

**AGENDA  
CITY OF STURGEON BAY  
AESTHETIC DESIGN & SITE PLAN REVIEW BOARD**

Monday, August 8, 2022  
6:00 p.m.  
Council Chambers, City Hall  
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from July 25, 2022.
4. Consideration of: 65' x 300' Building for Fincantieri Bay Shipbuilding located at 605 N. 3<sup>rd</sup> Avenue.
5. Adjourn.

*NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.*

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

Committee members

Thad Birmingham  
Nancy Schopf  
Mark Struck  
Dave Augustson  
Kelsey Fox  
Rick Wiesner  
Pam Jorns

August 3, 2022  
1:00 p.m.  
CS



AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD  
Monday, July 25, 2022

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:05 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

**Roll Call:** Members Rick Wiesner, Dave Augustson, Thad Birmingham and Mark Struck were present. Pam Jorns, Kelsey Fox and Nancy Schopf were excused. Staff present were City Administrator Josh Van Lieshout, Community Development Director Marty Olejniczak, Planner/Zoning Administrator Christopher Sullivan-Robinson and Community Development Administrative Assistant Cindy Sommer.

**Adoption of Agenda:** Moved by Mr. Birmingham, seconded by Mr. Augustson to adopt the following agenda.

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from June 27, 2022.
4. Consideration of: Revised building design for WWP Development, LLC, Sturgeon Bay Terrace located at 100 E. Maple Street.
5. Consideration of: Door County Facilities & Parks Maintenance Garage addition located at 916 N. 14<sup>th</sup> Ave.
6. Adjourn.

All ayes. Carried.

**Approval of minutes from June 27, 2022:** Moved by Mr. Augustson, seconded by Mr. Struck to approve the minutes. All ayes. Carried.

**Consideration of: Revised building design for WWP Development, LLC, Sturgeon Bay Terrace located at 100 E. Maple Street.**

Mr. Sullivan-Robinson introduced the revised building plan for WWP Development, LLC, Sturgeon Bay Terrace. The original building plan was approved about a year ago and consisted of a three level building, which has now been revised to two levels. The developer is seeking approval of the final site and landscape plans. The noted revisions are that there is no third level, the previous proposed balconies have been removed, the window layout has been changed, however the general building design and materials will remain unchanged. There are no landscape requirements from a zoning standpoint. Some of the landscape plan and other improvements spills over onto city property, which will be subject to a formal agreement.

Mr. Olejniczak also explained that when the new plans were submitted, American Transmission Company (ATC) made contact and indicated that parts of the transmission line were placed outside of the existing easement and they are seeking an extended easement. The proposed building will have to be moved approximately four feet west to accommodate the existing line and extended easement. This would slightly shift the outside seating and some of the landscaping, but otherwise the plan will not change and any overflow of landscaping and outside seating has already been agreed upon with the City.

Mr. Van Lieshout further explained that none of the features will change, the building will just be moved approximately four feet. The City is working with ATC on the details of the easement, however contesting the change would likely be very costly and cause extended delays.

Peter Gentry of WWP Development, LLC, 6140 N. Shoreside Circle, Sturgeon Bay, explained that moving the building is feasible, though unexpected. The aesthetics of the building would not change. The landscape plan is good and they are already approved for a zero setback. They were ready to break ground last year but the DNR found methane and a mitigation plan was necessary, thereby delaying the project. Building costs have substantially increased, which required them to scale back their plan and remove one story of the building, which would have been a residential rental unit. The full windows have been changed to



transom windows, but otherwise the building remains much the same. The landscape plan is slightly changed because fill was added as part of the DNR mitigation plan, which reduced the grade somewhat. The siding will be gunship gray with cedar accents and dumpster enclosure. The roof will be a darker shade of gray and pergolas will have a dark metal powder coat. Signage will be downward directed LED lighting.

Committee members complimented Mr. Gentry on the attractive plan that fits in well with the city aesthetics.

Motion made by Mr. Struck to approve the building design and landscape plan as presented but subject to the building location being moved to meet the anticipated ATC easement requirements. Motion seconded by Mr. Birmingham. All ayes. Motion carried.

**Consideration of: Door County Facilities & Parks Maintenance Garage addition located at 916 N. 14<sup>th</sup> Ave.**

Mr. Sullivan-Robinson introduced a proposed 40' x 60' x 18' building addition by the County of Door to an existing facility building at John Miles County Park. The addition will be just east of the current ADRC building and have metal siding and roof with wainscoting, large overhead doors and entry doors. Lighting will be downward directed. The design features will match the ADRC building and be compatible with the other existing buildings. There are no storm water management concerns. The color palette is shown in the provided packet of material. Staff recommends approval of the proposed addition as presented.

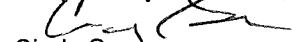
Mr. Wayne Spritka, Director of Door County Facilities and Parks Department, 421 Nebraska Street, presented the project and explained that the current building does not have water and sewer for employee restrooms. They have moved all of their operations to John Miles County Park and have outgrown their buildings. The landscape plan depicted in the packet is not very detailed and the trees shown will be moved to the west side with other trees and shrubs. The county is looking at PV solar to be added to the roof, but no decision has been made on the scope of the plan, which could involve either the east and west sides of the roof, or even the entire roof. Panels are typically placed at 30 degrees, which will change the height of the roof somewhat.

The existing building was previously an ambulance garage, then revamped into a tire garage. The county considered razing the building and doing a complete rebuild, but determined that an addition is the better plan. The design will match the current ADRC building to the best of their ability with current available materials. The east side may remain as it is but, if cost effective, may also be re-sided. The lighting plan will match what is already in place throughout the grounds.

Mr. Augustson moved to approve the proposed addition as presented with the landscape changes on the west side. Motion seconded by Mr. Struck. All ayes. Motion carried.

**Adjourn:** Moved by Mr. Augustson, seconded by Mr. Wiesner to adjourn. All ayes. Motion carried. The meeting adjourned at 6:41 p.m.

Respectfully submitted,



Cindy Sommer  
Community Development  
Administrative Assistant





# MEMO

To: Aesthetic Design and Site Plan Review Board  
From: Christopher Sullivan-Robinson  
Date: October 2, 2022  
Subject: 65' x 300' Building for Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave

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Fincantieri Bay Shipbuilding is requesting approval of a certificate of appropriateness for the construction of a new 19660ft<sup>2</sup> building (Building 110) located off the southwest corner of 3<sup>rd</sup> Ave and Florida St. The building dimension is 65 ft x 302.5 ft. The overall height to lowest grade is 34 feet. Lighting, and landscaping have not been provided for review. Signage is shown on the east building elevation; however, no specific details have been provided.

ZBA Approval: On March 22, 2022 the Zoning Board of Appeals (ZBA) approved two variances for this project allowing the proposed building to be placed 2 feet from the west and north property lines with the condition that the 3<sup>rd</sup> Avenue Beautification Plan be extended from Iowa St to Florida St. The building plans provided have been modified compared to the plan approved by ZBA. The changes include a shorter building by approximately 45 feet and excluded the guard shack. In addition, the façade excludes decorative windows on the south, east, and north elevation.

Below are relevant guidelines and criteria should consider:

(1) Site Layout:

- a. The site shall be designed to accomplish a desirable transition from the public streetscape, and between commercial, industrial, and residential land use areas.
- b. Stormwater drainage shall be designed so as not to alter the natural drainage systems or cause flooding or erosion on neighboring properties.

(2) Building Design:

- a. Buildings should be sited and designed to be aesthetically pleasing as viewed from adjoining public streets. Excessively long, unbroken building facades shall be avoided. Building materials and design features shall be consistent with the general design theme and/or proposed use of the development.
- b. Buildings on in-fill sites shall be compatible with surrounding buildings in terms of scale, massing, height, entrances, and windows.
- c. Blank walls viewable from the street are undesirable.

(3) Landscaping:

- a. To reduce erosion and surface runoff, trees and other vegetative land cover shall be removed only where necessary for the construction of structures or paved areas.
- b. Vegetative landscaping shall be used to soften the appearance of blank walls.



- c. Fences and retaining walls shall be surfaced, painted, landscaped or otherwise treated to blend with their surroundings.

**Recommendation:** City staff recommend approval of the submitted plans subject to the conditions of the Zoning Board of Appeals and including decorative windows on all sides visible from the right-of-way to be approved by the chairperson.



# CITY OF STURGEON BAY

## AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

### APPLICATION FOR ***CERTIFICATE OF APPROPRIATENESS***

Name: Fincantieri Bay Shipbuilding

Owner of Premises: Fincantieri Bay Shipbuilding

Address or Legal Description of Premises:

605 N. Third Avenue

Statement of Specific Item Requested for Approval:   
Fincantieri Bay Shipbuilding is requesting Aesthetic Design and Site plan approval necessary for the construction of a new Building 110, along with the related site work. Fincantieri was recently awarded two LNG Barge contracts along with a Navy contract and there is a direct need to add production capabilities and capacity at the Sturgeon Bay Facility. Fincantieri plans to make the new Building 110 into a machine shop that services the entire yard's machining needs. A Variance for building side yard setback was granted for Building 110 on March 22, 2022.

7/27/2022  
Date

Aaron Bley  
Applicant

Date Received: 8/1/22

Staff Signature: Chris S.

Date Approved/Denied:



## **Zoning Board of Appeals**

### **Tuesday, March 22, 2022**

A meeting of the City of Sturgeon Bay Zoning Board of Appeals was called to order at 12:00 p.m. by Chairperson William Murrock in Council Chambers, City Hall, 421 Michigan Street.

**Roll call [#1]:** Members William Murrock, Dave Augustson, Nancy Schopf and Morgan Rusnak and alternate member Michael Marit were present. Members Bill Chaudoir was excused. Also present were Community Development Director Marty Olejniczak, Planner/Zoning Administrator Chris Sullivan-Robinson and Administrative Assistant Suzanne Miller.

**Adoption of Agenda [#2]:** Moved by Marit, seconded by Augustson to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from December 14, 2021.
4. Public Hearing: Petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C.
5. Consideration of: Petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C.
6. Adjourn.

All ayes. Motion carried.

**Approval of Minutes from December 14, 2021 [#3]:** Moved by Schopf, seconded by Rusnak to approve the minutes from December 14, 2021. All ayes. Motion carried.

**Public hearing [#4]:** Petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding (FBS) located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C. Chairperson Murrock opened the public hearing at 12:04 p.m.

Zoning Variance request read aloud by Miller.

Introduction given by Sullivan-Robinson described Fincantieri Bay Shipbuilding's (FBS) petition for two variances to accommodate construction of a 65' x 350' x 32' high machine shop along 3<sup>rd</sup> Avenue near the northeast corner of their property (350' along 3<sup>rd</sup> Ave. [east] & 65' along Florida St. [north]). Proposals show the building 2' off the north property line and 2' off the east property line. Property is zoned Heavy Industrial (I-2), which requires the building to have a 50' setback along 3<sup>rd</sup> Ave. and a 20' setback along Florida St. FBS is proposing a land swap along the north lot line with the City to allow the northward positioning needed to keep the building outside of the FEMA floodplain. Sullivan-Robinson instructed the Authority that to be granted the variance, FBS must: 1. Prove an unnecessary hardship 2. Identify physical property limitations that require the variance 3. Prove the variance would not negatively impact the public interest.

Sullivan-Robinson reported positives include elimination of areas of outside storage that encroach into City right-of-way, improved curb appeal, some additional green space, and a better-designed/looking building than some of FBS's existing structures. Negatives include the



undesirable 2-foot separation between the property line and an industrial building and the effects that pushing an industrial building close to the street may have on the aesthetics of 3<sup>rd</sup> Ave.

Also of concern is how much variance is needed from 3<sup>rd</sup> Ave based on the space FBS requires to reasonably access the graving dock/gantry crane area. He informed the Authority that approval of the variance can be subject to added conditions to address the aesthetics of the structure such as building materials, beautifying the frontage along 3<sup>rd</sup> Ave. and/or site clean-up items.

Jan Allman, Sr. V.P. for Public Affairs and Community Relations and Aaron Bley, Facilities Manager, both representing FBS and Stuart Johnson of A.C.E. Building Services were present.

Allman explained: 1.) The age and poor condition of the existing building, that does not meet code (no sprinkler system), they plan to replace. 2.) The importance of keeping the new building out of the flood plain 3.) The necessity of placing the building as proposed to allow continued efficient production and safe operation of the shipyard without limiting production. She reported they would not be able to operate due to limited space between the new building and the gantry crane if prohibited from moving the new building northward. She stated FBS will look at requests from the Authority regarding aesthetics. She described the land swap as a long sliver along the northside of the property of ~3,000sq.ft., presented a printed layout, and stated FBS already has equipment/materials and fencing in that area and has a high-level agreement with the City to make the swap. She stated there will be no additional fencing installed as the building will become the fence. Indoor production allowed via the new building will reduce noise, dust, and debris in the area. Allman reported the original beautification project (south of Iowa St.) will be installed in second quarter 2022.

Bley reported the new building will replace the old machine shop. Location of the building in relation to the graving dock/gantry crane is critical to move parts and materials, build ships and launch ships. He reported they have no second option and without the variance to relocate the building, the effect on production will be drastic. He reported boring results were very positive and bedrock was reached at 12 feet. The south end of the building will include the guard shack resulting in a facelift for the north entrance to FBS. Utility services are already inside the shipyard and conveniently located.

Johnson described the proposed pre-engineered metal building that will match the other new buildings in appearance.

Noralea Lautenbach of 632 No. 3<sup>rd</sup> Ave. spoke in favor of the variance as an improvement in appearance over the present "mess" and raised several concerns: 1.) The lack of parking on 3<sup>rd</sup> Ave. She and her immediate neighbors do not have parking on the street (east side) in front of their homes and the FBS workers are "nasty" when neighbors park on the west side of the street. 2.) There are no trees along the west side of 3<sup>rd</sup> Ave. in this area. 3.) Snow removal is problematic as plow deposits a great deal of snow on their side of the street and the sidewalk.

Chris Kellems of 120 Alabama St. spoke in favor of the proposal, especially improved dust control. She spoke of a missed opportunity for solar panels on the roof of new buildings and raised concern regarding seagull nesting on the roof.

No one spoke in opposition of the variance request and there were no letters of correspondence in favor of or against the variance request.

Allman responded FBS would look at snow removal issues, is willing to plant trees, is planning to



dispose of some of the items stored outside and will be using more inside storage. FBS has a sustainability program and are evaluating the use of solar. Brey reported the roofs are designed to support the weight of future solar panels and FBS participates in a seagull mitigation program with the DNR in the summer. The building must be 65 feet to accommodate the length of shafts and other components.

