

**AGENDA
CITY OF STURGEON BAY
AESTHETIC DESIGN & SITE PLAN REVIEW BOARD**

Monday, June 27, 2022

6:00 p.m.

Council Chambers, City Hall
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from May 23, 2022.
4. Consideration of: 96-unit multiple-family development located at parcel #281-66-12001605 (east of Target) for Premier SB Duluth Ave, LLC.
5. Consideration of: 100' x 100' building addition and awning for Midwest Wire Products located at 615 S. Lansing Ave.
6. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Notice is hereby given that a majority of the Common Council may be present at this meeting to gather information about a subject over which they have decision-making responsibility. If a quorum of the Common Council does attend, this may constitute a meeting of the Common Council and is noticed as such, although the Common Council will not take any formal action at this meeting.

Committee members

Thad Birmingham

Nancy Schopf

Mark Struck

Dave Augustson

Kelsey Fox

Rick Weisner

Pam Jorns

June 22, 2022

2:30 p.m.

CS

3

3

AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD

Monday, May 23, 2022

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:02 p.m. by Chairperson Rick Weisner in the Council Chambers, City Hall, 421 Michigan Street.

Roll Call: Members Rick Weisner, Jon Burk, Dave Augustson, and Kelsey Fox were present. Mark Struck, Pam Jorns and Cheryl Frank were excused. Also present were Planner/Zoning Administrator Christopher Sullivan-Robinson and Community Development Administrative Assistant Cindy Sommer.

Adoption of Agenda: Moved by Mr. Augustson, seconded by Mr. Burk to adopt the following agenda.

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from April 25, 2022.
4. Approval of minutes from May 9, 2022.
5. Consideration of: 26-unit multi-family development for S.C. Swiderski located at 827 N. 8th Avenue.
6. Adjourn.

All ayes. Carried.

Approval of minutes from April 25, 2022: Kelsey fox indicated that she was not at the April 25 meeting and the minutes should be amended. Moved by Mr. Burk, seconded by Mr. Augustson to approve the minutes with the correction. All ayes. Carried.

Approval of minutes from May 9, 2022: Moved by Ms. Fox, seconded by Mr. Burk to approve the minutes. All ayes. Carried.

Consideration of: 26-unit multi-family development for S.C. Swiderski located at 827 N. 8th Avenue. Jacqui McElroy, Kortni Wolf and Madeline Clark, representatives from S.C. Swiderski, put on a presentation explaining their proposal for Sunset Estates, a 26-unit multi-family development at 827 N. 8th Avenue. There will be two different buildings types, Bedford and Huntington, with an enclosed dumpster and mail buildings. Entrances will be off of Delaware and Erie Streets and will have a community garden and patio location. The property has been rezoned to PUD. Apartments will consist of two- and three-bedroom units with ample parking. Finishes were displayed and will consist of cedar shake shingles on the front of Bedford buildings, windows on the garages and landscaping between them. Patios will have dividers for privacy. Entrances will be covered, which was requested by the City. The mail building will be covered. There are two signs. The dumpster will be enclosed with cedar fencing. Interior and exterior fixtures were all shown in the presentation.

Mr. Weisner questioned if there would only be one dumpster area. Ms. Clark explained that the dumpster will be for the Huntington buildings and the Bedford buildings will use city garbage pickup.

Mr. Augustson questioned the number of signs. Ms. Clark explained there will be one by Delaware Street and one by Eric Street at the entrances. Mr. Sullivan-Robinson questioned why they are shown parallel to the street rather than perpendicular. Ms. Clark explained they are one-sided signs and they are more visible when parallel so both traffic directions can see it. Mr. Weisner questioned if the signs would be lighted and Ms. Clark explained they will not.

Mr. Weisner questioned if the lights are LED and who is responsible for changing them. Ms. Clark explained that interior lights will be replaced by tenants but outdoor lights will be replaced by maintenance.

There is a property manager on site at their existing development who will also manage these buildings. Tenants are only responsible for electric usage. All other utilities are paid by Swiderski, including heat, which will be hydronic.

Mr. Weisner questioned if snow will be removed or piled up. Ms. Clark explained that areas have been designated for snow placement and removal.

Mr. Weisner questioned if retention ponds are needed. Mr. Sullivan-Robinson indicated that no ponds are needed. Ms. Clark further explained that there is a storm water basin under the Huntington buildings.

Mr. Sullivan-Robinson questioned the use and placement of trees. It was explained that the landscape plan shows the correct placement and use of trees. Mr. Sullivan-Robinson explained that the City doesn't particularly like Japanese lilac or Red Oak trees and they will need to choose native species when taking out the permits for trees.

Mr. Weisner questioned if Swiderski plans to keep the buildings or resell at a later date. Ms. Clark explained that they keep them as a general plan, which is why they keep up the maintenance and why the aesthetic details are important.

Mr. Weisner questioned the use of low flow toilets. Ms. Clark, Wolf and McElroy all believe they are low flow; they have a team that looks into ways to be more efficient, which is why they also use hydronic heat and do not charge tenants for heat. A/C will be wall units.

Moved by Mr. Burk to accept as presented. Seconded by Mr. Augustson. All ayes. Carried.

Adjourn: Moved by Mr. Augustson, seconded by Mr. Burk to adjourn. All ayes. Carried. The meeting adjourned at 6:18 p.m.

Respectfully submitted,



Cindy Sommer
Community Development
Administrative Assistant



MEMO

To: Aesthetic Design and Site Plan Review Board

From: Christopher Sullivan-Robinson

Date: June 22, 2022

Subject: Premier SB Duluth Ave Project Review

Proposal: Pre / 3 LLC is petitioning the City to approve a 96-unit multifamily apartment project to be located on parcel # 281-66-12001605. The development includes the constructions of eight 12-unit apartment buildings with attached garages.

Existing Conditions: The subject property is vacant and located just east of Target retail store within the 400 block of S Duluth Ave. The area of the parcel is 12.6 acres. It has a shared drive with Target along the north end of the site connecting to S Duluth Ave. And, there is a private road that runs along the south property line connecting to Target and S Duluth Ave.

Site Plan and Design Considerations: The following is a summary of the major site and design related analysis:

Building Layout: The buildings are laid out to follow a circulatory driveway. Three buildings sit north/south and five buildings sit east / west with the garages facing each other. A large green space is located in the center of the property which will be utilized for stormwater management retention area. There will also be an office and garage structure located on the east end of the property. Garbage enclosures will be located on the east and west ends of the site off the proposed interior driveways.

Driveway access: The proposed parking lots and interior drives will connect to the existing access driveway in two locations and to the south private road in on location.

Building Design: These buildings are 2-story and "H" shaped with garages on each end. The dimensions are 146 feet x 88 feet x 26 Height. The exterior of the building consists of a brick veneer, horizontal siding, and asphalt shingles. Dormers are proposed on the apartments above the garage stalls. Eyebrow rooflines are shown between the first and second floor of the building. Second floor porches and first floor patios and covered entryways are shown on the plan. Windows are spaced out on all sides of the buildings so natural lighting shouldn't be an issue.

Material / Colors: Included in your packet along with images of the finished building.

Parking: A total of 198 parking spaces are provided. 96 spaces are one stall garages and 102 spaces are surface stalls. The parking lot proposal meets the zoning code. A total of 17 canopy trees are required for the parking areas.

Pedestrian: Sidewalks are shown leading from the building leading to the parking areas. In addition a sidewalk is shown per the condition of the Plan Commission leading from Duluth at the northeast corner to the first driveway.

Traffic: A transportation impact analysis has not been required by the City Engineer at this time. There are no traffic concerns identified by City Staff.

Utilities: The property will be serviced by existing water and sewer main along the north driveway. Buildings located adjacent to the north driveway will have laterals directly off the existing mains. Building along the south end of the property will require a sewer and water to be extended. See the utility plan for more detail. Sturgeon Bay Utilities is supportive of the proposed layout with some minor changes which won't affect the layout.

Stormwater Management: The stormwater management plan has had its initial review by the City Engineer with several comments provided. Those revisions appear to have incorporated into the new plan set; however, final approval of the plan will be required prior to issuance of any permits. The center green space will contain a storm retention area with a network of private storm sewer leading to the City storm sewer line along the south driveway.

Landscaping: The land scape plan includes planting beds on two sides of the multifamily buildings, around the office / garage, and around the mailroom structure. Additional plantings will be located around the new ground sign off of S Duluth Ave. The plan includes Goldfinger Potentilla, Hetz Midget Arborvitae, Bluemuffin Arrowwood Viburnum, Gold Flame Spirea, and Stella D' Oro Dwarf Day Lilly. A line of trees will be planted along the north driveway, at the ends of the west parking lots and screening along the east property line from the residential properties. The species include Basswood, Black Hills Spruce, Silver Maple, White Oak, and Service Berry. No trees are proposed along the south property line due to an existing utility easement.

Lighting: No lighting plan has been provided. However, the do identify coach lights will be used.

Refuse: Two dumpsters are proposed. No detail has been provided besides the location on the site plan. Generally, the committee has required these to be screened from view either with fencing or vegetation.

Recreation Facilities: The property owner is proposing a gazebo to be located in the center green area. No details have been provided for this.

Conditional Use Approval: The Plan Commission did approve the use on June 1, 2022 with the following conditions:

- A walkway from the northeasterly driveway to the street frontage off of Duluth Ave
- Approval from the Aesthetic Design and Site Plan Review Board
- Final stormwater management approval from the City Engineer

- Easements must be obtained for public utilizes per City specification
- Tree species be changed to more common and sustainable species to this region
- A designated area must be provided on site for pets if the development allows pets

Recommendation: Approve as the development proposal as presented subject to the following:

1. Final approval of the storm water management plan from the City Engineer.
2. All proposed lighting must be downward directed and contained within the property. It is recommended to use recessed fixtures or shielding.
3. Design of the Gazebo and refuse areas to be approved by the Chairman.

CITY OF STURGEON BAY

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

APPLICATION FOR **CERTIFICATE OF APPROPRIATENESS**

Name: Sturgeon Bay Multi-Family

Owner of Premises: PREMIER SB DULUTH AVE LLC.

Address or Legal Description of Premises:

See attached Legal Description

Statement of Specific Item Requested for Approval:

Seeking approval of the design of a 96-unit multifamily development located at parcel 281-66-1201605 including the following:

1. Building Design
2. Site layout/grading (No light poles or signs
3. PARKING / ACCESS on SB PARCEL)
4. STORMWATER
5. Landscaping
6. Materials & colors

6/8/2022
Date

[Signature]
Applicant

Date Received: _____

Staff Signature: _____

Date Approved/Denied: _____

Aesthetic Design and Site Plan Review Board: Checklist

The applicant or architect will need to attend the Aesthetic Design and Site Plan Review Board meeting and is expected to give a presentation/summary on the various project elements listed below, answer questions, and make modifications to the design per committee conditions. The submittal must include all applicable items listed below.

☒ SITE PLAN including the following:

- Lot lines and dimensions shown and labeled
- Existing and proposed building footprints
- Existing and proposed parking areas and access driveways
- Existing and proposed sidewalks, stairways, ramps, etc.
- Any other defined areas within the project area

☒ GRADING, DEMOLITION, AND UTILITY PLAN including the following:

- Existing and proposed final grades
- All structures and materials to be removed from the site
- Existing and proposed electric, water, sewer services, and all other abutting infrastructure

☒ STORMWATER MANAGEMENT PLAN including the following:

- Water flow directionality
- Defined drainage areas with elevation lines
- All stormwater and erosion control measures

☒ COLORED BUILDING RENDERINGS & ELEVATIONS including the following:

- All proposed structures illustrated from all directions
- All materials and depictions accurately shown and labeled

☒ LANDSCAPE PLAN including the following:

- All proposed plants and landscaped areas
- All landscape materials labeled
- All plant types and species identified with sizes at the time of planting and at full maturity

☒ LIGHTING PLAN including the following:

- All light fixtures shown with light intensities measured to the property lines
- Light fixture product specifications
- Types of light bulbs and wattage / lumen's identified

☒ SIGNAGE PLAN including the following:

- Signage renderings shown from all directions, including dimensions of the sign and fascia
- Night rendering
- Site plan showing location on the lot with setbacks labeled

☒ MATERIAL LIST including the following:

- Parking lots, access driveways, plants and landscaped areas, lighting, signage, and building exterior.
- Specific colors for all materials, samples, and specifications.

Map

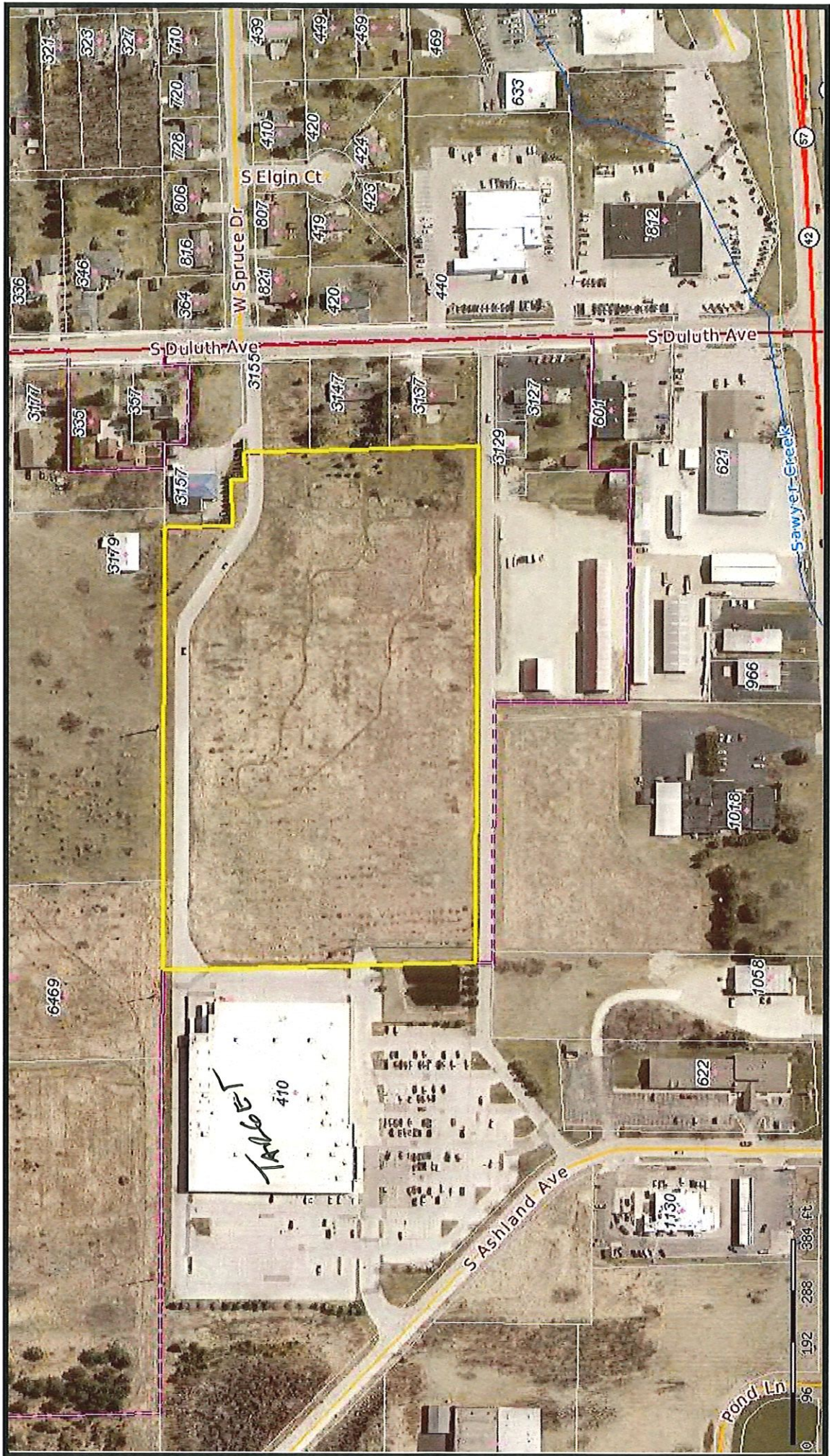
Printed 06/22/2022 courtesy of Door County Land Information Office



Door County can not and does not make any representation regarding the accuracy or completeness, timeliness or appropriateness of the information displayed on this map. The user of this information assumes any and all risks associated with this information. Door County makes no warranty or representation, either express or implied, as to the accuracy, completeness, or fitness for a particular purpose of this information. The Web Map is only a compilation of information and is NOT to be considered a legally recorded map or a legal land survey to be relied upon.

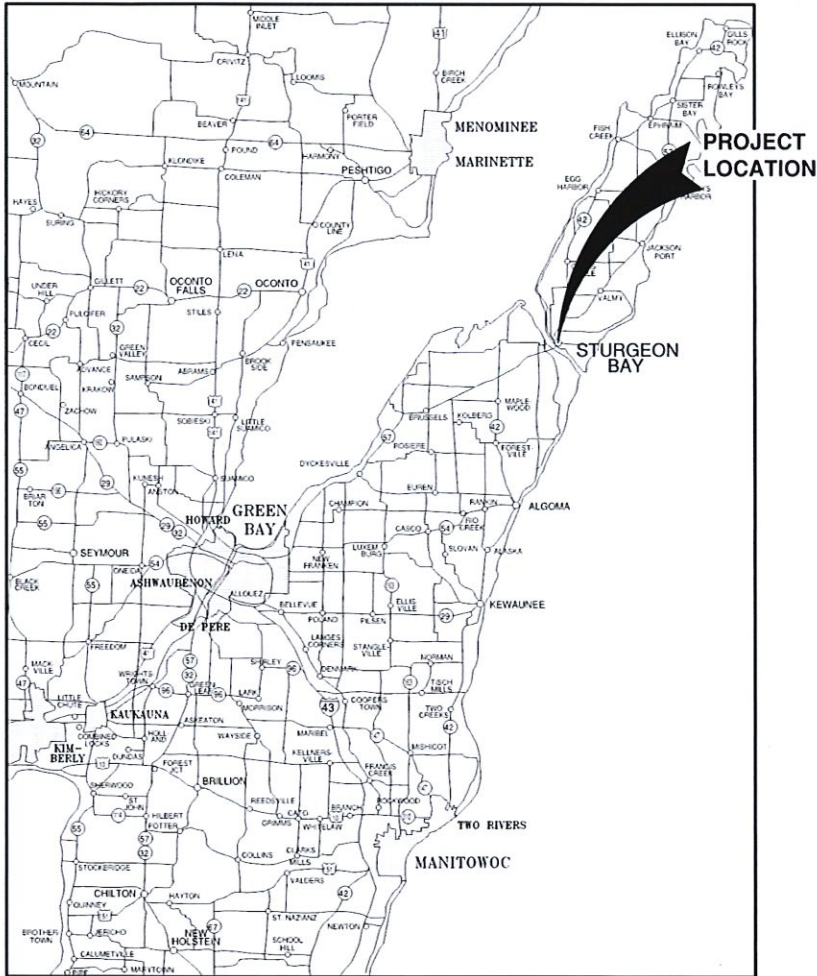


... from the Web Map of ...
(/www.co.door.wi.gov)
Door County, Wisconsin
... for all seasons!



STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



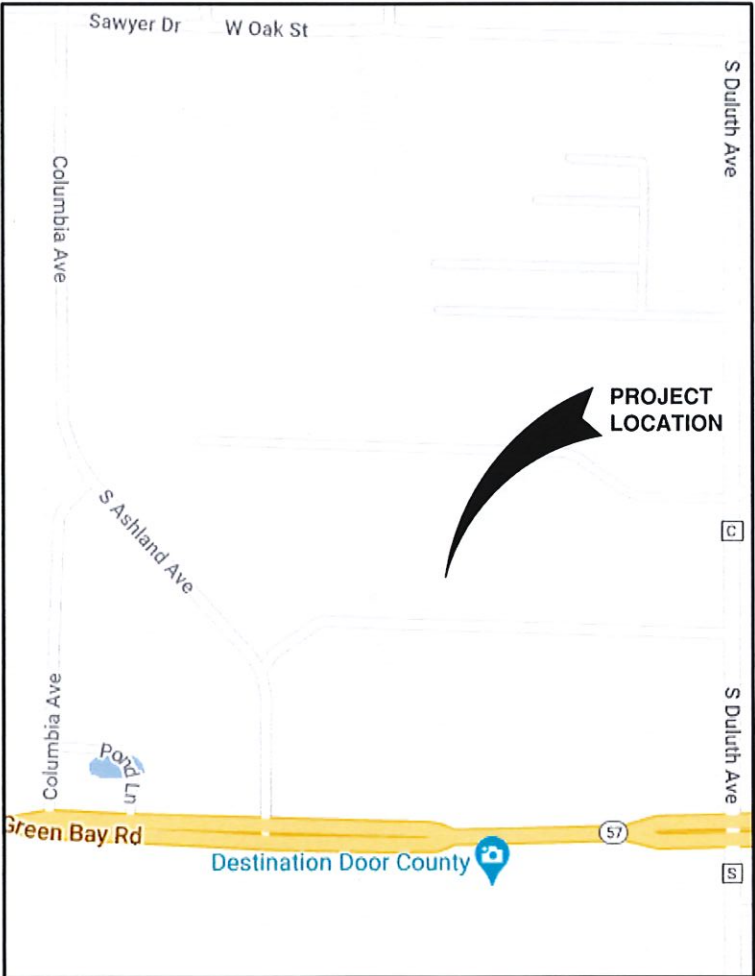
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES.
WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY
OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO
EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL CONFORM TO THE WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION SITE EROSION CONTROL
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	SITE INFORMATION
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	WATER AND SANITARY SEWER PLAN
5	STORM SEWER PLAN
6	GRADING PLAN
7	EROSION CONTROL PLAN
8	MISCELLANEOUS DETAILS
9	MISCELLANEOUS DETAILS
10	MISCELLANEOUS DETAILS
11	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
12	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
13	EROSION CONTROL - DITCH CHECK DETAILS
14	EROSION CONTROL - SHEET FLOW DETAILS
15	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
16	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
17	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
L1	BUILDING LANDSCAPE PLAN
L2	OVERALL LANDSCAPING PLAN
P	POND PLAN
P1	STA. 0+00 TO STA. 5+00
P2	STA. 5+00 TO 10+00
P3	STA. 10+00 TO 14+67.40
P4	SANITARY SEWER STA. 0+00 TO STA. 2+66.81



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT	STURGEON BAY MULTI-FAMILY DEVELOPMENT FOR NICOLET LUMBER COMPANY CITY OF STURGEON BAY DOOR COUNTY, WISCONSIN	LOCATION MAPS AND INDEX TO DRAWINGS	DATE 07/2021 FILE 37670029C JOB NO. 3767009	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-9641 www.releeinc.com	SHEET NO. C
								CHECKED					
								DESIGNED					
								BLT					

CONTRACTOR INFORMATION:

NICOLET LUMBER COMPANY
405 NICOLET DRIVE
GREEN BAY, WI 54311

(920) 866-2629

CONTACT: DENNIS HERMANS

OWNER INFORMATION:

PREMIER WATERFORD, LLC
3120 GATEWAY ROAD
BROOKFIELD, WI 53045

262-790-4560

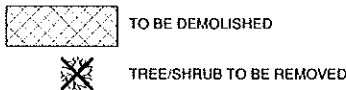
CONTACT: CHRISTOPHER SLATER

LEGEND

	FIRE HYDRANT		POWER POLE		DECIDUOUS TREE
	WATER VALVE/CURB STOP		POWER POLE W/GUY WIRE		CONIFEROUS TREE
	WATER MANHOLE		LIGHT POLE		BUSH
	REDUCER/INCRASER		TRAFFIC SIGNAL POLE		RIP RAP
	SANITARY MANHOLE		ELECTRIC MANHOLE		CULVERT
	AIR RELIEF MANHOLE		ELECTRIC METER		WETLANDS
	STORM MANHOLE		TELEPHONE MANHOLE		HANDICAP PARKING
	OPEN STORM MANHOLE		TELEPHONE PEDESTAL		
	STORM INLET		CABLE TV MANHOLE		
	STORM INLET MANHOLE		CABLE TV PEDESTAL		
	TANK COVER		GAS VALVE		
	SOIL BORING		GAS METER		
	POST		MAILBOX		
	IRON PIPE/ROD		SIGN		
	PK NAIL		BOLLARD		

	EDGE OF ASPHALT		SANITARY SEWER (SIZE NOTED)
	EDGE OF GRAVEL		FORCEMAIN (SIZE NOTED)
	CURB & GUTTER		STORM SEWER (SIZE NOTED)
	TREE/BRUSH LINE		WATERMAIN (SIZE NOTED)
	CONTOUR LINE		GAS LINE
	RETAINING WALL		OVERHEAD TELEPHONE LINE
	GUARD RAIL		UNDERGROUND TELEPHONE LINE
	FENCE		OVERHEAD ELECTRIC LINE
			UNDERGROUND ELECTRIC LINE
			OVERHEAD CABLE TV LINE
			CABLE TV LINE
			FIBER OPTIC LINE
			R/W LINE
			PROPERTY LINE
			EASEMENT LINE
			BUILDING SETBACK LINE
			SECTION LINE

GR. GRAVEL	WM WATERMAIN	VPC VERTICAL POINT OF CURVATURE	B-B BACK TO BACK (OF CURB)
BIT. BITUMINOUS	HYD. HYDRANT	VPI VERTICAL POINT OF INTERSECTION	F-F FACE TO FACE (OF CURB)
ASPH. ASPHALT	WV WATER VALVE	VPT VERTICAL POINT OF TANGENCY	R/W RIGHT OF WAY
CONC. CONCRETE	SAN SANITARY SEWER	PC POINT OF CURVATURE	T/C TOP OF CURB
SW SIDEWALK	MH MANHOLE	PI POINT OF INTERSECTION	FL FLOW LINE
BLOG BUILDING	ST STORM SEWER	PT POINT OF TANGENCY	C/L CENTERLINE
HSE HOUSE	CB CATCH BASIN	R RADIUS	R/L REFERENCE LINE
PED PEDESTAL	TELE TELEPHONE	EX EXISTING	INV. INVERT
PP POWER POLE	ELEC ELECTRIC	PR PROPOSED	CMP CORRUGATED METAL PIPE
LP LIGHT POLE	TV TELEVISION	EOR END OF RADIUS	RCP REINFORCED CONCRETE PIPE
BM BENCH MARK	STA. STATION	BOC BACK OF CURB	CULV. CULVERT



DEMOLITION NOTES

- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
- ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
- DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.

LEGAL DESCRIPTION

The land referred to herein is described as follows:

Parcel 1

All of Lot One (1) and part of Lot Two (2), of Volume 4 Certified Survey Maps, Page 302, Map No. 812, recorded as Document No. 577103, being a part of the Southeast 1/4 of the Southeast 1/4 of Section Twelve Township Twenty-seven (27) North, Range Twenty-five (25) East, in the City of Sturgeon Bay, Door County, Wisconsin, described as follows:
Commencing at the East Quarter (1/4) corner of said Section Twelve (12); Township Twenty-seven (27) North, Range Twenty-five (25) East; thence South, One Thousand Four Hundred Sixty-seven and 17/100 (1467.17) feet along the east line of the Southeast Quarter (SE1/4) of said Section Twelve (12), said line also being the centerline of Duluth Avenue (C.T.H. "C"); thence South 89°56'21" West, One Hundred Ninety-nine and 88/100 (199.88) feet to the point of beginning of lands to be described; thence South Four Hundred Thirty-six and 59/100 (436.59) feet to the North line of a Thirty-three (33) foot easement as described in Volume 9, Page 480 of Quit Claim Deeds; thence North 88°07'50" West, Nine Hundred Sixty-three and 66/100 (963.66) feet along the North line of said easement, thence North 00°24'36" East, Five Hundred Eighty-eight and 26/100 feet along the west line of the East Thirty-five (35) acres of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of said Section Twelve (12), Township Twenty-seven (27) North, Range Twenty-five East; thence South 88°00'39" East, Eight Hundred Twenty-four and 20/100 (824.20) feet along the north line of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of said Section Twelve (12), Township Twenty-seven (27) North, Range Twenty-five (25) East; thence South 00°09'05" East, One Hundred Twenty-eight and 58/100 (128.58) feet; thence South 89°56'20" East, Eighty-four and 94/100 (84.94) feet; thence South 00°26'08" East, Twenty-five and 86/100 (25.86) feet thence North 89°56'21" East, Forty-nine and 76/100 (49.76) feet to the point of beginning; together with Ingress/Egress easement as contained in Quit Claim Deed dated 03/31/1917, recorded 04/04/1917, in Volume 9, Page 480, as Document No. 84105a.

For Informational Purposes Only:

Tax Parcel No. 2816612001605

Property Address: Duluth Avenue (Vacant Parcel), Sturgeon Bay, WI 54235

Parcel 2

Lot Two (2), Volume 4 Certified Survey Maps, Page 302, Map No. 812, recorded as Document No. 577103, being part of the Southeast 1/4 of the Southeast 1/4 of Section Twelve (12), Township Twenty-seven (27) North, Range Twenty-five (25) East, in the Town of Naseweaupee, Door County Wisconsin, EXCEPTING THEREFROM those lands described in Annexation Ordinance recorded in Volume 736, Page 728 as Document No. 607138.

For Informational Purposes Only:

Tax Parcel No. 020011227254462

Property Address: 3155 S. Duluth Avenue (Vacant Parcel), Sturgeon Bay, WI 54235

The description listed above defines exactly the same parcel that has been surveyed and is exactly the same parcel as contained within the lands described in the title commitment identified as First American Title Insurance Company, File No.: DM0006950, Revision No. 3, having an effective date of March 31, 2022 at 7:00 AM.

UTILITY INFORMATION:

UTILITIES PRESENT:

CITY OF STURGEON BAY, CHARTER COMMUNICATIONS, AT&T DISTRIBUTION, WISCONSIN PUBLIC SERVICE.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBER --#20221204861 & DATE--03-26-2022, VISIBLE OBSERVATION (-04-06-2022-) AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

TELECOMMUNICATIONS:
CHARTER
COMMUNICATIONS
3315 S. LINCOLN AV.
TWO RIVERS, WI 54241

(920) 793-2216

TELECOMMUNICATIONS:
AT & T / SBC
205 S. JEFFERSON ST.
GREEN BAY, WI 54301

(920) 433-4147

WATER/SANITARY/STORM
SEWER:
DEPARTMENT OF PUBLIC
WORKS
CITY OF STURGEON BAY
230 E. VINE ST.
STURGEON BAY, WI 54235

(800) 797-7434

(920) 746-2820



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BET
								CHECKED
								DESIGNED BET

STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

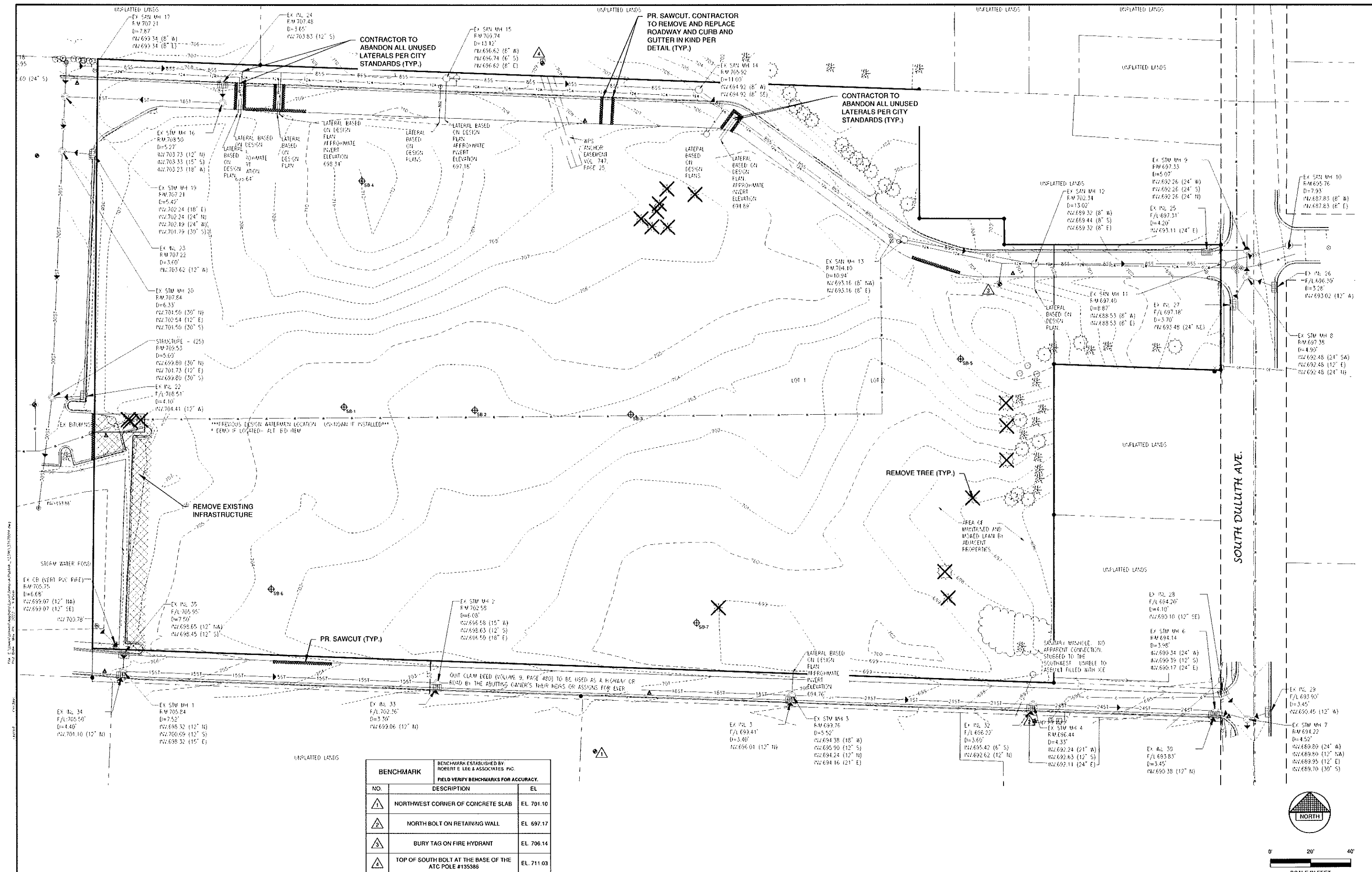
SITE INFORMATION

DATE 09/20/21
FILE 37670097
JOB NO. 3767009



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-8641 www.releeinc.com

SHEET NO.
1

[illegible]

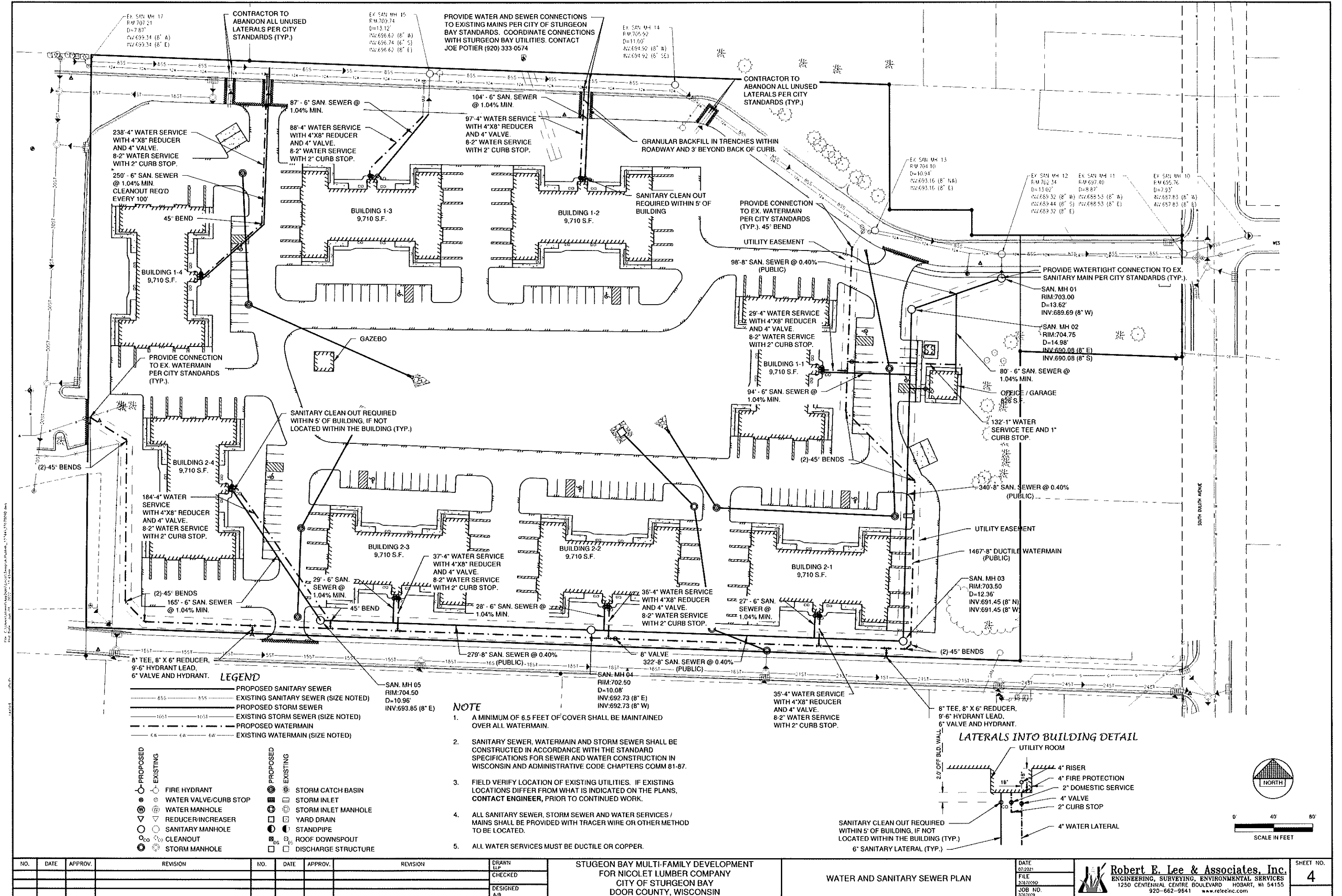
STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

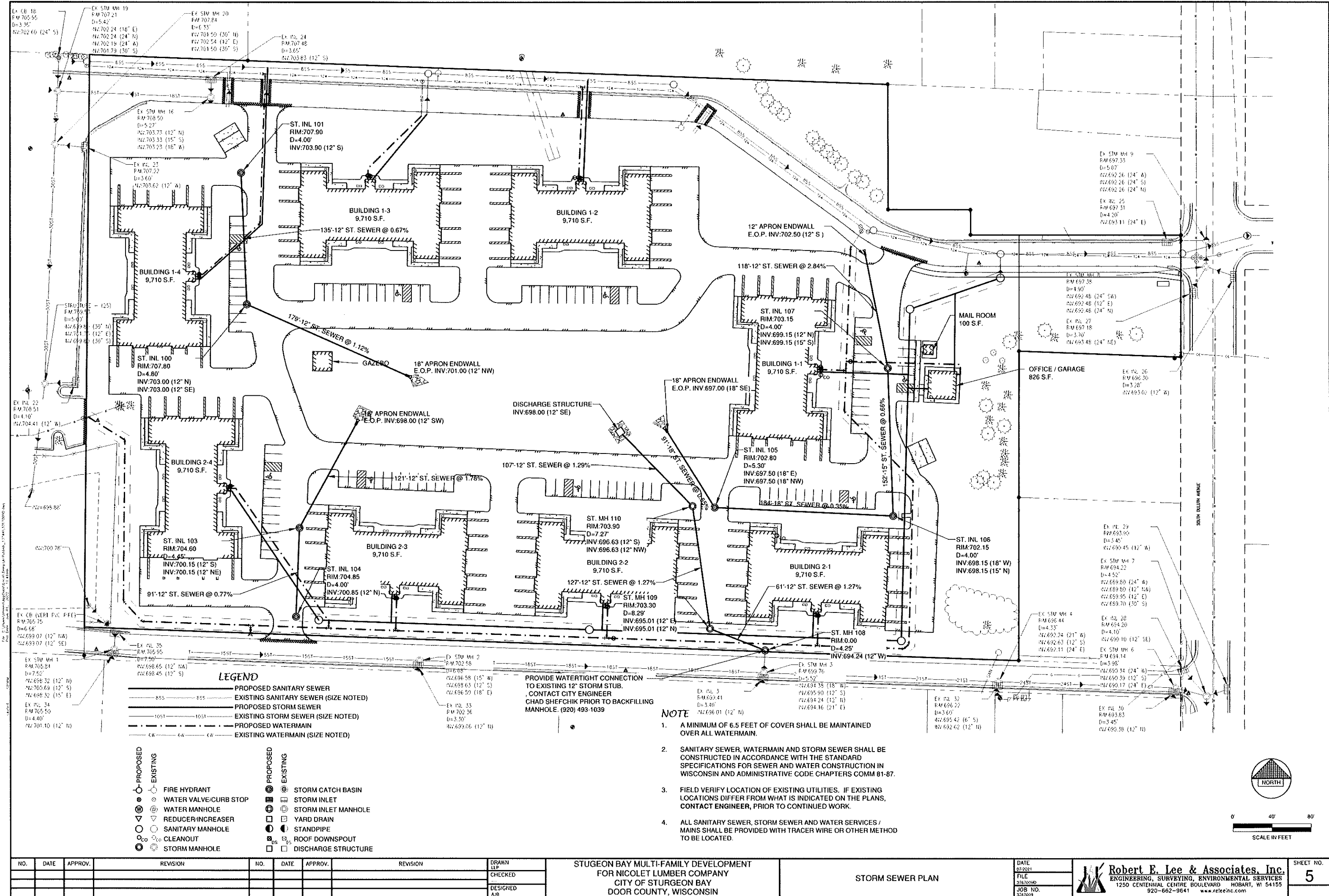
EXISTING SITE CONDITIONS

DATE	69-2021
FILE	37670591
JOB NO.	3365000

Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-9641 www.releinc.com

SHEET NO.
2





NOTE

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.

PROVIDE WATERTIGHT CONNECTION TO EXISTING 12" STORM SUB. CONTACT CITY ENGINEER CHAD SHEFCHIK PRIOR TO BACKFILLING MANHOLE. (920) 493-1039

LEGEND

- | | | |
|--|-------------------------------------|-----------------------------------|
| — PROPOSED SANITARY SEWER | — PROPOSED STORM SEWER | — PROPOSED WATERMAIN |
| — EXISTING SANITARY SEWER (SIZE NOTED) | — EXISTING STORM SEWER (SIZE NOTED) | — EXISTING WATERMAIN (SIZE NOTED) |
| — FIRE HYDRANT | — WATER VALVE/CURB STOP | — WATER MANHOLE |
| — REDUCER/INCREASER | — SANITARY MANHOLE | — CLEANOUT |
| — STORM MANHOLE | — STORM CATCH BASIN | — STORM INLET |
| — STORM INLET MANHOLE | — YARD DRAIN | — STANDPIPE |
| — ROOF DOWNSPOUT | — DISCHARGE STRUCTURE | |

STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

STORM SEWER PLAN

DATE
07/2021
FILE
27610350
JOB NO.
3761029

Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENIAL CENTRE BOULEVARD HOBAK, WI 54155
920-662-9641 www.releeinc.com

SHEET NO.
5

POND CONSTRUCTION NOTE
IF SAND OR BEDROCK IS ENCOUNTERED WITHIN TWO FEET OF THE EXCAVATION LIMITS OF THE POND, MODIFICATIONS TO THE DESIGN MAY BE REQUIRED. CONTACT ENGINEER FOR FURTHER DIRECTION PRIOR TO COMPLETION OF POND CONSTRUCTION.

LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

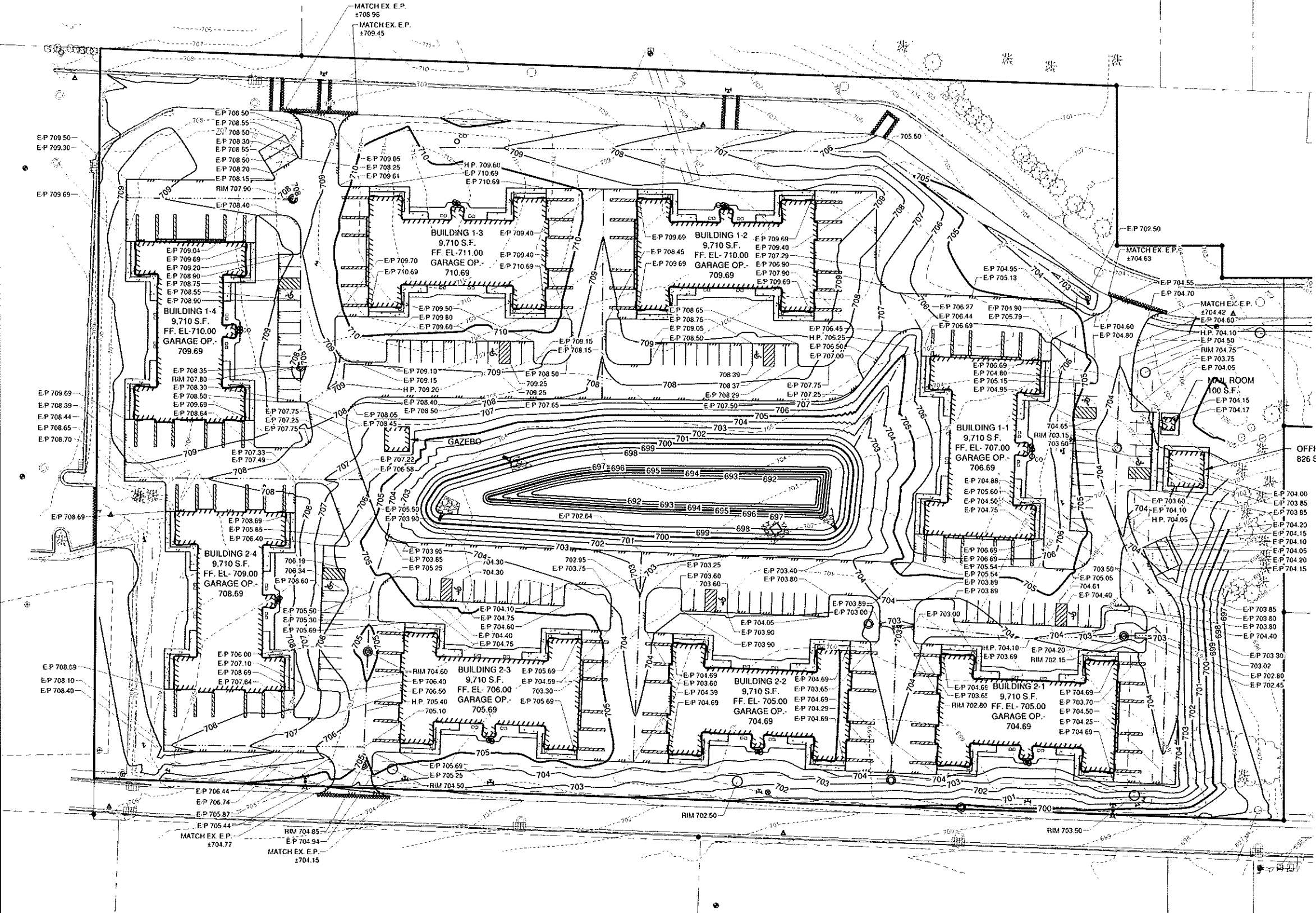
EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



0' 40' 80'
SCALE IN FEET



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LUP
								CHECKED
								DESIGNED
								AJS

STUKEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STUKEON BAY
DOOR COUNTY, WISCONSIN

GRADING AND EROSION CONTROL PLAN

DATE
02/20/21
FILE
3757039D
JOB NO.
3757039

Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENIAL CENTRE BOULEVARD HOBBART, WI 54155
920-662-9641 www.releeinc.com

SHEET NO.
6

POND CONSTRUCTION NOTE
IF SAND OR BEDROCK IS ENCOUNTERED WITHIN TWO FEET OF THE EXCAVATION LIMITS OF THE POND, MODIFICATIONS TO THE DESIGN MAY BE REQUIRED. **CONTACT ENGINEER** FOR FURTHER DIRECTION PRIOR TO COMPLETION OF POND CONSTRUCTION.

LEGEND

- | | | |
|--|------------|---|
| | T/C 999.99 | TOP OF CURB ELEVATION |
| | F/L 888.88 | FLOW LINE ELEVATION |
| | S/W 666.66 | TOP OF SIDEWALK ELEVATION |
| | E/P 555.55 | EDGE OF PAVEMENT ELEVATION |
| | R/W 444.44 | TOP OF RETAINING WALL ELEVATION |
| | 333.33 | GROUND ELEVATION |
| | | DRAINAGE SWALE |
| | | DRAINAGE DIVIDE |
| | | FLOW ARROW |
| | X | SILT FENCE (PER WDNR TECHNICAL STANDARD 1056) |
| | | DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062) |
| | | TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057) |
| | | EROSION MAT (PER WDNR TECHNICAL STANDARD 1053) |
| | | INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060) |

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WQNR TECHNICAL STANDARD 1061.

[illegible]

STUKEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

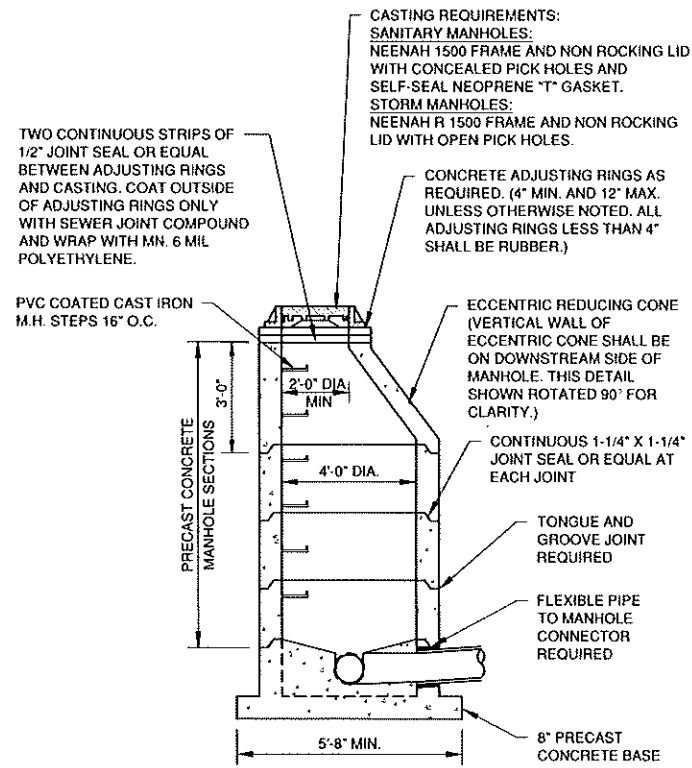
EROSION CONTROL PLAN

DATE	07/2021
FILE	3767025
JOB	

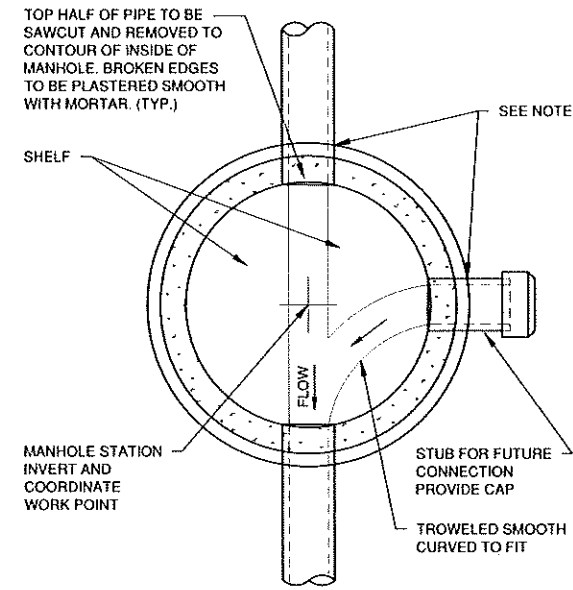


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SHEET NO	7
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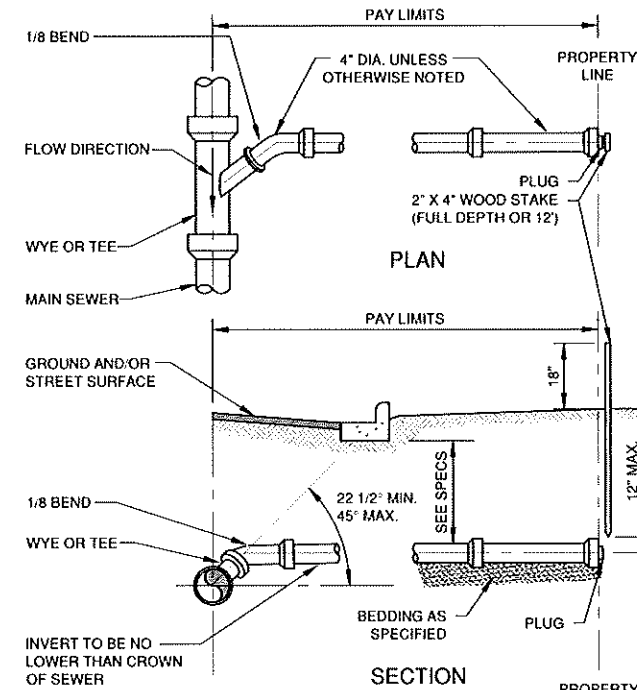


**SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)**



NOTE:
FOR PVC PIPE PROVIDE AN APPROVED FLEXIBLE JOINT.

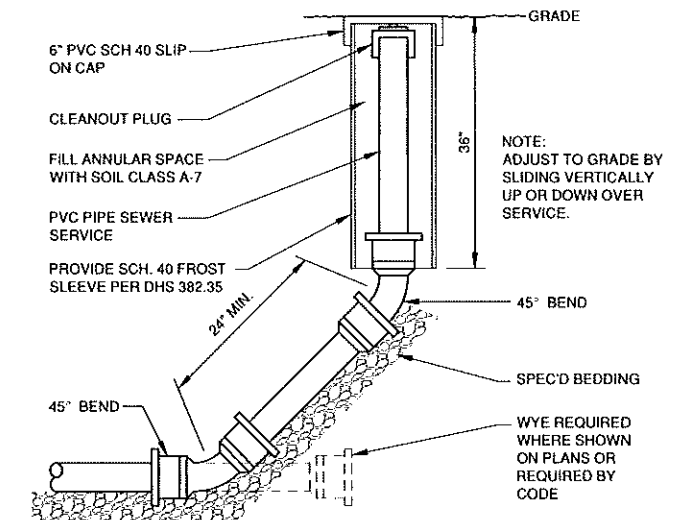
**MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)**



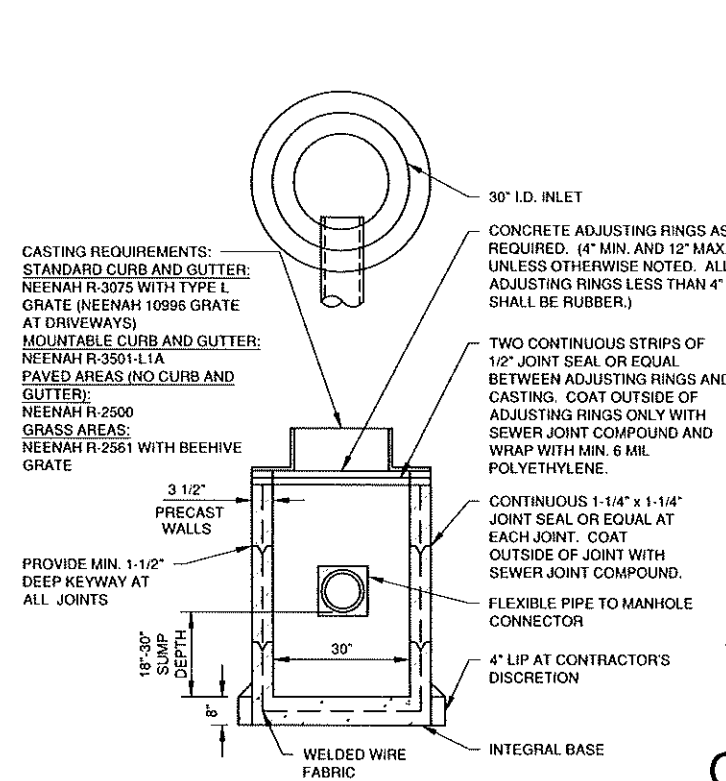
NOTES:
 1. SADDLE CONNECTIONS NOT PERMITTED.
 2. BACKFILL TO CONFORM TO MAIN SEWER.
 3. MINIMUM SLOPE: 1/8 INCH PER FOOT.
 4. MAXIMUM SLOPE: 1/2 INCH PER FOOT.

STANDARD SERVICE LATERAL

NOTE: CLEANOUT LINE TO BE THE SAME SIZE AND MATERIAL AS SEWER MAIN



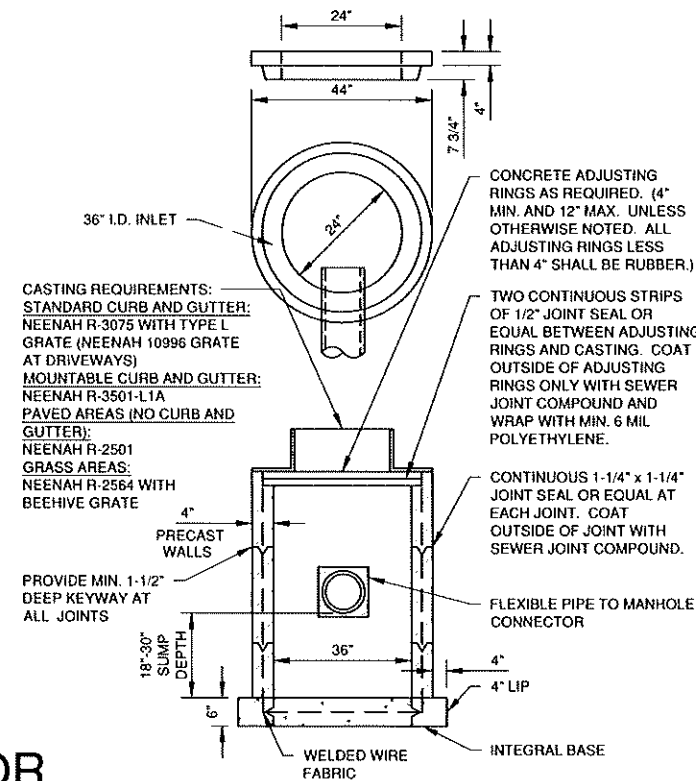
**CLEAN-OUT DETAIL
(NON-TRAVELED AREAS)**



ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

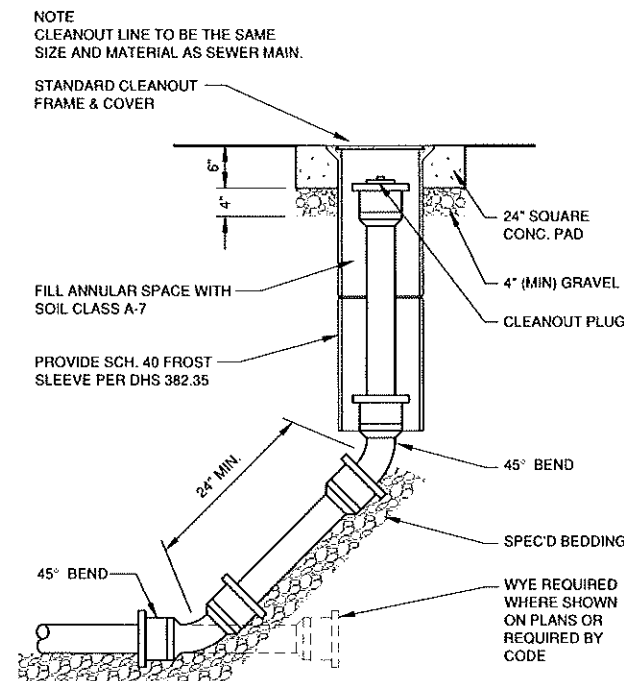
TYPE 'A' STORM INLET

OR

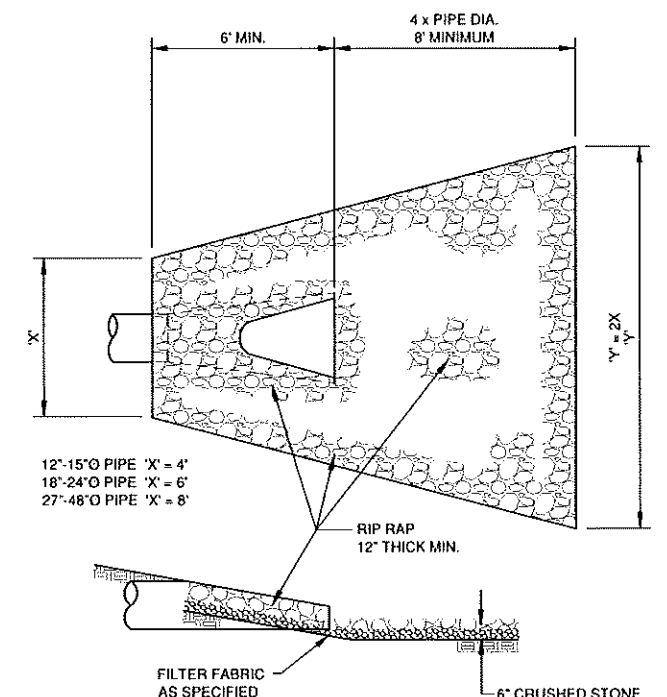


ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'A' STORM INLET



**CLEAN-OUT DETAIL
(TRAVELED AREAS)**



ENDWALL RIP RAP DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CHECKED	DESIGNED
								BLT		BLT

