

**AGENDA**  
**CITY OF STURGEON BAY**  
**AESTHETIC DESIGN & SITE PLAN REVIEW BOARD**

Monday, July 25, 2022

6:00 p.m.

Council Chambers, City Hall  
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from June 27, 2022.
4. Consideration of: Revised building design for WWP Development, LLC, Sturgeon Bay Terrace located at 100 E. Maple Street.
5. Consideration of: Door County Facilities & Parks Maintenance Garage addition located at 916 N. 14<sup>th</sup> Ave.
6. Adjourn.

*NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.*

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

Committee members

Thad Birmingham  
Nancy Schopf  
Mark Struck  
Dave Augustson  
Kelsey Fox  
Rick Wiesner  
Pam Jorns

July 21, 2022  
12:00 p.m.  
CS

AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD  
Monday, June 27, 2022

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:01 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

**Roll Call:** Members Rick Wiesner, Dave Augustson, Thad Birmingham and Nancy Schopf were present. Pam Jorns was excused. Staff present were Community Development Director Marty Olejniczak, Planner/Zoning Administrator Christopher Sullivan-Robinson and Community Development Administrative Assistant Cindy Sommer.

**Adoption of Agenda:** Moved by Mr. Augustson, seconded by Ms. Schopf to adopt the following agenda.

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from May 23, 2022.
4. Consideration of: 96-unit multiple-family development located at parcel #281-66-12001605 (east of Target) for Premier SB Duluth Ave, LLC.
5. Consideration of: 100' x 100' building addition and awning for Midwest Wire Products located at 615 S. Lansing Ave.
6. Adjourn.

All ayes. Carried.

**Approval of minutes from May 23, 2022:** Moved by Mr. Augustson, seconded by Mr. Wiesner to approve the minutes. All ayes. Carried.

**Consideration of: 96-unit multiple-family development located at parcel #281-66-12001605 (east of Target) for Premier SB Duluth Ave, LLC.**

Mr. Sullivan-Robinson introduced the 96-unit multi-family development located on a vacant parcel of land east of Target that fronts on Duluth Avenue. The other three sides are in the Town of Nasewaupee, but the vacant parcel is entirely within the city limits. The project was approved for a conditional use permit by the Plan Commission at its June 1 meeting subject to the following: 1) extend the sidewalk to Duluth Avenue; 2) approval by the Aesthetic Design & Site Plan Review Board; 3) storm water management approval by the city engineer; 4) change some of the trees to native species; 5) if pet friendly, provide designated pet area. Staff recommends full approval of the project design, color, materials, landscaping, lighting and storm water management, and has no major concerns. Small details, such as dumpster and gazebo areas, are vague and should be clarified. Lighting should be downward directed and contained with the development area.

Mr. Brad Trembl of R.E. Lee of 1250 Centennial Centre Boulevard, Hobart, WI, presented the project. This is a 96 unit development consisting of eight buildings with 12 units each. The buildings will consist of brick and vinyl siding with multiple types of siding in different colors and textures as depicted on the photos in the packet. The units will be two bedroom/two bathroom with garages. It will be a pet friendly development with additional outdoor parking for overflow. There will be an office on site that is managed about half-time for maintenance, tours, lease signing, etc. This is R.E. Lee's third development in the area, one of which is Orchard Estates located off of Oxford Avenue. The development will be in the Southern Door School District.

Mr. Wiesner questioned the need for a playground or other area for kids. Mr. Sullivan-Robinson stated that this issue was brought up at the Plan Commission meeting and testimony was had that playgrounds are historically underused and a gazebo is the alternative option. Mr. Olejniczak indicated that some TID funds are being directed to Woods West Park improvements in the future.

Mr. Augustson asked whether the dumpsters will be enclosed and Mr. Trembl indicated they are waiting for direction at today's meeting and will comply with recommendations.

Mr. Augustson moved to approve the development design as presented with the conditions set forth by the Plan Commission, the dumpsters to be enclosed at least on 3 sides with color matched materials, not wood, to be approved by the chairman and the gazebo design and materials to be approved by the chairman. Motion seconded by Mr. Birmingham. All ayes. Motion carried.

**Consideration of: 100' x 100' building addition and awning for Midwest Wire Products located at 615 S. Lansing Ave.**

Mr. Sullivan-Robinson introduced the 100' x 100' x 20' building addition to the north end of the existing Midwest Wire located at 615 S. Lansing Avenue, as well as an awning to be located above the existing entryway. The building design will match the existing structure with a veneer wainscoting on the front façade. No landscape plan is proposed; there will just be grading and grass. The guidelines generally dictate additional vegetation, however those sides of the building will not be seen from the street. No additional parking is needed because no new jobs are being added. The proposed canopy over the entryway requires a variance due to a setback issue. Staff recommends approval of the building design, materials, grading, storm water and lighting.

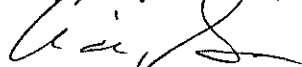
Dave Phillips of Bayland Buildings of Hobart, WI presented the project and explained that they looked at several locations to put the addition but this one is the easiest and makes the most sense. The building will only be used for storage at this time. The business is doing well and there is a need for additional space. The storm water plan has been submitted to the city engineer and consists of simple grading. The building color is being matched as closely as possible to the existing 30 year old building. The north side will have wainscoting added for appearance as shown in photos. Two driveways will be added on the west side. Two half bathrooms and one water bubbler will be included, along with a 10' x 10' office for the shipping clerk. There will be downward facing lights above the two emergency exit doors and the loading bays. There will be two trees removed from the loading dock area to accommodate the addition.

Mr. Phillips further explained that the 4' x 12' awning will be added above the existing entryway to improve the front appearance, provide rain cover and improve visibility of the entrance. Midwest Wire is aware that adding the awning will require a variance from the Zoning Board of Appeals and they will decide if they want to continue with that project, but would like approval of the design so they can move forward if the variance is approved at a later date.

Mr. Birmingham moved to approve the project design as presented. Seconded by Ms. Schopf. All ayes. Motion carried.

**Adjourn:** Moved by Mr. Augustson, seconded by Ms. Schopf to adjourn. All ayes. Carried. The meeting adjourned at 6:39 p.m.

Respectfully submitted,



Cindy Sommer  
Community Development  
Administrative Assistant



# MEMO

To: Aesthetic Design and Site Plan Review Board  
From: Christopher Sullivan-Robinson  
Date: July 20, 2022  
Subject: Sturgeon Bay Terrace Revised Plans

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The Sturgeon Bay Terrace development was last reviewed by this committee in July of 2021 for a proposed 3 story mixed-use building with the remaining site design to come back at a later date. That building plan has since been revised. The applicant, WWP Development, LLC, is requesting full approval of the attached modified building plan and site design.

The footprint of the building and the style of construction does not appear to have changed. The building is approximately 7 feet shorter than the original design and reduced to 2 levels. The materials appear to match what was originally proposed. Window sizes and locations have been modified in some areas and balconies have been removed. The signage styles appear to be the same; however, the name of the business and locations of the signs may slightly vary.

The patio design has been modified and is now shown without retaining walls. Fire pits and planters are included in the patio design. Landscaped areas are shown on three sides of the building.

Below are relevant design criteria to be reviewed:

1. The site shall be designed to accomplish a desirable transition from the public streetscape, and between commercial, industrial, and residential land use areas.
2. Where grading is necessary for the construction of structures and paved areas, the grading should blend into adjacent property. Abrupt changes in grade are discouraged.
3. Buildings should be sited and designed to be aesthetically pleasing as viewed from adjoining public streets. Excessively long, unbroken building facades shall be avoided. Building materials and design features shall be consistent with the general design theme and/or proposed use of the development.
4. Buildings on in-fill sites shall be compatible with surrounding buildings in terms of scale, massing, height, entrances, and windows.
5. Storage areas, dumpsters and other places that tend to be unsightly shall be screened by walls, fences, berms, vegetation, or combinations of these. The screening should be equally effective in winter and summer.
6. Exterior light fixtures shall be shielded such that direct beams of light are not cast skyward or onto adjoining property. Exterior light fixtures for signage, building entrances, accents, parking lots, and landscaped areas are strongly encouraged to be downward directed. Auto-dimmers and timers are encouraged for all exterior lights to limit energy waste during non-operational hours. Lighting of an intensity beyond which



is reasonably required to conduct operations or maintain security is discouraged. Lighting fixtures and devices promoting energy efficiency are encouraged.

7. The location, size, design, materials, and colors of signs should be compatible with the building style. Lighted signage is strongly encouraged to be halo-lit such that there is no visible light source. Auto-dimmers and timers are strongly encouraged to limit energy waste during non-operational hours.

Recommendation: City staff recommend approval of a certificate of appropriateness for the Sturgeon Bay Terrace project plans a presented.

# CITY OF STURGEON BAY

## AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

### APPLICATION FOR **CERTIFICATE OF APPROPRIATENESS**

Name: Jennifer & Peter Gentry

Owner of Premises: WWP Development LLC

Address or Legal Description of Premises:

Development Site B - West waterfront - At S. Neenan and Maple/Cross St.

Statement of Specific Item Requested for Approval:

General building design and materials.

Note: This building was designed to fit with the  
"working waterfront" aesthetic as asked for by recent Ad Hoc  
committees. The design and materials were further guided  
by a collaborative process with the nearby Granny Project  
and the Breakwater Apartments.

7/14/21  
Date

[Signature]  
Applicant

DATE RECEIVED	<u>7.15.21</u>
STAFF SIGNATURE	<u>[Signature]</u>
DATE APPROVED/DENIED	_____



DAVID N. H.  
DESIGN

WEST ELEVATION FACING PARK

DRAFT



NORTH ELEVATION FACING PARK



NORTHEAST ELEVATION FACING PARK



EAST ELEVATION FACING BRIDGE

CITY OF STURGEON BAY WATERFRONT RFP - STURGEON BAY PLAZA 05/13/2021

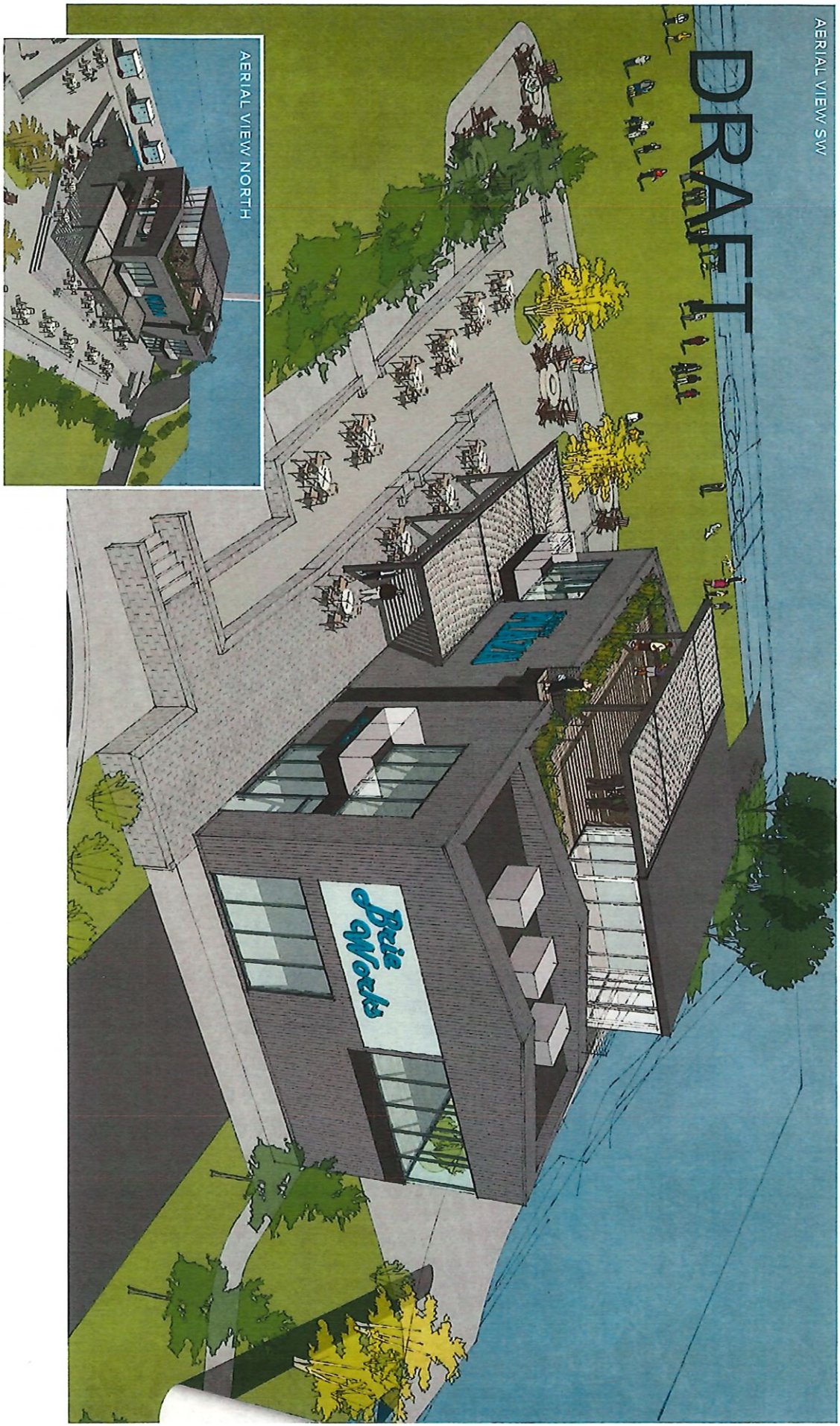
 ARO EBERLE  
ARCHITECTS



OWNER  
DESIGN

AERIAL VIEW SW

DRAFT

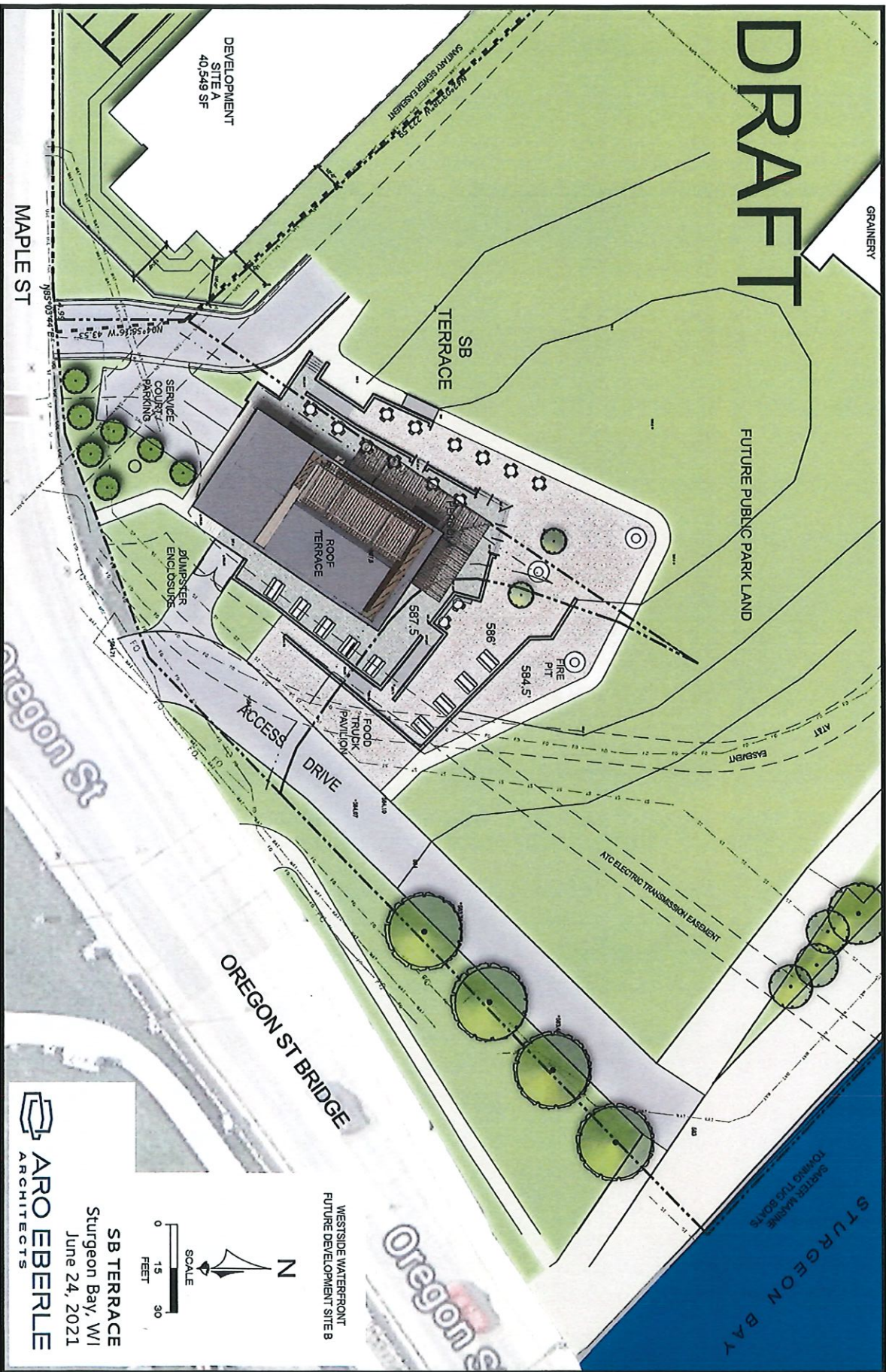


AERIAL VIEW NORTH

CITY OF STURGEON BAY WATERFRONT RFP - STURGEON BAY PLAZA 05/13/2021



*DRAFT*  
*DESIGNED*





## AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD

Monday, July 26, 2021

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:05 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

**Roll Call:** Members Rick Wiesner, Jon Burk, Dave Augustson, and Jon Burk were present. Cheryl Frank and Kelsey Fox were excused. Pam Jorns was absent. Also present were City Administrator Josh VanLieshout, Community Development Director Marty Olejniczak, Planner/Zoning Administrator Christopher Sullivan-Robinson, and Police Assistant Candy Jeanquart.

**Adoption of Agenda:** Moved by Mr. Struck, seconded by Mr. Burk to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Consideration of: Building design and materials for the Sturgeon Bay Plaza project located at 100 E Maple Street; parcel #281-12-10080101A.
4. Adjourn.

All ayes. Carried.

### **Consideration of: Building design and materials for the Sturgeon Bay Plaza project located at 100 E Maple Street; parcel #281-12-10080101A:**

Mr. Peter Gentry started by introducing Mr. Doug Pahl, Architect at Aro Eberle Architects. Mr. Pahl stated the industrial design look was created to match up with the surrounding businesses and granary design plans. All three levels are accessible with by elevator with a possible deli on the first floor and housing on the second floor.

Mr. Pahl presented examples of the materials for the project. The main material is corrugated metal siding either slate gray or metallic zinc color. The trim will be black with a standing seam metal roof matching the siding. Part of the building will include vertical cedar siding requesting finished in a natural look.

Mr. Struck inquired on the concept of the retaining wall and color. Mr. Pahl explained it will be stacked with a subtle color concrete to match the structure. It was questioned if the owners or the City will be responsible for the landscaping. Landscape maintenance depending on locations will be both parties' responsibilities; however, will be determined by the development agreement between the City and WWP Development LLC. This is based on the proposed outdoor seating area and retaining wall space being on both private and public land.

Mr. Augustson questioned if the vertical cedar siding would continue to the bottom on the east elevation. He also questioned what type of coating would be applied, recommending clear. Mr. Pahl confirmed it is and was thinking a natural finish.

Mr. Burk made a motion to accept as presented. Seconded by Mr. Struck. Mr. Augustson amended the motion to accept as presented with having the vertical cedar siding clear and finished in earth tone color. Seconded by Mr. Wiesner. All in favor. The amendment carried. A vote was taken on the amended motion. All in favor. Carried.

**Adjourn:** Moved by Mr. Burk, seconded by Mr. Struck to adjourn. All ayes. Carried. The meeting adjourned at 6:35 p.m.

Respectfully submitted,

Candy Jeanquart  
Police Assistant





# MEMO

To: Aesthetic Design and Site Plan Review Board  
From: Christopher Sullivan-Robinson  
Date: July 26, 2021  
Subject: Sturgeon Bay Plaza Plan Review

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Peter Gentry representing WWP Development, LLC is requesting the approval of the design and materials for the new approximately 3-story (76' x 40' x 35'H) building located at 100 E Maple Street; also known as Development Site B of West Waterfront RFP documents. The building consists of a mixture of commercial on the first floor, a residential unit on the second floor, and a third-floor rooftop patio. These are all permitted uses within the C-2 zoning district. This project was also reviewed by the Plan Commission on July 21, 2021. They approved a zero setback from the east property line (adjacent to the O.H.W.M.). There are no issues from zoning regarding use and building location.

**Site Layout:** The building is positioned in a way that maximizes the use of the lot while accommodating setback, obstructions, and easements. Surrounding the footprint of the building is a multi-level patio, which extends into public property. A multi-level outdoor patio area will surround the building along the northeast and west sides of the building. Along the east side of the building will include a parking pad for mobile food vendors and the dumpster enclosure. Off of maple street will be the main driveway and parking lot including three parking spaces. Sidewalks surround the building and ultimately lead to public sidewalks on Maple street.

**Access and Parking:** The property will be accessed off of Maple Street through the two driveway ways as shown on the site plan. The driveway to the west will likely house an additional public parking lot. No parking is required for commercial uses within the downtown area. However, parking is required for lodging and residential uses.

**Building Design:** The designer of the project has been working with the other designers of the neighboring apartment project and the granary restoration project to create complimentary designs within the overall site. The theme of the building is utilized on all sides and there are various architectural elements that provide appealing views from every side. Lots of sectional windows were used on every floor with some folding windows on the first floor. Balconies with various types of rail systems are included on the second and third floor. The parapet on the third floor gives the building a peaked roof look and will hide the mechanical equipment. Overall the building design will have a positive impact for the site and downtown area.

**Materials and Colors:** The siding is a combination of corrugated metal siding and solid metal panels. The third floor will include 6" vertical cedar siding and a standing seam metal roof. The pergola's will be made with tube steel columns and beams with infill and clear corrugated plastic tops. The plan illustrates the intended colors.

Landscaping: No landscaping plan was included; however, their plan does illustrate some areas with shrubs and trees off of the Maple Street / Oregon Bridge side of the building. However, they may have some limitation due to various easements. No landscape is required by the zoning code. The committee can make recommendations, conditions, or require the submittal of a landscape plan.

Lighting: No lighting plan was included. The committee can either approve lighting with the condition that it be night-sky friendly and contained within the site. Or, require the submittal of a lighting plan.

Signs: The project includes 4 wall signs all of which are lit. the final design of the signs will need to be reviewed for compliance with the zoning chapter. However, I can't tell if these signs are internal lit or back lit. The preference should be back lighting and can be made as a condition of approval.

Recommendation: Staff recommends approval of a certificate of appropriateness as presented with the following conditions:

1. All exterior lighting be downward directed with cutoff fixtures and contained within the site.
2. A landscape plan be submitted and approved by the Chairperson of the Aesthetic Design and Site Plan Review Board.
3. All signage be back lit.



WEST ELEVATION FACING PARK



NORTH ELEVATION FACING PARK



NORTHEAST ELEVATION FACING PARK



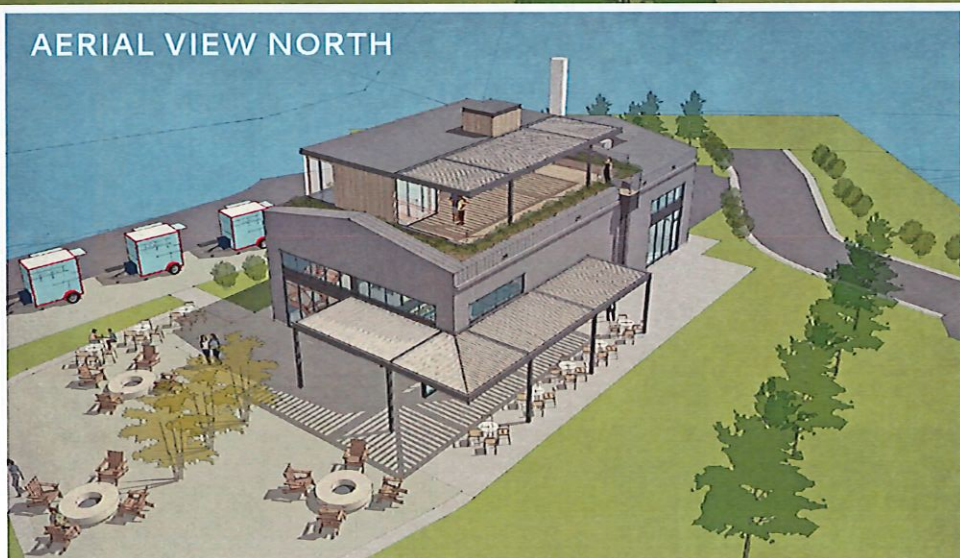
EAST ELEVATION FACING BRIDGE



AERIAL VIEW SW



AERIAL VIEW NORTH





# WWP DEVELOPMENT LLC

## SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235



NORTH  
1 SITE MAP  
6" = 1'-0"



CONCEPT RENDERING

### ABBREVIATIONS:

ADA - AMERICAN WITH DISABILITIES ACT  
AFF - ABOVE FINISHED FLOOR  
AV - AUDIO VISUAL  
CFCI - CONTRACTOR FURNISHED CONTRACTOR INSTALLED  
CFM - CUBIC FOOT PER MINUTE  
CL - CENTERLINE  
CLNG - CEILING  
CLR - CLEAR  
DM - DIMENSION  
DN - DOWN  
EA - EACH  
EC - ELECTRICAL CONTRACTOR  
ESEW - EMERGENCY SAFETY SHOWER/ EYEWASH  
EQ - EQUAL  
FD - FLOOR DRAIN  
FEC - FIRE EXTINGUISHER CABINET  
FRT - FIRE RESISTANT TREATED  
GC - GENERAL CONTRACTOR  
GWB - GYPSUM WALL BOARD  
LFC - LAB FURNISHINGS CONTRACTOR  
MAX - MAXIMUM  
MB - MARKERBOARD  
MC - MECHANICAL CONTRACTOR  
MN - MINIMUM  
MISC - MISCELLANEOUS  
MTD - MOUNTED  
NIC - NOT IN CONTRACT  
NTS - NOT TO SCALE  
OFCI - OWNER FURNISHED CONTRACTOR INSTALLED  
OFOI - OWNER FURNISHED OWNER INSTALLED  
OPP - OPPOSITE  
PC - PLUMBING CONTRACTOR  
SIM - SIMILAR  
SS - STAINLESS STEEL  
STD - STANDARD  
THK - THICK  
TYP - TYPICAL  
UON - UNLESS OTHERWISE NOTED  
UNO - UNLESS NOTED OTHERWISE  
W/ - WITH

### HATCH SYMBOLS

	EARTHWORK		PLYWOOD
	GRAVEL		FINISH LUMBER
	PLASTER, SAND, GROUT		WOOD STUDS, BLOCKING
	CONCRETE		STEEL STUDS
	CONCRETE MASONRY		GYPSUM WALLBOARD
	CLAY MASONRY		ACOUSTICAL TILE
	PRECAST CONCRETE		BATT INSULATION
	METAL		RIGID INSULATION

### Design Team

#### OWNER:

WWP DEVELOPMENT LLC  
6140 N. SHORESIDE CIR.  
STURGEON BAY WI 54235  
CONTACT: PETER GENTRY  
PH: (608) 335-2294  
EMAIL: PETER.GENTRY@GMAIL.COM

#### ARCHITECT:

ARO EBERLE ARCHITECTS INC.  
116 KING STREET, SUITE 202  
MADISON, WI 53703  
CONTACT: DOUG PAHL, AIA  
PH: (608) 204-7464  
EMAIL: PAHL@AROEERLE.COM

#### CONTRACTOR:

BAYLAND BUILDINGS  
3323 BAY RIDGE COURT  
GREEN BAY, WI 54155  
CONTACT: DAVE PHILLIPS  
PH: (920) 498-9300  
EMAIL: DPHILLIPS@BAYLANDBUILDINGS.COM

#### STRUCTURAL ENGINEER:

B.T. GEROLD STRUCTURAL ENGINEERING LLC  
805 DODGE STREET  
KEWAUNEE, WI 54216  
CONTACT: BEN GEROLD, P.E.  
PH: (920) 309-1639  
EMAIL: BTGEROLD@GMAIL.COM

#### CIVIL ENGINEER:

BAUDHUIN SURVEYING & ENGINEERING  
312 N. 5TH AVE  
STURGEON BAY, WI 54235  
CONTACT: PETER J. HURTH  
PH: (920) 743-8211  
EMAIL: PHURTH@BAUDHUIN.COM

### Sheet List

#### GENERAL

T001 COVER SHEET

#### ARCHITECTURAL

A001 NOTES, SYMBOLS, ABBREVIATIONS AND PARTITION TYPES  
A002 DOOR SCHEDULE AND BASIS OF DESIGN  
A003 WINDOW TYPES  
A101 FIRST FLOOR PLAN  
A102 SECOND FLOOR PLAN  
A104 ROOFING PLAN  
A105 ROOF PLAN  
A106 RETAIL FLOOR PLAN & RETAIL FINISH PLAN  
A111 FIRST FLOOR REFLECTED CEILING PLAN  
A112 SECOND FLOOR REFLECTED CEILING PLAN  
A114 RETAIL REFLECTED CEILING PLAN  
A121 FIRST FLOOR FINISH PLAN  
A201 EXTERIOR ELEVATIONS

#### A202

EXTERIOR ELEVATIONS

A202 EXTERIOR ELEVATIONS

A301 BUILDING SECTIONS

A301 BUILDING SECTIONS

A312 WALL SECTIONS

A312 WALL SECTIONS

A401 ENLARGED INTERIOR PLANS AND ELEVATIONS

A401 ENLARGED INTERIOR PLANS AND ELEVATIONS

A403 ENLARGED INTERIOR PLANS AND ELEVATIONS

A404 ENLARGED INTERIOR PLANS AND ELEVATIONS

A405 RETAIL FLOOR PLAN AND FINISH PLAN

A406 RETAIL MEZZANINE PLAN AND ELEVATIONS

WWP  
DEVELOPMENT LLC

### SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

### COVER SHEET

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

T001





## BUILDING COMPONENTS:

DIV 6 - TONGUE AND GROOVE CEDAR SIDING	1X6 NOM. TONGUE AND GROOVE BOARDS WITH BEVELED EDGE; GRADE: SELECT (GRADE A) CLEAR WESTERN RED CEDAR
DIV 6 - WOOD DECK TILES	BASIS OF DESIGN: BISON 2XZ IPE WOOD TILE; SMOOTH, SUPPORTED ON ADJUSTABLE LEVELING PEDESTALS (DECK TILE PEDESTALS)
DIV 6 - PLASTIC STRUCTURAL ASSEMBLIES - DECK TILE PEDESTALS	BASIS OF DESIGN: BISON VERSAJUST PEDESTALS
DIV 7 - STANDING SEAM ROOFING	BASIS OF DESIGN: PAC-CLAD - TIGHT-LOC STANDING SEAM ROOF; 16" PANEL WIDTH; MATERIAL: 24 GA. STEEL; FINISH: PAC-CLAD ZINC
DIV 7 - SHEET METAL SIDING	BASIS OF DESIGN: PAC-CLAD - PAC HWP 16" VERTICAL CORRUGATED WALL PANEL CONCEALED THRU-FASTENED; MATERIAL: STEEL; FINISH: PAC-CLAD ZINC U.N.O.
DIV 7 - SHEET METAL TRIM - 1	24 GA. GALVANIZED STEEL COIL STOCK; IN PROFILES AS SHOWN IN DETAILS OR MANUFACTURERS RECOMMENDED FOR APPLICATION; COLOR: PAC-CLAD ZINC
DIV 7 - SHEET METAL TRIM - 2	24 GA. GALVANIZED STEEL COIL STOCK; IN PROFILES AS SHOWN IN DETAILS OR MANUFACTURERS RECOMMENDED FOR APPLICATION; COLOR: PAC-CLAD BLACK
DIV 7 - COMPOSITE ALUMINUM PANEL	BASIS OF DESIGN: PAC 3000 CS COMPOSITE WALL PANEL, ROUTE AND RETURN FABRICATION; WET SEAL; MATERIAL: BONDED ALUMINUM; FINISH: BLACK
DIV 7 - MEMBRANE ROOFING	FULLY ADHERED BLACK EPDM ROOFING, 60 MIL, 20 YR WARRANTY; ON TAPERED INSULATION WITH R 30 AVERAGE (MIN 5" THICKNESS)
DIV 8 - FLUSH WOOD DOORS	BASIS OF DESIGN: HOLLOW CORE FLUSH WOOD DOORS - QUARTER SAWN, BIRCH VENEER; CLEAR FINISH
DIV 8 - IGU - TYPE 1	BASIS OF DESIGN: GUARDIAN GLASS SUNGUARD SUPERNEUTRAL SN98 IGU WITH LOW-E COATING ON SURFACE 2; VISIBILITY: 69%; SHGC: .38
DIV 8 - IGU - TYPE 2	BASIS OF DESIGN: GUARDIAN GLASS SUNGUARD SUPERNEUTRAL SN98 IGU WITH LOW-E COATING ON SURFACE 2; 10% ACID ETCH ON SURFACE 3
DIV 8 - SPANDREL PANEL IGU	BASIS OF DESIGN: GUARDIAN GLASS SUNGUARD SUPERNEUTRAL SN98 IGU, LOW-E COATING ON SURFACE 2; OPACIFIER COATING ON SURFACE 4;
DIV 8 - STOREFRONTS	BASIS OF DESIGN: KAWNEER TRI-FAB VERSA-GLAZE 451T; FRONT GLAZED; SSG WITH CAPTURED TOP AND BOTTOM; FINISH BLACK ANODIZED; GLAZED WITH IGU TYPE 1 OR 2 - SEE WINDOW TYPES
142600 - LIMITED-USE/LIMITED APPLICATION ELEVATOR	SYMMETRY HYDRAULIC DRIVE ELEVATOR WITH COMPACT MACHINE ROOM, OPPOSITE OPENING CONFIGURATION, 42X54 CAR SIZE

DOOR AND HARDWARE SCHEDULE														
DOOR NUMBER	QTY.	LEAF SIZE		DOOR		GLAZING		FRAME		DETAILS		MISCELLANEOUS		REMARKS
		WIDTH	HEIGHT	TYPE	MAT'L	TYPE	FINISH	TYPE	MAT'L	HEAD	JAMB	OTHER	FINISH	
100A	(1)	3'-0"	7'-0"	MS	AL	IGU	ANOD	F1	AL				ANOD	
100B	(1)	3'-0"	7'-0"	MS	AL	IGU	ANOD	F1	AL				ANOD	
101	(2)	1'-6"	7'-0"	T	AL	CLR	PLAM	F1	AL				ANOD	
101B	(1)	3'-0"	7'-0"	F	HM		PT-5	F1	HM				PT-5	
102	(1)	3'-0"	8'-0"	MS	AL	IGU	ANOD	F1	AL				ANOD	
102A	(1)	4'-11 1/8"	8'-0"	F	WD		PT-5	F1	AL				PT-5	2
102A	(1)	3'-0"	7'-0"	F	HM				HM					
102B	(1)	3'-0"	7'-0"	F	HM	CLR	PT-5	F1	HM				PT-5	60 MIN
103	(1)	3'-0"	7'-0"	G	WD	PATT	SN-1	F1	HM				PT-5	1
104	(1)	3'-0"	7'-0"	G	WD	PATT	SN-1	F1	HM				PT-5	1
105A	(2)	3'-0"	7'-0"	MS	AL	IGU	ANOD	F1	AL				ANOD	
105A	(1)	3'-0"	7'-0"	F	HM				HM					
105E	(2)	1'-6"	7'-0"	T	AL	CLR	PLAM	F1	AL				ANOD	
105F	(2)	1'-6"	7'-0"	T	AL	CLR	PLAM	F1	AL				ANOD	
107	(1)	3'-0"	7'-0"	F	HM		PT-5	F1	HM				PT-5	
201	(1)	3'-0"	7'-0"	MS	AL	CLR	PT-5	F1	AL				PT-5	
202	(1)	3'-0"	7'-0"	F	HM	CLR	PT-5	F1	HM				PT-5	
203A	(1)	3'-0"	7'-0"	F	HM	CLR	PT-5	F1	HM				PT-5	
202B	(1)	3'-0"	7'-0"	F	HM	CLR	PT-5	F1	HM				PT-5	3
204	(1)	3'-0"	7'-0"	F	HM	CLR	PT-5	F1	HM				PT-5	
205	(1)	2'-0"	7'-0"	F	HM	CLR	PT-5	F1	HM				PT-5	
209	(1)	3'-0"	8'-0"	MS	AL	IGU	ANOD	F1	AL				ANOD	