The public hearing was declared closed at 12:21 p.m.

**Consideration of petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C. [5]:**

Discussion: Authority members voiced support for the proposal as the area will be cleaned up and sound will be mitigated through indoor production. Augustson stated he would like to see more green space and maintain views of the yard. Augustson also stated: 1.) The building allows completion of Navy contracts, 2.) The flood plain and space limitations of the property leave no other options for placement, and 3.) The City and Utilities property to the north of the lot line provide adequate green space. Schopf stated support due to improved aesthetics in the area and the project supporting the economy of the City.

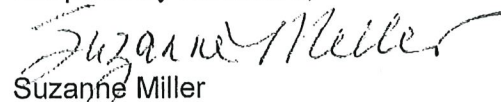
**Motion #1:** Augustson made a motion to approve the petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C, allowing FBS to construct a building encroaching the setback from the north lot line by 18 feet and allowing the structure's corner to be sited within two feet of the lot line. Second by Shopf. All ayes by roll call vote. Motion carried.

Discussion: Authority members discussed the size of the building and amount of area along 3<sup>rd</sup> Ave. available for green space.

**Motion #2:** Murrock made a motion to approve the petition for variance from Section 20.27(2) of the City of Sturgeon Bay Zoning Code for Fincantieri Bay Shipbuilding located at 605 N 3<sup>rd</sup> Ave; parcel #281-62-01000704C, allowing FBS to construct a building encroaching the setback from 3<sup>rd</sup> Avenue by 48 feet with the condition that FBS extend the current 3<sup>rd</sup> Avenue Beautification Project from its current termination at Iowa St. to the end of the FBS property at Florida St. Shopf seconded the motion. All ayes by roll call vote. Motion carried.

**Adjourn [#6]:** Motion to adjourn by Augustson, seconded by Shopf. All ayes. Motion carried. The meeting adjourned at 1:05 p.m.

Respectfully submitted,



Suzanne Miller  
Administrative Assistant



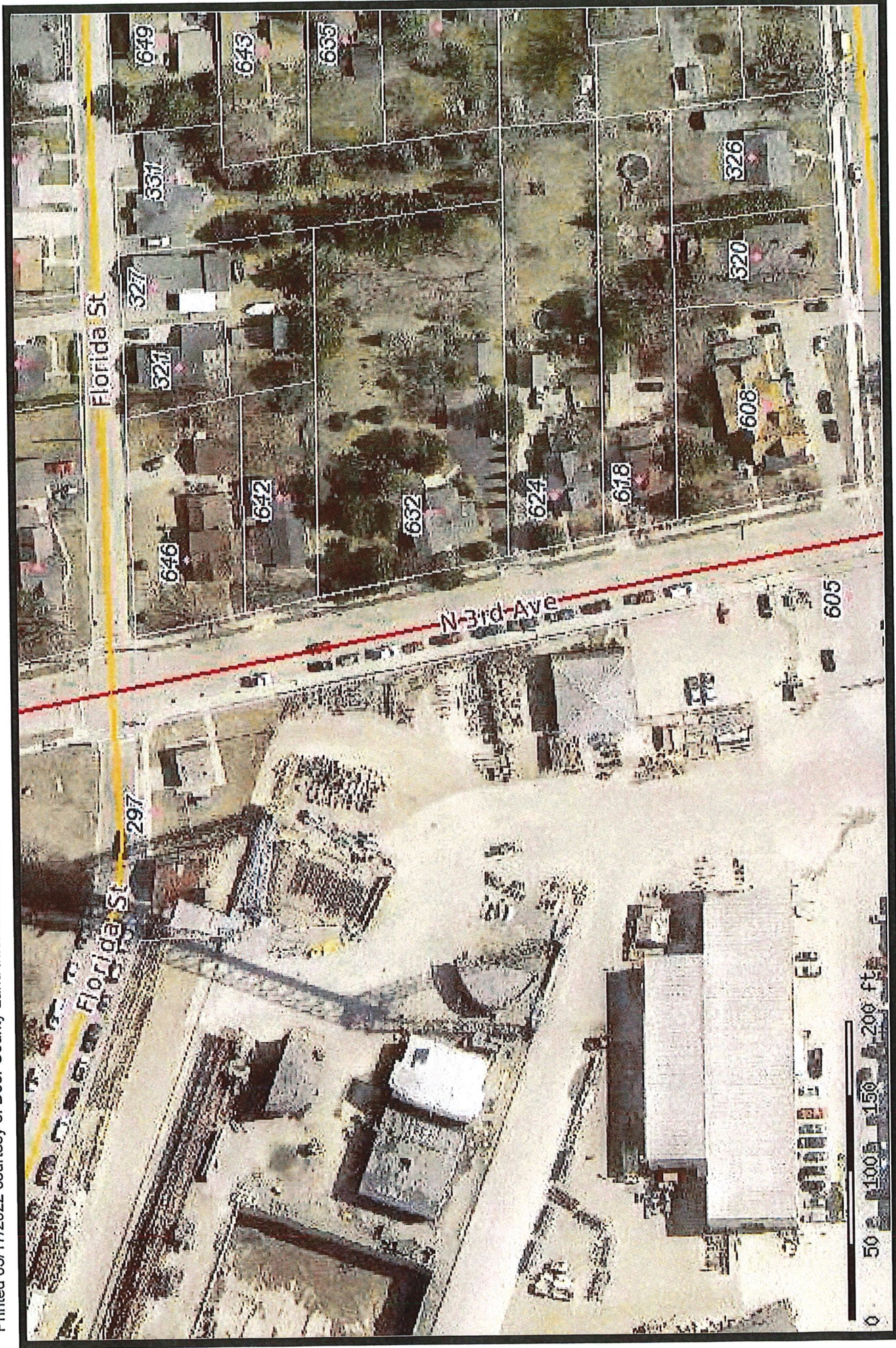
# Map

Printed 03/17/2022 courtesy of Door County Land Information Office

... from the Web Map of ...  
( [//www.co.door.wi.gov](http://www.co.door.wi.gov) )



**Door County, Wisconsin**  
**... for all seasons!**



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Image capture: Aug 2019 © 2022 Google









# CF LIGHT MESA

## INSULATED METAL WALL PANEL

*The Metl-Span CF Light Mesa insulated metal panel is well suited for exterior and interior walls and ceiling applications. The shallower version of the Mesa profile creates symmetry on the outside of the building and room to room within. The minor rib provides a flattened appearance. Light Mesa panels are ideal for commercial, institutional and industrial applications.*

### PRODUCT SPECIFICATIONS

**WIDTH** • 30", 36", 42"

**THICKNESS** • 2", 2½", 3", 4", 5", 6", 8"  
Note: 5", 6" & 8" available for Interior Panels Only

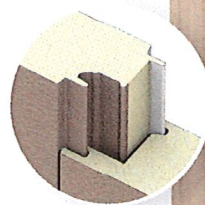
**LENGTH** NON-DIRECTIONAL EMBOSSED  
8'-0" to 32'-0" Horizontal  
8'-0" to 52'-0" Vertical  
UNEMBOSSED  
8'-0" to 16'-0" Horizontal  
8'-0" to 16'-0" Vertical

**EXTERIOR PROFILE** • Lightly profiled ⅛" deep, longitudinal planks spaced at nominal 4" on center, embossed or unembossed

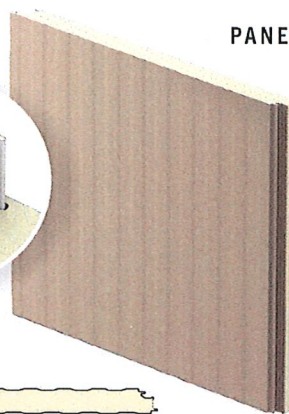
**EXTERIOR FACE** • G-90 galvanized or AZ-50 aluminum-zinc coated steel in 26, 24 and 22 Ga.

**INTERIOR PROFILE** • Light Mesa, nominal ⅛" deep, embossed or unembossed

**LOCK & GROOVE SYSTEM**



**PANEL**



**PANEL PROFILE**



**INTERIOR FACE** • G-90 galvanized or AZ-50 aluminum-zinc coated steel, 304 or 316 stainless steel in 26, 24, 22~ Ga.

**JOINT** • Offset double tongue-and-groove with extended metal shelf for positive face fastening

### U-FACTORS AND R-VALUES\*

#### U-FACTOR (BTU/h-ft²·°F)

##### PANEL WIDTH: 42"

	35°	75°
2"	0.059	0.073
2.5"	0.046	0.058
3"	0.039	0.048
4"	0.029	0.036
5"	0.023	0.030
6"	0.019	0.024
8"	0.014	0.020

#### R-VALUE (h-ft²·°F/BTU)

##### PANEL WIDTH: 42"

	35°	75°
2"	17.5	13.9
2.5"	21.9	17.4
3"	26.2	20.9
4"	35.0	27.8
5"	43.7	34.8
6"	52.5	41.8
8"	70.0	55.7

\* Based on ASTM C518, ASTM C1363 and thermal modeling

~ 22 Ga not available for stainless steel

This profile is not for use as an exterior wall of a low temp application

### DESIGN FEATURES & BENEFITS

- Consistent high quality with foamed-in-place panel manufacturing
- Flat surface, easily washable
- Utilizes concealed clips and eliminates thermal short circuits
- Easy and fast installation, with reduced construction labor costs
- Interior and exterior applications
- USDA Compliant stainless steel for use in aggressive or daily wash-down areas

Metl-Span: All-In-One Performance  
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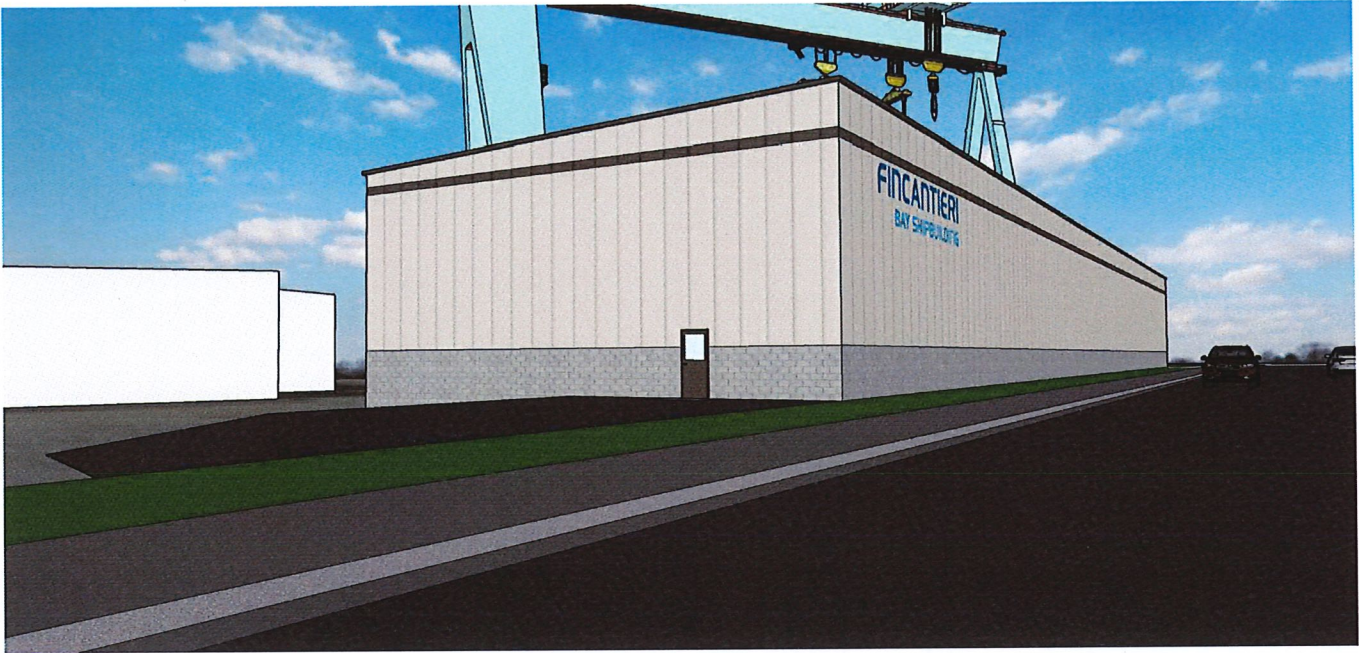
# TESTING: CF LIGHT MESA INSULATED METAL WALL PANEL

TEST/ APPROVAL	TEST METHOD	TEST TITLE	RESULTS
<b>Fire US</b>	ASTM E84	Surface Burning Characteristics of Building Materials	Flame spread <25, smoke developed <450
	ASTM E119	Fire Tests of Building Construction Materials	One hour non-load bearing rating with two layers of Type X Gypsum Vertical or horizontal installation
	FM 4880	Class 1 Fire Rating of Insulated Wall, Ceiling and Roof Panels	Product approved Exterior wall requires FM 4881 approval
	NFPA 259	Test Method for Potential Heat of Building Materials	Potential heat of foam plastic insulation contained in the assembly tested in accordance with NFPA 285
	NFPA 285-19	Evaluation of Fire Propagation Characteristics of Exterior Non-Load Bearing Wall Assemblies	Panel assembly met the requirements of the standard
	NFPA 286	Fire Tests for Evaluating Contribution of Wall and Ceiling Finish to Roof Fire Growth	Test specimen met the criteria of the IBC Section 803.1.2.1
<b>Fire Canada</b>	CAN/ULC S101	Fire Endurance Tests of Building Construction and Materials	One hour non-load bearing fire rating with two layers of Type X Gypsum
	CAN/ULC S101	Fire Endurance Tests of Building Construction and Materials	Meets 15 minute stay-in-place requirements
	CAN/ULC S102	Surface Burning Characteristics of Building Materials and Assemblies	Meets the National Building Code of Canada requirements
	CAN/ULC S134	Fire Test of Exterior Wall Assemblies	Complies with the fire-spread and heat-flux limitations required by the National Building Code of Canada
	CAN/ULC S138	Fire Growth of Insulated Building Panels in a Full-Scale Room Configuration	Met the criteria of the standard
<b>Structural</b>	ASTM E72	Strength Tests of Panels for Building Construction	See Load Chart
	ASTM E1592	Structural Performance of Metal Roof and Siding Systems by Uniform Static Air Pressure Differences	See Load Chart
	FM 4881	Class 1 Exterior Wall Structural Performance	See FM Wall Load Chart
<b>Thermal Performance</b>	ASTM C518	Steady-State Thermal Transmission Properties by Means of the Heat-Flow Meter Apparatus	K-Factor of 0.114 BTU.in/hr.ft <sup>2</sup> .°F at 35° F mean core K-Factor of 0.144 BTU.in/hr.ft <sup>2</sup> .°F at 75° F mean core
	ASTM C1363	Thermal Performance of Building Materials and Envelope Assemblies	See Thermal Performance Guide
<b>Air Infiltration</b>	ASTM E283	Rate of Air Leakage Through Curtain Walls Under Specified Pressure Differences	<0.01 cfm/ft <sup>2</sup> at 20 psf Vertical or horizontal installation
<b>Water Infiltration</b>	ASTM E331	Water Penetration of Exterior Walls by Uniform Static Air Pressure Differences	No uncontrolled leakage when tested to a static pressure of 20 psf Vertical or horizontal installation
<b>Special Approval</b>	Miami-Dade NOA	Product Approval for City of Miami and Dade County	Product has City of Miami and Dade County Notice of Acceptance
	State of Florida	Product Approval for the State of Florida	Product has State of Florida approval

Note: Miami Dade and Florida testing is not available on 8" thickness.