STURGEON BAY MULTI-FAMILY DEVELOPMENT
 FOR NICOLET LUMBER COMPANY
 CITY OF STURGEON BAY
 DOOR COUNTY, WISCONSIN

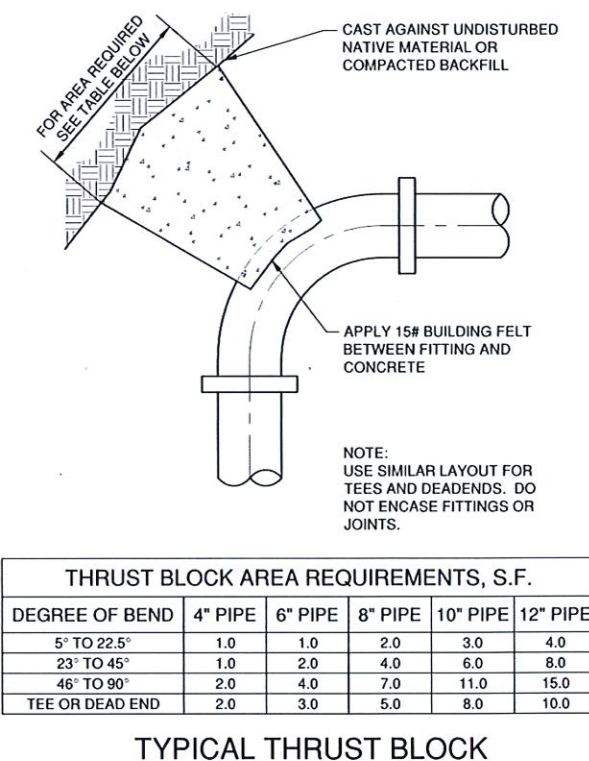
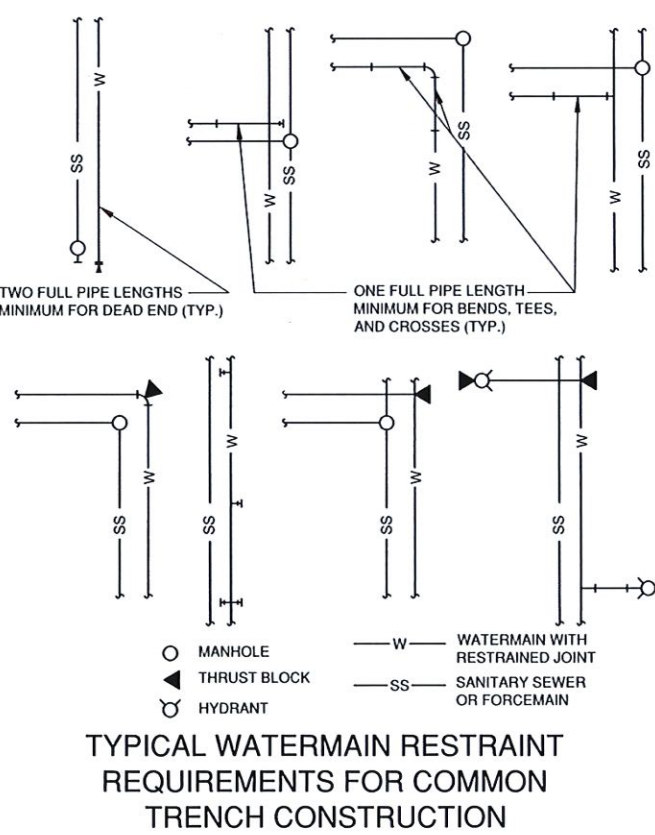
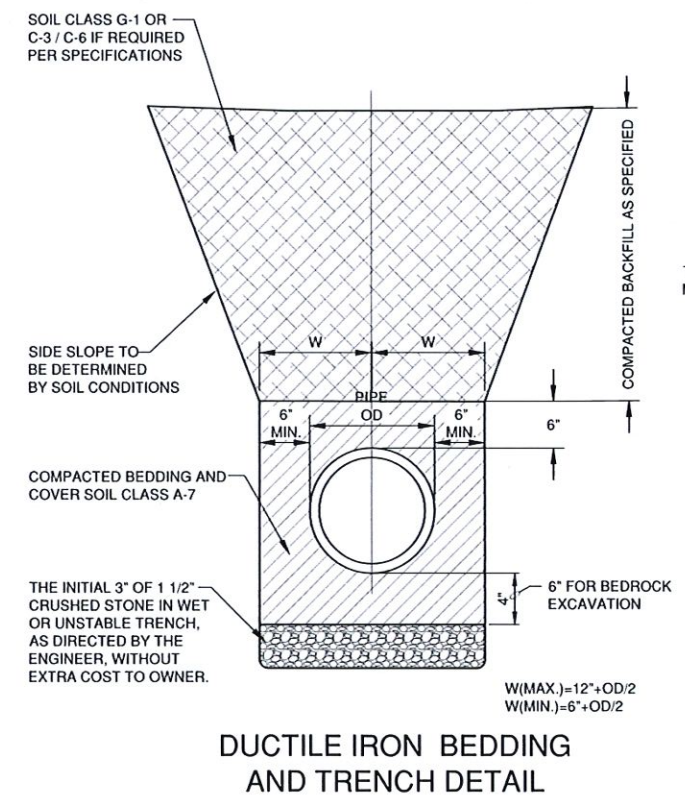
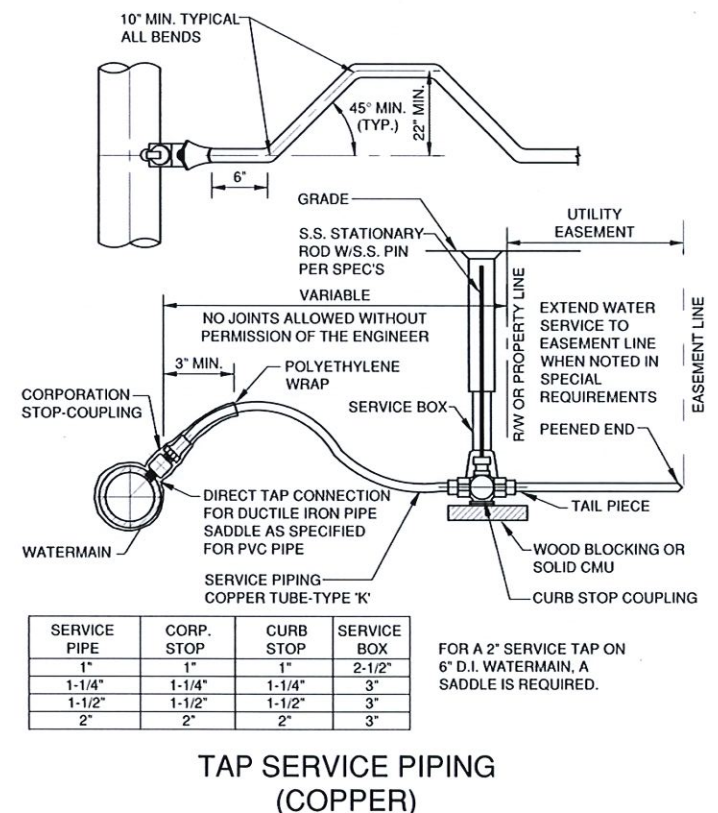
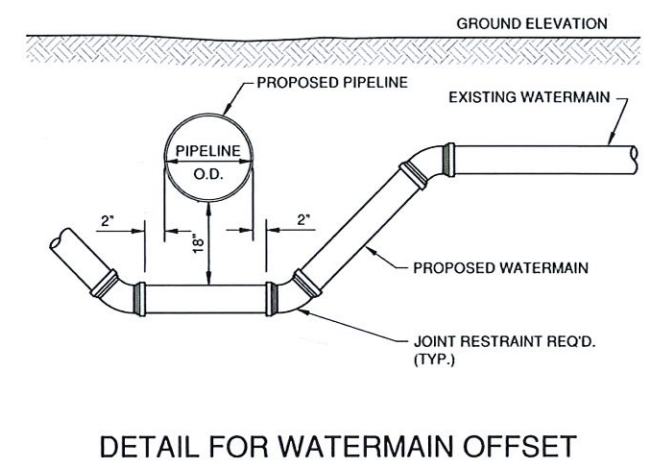
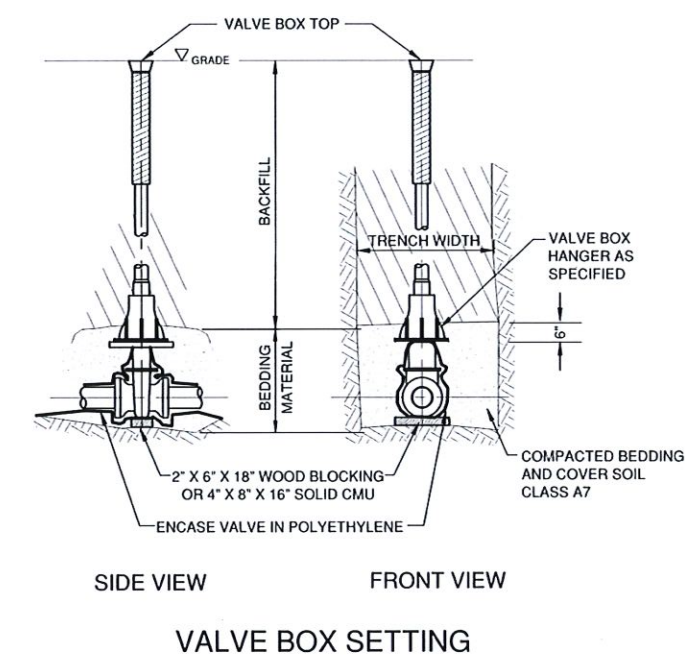
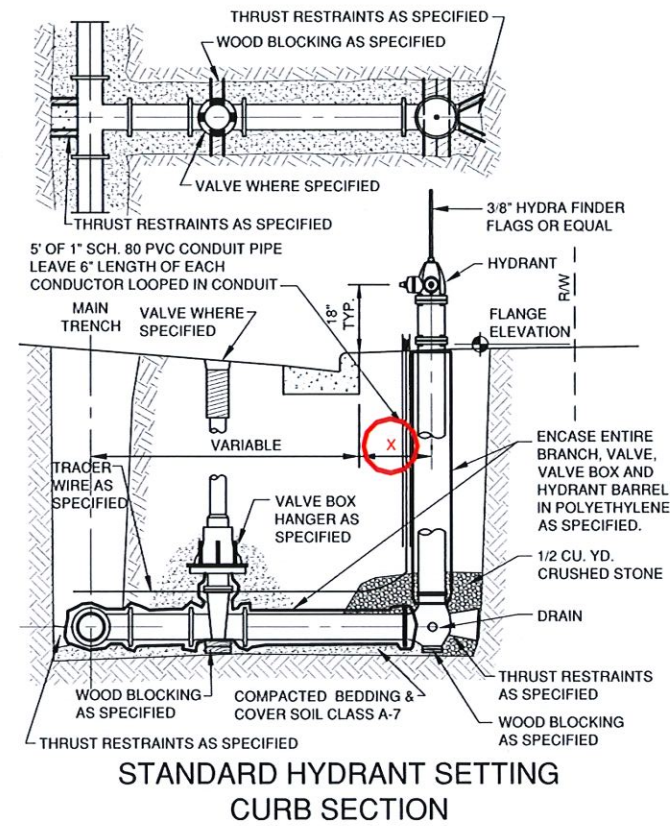
MISCELLANEOUS DETAILS

DATE
03/2022
FILE
DETAILS
JOB NO.
376709



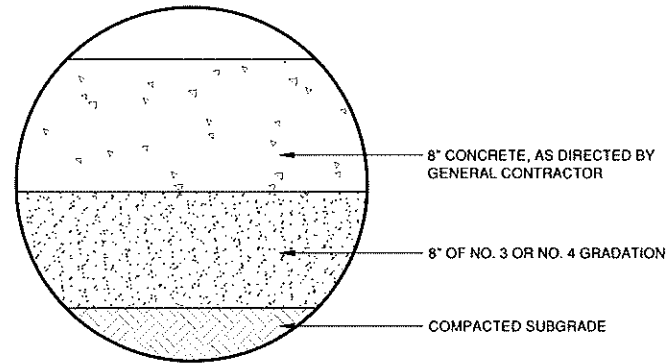
Robert E. Lee & Associates, Inc.
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
 920-662-9641 www.releeinc.com

SHEET NO.
8

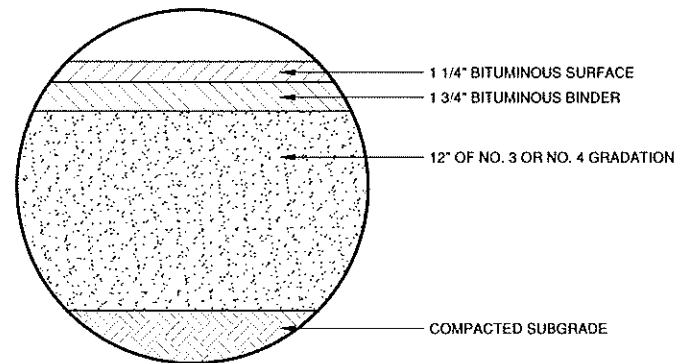


THRUST BLOCK AREA REQUIREMENTS, S.F.					
DEGREE OF BEND	4" PIPE	6" PIPE	8" PIPE	10" PIPE	12" PIPE
5° TO 22.5°	1.0	1.0	2.0	3.0	4.0
23° TO 45°	1.0	2.0	4.0	6.0	8.0
46° TO 90°	2.0	4.0	7.0	11.0	15.0
TEE OR DEAD END	2.0	3.0	5.0	8.0	10.0

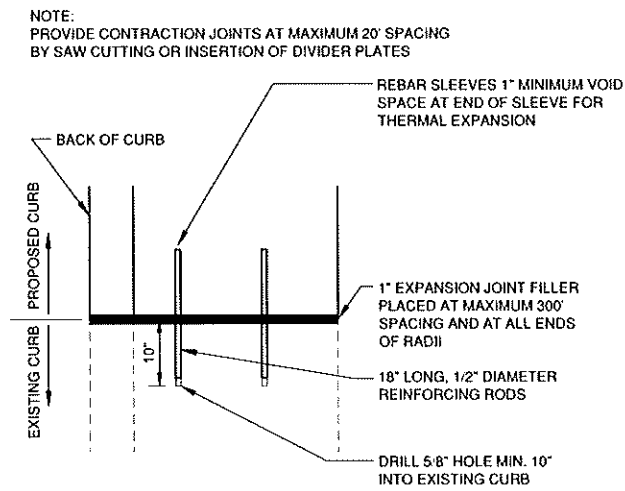
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User: jlee
Printer: HP DesignJet T1100e
Scale: 1/8"=1'-0"



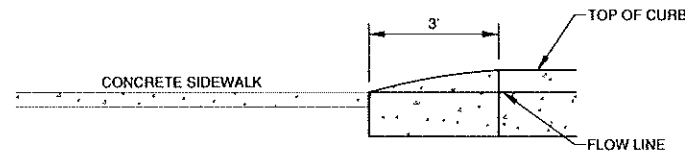
CONCRETE PAVEMENT



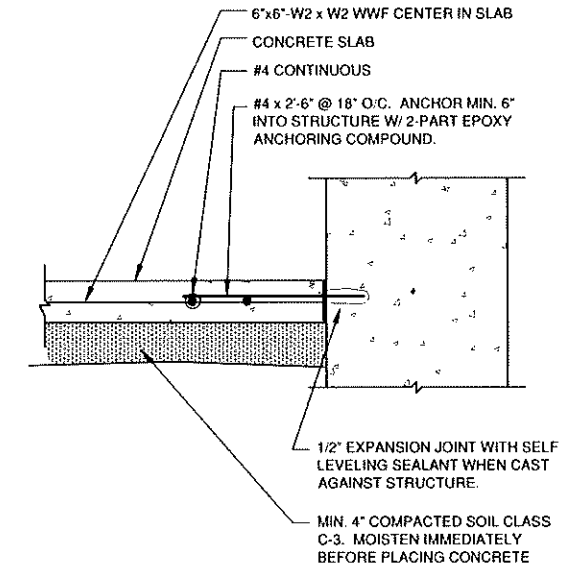
LIGHT DUTY ASPHALT PAVEMENT



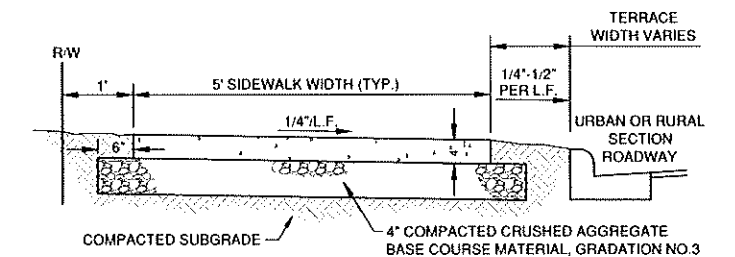
CURB TIE-IN DETAIL
(PROPOSED TO EXISTING)



CURB TAPER DETAIL

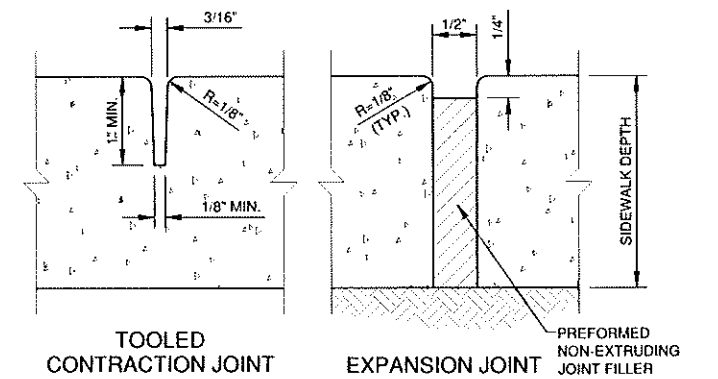


TYPICAL SIDEWALK ADJACENT TO STRUCTURE



TYPICAL SECTION

NOTE:
REFER TO SPECIFICATIONS FOR REINFORCEMENTS.



WALK WIDTH	CONTRACTION JOINT SPACING		EXPANSION JOINT SPACING
	TRANSVERSE	LONGITUDINAL	
4'	4'	NOT REQ'D	100' MAX.
5'	5'	NOT REQ'D	100' MAX.
6'	6'	NOT REQ'D	100' MAX.
8'	4'	4'	100' MAX.
10'	5'	5'	100' MAX.
12'	6'	6'	100' MAX.

SIDEWALK DETAIL

C:\Users\mlee\OneDrive\Documents\Projects\Sturgeon Bay Multi-Family Development\Details.dwg

INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

INSTALLATION NOTES:
TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

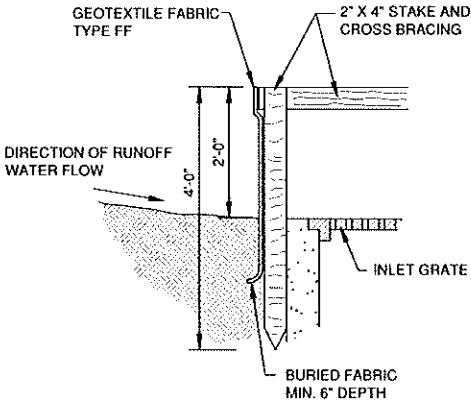
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

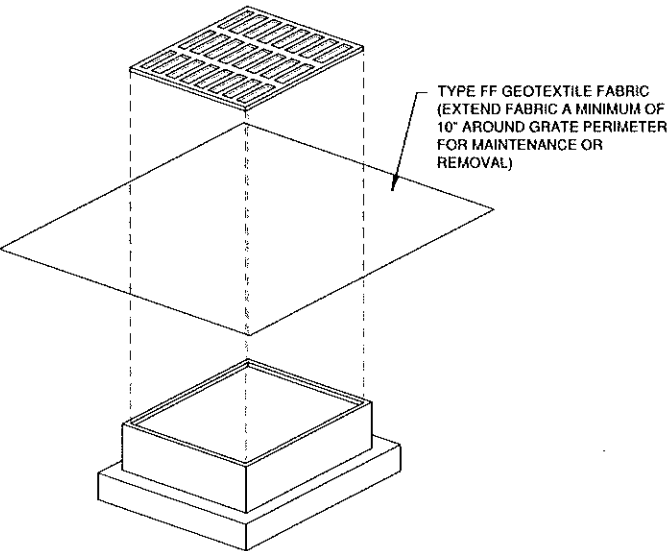
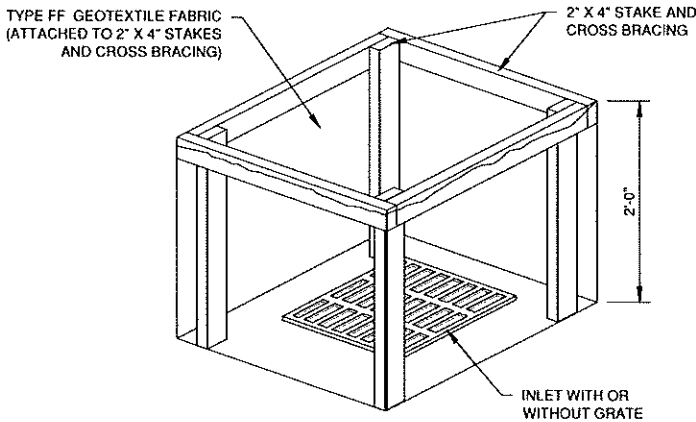
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

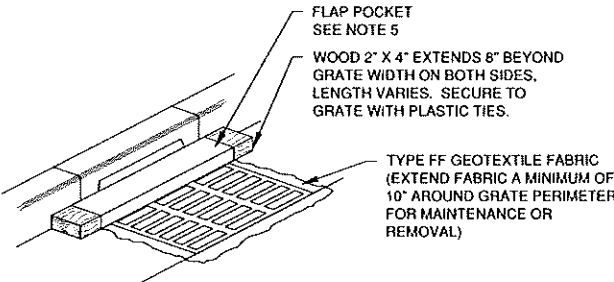
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



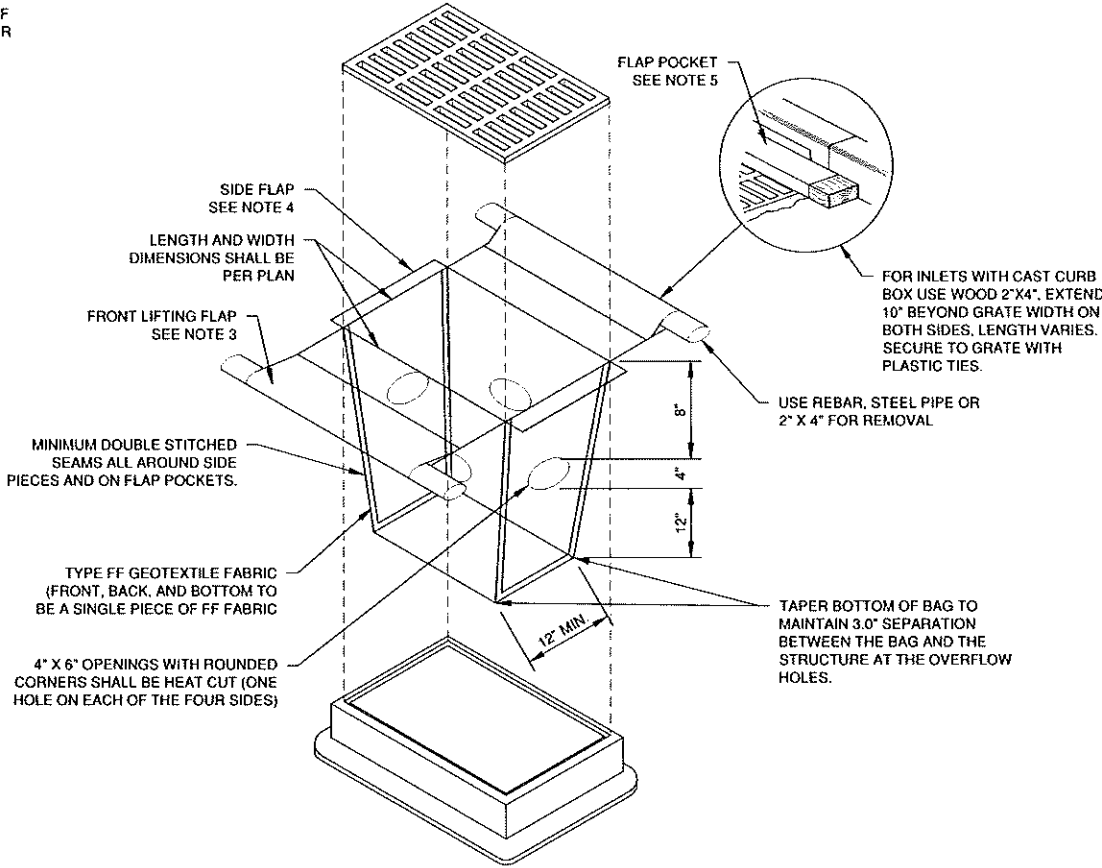
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								BLT
								CHECKED
								DESIGNED
								BLT

STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

EROSION CONTROL
INLET PROTECTION TYPES A, B, C AND D

DATE
03/2022
FILE
EROSION
JOB NO.
3167029



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-9641 www.releeinc.com

1. **TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.**
2. **GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.**
3. **FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.**
4. **SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.**
5. **FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.**

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
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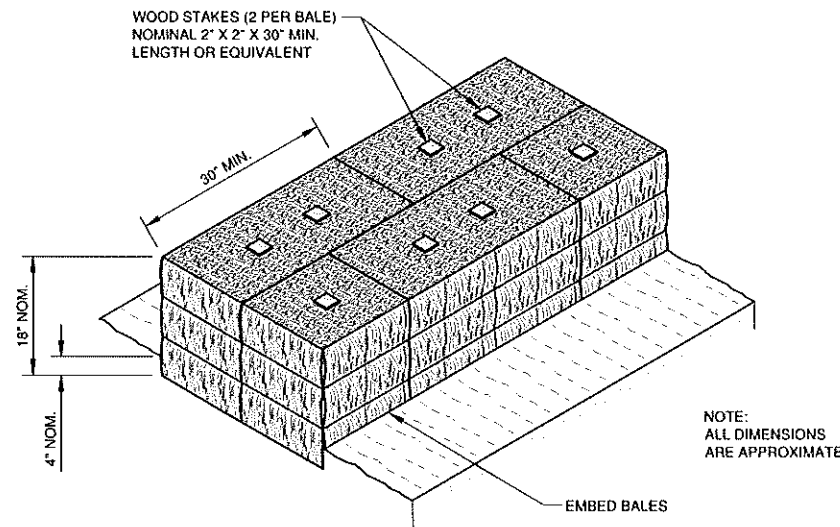
EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥ 0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

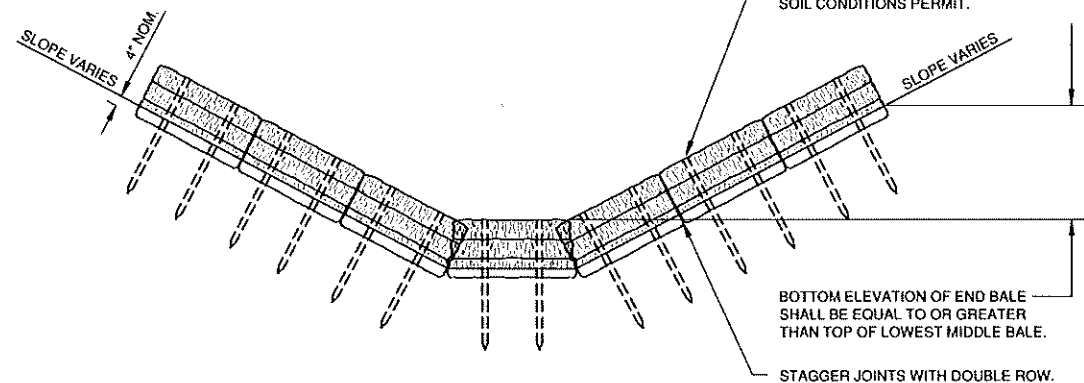
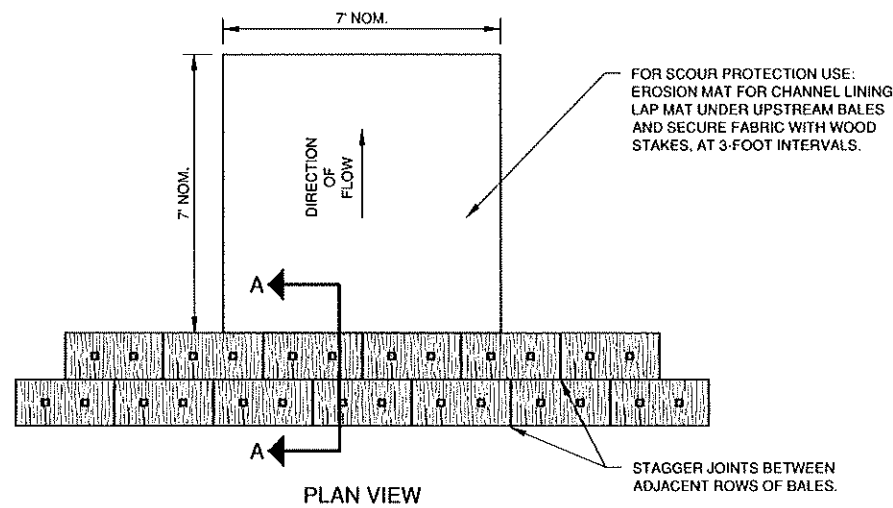
STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

DATE	03/2022
FILE	EROSION
JOB NO.	2767000



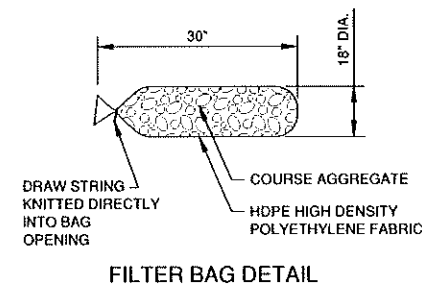


SECTION A-A



FRONT ELEVATION

TEMPORARY DITCH CHECK USING EROSION BALES
TYPE A

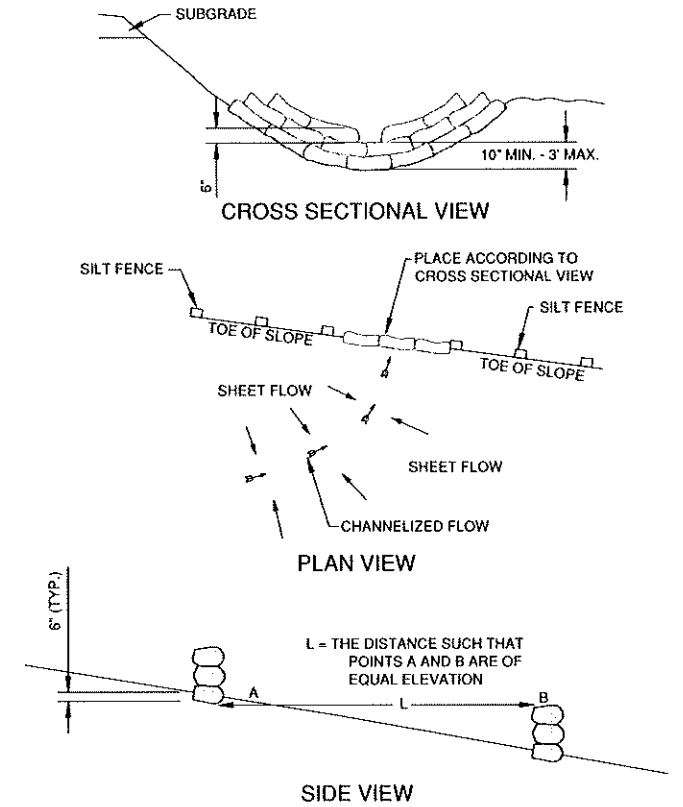


NOTES:

- 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:
HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY
INTO BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN
1/8" X 1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER
SEWING YARN FOR STRENGTH AND DURABILITY.
- USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING
GRADATION REQUIREMENTS

SIEVE SIZE	SIZE NO. AASHTO No. 67 (1)
2 INCH (50 mm)	-
1 1/2 INCH (37.5 mm)	-
1 INCH (25.0 mm)	100
3/4 INCH (19.0 mm)	90-100
3/8 INCH (9.5 mm)	20-55
No. 4 (4.75 mm)	0-10
No. 8 (2.36 mm)	0-5

(1) SIZE NO. ACCORDING TO AASHTO M 43

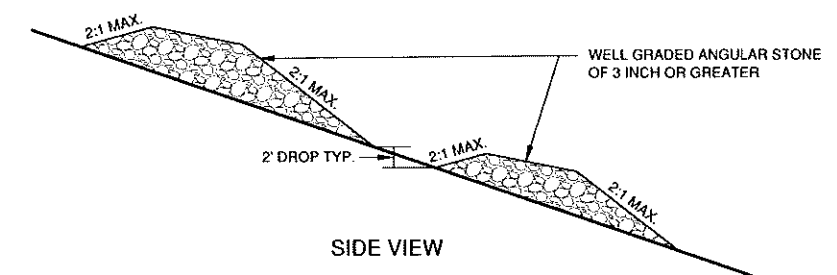
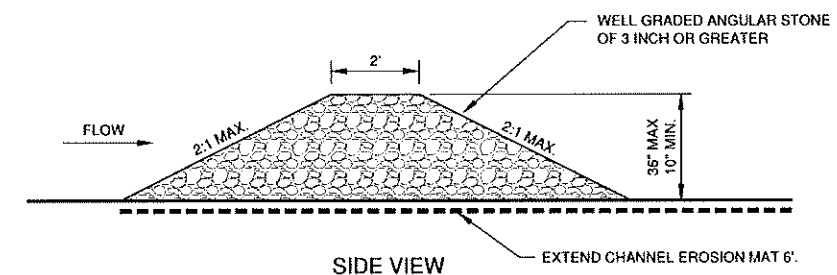


DITCH CHECK DETAIL

ROCK FILLED EROSION CONTROL BAGS
TYPE B

DITCH CHECK GENERAL NOTES:

- DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
- AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
- DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.



TEMPORARY DITCH CHECK USING STONE
TYPE C

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT
								CHECKED ---
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STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

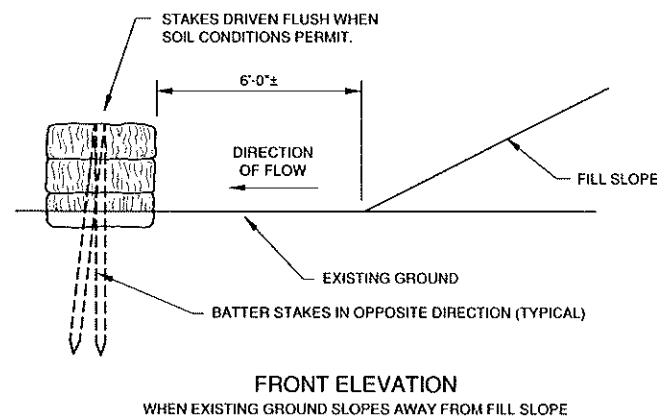
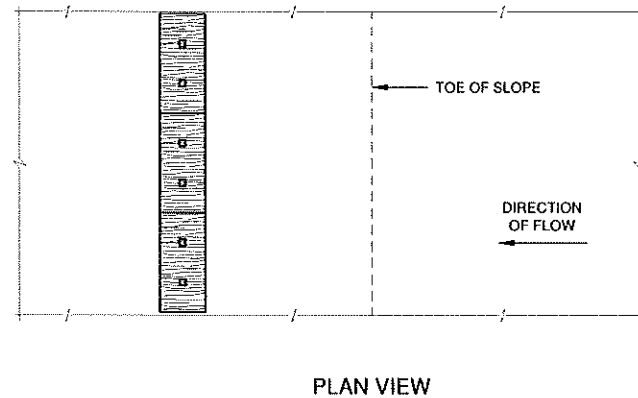
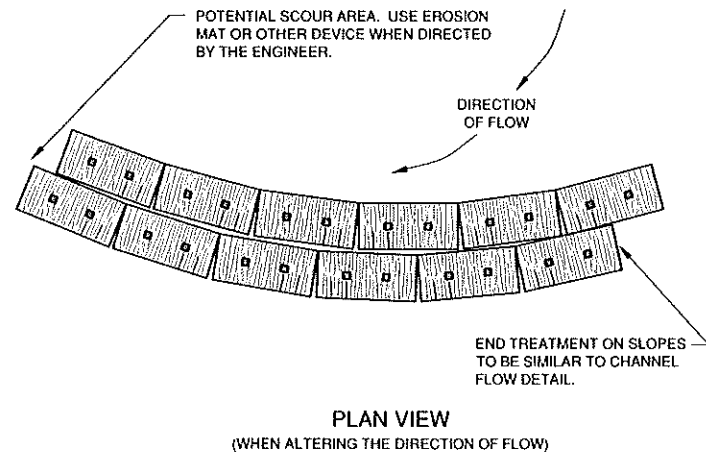
EROSION CONTROL
DITCH CHECK DETAILS

DATE 03/20/22
FILE EROSION
JOB NO. 3787029

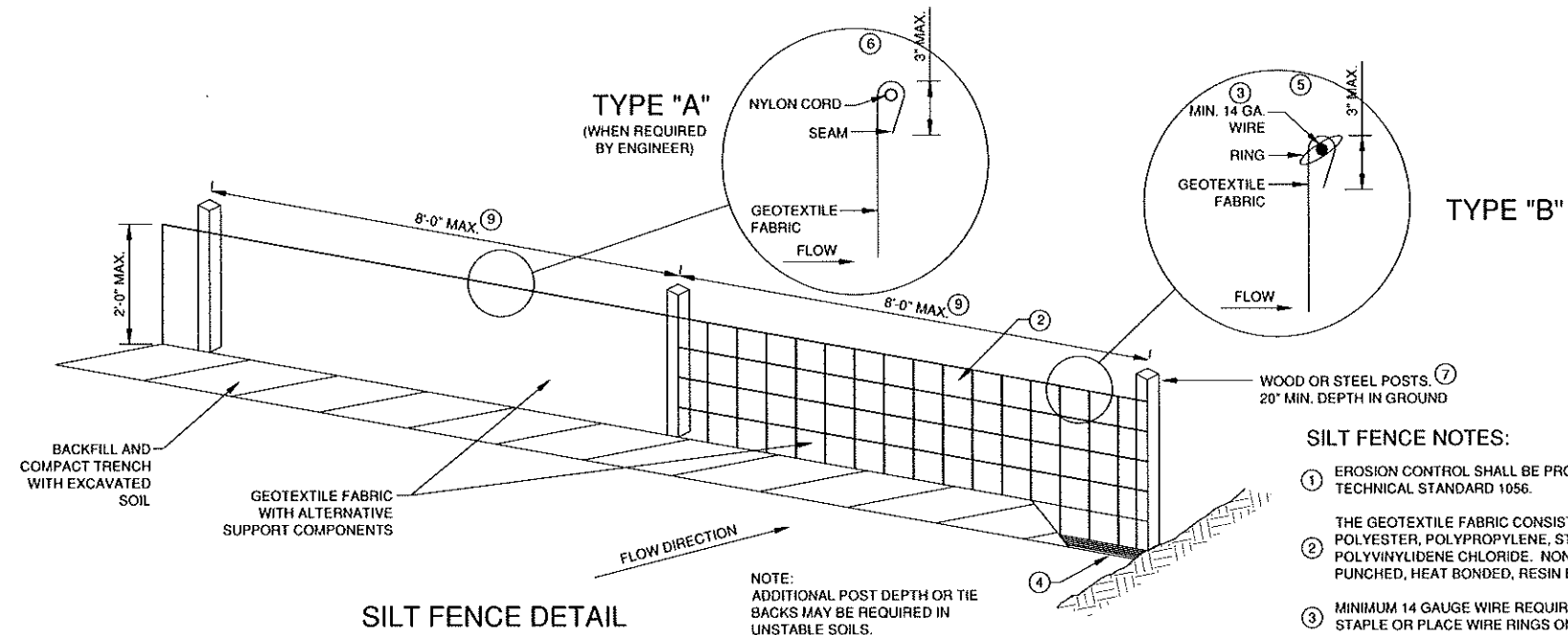
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SHEET NO.
13

CS: EROSION CONTROL SHEET FLOW DETAILS
Rev. 03/2022
1-2025

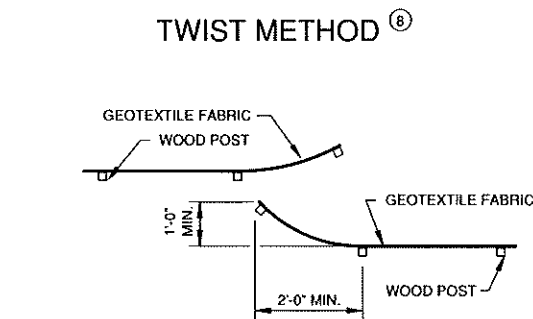
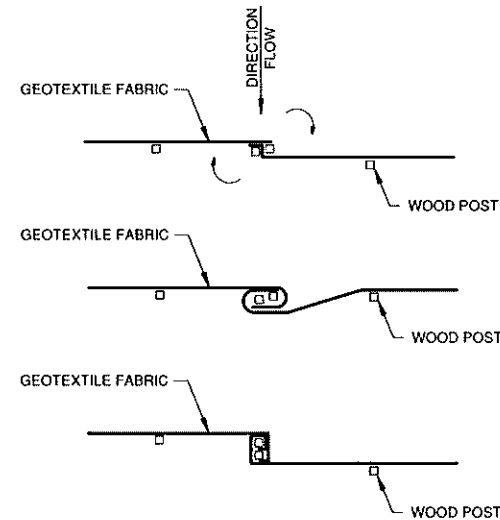


EROSION BALES FOR SHEET FLOW

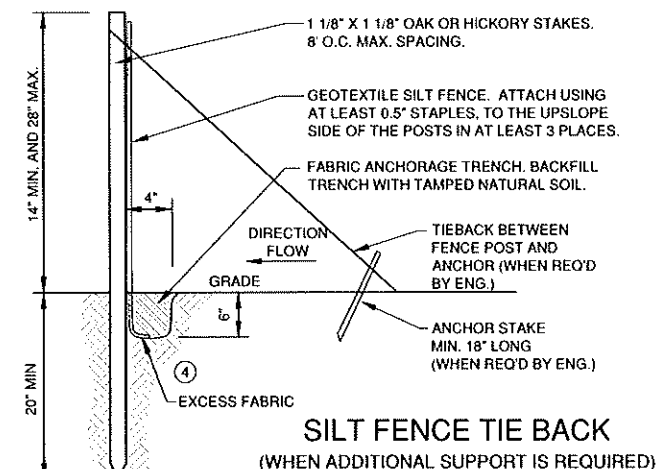


SILT FENCE NOTES:

- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- MINIMUM 14 GAUGE WIRE REQUIRED. FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 6 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.



JOINING TWO LENGTHS OF SILT FENCE



EROSION CONTROL SHEET FLOW NOTES:

- ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
- A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SODDED.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
- ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES' WATER RESOURCES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
- UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
- FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS.
- EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT
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								DESIGNED
								BLT

STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

EROSION CONTROL
SHEET FLOW DETAILS

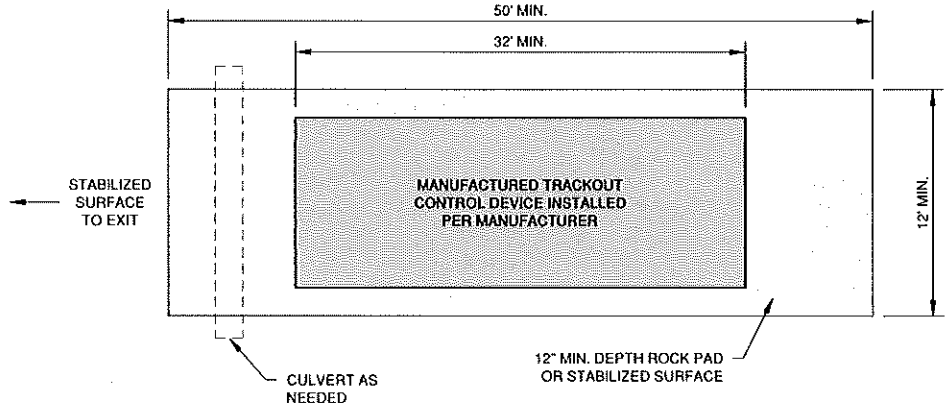
DATE
03/2022
FILE
EROSION
JOB NO.
3767692



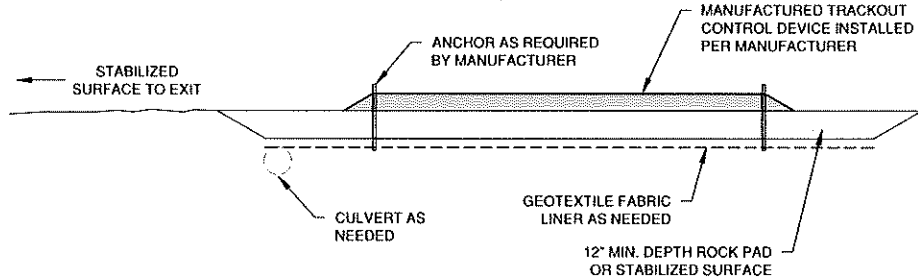
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SHEET NO.
14

* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



PLAN VIEW
(NTS)

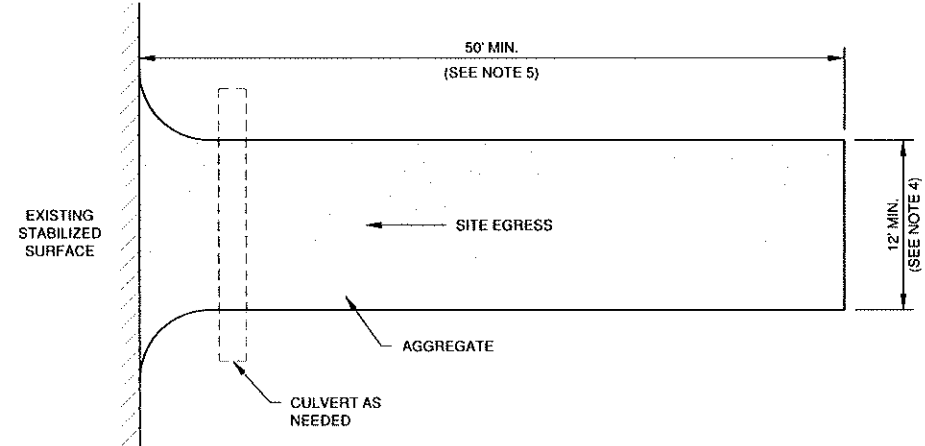


SECTION VIEW

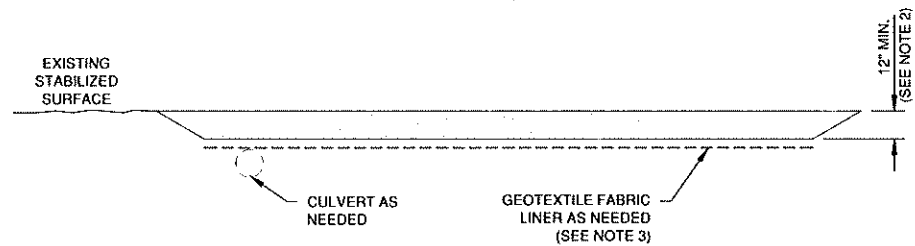
NOTES

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIE
(NTS)



