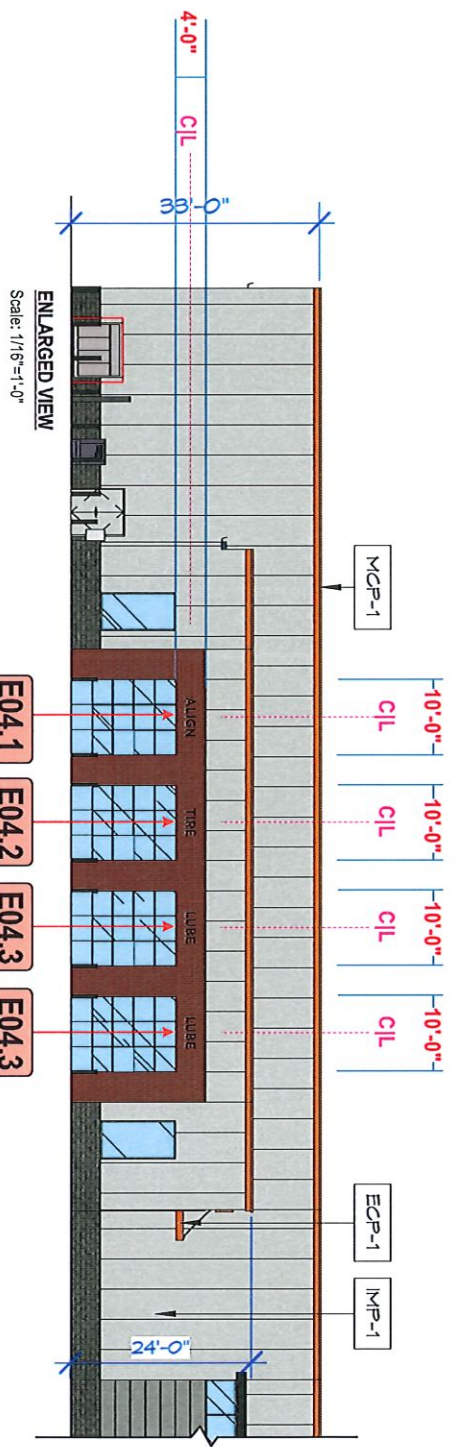
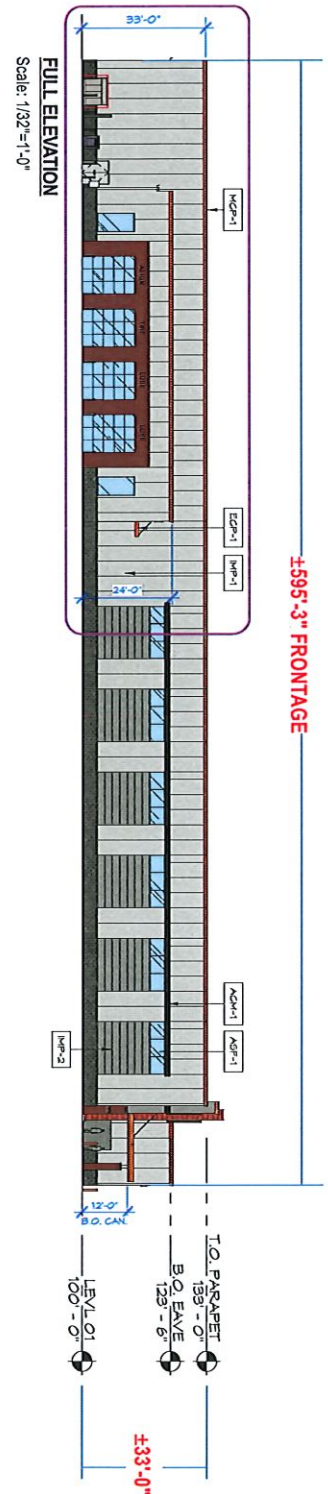
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		Rev 1	40976	12/09/22	PV				

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**E04** EAST ELEVATION  
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Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
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Rev 1	40778	1/20/22 PV					

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E01

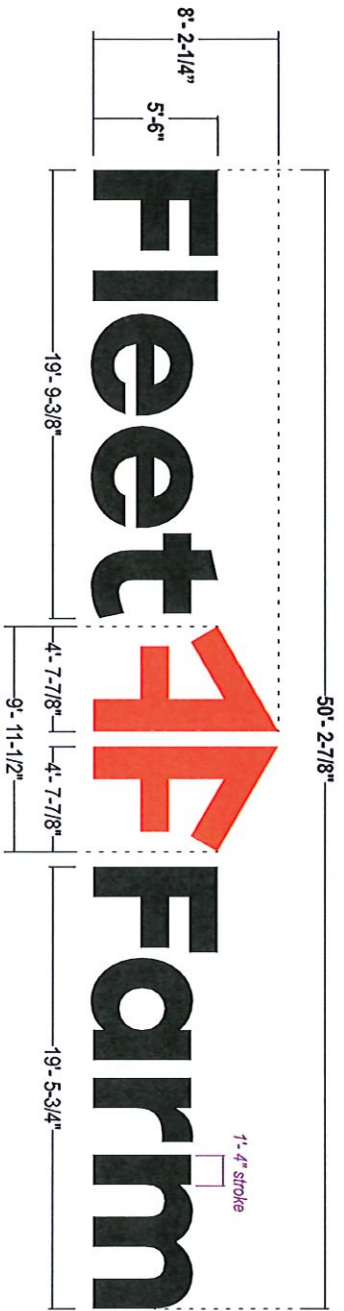
HALO LIT REVERSE CHANNEL LETTERS

Scale: 3/16"=1'-0"