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GENERAL	CIVIL	ARCHITECTURAL	STRUCTURAL
A.C.E. BUILDING SERVICES 3510 SOUTH 26TH STREET MANITOWOC, WISCONSIN 54220 P: 920-682-6105	BADHUI SURVEYING & ENGINEERING 312 N. 5TH AVENUE STURGEON BAY, WISCONSIN 5435 P: 920-743-8211	A.C.E. BUILDING SERVICES 3510 SOUTH 26TH STREET MANITOWOC, WISCONSIN 54220 P: 920-682-6105	STRUKTURA, LLC 2147 BLUFF OAK DRIVE CARY, NORTH CAROLINA 27519 P: 919-257-9341
G 1.0   TITLE SHEET	C 1.0   PLOT PLAN	A 1.0   WALL TYPES, ABBREVIATIONS, AND SYMBOLS A 3.1   FLOOR PLAN A 3.2   TOILET ROOM PLAN & TOILET ROOM ELEVATIONS A 4.1   SCHEDULES A 5.1   EXTERIOR ELEVATIONS A 6.1   BUILDING SECTIONS A 6.2   WALL SECTIONS A 6.3   WALL SECTIONS A 6.4   WALL SECTIONS A 6.5   STAIR SECTIONS	S 1.0   GENERAL NOTES S 1.1   GENERAL NOTES S 2.0   OVERALL FOUNDATION PLAN S 2.0A   PARTIAL FOUNDATION PLAN S 2.0B   PARTIAL FOUNDATION PLAN S 2.1A   MEZZANINE FRAMING PLAN (SOUTH) S 2.1B   WALL REINFORCING PLAN (NORTH) S 3.0   ANCHOR BOLT SETTING DETAILS S 4.0   FRAMING ELEVATIONS S 4.1   FRAMING ELEVATIONS S 4.2   FRAMING ELEVATIONS S 5.0   FOUNDATION DETAILS S 5.1   FOUNDATION DETAILS S 5.2   FOUNDATION DETAILS S 5.3   MASONRY DETAILS S 5.4   PRECAST & STEEL DETAILS

PROJECT INFORMATION
1. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES. 2. PROPOSED BUILDING AREA = 19,663 SQ.FT. 3. PROPOSED BUILDING VOLUME = 655, 826 CU.FT. 4. CLASS OF CONSTRUCTION - TYPE IIB 5. BUILDING OCCUPANCY - B (BUSINESS) & F2/S2 (LOW HAZARD) 6. BUILDING IS PROTECTED BY AUTOMATIC SPRINKLER. 7. ALL EXIT DOORS TO BE EQUIPPED WITH: A. EXIT LIGHTS: • EXIT SIGNS SHALL NOT EXCEED 5 WATTS PER SIDE INSTALLED VATTAGE. • MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT WALKING SURFACE. • EMERGENCY POWER FOR MEANS OF EGRESS SHALL PROVIDE POWER FOR 90 MINUTES AND CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT, OR ON-SITE GENERATOR. B. PROPER EXIT HARDWARE: • LEVER HANDLES THAT DO NOT REQUIRE TWISTING OF THE WRIST. C. THRESHOLDS THAT DO NOT EXCEED 1/2". 8. FIRE EXTINGUISHERS TO BE PROVIDED IF REQUIRED BY CODE. 9. SMOKE DETECTORS TO BE PROVIDED IF REQUIRED BY CODE. 10. OCCUPANT LOAD PER TABLE 1004.1.2 FIRST FLOOR: • FACTORY (50%) STORAGE (50%) - AVERAGE 300 SQ.FT. PER PERSON = 66 OCCUPANTS MEZZANINE: • OFFICES = 5 OCCUPANTS • LUNCH ROOM = 31 OCCUPANTS TOTAL MEZZANINE OCCUPANTS = 36 OCCUPANTS TOTAL BUILDING OCCUPANT LOAD = 102 PERSONS 11. EGRESS WIDTH REQUIRED PER 1005.3.2 • 102 OCCUPANTS x 0.2' PER OCCUPANT = 20' INCHES REQUIRED. • 4 DOORS x 32' EACH = 128' PROVIDED [O.K.] 12. MAX. TRAVEL EXIT DISTANCE PER 1017.2 = 300, C.F.O.I. = 100' (MAX) PER TABLE 1006.2.1 13. PLUMBING FIXTURES (FACTORY AND STORAGE) OCCUPANCIES - WC, URINAL AND LAV = 1 PER 100 OCCUPANTS, LAV CONTROLS EACH SEX - 2 IN MALES = 200 + 1 IN FEMALE = 100 FOR A TOTAL OF 300 OCCUPANTS.
PROJECT NOTES
EXTENT OF WORK THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS. SITE VISIT THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATION IS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS. NOTICE TO BIDDERS BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

No.	REVISION DESCRIPTION	DATE	REV. BY
1	Revised Bid Drawings	7/1/2022	GAD
2	Revised Bid Drawing	7/14/2022	GAD
3	Revisions for Submittal	7/19/2022	GAD

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**Civil & Structural**  
A Division of ACE BUILDING SERVICE  
SUPERVISING PROFESSIONAL

PROJECT INFORMATION:

**NEW MACHINE SHOP BUILDING 110**

FINCARTER - BAY SHIP BUILDING  
605 NORTH 3RD AVENUE  
STURGEON BAY, WISCONSIN 54235

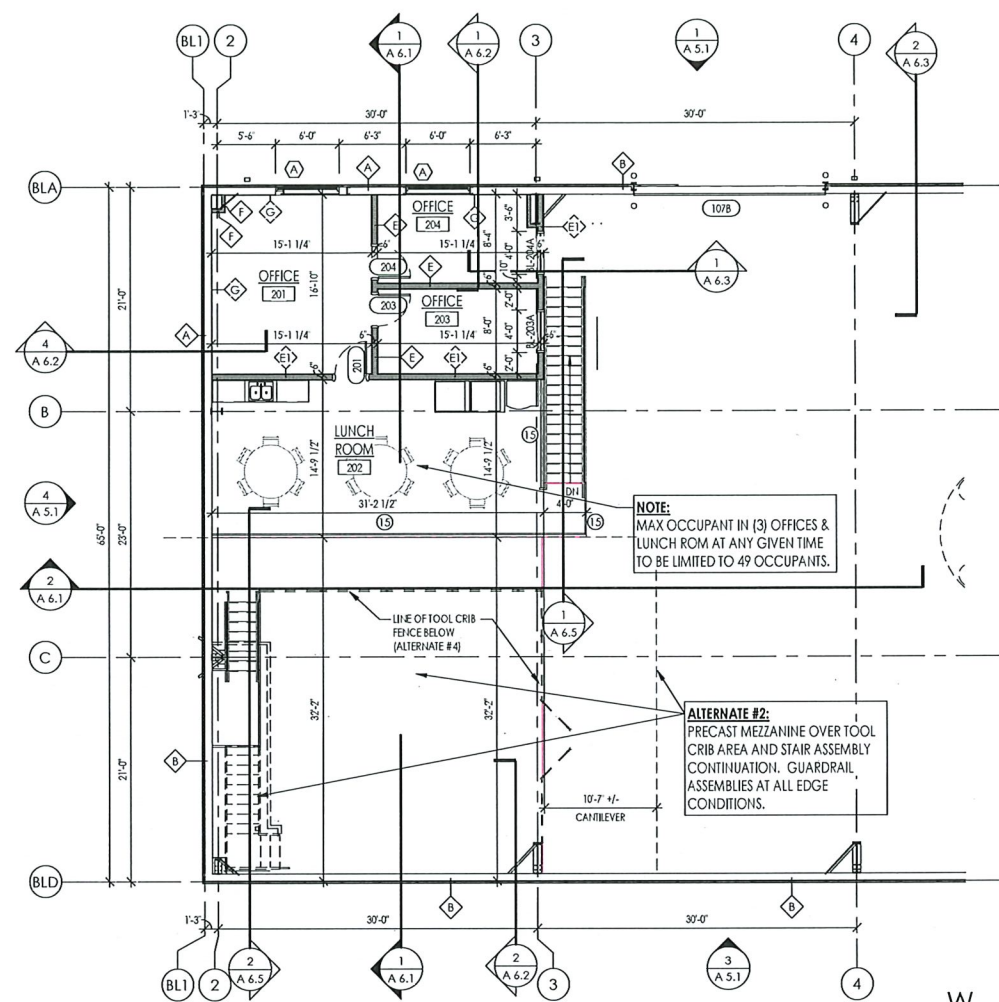
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SHEET INFORMATION	
A.C.E. JOB NO.	141/22
DATE:	APRIL 18, 2022
DRAWN BY:	GAD
SCALE:	12" = 1'-0"
TITLE SHEET	
SHEET	
G 1.0	