### DOOR AND HARDWARE SCHEDULE ABBREVIATIONS

DOOR/FRAME MATERIALS  
AL = ALUMINUM  
ANOD = ANODIZED  
HM = HOLLOW METAL  
PLAM = PLASTIC LAMINATE  
PT = PAINT  
SN = STAIN  
SS = STAINLESS STEEL  
ST = STEEL  
WD = WOOD

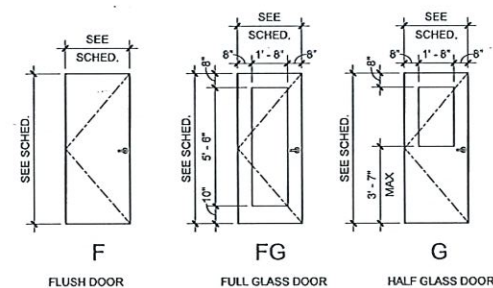
### GLAZING TYPES

CLR = CLEAR  
IGU = INSULATED GLAZING UNIT  
PATT = PATTERNED

### DOOR AND HARDWARE SCHEDULE GENERAL NOTES

- RIBBED PATTERNED GLASS
- POCKET DOOR
- PROVIDE INSULATED & GALVANIZED DOOR & FRAME

WOOD OR  
HOLLOW  
METAL



F  
FLUSH DOOR

FG  
FULL GLASS DOOR

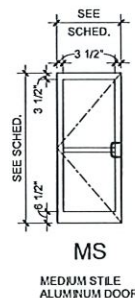
G  
HALF GLASS DOOR

ALUMINUM

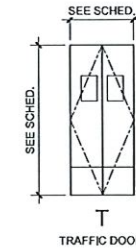
TRAFFIC



F1



MS  
MEDIUM STILE  
ALUMINUM DOOR



T  
TRAFFIC DOOR

## 2 FRAME TYPES

1/4" = 1'-0"

## 1 DOOR TYPES

1/4" = 1'-0"

No.	Description	Date
1	ADDENDUM 1	6/10/22

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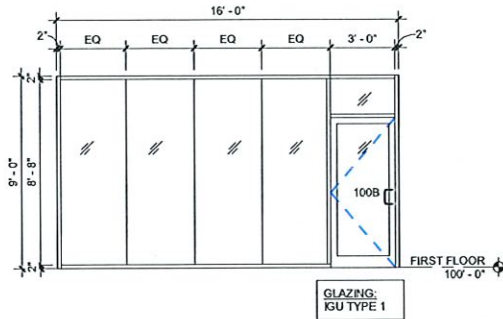
SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

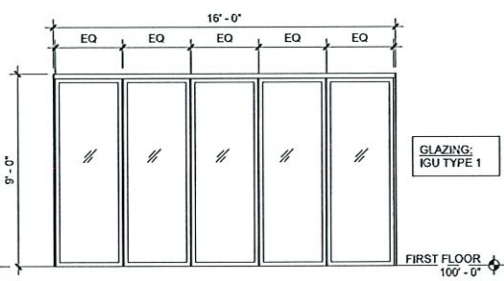
DOOR SCHEDULE  
AND BASIS OF  
DESIGN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

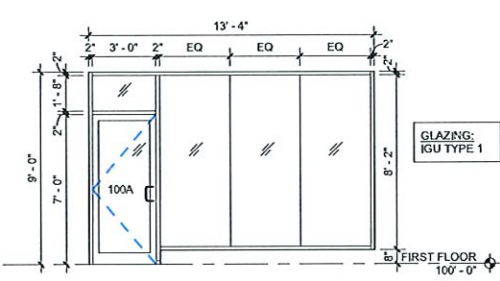
A002



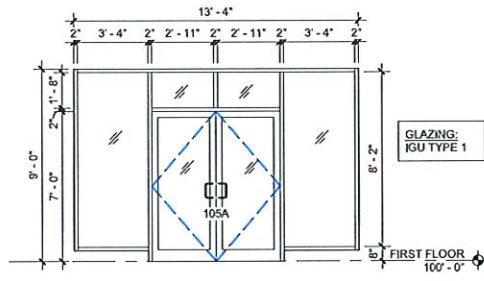
1 STOREFRONT - CW1  
1/4" = 1'-0"



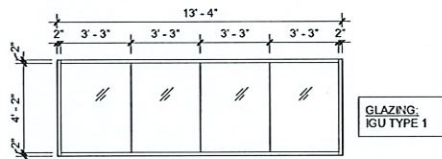
2 FOLDING GLASS PARTITION - CW2  
1/4" = 1'-0"



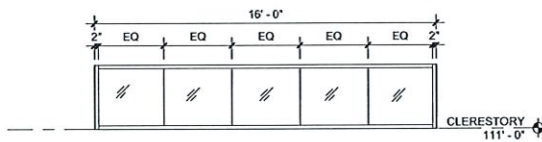
3 STOREFRONT - CW3  
1/4" = 1'-0"



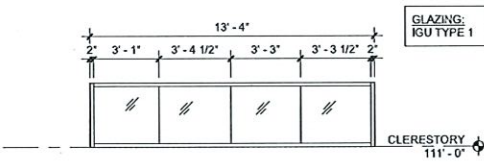
5 STOREFRONT - CW5  
1/4" = 1'-0"



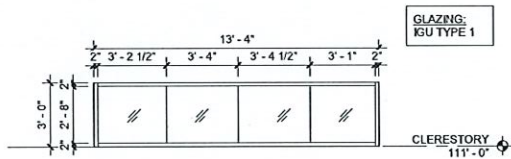
6 STOREFRONT - CW6  
1/4" = 1'-0"



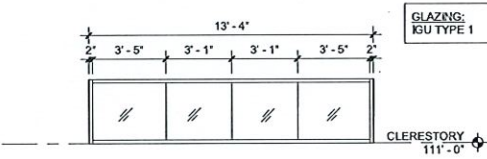
8 STOREFRONT - CW8  
1/4" = 1'-0"



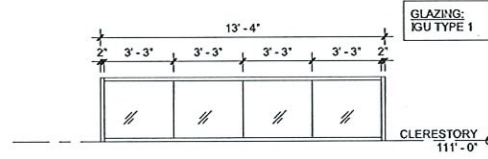
9 STOREFRONT - CW9  
1/4" = 1'-0"



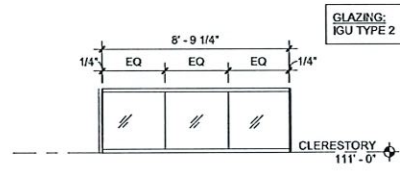
10 STOREFRONT - CW10  
1/4" = 1'-0"



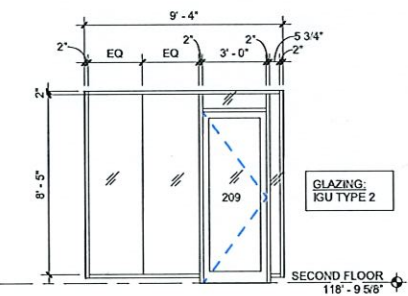
11 STOREFRONT - CW11  
1/4" = 1'-0"



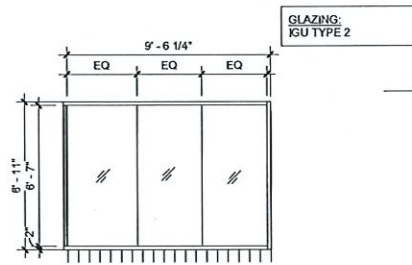
12 STOREFRONT - CW12  
1/4" = 1'-0"



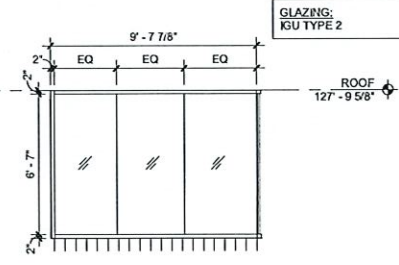
13 STOREFRONT - CW13  
1/4" = 1'-0"



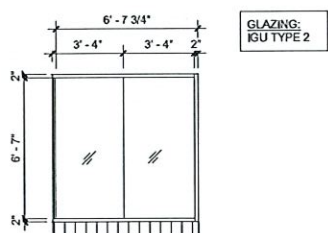
14 STOREFRONT - CW14  
1/4" = 1'-0"



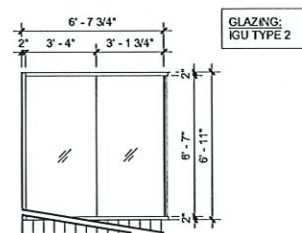
15 CURTAINWALL - CW15  
1/4" = 1'-0"



16 STOREFRONT - CW16  
1/4" = 1'-0"



17 STOREFRONT - CW17  
1/4" = 1'-0"



18 CURTAIN WALL - CW18  
1/4" = 1'-0"

No.	Description	Date
1	ADDENDUM 1	6/10/22

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WINDOW TYPES

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A003



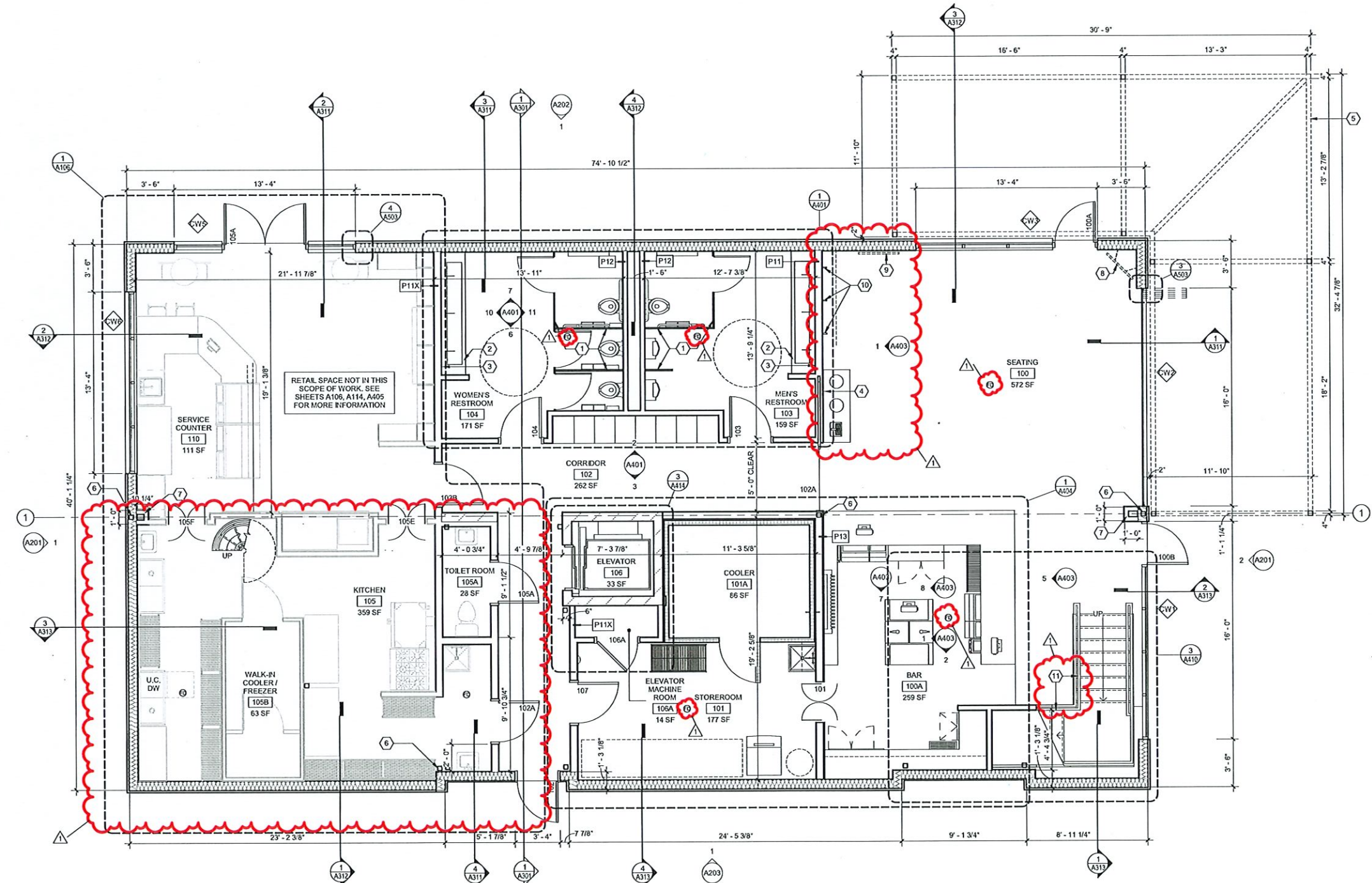
FLOOR PLAN GENERAL NOTES:

- 1. SITE DATUM OF 587.5' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
- 2. FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
- 3. DIMENSIONS ON FLOOR PLAN ARE BASED ON STUD TO STUD.
- 4. ALL P-TYPES ARE P10 UNLESS OTHERWISE NOTED.

KEYED NOTES (#)	
1	POWDER COATED RESTROOM PARTITIONS, HADRIAN HEADRAIL BRACED ELITE SERIES
2	SOLID SURFACE COUNTER W/ INTEGRAL RAMP BOWL AND APRON
3	WALL MOUNTED FRAMELESS BEVELED MIRROR W/ WALL MOUNTED SCONCES
4	6" VERTICAL CEDAR SIDING
5	OUTLINE OF PERGOLA ABOVE
6	STEEL COLUMN, SEE STRUCTURAL
7	AREA FOR METHANE VENTING
8	PROVIDE BLOCKING FOR TV CORNER BRACKET; PROVIDE POWER AND DATA
9	PROVIDE BLOCKING FOR WALL MOUNTED TV; PROVIDE POWER AND DATA
10	PROVIDE BLOCKING FOR RETAIL WATERFALL HOOK, HAFELE TAG 607 69.350
11	ILLUMINATED HANDRAIL: PROVIDE BRUSHED 304 STAINLESS STEEL TUBE HANDRAILS, NOM. 1.5"; NO. 4 FINISH CONFIGURED AS SHOWN IN THE DRAWINGS, PREP FOR KLUS LED DOWNLIGHT (K-1220-24V) STRIP MOUNTED IN POR EXTRUSION WITH KA CLEAR COVER



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No.	Description	Date
1	ADDENDUM 1	6/10/22

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FIRST FLOOR PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A101

NORTH  
1 FIRST FLOOR PLAN  
1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES:

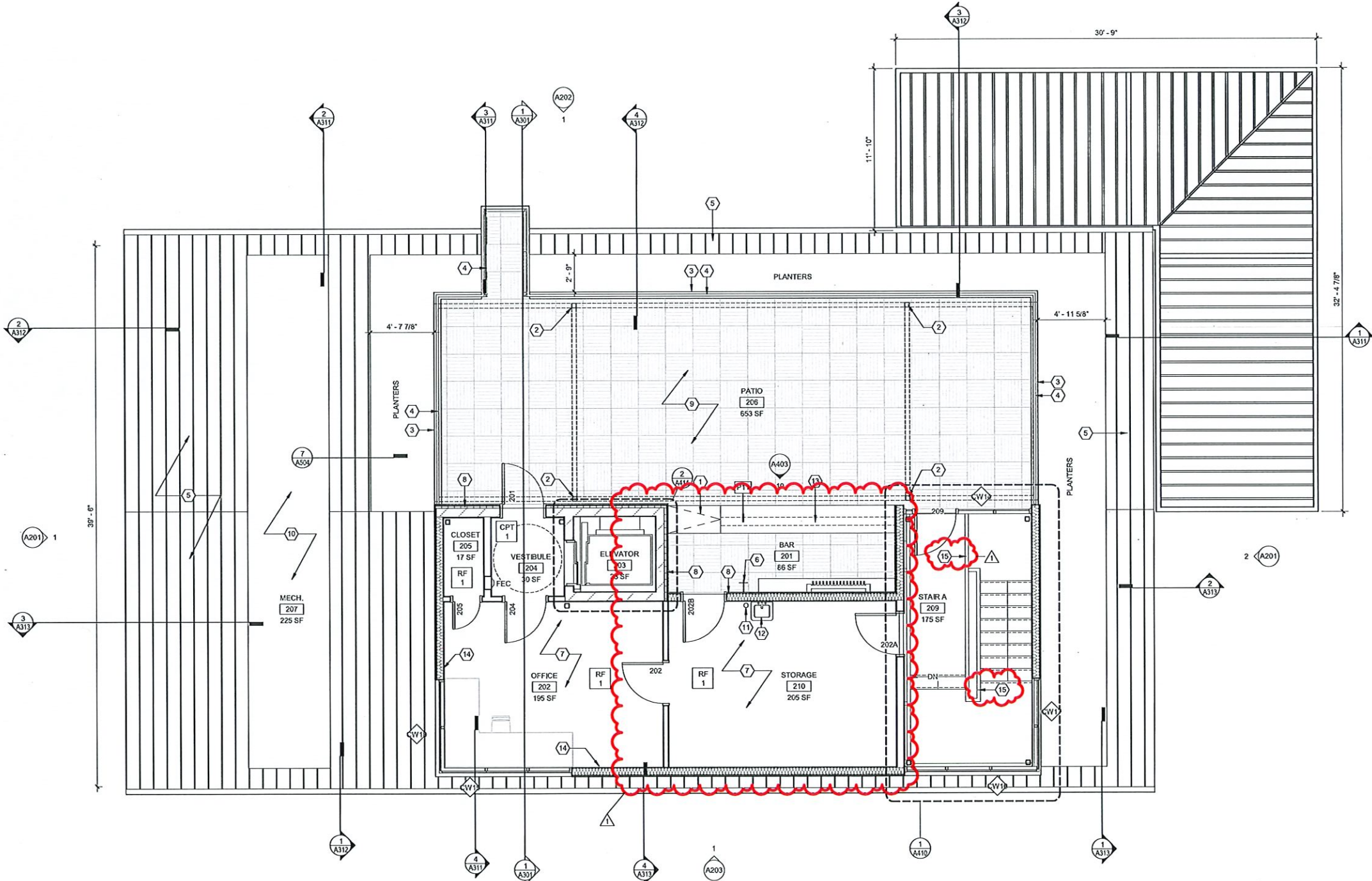
- 1. SITE DATUM OF 587.5' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
- 2. FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
- 3. DIMENSIONS ON FLOOR PLAN ARE BASED ON STUD TO STUD.
- 4. ALL P-TYPES ARE P10 UNLESS OTHERWISE NOTED.

KEYED NOTES (#)	
1	FLIP TOP WOOD COUNTER, WITH BRACKET AND STOP
2	TUBE STEEL COLUMN FOR PERGOLA
3	PLANTER WALL
4	CUSTOM STEEL GUARDRAIL; ENAMEL FINISH
5	ROOF ASSEMBLY 1: STANDING SEAM METAL ROOF WITH SHEET METAL FLASHING CAP OVER WEATHER BARRIER OVER PLYWOOD SHEATHING OVER WOOD TRUSS
6	HOSEBIB
7	FINISH FLOORING OVER PLYWOOD UNDERLAYMENT OVER PLYWOOD SUBFLOOR ON OVERBUILT 2X FLOOR FRAMING OVER ROOF/FLOOR TRUSSES
8	6" VERTICAL CEDAR SIDING
9	ROOF ASSEMBLY 2: WOOD DECK TILES OVER PEDESTALS (OR ALTERNATE) OVER EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER PLYWOOD UNDERLAYMENT
10	EPDM ROOF MEMBRANE OVER TAPERED INSULATION, SLOPE 1/4" PER FOOT
11	HUB DRAIN
12	HAND SINK
13	PROVIDE GFCI OUTLETS UNDER BAR
14	PROVIDE SWITCHED OUTLETS FOR OWNER PROVIDED FLOOR LAMPS; ASSUME (2) OUTLETS - COORDINATE FINAL QUANTITY AND LOCATION WITH OWNER
15	ILLUMINATED HANDRAIL: PROVIDE BRUSHED 304 STAINLESS STEEL TUBE HANDRAILS; NOM. 1.5"; NO. 4 FINISH CONFIGURED AS SHOWN IN THE DRAWINGS; PREP FOR KLUS LED DOWNLIGHT (K-1220-24V) STRIP MOUNTED IN POR EXTRUSION WITH KA CLEAR COVER



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No.	Description	Date
1	ADDENDUM 1	6/10/22

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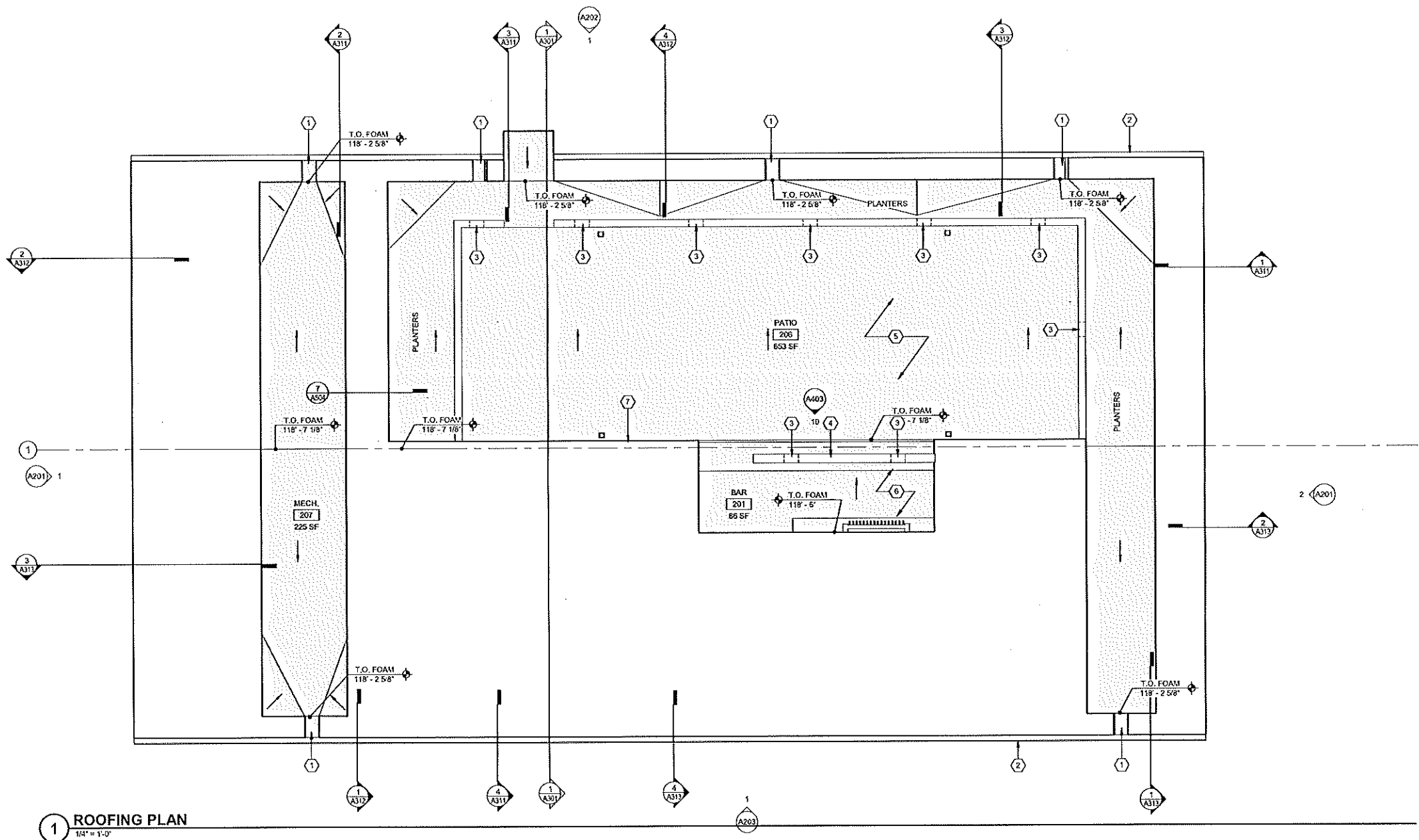
SECOND FLOOR  
PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A102

NORTH  
1 SECOND FLOOR PLAN  
1/4" = 1'-0"

KEYED NOTES (#)	
1	THROUGH-WALL SCUPPER
2	SHEET METAL GUTTER
3	EPDM LINED OPENING THROUGH PERIMETER WALL
4	BAR WALL
5	GRAY SHADING INDICATES EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION, SLOPE ARROWS INDICATE DIRECTION OF SLOPE
6	SLOPE 1/8" PER FOOT THIS AREA ONLY
7	EDGE OF ROOF



No.	Description	Date

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ROOFING PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022





## ABBREVIATIONS

	FLOORING FINISH
	FLOORING TRANSITION
	WALL FINISH
	BASE FINISH

1. REFER TO MATERIAL FINISH SCHEDULE THIS SHEET FOR KEY CODES, SELECTION AND COLOR.
2. ALL WALLS TO BE PAINTED PT-7, U.N.O.
3. MATERIAL FINISHES USED IN BOTH RETAIL SPACE AND SERVICE TERRACE ARE NOTED AS SUCH IN THE REMARKS COLUMN ON THE MATERIAL FINISH SCHEDULE ON THIS SHEET.
4. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH IBC SECTION 803. INTERIOR FLOORS FINISHES SHALL COMPLY WITH IBC SECTION 804.

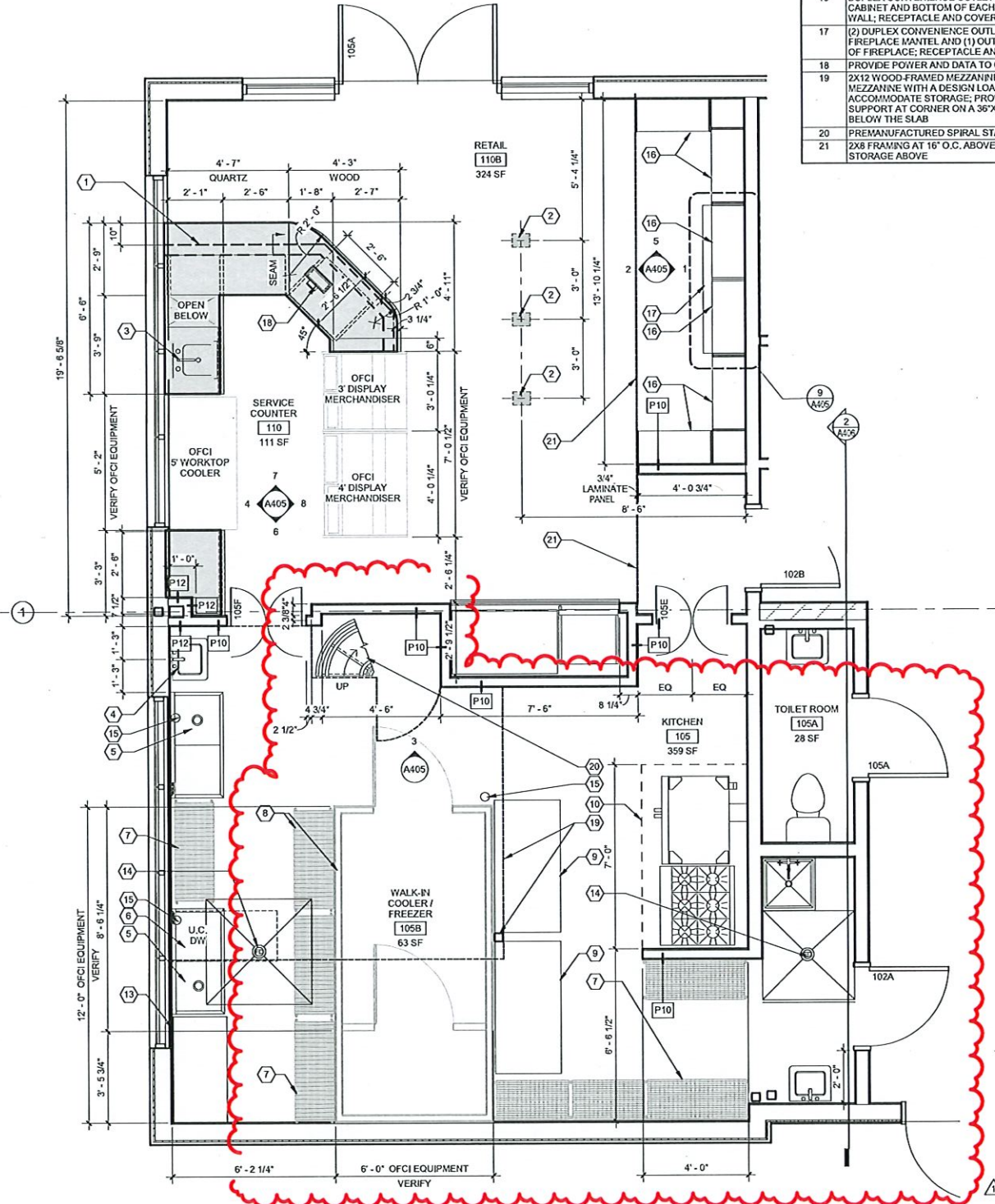
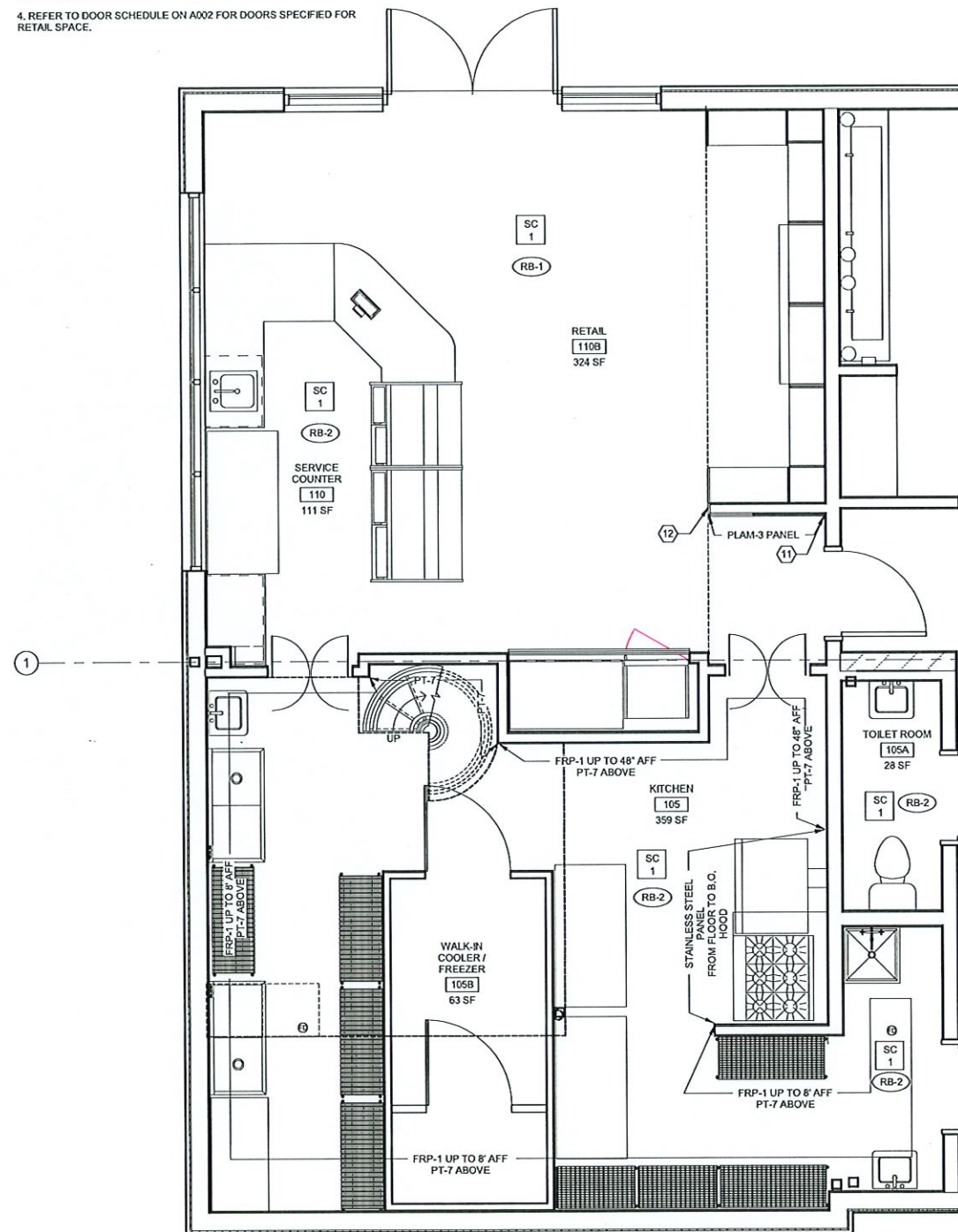
ACT = ACOUSTIC CEILING TILE  
AFF = ABOVE FINISHED FLOOR  
CT = CERAMIC TILE  
CTB = CERAMIC TILE BASE  
CONC = CONCRETE  
FRP = FIBER REINFORCED PLASTIC  
GR = GROUT  
GWB = GYPSUM WALL BOARD  
PLM = PLASTIC LAMINATE  
PT = PAINT  
QZ = QUARTZ  
RB = RUBBER WALL BASE  
SC = SEALED CONCRETE

MATERIAL FINISH SCHEDULE							
FINISH NUMBER	FINISH DESCRIPTION	PRODUCT DESCRIPTION				REMARKS	
		MANUFACTURER	MODEL NUMBER	STYLE	COLOR		SIZE
ACT-1	ACOUSTIC CEILING TILE - TYPE 1	USG	56999	CLEAN ROOM ACOUSTIC PANELS	WHITE	24" x 24"	CEILING TILE W/ VINYL LAMINATED FACE
CT-7	CERAMIC TILE - TYPE 7	CERAMIC TILEWORKS		GIOIA (PATTERN)	AVOCADO	4" x 16"	USE WITH GROUT, GR-3
FRP-1	FIBER REINFORCED PLASTIC - TYPE 1	MARLITE	P-100	PEBBLED	WHITE	4' x 8' SHEETS	USE WITH COORDINATING TRIM COLORS
GR-3	GROUT - TYPE 3	BOSTICK		TRUCOLOR RAPID CURE GROUT	NATURAL	1/8"	
PLAM-3	PLASTIC LAMINATE - TYPE 3	OMNOVA 3D LAMINATE	542475	3D LAMINATE	MATTE LUXE UMBER		USE WITH DOUBLE REFINED OR ULTRAREFINED MDF BOARD, ALTERNATE TO WILSONART SLATE GREY #091.
PLAM-4	PLASTIC LAMINATE - TYPE 4	WILSONART	D91-80	HPL LAMINATE, MATTE FINISH	SLATE GREY		
PT-1	PAIN T COLOR - TYPE 1	SHERWIN WILLIAMS	SW 7008	FLAT, LOW VOC	ALABASTER		TYPICAL CEILING COLOR, SAME FINISH AS SB TERRACE
PT-7	PAIN T COLOR - TYPE 7	SHERWIN WILLIAMS	SW 6169	SATIN / EGGSHELL, LOW VOC	SEDATE GRAY		TYPICAL WALL COLOR
PT-9	PAIN T COLOR - TYPE 9	SHERWIN WILLIAMS	SW 6131	SATIN / EGGSHELL, LOW VOC	CHAMOIS		ACCENT COLOR ON FIREPLACE SURROUND
OZ-1	QUARTZ - TYPE 1	CAMBRIA		MATTE	IRONSHRODGE		SAME FINISH AS OZ-1 FOR SB TERRACE
RB-1	RUBBER BASE - TYPE 1	TARKETT / JOHNSONITE	TA4	STANDARD 6" STRAIGHT BASE	GATEWAY WG	6"	SAME BASE AS RB-1 FOR SB TERRACE
RB-2	RUBBER BASE - TYPE 2	TARKETT / JOHNSONITE	TA4	STANDARD 4" COVE BASE	GATEWAY WG	4"	
SC-1	SEALED CONCRETE - TYPE 1				CLEAR COAT SEALER		USE WITH WATER BASED CONCRETE DENSIFIER & HARDENER

KEYED NOTES 

- |    |  |
|----|--|
| 1  | PARTIAL HEIGHT DIE WALL WITH 5/8" GWB ON BOTH SIDES OF 2'X4 WOOD STUD  |
| 2  | FLOOR OUTLET RECESSED INTO FLOOR SO FACE OF COVER PLATE IS FLUSH WITH SURFACE OF SEALED CONCRETE FLOORING  |
| 3  | CFCI UNDERMOUNT STAINLESS STEEL HAND SINK, 14" X 14"; NO FAUCET TO BE SELECTED BY OWNER  |
| 4  | CFCI WALL MOUNTED HAND SINK  |
| 5  | CFCI STAINLESS STEEL PREP SINK   |
| 6  | CFCI UNDER COUNTER DISHWASHER  |
| 7  | OFQI WIRE STORAGE SHELVING   |
| 8  | OFQI WALL IN COOLER, 6' X 10'; BASIS OF DESIGN: NOR-LAKE FAST-TRAK INDOOR COOLER & FREEZER COMBO WALK-IN, 6' 13" X 7'-7" H, SMOOTH ALUMINUM INTERIOR FLOOR.  |
| 9  | OFQI WORKTOP COOLER  |
| 10 | CFCI EXHAUST HOOD  |
| 11 | 21 A106: SEAL BETWEEN LAMINATE PANEL AND WALL AT INSIDE CORNER   |
| 12 | 21 0605: EXTEND PLASTIC LAMINATE PANEL TO COVER EDGE OF WALL   |
| 13 | OFQI STAINLESS STEEL WORK TABLE, 24" X 48"   |
| 14 | SLOPE FLOOR TO FLOOR DRAIN   |
| 15 | HUB DRAIN  |
| 16 | DUPLEX CONVENIENCE OUTLET AT TOP OF EACH BASE CABINET AND BOTTOM OF EACH UPPER CABINET AT RETAIL WALL; RECEPTACLE AND COVER PLATE IN BLACK   |
| 17 | (2) DUPLEX CONVENIENCE OUTLETS AT TOP OF FAUX REFRIGERATOR; (1) DUPLEX OUTLET AT PLATFORM BASE INSIDE OF FIREPLACE; RECEPTACLE AND COVER PLATE IN BLACK  |
| 18 | PROVIDE POWER AND DATA TO OFQI POS SYSTEM  |
| 19 | 2'X12 WOOD-FRAMED MEZZANINE: PROVIDE A WOOD-FRAMED MEZZANINE WITH A DESIGN LOAD OF 125 PSF LIVE LOAD TO ACCOMMODATE STORAGE; PROVIDE A 4" STEEL TUBE COLUMN SUPPORT AT CORNER ON A 36"x36" CONCRETE FOOTING SET BELOW THE SLAB |
| 20 | PREMANUFACTURED SPIRAL STAIRCASE, 90" HEIGHT   |
| 21 | 2'X8 FRAMING AT 16" O.C. ABOVE RETAIL SHELVING TO SUPPORT STORAGE ABOVE  |

1. FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
2. DIMENSIONS ON FLOOR PLAN ARE BASED ON STUD TO STUD.
3. ALL P-TYPES ARE P10 UNLESS OTHERWISE NOTED.
4. REFER TO DOOR SCHEDULE ON A002 FOR DOORS SPECIFIED FOR RETAIL SPACE.