FF-RCL-66-B

411.3 square feet

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



- FACES:** .125 alum. - Copy painted Black & Logo painted Orange
- RETURNS:** 3" deep .090 alum. welded to faces - all welds to be sanded smooth; Copy painted Black & Logo painted Orange
- BACKS:** 1/4" clear polycarbonate
- ILLUM.:** White LED's as required by manufacturer; **Power supplies to be SELF CONTAINED**
- WALL TYPE:** Not provided at this time
- INSTALL:** 1-1/2" stand off from wall surface to allow for halo lighting; Thru bolted using all thread into blocking as required; 12" standard length of threaded rod will be supplied unless otherwise noted; 3/8" threaded rod into blocking or Stratus approved equivalent; Spacers to be provided and painted to match building
- QUANTITY:** (1) ONE Letterset required for NORTH elevation



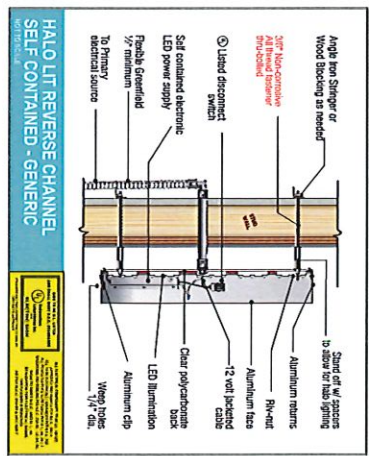
**COLOR PALETTE**

**LETTER FACES/RETURNS:**

- Black
- LOGO FACES/RETURNS: Pantone 165 Orange

**SPACERS:** Paint match to be provided

*All paint finishes to be Satin*



stratusunlimited.com  
8959 Tyler Boulevard  
Mentor, Ohio 44060  
888.5.03.1569

**CLIENT:** Fleet Farm

**ADDRESS:** Great Bay Road, Sturgeon Bay, WI 54253

**PAGE NO.:** 11

ORDER NUMBER:	PROJECT NUMBER:	Rev #	Req #	Date/Artist	Description
1185473	85723	Original	40792	11/15/22	JT
		Rev 1	40976	12/09/22	JW

**SITE NUMBER:** 18251      **PROJECT MANAGER:** JASYN PECKHAM

**ELECTRONIC FILE NAME:** G:\ACCOUNTS\PROJECT FARM LOCATIONS\2022\18251\_Sturgeon Bay\18251\_Sturgeon Bay\_Exterior Signage R1.cdr

PRINTED ARCHITECTURAL DRAWING OR PHOTOGRAPHY OF SIGNAGE - THIS MATERIAL IS ALL UNREGISTERED, UNPATENTED, UNCOPYRIGHTED AND OTHERWISE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF STRATUS

This sign type has been reviewed by the Stratus In-house Engineering Dept. Stratus does not warrant or make any representation or implied warranty of fitness for a particular purpose or any other specific use. The user assumes all liability for the use of this sign type.

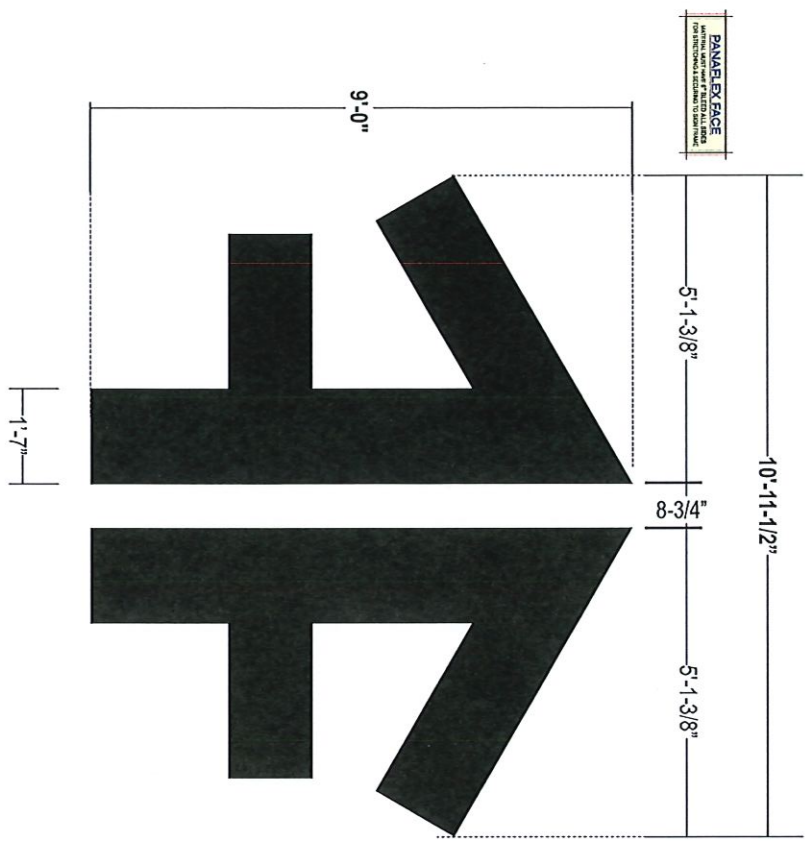
E02

FACE LIT CHANNEL LETTERS- flex faces FF-FLEX-LOGO-108-B

Scale: 1/2"=1'-0"