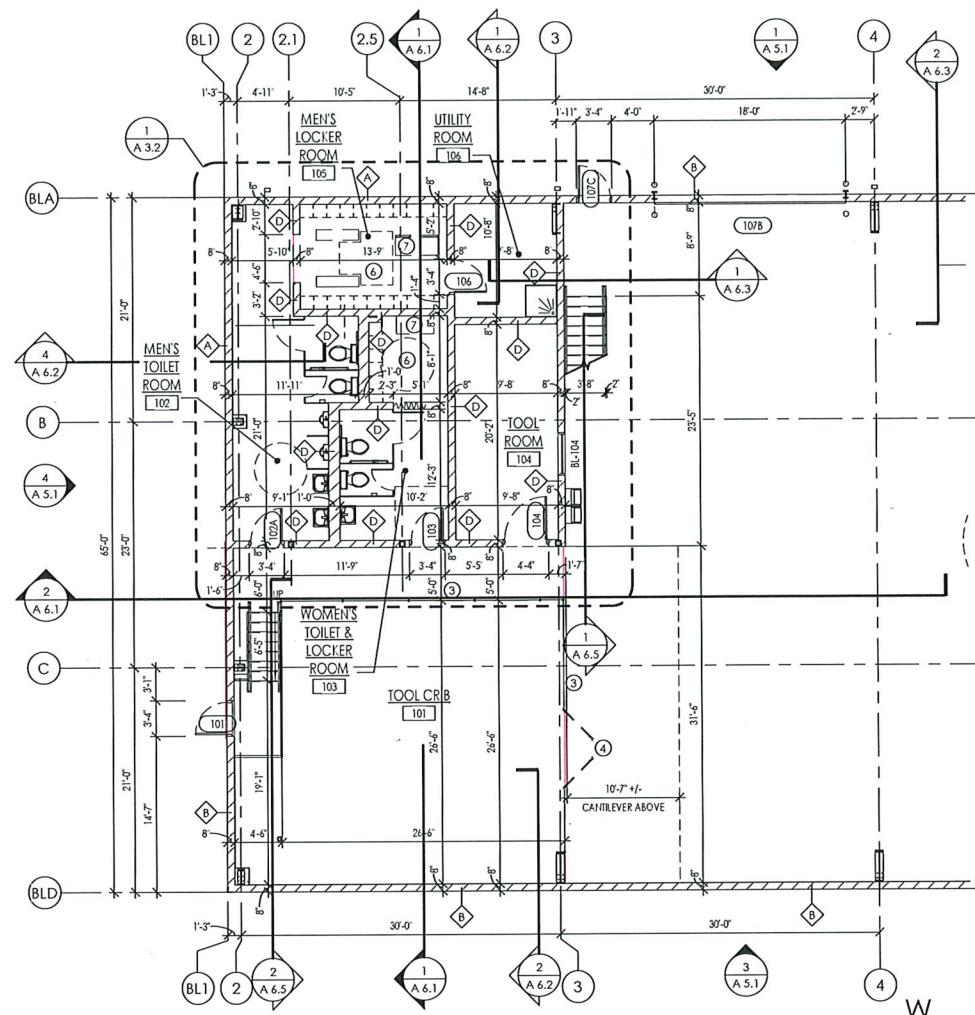
ABBREVIATIONS											
A.B.	ANCHOR BOLT	CORR	CORRIDOR	FAB	FABRICATED	LL	LIVE LOAD	R.C.	ROOF CONDUCTOR	THK	THICK
A.D.A.	AMERICAN WITH DISABILITIES ACT	CPT	CARPET	FCH	FLOOR	LAM	LAMINATE(D)	R.D.	ROOF DRAIN	TOT	TOTAL
A.F.F.	ABOVE FINISHED FLOOR	D	DEPTH	FH	FRESH	LAV	LAVATORY	R.H.	RIGHT HAND	TV	TELEVISION
A/C	AIR CONDITIONING	D.F.	DRINKING FOUNTAIN	FL	FLOOR	LB	LOAD	R.O.	ROUGH OPENING	TYP	TYPICAL
ACOUS	ACOUSTICAL	D.L.	DEAD LOAD	FT	FOOT, FEET	LOUV	LOUVER	REF	REFERENCE	UNFIN	UNFINISHED
ADD	ADDITION	DBL	DOUBLE	FIG	FIGURE	M.B.	MATERIAL BOARD	REG	REGISTER	UTIL	UTILITIES
ADJ	ADJUSTABLE	DEG	DEGREE	FURN	FURNACE, FURNITURE	M.O.	MASONRY OPENING	REF	REINFORCING (MENT)	V	VINYL
ALT	ALTERNATE	DEPT	DEPARTMENT	FURR	FURNISHING	MACH	MACHINE	REQD	REQUIRED	V.B.	VINYL BASE
ALUM	ALUMINUM	DET	DETAIL	G	GAS	MANT	MAINTENANCE	RESIL	RESILIENT	V.C.T.	VINYL COMPOSITION TILE
APPROX	APPROXIMATE	DIA	DIAMETER	G.B.	GRAB BAR	MATL	MATERIAL	REV	REVISION	VENT	VENTILATION
ARCH	ARCHITECTURAL	DIA	DIAMETER	G.C.	GENERAL CONTRACTOR	MECH	MECHANICAL	RM	ROOM	VERT	VERTICAL
ATTN	ATTENTION	DIM	DIMENSION	G.M.	GAS METER	MEMB	MEMBRANE	S.S.	STAINLESS STEEL	VEST	VESTIBULE
AUTO	AUTOMATED	DMP	DIMENSION	GA	GAUGE	MEZ	MEZANINE	SAN	SANITARY SEWER	VOL	VOLUME
B.L.	BORROWED LINE	DIV	DIVISION	GALV	GALVANIZED	MFR	MANUFACTURER	SECT	SECTION	W	WATER
B.M.	BENCH MARK	DNR	DRAWING	GYP. BD.	GYP. BOARD	MH	MANHOLE	SECUR	SECURITY	W.C.	WATER CLOSET, WATER COOLER
B.O.	BOTTOM OF	DR	DOOR	H.W.C.	HOT WATER	MN	MIRUM	SERV	SERVICE	W.C.O.	WALL CLEAN OUT
B.T.U.	BRIEF THERMAL UNIT	DS	DOWNSPOUT	H.B.	HOLE BOSS	MSC	MISCELLANEOUS	SHT	SHEET	W.H.	WATER HEATER
BD	BOARD	DW	DRYWALL	H.M.	HOLLOW METAL	MIL	MILION	SH	SHOULDER	W	WITH
BLDG	BUILDING	E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING	MUL	MULCH	SPEC	SPECIFICATION(S)	W/O	WITH OUT
BLK(G)	BLOCKING	E.J.	EXPANSION JOINT	HLV.	HOT WATER	H	HOLE	SPR	SPRINKLER	WD	WOOD
BT	BOTTOM	E.W.C.	ELECTRIC WATER COOLER	HC	HANDICAPPED	N.L.C.	NOT IN CONTRACT	ST	STORE	WT	WEIGHT
BRG	BEARING	E.W.C.	ELECTRIC WATER COOLER	HD	HEAD	N.T.S.	NOT TO SCALE	STD	STANDARD	WWM	WELDED WIRE MESH
C.B.	CATCH BASIN, CHALK BOARD	EA	EACH	HDR	HEADER	NO	NUMBER	STL	STEEL	YD	YARD
C.F.	CUBIC FEET	EL. ELEV	ELEVATION, ELEVATOR	HDWR	HARDWARE	NOM	NOMINAL	STRM	STORM SEWER		
C.G.	CORNER GUARD	ELEC	ELECTRIC	HORE	HORIZONTAL	O.C., O/C	ON CENTER	STRUCT	STRUCTURAL		
C.J.	CONTROL JOINT	EMER	EMERGENCY	HR	HOUR	O.D.	OUTSIDE DIAMETER	SUSP	SUSPENDED		
C.L.	CENTER LINE	ENCL	ENCLOSED	HTR	HEATER	OH	OVERHEAD	T	TREAD		
C.M.P.	CORRUGATED METAL PIPE	ENG	ENGINEER(D)	ID.	INSIDE DIAMETER	P.LAM.	PLASTIC LAMINATE	T&B	TOP AND BOTTOM		
C.O.	CLEAN OUT	EQ	EQUAL	ISOL	ISOLATION	PL	PLATE	T&G	TONGUE AND GROOVE		
C.W.	COLD WATER	EQU	EQUAL	ISOL	ISOLATION	PLAS	PLASTIC	T.B.	TACK BOARD		
CAB	CABINET	EQUIP	EQUIPMENT	IN	INTERIOR	PLYD	PLYWOOD	T.O.	TOP OF		
CLG	CEILING	EXCAV	EXCAVATE	IN	INTERIOR	PR	PAIR	T.O.B.	TOP OF BEAM		
CLR	CLEAR	EXST. (EX)	EXISTING	J.B.	JOINT BEARING	PREFAB	PREFABRICATED	T.O.F.	TOP OF FOOTING		
CMU	CONCRETE MASONRY UNIT	EXP	EXPOSED	JAN	JANITOR	PSF	POUNDS PER SQUARE FOOT	T.O.M.	TOP OF MASONRY		
COL	COLUMN	EXT	EXTERIOR	JT	JOINT	PSI	POUNDS PER SQUARE INCH	T.O.P.	TOP OF PIER		
COMP	COMPOSITION	F.A.C.E.	FAMILY AND CONSUMER EDUCATION	K.O.	KNOCK OUT	PT, P.T.	POINT, PORCELAIN TILE	T.O.S.	TOP OF STEEL		
CONC	CONCRETE	F.C.O.	FLOOR CLEAN OUT	KP	ONE THOUSAND POUNDS			T.S.	TUBE STEEL		
CONT	CONTINUOUS	F.D.	FLOOR DRAIN	L	LENGTH			T.W.	TACK WALL		
		F.F.	FIRE EXTINGUISHER	LH	LEFT HAND			TEL	TELEPHONE		
								TERR	TERRAZO		

MATERIALS AND SYMBOLS				
	ROUGH LUMBER		ELEVATION NAME ELEV. XXX'-XX"	ELEVATION MARKER
	FINISH LUMBER		XXX	ELEVATION REFERENCE
	STRUCTURAL STEEL		XXX	BUILDING SECTION REFERENCE
	BRICK		XXX	WALL SECTION REFERENCE
	CONCRETE MASONRY UNIT		XXX	PLAN / DETAIL REFERENCE
	POURED-IN-PLACE CONCRETE		XXX	CEILING TAG
	METAL / WOOD STUD WALL		XXX	DOOR TAG
	GLAZING		XXX	WALL TYPE TAG
	SPRAYED FOAM INSULATION		XXX	WINDOW TAG
	BATT INSULATION		XXX	PLAN NOTE TAG
	RIGID INSULATION		XXX	DEMOLITION NOTE TAG
	PLYWOOD / PARTICLE BOARD		XXX	COLUMN GRID
	SAND / MORTAR / GYPSUM BOARD		XXX	REVISION TAG
	COMPACTED DRAINAGE FILL			
	COMPACTED STRUCTURAL FILL			
	TOPSOIL			
	NON-STRUCTURAL FILL			
	EXISTING CONSTRUCTION / MATERIAL			
	CENTER LINE			
	PROPERTY LINE			
	NEW CONTOURS			
	EXISTING CONTOURS			
		VIEW NAME		
		SCALE: X/X" = X'-XX"		VIEW / DETAIL IDENTIFICATION

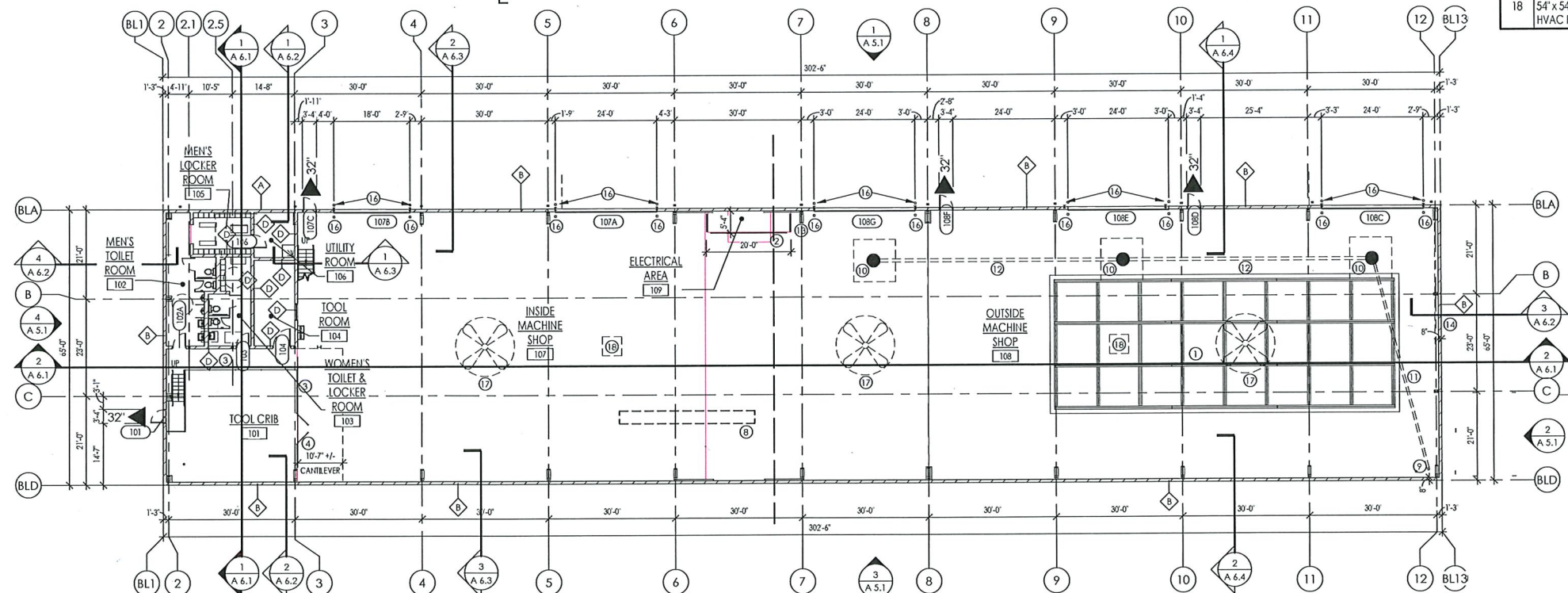




MEZZANINE PLAN  
SCALE: 1/8" = 1'-0"



PARTIAL FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 1/16" = 1'-0"

- ALTERNATE #1: FURNISH AND INSTALL LOCKERS AND BENCHES IN MEN'S LOCKER ROOM AND WOMEN'S TOILET AND LOCKER ROOM.
- ALTERNATE #2: PRECAST MEZZANINE OVER TOOL CRIB AREA AND STAIR ASSEMBLY CONTINUATION. GAURDRAIL ASSEMBLIES AT ALL EXPOSED EDGE CONDIONS.
- ALTERNATE #3: FURNISH AND INSTALL EXTERIOR SIGNAGE TO THE BUILDING.
- ALTERNATE #4: FURNISH AND INSTALL CHAIN LINK FENCE AND GATE TO TOOL CRIB AREA.

### GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

### FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	STEEL I-BEAM GRID SET IN CONCRETE FLOOR SLAB - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
2	4'-0" x 4" HSS GUARDRAIL, SAFETY YELLOW, TO CORRAL 20'-0" x 5'-0" ELECTRICAL AREA
3	CHAIN LINK FENCE - 10'-0" A.F.F. (ALTERNATE #4).
4	DOUBLE SWING CHAIN LINK GATE (ALTERNATE #4).
6	DOUBLE STACK METAL LOCKERS (ALTERNATE #1).
7	4'-0" LONG ACCESSIBLE BENCH (ALTERNATE #1).
8	LATHE (3'-0" x 32'-0") LOCATION - VERIFY ACTUAL SIZE AND LOCATION WITH OWNER.
9	6" HUB DRAIN, 2'-0" A.F.F. WITH 8" EXPANDER - VERIFY ACTUAL SIZE AND LOCATION WITH PLUMBING CONTRACTOR.
10	42" HEAVY DUTY FIBERGLASS MANHOLE, 4'-0" DEEP, WITH HEAVY DUTY OPEN GRATED MEEHAA GRATE & FRAME (ISOLATED SYSTEM CONNECTED TOGETHER - FBS TO PUMP OUT YEARLY OR AS NEEDED) LOCATED AT CENTER LINE OF DOOR - VERIFY ACTUAL SIZE AND LOCATION WITH PLUMBING CONTRACTOR.
11	6" SCHEDULE 40 PVC PIPE.
12	8" SCHEDULE 40 PVC PIPE.
13	4" UNDERGROUND AIR STUB BY FBS. MECHANICAL CONTRACTOR TO RUN 4" MAIN DOWN LENGTH OF BUILDING, INSTALL TEE W/PLUG AT EVERY FRAME LOCATION (FUTURE DROPS BY FBS).
14	UNDERGROUND 2" AIR, OXYGEN AND GAS STUBS BY FBS. MECHANICAL CONTRACTOR TO RUN 1 1/2" NATURAL GAS MAIN AND 1" O2 MAIN DOWN LENGTH OF BUILDING, INSTALL TEE W/ PLUG AT EVERY FRAME LOCATION BOTH MAINS (FUTURE DROPS BY FBS).
15	42" HIGH GUARDRAIL FINISH PAINTED SAFETY YELLOW. GUARDRAIL TO HAVE 1 1/2" DIA. PIPE TOP RAIL, MID RAIL AND VERTICAL SUPPORTS. PROVIDE 4" TALL STEEL KICK PLATE. GUARDRAIL TO HAVE BASE PLATES WITH (4) ANCHORS TO CONNECT TO MEZZANINE DECK.
16	6" DIA. CONCRETE FILLED PIPE BOLLARDS.
17	14'-0" DIA. CEILING FAN. REFER TO HVAC PLANS FOR ADDITIONAL INFORMATION.
18	54" x 54" ROOF MOUNTED EXHAUST FAN. REFER TO HVAC PLANS FOR ADDITIONAL INFORMATION.