[illegible]WWP  
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## RETAIL FLOOR PLAN & RETAIL FINISH PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A106



### CEILING GENERAL NOTES:

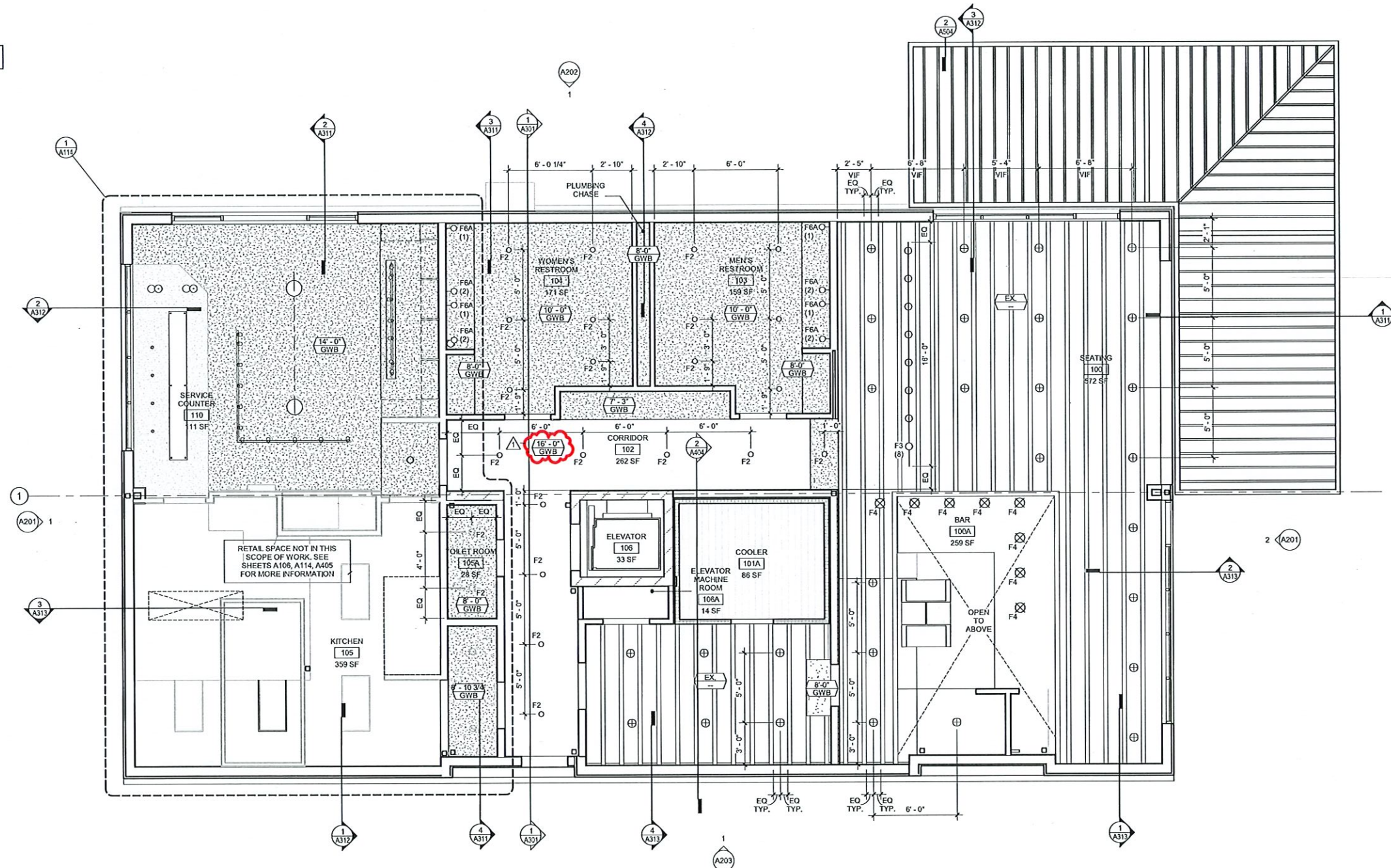
1. REFER TO FINISH SCHEDULE FOR KEY CODES, SELECTION AND COLOR.
2. ALL CEILINGS OR SOFFITS NOTED AS GWB OR PLASTER TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE.
3. REFER TO MEP DRAWINGS, SPECIFICATIONS, AND SCHEDULES FOR TYPE AND QUANTITY OF FIXTURES AND EQUIPMENTS SHOWN ON THIS PLAN.
4. RCP'S INDICATE LAYOUT ONLY. REFER TO ELECTRICAL DRAWINGS FOR SMOKE DETECTOR AND OTHER FIRE SAFETY INFORMATION NOTE SHOWN ON THIS PLAN.
5. VERIFY SIZE, LOCATION, AND QUANTITY OF ACCESS PANELS WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
6. ALL METAL LINEAR DIFFUSERS AND SHOP PRIME ACCESS PANELS SHALL BE PAINTED TO MATCH SURROUNDING WALL OR CEILING SURFACE.
7. EGRESS LIGHTING TO MATCH FIXTURES SELECTED BY ARCHITECT - FINAL LOCATION AND QUANTITY TO BE DETERMINED BY ELECTRICAL CONTRACTOR. VERIFY ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
8. PAINT EXPOSED JOISTS AND FLOOR DECK PT-1 UNLESS NOTED OTHERWISE.
9. ALL LIGHT FIXTURES TO BE F1 UNLESS NOTED OTHERWISE.
10. CONTRACTOR TO SUBMIT PRODUCT INFORMATION FOR ALL LIGHTING TO ARCHITECT FOR APPROVAL.
11. LIGHT FIXTURE HEIGHTS NOTED ARE TO BOTTOM OF LIGHT FIXTURE, UNLESS NOTED OTHERWISE.

### CEILING LEGEND:

	2' x 2' SUSPENDED CEILING GRID		WALL MOUNTED EXIT LIGHT
	GYPSUM BOARD CEILING (PAINTED)		CEILING MOUNTED EXIT LIGHT
	2x4 RECESSED LIGHT FIXTURE		SPRINKLER
	RECESSED LINEAR		SPEAKER
	LINEAR SONCE		JUNCTION BOX
	TRACK LIGHTING		SMOKE ALARM
	RECESSED DOWN LIGHT		HEAT DETECTOR
	SURFACE MOUNTED LIGHT		OCCUPANCY SENSOR
	SCONCE		SMOKE DETECTOR
	PENDANT		WIRELESS ACCESS POINT
	LED TAPE LIGHT		CONTROL JOINT
	SUPPLY AIR DIFFUSER		CEILING HEIGHT / MATERIAL
	RETURN AIR DIFFUSER / EXHAUST GRILL		EXPOSED STRUCTURE
	EXHAUST FAN		
	SUPPLY AIR DIFFUSER - SLOT		

LUMINAIRE SCHEDULE								
MARK	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	LAMP TYPE	COLOR TEMP.	COLOR	DIMMING	REMARKS
F1	SURFACE MOUNTED 6" CYLINDER	LITELINE - A LINE	CYL6-X-X-35-W-BK-HC-X	LED	3500	BLACK	YES	COORDINATE MOUNTING HT. WITH ARCHITECT
F2	4" RECESSED DOWNLIGHT	CONTRACTOR'S SELECTION	--	--	3500	WHITE	YES	4" MAX APERTURE, WHITE TRIM AND HOUSING
F3	TRACK LIGHTING	LITELINE - A LINE	FLX15-35-60-T-BK-N-ST-A-T	--	3500	BLACK	YES	COORDINATE MOUNTING HT. WITH ARCHITECT
F4	PENDANT - GRAIN	MUUTO	12247	LED	3000	BLUE-GRAY	YES	COORDINATE MOUNTING HT. IN FIELD
F6A	SCONCE 6" - WREN	CEDAR & MOSS	--	LED	--	PERSIMMON	YES	SEE ELEVATION FOR MOUNTING HT.
F6B	SCONCE 6" - WREN	CEDAR & MOSS	--	LED	--	WALNUT	YES	SEE ELEVATION FOR MOUNTING HT.
F12	RECESSED LINEAR	AXIS LIGHTING	BRLED-X-90-35-X-X-688-X-W-X-DP-X-D	LED	3500	WHITE	YES	--
F13	SCONCE LINEAR	AXIS LIGHTING	TB2WDLED-X-X-90-35-SO-1-M-5-BLK-X-DP-X	LED	3500	BLACK	YES	7'-6" A.F.F.
F14	PERIMETER LIGHT - MICRO GRAZER	PURE EDGE LIGHTING	LCMG-5-TW-60-L-35K-SA	LED	3000	SATIN ALUMINUM	YES	--
F15	EXTERIOR 6" CYLINDER	FC LIGHTING	FCL600-10-WM-UWV-930-XX-BKE-XXX-XX-LD	LED	3000	BLACK	YES	MOUNT BOX TO SIDE OF CANOPY PURLINS

### KEYED NOTES (2)



No.	Description	Date
1	ADDENDUM 1	6/10/22

WWP  
DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

FIRST FLOOR  
REFLECTED CEILING  
PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A111



# CEILING GENERAL NOTES:

1. REFER TO FINISH SCHEDULE FOR KEY CODES, SELECTION AND COLOR.
2. ALL CEILINGS OR SOFFITS NOTED AS GWB OR PLASTER TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE.
3. REFER TO MEP DRAWINGS, SPECIFICATIONS, AND SCHEDULES FOR TYPE AND QUANTITY OF FIXTURES AND EQUIPMENTS SHOWN ON THIS PLAN.
4. RCP'S INDICATE LAYOUT ONLY. REFER TO ELECTRICAL DRAWINGS FOR SMOKE DETECTOR AND OTHER FIRE SAFETY INFORMATION NOTE SHOWN ON THIS PLAN.
5. VERIFY SIZE, LOCATION, AND QUANTITY OF ACCESS PANELS WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
6. ALL METAL LINEAR DIFFUSERS AND SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH SURROUNDING WALL OR CEILING SURFACE.
7. EGRESS LIGHTING TO MATCH FIXTURES SELECTED BY ARCHITECT - FINAL LOCATION AND QUANTITY TO BE DETERMINED BY ELECTRICAL CONTRACTOR. VERIFY ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
8. PAINT EXPOSED JOISTS AND FLOOR DECK PT-1 UNLESS NOTED OTHERWISE.
9. ALL LIGHT FIXTURES TO BE F1 UNLESS NOTED OTHERWISE.
10. CONTRACTOR TO SUBMIT PRODUCT INFORMATION FOR ALL LIGHTING TO ARCHITECT FOR APPROVAL.
11. LIGHT FIXTURE HEIGHTS NOTED ARE TO BOTTOM OF LIGHT FIXTURE, UNLESS NOTED OTHERWISE.

# CEILING LEGEND:

	2' x 2' SUSPENDED CEILING GRID		WALL MOUNTED EXIT LIGHT
	GYPSUM BOARD CEILING (PAINTED)		CEILING MOUNTED EXIT LIGHT
	2x4 RECESSED LIGHT FIXTURE		SPRINKLER
	RECESSED LINEAR		SPEAKER
	LINEAR SONCE		JUNCTION BOX
	TRACK LIGHTING		SMOKE ALARM
	RECESSED DOWN LIGHT		HEAT DETECTOR
	SURFACE MOUNTED LIGHT		OCCUPANCY SENSOR
	SCONCE		SMOKE DETECTOR
	PENDANT		WIRELESS ACCESS POINT
	LED TAPE LIGHT		CONTROL JOINT
	SUPPLY AIR DIFFUSER		CEILING HEIGHT / MATERIAL
	RETURN AIR DIFFUSER / EXHAUST GRILL		EXPOSED STRUCTURE
	EXHAUST FAN		
	SUPPLY AIR DIFFUSER - SLOT		

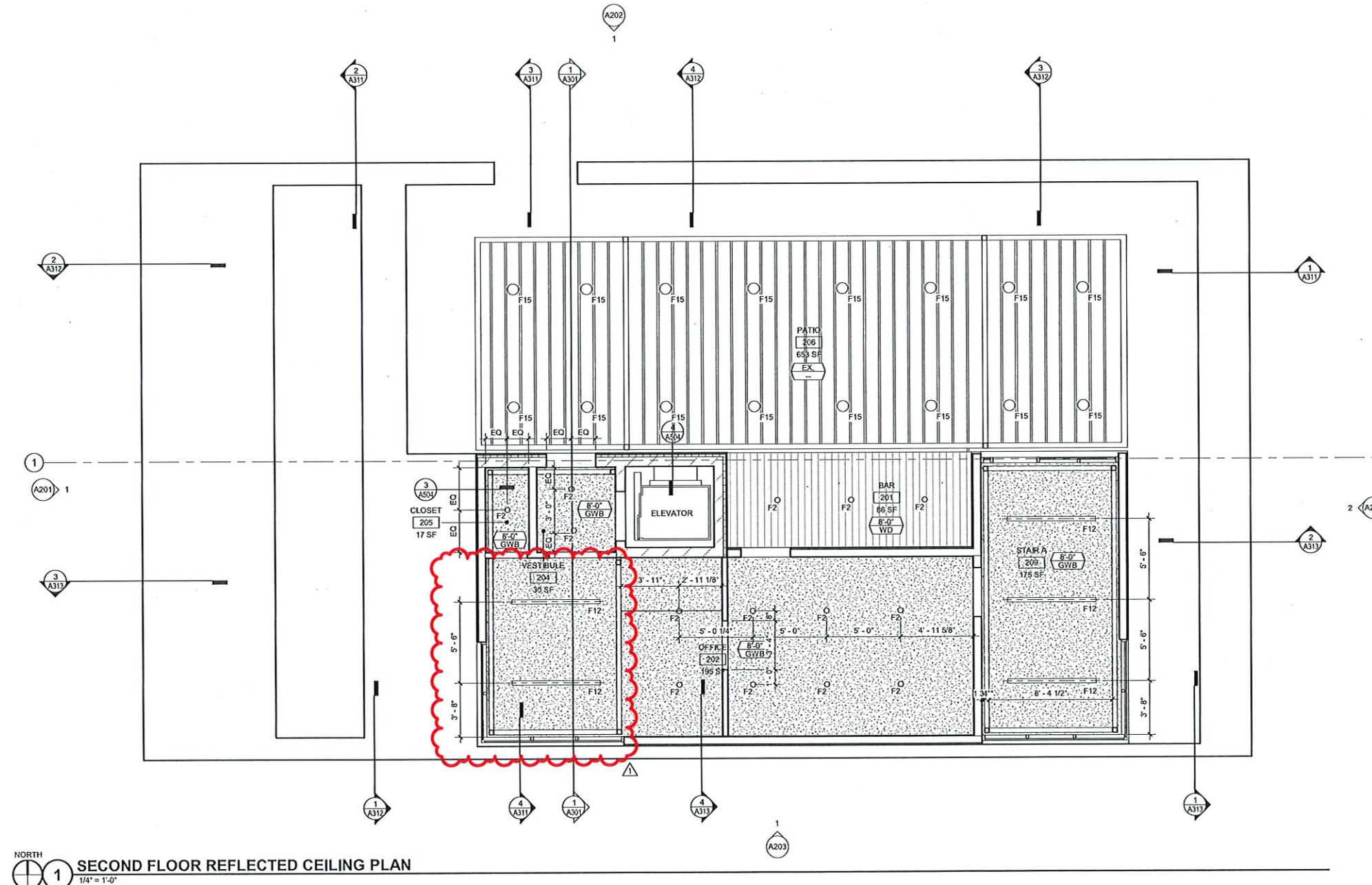
LUMINAIRE SCHEDULE							
MARK	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	LAMP TYPE	COLOR TEMP.	COLOR	DIMMING
F1	SURFACE MOUNTED 6" CYLINDER	LITELINE - A LINE	CYL6-X-X-35-W-BK-HC-X	LED	3500	BLACK	YES
F2	4" RECESSED DOWNLIGHT	CONTRACTOR'S SELECTION			3500	WHITE	YES
F3	TRACK LIGHTING	LINELINE - A LINE	FLX15-35-60-T-BK-N-ST-A-T		3500	BLACK	YES
F4	PENDANT - GRAIN	MUUTO	12247	LED	3000	BLUE-GREY	YES
F6A	SCONCE 6" - WREN	CEDAR & MOSS		LED		PERSIMMON	YES
F6B	SCONCE 6" - WREN	CEDAR & MOSS		LED		WALNUT	YES
F12	RECESSED LINEAR	AXIS LIGHTING	BRLED-X-90-35-X-X-688-X-W-X-OP-X-4D	LED	3500	WHITE	YES
F13	SCONCE LINEAR	AXIS LIGHTING	TB2W/LED-X-X-90-35-SO-1-M-5-BLK-X-OP-X	LED	3500	BLACK	YES
F14	PERIMETER LIGHT - MICRO GRAZER	PURE EDGE LIGHTING	LCM/G-6-WY-60-L-35K-SA	LED	3000	SATIN ALUMINUM	YES
F15	EXTERIOR 6" CYLINDER	FC LIGHTING	FCL600-10-WM-UNV-930-XX-BKE-XX-XX-L-D	LED	3000	BLACK	YES



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## KEYED NOTES (5)



No.	Description	Date
1	ADDENDUM 1	6/10/22

WWP  
DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

SECOND FLOOR  
REFLECTED CEILING  
PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A112



RETAIL LUMINAIRE SCHEDULE								
MARK	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	LAMP TYPE	COLOR TEMP.	COLOR	DIMMING	REMARKS
F2	4" RECESSED DOWNLIGHT	CONTRACTOR'S SELECTION	--	LED	3500K	WHITE	YES	4" MAX APERTURE, WHITE TRIM AND HOUSING
F3	TRACK LIGHTING	LITELINE - A LINE	FLX15-3560T-WH	LED	3500K	WHITE	YES	PROVIDE QUANTITY OF TRACK HEADS AS SHOWN ON PLAN, COORDINATE AIMING OF TRACK HEADS WITH OWNER
F16	OFCI DECORATIVE PENDANT	ANTHROPOLOGIE	GATSBY PENDANT	LED TYPE A LAMP	3500K	--	YES	USE WITH DIMMER SWITCH; COORDINATE FINAL SELECTION WITH OWNER
F17	OFCI DECORATIVE SURFACE MOUNTED FIXTURE	ANTHROPOLOGIE	GATSBY FLUSH MOUNT	LED TYPE A LAMP	3500K	--	YES	USE WITH DIMMER SWITCH; COORDINATE FINAL SELECTION WITH OWNER
F18	2x4 LED LAY-IN	AXIS LIGHTING	AURA LED: AULED-24-5000-90-35-SO-W-JUNV-DP-1-TB15	LED	3500K	WHITE	YES	BASIS OF DESIGN; ALTERNATES TO BE REVIEWED BY ARCHITECT
F19	GENERIC SURFACE MOUNTED FIXTURE	CONTRACTOR'S SELECTION	--	LED	3500K	WHITE	--	COORDINATE SELECTION WITH OWNER, SURFACE MOUNTED LOW PROFILE FIXTURE
F20	2x2 LED LAY-IN	AXIS LIGHTING	AURA LED: AULED-22-4500-90-35-SO-W-JUNV-DP-1-DF	LED	3500K	WHITE	YES	BASIS OF DESIGN; ALTERNATES TO BE REVIEWED BY ARCHITECT

KEYED NOTES	
1	SOFFIT TO ALIGN WITH FACE OF MILLWORK PANEL - ACCOUNT FOR PANEL THICKNESS TO ENSURE ALIGNMENT
2	PAINT GWB CEILING, PT-1
3	MENU BOARDS ON CEILING MOUNTED SHELF; SEE ELEVATIONS FOR DETAILS
4	PREMANUFACTURED SPIRAL STAIRCASE; 90" HEIGHT

CEILING GENERAL NOTES:

1. REFER TO FINISH SCHEDULE FOR KEY CODES, SELECTION AND COLOR.

CEILING LEGEND:

- 2' x 2' SUSPENDED CEILING GRID
- GYPSUM BOARD CEILING (PAINTED)
- 2x4 RECESSED LIGHT FIXTURE
- RECESSED LINEAR
- LINEAR SCENCE
- TRACK LIGHTING
- RECESSED DOWN LIGHT
- SURFACE MOUNTED LIGHT
- SCENCE
- PENDANT
- LED TAPE LIGHT
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER / EXHAUST GRILL
- EXHAUST FAN
- SUPPLY AIR DIFFUSER - SLOT
- WALL MOUNTED EXIT LIGHT
- CEILING MOUNTED EXIT LIGHT
- SPRINKLER
- SPEAKER
- JUNCTION BOX
- SMOKE ALARM
- HEAT DETECTOR
- OCCUPANCY SENSOR
- SMOKE DETECTOR
- WIRELESS ACCESS POINT
- CONTROL JOINT
- CEILING HEIGHT / MATERIAL
- EXPOSED STRUCTURE

No.	Description	Date
1	ADDENDUM 1	6/10/22

WWP  
DEVELOPMENT LLC

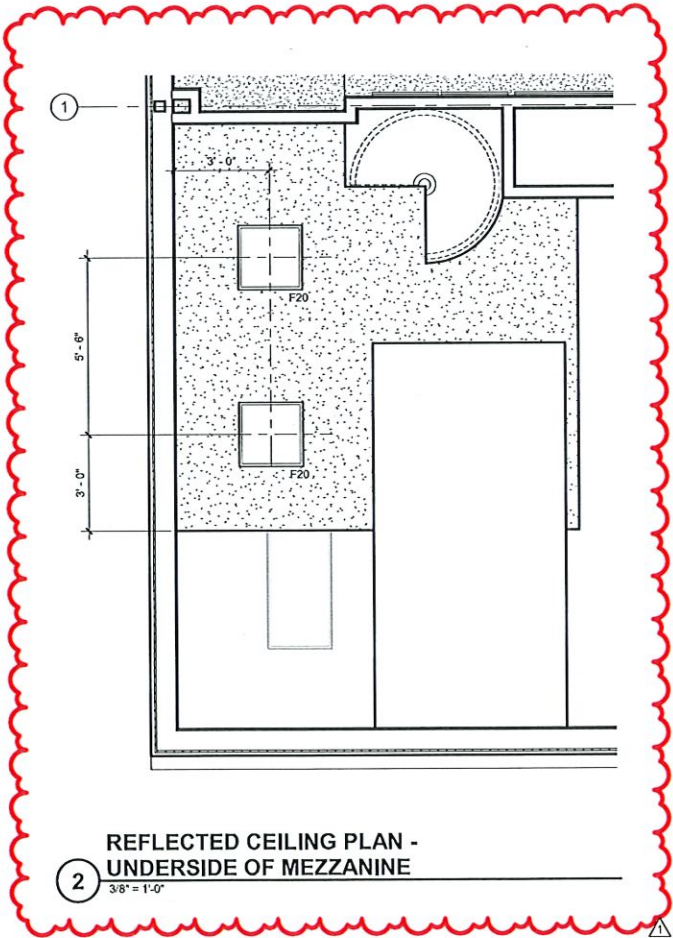
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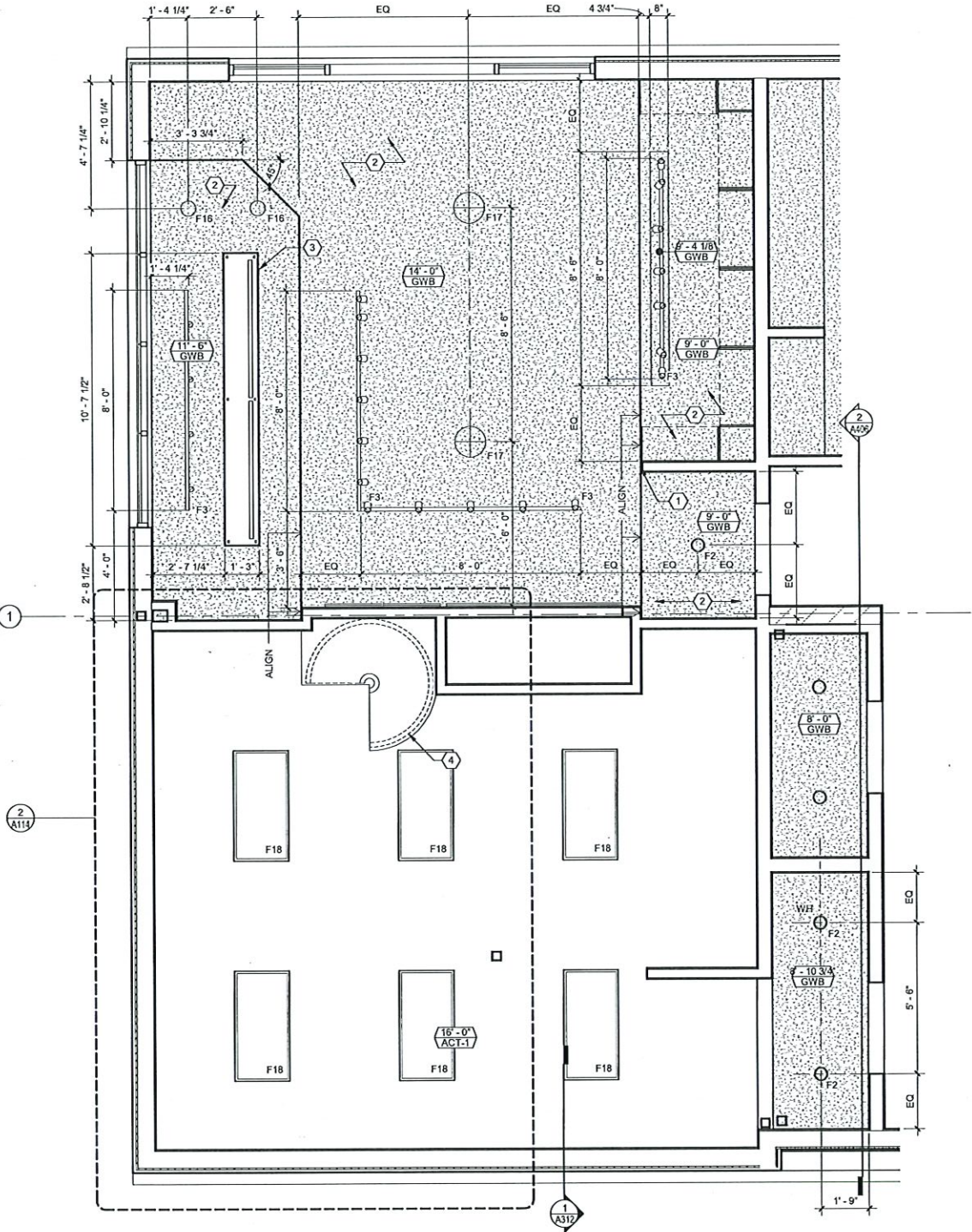
RETAIL REFLECTED  
CEILING PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A114



REFLECTED CEILING PLAN -  
UNDERSIDE OF MEZZANINE



REFLECTED CEILING PLAN - RETAIL



MATERIAL FINISH SCHEDULE							
FINISH NUMBER	FINISH DESCRIPTION	MANUFACTURER	PRODUCT DESCRIPTION			SIZE	REMARKS
			MODEL NUMBER	STYLE	COLOR		
CPT-1	CARPET - TYPE 1	PATCRAFT	10533-00570	WALK FORWARD - ACCESS	MEANDER 00570	24X24	INSTALL QUARTER TURN
CT-1	CERAMIC TILE - TYPE 1	DALTILE	OH66	NATURAL HUES - GLOSSY	REAL TEAL	3X6	
CT-2	CERAMIC TILE - TYPE 2	DALTILE	OH66	COLORMATCH - MATTE	REAL TEAL	3X12	
CT-3	CERAMIC TILE - TYPE 3	DALTILE	OH63	NATURAL HUES - MATTE	PEARL WHITE	6X12	
CT-4	CERAMIC TILE - TYPE 4	--	--	VULCANIKA - RAKU	WHITE	4X24	CERAMIC TILEWORKS OR STONESOURCE; LONG LEAD TIME
CT-5	CERAMIC TILE - TYPE 5	--	--	VULCANIKA - LAVKA	WHITE	12X24	CERAMIC TILEWORKS OR STONESOURCE
CT-6	CERAMIC TILE - TYPE 6	--	--	VULCANIKA - LAVKA	WHITE	24X48	CERAMIC TILEWORKS OR STONESOURCE; LONG LEAD TIME
FRP-1	FIBERGLASS RE. PANEL - TYPE 1	MARLITE	P470N	STANDARD FRP - PEBBLE	DARK GRAY	UNDER BAR	
GR-1	GROUT COLOR - TYPE 1	BOSTIK	H142	TRUCOLOR RAPIDCURE	FRENCH GRAY	1/8" GROUT	
GR-2	GROUT COLOR - TYPE 2	BOSTIK	H144	TRUCOLOR RAPIDCURE	DELOREAN GRAY	1/8" GROUT	
LFT-1	LARGE FORMAT TILE - TYPE 1	SAPIENSTONE	--	--	BASALT BLACK	320x150cm	TIGHT EPOXY SEAMS
MT-1	MOSAIC TILE - TYPE 1	DALTILE	--	KEYSTONES	CUSTOM	1X1	ENTRY - FIRST FLOOR - HILLARY BUSS M: 317-910-2527; CONTAINS PATTERN DP2036 - 50% WHITE, 44% BROWN/BERRY, 6% RED
MT-2	MOSAIC TILE - TYPE 2	DALTILE	--	KEYSTONES	CUSTOM	1X1	RR - SECOND FLOOR - HILLARY BUSS M: 317-910-2527; CONTAINS PATTERN SP8133 - 67% OAK MOSS, 22% AEGEAN, 11% WHITE
MT-3	MOSAIC TILE - TYPE 3	DALTILE	SP8133	KEYSTONES	67% BROWN, 22% RED, 11% WHITE	1X1	TOILETS - FIRST FLOOR WALL
MT-4	MOSAIC TILE - TYPE 4	DALTILE	D118	KEYSTONES	BROWN/BERRY	1X1	TOILETS - FIRST FLOOR WALL & FLOOR
MT-5	MOSAIC TILE - TYPE 5	DALTILE	D195	KEYSTONES	OAK MOSS	1X1	TOILETS - SECOND FLOOR WALL
MT-6	MOSAIC TILE - TYPE 6	DALTILE	--	KEYSTONES	CUSTOM	1X1	ENTRY MAT - CUSTOM LASERJET - HILLARY BUSS M: 317-910-2527
PLAM-1	PLASTIC LAMINATE - TYPE 1	ARBORITE	W2002 AW	FINE GRAIN	CLASSIC ARTISAN WALNUT	--	
PLAM-2	PLASTIC LAMINATE - TYPE 2	FORMICA	837 - 58	MATTE	GRAPHITE	--	
PT-1	PAINT COLOR - TYPE 1	SHERWIN WILLIAMS	SW 7008	EGSHELL	ALABASTER	--	
PT-2	PAINT COLOR - TYPE 2	SHERWIN WILLIAMS	SW 9060	EGSHELL	CONNOR'S LAKEFRONT	--	
PT-3	PAINT COLOR - TYPE 3	SHERWIN WILLIAMS	SW 6622	--	HEARTY ORANGE	--	
PT-4	PAINT COLOR - TYPE 4	SHERWIN WILLIAMS	SW 0017	EGSHELL	CALICO	--	
PT-5	PAINT COLOR - TYPE 5	SHERWIN WILLIAMS	SW7020	EGSHELL	BLACK FOX	--	
PT-6	PAINT COLOR - TYPE 6	SHERWIN WILLIAMS	SW 9142	EGSHELL	MOSCOW MIDNIGHT	--	
QZ-1	QUARTZ - TYPE 1	CAMBRIA	--	MATTE	IRONSBRIDGE	--	
RB-1	RUBBER WALL BASE - TYPE 1	TARKETT - JOHNSONITE	7A4	STANDARD 6" STRAIGHT BASE	GATEWAY WG	6"	
RB-2	RUBBER WALL BASE - TYPE 2	TARKETT - JOHNSONITE	--	STANDARD 2.5" STRAIGHT BASE	GATEWAY WG	2.5"	
RF-1	RESILIENT FLOOR - TYPE 1	FORBO	3723	CONCRETE SHEET	NEBULA	105x79"	SEAMS CONVENTIONALLY FIT TOGETHER - NOT WELDED; INSTALL PER MFR GUIDELINES
SC-1	SEALED CONCRETE - TYPE 1	L&M CHEMICALS	-	LION HARD	CLEAR FINISH, MATTE SHEEN	-	HARD STEEL TROWEL FINISH CONCRETE (3 PASS) ACI-302.1R CLASS 5 FLOOR; FILL ALL SAW CUT CONTROL JOINTS WITH EPOXY
SS-1	SOLID SURFACE - TYPE 1	CORIAN	--	HONED	CAMEO WHITE	--	
SS-2	SOLID SURFACE - TYPE 2	WILSONART	9207CS	HONED	FLINT ROCK	--	
UPH-1	UPHOLSTERY - TYPE 1	LUM	4094-10	PHOTOGRAM	DARKROOM	--	
VCT-1	VINYL COMPOSITION TILE - TYPE 1	ARMSTRONG	57539	STANDARD EXCELRON	SHORELINE	--	
WC-1	WALLCOVERING - TYPE 1	CARNEGIE	6107-W	LIMESTONE	5	--	
WD-1	WOOD - TYPE 1	--	--	WHITE OAK	--	--	END GRAIN WOOD BLOCK; BASIS OF DESIGN - OREGON LUMBER CO., WORTHWOOD
WDT-1	WOOD TILE - TYPE 1	BISON WOOD TILE	--	BISON WOOD TILE	--	--	