98.6 square feet

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN

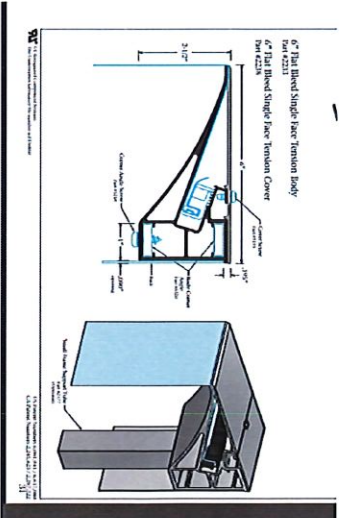


PANAGRAPHIC  
FLEXIBLE LED CHANNEL LETTERS  
WITH PERMANENTLY ATTACHED CHANNELS

**COLOR PALETTE**

- CABINET:** Black
- FACE:** Black 3M 3335-22 Black Perf. day/night film

All paint finishes to be satin



- FACE AND CABINET COLOR TBV PRIOR TO PRODUCTION**
- CABINET:** 6" deep Sign Comp flat bleed single face tension body #2233 or equivalent w/ bleed tensioning system - painted Black - Color TBV
- FACES:** 3M Panagraphics III Flexible substrate w/ perforated Black day/night film; Logo will illum. White at night
- ILLUM.:** Internally illuminated with White LED's as required by manufacturer; Power supplies to be SELF CONTAINED
- WALL TYPE:** Not provided at this time
- INSTALL:** Sections to be thru bolted using all thread into blocking as required; 12" standard length of threaded rod will be supplied unless otherwise noted; 3/8" threaded rod into blocking or Stratus approved equivalent
- QUANTITY:** (1) ONE Logo required for NORTH elevation

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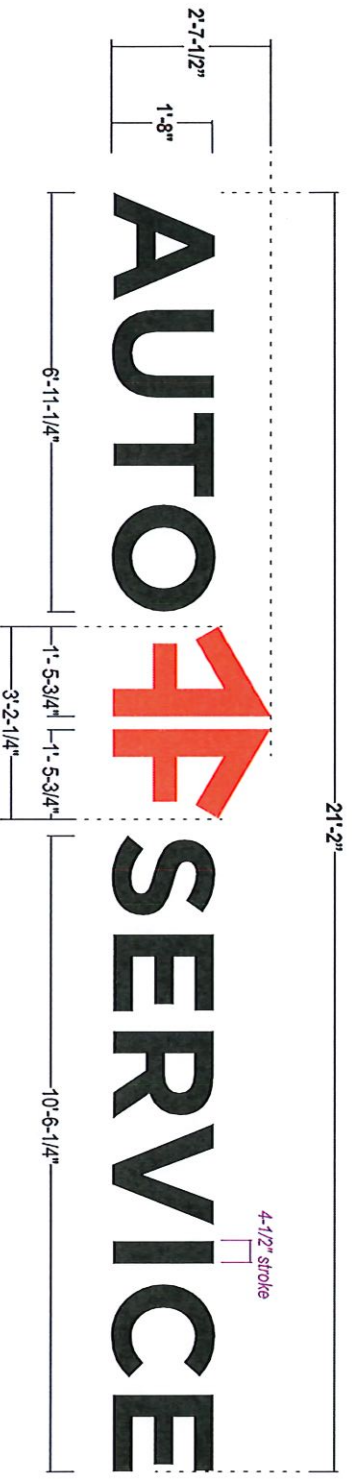
CLIENT:	<b>Fleet Farm</b>
ADDRESS:	Green Bay Road Sturgeon Bay, WI 54235
PAGE NO.:	12

ORDER NUMBER:	1186473	PROJECT NUMBER:	65723
SITE NUMBER:	18251	PROJECT MANAGER:	JASYN PECKHAM
ELECTRONIC FILE NAME: G:\ACCOUNTS\FF FARM LOCATIONS\2022\18251_Sturgeon Bay\18251_Sturgeon Bay_Exterior Signage R1.cdr			

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	40792	11/15/22 JT					
REV1	40978	1/29/23 TW					

PRINTS ARE TO BE USED FOR PRELIMINARY INFORMATION ONLY. ALL MATERIALS AND METHODS OF CONSTRUCTION ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.





FACES: .090 alum. - Copy painted Black & Logo painted Orange

RETURNS: 3" deep .063 alum. welded to faces - all welds to be sanded smooth;  
Copy painted Black & Logo painted Orange

BACKS: 1/4" clear polycarbonate

ILLUM.: White LED's as required by manufacturer;  
Power supplies to be remotely located

WALL TYPE: Not provided at this time

INSTALL: 1-1/2" stand off from wall surface to allow for halo lighting;  
Thru bolted using all thread into blocking as required;  
12" standard length of threaded rod will be supplied unless  
otherwise noted; 3/8" threaded rod into blocking or Stratus approved  
equivalent; Spacers to be provided and painted to match building

QUANTITY: (1) ONE Letterset required for NORTH elevation

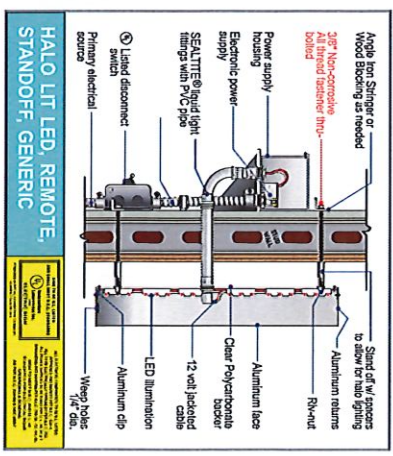


**COLOR PALETTE**

- LETTER FACES/RETURNS: Black
- LOGO FACES/RETURNS: Pantone 165 Orange
- SPACERS: Paint match to be provided

All paint finishes to be Satin

**⚠️ ELECTRICAL ACCESS TO BE CONFINED TO ENSURE REMOTE POWER SUPPLIES ARE POSSIBLE!**



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Mentor, Ohio 44060  
888.503.1569

CLIENT: **Fleet Farm**

ADDRESS: Green Bay Road  
Sturgeon Bay, WI 54253

PAGE NO: 13

ORDER NUMBER:	PROJECT NUMBER:	Rev #	Req #	Date/Rev	Description
1185473	85723	Original	40782	1/15/22 JT	
		Rev 1	40876	12/29/22 PV	