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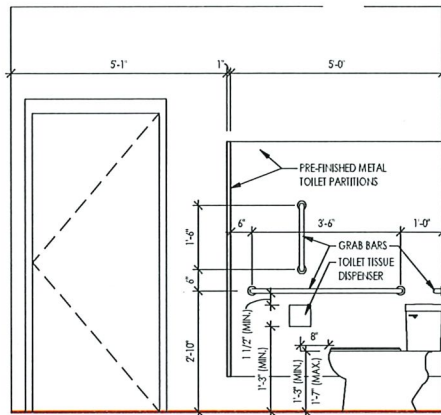
PROJECT INFORMATION:  
**NEW MACHINE SHOP BUILDING 110**  
FINCANTER - BAY SHIP BUILDING  
605 NORTH 3RD AVENUE  
STURGEON BAY, WISCONSIN 54235

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SHEET INFORMATION  
A.C.E. JOB NO. 141/22  
DATE: APRIL 18, 2022  
DRAWN BY: GAD  
SCALE: As Indicated  
FLOOR PLAN

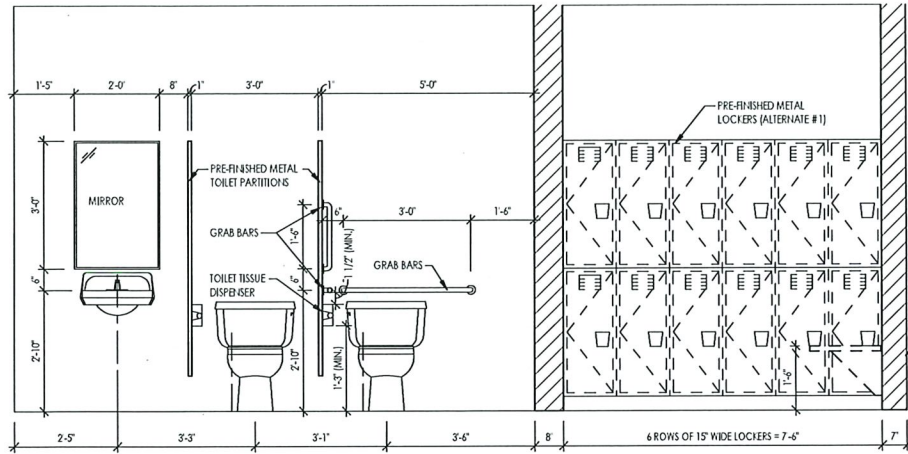
SHEET  
**A 3.1**





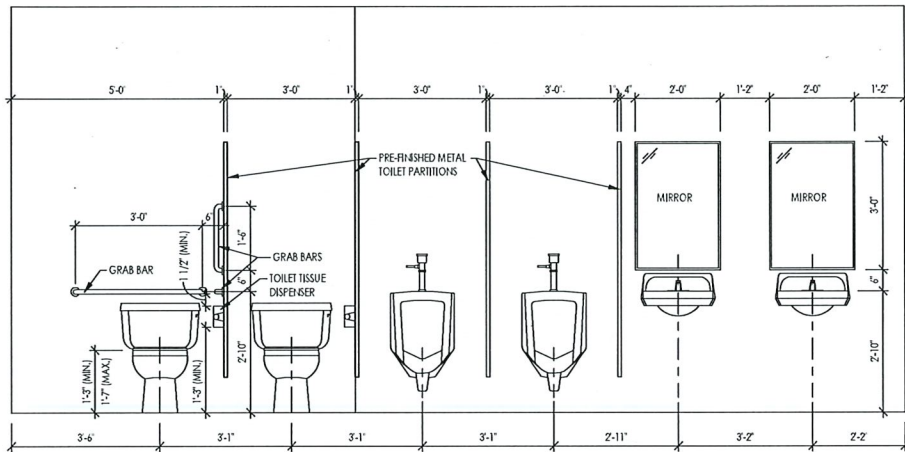
WOMEN'S TOILET ROOM #103  
EAST WALL

SCALE: 1/2" = 1'-0" A 3.2



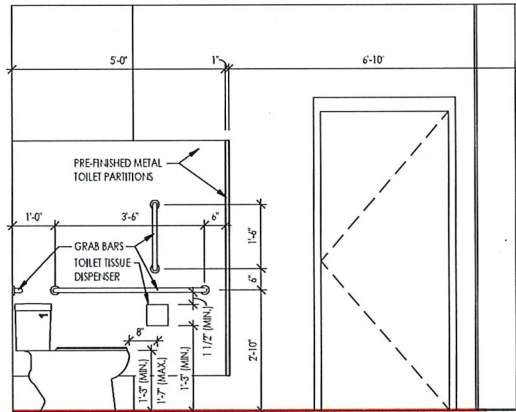
WOMEN'S TOILET & LOCKER ROOM #103 - SOUTH WALL

SCALE: 1/2" = 1'-0" A 3.2



MEN'S TOILET ROOM #102 - NORTH WALL

SCALE: 1/2" = 1'-0" A 3.2



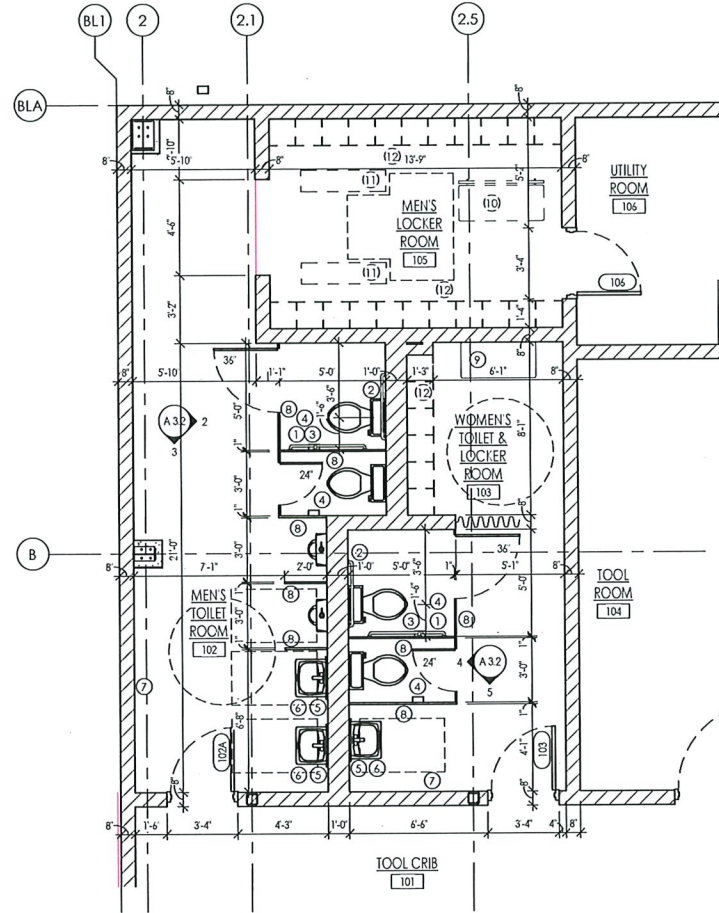
MEN'S TOILET ROOM #102  
- EAST WALL

SCALE: 1/2" = 1'-0" A 3.2

TOILET ROOM KEYNOTES	
NO.	DESCRIPTION
1	42" GRAB BAR
2	36" GRAB BAR
3	18" GRAB BAR
4	TOILET TISSUE DISPENSER (SEE NOTE 1)
5	24" x 36" WALL MOUNTED MIRROR WITH STAINLESS STEEL CHANNEL TRIM
6	SOAP DISPENSER (SEE NOTE 1)
7	PAPER TOWEL DISPENSER (SEE NOTE 1)
8	PRE-FINISHED METAL TOILET PARTITIONS
9	20" x 42" ACCESSIBLE BENCH - WALL MOUNTED (ALTERNATE #1)
10	20" x 48" ACCESSIBLE BENCH W/ BACK REST - FLOOR MOUNTED (ALTERNATE #1)
11	12" x 48" BENCH - FLOOR MOUNTED (ALTERNATE #1)
12	15" WIDE x 15" DEEP DOUBLE STACK LOCKER (ALTERNATE #1)

TOILET ROOM NOTE:  
1. OWNER AND CONTRACTOR TO DETERMINE STYLE, FINISH AND LOCATION OF ITEMS.

- ALTERNATE #1: FURNISH AND INSTALL LOCKERS AND BENCHES IN MEN'S LOCKER ROOM AND WOMEN'S TOILET AND LOCKER ROOM.
- ALTERNATE #2: PRECAST MEZZANINE OVER TOOL CRIB AREA AND STAIR ASSEMBLY CONTINUATION. GAUDDRAIL ASSEMBLIES AT ALL EXPOSED EDGE CONDITIONS.
- ALTERNATE #3: FURNISH AND INSTALL EXTERIOR SIGNAGE TO THE BUILDING.
- ALTERNATE #4: FURNISH AND INSTALL CHAIN LINK FENCE AND GATE TO TOOL CRIB AREA.



MENS' TOILET ROOM #102, WOMEN'S TOILET & LOCKER ROOM #103 AND MEN'S LOCKER ROOM #105

SCALE: 1/4" = 1'-0" A 3.2



NO.	REVISION DESCRIPTION	DATE	REV. BY
1	Revised Bid Drawings	7/1/2022	GAD
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3	Revisions for Submittal	7/19/2022	GAD

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NEW MACHINE SHOP BUILDING 110  
FINCANTER - BAY SHIP BUILDING  
605 NORTH 3RD AVENUE  
STURGEON BAY, WISCONSIN 54235

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SHEET INFORMATION	
A.C.E. JOB NO.	141/22
DATE:	APRIL 18, 2022
DRAWN BY:	GAD
SCALE:	As indicated

TOILET ROOM PLAN & TOILET ROOM ELEVATIONS

SHEET

A 3.2



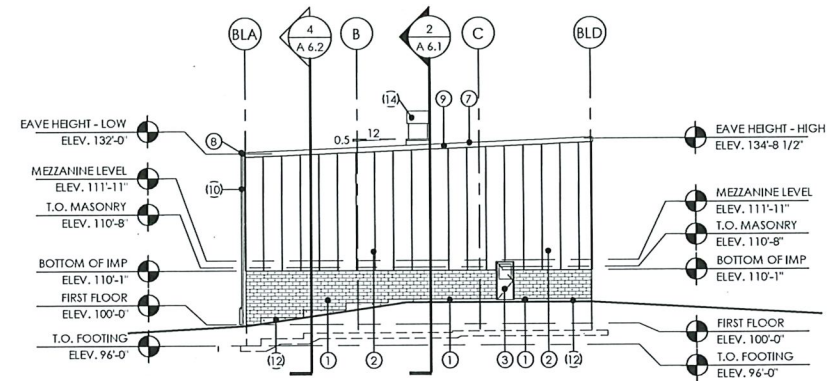




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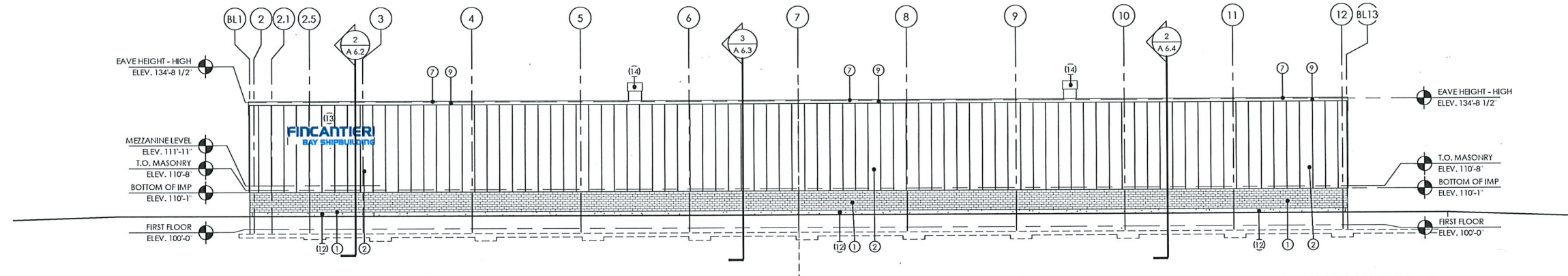
### GENERAL EXTERIOR ELEVATION NOTES

- ALL EXPOSED MISC. EXTERIOR STEEL SHALL BE PAINTED WITH PAINT FINISH E-1.
- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY.
- MASONRY CONTROL JOINTS SHALL BE LOCATED AT ALL MASONRY HEIGHT CHANGES, WINDOW OPENINGS, DOOR OPENINGS, 5' MAX. FROM BUILDING CORNERS, AND 25' MAX. AT CONTIGUOUS WALL LOCATIONS.



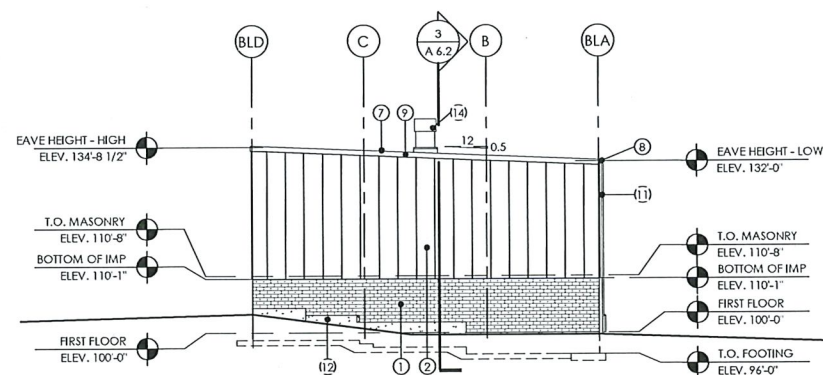
SOUTH ELEVATION

SCALE: 1/16" = 1'-0" A 5.1



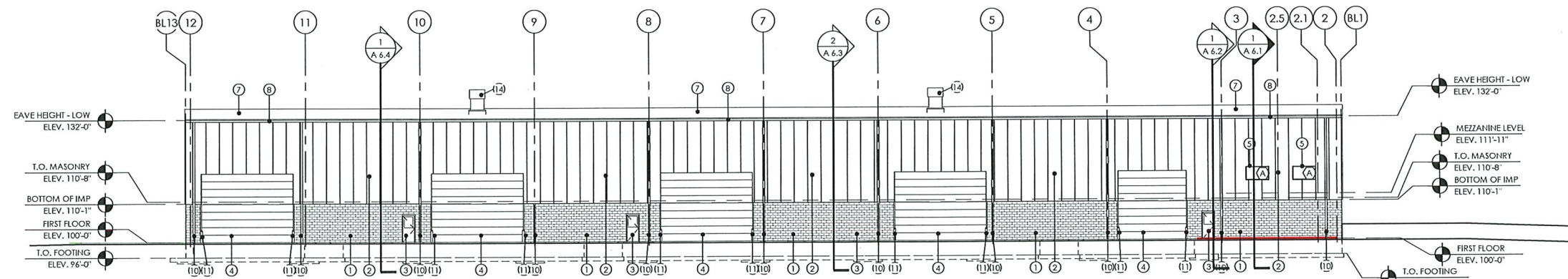
EAST ELEVATION

SCALE: 1/16" = 1'-0" A 5.1



NORTH ELEVATION

SCALE: 1/16" = 1'-0" A 5.1



WEST ELEVATION

SCALE: 1/16" = 1'-0" A 5.1

### ELEVATION KEYNOTES

NO.	DESCRIPTION
1	SPLIT FACE CMU
2	PRE-FINISHED INSULATED METAL PANELS
3	HOLLOW METAL DOOR & FRAME
4	SECTIONAL OVERHEAD DOOR
5	ALUMINUM STOREFRONT WINDOW
7	PRE-FINISHED METAL STANDING SEAM ROOF PANELS
8	PRE-FINISHED METAL GUTTER
9	PRE-FINISHED METAL FASCIA TRIM
10	PRE-FINISHED METAL DOWNSPOUT
11	6" DIA. CONCRETE FILLED BOLLARDS
12	EXPOSED CONCRETE FOUNDATION
13	BUILDING SIGNAGE (ALTERNATE #3)
14	ROOF MOUNTED EXHAUST FAN - REFER TO HVAC DRAWINGS FOR ADDITIONAL INFORMATION.