SECTION VIE


NOTES

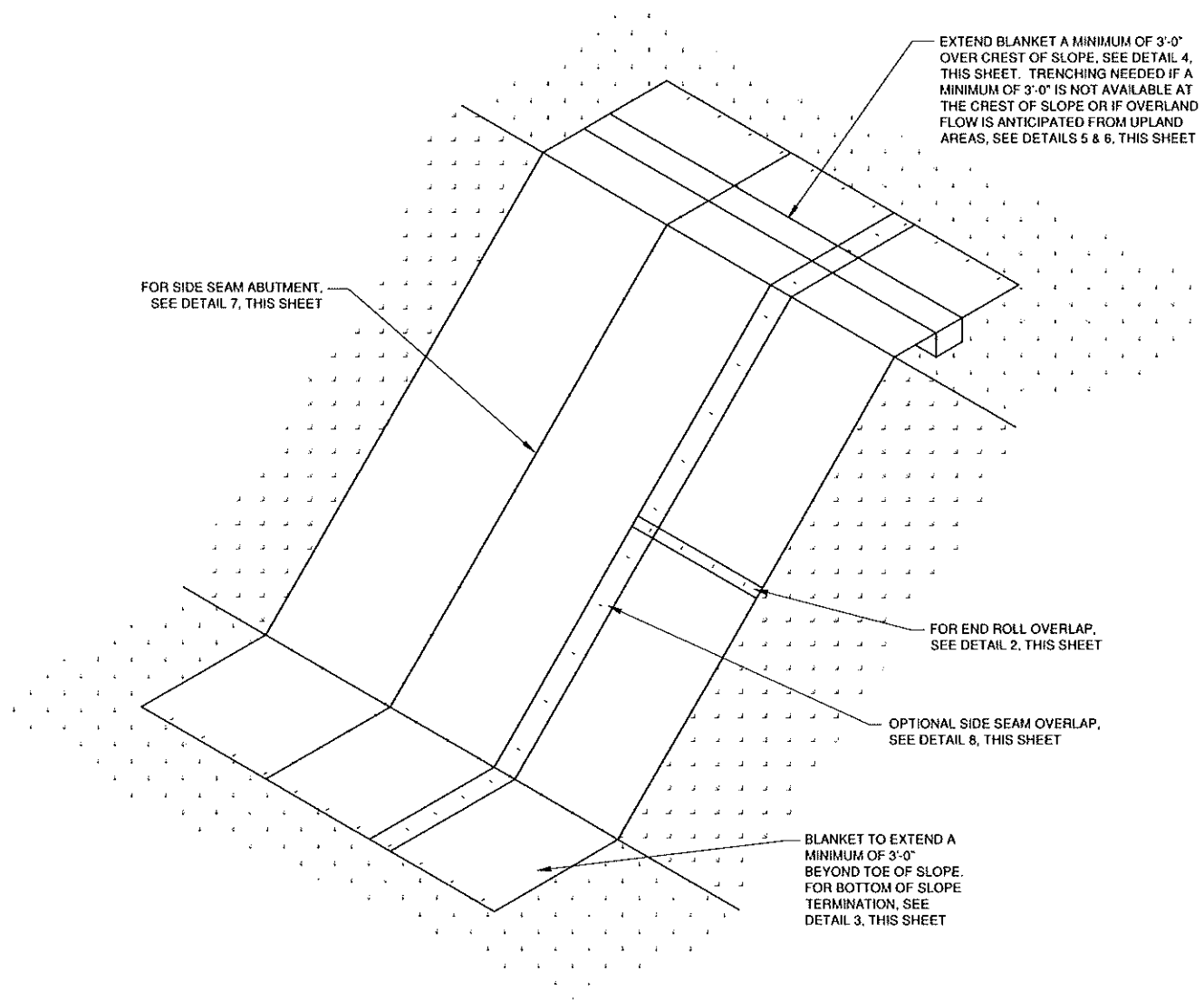
1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5

2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

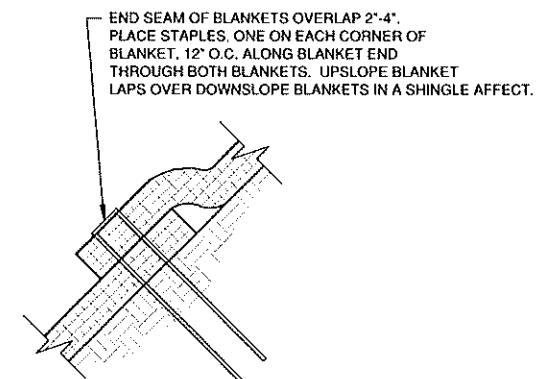
STONE TRACKING PAD DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BL1	STURGEON BAY MULTI-FAMILY DEVELOPMENT FOR NICOLET LUMBER COMPANY CITY OF STURGEON BAY DOOR COUNTY, WISCONSIN	EROSION CONTROL TRACKOUT CONTROL PRACTICES	DATE 03/2022	 Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-9641 www.releeinc.com	SHEET NO. 15
								CHECKED			FILE		
								DESIGNED			EROSION JOB NO.		



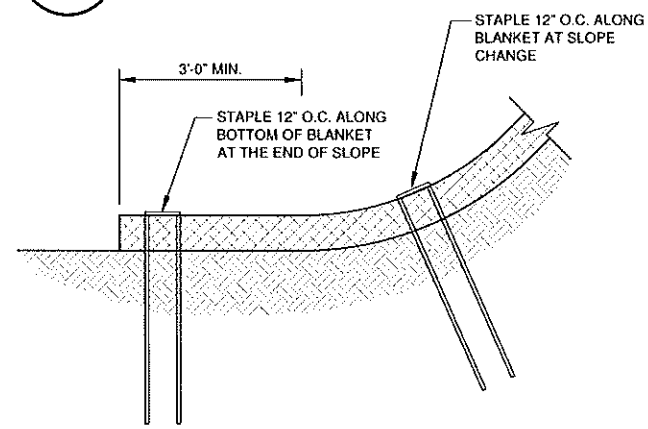
SLOPE DETAIL

1
XX



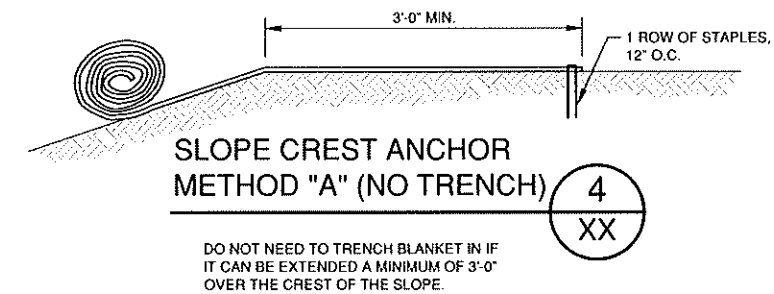
END ROLL OVERLAP

2
XX



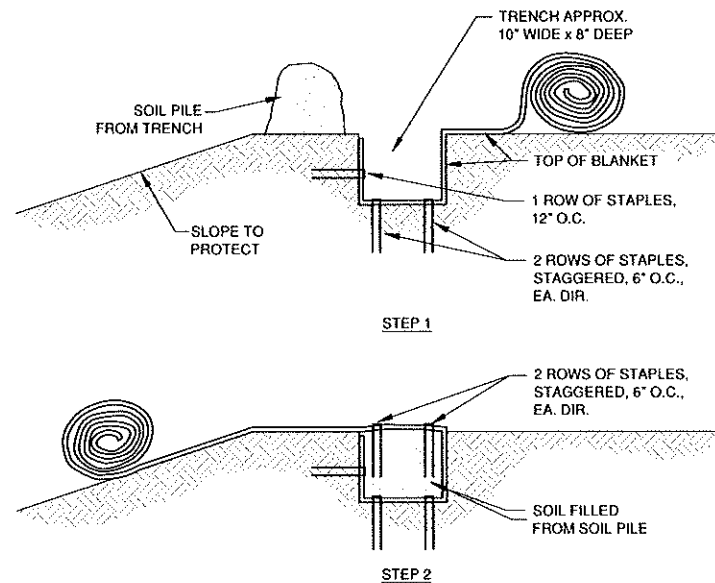
BOTTOM OF SLOPE
TERMINATION

3
XX



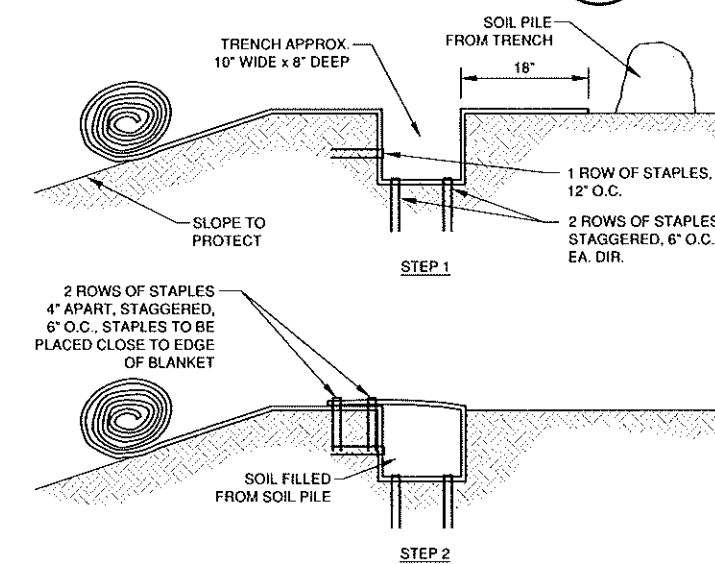
SLOPE CREST ANCHOR
METHOD "A" (NO TRENCH)

4
XX



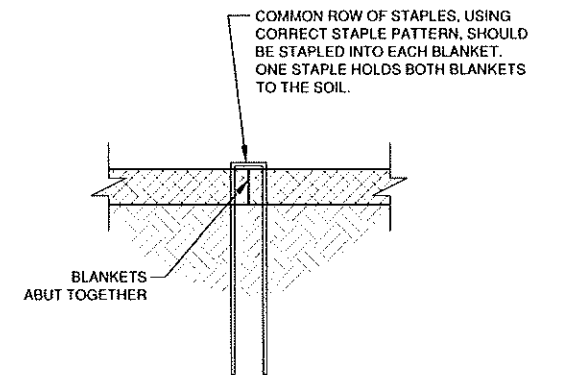
SLOPE TRENCHING
METHOD "B"

5
XX



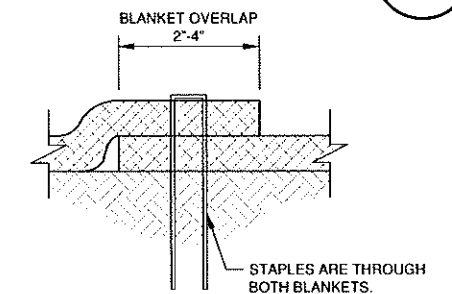
SLOPE TRENCHING
METHOD "C"

6
XX



SIDE SEAM ABUT
STAPLE DETAIL

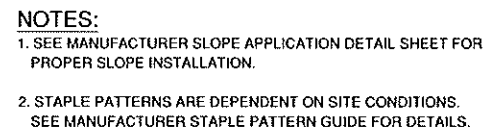
7
XX



SIDE SEAM OVERLAP
STAPLE DETAIL

8
XX

NOTES:
1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS.
SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



CHANNEL TRENCHING METHOD "A"



CHANNEL TRENCHING METHOD "B"

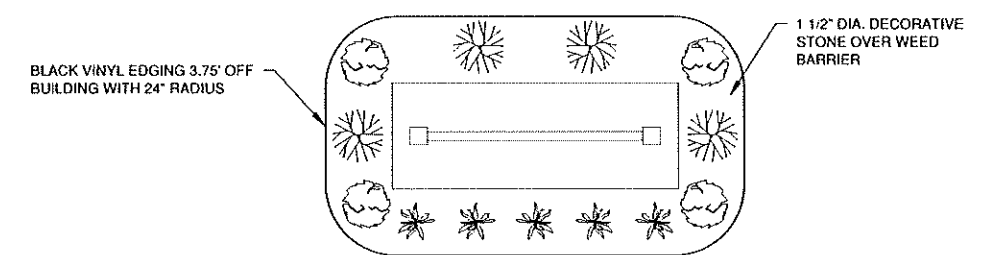
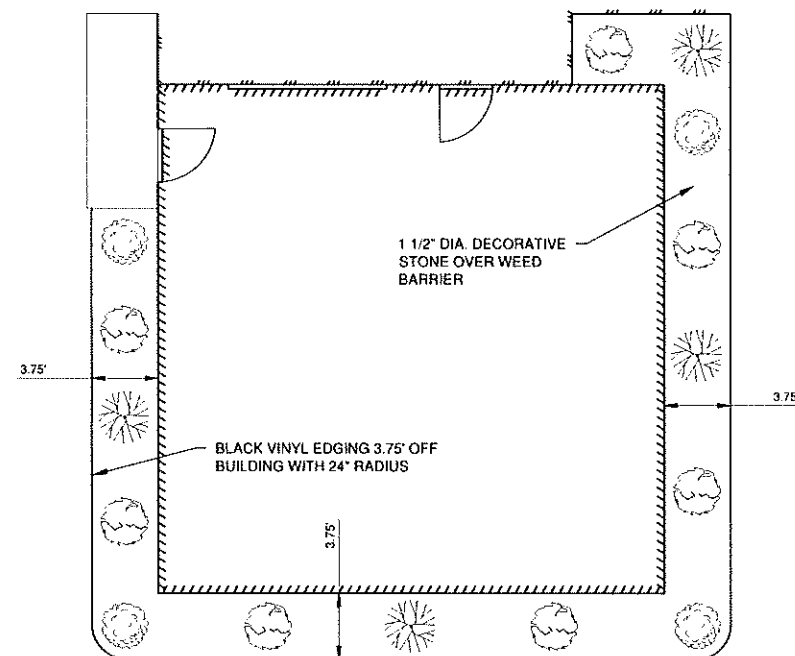
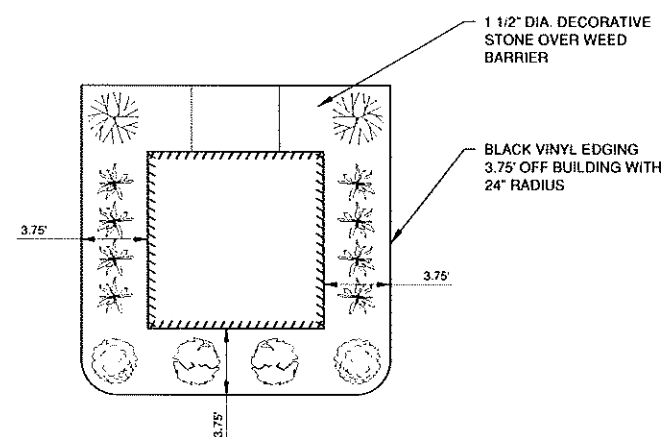
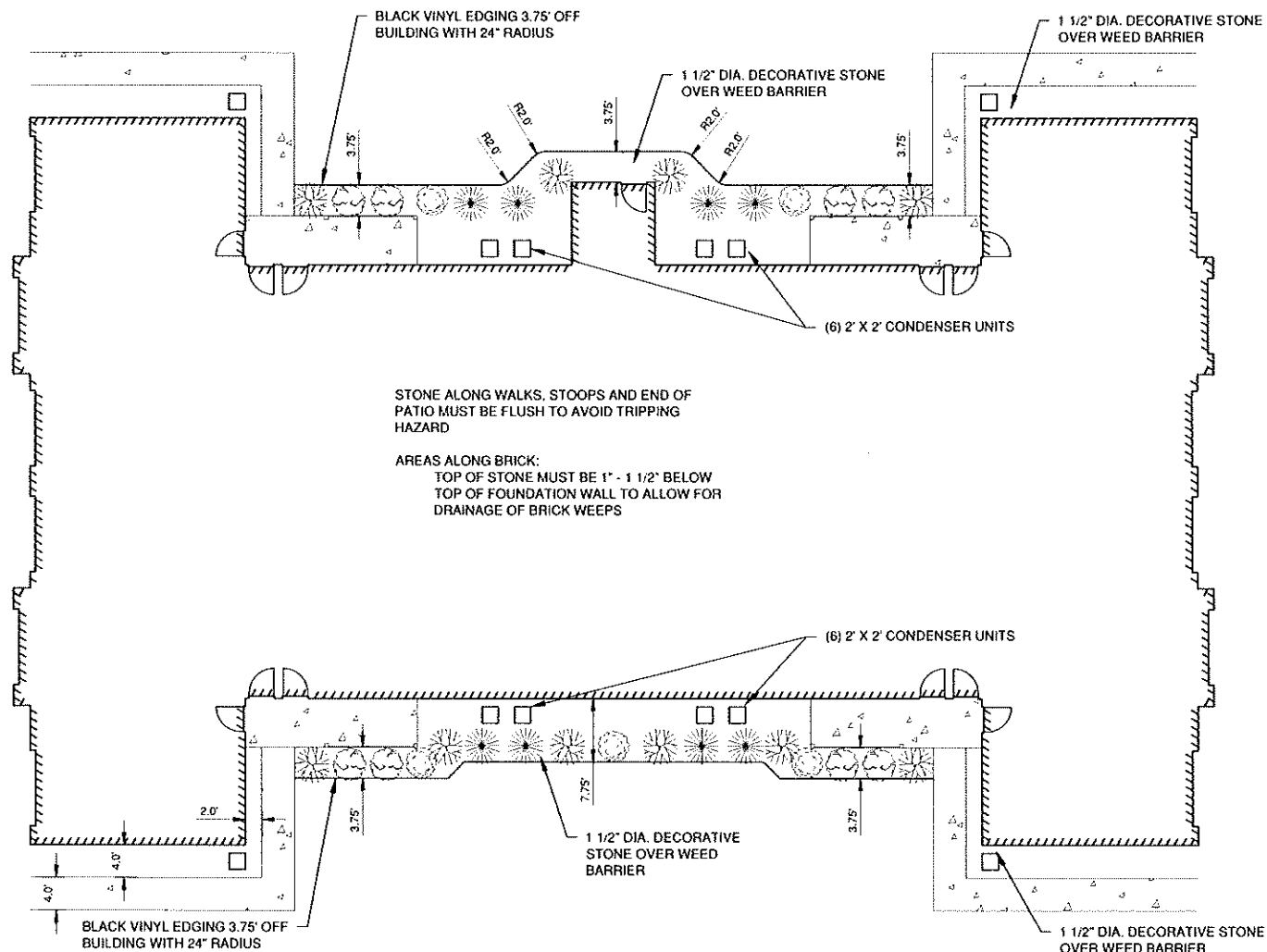
STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN






EROSION CONTROL
EROSION MAT
CHANNEL APPLICATION DETAILS

DATE	03/20/22
FILE	EROSION
JOB NO.	1777000



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LEGEND			
SYMBOL	SPECIES		PLANT SIZE
	COMMON NAME	SCIENTIFIC NAME	
	Goldfinger Potentilla	<i>Potentilla Fructicosa 'Goldfinger'</i>	3 GAL.
	Hetz Midget Arborvitae	<i>Thuja Occidentalis 'Hetz Midget'</i>	5 GAL.
	Bluemuffin Arrowwood Viburnum	<i>Viburnum Dentatum 'Christom'</i>	5 GAL.
	Goldflame Spirea	<i>Spirea x Bumala 'Goldflame'</i>	3 GAL.
	Stella D' Oro Dwarf Daylily	<i>Heemerocallis x 'Stella de Oro'</i>	1 GAL.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN CLP
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								DESIGNED

STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

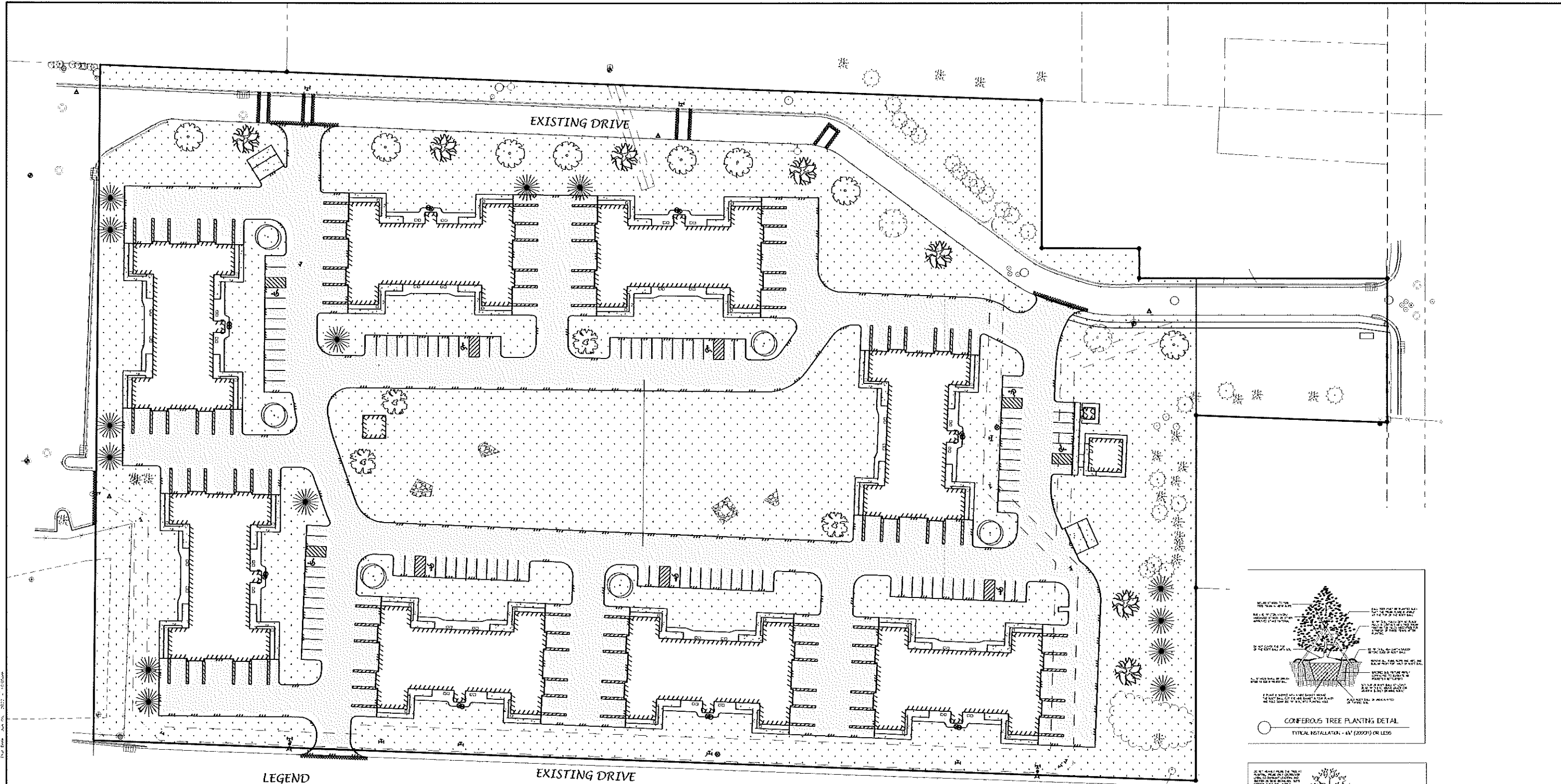
BUILDING LANDSCAPE PLAN

DATE	06.2019
FILE	LANDSCAPE DETAILS
JOB NO.	00-0000



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SHEET NO.
L1

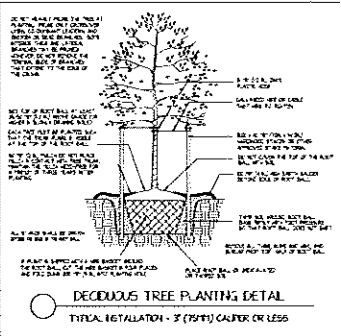


LEGEND

SYMBOL	COMMON NAME	LATIN NAME	PLANT SIZE	QUANTITY
	BASSWOOD	TILIA AMERICANA	1 - 1/2" CALIPER	7
	BLACK HILLS SPRUCE	PICEA GLUACA	5' TALL	13
	SILVER MAPLE	ACER SACCHARINUM	1 - 1/2" CALIPER	10
	WHITE OAK	QUERCUS ALBA	1 - 1/2" CALIPER	6
	SERVICE BERRY	AMELANCHIER	6' TALL	4
			TOTAL	40

TREE / PLANTING MAINTENANCE

MAINTAIN TREES AND PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, ADJUSTING AND REPAIRING, AND RESETTNG TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTH, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.



0' 40' 80'
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LEP
								CHECKED
								DESIGNED
								AJB

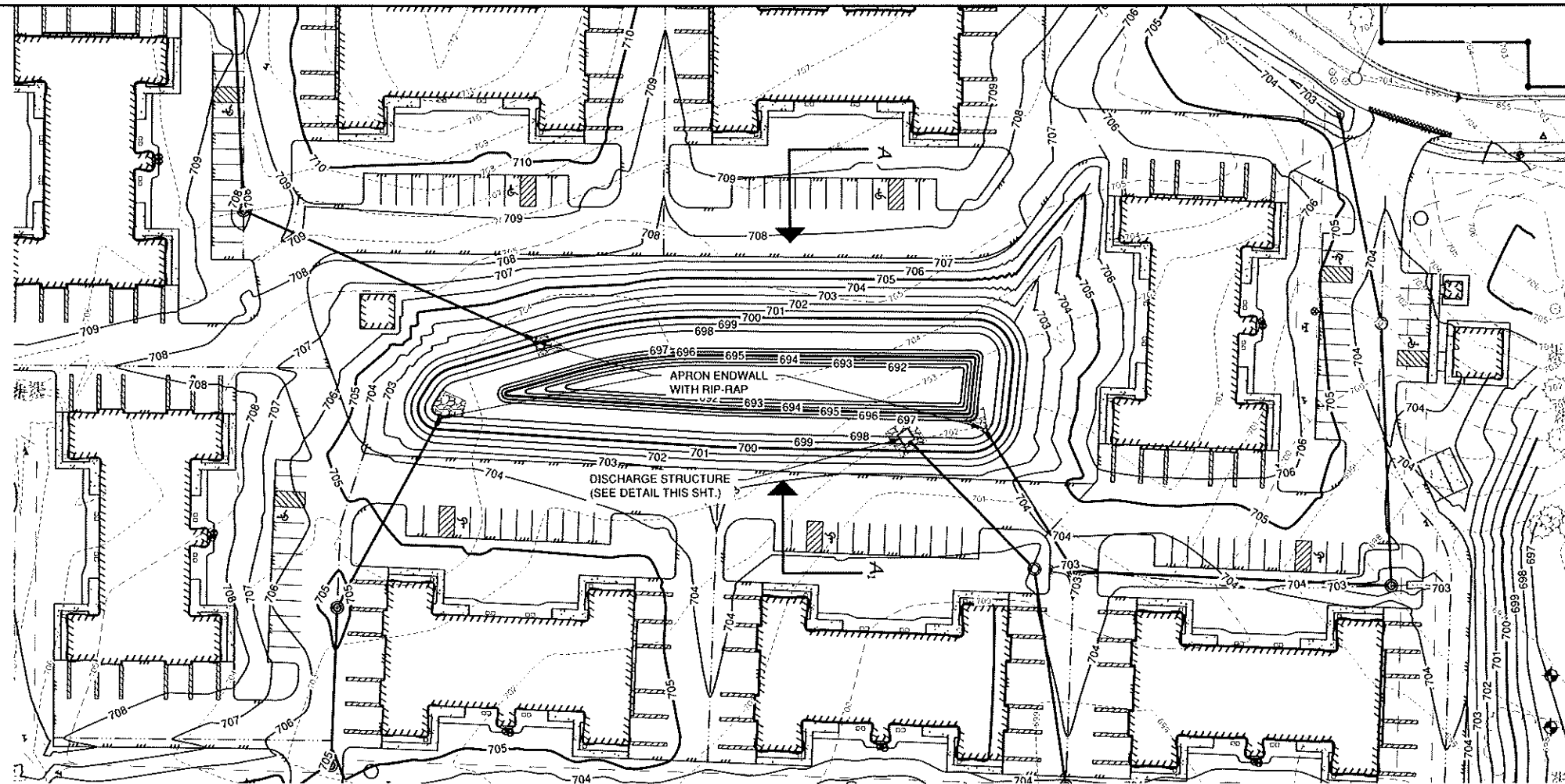
STUKEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

OVERALL LANDSCAPING PLAN

DATE
07/2021
FILE
3162020
JOB NO.
3162020

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SHEET NO.
L2



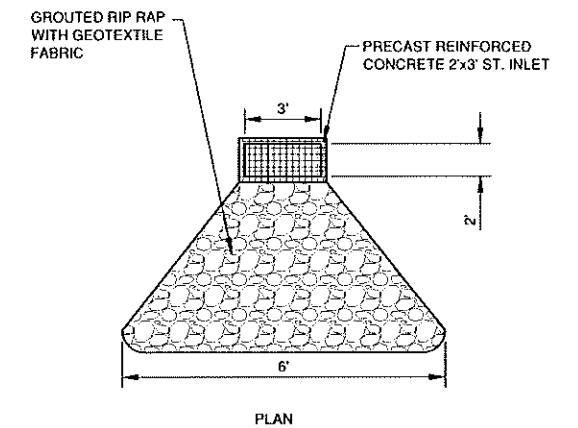
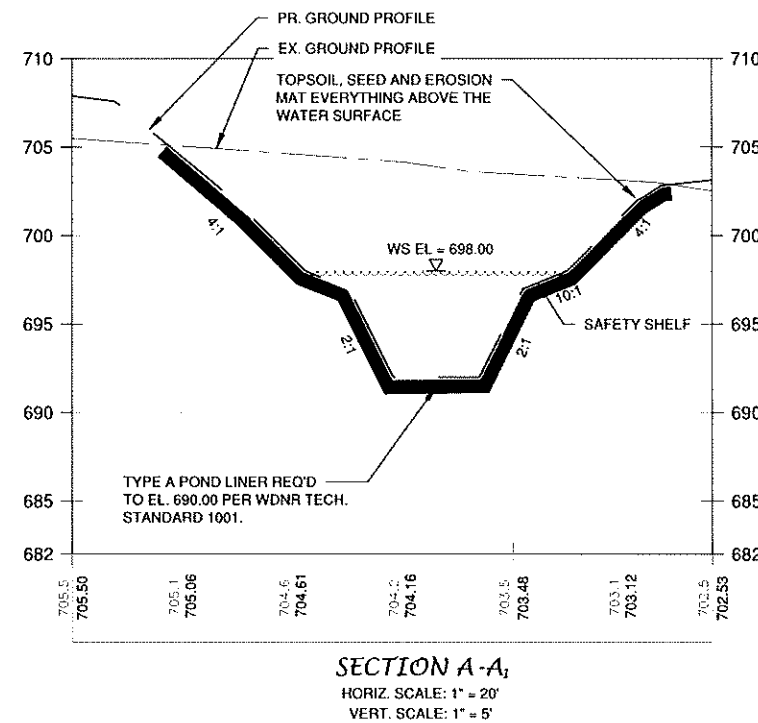
POND FLOOD ELEVATION SUMMARY

YEAR STORM	PEAK WATER SURFACE ELEVATION
1-YEAR	699.45
2-YEAR	699.77
10-YEAR	700.59
100-YEAR	701.39

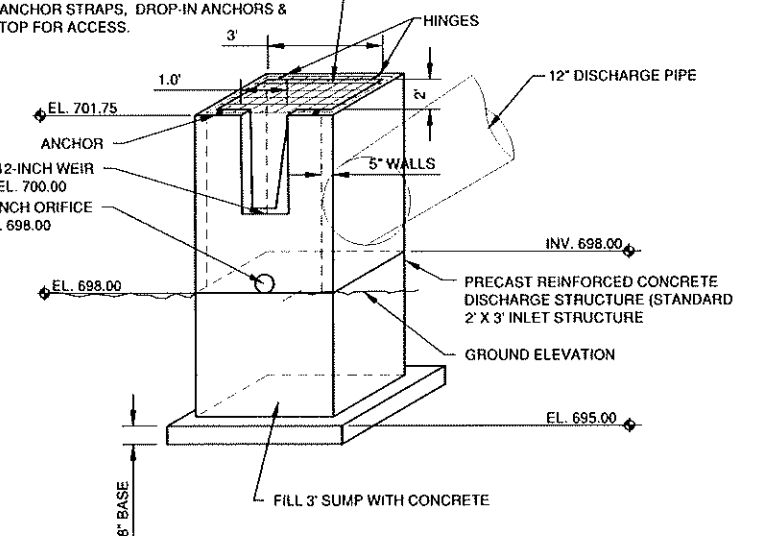
POND CONSTRUCTION NOTE

TEST PITS WERE DUG BY A&D CONTRACTING AND 2 PITS WERE LOCATED WITHIN THE POND LOCATION. TEST PITS 2 AND 3. THE REFUSAL ELEVATION AT THOSE LOCATIONS WERE 698.78 AND 697.53 RESPECTIVELY FOR PITS 2 AND 3 DUE TO HIGH BEDROCK.

POND LINER WILL BE REQUIRED PER WDNR TECHNICAL STANDARD 1001.



PROPOSED ORIFICE GRATE NO. 4 REBAR WELDED 6" O/C. ATTACH TO STRUCTURE USING STAINLESS STEEL ANCHOR STRAPS, DROP-IN ANCHORS & HINGE TOP FOR ACCESS.



DISCHARGE STRUCTURE DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	STUKEON BAY MULTI-FAMILY DEVELOPMENT FOR NICOLET LUMBER COMPANY CITY OF STURGEON BAY DOOR COUNTY, WISCONSIN	POND PLAN	DATE 01/20/21 FILE 3/26/2020 JOB NO. 3767029	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTRAL CENTRE BOULEVARD HOBBART, WI 54155 920-862-9641 www.releeinc.com	SHEET NO. P
								CHECKED					
								DESIGNED					
								A-9					

FOR CONTINUATION SEE SHEET P2

EX. INL. 33
RIM: 700.34
D=4.00'
INV: 699.06 (12" N)

SAN. MH 05
RIM: 704.50
D=10.96'
INV: 693.85 (6" E)

ST. INL. 104
RIM: 704.85
D=4.00'
INV: 700.85 (12" N)

8" TEE, 8" X 6" REDUCER,
9'-6" HYDRANT LEAD,
6" VALVE AND HYDRANT.

91'-12" ST. SEWER @ 0.77%

184'-4" WATER
SERVICE
WITH 4" X 8" REDUCER
AND 4" VALVE.
8'-2" WATER SERVICE
WITH 2" CURB STOP.

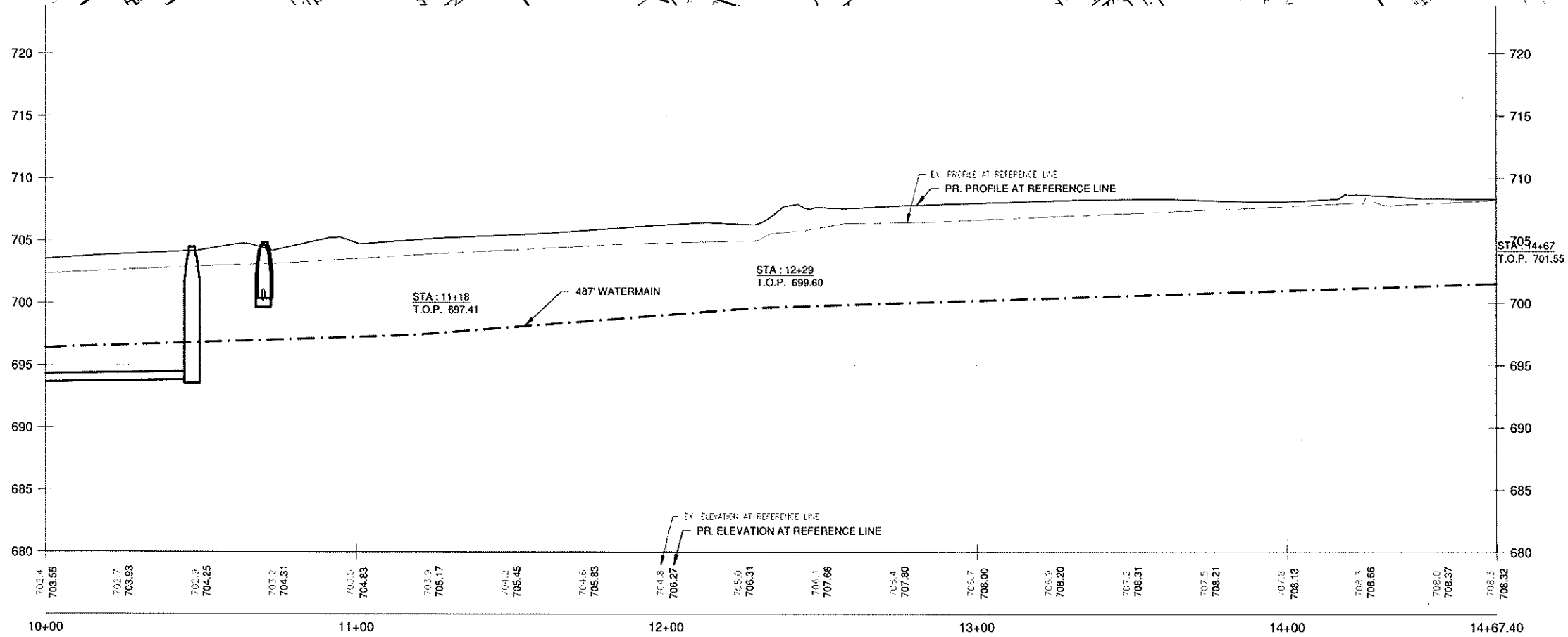
165'-6" SAN. SEWER
@ 1.04% MIN.

REFERENCE LINE



0' 20' 40'
SCALE IN FEET

- NOTE:
1. MAINTAIN A MINIMUM DEPTH OF 6.5' OVER WATERMAIN
 2. 8" PUBLIC SANITARY SEWER AND WATERMAIN SHALL BE CONSTRUCTED TO CITY OF STURGEON BAY SPECIFICATIONS.
 3. WATERMAIN MUST BE DUCTILE IRON PIPE.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								BS1
								CHECKED
								DESIGNED
								A/B

STURGEON BAY MULTI-FAMILY DEVELOPMENT
FOR NICOLET LUMBER COMPANY
CITY OF STURGEON BAY
DOOR COUNTY, WISCONSIN

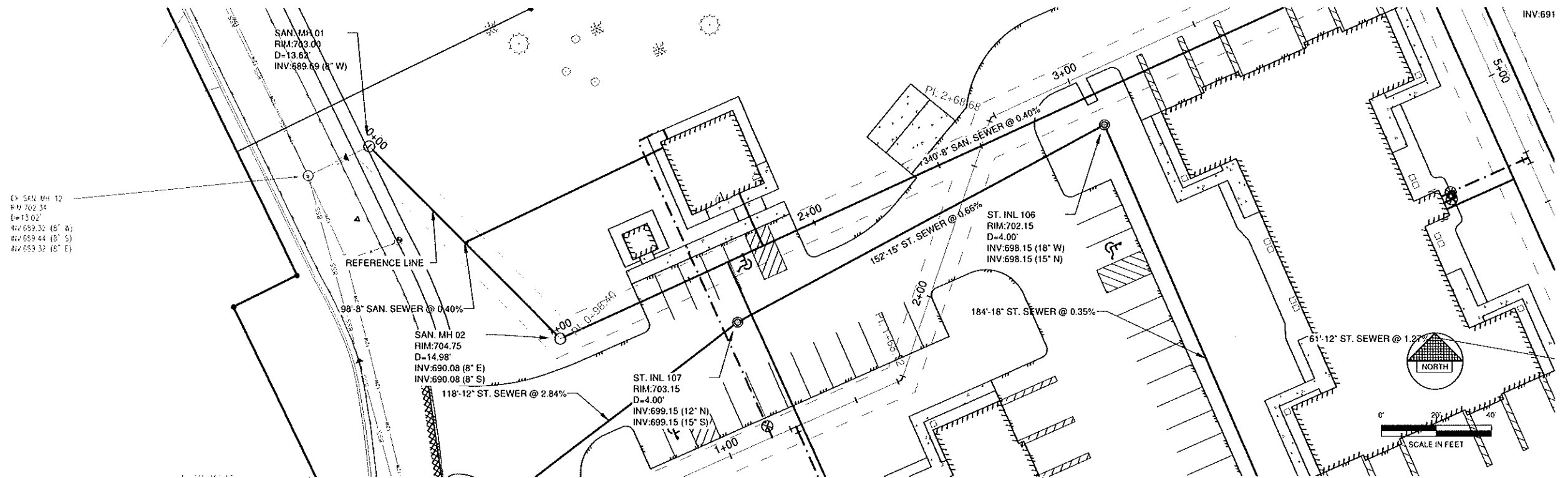
STA. 10+00 TO STA. 14+67.40

DATE
06/20/22
FILE
PUBLIC UTILITY
JOB NO.
3767009

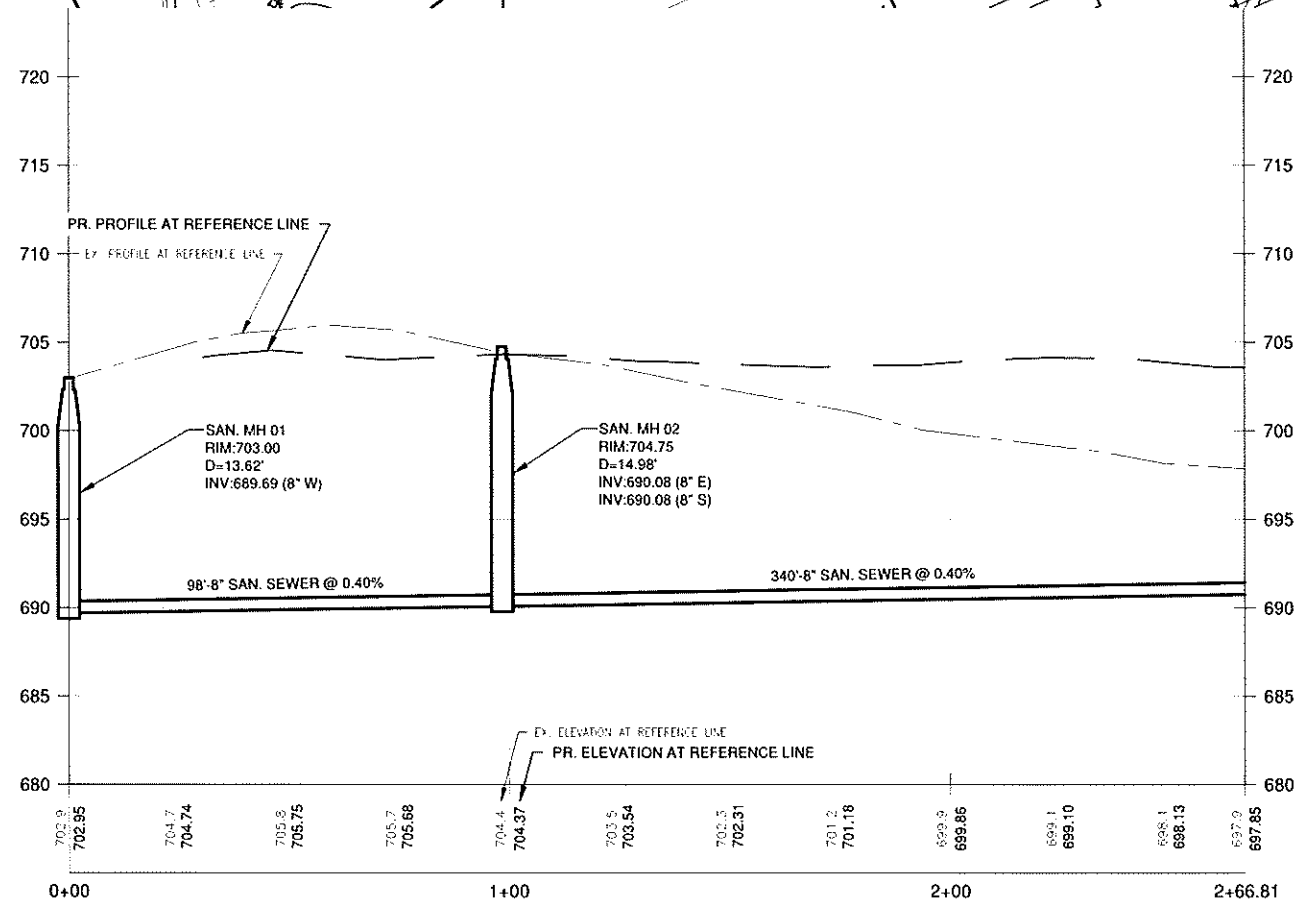


Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
920-662-9641 www.releeinc.com