PROJECT MANAGER: JASYN PECKHAM

PROJECT NUMBER: 18251

PROJECT NAME: GREEN BAY FLEET FARM, LOCATIONS: 224 W. 18251, Sturgeon Bay, WI 54253

PROJECT ADDRESS: 18251, Sturgeon Bay, Lederer Sgrange Rd, WI 54253

E04

FLAT CUT OUT LETTERS

Scale: 1/2"=1'-0"

17.7 TOTAL square feet

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN

E04.1



FF-FCCO-ALIGN-16-B  
7 square feet  
Qty: 1

E04.2



FF-FCCO-TIRE-16-B  
5 square feet  
Qty: 1

E04.3



FF-FCCO-LUBE-16-B  
5.7 square feet  
Qty: 2

LETTERS: 1/2" flat cut out aluminum painted black - All exposed sides;

Font: *Gotham Narrow Bold*

WALL TYPE: Not provided at this time

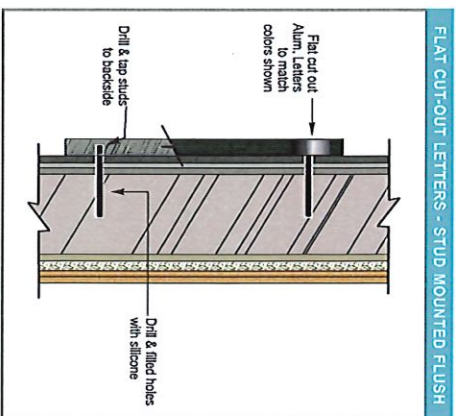
INSTALL: Letters drilled and tapped to accept studs for flush mounting;  
All penetrations filled with silicone

QUANTITY: Qty's of each as noted for EAST elevation

**COLOR PALETTE**

Black

All paint finishes to be Satin



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888.503.1569

CLIENT:	<b>Fleet Farm</b>		
ADDRESS:	Green Bay Road Sturgeon Bay, WI 54235		
PAGE NO.:	14		
ORDER NUMBER:	1185473	PROJECT NUMBER:	85723
SITE NUMBER:	18251	PROJECT MANAGER:	JASYN PECKHAM
ELECTRONIC FILE NAME: G:\ACCOUNTS\FFLEET FARM LOCATIONS\2022\118251 Sturgeon Bay\18251_Sturgeon Bay_Exterior Signage R1.cdr			

Rev #	Req #	Date/Artist	Description
Original	40722	11/15/22 JT	
Rev 1	40976	12/02/22 PV	

PRINT AND FILE IN ORIGINAL OR PROPOSED SIZE AND COLOR. THIS MATERIAL SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT CONSENT OF STRATUS.





E06

FLAT CUT OUT LETTERS

Scale: 3/8"=1'-0"

54.7 TOTAL square feet

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN

E06.1

4'-7.5/8"

1'-8"  
EXIT

FF-FCCO-EXT-20-B

7.7 square feet

E06.2

11'-7"

1'-8"  
ENTRANCE

FF-FCCO-ENT-20-B

19.3 square feet

E06.3

16'-7.5/8"

1'-8"  
ONLINE PICKUP

FF-FCCO-OP-20-B

27.7 square feet

LETTERS: 1/2" flat cut out aluminum painted black - All exposed sides;

Font: *Gotham Narrow Bold*

WALL TYPE: Not provided at this time

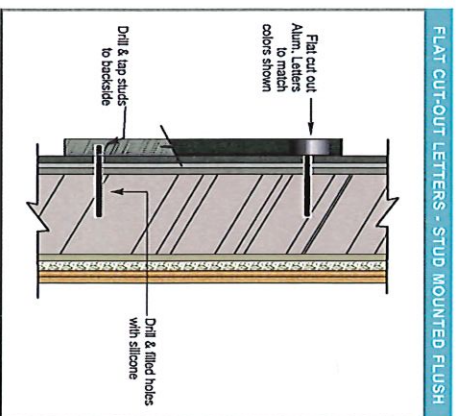
INSTALL: Letters drilled and tapped to accept studs for flush mounting;  
All penetrations filled with silicone

QUANTITY: (1) ONE of each as shown for NORTH elevation

**COLOR PALETTE**

Black

All paint finishes to be Satin



**Stratus**<sup>TM</sup>

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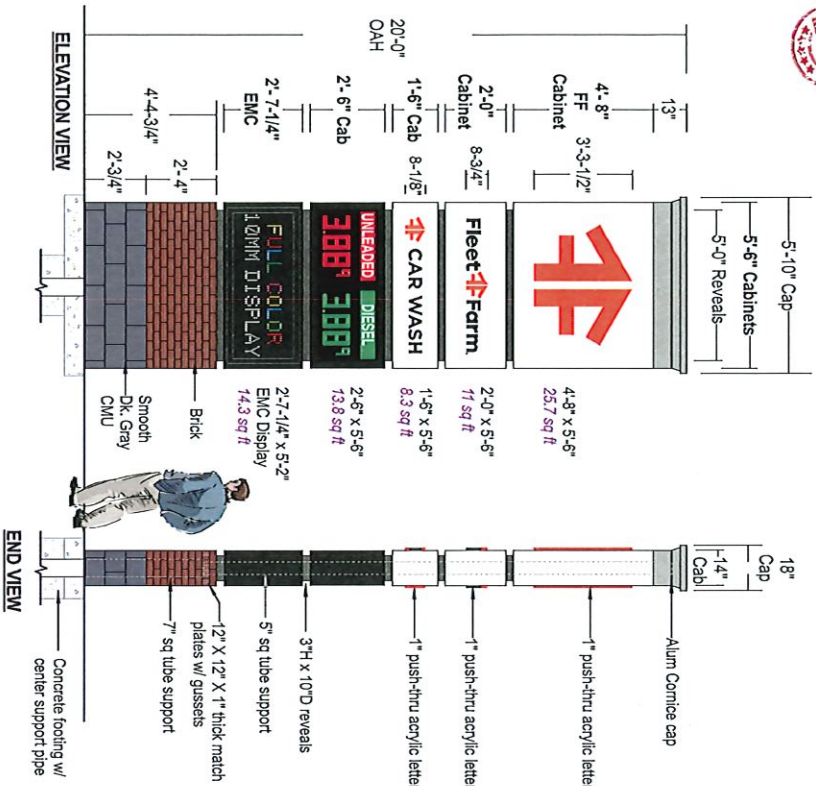
8950 Tyler Boulevard  
Mentor, Ohio 44060  
888.503.1569