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PROJECT INFORMATION:

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FINCANTIER - BAY SHIP BUILDING  
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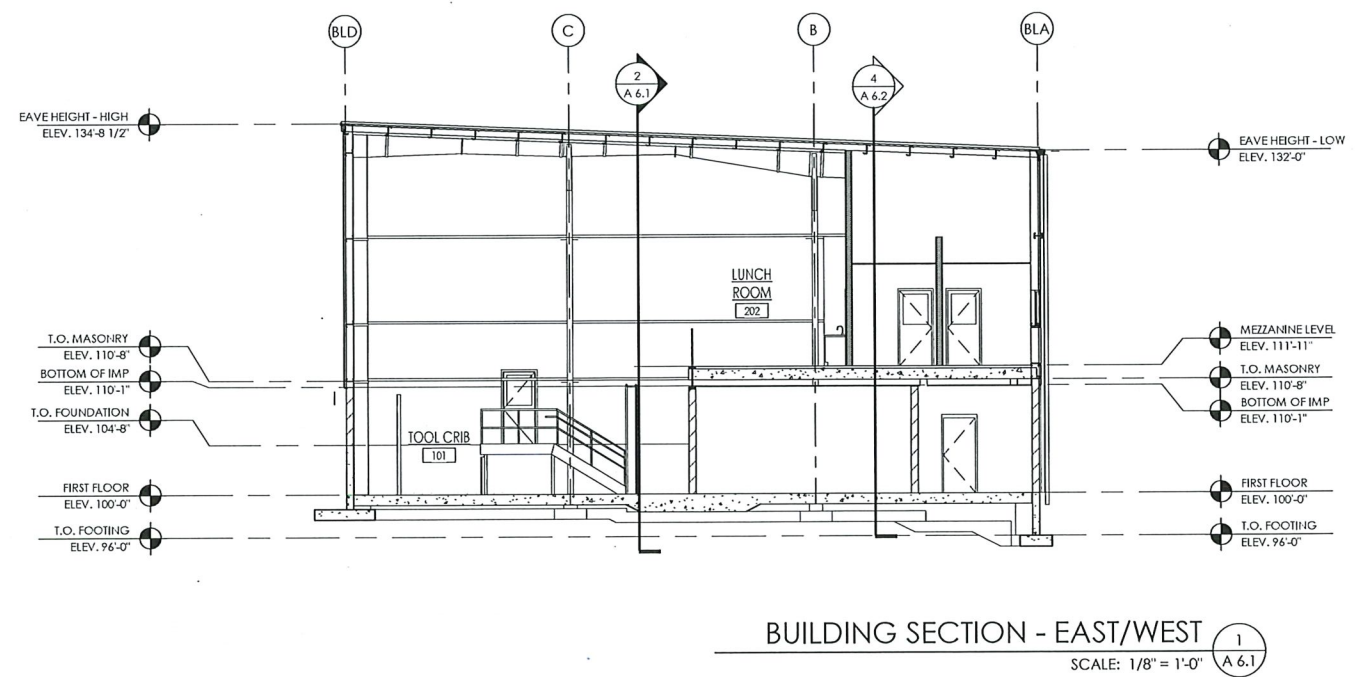
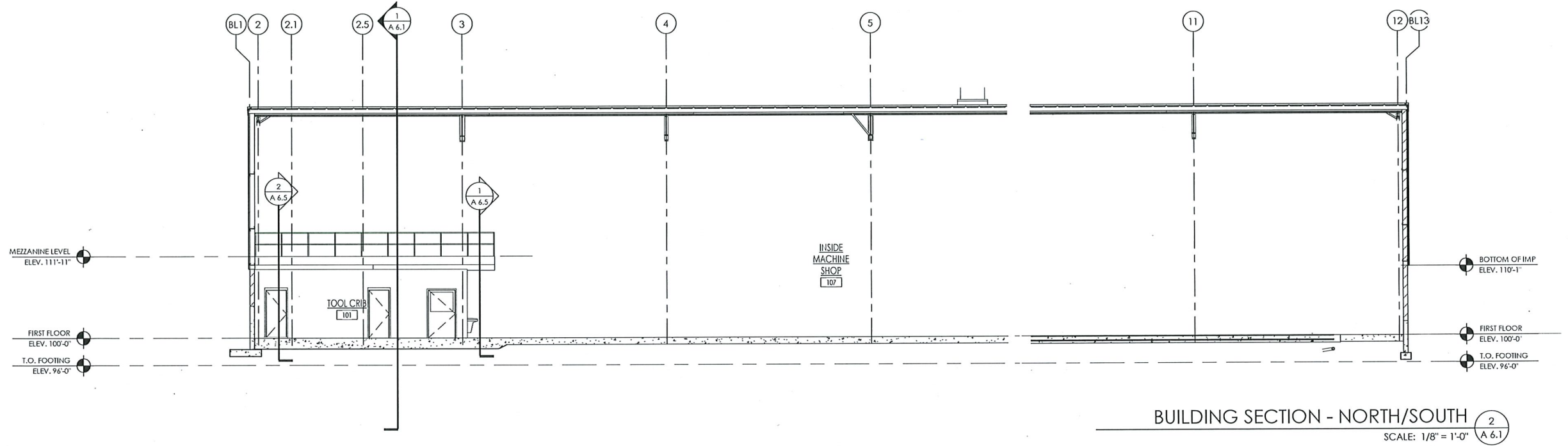
SHEET INFORMATION  
A.C.E. JOB NO. 141/22  
DATE: APRIL 18, 2022  
DRAWN BY: GAD  
SCALE: As indicated  
EXTERIOR ELEVATIONS

SHEET

A 5.1



- **ALTERNATE #1:** FURNISH AND INSTALL LOCKERS AND BENCHES IN MEN'S LOCKER ROOM AND WOMEN'S TOILET AND LOCKER ROOM.
- **ALTERNATE #2:** PRECAST MEZZANINE OVER TOOL CRIB AREA AND STAIR ASSEMBLY CONTINUATION. GAURDRAIL ASSEMBLIES AT ALL EXPOSED EDGE CONDITIONS.
- **ALTERNATE #3:** FURNISH AND INSTALL EXTERIOR SIGNAGE TO THE BUILDING.
- **ALTERNATE #4:** FURNISH AND INSTALL CHAIN LINK FENCE AND GATE TO TOOL CRIB AREA.



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**Civil & Structural**  
A DIVISION OF ACE BUILDING SERVICE

**SMI**  
SUPERVISING PROFESSIONAL

**NEW MACHINE SHOP BUILDING 110**  
FINCANTER - BAY SHIP BUILDING  
605 NORTH 3RD AVENUE  
STURGEON BAY, WISCONSIN 54235

PROJECT INFORMATION:

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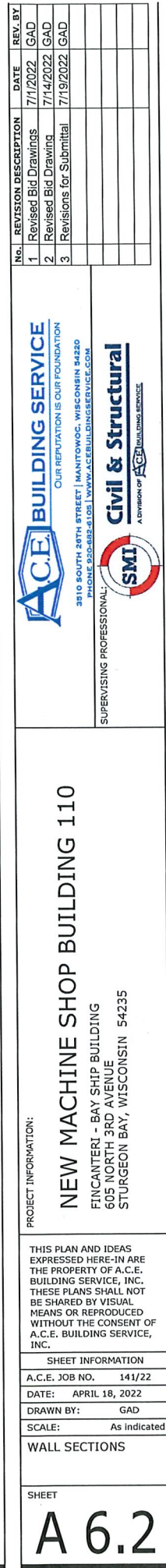
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**BUILDING SECTIONS**

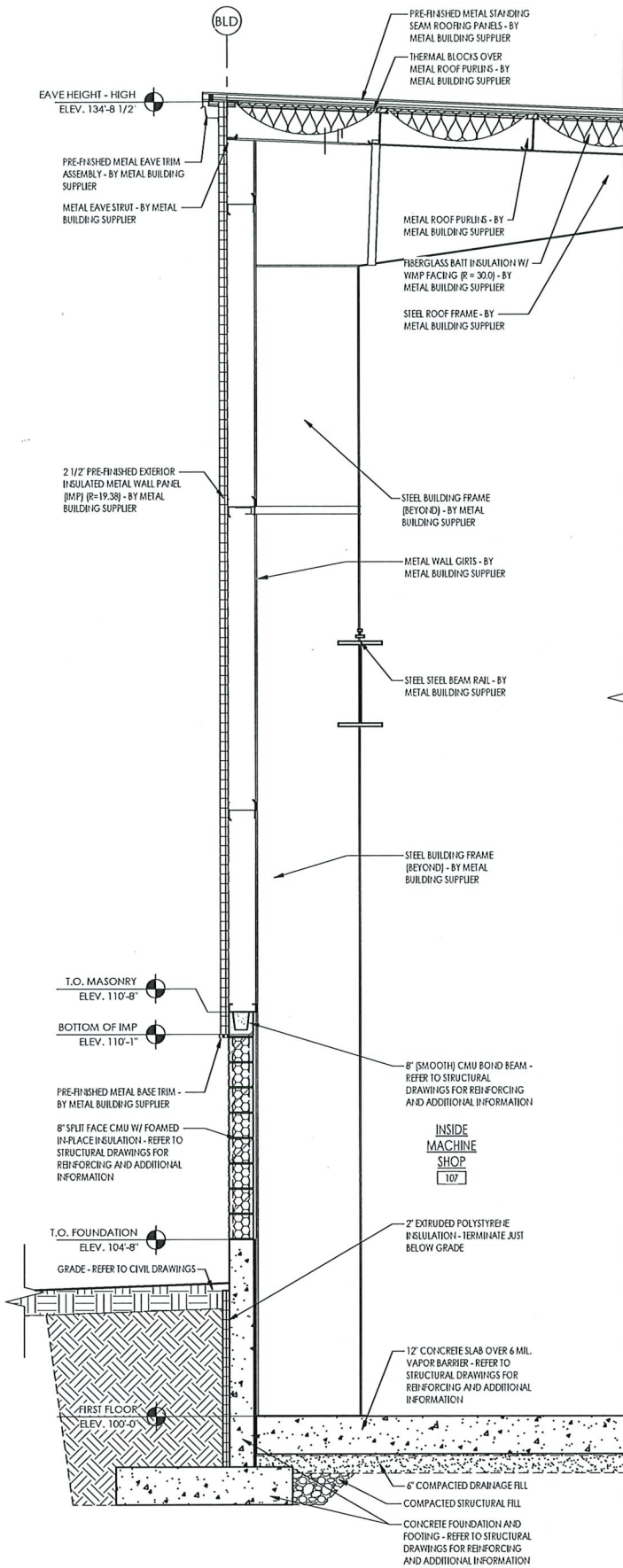
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**A 6.1**