FINISH PLAN GENERAL NOTES:

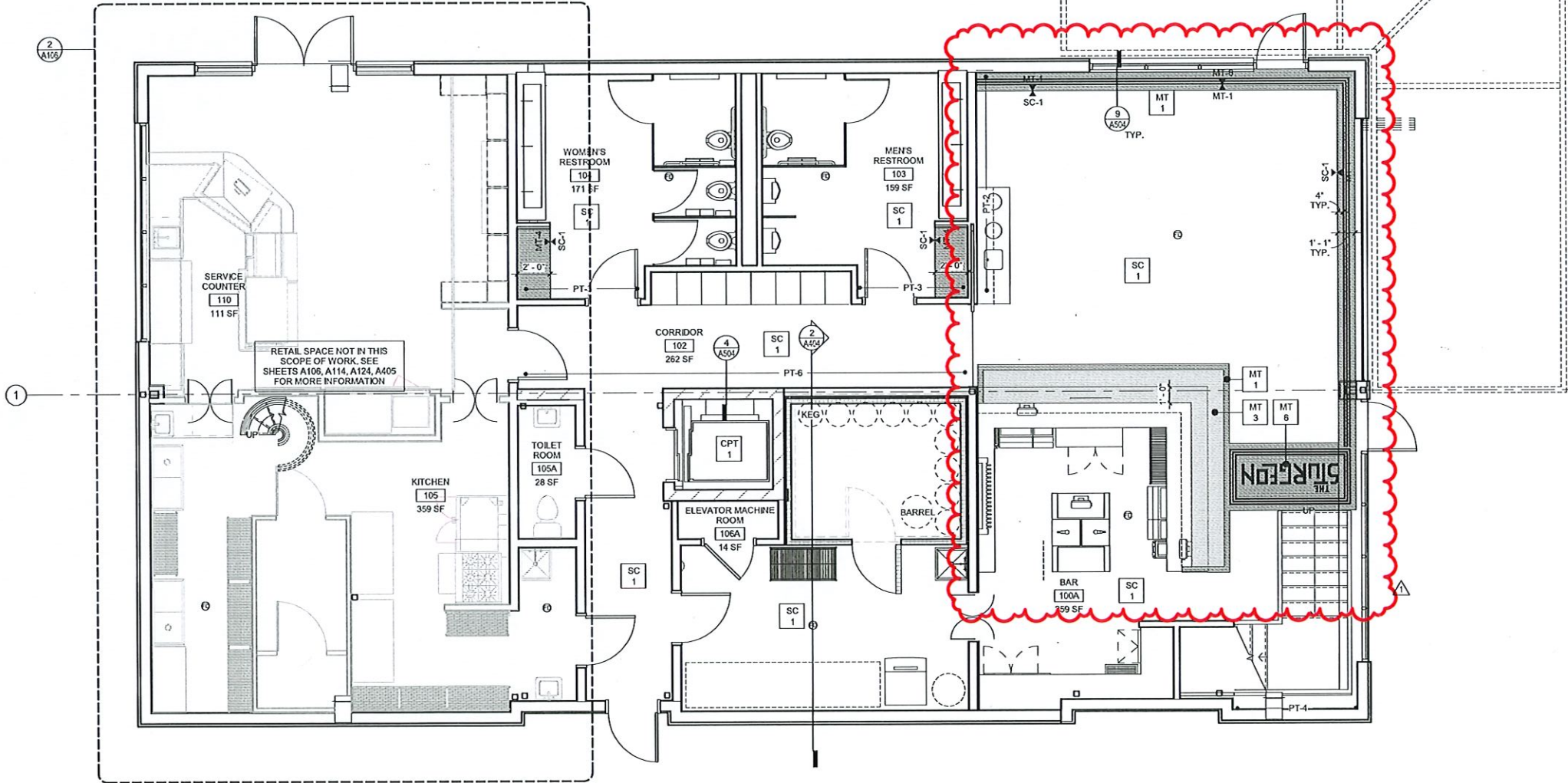
1. REFER TO MATERIAL FINISH SCHEDULE ON A002 FOR KEY CODES, SELECTION AND COLOR.
2. REFER TO ROOM FINISH SCHEDULE, THIS SHEET FOR ALL ROOM FINISHES NOT NOTED ON PLAN.
3. ALL FLOORING TRANSITIONS SHALL BE CENTERED UNDER DOOR IN CLOSED POSITION U.N.O. REFER TO SCHEDULE FOR TRANSITIONS.
4. ALL INTERIOR HM DOOR FRAME FINISHES TO BE PAINTED PT-5, U.N.O. IN DOOR SCHEDULE.
5. ALL METAL LINEAR DIFFUSERS SHALL BE PAINTED TO MATCH SURROUNDING WALL SURFACE, U.N.O.
6. ALL SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH ADJACENT SURFACE.
7. ALL CONCRETE FLOORS NOT TO RECEIVE ADDITIONAL FINISH SHALL BE SEALED, U.N.O.
8. ALL WINDOW SILLS SHALL BE SS-1.
9. ALL WALLS TO BE PAINTED PT-1, U.N.O.
10. ALL COLUMNS, BEAMS AND STRUCTURE TO BE PAINTED PT-1, U.N.O.
11. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH IBC SECTION 603. INTERIOR FLOORS FINISHES SHALL COMPLY WITH IBC SECTION 604.

FINISH PLAN SYMBOLS

- CPT 1 FLOORING FINISH  
CPT 1 SV FLOORING TRANSITION  
PT 1 WALL FINISH  
RB1 BASE FINISH

ABBREVIATIONS

- AFF = ABOVE FINISHED FLOOR  
CT = CERAMIC TILE  
CTB = CERAMIC TILE BASE  
CG = CORNER GUARD  
CONC = CONCRETE  
CPT = CARPET  
EM = ENTRY MAT  
GWB = GYPSUM WALL BOARD  
PLAM = PLASTIC LAMINATE  
PT = PAINT  
LAM = LAMINATED FLOORING  
QB = QUARRY BASE  
QT = QUARRY TILE  
RB = RUBBER WALL BASE  
RFT = RUBBER FLOOR TILE  
SC = SEALED CONCRETE  
SV = SHEET VINYL  
VCT = VINYL COMPOSITION TILE  
WDF = WOOD FLOORING  
WT = WINDOW TREATMENT



No.	Description	Date
1	ADDENDUM 1	6/10/22

WWP  
DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

FIRST FLOOR FINISH  
PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A121



MATERIAL FINISH SCHEDULE						
PRODUCT DESCRIPTION						
FINISH NUMBER	FINISH DESCRIPTION	MANUFACTURER	MODEL NUMBER	STYLE	COLOR	SIZE
CPT-1	CARPET - TYPE 1	PATCRAFT	16533-06570	WALK FORWARD - ACCESS	MEANDER 06570	24X24
CT-1	CERAMIC TILE - TYPE 1	DALTILE	QH65	NATURAL HUES - GLOSSY	REAL TEAL	3X6
CT-2	CERAMIC TILE - TYPE 2	DALTILE	QH65	COLORMATCH - MATTE	REAL TEAL	3X12
CT-3	CERAMIC TILE - TYPE 3	DALTILE	QH63	NATURAL HUES - MATTE	PEARL WHITE	6X12
CT-4	CERAMIC TILE - TYPE 4	--	--	--	--	--
CT-5	CERAMIC TILE - TYPE 5	--	--	VULCANICA - RAKA	WHITE	12X24
CT-6	CERAMIC TILE - TYPE 6	--	--	VULCANICA - LAVIKA	WHITE	24X48
FRP-1	FIBERGLASS RE. PANEL - TYPE 1	MARLITE	P470M	STANDARD FRP - PEBBLE	DARK GRAY	UNDER BAR
GR-1	GROUT COLOR - TYPE 1	BOSTIK	H142	TRUCOLOR RAPIDCURE	FRENCH GRAY	1/8" GROUT
GR-2	GROUT COLOR - TYPE 2	BOSTIK	H144	TRUCOLOR RAPIDCURE	DELOREAN GRAY	1/8" GROUT
LFT-1	LARGE FORMAT TILE - TYPE 1	SAPIENSTONE	--	--	BASALT BLACK	320x150cm
MT-1	MOSAIC TILE - TYPE 1	DALTILE	--	KEYSTONES	CUSTOM	1X1
MT-2	MOSAIC TILE - TYPE 2	DALTILE	--	KEYSTONES	CUSTOM	1X1
MT-3	MOSAIC TILE - TYPE 3	DALTILE	SP8133	KEYSTONES	67% BROWN, 22% RED, 11% WHITE	1X1
MT-4	MOSAIC TILE - TYPE 4	DALTILE	D118	KEYSTONES	BROWN BERRY	1X1
MT-5	MOSAIC TILE - TYPE 5	DALTILE	D195	KEYSTONES	OAK MOSS	1X1
MT-6	MOSAIC TILE - TYPE 6	DALTILE	--	KEYSTONES	CUSTOM	1X1
PLAM-1	PLASTIC LAMINATE - TYPE 1	ARBORITE	W2002 AW	FINE GRAIN	CLASSIC ARTISAN WALNUT	--
PLAM-2	PLASTIC LAMINATE - TYPE 2	FORMICA	837 - 58	MATTE	GRAPHITE	--
PT-1	PAINT COLOR - TYPE 1	SHERWIN WILLIAMS	SW 7009	EGSHELL	ALABASTER	--
PT-2	PAINT COLOR - TYPE 2	SHERWIN WILLIAMS	SW 9060	EGSHELL	CONHORS LAKEFRONT	--
PT-3	PAINT COLOR - TYPE 3	SHERWIN WILLIAMS	SW 6622	--	HEARTY ORANGE	--
PT-4	PAINT COLOR - TYPE 4	SHERWIN WILLIAMS	SW D017	EGSHELL	CALICO	--
PT-5	PAINT COLOR - TYPE 5	SHERWIN WILLIAMS	SW7020	EGSHELL	BLACK FOX	--
PT-6	PAINT COLOR - TYPE 6	SHERWIN WILLIAMS	SW 9142	EGSHELL	MOSCOW MIDNIGHT	--
QZ-1	QUARTZ - TYPE 1	CAMBRIA	--	MATTE	IRONSBIDGE	--
RB-1	RUBBER WALL BASE - TYPE 1	TARKETT - JOHNSONITE	7A4	STANDARD 6" STRAIGHT BASE	GATEWAY WG	6"
RB-2	RUBBER WALL BASE - TYPE 2	TARKETT - JOHNSONITE	--	STANDARD 2 5/8" STRAIGHT BASE	GATEWAY WG	2 5/8"
RF-1	RESILIENT FLOOR - TYPE 1	FORBO	3723	CONCRETE SHEET	NEBULA	105x79"
SC-1	SEALED CONCRETE - TYPE 1	L&M CHEMICALS	--	LION HARD	CLEAR FINISH, MATTE SHEEN	--
SS-1	SOLID SURFACE - TYPE 1	CORIAN	--	HONED	CAMEO WHITE	--
SS-2	SOLID SURFACE - TYPE 2	WILSONART	9207CS	HONED	FLINT ROCK	--
UPH-1	UPHOLSTERY - TYPE 1	LULAM	4094-10	PHOTOGRAM	DARKROOM	--
VCT-1	VINYL COMPOSITION TILE - TYPE 1	ARMSTRONG	37539	STANDARD EXCELON	SHORELINE	--
WC-1	WALLCOVERING - TYPE 1	CARNEGIE	6107-W	LIVESTONE	5	--
WD-1	WOOD - TYPE 1	--	--	WHITE OAK	--	--
WDT-1	WOOD TILE - TYPE 1	BISON WOOD TILE	--	BISON WOOD TILE	--	--

FINISH PLAN GENERAL NOTES:

1. REFER TO MATERIAL FINISH SCHEDULE ON A002 FOR KEY CODES, SELECTION AND COLOR.
2. REFER TO ROOM FINISH SCHEDULE. THIS SHEET FOR ALL ROOM FINISHES NOT NOTED ON PLAN.
3. ALL FLOORING TRANSITIONS SHALL BE CENTERED UNDER DOOR IN CLOSED POSITION U.N.O. REFER TO SCHEDULE FOR TRANSITIONS.
4. ALL INTERIOR HM DOOR FRAME FINISHES TO BE PAINTED PT-5, U.N.O. IN DOOR SCHEDULE.
5. ALL METAL LINEAR DIFFUSERS SHALL BE PAINTED TO MATCH SURROUNDING WALL SURFACE, U.N.O.
6. ALL SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH ADJACENT SURFACE.
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9. ALL WALLS TO BE PAINTED PT-1, U.N.O.
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11. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH IBC SECTION 603. INTERIOR FLOORS FINISHES SHALL COMPLY WITH IBC SECTION 604.

FINISH PLAN SYMBOLS

CPT  
1

FLOORING  
FINISH

CPT  
T

FLOORING  
TRANSITION

PT  
1

WALL FINISH

RB1

BASE FINISH

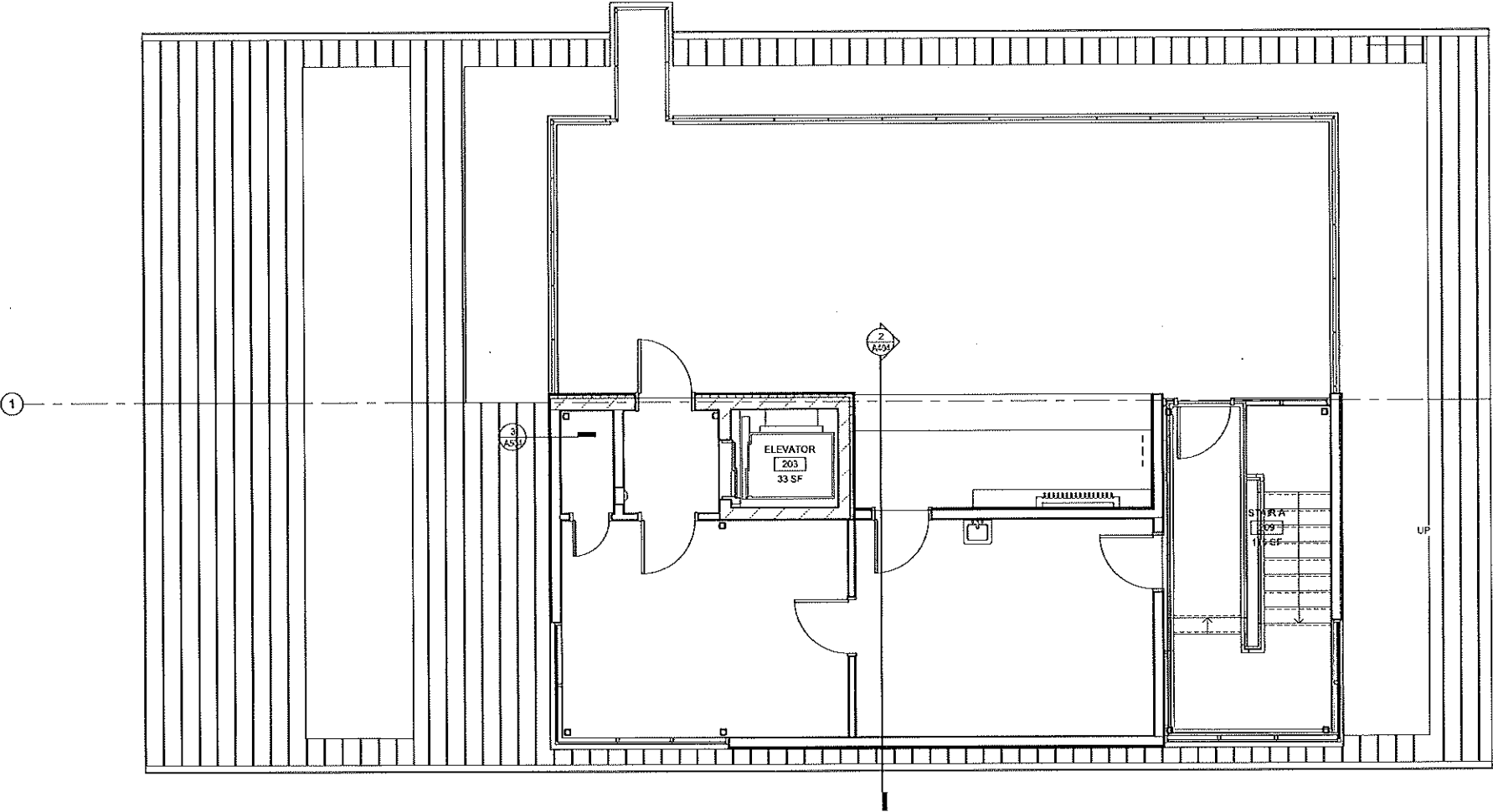
ABBREVIATIONS

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CTB = CERAMIC TILE BASE  
CG = CORNER GUARD  
CONC = CONCRETE  
CPT = CARPET  
EM = ENTRY MAT  
GWB = GYPSUM WALL BOARD  
PLAM = PLASTIC LAMINATE  
PT = PAINT  
LAM = LAMINATED FLOORING  
QB = QUARRY BASE  
QT = QUARRY TILE  
RB = RUBBER WALL BASE  
RFT = RUBBER FLOOR TILE  
SC = SEALED CONCRETE  
SV = SHEET VINYL  
VCT = VINYL COMPOSITION TILE  
WDF = WOOD FLOORING  
WT = WINDOW TREATMENT



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No.	Description	Date

WWP  
DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

SECOND FLOOR  
FINISH PLAN

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022



KEYED NOTES (#)	
1	FOLDING GLASS WALL
2	SHEET METAL SIDING
3	SSG GLAZED ALUMINUM STOREFRONT
4	EXTENDED BALCONY, CLAD WITH COMPOSITE ALUMINUM PANEL
5	COMPOSITE ALUMINUM PANEL, FINISH: BLACK
6	SHEET METAL GUTTER
7	STEEL PERGOLA TUBE FRAME, HSS4X10X1/4" WITH 2"X5" CLIPS AT WOOD PURLINS, ENAMEL FINISH, AND CLEAR CORRUGATED PLASTIC TOP
8	1X6 T&G VERTICAL CEDAR SIDING
9	CUSTOM STEEL GUARD HANDRAIL, ENAMEL FINISH PT-3, SEE DETAIL 10/A504
10	2" METAL EDGE TRIM, TYP
11	3" METAL SILL FLASHING, TYP
12	ILLUMINATED SIGNAGE, PROVIDE POWER

No.	Description	Date
1	ADDENDUM 1	6/10/22

WWP  
DEVELOPMENT LLC

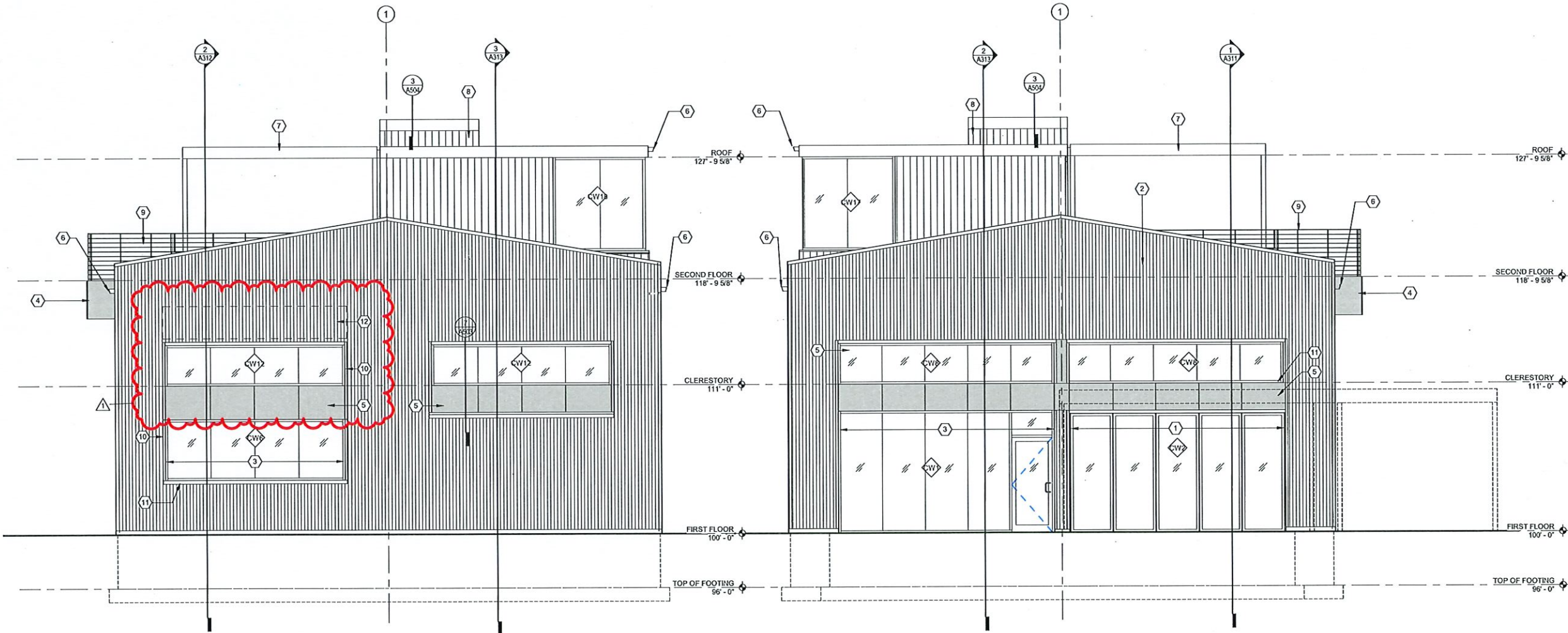
SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

EXTERIOR  
ELEVATIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A201

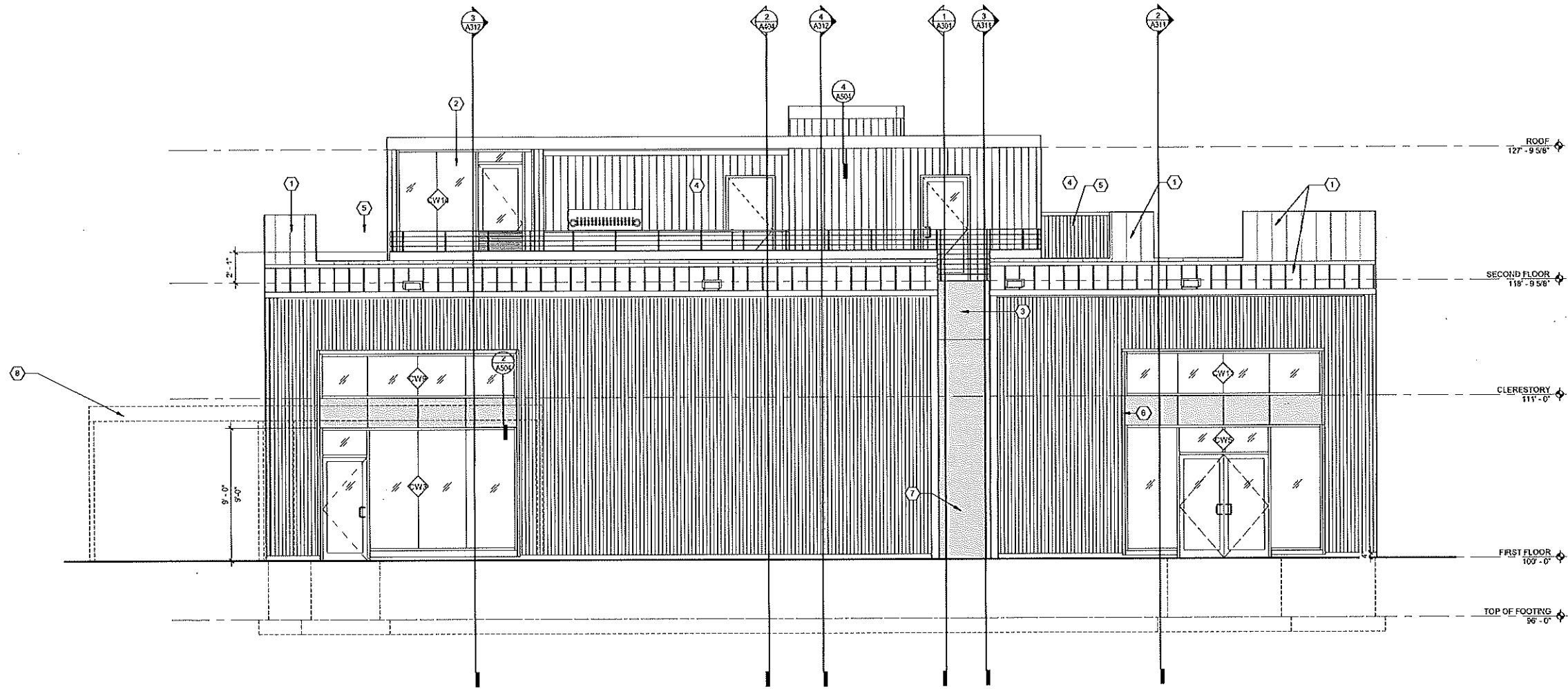


1 WEST ELEVATION  
1/4" = 1'-0"

2 EAST ELEVATION  
1/4" = 1'-0"



KEYED NOTES (P)	
1	STANDING SEAM METAL ROOFING
2	SSG GLAZED ALUMINUM STOREFRONT
3	EXTENDED BALCONY, CLAD WITH COMPOSITE ALUMINUM PANEL
4	1X6 T&G VERTICAL CEDAR SIDING
5	CUSTOM STEEL GUARDHANDRAIL, ENAMEL FINISH PT-3, SEE DETAIL 10/A504
6	2" METAL EDGE TRIM, TYP
7	3" METAL S&L FLASHING, TYP
8	COMPOSITE ALUMINUM PANEL, FINISH: BLACK



No.	Description	Date

WWP  
DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

EXTERIOR  
ELEVATIONS

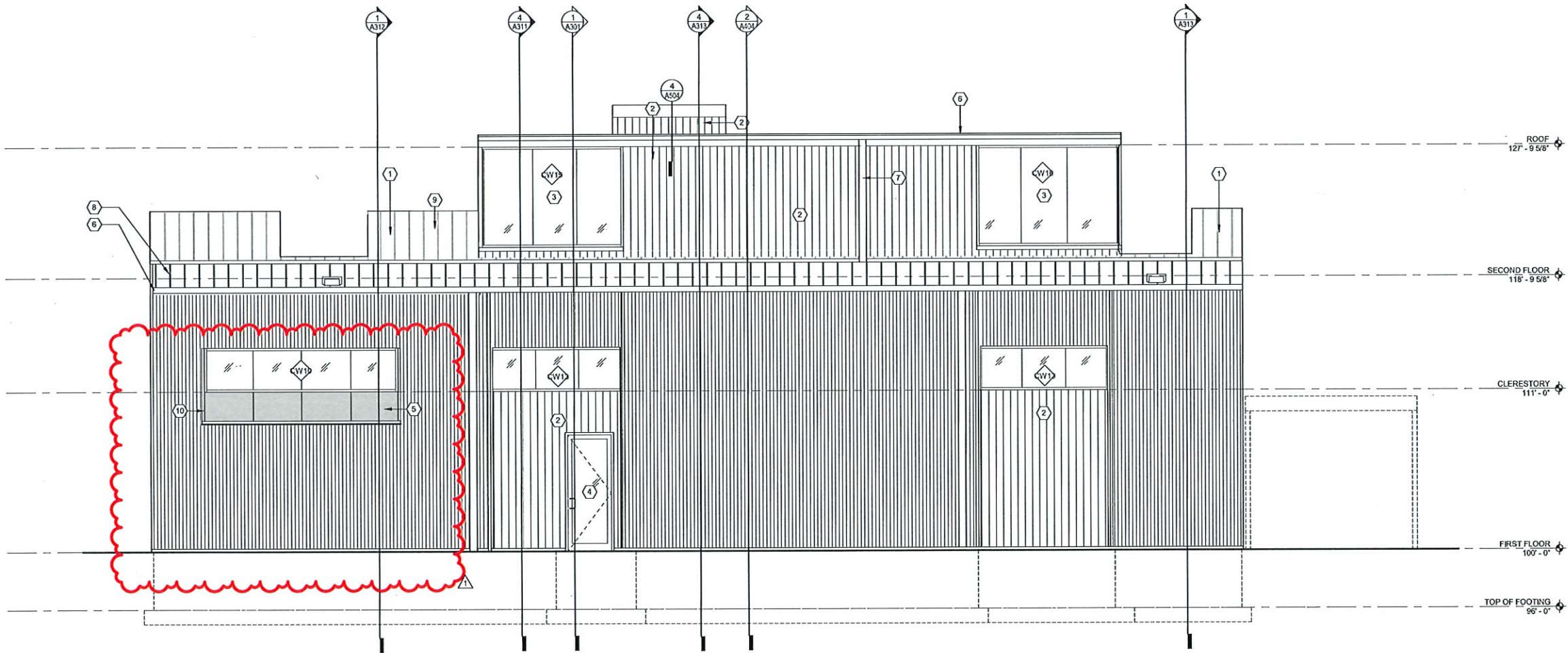
PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A202

1 NORTH ELEVATION  
1/4" = 1'-0"



KEYED NOTES (#)	
1	STANDING SEAM METAL ROOFING
2	1X6 T&G VERTICAL CEDAR SIDING
3	SSG GLAZED ALUMINUM STOREFRONT
4	HOLLOW METAL DOOR & FRAME
5	COMPOSITE ALUMINUM PANEL; FINISH: BLACK
6	SHEET METAL GUTTER
7	SHEET METAL DOWNSPOUT, DRAIN TO STANDING SEAM METAL ROOF BELOW
8	STANDING SEAM ROOFING
9	CUSTOM STEEL GUARD HANDRAIL; ENAMEL FINISH PT-3; SEE DETAIL 10/A504
10	2" METAL EDGE TRIM, TYP



No.	Description	Date
1	ADDENDUM 1	6/10/22

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SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

EXTERIOR  
ELEVATIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A203

1 SOUTH ELEVATION  
1/4" = 1'-0"



KEYED NOTES (#)	
1	ROOF ASSEMBLY 1: STANDING SEAM METAL ROOF WITH SHEET METAL FLASHING CAP OVER WEATHER BARRIER OVER PLYWOOD SHEATHING OVER WOOD TRUSS
2	ROOF ASSEMBLY 2: WOOD DECK TILES OVER PEDESTALS (OR ALTERNATE) OVER EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER PLYWOOD UNDERLAYMENT OVER WOOD TRUSS
3	STEEL PERGOLA TUBE FRAME; HSS4X10X1/4" WITH 2"X5" CLIPS AT WOOD PURLINS; ENAMEL FINISH; AND CLEAR CORRUGATED PLASTIC TOP
4	ROOF ASSEMBLY 3: EPDM OVER 2" RIGID INSULATION SLOPED 1/4" PER FOOT TO GUTTER OVER VAPOR BARRIER OVER 3/4" PLYWOOD OVER 2X8 FRAMING, FILLED WITH CAVITY INSULATION WITH SHEET METAL EDGE TRIM
5	CUSTOM STEEL GUARDRAIL; ENAMEL FINISH PT-3; SEE DETAIL 10/A504
6	CONCRETE SIDEWALK; SEE SITE PLAN
7	CONCRETE FOUNDATION & FOOTING TO FROST DEPTH, SEE STRUCTURAL
8	2" RIGID INSULATION
9	GROUND IMPROVEMENTS
10	SEE SHEET 11/A401 FOR FINISH INFORMATION

No.	Description	Date
1	ADDENDUM 1	6/10/22

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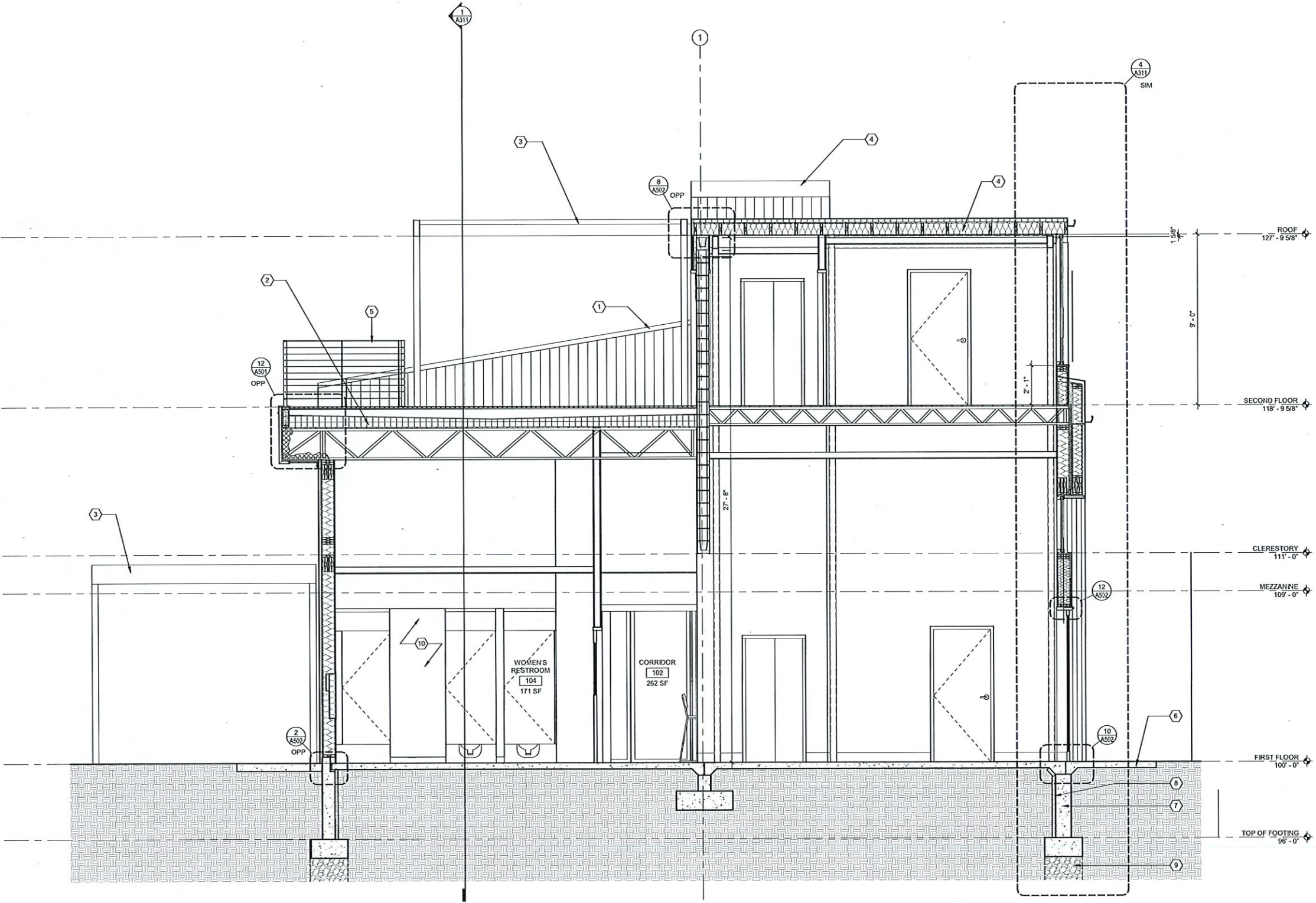
SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