CLIENT:	<b>Fleet Farm</b>	
ADDRESS:	Green Bay Road Sturgeon Bay, WI 54235	
PAGE NO.:	16	
ORDER NUMBER:	1185473	PROJECT NUMBER: 85723
SITE NUMBER:	18251	PROJECT MANAGER: JASYN PECKHAM
ELECTRONIC FILE NAME:	G:\ACCOUNTS\FLEET FARM LOCATIONS\2022\18251_Sturgeon Bay\18251_Sturgeon Bay_Exterior Signage R1.cdr	

Rev.#	Req.#	Date/Artist	Description	Rev.#	Req.#	Date/Artist	Description
Original	40722	11/15/22	JT				
Rev 1	40876	12/09/22	PV				

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SIMULATED NIGHT VIEW



CORNICE CAP: Fab'd min. .090 aluminum painted light Gray

FF LOGO CABINETS: 14" deep extruded aluminum skinned with .125 aluminum; All painted White

FACES: .125" alum. shoebox face painted White

GRAPHICS: Routed out from alum. faces with 1" push-thru clear acrylic; Returns painted opaque Black and Orange with Black perf. daylight film and Orange lens; vinyl applied to faces as shown w/ second surface diffuser film; Copy/graphics face illum. only - Edge of copy/graphics do not illum.

ILLUM.: White LEDs as required by manufacturer; Power supplies to be housed within cabinet

FLEET FARM & CAR WASH CABINETS: 14" deep extruded aluminum skinned with .090 aluminum; All painted White

FACES: .125" alum. shoebox face painted White

GRAPHICS: Routed out from alum. faces with 1" push-thru clear acrylic; Returns painted opaque Black and Orange with Black perf. daylight film and Orange lens; vinyl applied to faces as shown w/ second surface diffuser film; Copy/graphics face illum. only - Edge of copy/graphics do not illum.

ILLUM.: White LEDs as required by manufacturer; Power supplies to be housed within cabinets

PRICER CABINETS: 14" deep extruded aluminum skinned with .125 aluminum; All painted Black; Alum. faces routed out to accommodate Price displays and fuel signs

PRICERS: Sunshina LED Digital display Gas Price Changems

FUEL LABELS: 3/16" routed out and backed up White polycarbonate w/ surface applied trans vinyl graphics to match colors shown

EMC DISPLAY: (2) TWO S/F 10mm RGB LED Matrix displays; Size of each unit: 2'-5 1/4" x 5'-3 1/4" x 5'0"

CLADDING: Fab'd min. .063 aluminum painted Black

REVEALS: Fab'd .125" aluminum channel reveal painted Dark Gray

BASE COLUMNS: Brick and CMU block to match existing building materials and colors

INSTALL: Direct burial installation in accordance with engineering requirements and city codes

QUANTITY: (1) ONE required

Rev #	Req #	Date/Artist	Description
Original	40752	11/15/22 JT	Added photo
Rev 1	40976	12/09/22 PV	Removed option

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CLIENT: **Fleet Farm**

ADDRESS: Green Bay Road, Suringen Bay, WI 54235

PAGE NO.: 18

ORDER NUMBER: 1185473

SITE NUMBER: 18251

ELECTRONIC FILE NAME: G:\ACCOUNTS\FLEET FARM\_LOCATION\2022\118251\_Suringen Bay\18251\_Suringen Bay\_Signage R1.cdr

PROJECT NUMBER: 85723

PROJECT MANAGER: JAS'VN PECKHAM

PRINT ASSET: Elevation & Project Description of Structure. This material will not be used, published, or otherwise reproduced without the prior written consent of Stratus.