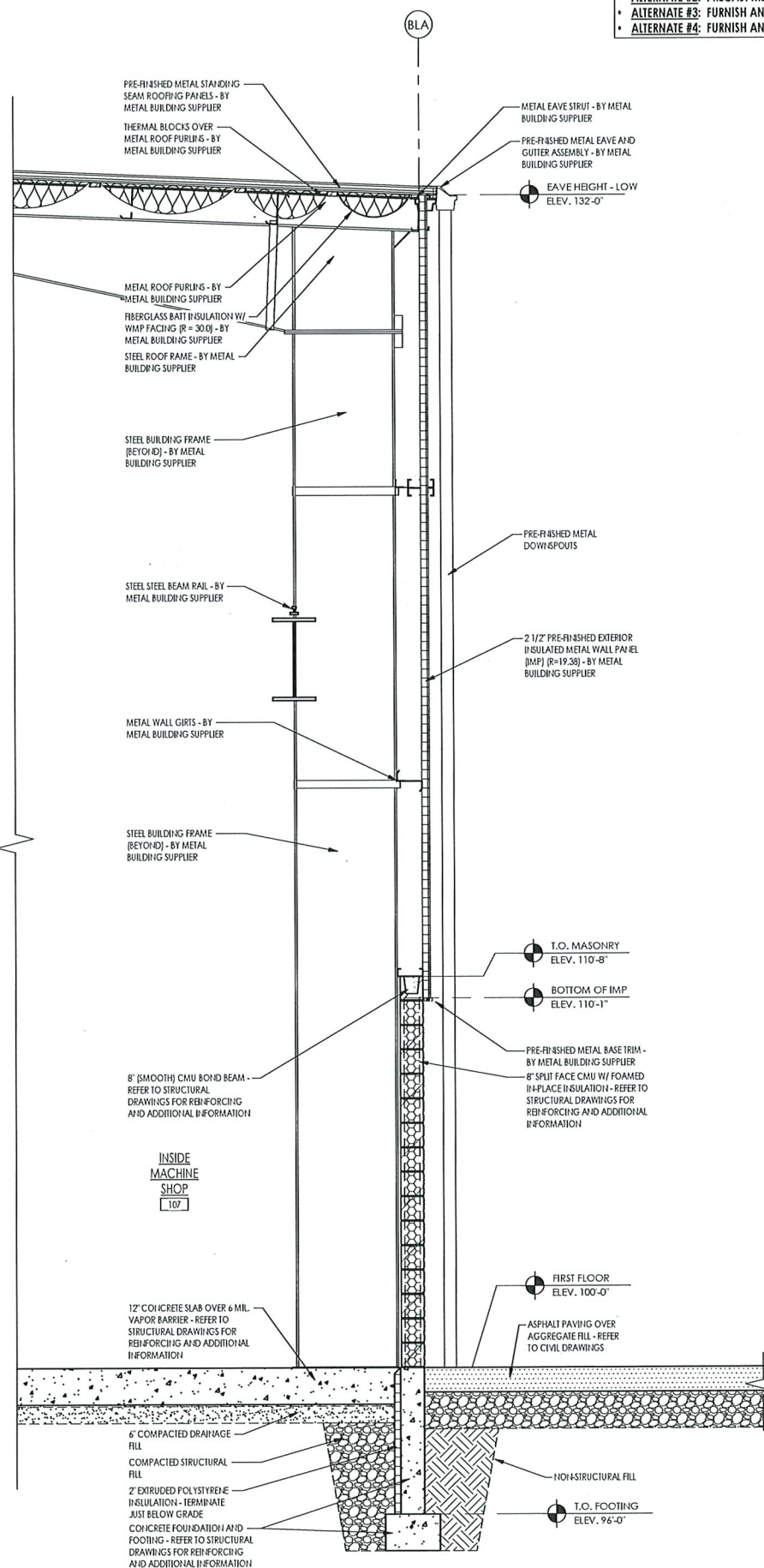




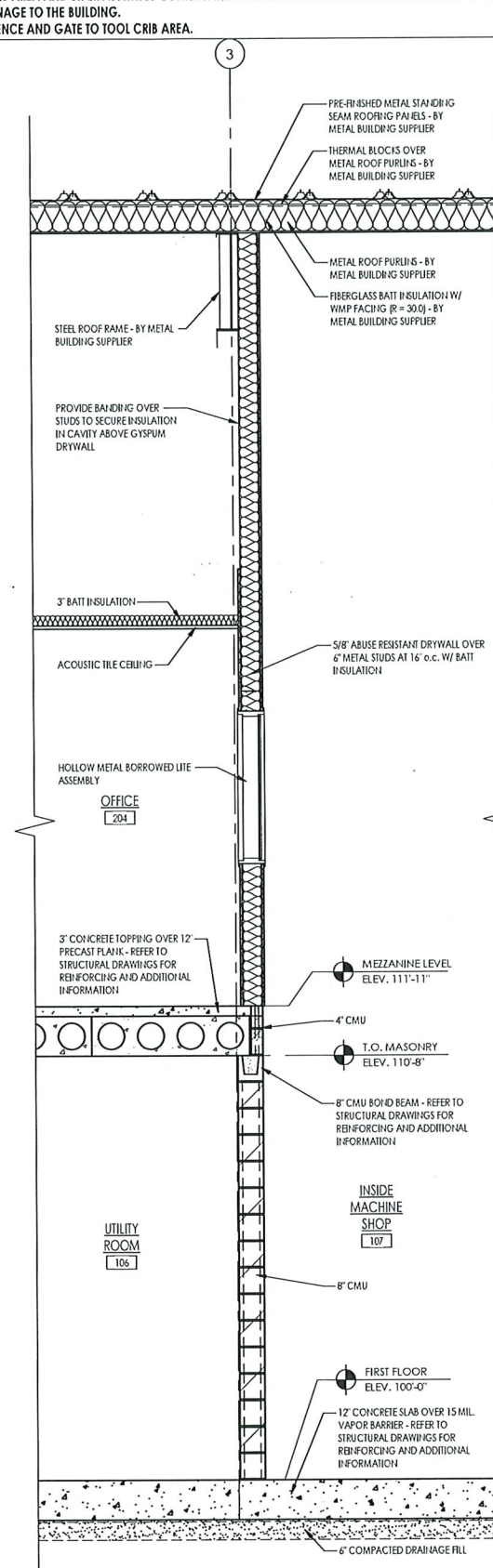




WALL SECTION 3  
SCALE: 1/2" = 1'-0" A 6.3



WALL SECTION 2  
SCALE: 1/2" = 1'-0" A 6.3



WALL SECTION 1  
SCALE: 1/2" = 1'-0" A 6.3

- **ALTERNATE #1:** FURNISH AND INSTALL LOCKERS AND BENCHES IN MEN'S LOCKER ROOM AND WOMEN'S TOILET AND LOCKER ROOM.
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- **ALTERNATE #4:** FURNISH AND INSTALL CHAIN LINK FENCE AND GATE TO TOOL CRIB AREA.

NO.	REVISION DESCRIPTION	DATE	REV. BY
1	Revised Bid Drawing	7/1/2022	GAD
2	Revised Bid Drawing	7/14/2022	GAD
3	Revisions for Submittal	7/19/2022	GAD

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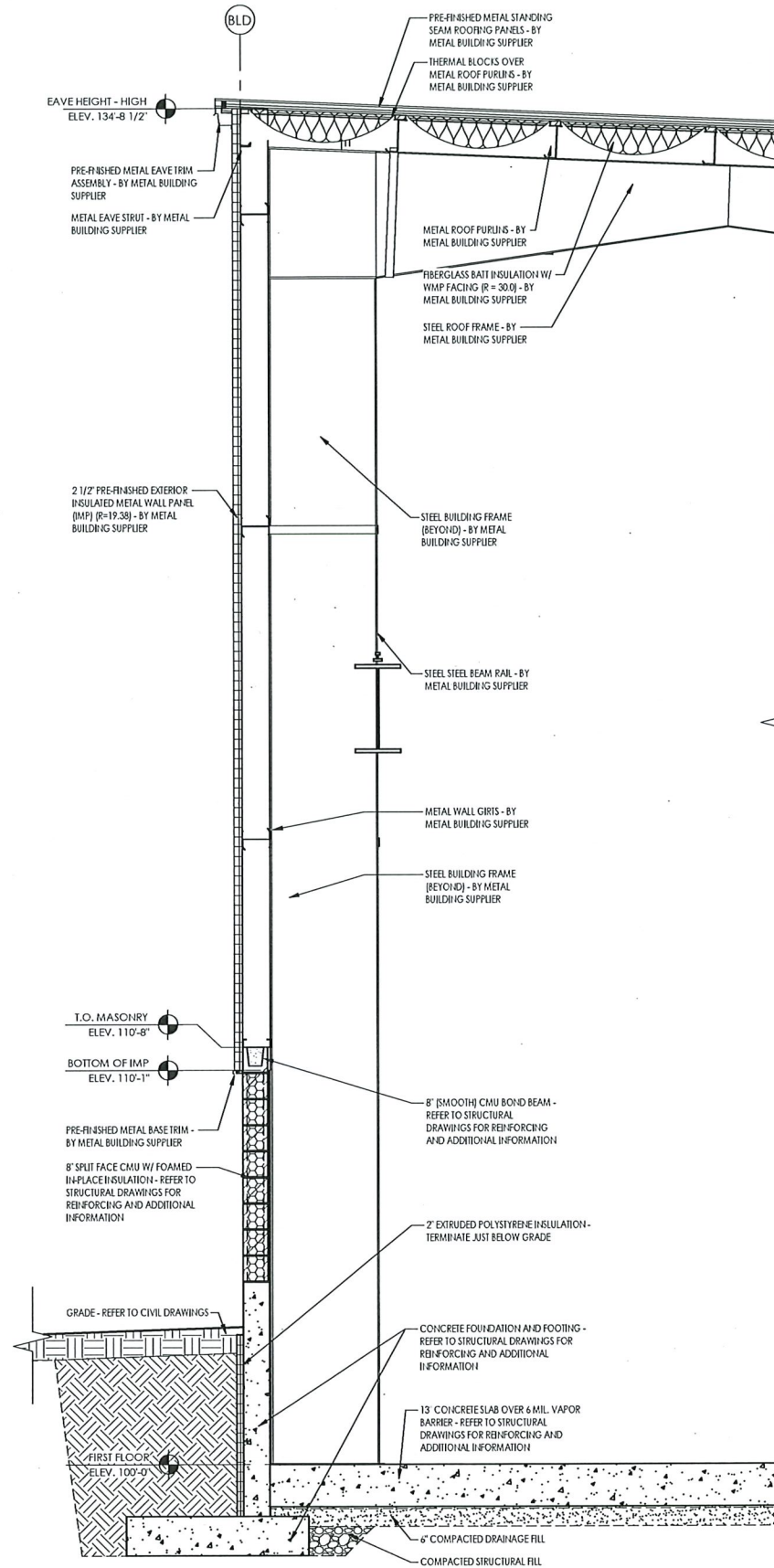
SHEET INFORMATION
A.C.E. JOB NO. 141/22
DATE: APRIL 18, 2022
DRAWN BY: Author
SCALE: As Indicated

WALL SECTIONS

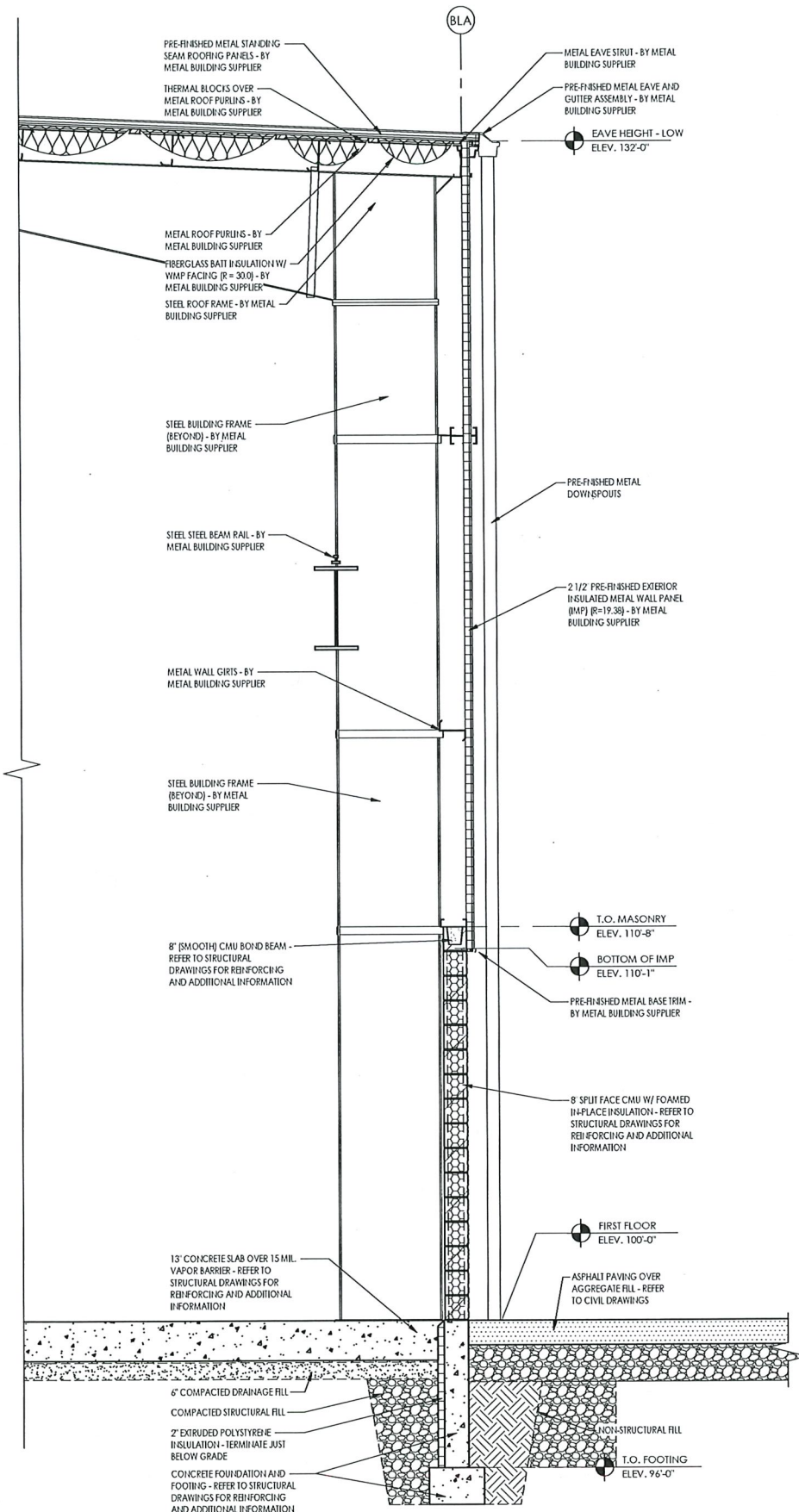
SHEET

**A 6.3**





WALL SECTION 2  
SCALE: 1/2" = 1'-0" A 6.4



WALL SECTION 1  
SCALE: 1/2" = 1'-0" A 6.4

- **ALTERNATE #1:** FURNISH AND INSTALL LOCKERS AND BENCHES IN MEN'S LOCKER ROOM AND WOMEN'S TOILET AND LOCKER ROOM.
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NO.	REVISION DESCRIPTION	DATE	REV. BY
1	Revised Bid Drawings	7/1/2022	GAD
2	Revised Bid Drawings	7/14/2022	GAD
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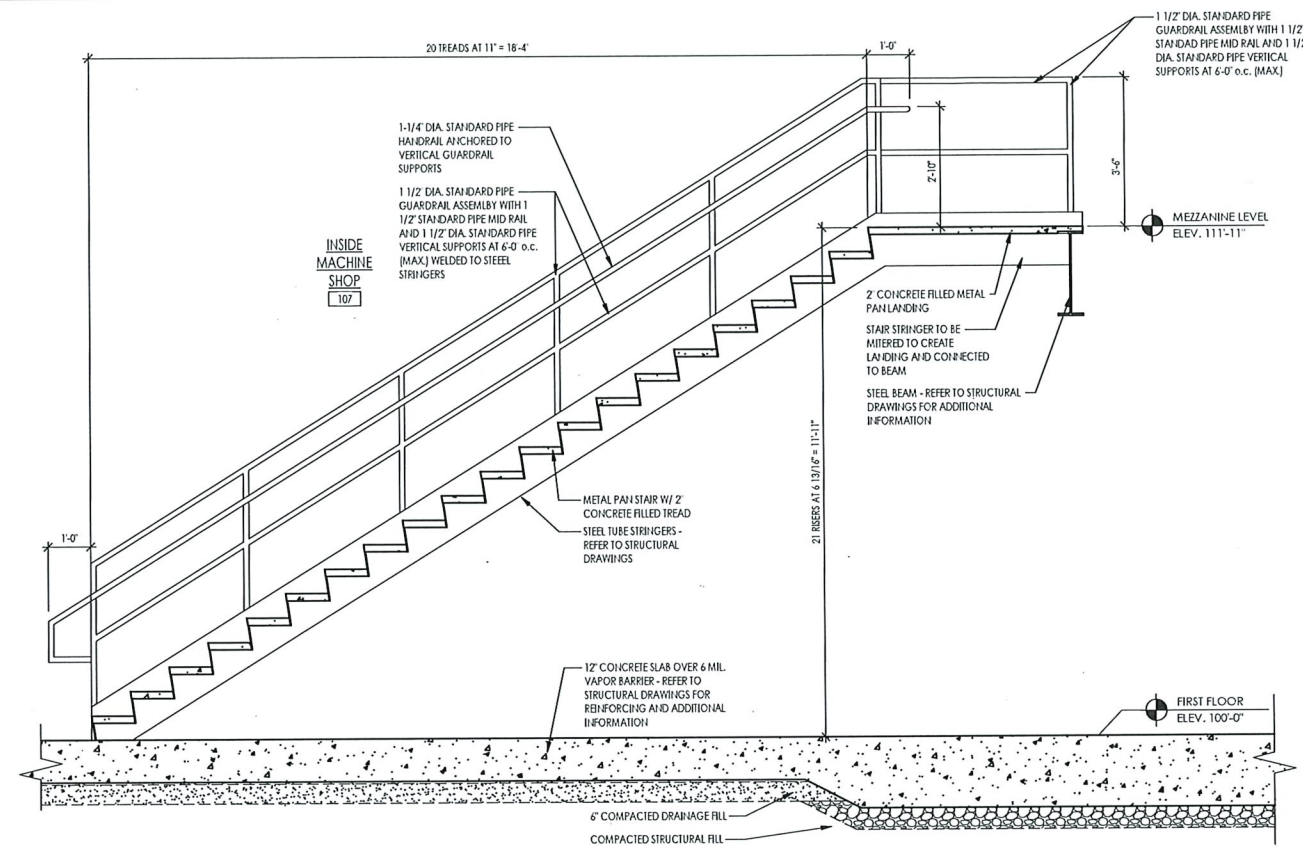
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WALL SECTIONS