BUILDING SECTIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

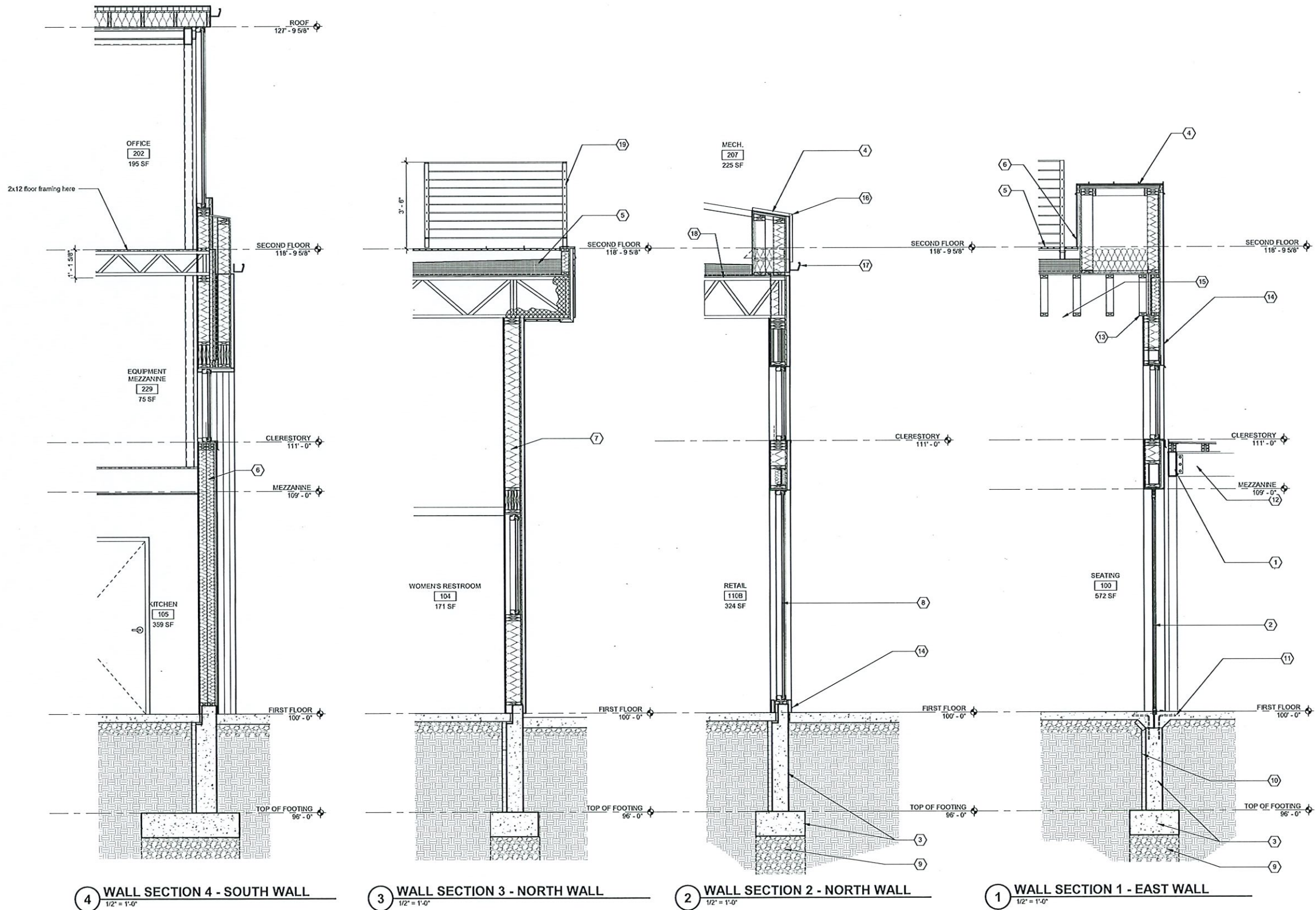
A301



1 NORTH-SOUTH BUILDING SECTION  
3/8" = 1'-0"



KEYED NOTES (#)	
1	STEEL PERGOLA TUBE FRAME; HSS4X10X1/4" WITH 2X5" CLIPS AT WOOD PURLINS; ENAMEL FINISH, AND CLEAR CORRUGATED PLASTIC TOP
2	NANAWALL SL70 WITH LOW-PROFILE SILL AND SWING DOOR; OUTWARD FOLDING
3	CONCRETE FOUNDATION & FOOTING TO FROST DEPTH, SEE STRUCTURAL
4	ROOF ASSEMBLY 1: STANDING SEAM METAL ROOF WITH SHEET METAL FLASHING CAP OVER WEATHER BARRIER OVER PLYWOOD SHEATHING OVER WOOD TRUSS
5	ROOF ASSEMBLY 2: WOOD DECK TILES OVER PEDESTALS (OR ALTERNATE) OVER EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER PLYWOOD UNDERLAYMENT OVER WOOD TRUSS
6	EXTERIOR WALL ASSEMBLY 2: 6" VERTICAL CEDAR SIDING OVER DIAGONAL TREATED FURRING OVER WEATHER BARRIER OVER 3/4" PLYWOOD SHEATHING OVER 2X8 WOOD STUDS WITH BATT INSULATION
7	EXTERIOR WALL ASSEMBLY 1: CORRUGATED METAL PANELS OVER WEATHER BARRIER OVER 3/4" PLYWOOD SHEATHING OVER 2X8 WOOD STUDS WITH BATT INSULATION
8	THERMALLY BROKEN TOP FRONT GLAZING FROM GLAZED, SSG DOUBLE GLAZING AT INTERIOR VERTICAL JOINTS; BLACK ANODIZED
9	GROUND IMPROVEMENTS
10	2" RIGID INSULATION
11	EXPANSION JOINT MATERIAL AND SEALANT CAP
12	2X8 WOOD (CEDAR) PURLINS AT 12" O.C.
13	WOOD FLOOR TRUSSES, SEE STRUCTURAL
14	SHEET METAL SILL FLASHING
15	CUSTOM STEEL GUARDRAIL; ENAMEL FINISH PT-3; SEE DETAIL 10A504
16	MITER EDGE OF STANDING SEAM ROOFING
17	SHEET METAL BOX GUTTER
18	EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER PLYWOOD UNDERLAYMENT OVER WOOD TRUSS
19	CUSTOM STEEL GUARDRAIL; ENAMEL FINISH



No.	Description	Date
1	ADDENDUM 1	8/10/22

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DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

WALL SECTIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A311



KEYED NOTES (#)	
1	ROOF ASSEMBLY 1: STANDING SEAM METAL ROOF WITH SHEET METAL FLASHING CAP OVER WEATHER BARRIER OVER PLYWOOD SHEATHING OVER WOOD TRUSS
2	ROOF ASSEMBLY 2: WOOD DECK TILES OVER PEDESTALS (OR ALTERNATE) OVER EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER PLYWOOD UNDERLAYMENT OVER WOOD TRUSS
3	CONCRETE FOUNDATION & FOOTING TO FROST DEPTH, SEE STRUCTURAL
4	PLASTER WALL
5	SHEET METAL BOX GUTTER
6	GROUND IMPROVEMENTS
7	CONCRETE SLAB ON GRADE, SEE STRUCTURAL
8	CONCRETE SIDEWALK, SEE SITE PLAN
9	GW/B CEILING, SEE RCP
10	STEEL PERGOLA TUBE FRAME; HSS4X10X1/4" WITH 2"X5" CLIPS AT WOOD PURLINS; ENAMEL FINISH, AND CLEAR CORRUGATED PLASTIC TOP
11	THERMALLY BROKEN STOREFRONT GLAZING; FRONT GLAZED; SSG (CAPLESS) AT INTERIOR VERTICAL JOINTS; BLACK ANODIZED
12	EXTERIOR WALL ASSEMBLY 1: CORRUGATED METAL PANELS OVER WEATHER BARRIER OVER 3/4" PLYWOOD SHEATHING OVER 2X8 WOOD STUDS WITH BATT INSULATION
13	ROOF ASSEMBLY 3: EPDM OVER 2" RIGID INSULATION SLOPED 1/4" PER FOOT TO GUTTER OVER VAPOR BARRIER OVER 3/4" PLYWOOD OVER 2X8 FRAMING, FILLED WITH CAVITY INSULATION WITH SHEET METAL EDGE TRIM
14	EPDM ROOF MEMBRANE OVER TAPERED INSULATION, SLOPE 1/4" PER FOOT
15	HEADER, SEE STRUCTURAL
16	STEEL PERGOLA TUBE FRAME; HSS4X10X1/4" WITH 2"X5" CLIPS AT WOOD PURLINS; ENAMEL FINISH, AND CLEAR CORRUGATED PLASTIC TOP

No.	Description	Date
1	ADDENDUM 1	6/10/22

WWP  
DEVELOPMENT LLC

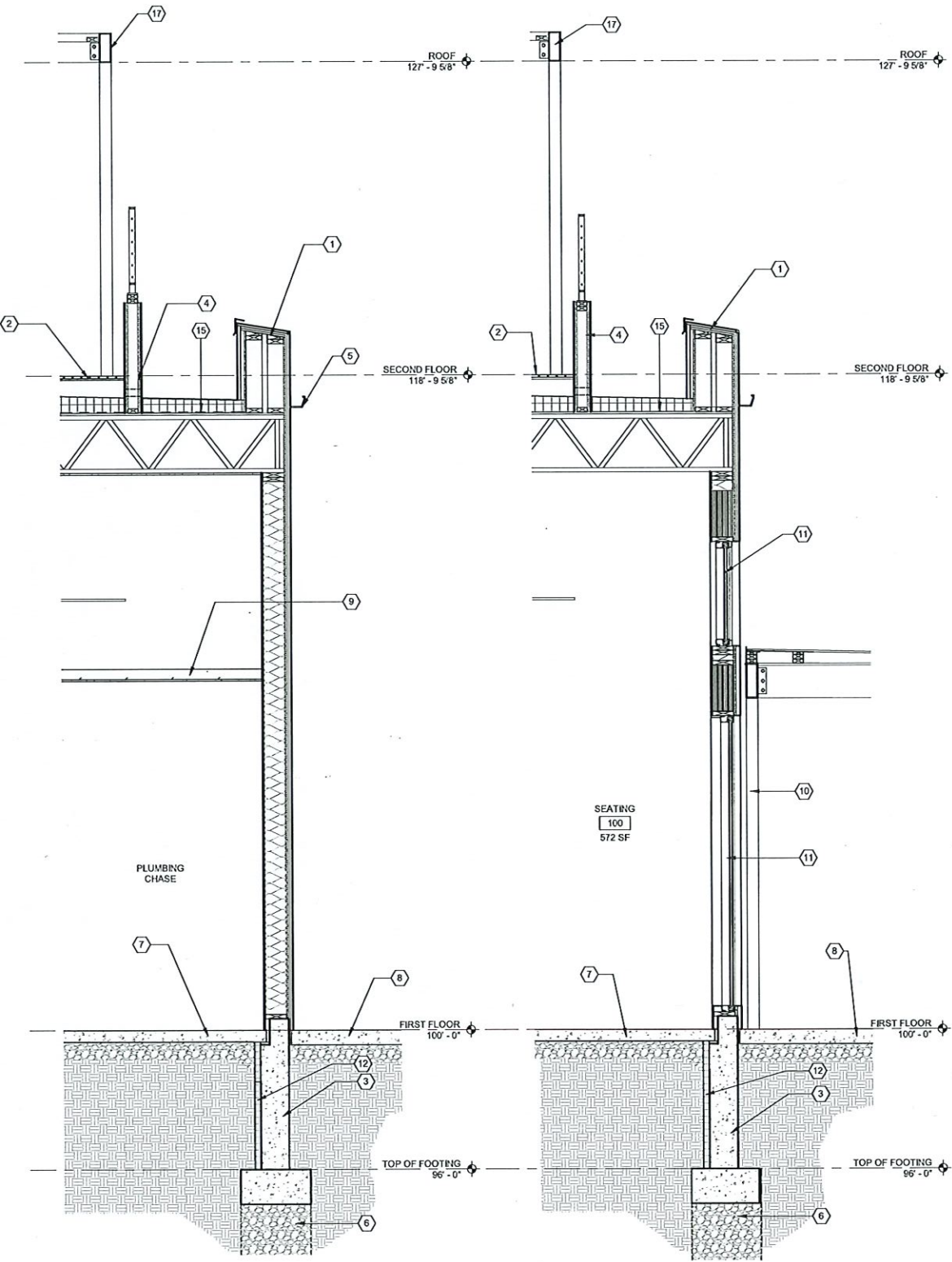
SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

WALL SECTIONS

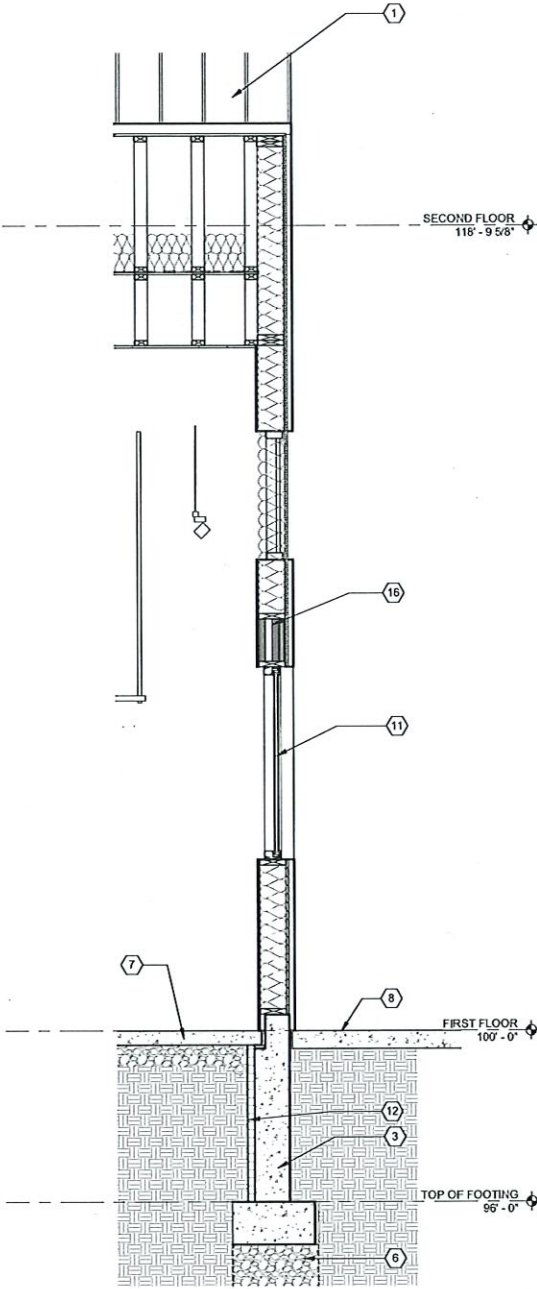
PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A312

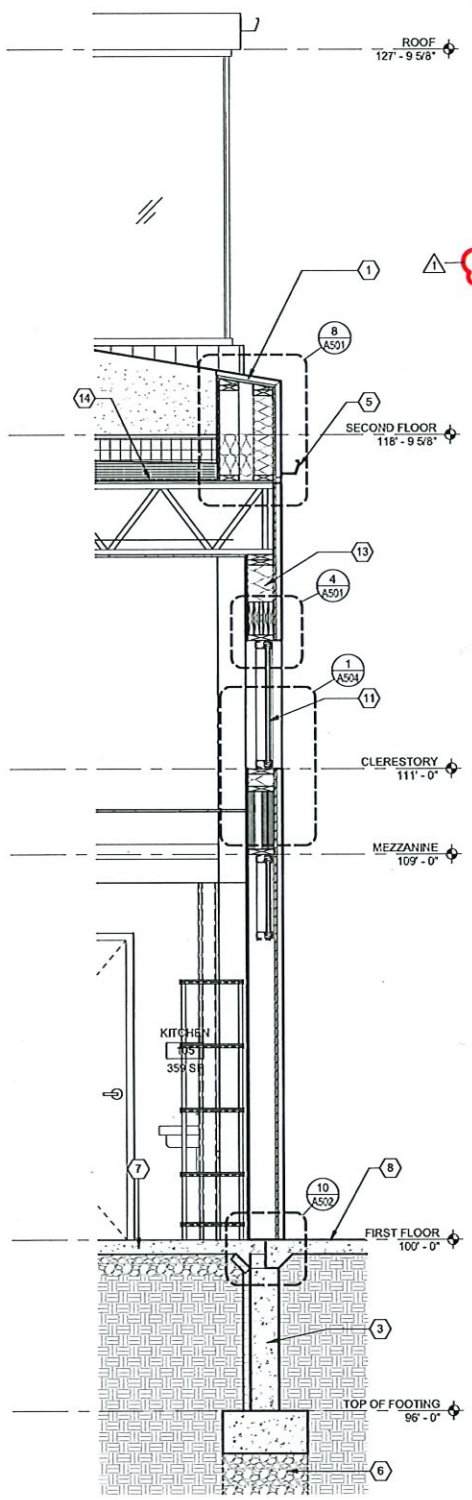


4 WALL SECTION 8 - NORTH WALL  
1/2" = 1'-0"

3 WALL SECTION 7 - NORTH WALL  
1/2" = 1'-0"



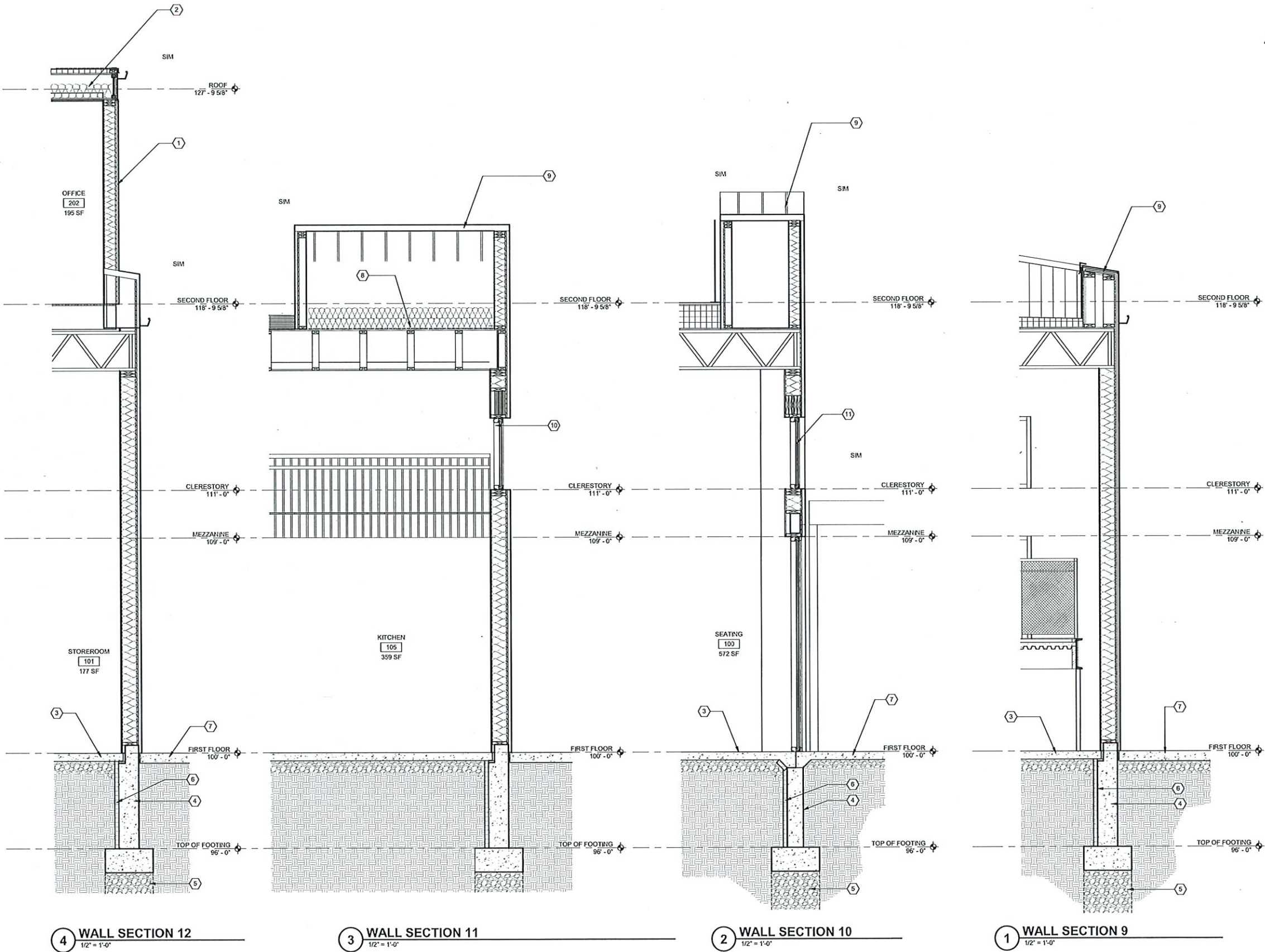
2 WALL SECTION 6 - WEST WALL  
1/2" = 1'-0"



1 WALL SECTION 5 - SOUTH WALL  
1/2" = 1'-0"



KEYED NOTES		
1	EXTERIOR WALL ASSEMBLY 2" 6" VERTICAL CEDAR SIDING OVER DIAGONAL TREATED FURRING OVER WEATHER BARRIER OVER 3/4" PLYWOOD SHEATHING OVER 2X8 WOOD STUDS WITH BATT INSULATION	
2	ROOF ASSEMBLY: EPDM OVER RIGID INSULATION SLOPED 1/4" PER FOOT TO GUTTER OVER VAPOR BARRIER OVER 3/4" PLYWOOD OVER 2X8 FRAMING, FILLED WITH CAVITY INSULATION WITH SHEET METAL EDGE TRIM	
3	CONCRETE SLAB ON GRADE, SEE STRUCTURAL	
4	CONCRETE FOUNDATION & FOOTING TO FROST DEPTH, SEE STRUCTURAL	
5	GROUND IMPROVEMENTS	
6	2" RIGID INSULATION	
7	CONCRETE SIDEWALK, SEE SITE PLAN	
8	EPDM ROOF MEMBRANE OVER TAPERED INSULATION, SLOPE 1/4" PER FOOT	
9	ROOF ASSEMBLY 1: STANDING SEAM METAL ROOF WITH SHEET METAL FLASHING CAP OVER WEATHER BARRIER OVER PLYWOOD SHEATHING OVER WOOD TRUSS	
10	THERMALLY BROKEN STOREFRONT GLAZING; FRONT GLAZED; SSG (CAPLESS) AT INTERIOR VERTICAL JOINTS; BLACK ANODIZED	
11	THERMALLY BROKEN STOREFRONT GLAZING; FRONT GLAZED; SSG (CAPLESS) AT INTERIOR VERTICAL JOINTS; BLACK ANODIZED	



No.	Description	Date
1	ADDENDUM 1	8/10/22

WWP  
DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

WALL SECTIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A313







SIMILAR ON SOUTH AND WEST WALLS

SIMILAR ON SOUTH AND EAST WALLS

TOILET ROOM BASIS OF DESIGN:

TOILET PARTITION  
HADRIAN - HEADRAIL BRACED ELITE SERIES - HEAVY DUTY  
CONTINUOUS HINGE, ARCHITECT TO SELECT FROM MFG. COLOR  
RANGE.

SOAP DISPENSER  
TBD

PAPER TOWEL DISPENSER/DISPOSAL  
TBD

BABY CHANGING STATION  
TBD

SANITARY NAPKIN RECEPTACLE SURFACE MOUNTED  
TBD

TOILET PAPER DISPENSER  
TBD



116 King St, Suite 202 (608) 204-7464  
Madison, WI 53703 AroEberle.com

No.	Description	Date

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SB TERRACE

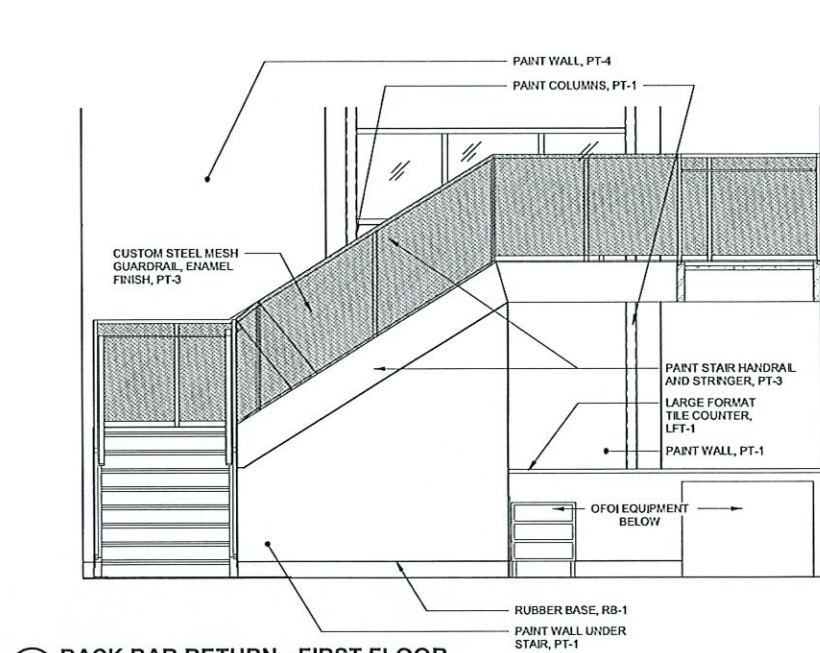
100 E MAPLE ST  
Sturgeon Bay, WI 54235

ENLARGED  
INTERIOR PLANS  
AND ELEVATIONS

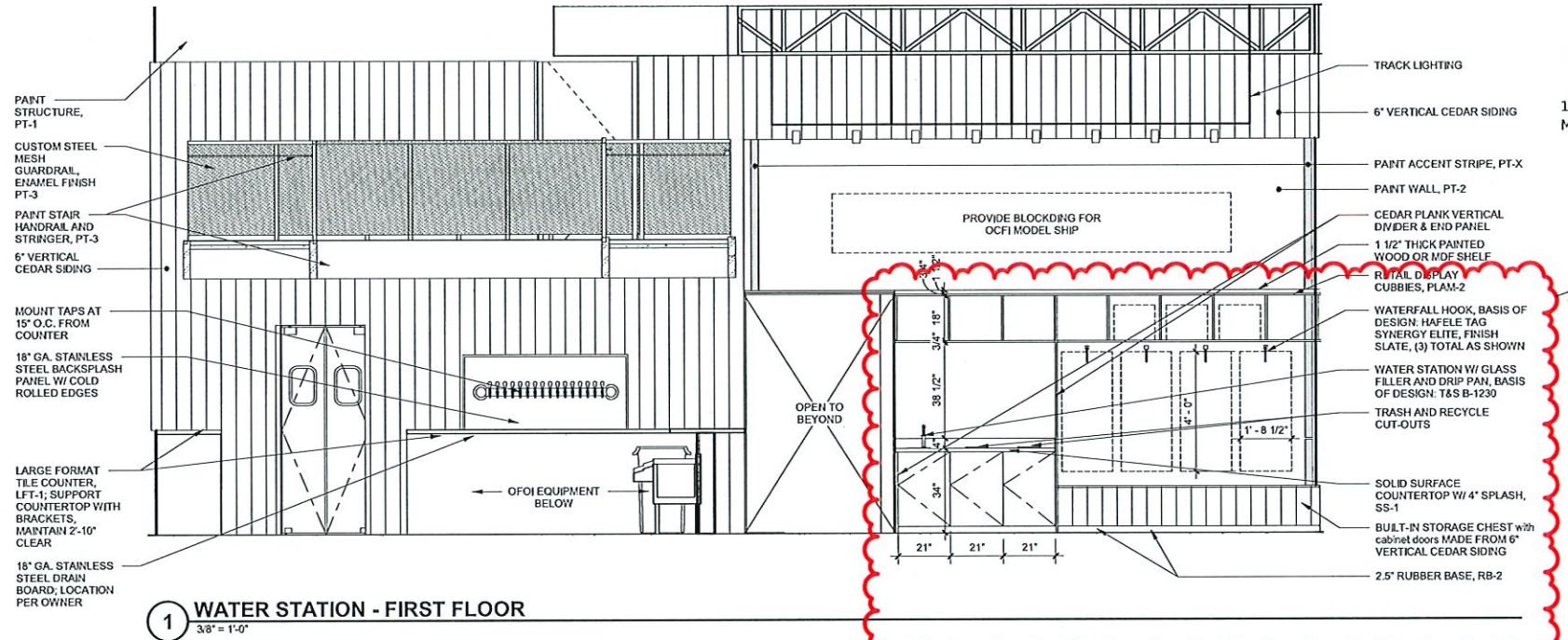
PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A402

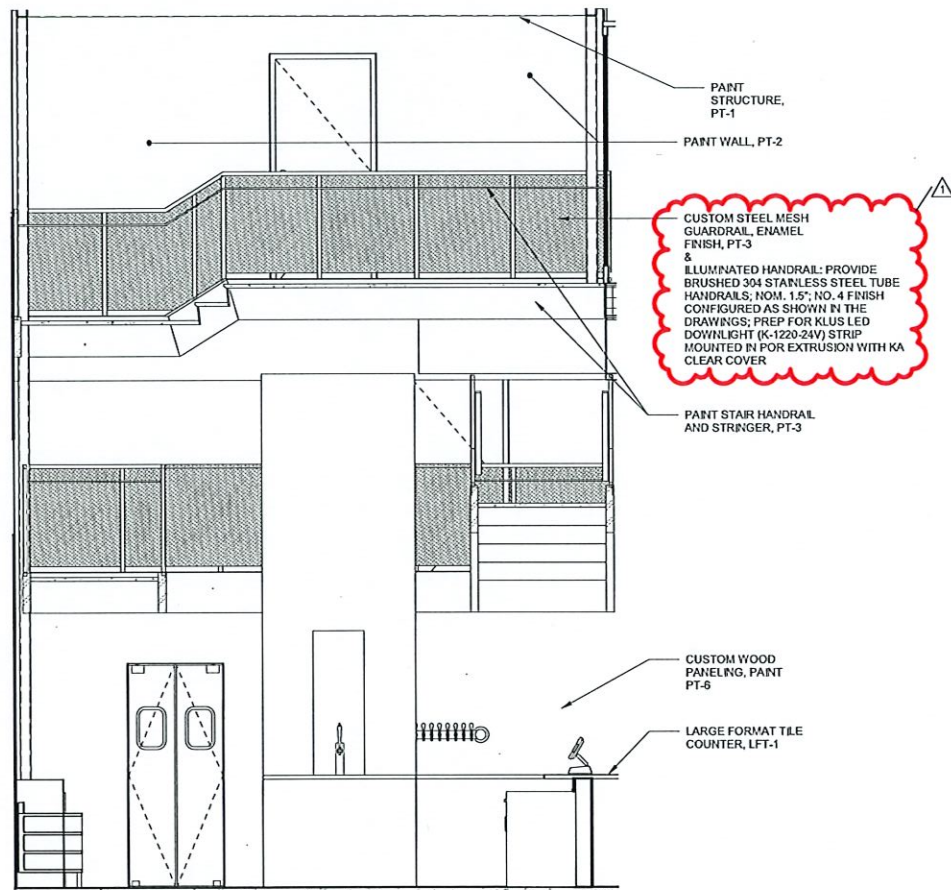




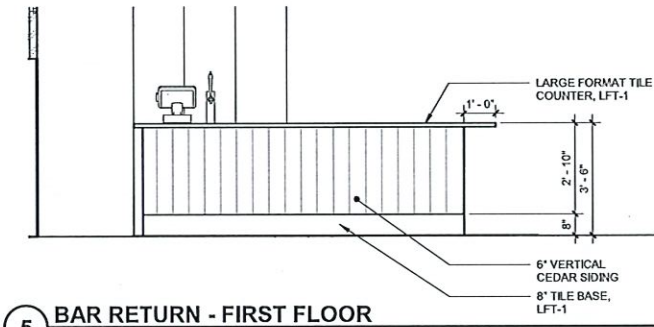
7 BACK BAR RETURN - FIRST FLOOR  
3/8" = 1'-0"



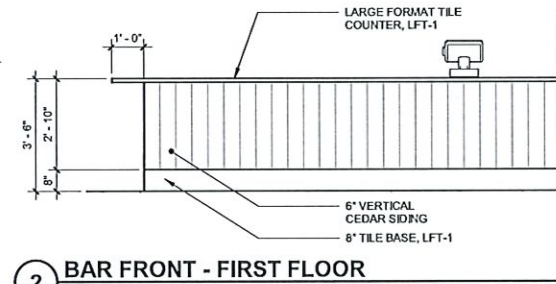
1 WATER STATION - FIRST FLOOR  
3/8" = 1'-0"



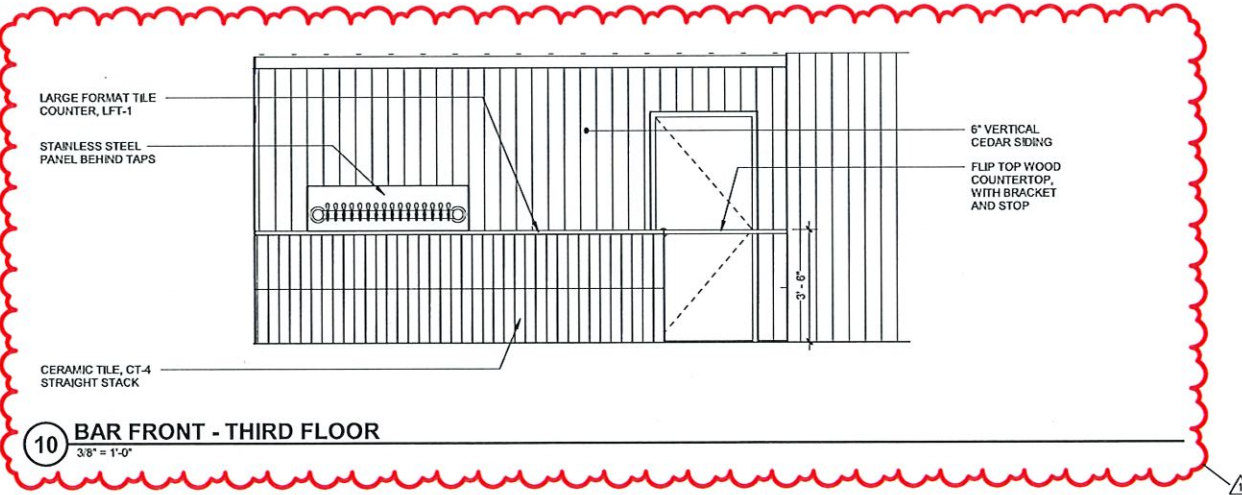
8 STAIR A - WEST  
3/8" = 1'-0"