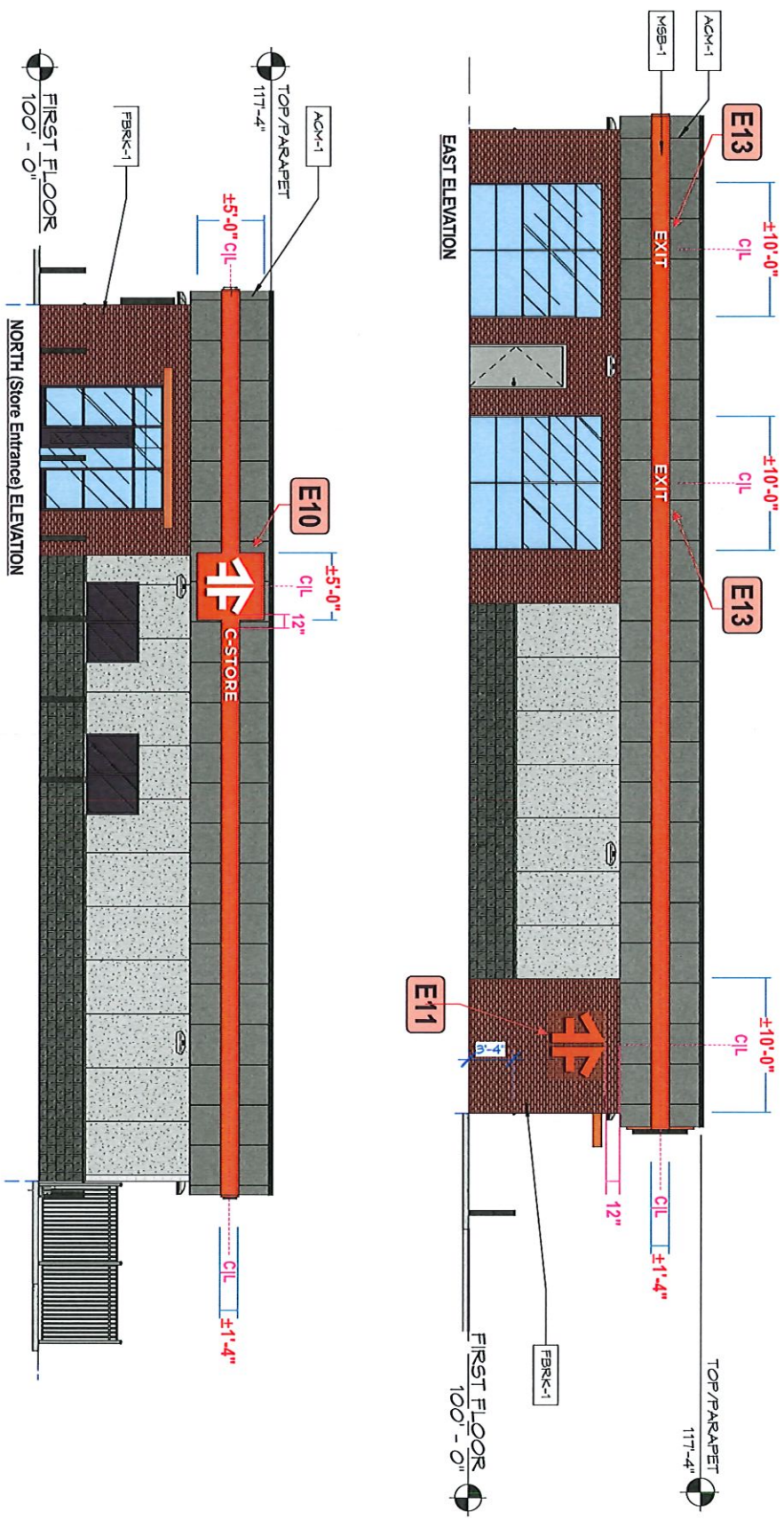


C-STORE/CAR WASH ELEVATIONS

Scale: 1/8" = 1'-0"



ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



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8930 Twp Boulevard  
Mentor, Ohio 44060  
888.503.1569

CLIENT: **Fleet Farm**  
ADDRESS: Green Bay Road  
Surgeon Bay, WI 54235  
PAGE NO.: 20

ORDER NUMBER: 1186473  
PROJECT NUMBER: 85723  
SITE NUMBER: 18251  
PROJECT MANAGER: JASYN PECKHAM  
ELECTRONIC FILE NAME: G:\ACCOUNTS\PERM PERM LOCATIONS\2022\18251\_Surgeon Bay\18251\_Surgeon Bay\_Exterior Signage R1.cdr

Rev #	Req #	Detail/Art	Description	Rev #	Req #	Detail/Art	Description
Original	40752						
Rev 1	40976	1/20/22/PM					

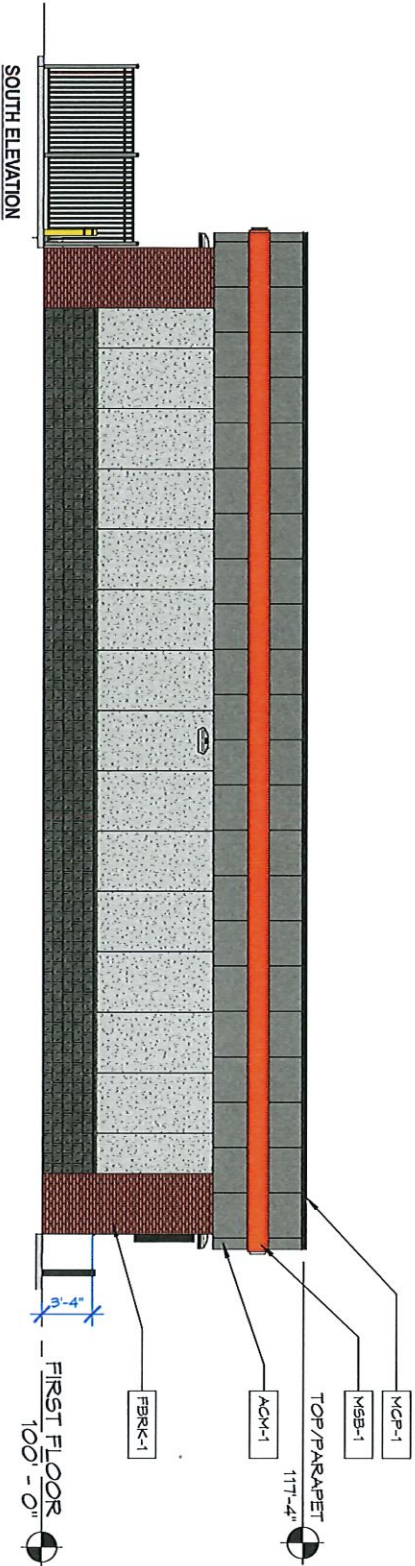
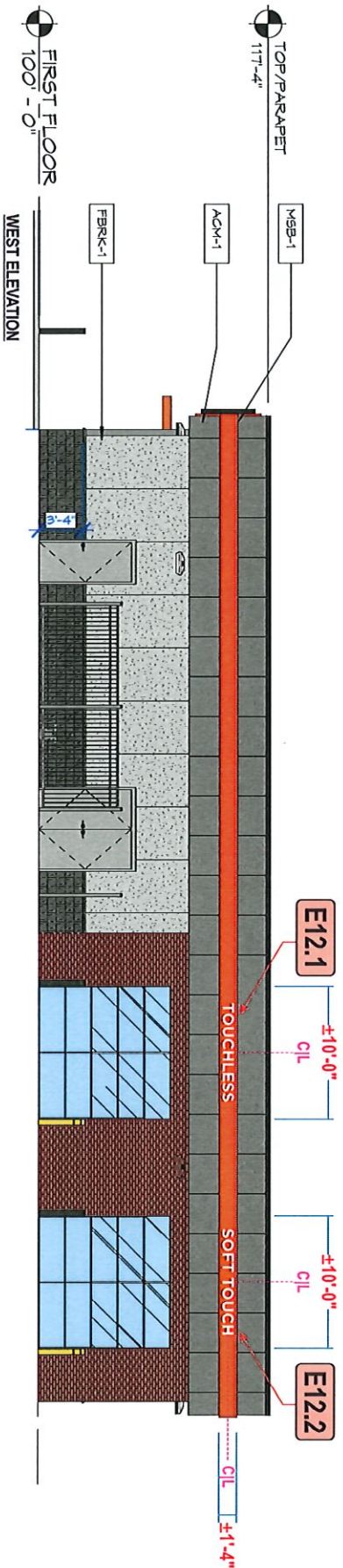
PRINT ARCHITECTURE AND PROJECT OPERATIONS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, OR OTHERWISE REPRODUCED WITHOUT THE WRITTEN CONSENT OF STRATUS.