SHEET

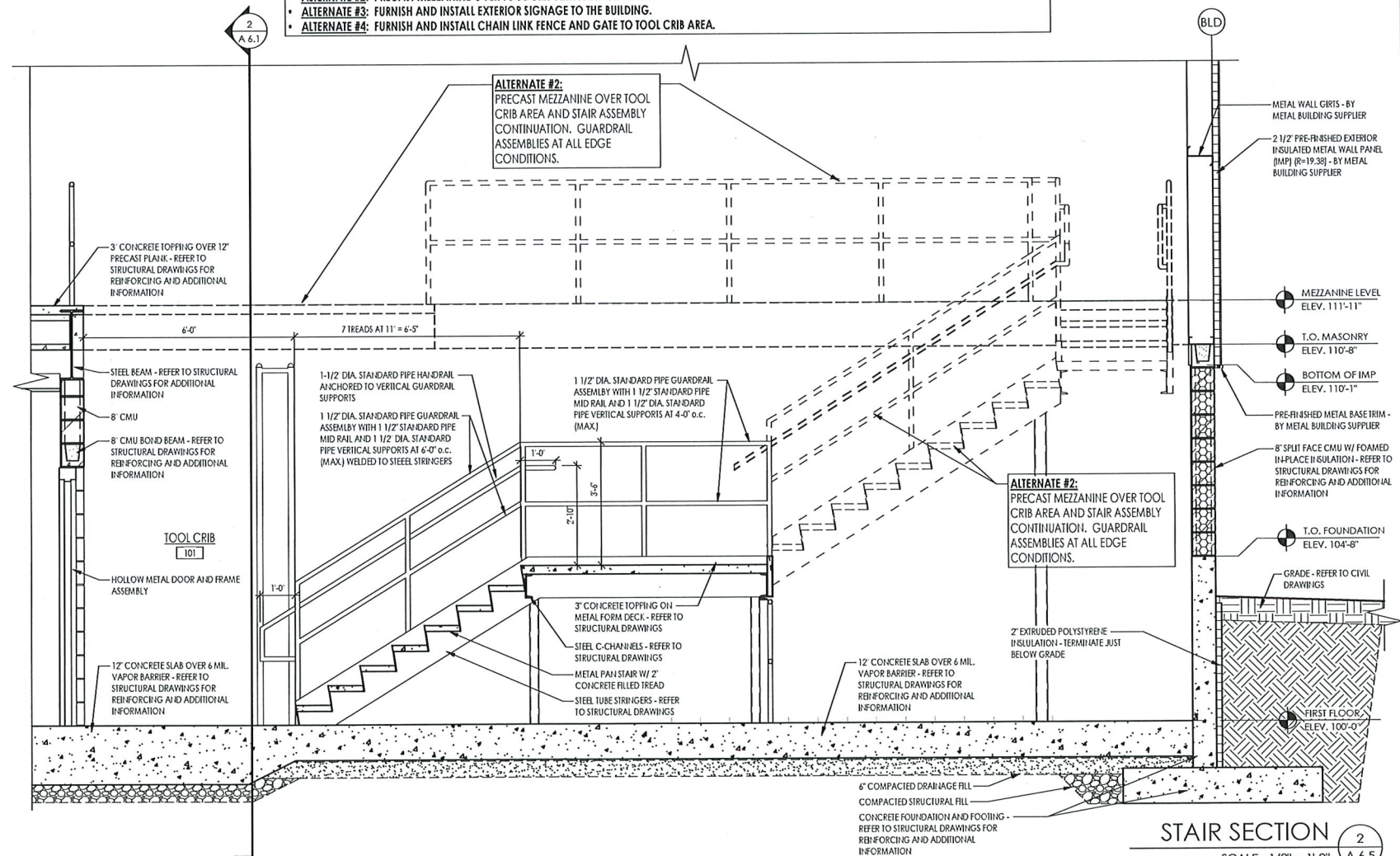
**A 6.4**





STAIR SECTION 1  
SCALE: 1/2" = 1'-0" A 6.5

- **ALTERNATE #1:** FURNISH AND INSTALL LOCKERS AND BENCHES IN MEN'S LOCKER ROOM AND WOMEN'S TOILET AND LOCKER ROOM.
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STAIR SECTION 2  
SCALE: 1/2" = 1'-0" A 6.5

NO.	REVISION DESCRIPTION	DATE	REV. BY
1	Revised Bid Drawing	7/1/2022	GAD
2	Revised Bid Drawing	7/14/2022	GAD
3	Revisions for Submittal	7/19/2022	GAD

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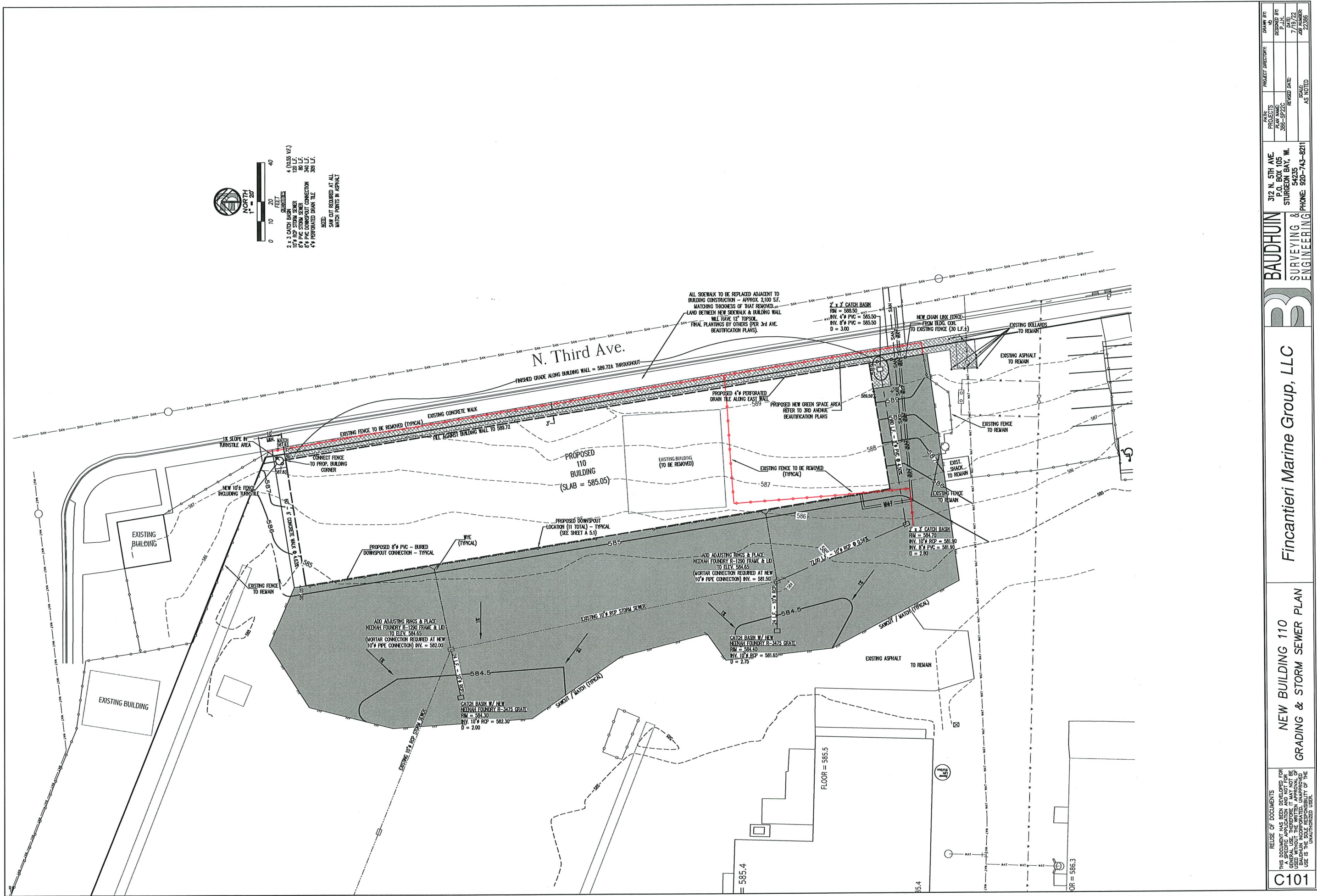
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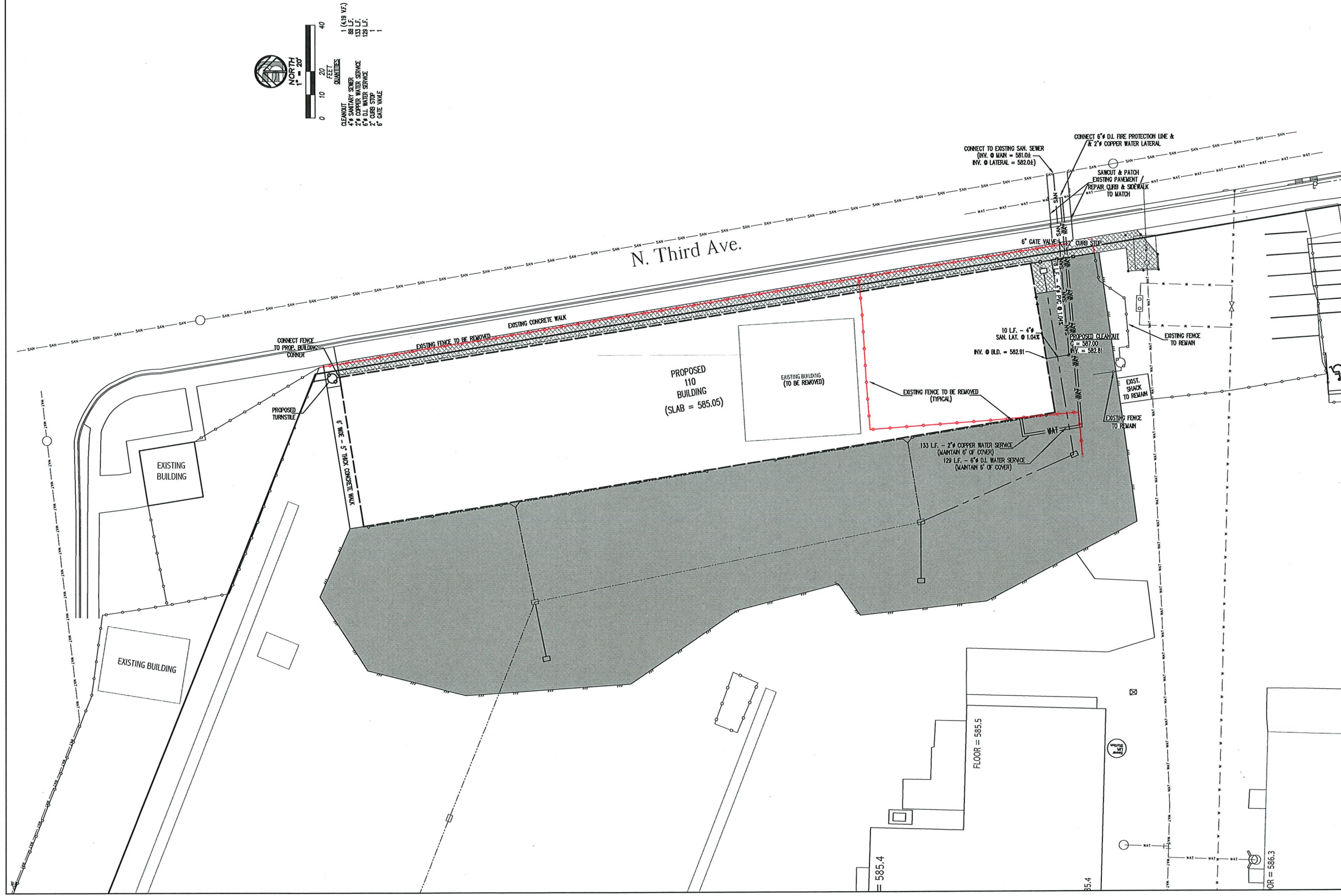
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STAIR SECTIONS  
SHEET  
**A 6.5**









BAUDHUIN

SURVEYING & ENGINEERING

312 N. 5TH AVE.  
P.O. BOX 105  
STURGEON BAY, WI 54235  
PHONE: 920-743-8211

PROJECT DIRECTOR:

PROJECTS

PLAN NAME:  
586-SFZC

DESIGNED BY:  
P.J.H.

REVISION DATE:  
7/19/22

SCALE:  
1" = 20'

JOB NUMBER:  
22356

NEW BUILDING 110  
UTILITY PLAN

Fincantieri Marine Group, LLC

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