5 BAR RETURN - FIRST FLOOR  
3/8" = 1'-0"



2 BAR FRONT - FIRST FLOOR  
3/8" = 1'-0"



10 BAR FRONT - THIRD FLOOR  
3/8" = 1'-0"

No.	Description	Date
1	ADDENDUM 1	6/10/22

WWP  
DEVELOPMENT LLC

SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

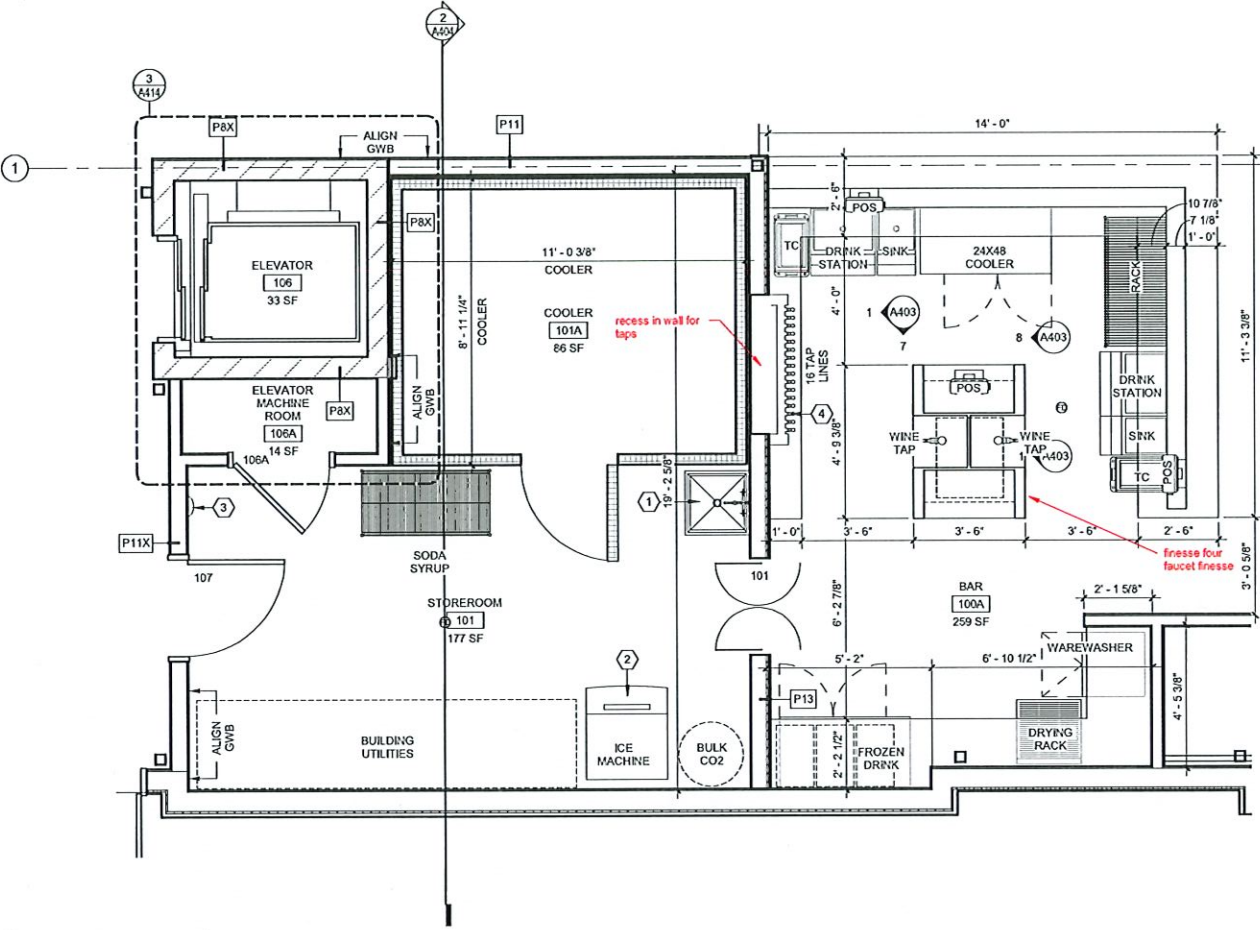
ENLARGED  
INTERIOR PLANS  
AND ELEVATIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

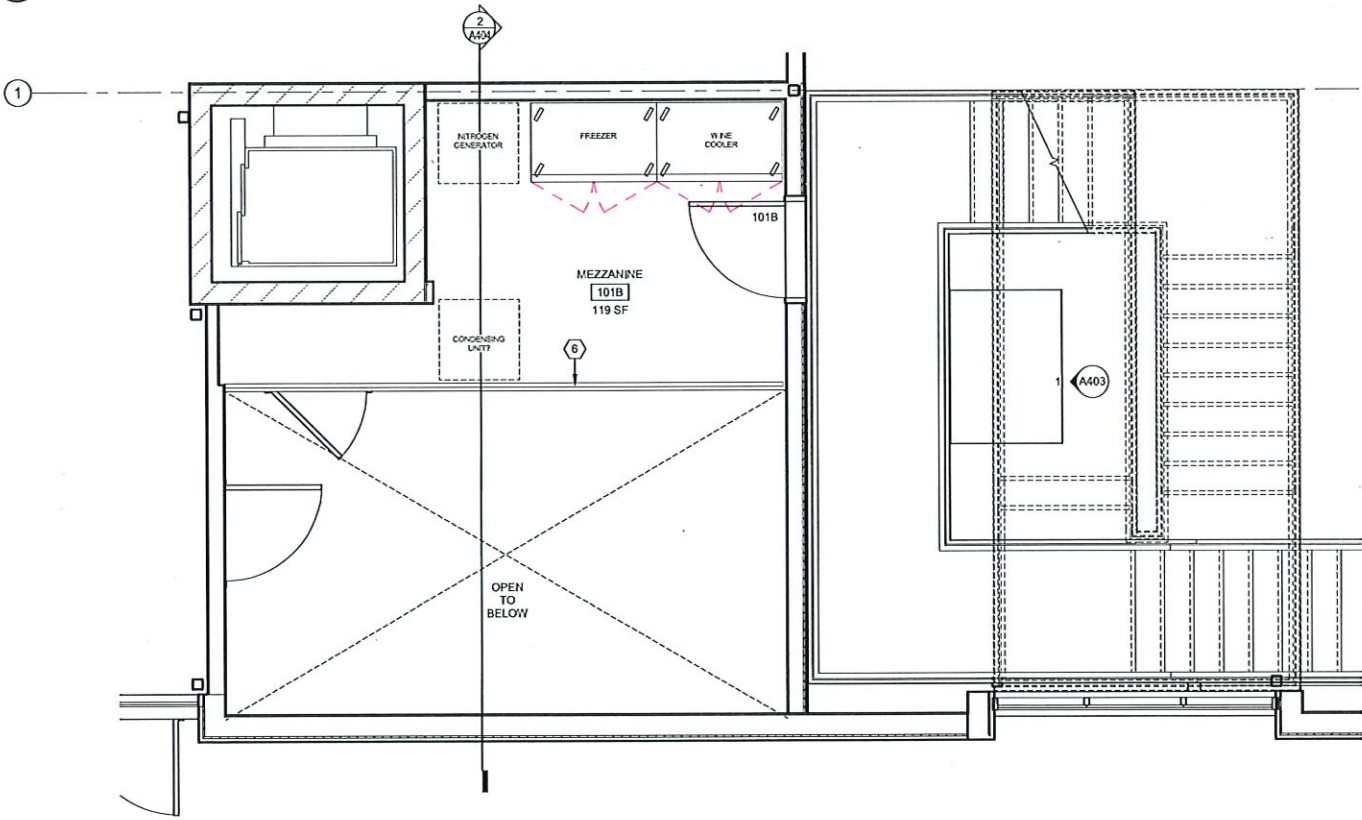
A403



KEYED NOTES (7)	
1	MOP SINK, RACK AND SHELF
2	ICE MACHINE/BIN - PROVIDE WATER LINE AND OPEN SITE DRAIN
3	FIRE EXTINGUISHER CABINET
4	BEER TAPS LOCATED AT BACK BAR
5	2X12 WOOD-FRAMED MEZZANINE; PROVIDE A WOOD-FRAMED MEZZANINE WITH A DESIGN LOAD OF 125 PSF LIVE LOAD TO ACCOMMODATE STORAGE; PROVIDE A 4" STEEL TUBE COLUMN SUPPORT AT CORNER ON A 36"X36" CONCRETE FOOTING SET BELOW THE SLAB
6	MEZZANINE GUARDRAIL
7	2X12 FLOOR FRAMING, SEE STRUCTURAL



01 FIRST FLOOR - EQUIPMENT PLAN  
3/8" = 1'-0"



MEZZANINE  
3/8" = 1'-0"

No.	Description	Date

WWP  
DEVELOPMENT LLC

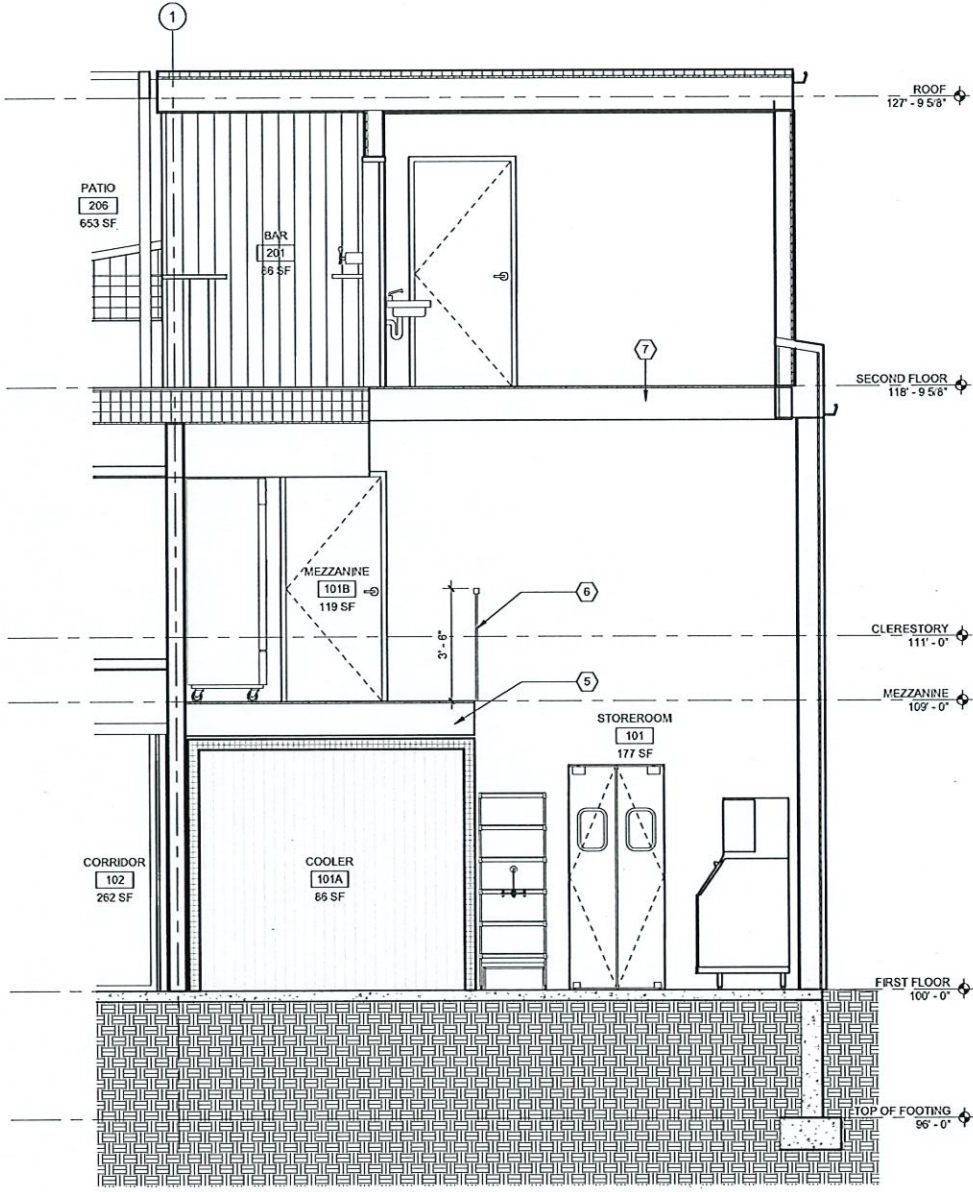
SB TERRACE

100 E MAPLE ST  
Sturgeon Bay, WI 54235

ENLARGED  
INTERIOR PLANS  
AND ELEVATIONS

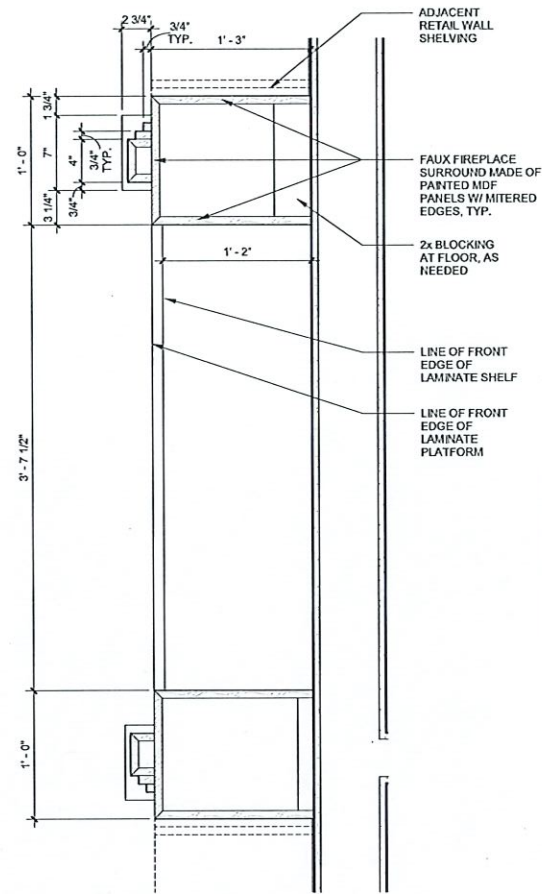
PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A404

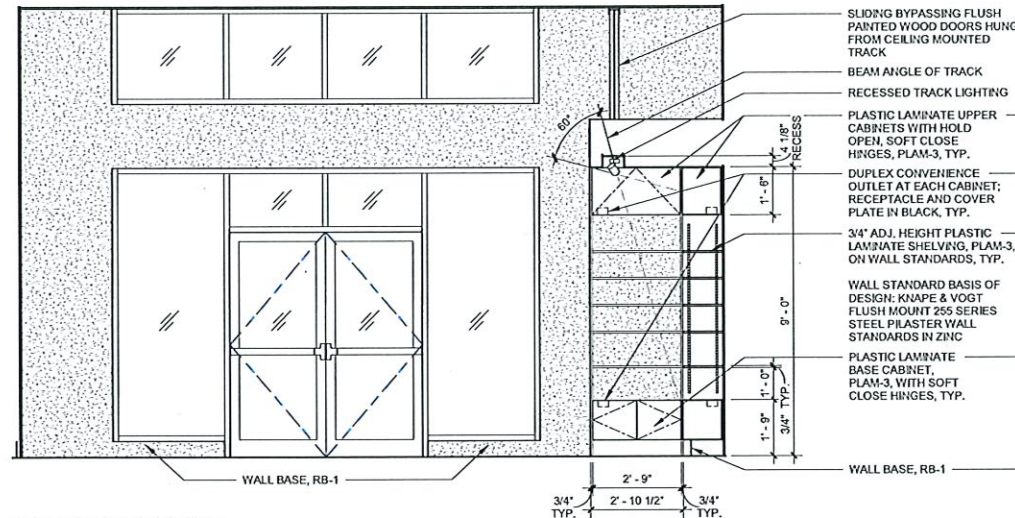


SECTION AT STOREROOM MEZZANINE  
3/8" = 1'-0"

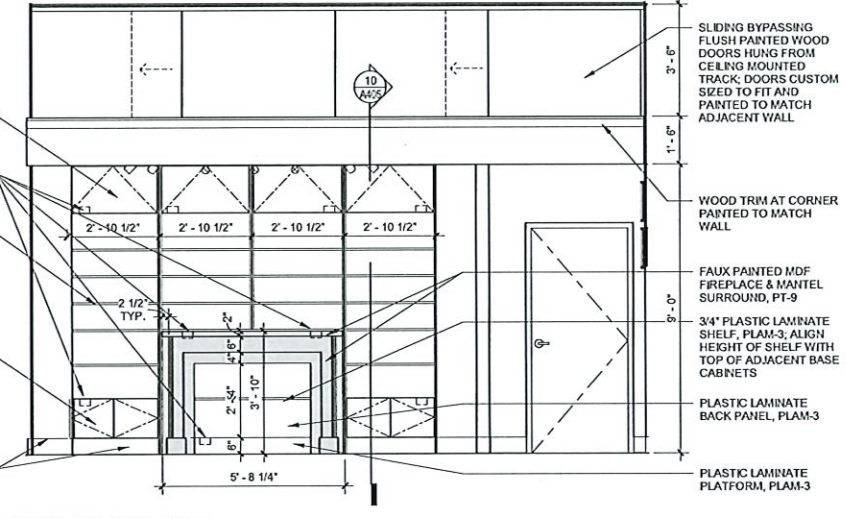




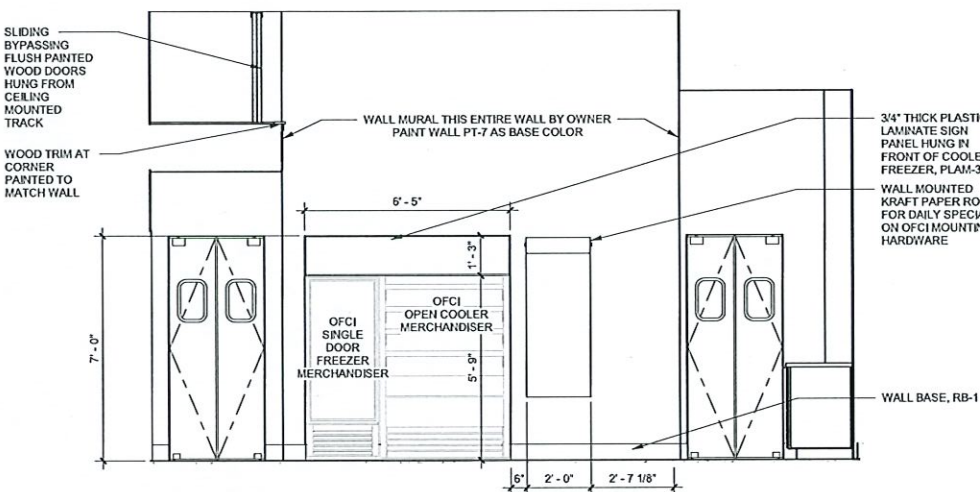
**9 FIREPLACE ENLARGED PLAN**  
1 1/2" = 1'-0"



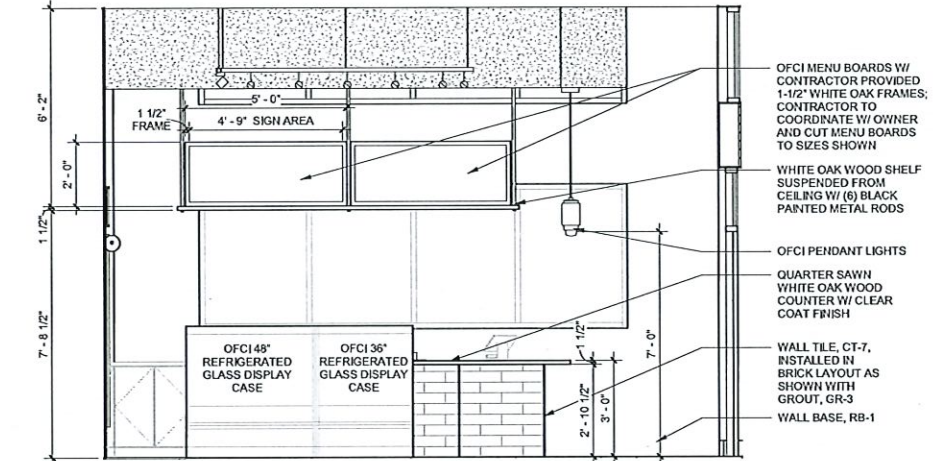
**5 NORTH ELEVATION**  
3/8" = 1'-0"



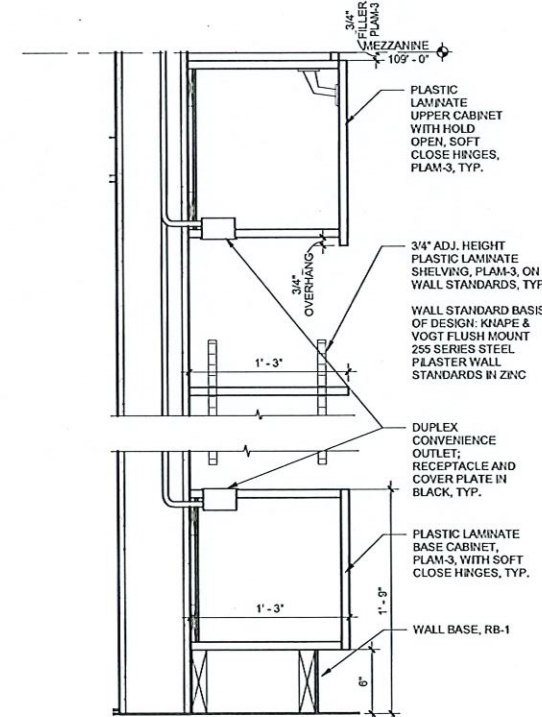
**1 EAST ELEVATION**  
3/8" = 1'-0"



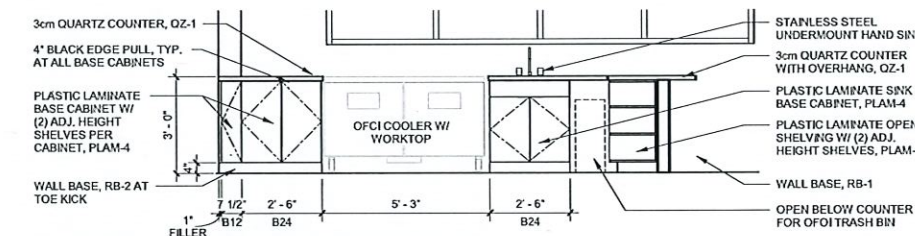
**6 SOUTH ELEVATION**  
3/8" = 1'-0"



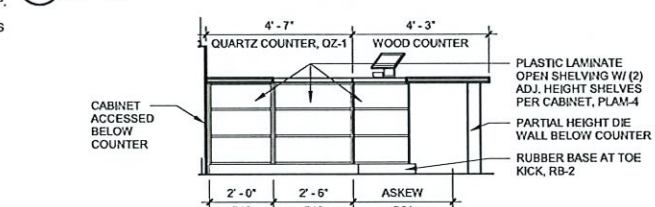
**2 WEST ELEVATION**  
3/8" = 1'-0"



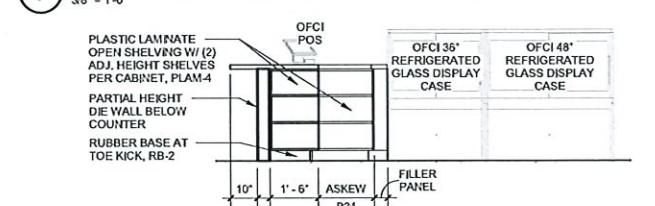
**10 RETAIL SHELVING SECTION**  
1 1/2" = 1'-0"



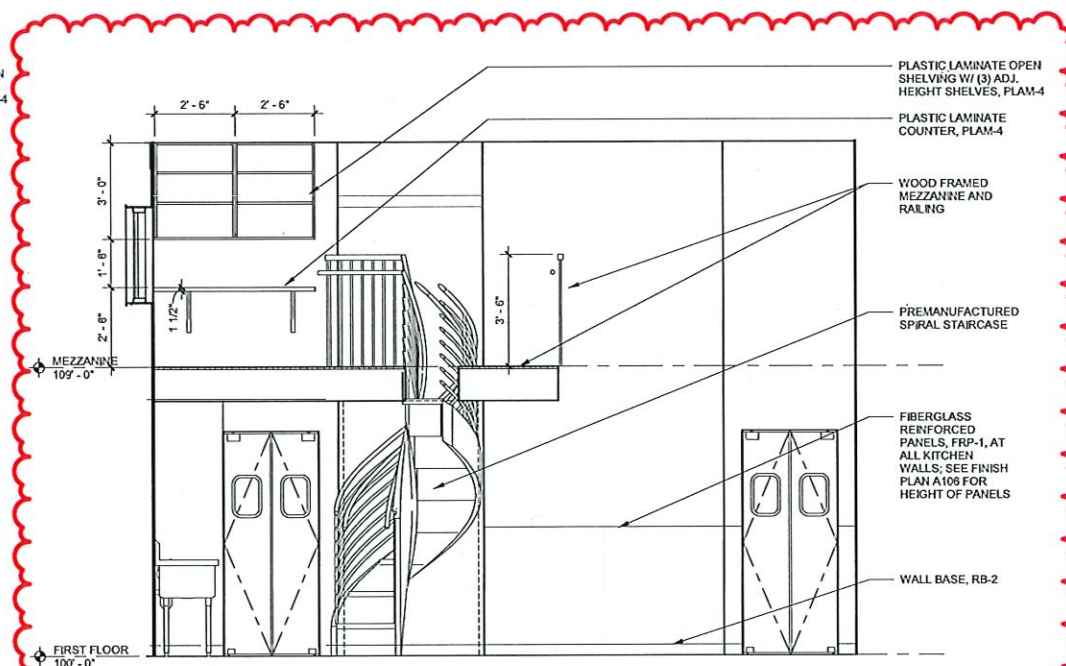
**4 ORDER COUNTER WEST ELEVATION**  
3/8" = 1'-0"



**7 ORDER COUNTER NORTH ELEVATION**  
3/8" = 1'-0"



**8 ORDER COUNTER EAST ELEVATION**  
3/8" = 1'-0"



**3 KITCHEN NORTH ELEVATION**  
3/8" = 1'-0"

No.	Description	Date
1	ADDENDUM 1	6/10/22

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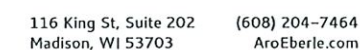
100 E MAPLE ST  
Sturgeon Bay, WI 54235

RETAIL INTERIOR  
PLANS AND  
ELEVATIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A405





KEYED NOTES	
1	MEZZANINE GUARDRAIL.
2	TOP OF WALK IN COOLER / FREEZER BELOW
3	2X12 FLOOR FRAMING. SEE STRUCTURAL
4	2X12 WOOD-FRAMED MEZZANINE: PROVIDE A WOOD-FRAMED MEZZANINE WITH A DESIGN LOAD OF 125 PSF LIVE LOAD TO ACCOMMODATE STORAGE. PROVIDE A 4" STEEL TUBE COLUMN SUPPORT AT CORNER ON A 35"x35" CONCRETE FOOTING SET BELOW THE SLAB
5	WATER WEATER AND OTHER EQUIPMENT

[illegible]

WWP  
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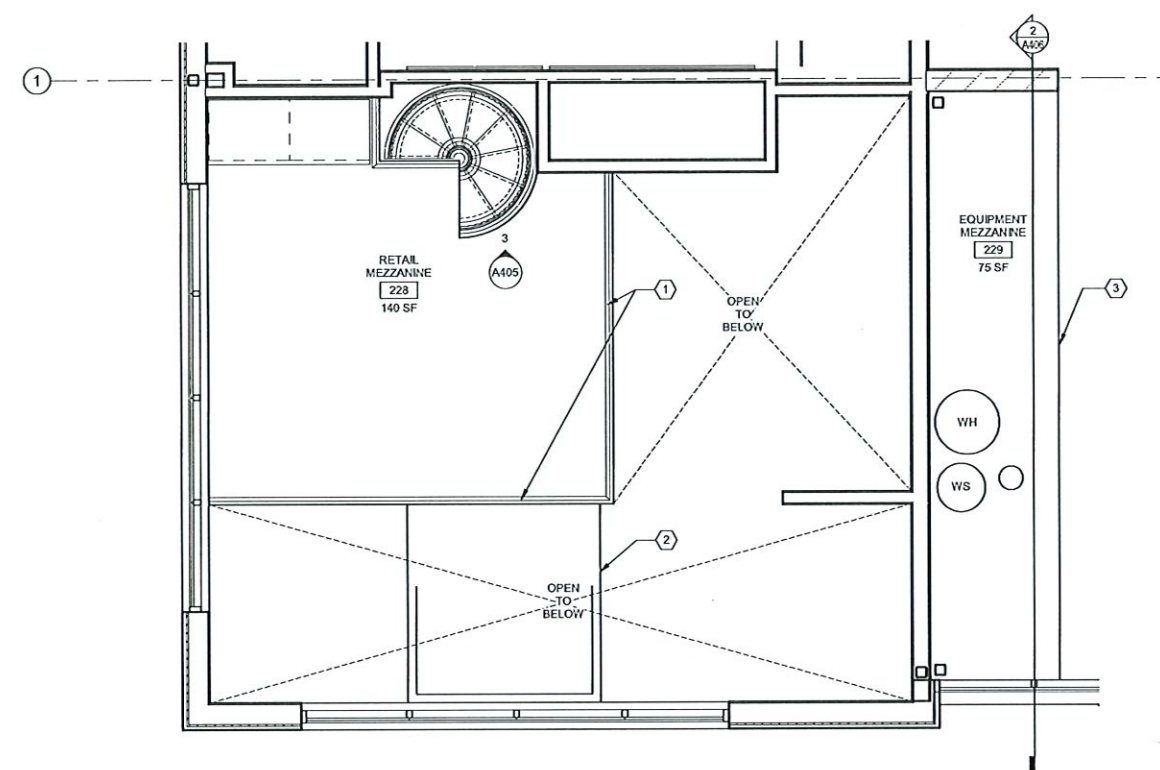
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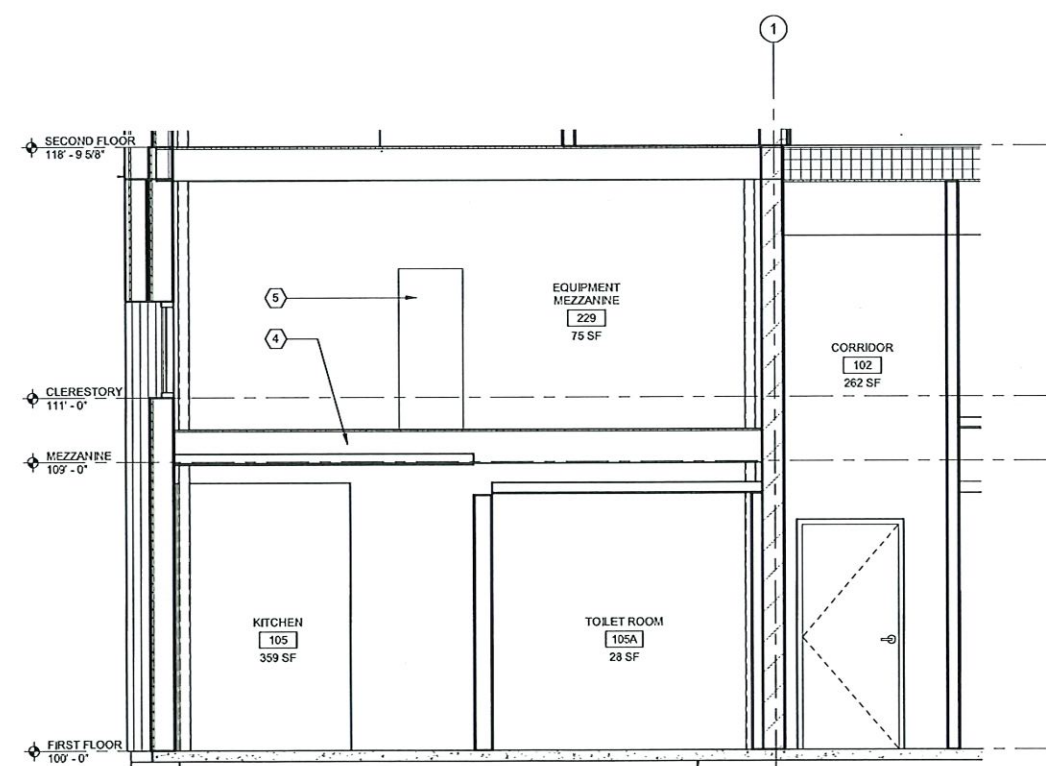
## RETAIL MEZZANINE PLAN AND ELEVATIONS

<b>PRICING SET</b>	
Project number	ONE-21-01
Date	06/10/2022

A406



1 MEZZANINE - LoLos  
3/8" = 1'-0"



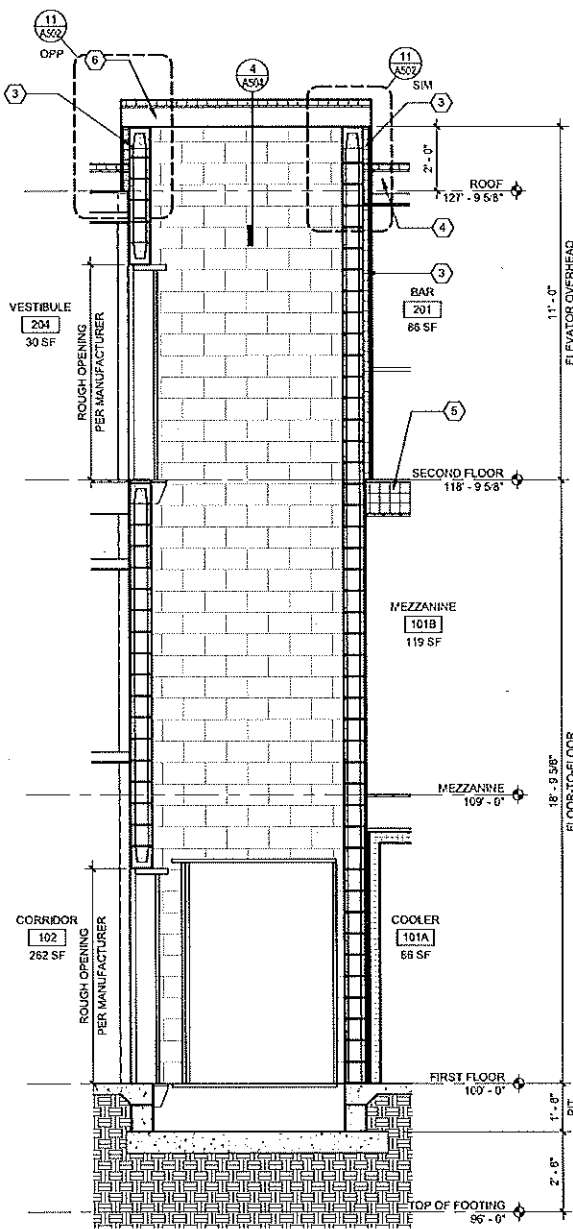
2 SECTION AT EQUIPMENT MEZZANINE  
3.8" = 1'-0"



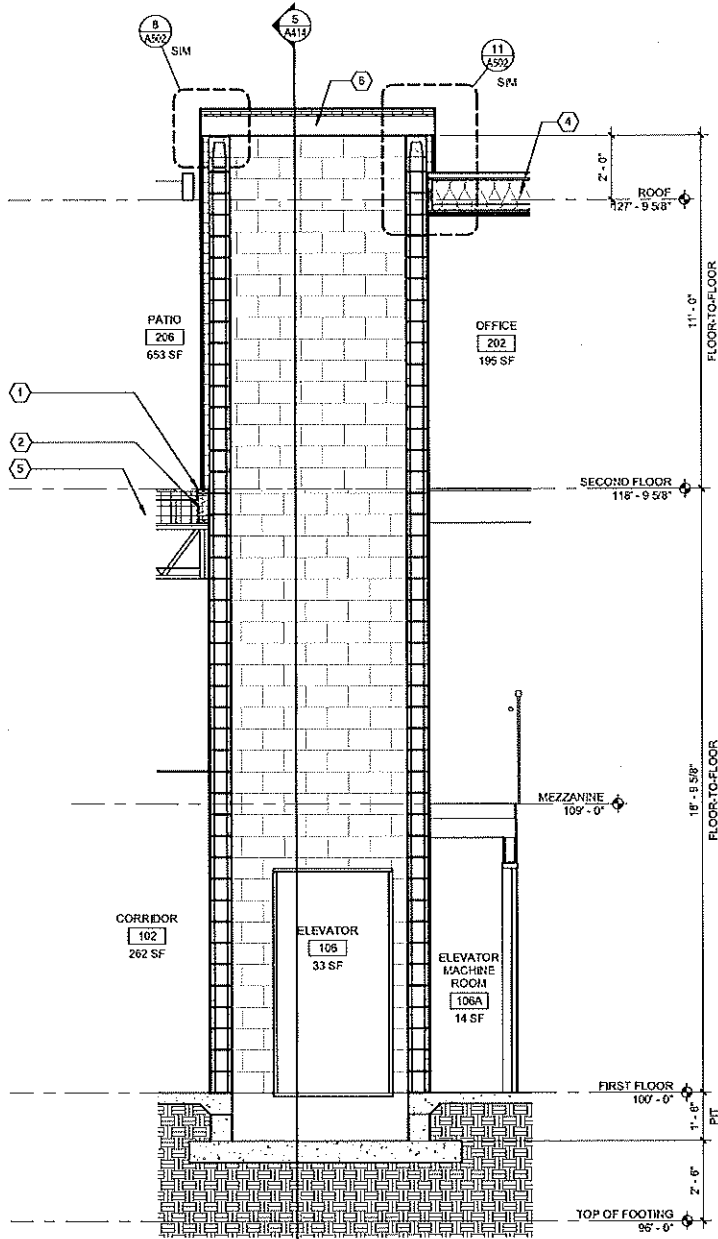
LIMITED USE / LIMITED APPLICATION ELEVATOR NOTES

1. COMPLY WITH ASME A17.1, PART V, SECTION 1
2. COMPLY WITH ANSI 117.1, CHAPTER 403
3. BASIS OF DESIGN: SYMMETRY ELEVATING SOLUTIONS HYDRAULIC DRIVE  
LIMITED USE / LIMITED APPLICATION ELEVATOR
4. RATED CAPACITY: 1400 LBS
5. POWER SUPPLY: 208/230 VAC, 1PH, 30 AMP, 60 HZ
6. 36" DOORS; OPPOSITE OPENING CONFIGURATION / STRAIGHT-THROUGH
7. 42" W X 54" D PLATFORM SIZE