C-STORE/CAR WASH ELEVATIONS

Scale: 1/8" = 1'-0"



ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



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Mentor, Ohio 44060  
888.503.1569

CLIENT:	<b>Fleet Farm</b>	ORDER NUMBER:	1185473	PROJECT NUMBER:	85723
ADDRESS:	Green Bay Road Sturgeon Bay, WI 54235	SIDE NUMBER:	18251	PROJECT MANAGER:	JASYN PECKHAM
PAGE NO.:	21	ELECTRONIC FILE NAME:	G:\ACCOUNTS\FLEET FARM LOCATIONS\2020\18251_Sturgeon Bay\18251_Sturgeon Bay_Exterior Signage R1.cdr		

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original		4/27/21	JT				
Rev 1		4/27/21	PV				

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E10

FACE LIT CHANNEL LETTERS

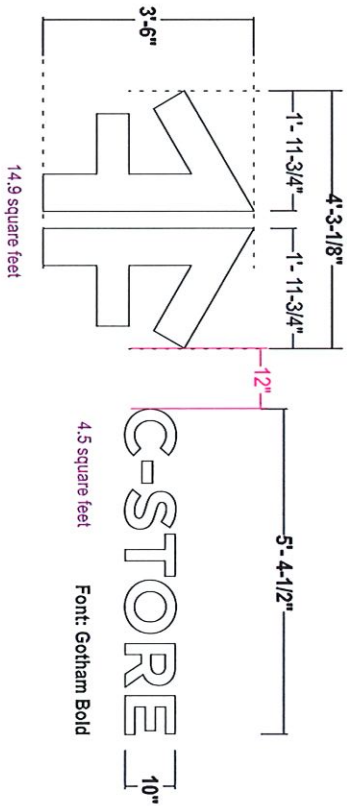
Scale: 1/2"=1'-0"

CUSTOM

19.4 TOTAL square feet

ARTWORK RECREATED BY STATUS: CUSTOMER TO SUPPLY FINAL ARTWORK FOR PRODUCTION OR APPROVAL OF SHOWN REQUIRED

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN

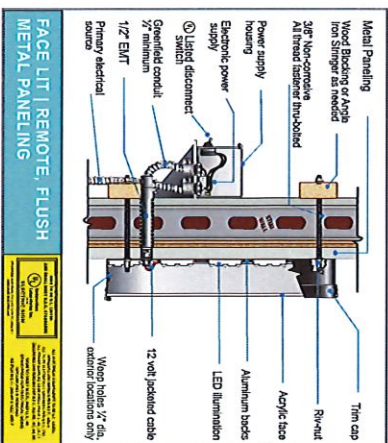


- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** LETTERS: 1" Black jewelite trimcap; LOGO: 2" Black jewelite trimcap
- RETURNS:** LETTERS: 5" deep .040 alum. - insides pre-painted White; Outsides painted Black; LOGO: 5" deep .050 alum. - insides pre-painted White; Outsides painted Black
- BACKS:** LETTERS: .050 Alum. - pre-painted White; LOGO: .063 Alum. - pre-painted White
- ILLUM.:** White LED as required by manufacturer; Power supplies to be remotely located
- WALL TYPE:** Metal paneling
- INSTALL:** Thru bolted using all thread into blocking as required; 12" standard length of threaded rod will be supplied unless otherwise noted; 3/8" threaded rod into locking or Stratus approved equivalent
- QUANTITY:** (1) ONE Letterset required for NORTH CAR WASH elevation

**COLOR PALETTE**

- RETURNS/TRIMCAP: Black
- FACES: #7328 White acrylic

All paint finishes to be Satin



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8939 Tyler Boulevard  
Mantorville, Ohio 44030  
888-503-1569

CLIENT: **Fleet Farm**

ADDRESS: Green Bay Road, Surgoon Bay, WI 54245

PROJECT NO.: 22

ORDER NUMBER: 1185473

PROJECT NUMBER: 85723

SITE NUMBER: 18251

PROJECT MANAGER: JASYN PECKHAM

ELECTRICAL FILE NAME: GANACOUNSPEEET FARM, LOCATION: 2221M18251, Surgoon Bay, 18251, Surgoon Bay, Exterior Signage R1, 12d

Rev #	Rev #	Detail/Title	Description
Original	40/82	1/1/82, JT	
Rev 1	40/97b	12/09/22 PJ	

PRINT: ARCHITECT: COLUMBIAN CORPORATION, EAST AURORA, ILL. MATERIALS SHALL NOT BE USED. DIMENSIONS OF DRAWING REPRESENTED WITH INTENT TO BE SHOWN WITHIN GOVERNMENT OF ILLINOIS.