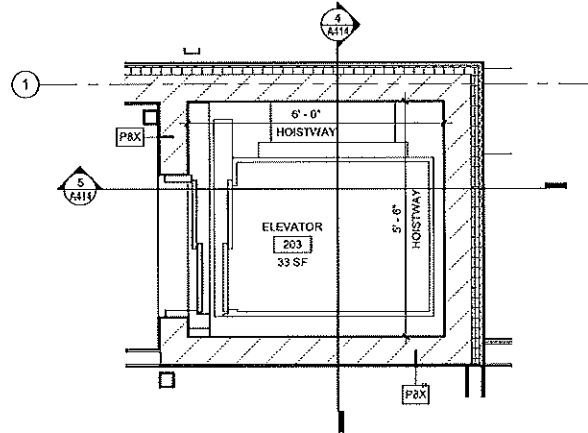
KEYED NOTES (#)	
1	PROVIDE DOOR SEAL AND THRESHOLD AT BASE OF CORING DOOR
2	RUN ROOFING OVER WOOD FRAMED CURB
3	EXTERIOR WALL ASSEMBLY 4" 6" VERTICAL CEDAR SIDING OVER WEATHER BARRIER OVER 2" RIGID INSULATION NAILBASE ON 8" CMU
4	ROOF ASSEMBLY 3B: EPDM OVER 2" RIGID INSULATION SLOPED 1/4" PER FOOT TO GUTTER OVER VAPOR BARRIER OVER 3/4" PLYWOOD OVER WOOD FRAMING (SEE STRUCTURAL) FILLED WITH CAVITY INSULATION WITH SHEET METAL EDGE TRIM
5	ROOF ASSEMBLY 2: WOOD DECK TILES OVER PEDESTALS (OR ALTERNATE) OVER EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER PLYWOOD UNDERLAYMENT OVER WOOD TRUSS
6	ROOF ASSEMBLY 3: EPDM OVER 2" RIGID INSULATION SLOPED 1/4" PER FOOT TO GUTTER OVER VAPOR BARRIER OVER 3/4" PLYWOOD OVER 2X8 FRAMING, FILLED WITH CAVITY INSULATION WITH SHEET METAL EDGE TRIM



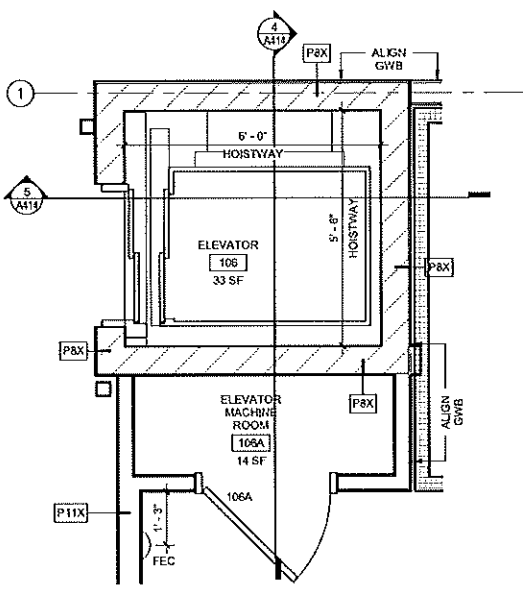
5 SECTION AT ELEVATOR 2  
3/8" = 1'-0"



4 SECTION AT ELEVATOR  
3/8" = 1'-0"



2 ENLARGED ELEVATOR PLAN - SECOND FLOOR  
1/2" = 1'-0"



3 ENLARGED ELEVATOR PLAN - FIRST FLOOR  
1/2" = 1'-0"

No.	Description	Date

WWP  
DEVELOPMENT LLC

SB TERRACE

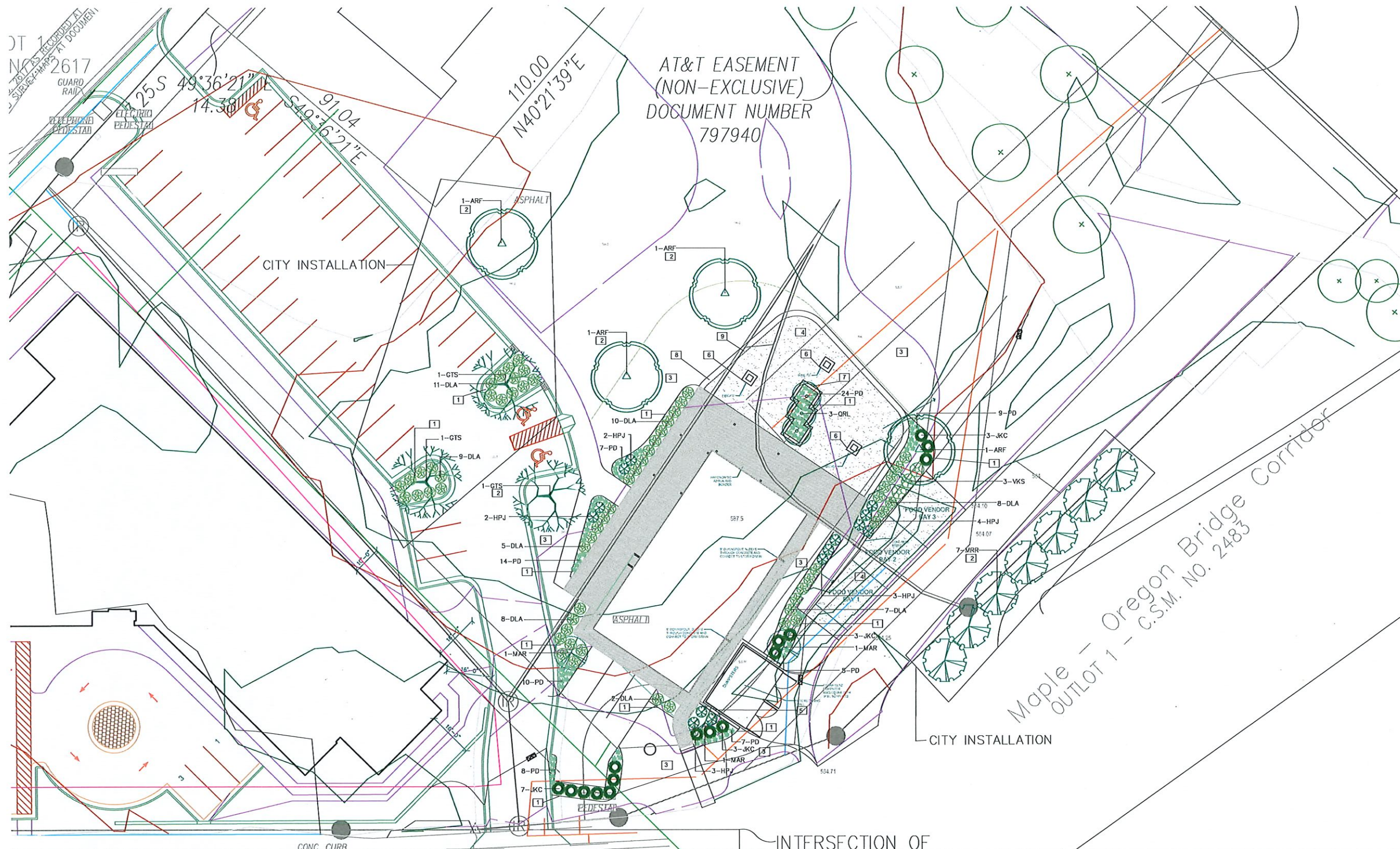
100 E MAPLE ST  
Sturgeon Bay, WI 54235

ELEVATOR PLANS &  
SECTIONS

PRICING SET	
Project number	ONE-21-01
Date	06/10/2022

A414



[illegible]

WWP DEVELOPMENT  
LLC  
SB TERRACE

100 E MAPLE ST  
STURGEON BAY, WI 54235

## LANDSCAPE PLAN











SCALE: 1/16" = 1'-0"

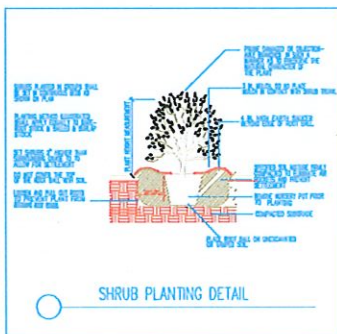
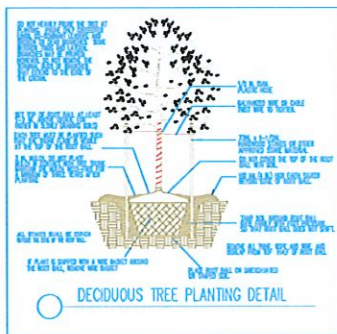
FOR CONSTRUCTION

Project number	
Date	07-08-2022

L 101

L101

Plant List						
Symbol	Label	Qty	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
<b>Large Shade Tree</b>						
	ARF	4	Acer rubrum 'Frankred'	Red Sunset Maple	2"	30-45' H x 25-35' Spread
	GTS	3	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2"	40-60' H x 25-35' Spread
	QRL	3	Quercus robur x bicolor 'Long'	Royal Prince Oak	2"	30-45' H x 10-15' Spread
			Existing Trees per Promenade Plan			
<b>Ornamental Trees</b>						
	MAJ	1	Malus 'Admiral'	Admiral Crabapple	2"	15-20' H x 8-12' Spread
	MRS	7	Malus 'Royal Raindrops'	Royal Raindrops Crabapple	2"	15-20' H x 12-15' Spread
<b>Evergreens</b>						
	JKC	116	Juniperus x pfitzeriana 'Katalpa's Compact'	Katalpa's Compact Juniper	#3	2-3' H x 4-5' Spread
<b>Shrubs</b>						
	DIA	55	Diervilla lonicera	Diervilla	#3	3-5' H x 3-5' Spread
	HPJ	11	Hydrangea paniculata 'Vani'	Little Lime Hydrangea	#5	3-5' H x 3-5' Spread
	NYS	12	V. carlesii 'N Select A'	Spice Bland Koreanopse Yumum	#5	4-5' H x 4-5' Spread
<b>Perennials &amp; Grasses</b>						
	PD	74	Scorobolus helictioides	Prairie Drosera	#1	2-3' H x 2' Spread



Landscape Notes

- |   |   |
|---|---|
| 1 | <p>Planting Beds &amp; Islands: Remove stumps, stumps, construction debris and other extraneous materials from planting area.</p> <p>Initial 12" of 3/2 ratio of pulverized topsoil and organic matter and rotol 1/2 sub-soil at depth of 6-8".</p> <p>Install Trellis hardside on soil prior to placing mulch.</p> <p>Mulch with Shredded Hardwood Mulch at rate of 3" depth.</p> <p>Edge all planting beds with Professional Poly Vinyl edging where needed.</p> <p><b>Planting Restrictions:</b> Provide trees, shrubs, evergreens, perennials and grasses as per size and root count in Plant List. Provide plant material certificates at time of planting.</p>  |
| 2 | <p><b>Trees:</b> As Trees to be stalked.</p> <p>Trees in turf area or seeded area to have 8" d.i.a. order of Shredded Hardwood Mulch at 3" depth and shovel out edge separating mulch from lawn area.</p> <p>Turfen Hardside placed on soil prior to mulching.</p> <p><b>Plant Warranty Period:</b> All plant material will have (One) 1 full year warranty replacement from date of substantial completion.</p> <p><b>Maintenance Period:</b> Maintenance period will last for a period of 60 days from substantial completion date.</p> <p>Provide maintenance services including: watering, staking, bailing trees, pruning, deadheading, weeding, and removing trash and debris from planting and landscape areas, repairing testing of stone, mulch, topsoil and/or plants, application of pesticides, chemicals and fertilizers when required. Remove erosion control prior to final mowing. At minimum contractor shall plant weekly maintenance visits and provide documentation of activities to Owner as directed.</p> <p>Planting schedule represents quantities by base bid only. Refer to drawing quantities if discrepancy.</p> <p><b>Lawn:</b> Seed with 50/50 Blend Kentucky Bluegrass &amp; Perennial Ryegrass at rate of 4# 1000 sq. ft. Seed areas installed on 4" minimum Trench seed. Loosen subsoil to minimum of 7" remove stones, sticks, grasses and other extraneous materials. Fertilize using commercial grade starter fertilizer at rate of 1000 lbs. per acre. Straw mulch, clean straw and seed feed. Install 1/2" compost or treated straw of wheat, rye or clover. Erosion mat per erosion control prior to final mowing. Plant during non-freezing weather.</p> <p>All contractors shall verify the location of public utilities prior to start of work.</p> <p>Control Degrade Within 5 days prior to start of construction.</p> |

Stabilized Pathway Mix: Impregnate Gray Stabilized Pathway Mix from Kafsa Granite (715)933-8504. Excavate 3" depth for plan. Prepare the subgrade material prior to laying the stabilized pathway. The subgrade should have a minimum 15% cross slope and should be compacted to at least 3" depth. Make sure to clear the subgrade of debris, rails, etc. Spread. Loosely lay the pathway mix 4" deep, in compact 30'. Spread the pathway mix where desired, ensuring it's even and compact. Use a three-ton roller, go over the entire area. Mixing the area lightly with water before compaction may help prevent material from sticking to the roller. However, avoid using the vibration mode. In tough-to-reach areas, making multiple passes with a vibratory plate compactor will be acceptable. The stabilized pathway should be firm immediately after compaction. (Reference manufacturer's installation guide.)

State Retaining Wall: Install Versa-Lock Retaining Wall with Universal Cap. Reference manufacturer's installation guide for base material & compaction rate. Approximate Exposed Height = 2.0'.

Fire Pit: U-Cura wall from Unilock. 6" standard fascia panels - granite fusion color. Cap with Universal coping. Approximate Exposed Height = 18". Reference manufacturer's installation guide for base material, depth, compaction rate and block installation. HPC fire burner insert with electronic ignition hho bluetooth app - 24" square pan - LP rating. Laza rock fill. Provide ventilation. Reference manufacturer's installation guide and coordinate with HVAC & electrical contractor.

Planter Wall: U-Cura wall from Unilock. 6" standard fascia panels - granite fusion color. Cap with Universal coping. Approximate Exposed Height = 18". Reference manufacturer's installation guide for base material, depth, compaction rate and block installation.

Stabilized Pathway Edge: Concrete Edge - Z Width - flush with lawn and pathway mix. Refer to concrete specifications for installation. Option: U-Cura wall from Unilock. 1 block buried - no fascia panel. Cap with Universal coping. Universal coping flush with lawn and pathway mix. Reference manufacturer's installation guide for base material, depth, compaction rate and block installation.

Hardscape around Building: Broomed concrete per civil plan. Refer to concrete specifications for installation. Option: Active paving from Unilock. Mix of Smooth (Shish Mountain) and i Campo (Granite Blend). Reference manufacturer's installation guide for base material, depth, compaction rate and block installation.





## MEMO

To: Aesthetic Design and Site Plan Review Board  
From: Christopher Sullivan-Robinson  
Date: Wednesday, July 20, 2022  
Subject: Building Addition – John Miles Park

---

County of Door is requesting approval of a 40' x 60' x 18' addition to an existing facility building located at 916 N 14<sup>th</sup> Ave (John Miles County Park). Main entries are located on the north and south side of the building. Windows will be installed on the south, east and west walls to closely match the ADRC building on the neighboring property. The exterior of the roof and siding on all sides but the east will have insulated metal paneling with a lime stone wainscot coating. Color specification sheets are provided in your packets. Wall pack lights are shown by the entry areas on the north and south ends of the building. Shrubs will be installed on the north side of the building by County crew. No stormwater management is required for this addition since impervious surface is overall decreased post construction.

Below are relevant design criteria to be reviewed:

1. Buildings should be sited and designed to be aesthetically pleasing as viewed from adjoining public streets. Excessively long, unbroken building facades shall be avoided. Building materials and design features shall be consistent with the general design theme and/or proposed use of the development.
2. Buildings on in-fill sites shall be compatible with surrounding buildings in terms of scale, massing, height, entrances, and windows.
3. The use of identical building materials on all sides of a building that are visible from public streets is encouraged.
4. Exterior light fixtures shall be shielded such that direct beams of light are not cast skyward or onto adjoining property. Exterior light fixtures for signage, building entrances, accents, parking lots, and landscaped areas are strongly encouraged to be downward directed. Auto-dimmers and timers are encouraged for all exterior lights to limit energy waste during non-operational hours. Lighting of an intensity beyond which is reasonably required to conduct operations or maintain security is discouraged. Lighting fixtures and devices promoting energy efficiency are encouraged.

Recommendation: City staff recommend approval of a certificate of appropriateness for the proposed addition a presented.



# Map

Printed 07/20/2022 courtesy of Door County Land Information Office

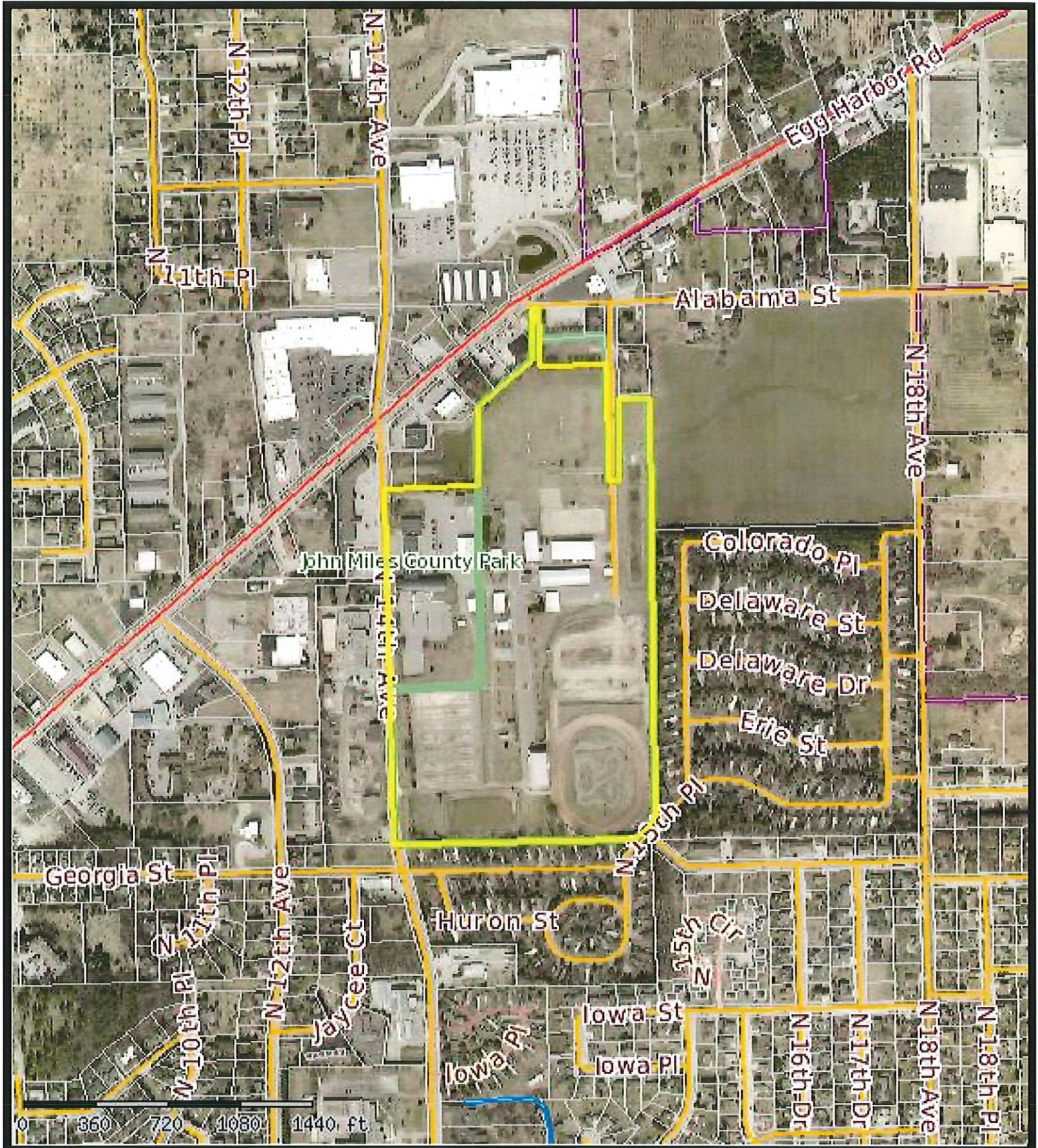


... from the Web Map of ...

( //www.co.door.wi.gov )

**Door County, Wisconsin**

**... for all seasons!**



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BUILDING ADDITION FOR:  
**DOOR COUNTY MAINTENANCE GARAGE**

916 N. 14TH AVE., STURGEON BAY, WI 54235



2637 Tulip Lane Green Bay, WI 54313  
Phone: (920) 469-9288 Fax: (920) 469-6809  
E-mail: Info@IntegrityEngineering.biz

**INTEGRITY MISSION STATEMENT**

WE PROVIDE HIGH QUALITY ARCHITECTURAL DESIGN AND STRUCTURAL ENGINEERING. OUR PLANS MOVE SMOOTHLY THROUGH THE STATE REVIEW PROCESS AND MAKE BUILDING CONSTRUCTION MORE ENJOYABLE. OUR SERVICE IS UNMATCHED AND OUR INTEGRITY IS IMPECCABLE.

IF YOU HAVE ANY QUESTIONS OR COMMENTS ABOUT THE CONTENT OR PRESENTATION OF MATERIAL ON THIS PLAN, PLEASE CALL (920) 469-9288.

**GENERAL CONDITIONS:**

THESE PLANS ARE PRESENTED TO LEAD A HIGH QUALITY DESIGN/BUILD TEAM. EACH CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP WHICH WE CAN ALL BE PROUD OF. WE ENCOURAGE YOU TO PROVIDE EXPERTISE IN YOUR CHOSEN FIELD AND TO BRING IDEAS AND CONCERNS TO THE ATTENTION OF THE GENERAL CONTRACTOR.

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION ONLY. ALL WORK SHALL CONFORM TO STANDARD PRACTICES AND APPLICABLE LAWS, WHETHER THEY ARE SPECIFICALLY STATED IN THESE PLANS OR NOT.

**EACH CONTRACTOR SHALL:**

- VISIT THE SITE TO VERIFY EXISTING CONDITIONS, ACCESS, ETC. PRIOR TO BIDDING
- MAINTAIN A CLEAN JOBSITE AT ALL TIMES.
- OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REQUIRED FOR COMPLETION OF HIS OWN PORTION OF THE PROJECT.
- FIELD VERIFY DIMENSIONS.
- REPORT ANY DISCREPANCY NOTED BETWEEN THESE PLANS AND APPLICABLE CODES TO THE GENERAL CONTRACTOR.
- PROVIDE ALL BARRIERS, FENCES, SAFETY EQUIPMENT AND PRECAUTIONS REQUIRED BY APPLICABLE LAW AND STANDARD PRACTICES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.

ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS.

THIS DESIGN, THESE DRAWINGS, AND INCLUDED DETAILS ARE THE COPYRIGHTED PROPERTY OF INTEGRITY ENGINEERING AND DESIGN, LLC. NO PART SHALL BE COPIED, DISTRIBUTED, OR MADE AVAILABLE TO ANYONE WITHOUT THE EXPRESS WRITTEN CONSENT OF INTEGRITY ENGINEERING AND DESIGN, LLC.

**QUICK SPEC**

TO MAKE THIS PLAN MORE CONTRACTOR FRIENDLY, WE HAVE PREPARED IT WITH OUR **QUICK SPEC** SYSTEM.

THE WRITTEN SPEC IS GENERAL AND DOES NOT GO INTO DEPTH TO REITERATE STANDARD PRACTICES OR APPLICABLE LAWS. IT IS WRITTEN IN AN EASY TO READ FORMAT. THE SPECIFICATION IS SPLIT INTO APPROPRIATE SECTIONS AND LISTED ON THE PLAN WHERE IT IS NEEDED. YOU WILL FIND THESE SECTIONS QUICKLY BY THE SHADOW BOX AROUND IT (SIMILAR TO THIS ONE).

SPECIFIC CASES THAT CANNOT BE DESCRIBED IN A GENERAL SPEC ARE NOTED ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND THE GENERAL SPEC, THE PLAN NOTES WILL SUPERSEDE THE GENERAL SPEC.

**KEY TO SYMBOLS AND MATERIALS**

**SYMBOLS**

- XXXX ELEV. XXX-XX ELEVATION
- ROOM NAME ROOM NAME/NUMBER
- XXXX DOOR NUMBER
- (X) COLUMN LINE
- (X) EXISTING COLUMN LINE
- FE FIRE EXTINGUISHER
- (X) NOTE
- 109 WINDOW IDENTIFICATION
- (X) WALL TYPE

- NEW MASONRY WALL
- NEW STUD WALL
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW STUD WALL IN REMODELED SPACE

- REVISION
- SECTION NUMBER
- BUILDING SECTION REFERENCE
- SHEET NUMBER ON WHICH SECTION WILL BE FOUND
- SPOT ELEVATION
- EXISTING SPOT ELEVATION
- DETAIL
- SCALE: 1" = 1'-0"
- DETAIL NUMBER
- DETAIL IDENTIFICATION
- SHEET NUMBER
- DETAIL NUMBER SHEET NUMBER ON WHICH DETAIL WILL BE FOUND
- PLAN DETAIL REFERENCE
- AREA INCLUDED IN DETAIL

**MATERIALS**

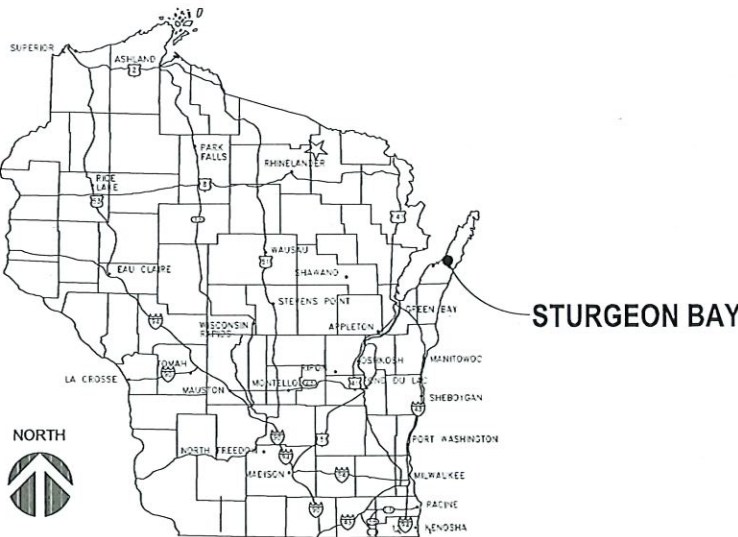
- LUMBER
- BRICK
- CONCRETE MASONRY UNIT (CMU)
- COMPACTED FILL
- RIGID INSULATION
- BATT INSULATION
- PLYWOOD
- CONCRETE

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**DIGGERS HOTLINE**

(800) 242-8511  
FAX (800) 388-3860  
WEBSITE: www.diggershotline.com

**SITE LOCATION MAP**



**BUILDING DATA**

BUILDING CODE: IBC 2015

BUILDING SIZE:  
NEW ADDITION AREA (SQ. FT.): XXX  
RENOVATED AREA (SQ. FT.): XXX  
EXISTING AREA (SQ. FT.): 1,800  
ALLOWABLE AREA PER FLOOR (SQ. FT.): 30,625  
NUMBER OF STORIES: 1  
EAVE HEIGHT: XXX  
MAXIMUM OVERALL HEIGHT: XXX

**CONSTRUCTION CLASSIFICATION:**

EXISTING - TYPE IB  
NEW - TYPE IB  
S-1

**DESIGN LOADS: PER IBC 2015, CHAPTER 16**

Pg = 40 PSF  
ULTIMATE DESIGN WIND SPEED = 115 MPH  
WIND EXPOSURE = B  
SEISMIC CATEGORY = A  
SOIL BEARING PRESSURE = 2000 PSF PRESUMED/VERIFIED

**FIRE PROTECTION SYSTEMS**

AUTOMATIC FIRE SPRINKLER SYSTEM - REQUIRED/NOT REQUIRED  
STANDPIPE SYSTEMS - REQUIRED/NOT REQUIRED SEE IBC 905  
FIRE ALARM SYSTEM - REQUIRED/NOT REQUIRED SEE IBC 907  
SMOKE DETECTORS - INSTALL PER APPLICABLE CODES  
EXIT SIGNS - PROVIDE EXIT SIGNS PER IBC SECTION 1013  
FIRE EXTINGUISHERS - INSTALL PER NFPA 1 AND APPLICABLE LOCAL CODES

**DRAWING INDEX**

Sheet Number	Sheet Name
T1.0	COVER SHEET
C100	SITE PLAN
S1.0	FOUNDATION PLAN
D1.0	EXISTING/DEMO PLAN
A1.0	FLOOR PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A3.0	SECTIONS
A3.1	SECTIONS
A4.0	SCHEDULES
P1.0	PLUMBING PLAN
M2.1	HVAC PLAN
E001	ELECTRICAL DEMO PLAN
E301	ELECTRICAL SCHEDULES
E201	ELECTRICAL DETAILS
E102	ELECTRICAL POWER SYSTEMS PLAN
E101	ELECTRICAL LIGHTING PLAN

NOTE:  
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BUILDING ADDITION FOR:  
**DOOR COUNTY MAINTENANCE GARAGE**  
ADDRESS  
916 N. 14TH AVE., STURGEON BAY, WI 54235

**PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION**

ISSUE DATE	REVISIONS	ISSUE NO

JOB NUMBER  
22011

ED PROJECT MANAGER:  
K. KUEPER

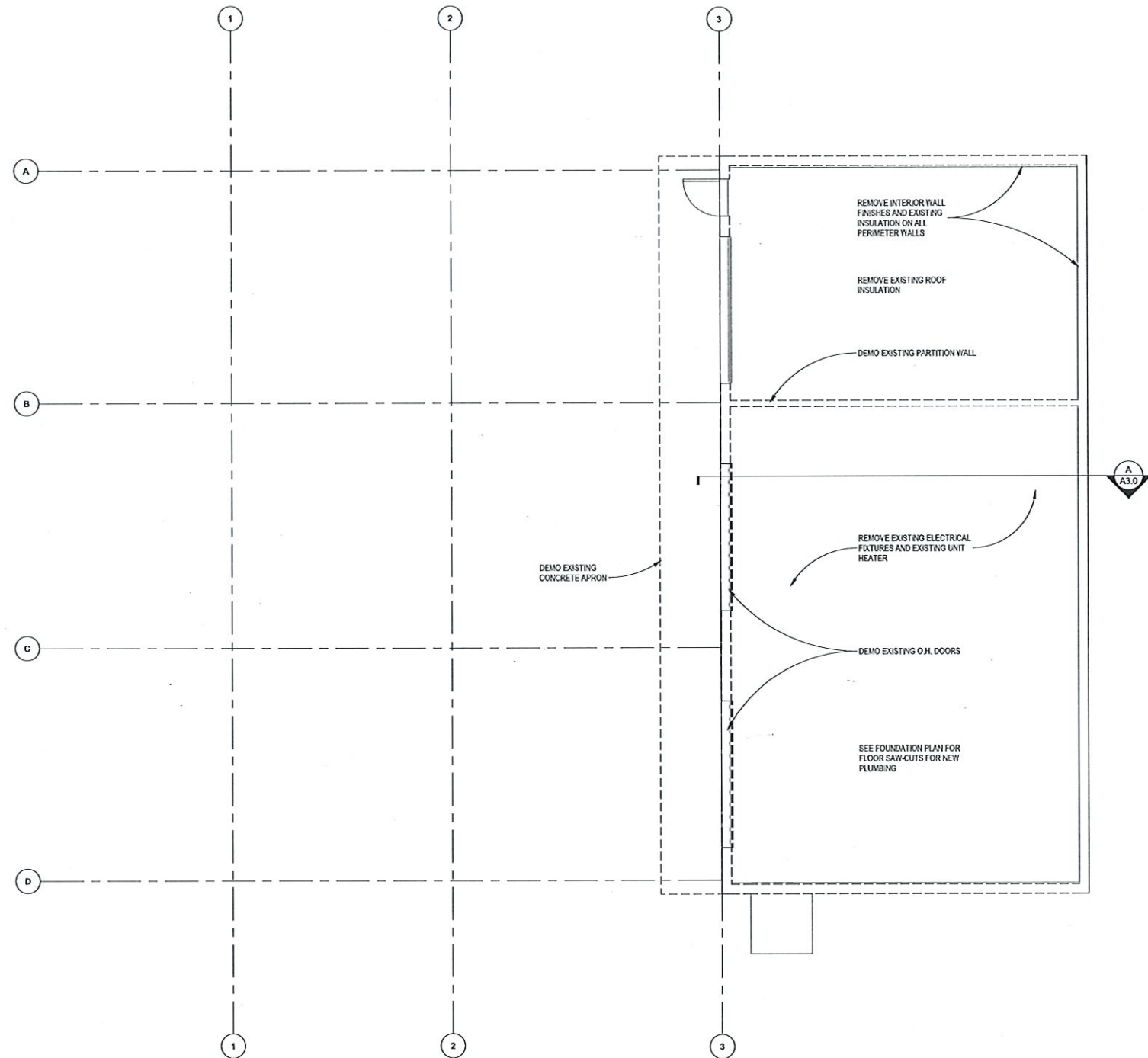
DATE:  
JULY 7, 2022

SHEET  
**T1.0**









EXISTING/DEMO  
SCALE: 3/16" = 1'-0"



BUILDING ADDITION FOR:  
**DOOR COUNTY  
MAINTENANCE GARAGE**  
ADDRESS  
916 N. 14TH AVE., STURGEON BAY, WI  
54235

**PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION**

ISSUE NO	REVISIONS	ISSUE DATE

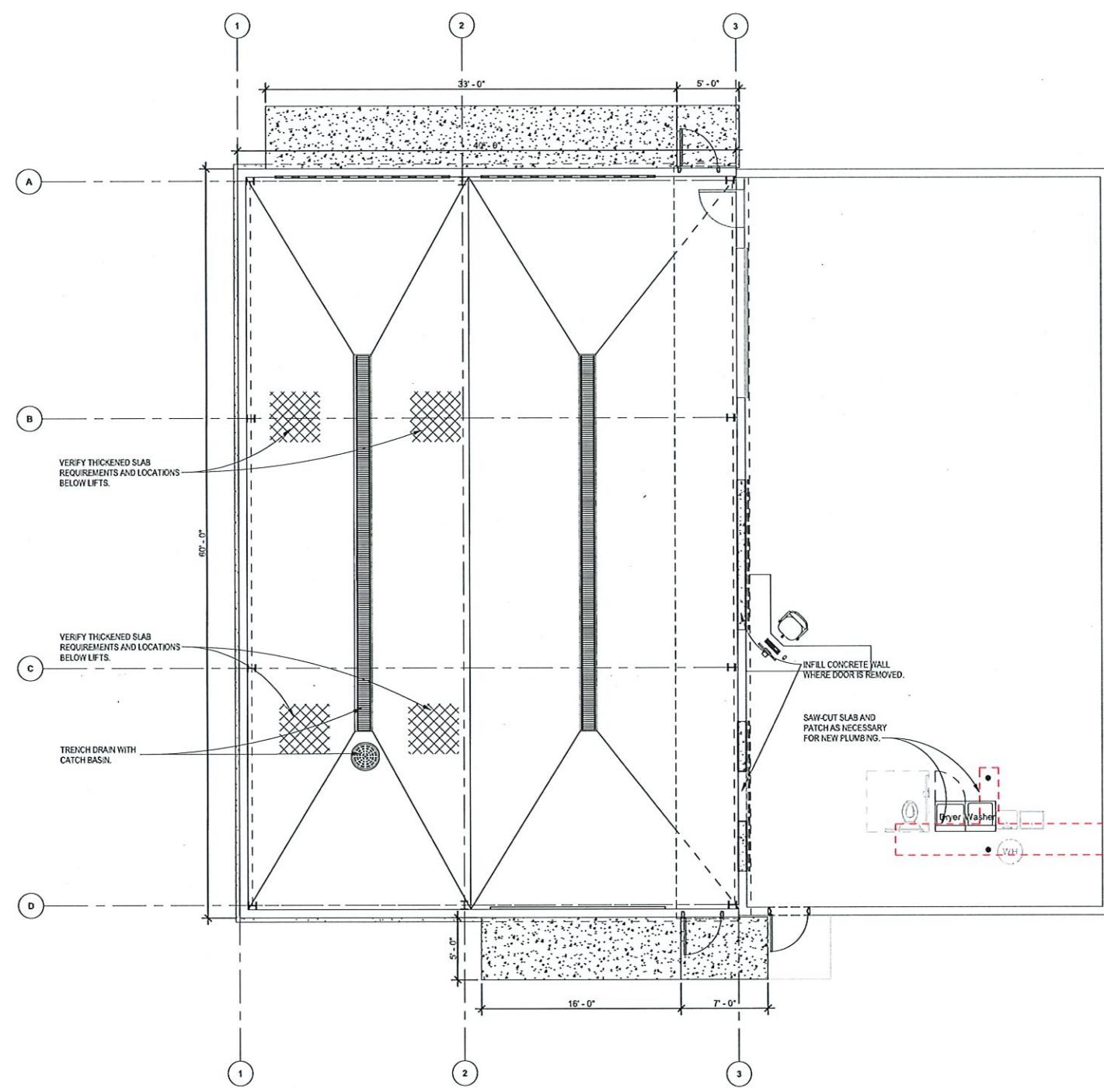
JOB NUMBER  
22011

LEO PROJECT MANAGER:  
K. KUEPER


DATE:  
JULY 7, 2022

SHEET  
**D1.0**





FOUNDATION PLAN  
SCALE: 3/16" = 1'-0"


  
 2637 Tulip Lane Green Bay, WI 54313  
 Phone: (920) 459-9288 Fax: (920) 469-6809  
 E-mail: info@IntegrityEngineering.biz

BUILDING ADDITION FOR:  
**DOOR COUNTY  
 MAINTENANCE GARAGE**  
 ADDRESS  
 916 N. 14TH AVE., STURGEON BAY, WI  
 54235

PRELIMINARY  
 DRAWINGS  
 NOT FOR  
 CONSTRUCTION

ISSUE NO	REVISIONS	ISSUE DATE

JOB NUMBER  
22011

ED PROJECT MANAGER:  
K. KUEPER

DATE:  
JULY 7, 2022

SHEET  
**S1.0**









**BUILDING ADDITION FOR:  
DOOR COUNTY  
MAINTENANCE GARAGE**

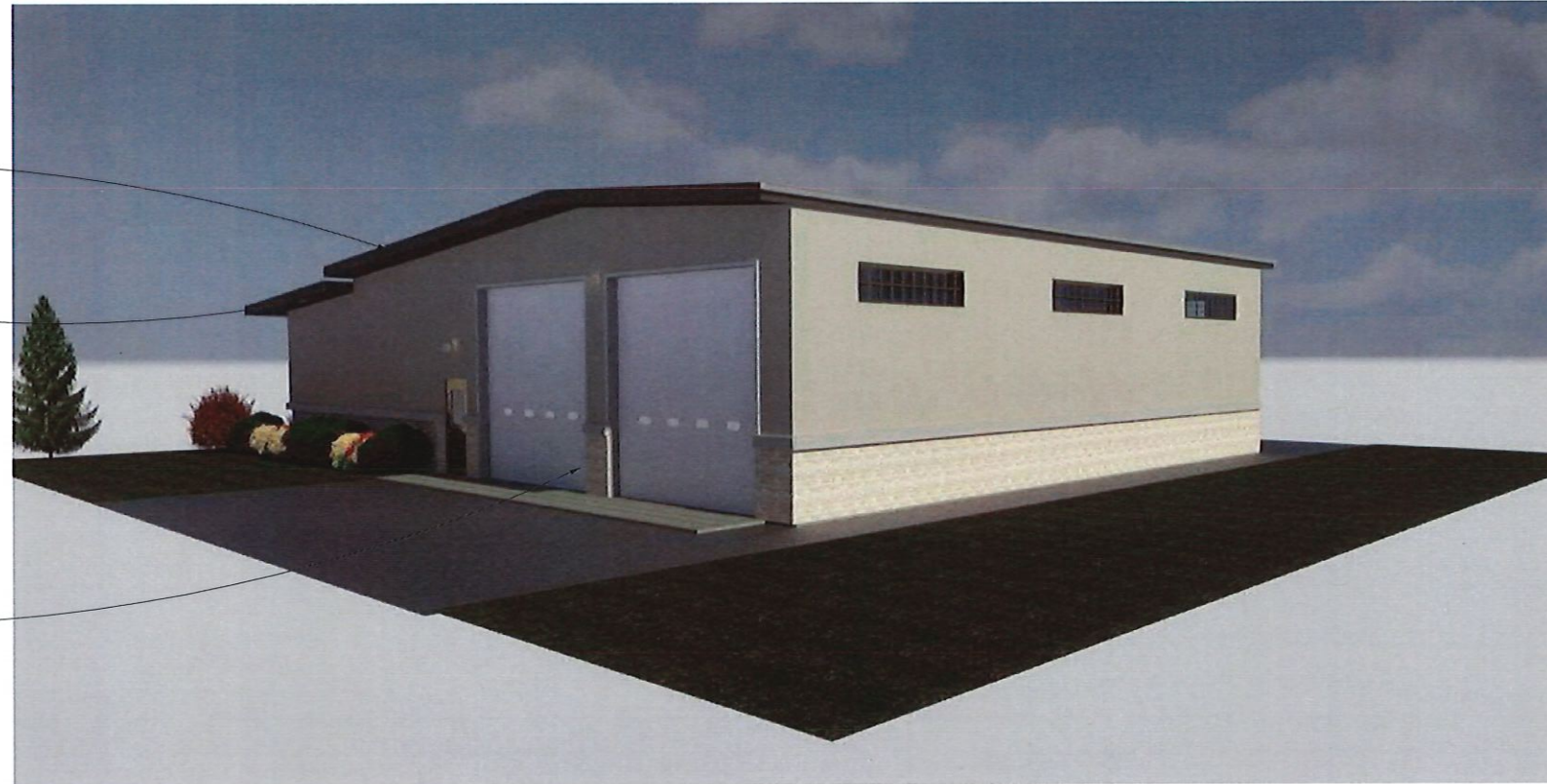
**ADDRESS**  
918 N. 14TH AVE., STURGEON BAY, WI  
54235

**PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION**

SHEET

## A2.0

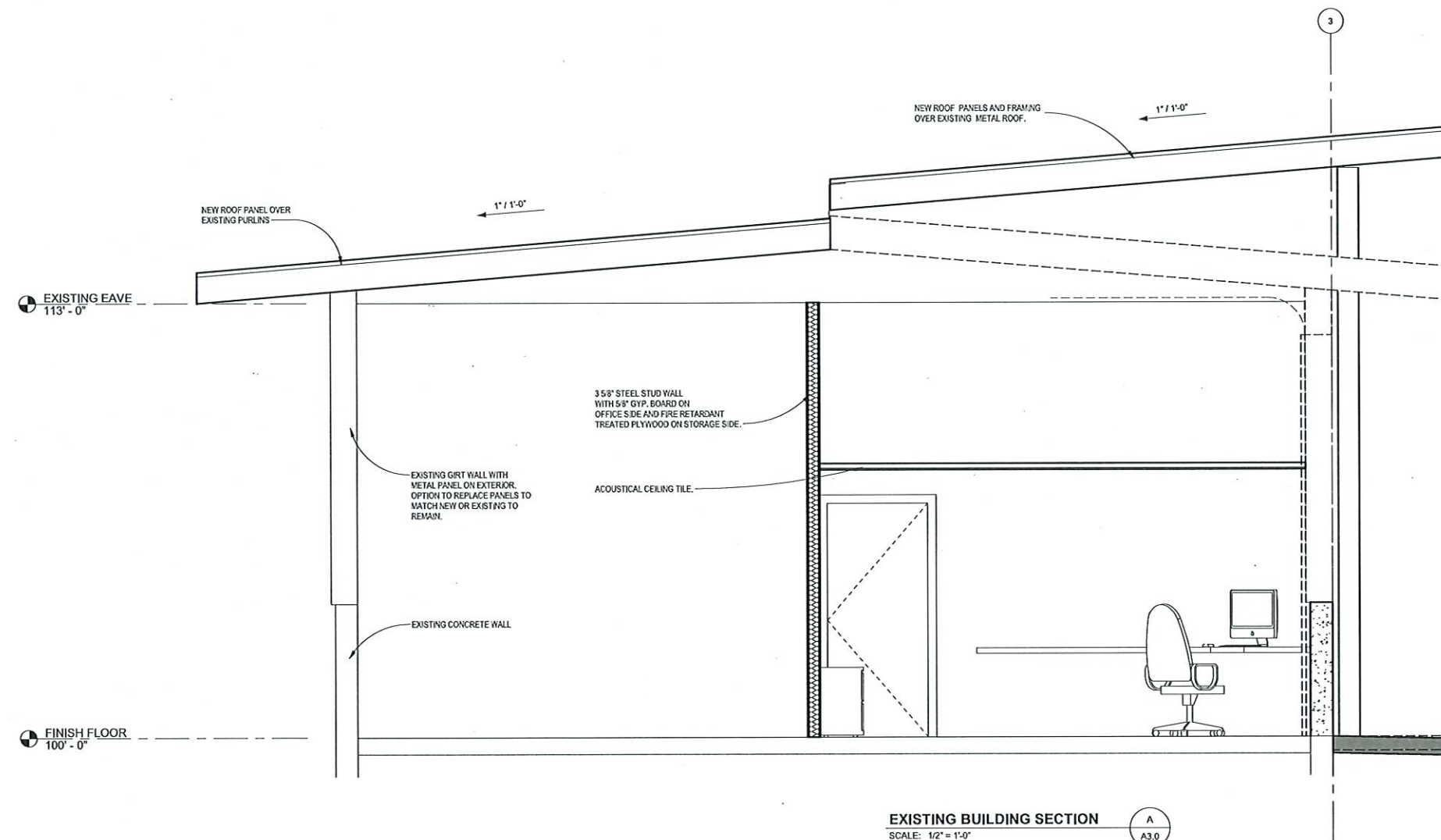




A photograph of a modern, single-story industrial building. The building has a light beige or off-white exterior wall and a dark brown, low-pitched roof. On the left side, there are several small, multi-paned windows. A large, white roll-up door is prominent on the right side of the building. Below the roll-up door, there are two smaller wooden doors. The building is situated on a dark, flat surface, possibly asphalt or concrete. The sky is a clear, bright blue.

A photograph of the University of Regina Library building. The building is constructed from light-colored stone blocks and features a series of windows of varying sizes. A prominent entrance on the right side is sheltered by a modern canopy with a flat orange roof supported by dark wooden beams. A tall flagpole stands in front of the building, and a paved parking lot with blue markings is visible in the foreground. The sky is blue with scattered clouds.





**EXISTING BUILDING SECTION**  
SCALE: 1/2" = 1'-0"

A  
A3.0

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E-mail: info@integrityengineering.biz

BUILDING ADDITION FOR:  
**DOOR COUNTY  
MAINTENANCE GARAGE**

ADDRESS  
916 N. 14TH AVE., STURGEON BAY, WI  
54235

**PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION**

ISSUE NO	REVISIONS	ISSUE DATE

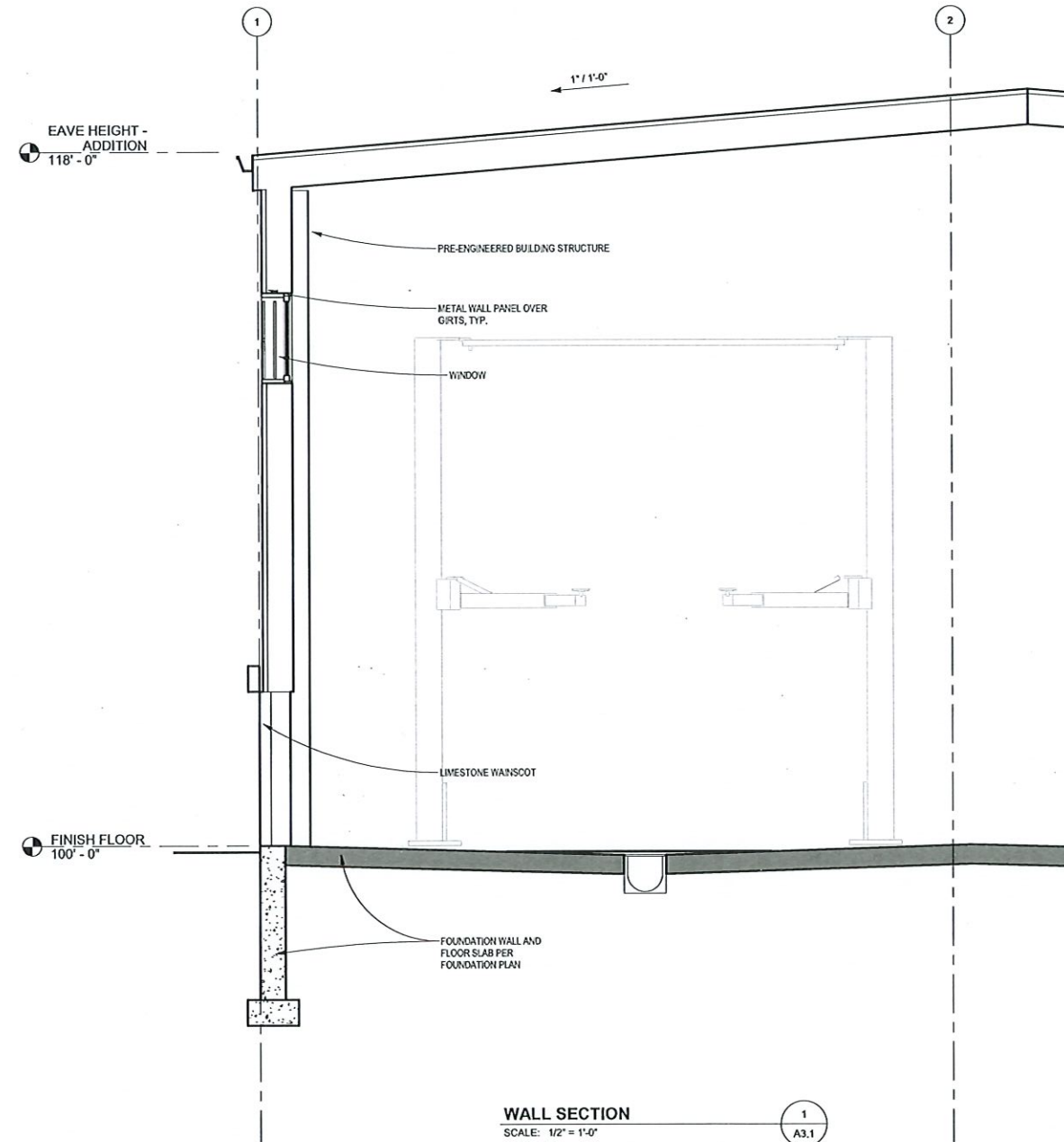
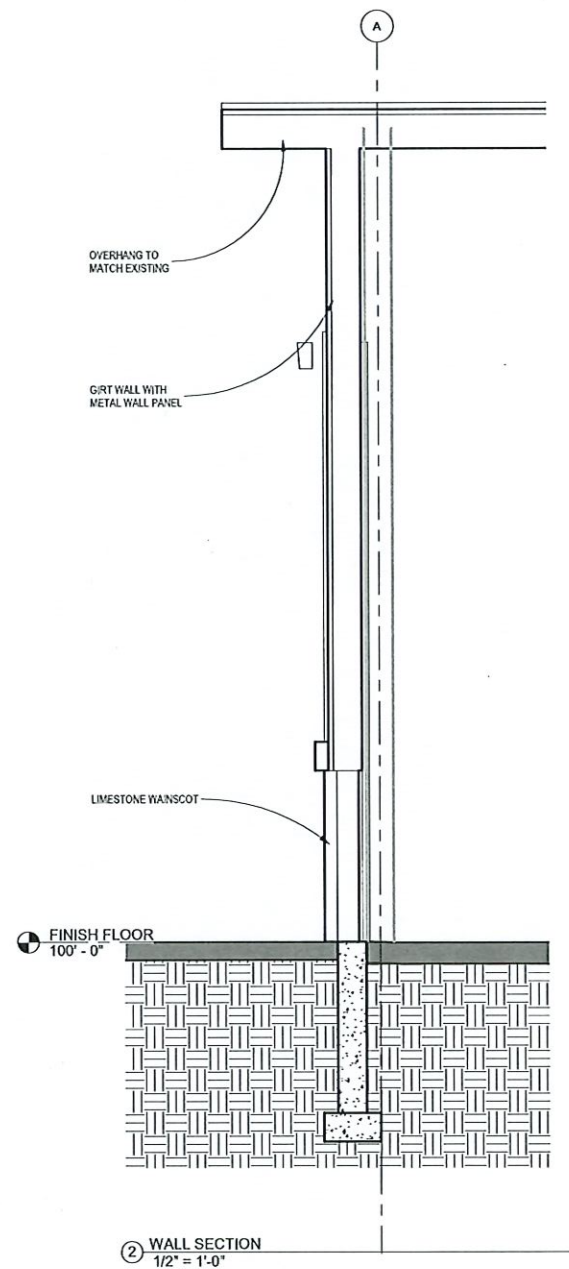
JOB NUMBER  
22011

LED PROJECT MANAGER:  
K. KUEPER

DATE:  
JULY 7, 2022

SHEET  
**A3.0**





BUILDING ADDITION FOR:  
**DOOR COUNTY  
 MAINTENANCE GARAGE**  
 ADDRESS  
 916 N. 14TH AVE., STURGEON BAY, WI  
 54235

PRELIMINARY  
 DRAWINGS  
 NOT FOR  
 CONSTRUCTION

ISSUE NO	REVISIONS	ISSUE DATE

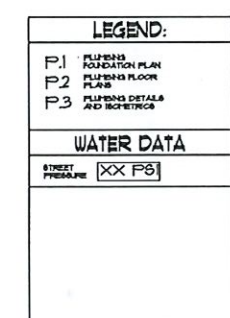
JOB NUMBER  
 22011

ED PROJECT MANAGER:  
 K. KUEPER

DATE:  
 JULY 7, 2022

SHEET  
**A3.1**





PRELIMINARY  
"SAFETY"  
CONSTRUCTION

[illegible]

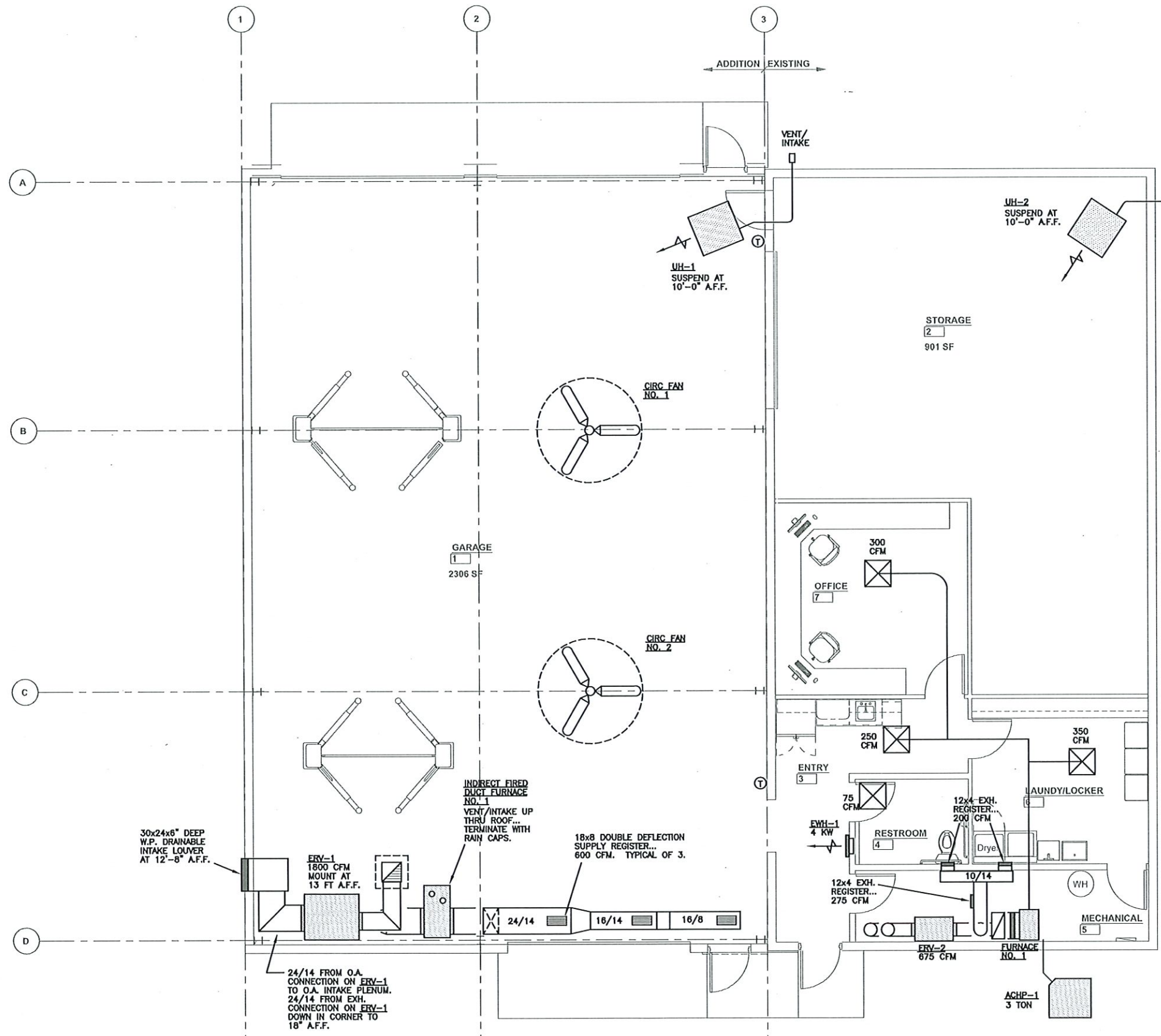
JOB NUMBER

IED PROJECT MANAGER:

DATE:

SHEET





# **FIRST FLOOR DUCTWORK PLAN**

SCALE: 1/4" = 1'-0"

BUILDING ADDITION FOR:  
**DOOR COUNTY  
MAINTENANCE GARAGE**

ADDRESS:  
916 N. 14TH AVE. - STURGEON BAY, WI 54235

**PRELIMINARY**

ISSUE NO	ISSUE DATE	REVISIONS

JOB NUMBER 22011

DRAWN BY JJF

DATE: JULY 8, 2022

SHEET M2.1







# COLORS & COATINGS

All Metl-Span colors are formulated to provide premium energy efficient solar reflectivity.

## STANDARD I EXTERIOR COLORS

Full-Strength 70% PVDF Fluoropolymer Coating



## STANDARD II EXTERIOR COLORS

Full-Strength 70% PVDF Fluoropolymer Coating



## PREMIUM I EXTERIOR COLORS

Full-Strength 70% PVDF Fluoropolymer Coating



## PREMIUM I EXTERIOR COLORS CONT.

Full-Strength 70% PVDF Fluoropolymer Coating



## PREMIUM II METALLIC & PEARLESCENT EXTERIOR COLORS

Full-Strength 70% PVDF Fluoropolymer Coating

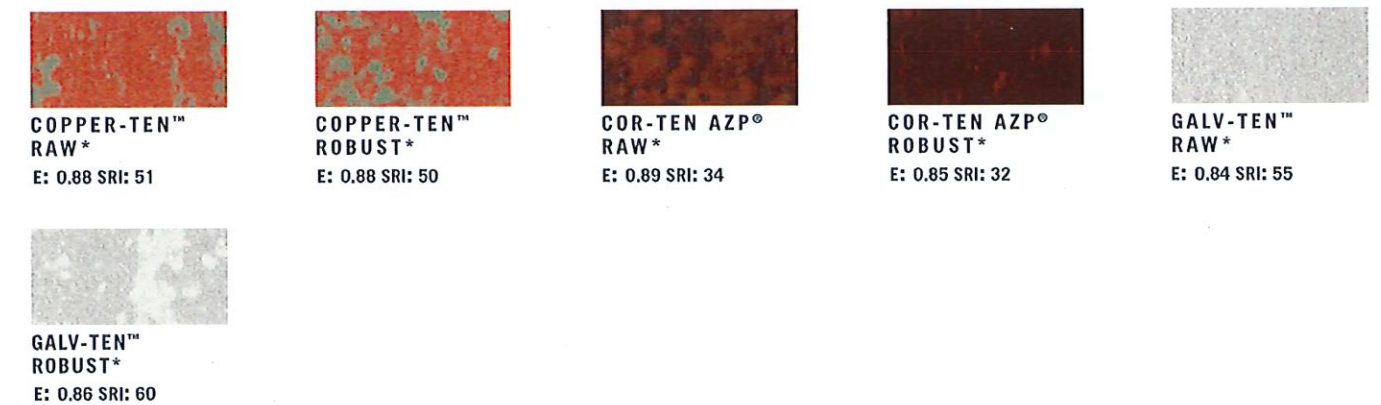


Metallic paint finishes have inherent characteristics exhibiting color shift, shade variances, striations and longitudinal patterning that are not a product defect or cause for rejection.

■ Requires a 3 coat color.

## PREMIUM III WEATHERED METAL

Full-Strength 70% PVDF Fluoropolymer Coating



Minimum purchase of 40k sq. ft for Premium III colors only.



## AURORA™ COLORS

### Kameleon® Full-Strength 70% PVDF Fluoropolymer Coating

Aurora colors are a pearlescent coating that provides a distinctive prismatic appearance when viewed from different orientations and in varying lighting conditions. This innovative and multicolored system incorporates mica flakes to create a vibrant iridescent look.



FADING ROSE  
E: 0.88 SRI: 38



LAVENDER  
ESSENCE  
E: 0.89 SRI: 25



SEA MINT  
E: 0.86 SRI: 46



COPPER  
FAIRWAY  
E: 0.88 SRI: 34



ELECTRIC SKY  
E: 0.88 SRI: 39

## TUFF COTE® EXTERIOR COLORS

### Tuff Cote® Fiber-Reinforced Polymer Coating – for Tuff Wall® or Tuff-Cast® Panels only



TEXTURED WHITE  
E: 0.86 SRI: 77



WARM LIMESTONE  
E: 0.87 SRI: 51



LIGHT STONE ■  
E: 0.84 SRI: 56



MEDIUM BEIGE  
E: 0.88 SRI: 40



SURREY BEIGE  
E: 0.88 SRI: 34



ANTIQUE BRONZE  
E: 0.87 SRI: 24



LIGHT GRAY  
E: 0.87 SRI: 36

## POLYESTER EXTERIOR COLOR

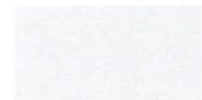
Igloo White is the standard interior color for all panels



IGLOO WHITE  
E: 0.86 SRI: 75

## STANDARD WEATHERXL® EXTERIOR COLORS

### Siliconized Polyester



WINTER WHITE  
E: 0.86 SRI: 81



LIGHT STONE ■  
E: 0.86 SRI: 65



ASH GRAY  
E: 0.86 SRI: 52

■ Light Stone SP does not match the Light Stone Tuff Cote® color offering

## PREMIUM WEATHERXL® EXTERIOR COLORS

### Siliconized Polyester



SOLAR WHITE  
E: 0.86 SRI: 86



CRIMSON RED  
E: 0.87 SRI: 33



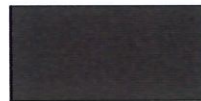
RUSTIC RED  
E: 0.86 SRI: 39



HAWAIIAN BLUE  
E: 0.86 SRI: 31



FERN GREEN\*  
E: 0.86 SRI: 29



BURNISHED SLATE  
E: 0.86 SRI: 35



CHARCOAL GRAY  
E: 0.86 SRI: 39



KOKO BROWN  
E: 0.86 SRI: 37



DESERT SAND  
E: 0.87 SRI: 47



SADDLE TAN  
E: 0.87 SRI: 53

## COLOR SYSTEMS



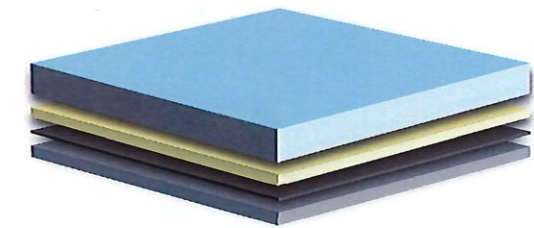
### Fluropon®, WeatherXL® and 2-Coat Color Systems:

1. 0.75 mil nominal Top Color Coat
2. 0.25 mil nominal Primer
3. Metal Substrate



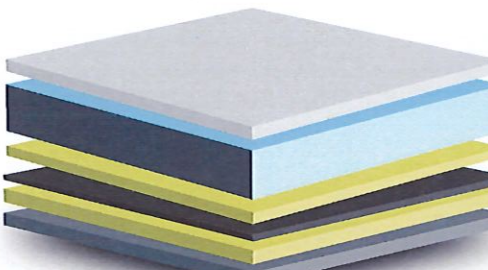
### 3-Coat Color System:

1. 0.50 mil nominal PVDF Clear Coat
2. 0.75 mil nominal PVDF Top Color Coat
3. 0.25 mil nominal Primer
4. Metal Substrate



### Polyester Color Systems:

1. 0.75 mil nominal Top Color Coat
2. 0.25 mil nominal Primer
3. Metal Substrate



### Kameleon® Color Systems:

1. 0.80 mil nominal PVDF Top Color Coat
2. 0.50 mil nominal PVDF Base Color Coat
3. 0.25 mil nominal Primer
4. Metal Substrate

\* Only available on an AZ-50 substrate

For color suitability, testing codes data and pricing, contact your local representative or visit [metlspan.com](http://metlspan.com) for more information. Pricing varies depending on colors, quantity and gauge. All colors shown are approximate to actual finish colors. Colors shown are for preliminary selection only. **Printed colors can vary from actual painted material, request a metal color chip prior to a final color selection.** Color warranties vary based upon color. Contact Metl-Span for full warranty information. Descriptions and specifications contained herein were in effect at the time this publication was approved for printing. In a continuing effort to refine and improve products, Metl-Span reserves the right to discontinue products at any time or change specifications and/or designs without incurring obligation. To ensure you have the latest information available, please inquire or visit our website at [metlspan.com](http://metlspan.com).

Metl-Span has 61 listings with (CRRC) Cool Roof Rating Council. Visit [coolroofs.org](http://coolroofs.org) to view color listings.

Metl-Span: All-In-One Performance

1720 Lakepointe Drive, Suite 101, Lewisville, Texas 75057 (p) 877.585.9969 (f) 972.420.9382 [metlspan.com](http://metlspan.com)

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PART# CICC1019





LED 52W Wall packs. 3 cutoff options. patent-pending thermal management system. 100,000 hour L70 lifespan. 5-year, no-compromise warranty.

Color: Bronze

Weight: 17.7 lbs

Project:

Type:

Prepared By:

Date:

#### Driver Info

Type	Constant Current
120V	0.51A
208V	0.33A
240V	0.29A
277V	0.24A
Input Watts	57.9W

#### LED Info

Watts	52W
Color Temp	5000K (Cool)
Color Accuracy	72 CRI
L70 Lifespan	100,000 Hours
Lumens	7,392
Efficacy	127.7 lm/W

## Technical Specifications

### Compliance

#### UL Listed:

Suitable for wet locations

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

### Performance

#### Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

### LED Characteristics

#### LEDs:

Two (2) multi-chip, high-output, long-life LEDs

#### Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

#### Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

#### Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

### Construction

#### Ambient Temperature:

Suitable for use in up to 40°C (104°F)

#### Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

#### Housing:

Precision die-cast aluminum housing, lens frame

#### Mounting:

Die-cast aluminum wall bracket with (5) 1/2" conduit openings with plugs. Two-piece bracket with tether for ease of installation and wiring.

#### Arm:

Die-cast aluminum with wiring access plate

#### Cutoff:

Standard (15°)

#### Reflector:

Specular vacuum-metallized polycarbonate



## Technical Specifications (continued)

### Construction

#### Gaskets:

High-temperature silicone

#### Lens:

Tempered glass

#### Finish:

Formulated for high durability and long-lasting color

#### Green Technology:

Mercury and UV free. RoHS-compliant components.

### Electrical

#### Driver:

Constant Current, 720mA, Class 2, 100 - 277V, 50 - 60 Hz, 100 - 277VAC .8 Amps.

#### THD:

7.64% at 120V, 5.72% at 277V

#### Power Factor:

99.1% at 120V, 97.5% at 277V

#### Surge Protection:

6kV

### Other

#### Equivalency:

Equivalent to 250W Metal Halide

#### Patents:

The WPLED design is protected by patents in the U.S. Pat D653,377, Canada Pat. 142252, China Pat. ZL201130356930.8, and Mexico Pat. 36921 and pending patent in TW.

### Replacement:

Replaces 250W HID

### Buy American Act Compliance:

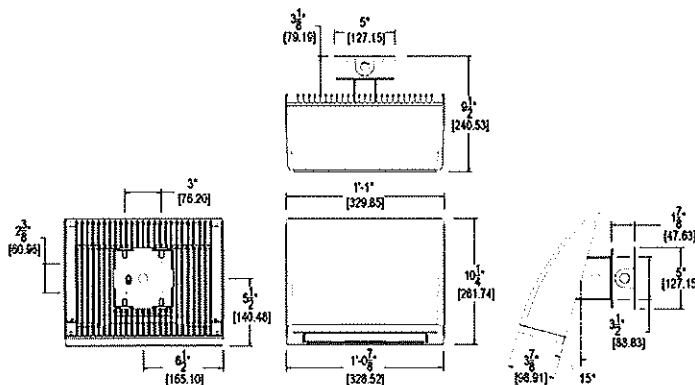
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

### Optical

#### BUG Rating:

B0 U2 G3

## Dimensions



## Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 250W MH
- Traditional wall pack look from the front
- 3 cutoff options
- 5-Year, No-Compromise Warranty

## Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options	Other Options
WPLED		52					
	Blank = Standard (15 degrees) C = Cutoff (7.5 degrees) FC = Full Cutoff (0 degrees)	52 = 52W 80 = 80W	Blank = 5000K Cool N = 4000K Neutral Y = 3000K Warm	Blank = Bronze W = White	Blank = 120-277V /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming	Blank = No Option /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /LC = Lightcloud* Controller	USA = BAA Compliant Blank = Standard