E12

FACE LIT CHANNEL LETTERS

Scale: 3/4"=1'-0"

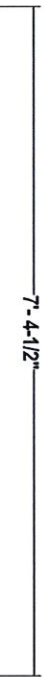
CUSTOM

12.5 TOTAL square feet

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



E12.1



TOUCHLESS  
Font: Gotham Bold  
5.9 square feet

E12.2



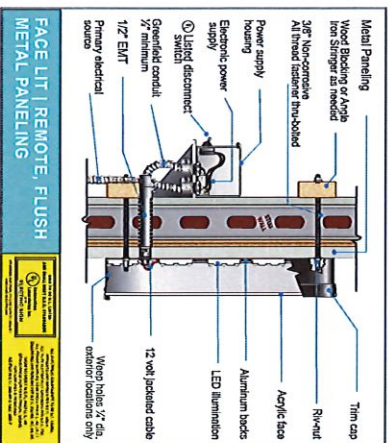
SOFT TOUCH  
6.6 square feet

- FACES: 3/16" #7328 White acrylic
- TRIMCAP: 1" Black Jewelle trimcap
- RETURNS: 5" deep .040 alum. - insides pre-painted White; Outsides painted Black
- BACKS: .050 Alum. - pre-painted White
- ILLUM.: White LED as required by manufacturer; Power supplies to be remotely located
- WALL TYPE: Metal paneling
- INSTALL: Thru bolted using all thread into blocking as required; 1/2" standard length of threaded rod will be supplied unless otherwise noted; 3/8" threaded rod into locking or Stratus approved equivalent
- QUANTITY: (2) TWO Lettersets required; (1) One of each as shown for WEST CAR WASH elevation

**COLOR PALETTE**

- RETURNS/TRIMCAP: Black
- FACES: #7328 White acrylic

All paint finishes to be Satin



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CLIENT: **Fleet Farm**

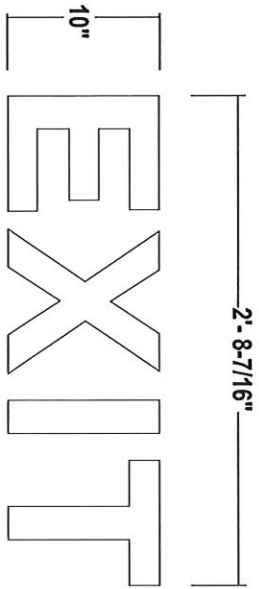
ADDRESS: Green Bay Road, Sturgeon Bay, WI 54235

PAGE NO: 24

ORDER NUMBER:	PROJECT NUMBER:	Row #	Req #	Date/Artel	Description	Row #	Req #	Date/Artel	Description
1185473	85723	Original	40752	11/15/22	JT				
		Rev 1	40976	12/06/22	PV				
SITE NUMBER: 18251		PROJECT MANAGER: JASYN PECKHAM							
ADDRESS: Green Bay Road, Sturgeon Bay, WI 54235		EL.ELECTRONIC FILE NAME: G:\ACQUISITIONS\PEET FARM, LOCATIONS\2022\18251_Sturgeon Bay, 18251_Sturgeon Bay_Elevator Signage R1.rdr							

PRINT ARCHITECTURAL PROPERTIES OF THE AND THE MATERIAL SHALL NOT BE USED. DUPLICATES OF OTHERS REPRODUCED WITH OUT THE PERMISSION OF THE STRATUS UNLIMITED COMPANY.

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



ALL MANUFACTURING SPECS TBV PRIOR TO PRODUCTION  
VERIFY IF LETTERSET IS FCOS OR FACE LIT CHANNELS

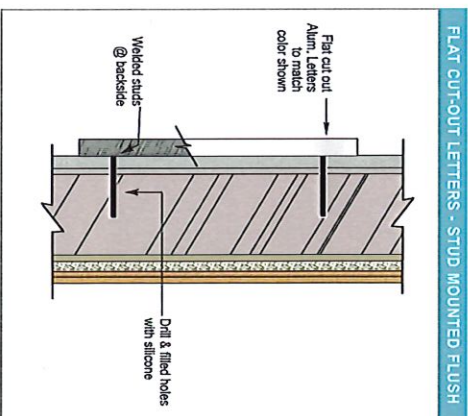
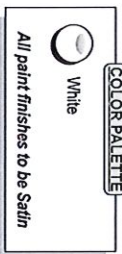
LETTERS: 1/8" flat cut out aluminum painted White - All exposed surfaces; Backsides to have studs for flush mounting

Font: Gotham Bold

WALL TYPE: Metal paneling

INSTALL: Letters to be stud mounted flush to metal paneling; All penetrations filled with silicone

QUANTITY: (2) TWO required for EAST CAR WASH Elevation



FLAT CUT-OUT LETTERS - STUD MOUNTED FLUSH

CLIENT:	Fleet Farm		
ADDRESS:	Green Bay Road Surgeon Bay, WI 54235		
PAGE NO.:	25		
ORDER NUMBER:	1189473	PROJECT NUMBER:	85723
SITE NUMBER:	18251	PROJECT MANAGER:	JASYN PECKHAM
ELECTRONIC FILE NAME:	G:\ACCOMPLISHMENT FARM LOCATIONS\2022\18251_Surgeon Bay\18251_Surgeon Bay_Exterior Signage R1.dwg		

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	40792	11/15/22	JT				
Rev 1	40878	1/20/23	TV				

PRINTS ARE NOT TO SCALE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.