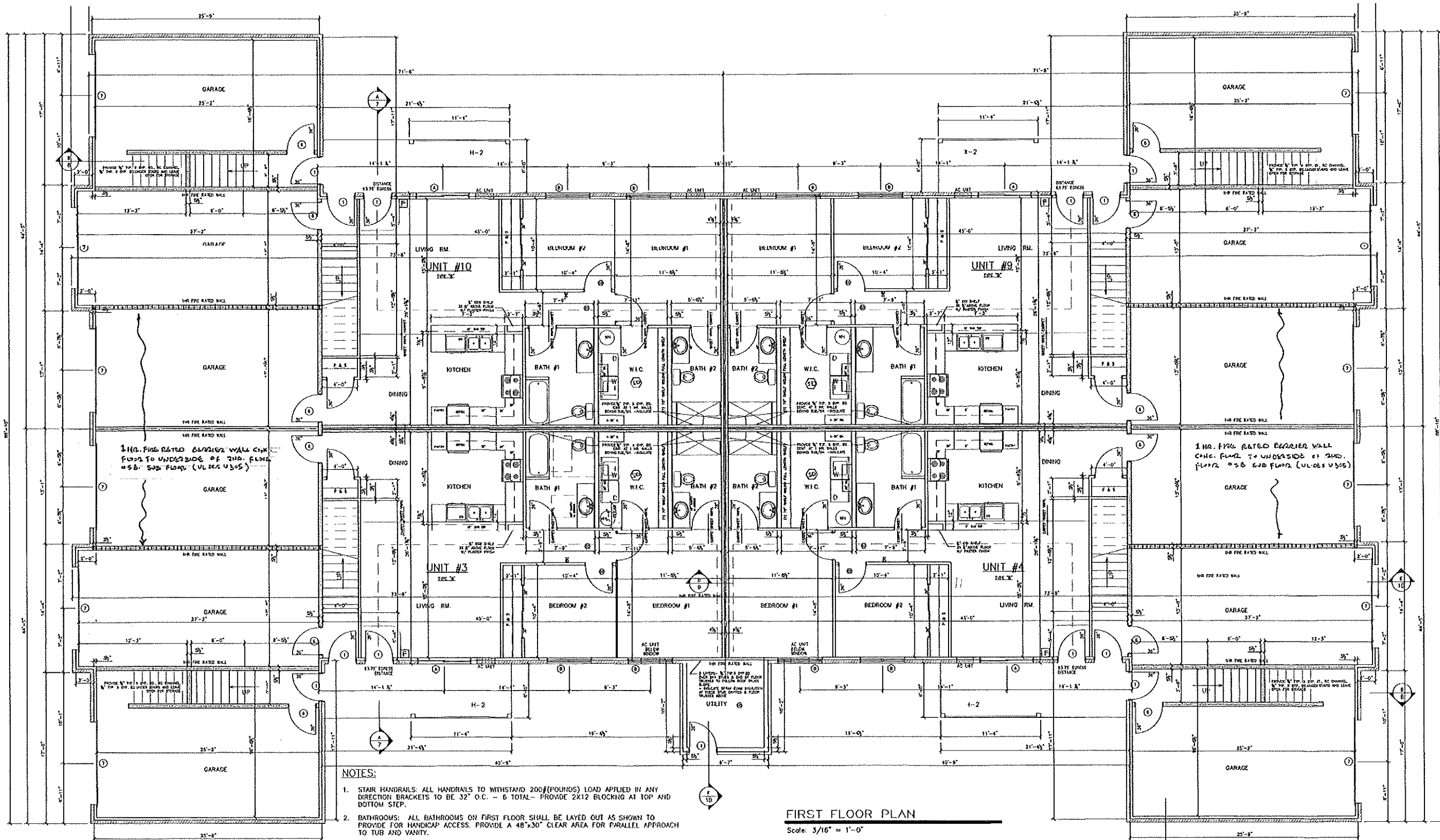
SHEET NO.
P3



- NOTE:
1. MAINTAIN A MINIMUM DEPTH OF 6.5' OVER WATERMAIN
 2. 8" PUBLIC SANITARY SEWER AND WATERMAIN SHALL BE CONSTRUCTED TO CITY OF STURGEON BAY SPECIFICATIONS.
 3. WATERMAIN MUST BE DUCTILE IRON PIPE.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	STURGEON BAY MULTI-FAMILY DEVELOPMENT FOR NICOLET LUMBER COMPANY CITY OF STURGEON BAY DOOR COUNTY, WISCONSIN	SANITARY SEWER STA. 0+00 TO STA. 2+66.81	DATE 06/20/22 FILE PUBLIC UTILITY JOB NO. 3767029	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTRAL CENTRE BOULEVARD HOBBART, WI 54155 920-662-9641 www.releinc.com	SHEET NO. P4
								CHECKED					
								DESIGNED					
								A.S.					

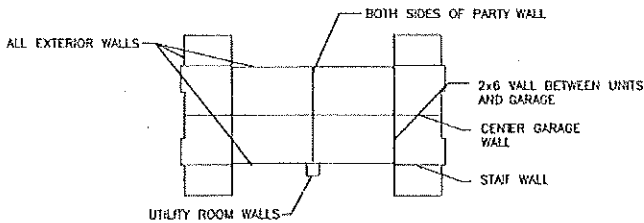


FIRST FLOOR PLAN

Scale: 3/16" = 1'-0"

NOTES:

1. STAIR HANDRAILS: ALL HANDRAILS TO WITHSTAND 200#(POUNDS) LOAD APPLIED IN ANY DIRECTION BRACKETS TO BE 32" O.C. - 6 TOTAL - PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM STEP.
2. BATHROOMS: ALL BATHROOMS ON FIRST FLOOR SHALL BE LAYED OUT AS SHOWN TO PROVIDE FOR HANDICAP ACCESS. PROVIDE A 48"x30" CLEAR AREA FOR PARALLEL APPROACH TO TUB AND VANITY.
3. PROVIDE BLOCKING IN FIRST FLOOR BATHROOMS FOR FUTURE GRAB BARS. SEE DETAILS ON SHEET 6.
4. DOORS: ALL FIRST FLOOR DOORS SHALL BE A MINIMUM OF 3'-0" TO PROVIDE A NOMINAL CLEAR OPENING OF 34".
5. LUMBER FOR JOISTS, HEADERS, RAFTERS, AND OTHER STRUCTURAL FRAMING: SPF #1/#2 OR BETTER. ALL TOP PLATES FOR ROOF TRUSS BEARING TO BE SPF #1/#2 EXCEPT AT LOWER GARAGE, ROOF GIRDER BEARING AND SECOND FLOOR BUMP-OUT GIRDER BEARING S. YELLOW PINE ALL OTHER LUMBER - SPF STUD GRADE OR BETTER.
6. ALL WALLS BETWEEN UNITS SHALL BE ONE HOUR FIRE RATED.
7. EXTERIOR SHEATHING TO BE DOW BRAND 1" EXTRUDED POLYSTYRENE TYPE IV. PER ASTM C578.
8. AT ALL FIRST FLOOR WINDOWS ONLY INSTALL 2X4 PLATE BOTTOM OF HEADERS.
9. HEADERS MADE UP OF MULTIPLE PLIES OF LUMBER SHALL BE FULL LENGTH CONTINUOUS BETWEEN POSTS. SPLICES OF PLIES BETWEEN POSTS ARE NOT PERMITTED.
10. PROVIDE MINIMUM DOUBLE STUD POST AT EACH END OF ALL WINDOW HEADERS AND GIRDER TRUSS BEARING PROVIDE MIN. 3 STUD POSTS.
11. PROVIDE SOLID BLOCKING IN THE FIRST FLOOR TRUSS SPACE BETWEEN POSTS ON THE SECOND FLOOR AND POSTS ON THE FIRST FLOOR.
12. UNDER TUBS AND SHOWERS AT SECOND FLOOR INSTALL 1/2" APA RATED OSB SHEATHING PER APA SPEC PR-108 PER UL550 SYSTEM 1.
13. AC SLEEVES ARE 26 1/4"x16 1/4" H. BEDROOM S ARE 42" ABOVE FLOOR TO SILL. LIVING



14. FRAMER TO ATTACH EXTERIOR TREATED WALL BASE PLATES WITH DRILLED IN ANCHOR BOLTS LOCATED 48" O.C. AND 12" FROM EACH END. WITH 1/2" DIA x 5" S/L BOLTS (2 1/4" MIN. EMBEDMENT INTO CONCRETE). ATTACH INTERIOR TREATED WALL BASE PLATES AT SHORT PARTY WALLS (SHEAR WALLS) WITH ANCHOR BOLTS 48" O.C. AND 12" FROM EACH END. WITH 1/2" DIA x 5" S/L BOLTS (2 1/4" MIN. EMBEDMENT INTO CONCRETE). MINIMUM TWO ANCHOR BOLTS PER ANY LENGTH OF PLATE.

NOTES: FIRE ALARM SYSTEM

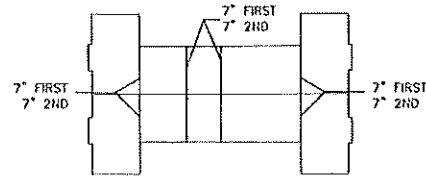
1. EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
2. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
3. SMOKE DETECTORS SHALL BE LOCATED IN WALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
4. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- SMOKE ALARM
- FIRE ALARM HORN
- FIRE ALARM PULL STATION
- COMBO SMOKE/CARBON MONOXIDE DETECTOR

15. THE FOLLOWING IS A SCHEDULE FOR FASTENING GYPSUM BOARD AT SUPPORTED PANEL EDGES AND FIELD OF PANELS:

FIRST FLOOR CEILINGS 8" O.C. OVER CHANNELS @ 12" O.C.
2ND FLOOR CEILINGS 10" O.C.

WALL FASTENER SPACING SHALL BE AS SHOWN BELOW

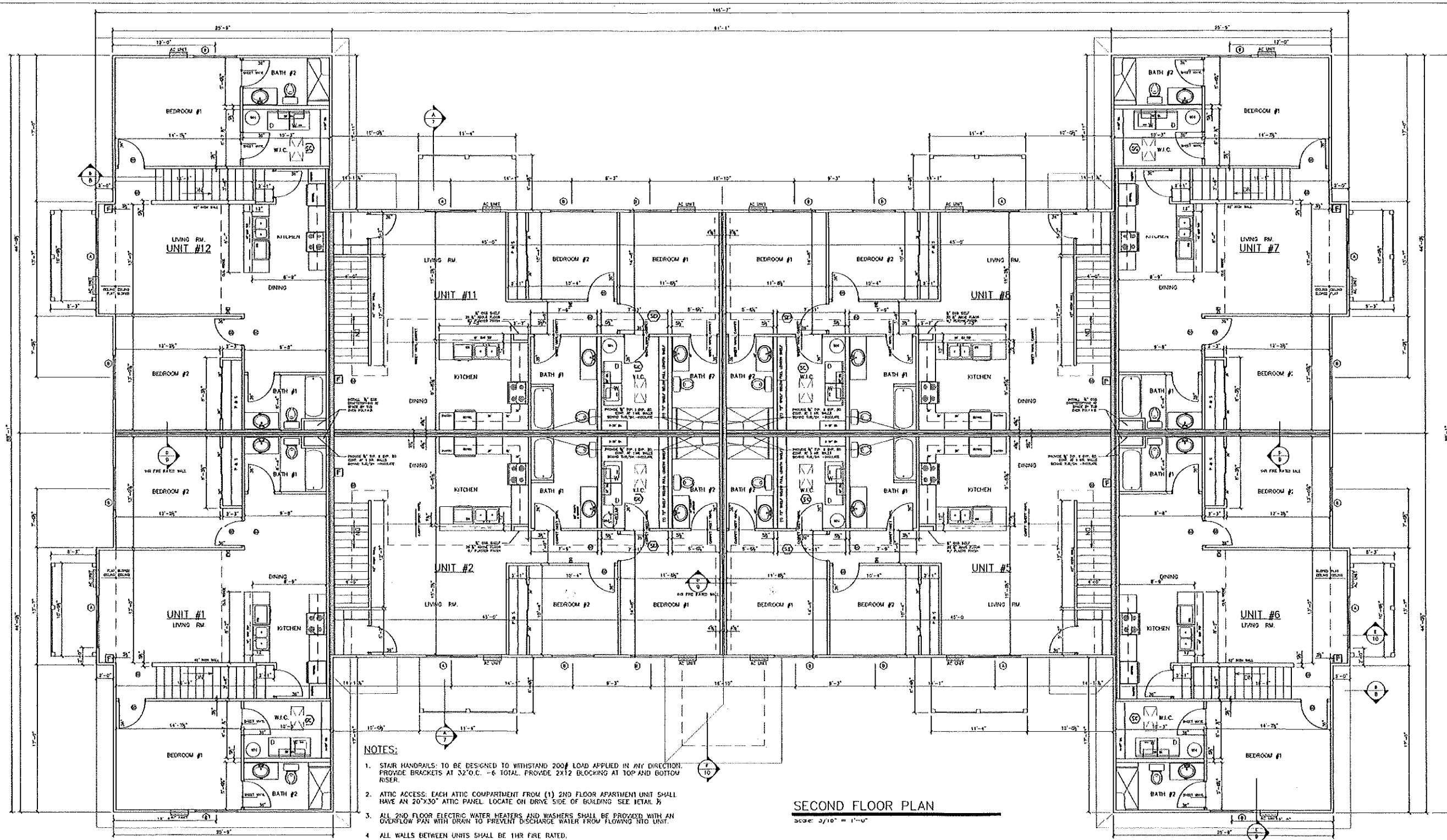


NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

PROPOSED 12 UNIT APARTMENT
NICOLET LUMBER CO.
WISCONSIN

LLOYD CARPENTER-ARCHITECT, LLC
2663 MAPLE HILLS DRIVE, GREEN BAY, WI 54313
OFFICE (920) 434-0753 - CELL (920) 655-3629
CARPARCH@GMAIL.COM

DATE: 3/29/19
FILE: 3
JOB: #032919
SHEET: 2



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

NOTES:

1. STAIR HANDRAILS: TO BE DESIGNED TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. PROVIDE BRACKETS AT 32" O.C. - 6 TOTAL. PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM RISER.
2. ATTIC ACCESS: EACH ATTIC COMPARTMENT FROM (1) 2ND FLOOR APARTMENT UNIT SHALL HAVE AN 20"X30" ATTIC PANEL. LOCATE ON DRIVE SIDE OF BUILDING. SEE DETAIL 1/2.
3. ALL 2ND FLOOR ELECTRIC WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM FLOWING INTO UNIT.
4. ALL WALLS BETWEEN UNITS SHALL BE 1HR FIRE RATED.
5. PLUMBER TO INSTALL 5/8" TYPE X GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB/SH. BEFORE RUNNING DRAIN LINE THRU FLOOR AND FIRE CAULK OPENING.
6. PORCHES: ALL LUMBER USED IN THE CONSTRUCTION OF THE 2ND FLOOR DECKS SHALL BE TREATED, GRAY RESISTANT LUMBER. DECK CONSTRUCTION SHALL HAVE MIN. LIVE LOAD OF 100#PSF. ALL PORCH RAILINGS SHALL HAVE A HEIGHT OF 42" FROM DECK. RAILINGS SHALL BE CONSTRUCTED SO AN 4" OBJECT CANNOT PASS THRU RAILINGS. HANDRAILS AND GUARDRAILS TO BE DESIGNED FOR 200# LOAD APPLIED IN ANY DIRECTION.
7. AC SLEEVES TO BE 26 1/2" X 16 1/2" H R.O. 1ST FLOOR ARE 42" A.F.F.. 2ND FLOOR TOP OF SLEEVE IS WINDOW HEADER HT.
8. BEFORE INSTALLING 5/8" GYP. BD. BEHIND TUB SHOWERS INSTALL 3 1/2" BATT INSUL. AT SHOWERS AT CORNER UNITS INSTALL R-13 Batts & 4ML V.B..
9. UNDER TUBS AND SHOWERS AT 2ND FLOOR INSTALL 1/2" APA RATED OSB SHEATHING PER APA SPEC PR-108 PER UL 1550 SYSTEM 1.
10. FIRE WALL PENETRATIONS: NO OPENINGS AROUND PIPE, ELECTRICAL BOXES, CONDUITS, DUCTS, OR OTHER PENETRATING ITEMS THROUGH A FIRE PROTECTIVE MEMBRANE (WHICH IS GYP. BD. OR FLOOR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2" ALL OPENINGS MUST BE SEALED WITH FIRE STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. IN FIRE WALLS ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESIST. OR METALLIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LAB. BOXES MUST NOT BE MORE THAN 16 SO. INCHES. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE 24" MIN. HORIZ. TOTAL AGGREGATE WIDTH OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN. IN 100 SQ. FT. DUCT OPENING LARGER THAN 20 SQ. IN. SHALL BE PROTECTED WITH FIRE DAMPER OR 6" O. CONT. STEEL DISTANCE FROM THE MEMBRANE PENETRATION TOWARD THE AIR HANDLING UNIT.

NOTES: FIRE ALARM SYSTEM

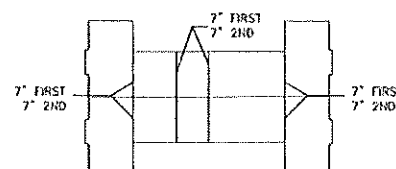
1. EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
2. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
3. SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
4. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- ☼ SMOKE ALARM
- ☼ FIRE ALARM HORN
- ☼ FIRE ALARM FULL STATION
- ☼ COMBO SMOKE/CARBON MONOXIDE DETECTOR

11. THE FOLLOWING IS A SCHEDULE FOR FASTENING GYPSUM BOARD AT SUPPORTED PANEL EDGES AND FIELD OF PANELS:

FIRST FLOOR CEILINGS 6" O.C. OVER CHANNELS @ 12" O.C.
2ND FLOOR CEILINGS 10" O.C.

WALL FASTENER SPACING SHALL BE AS SHOWN BELOW

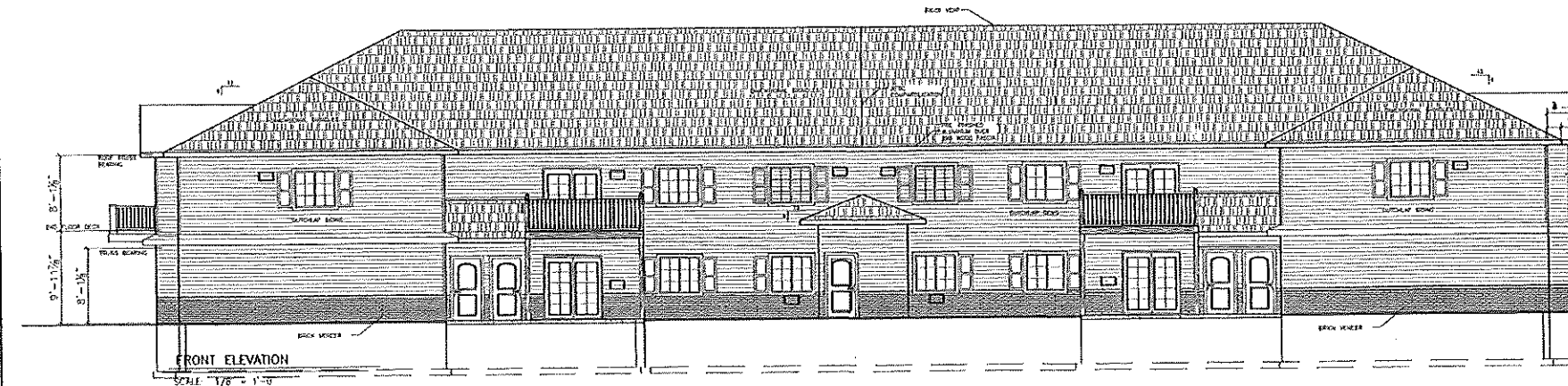
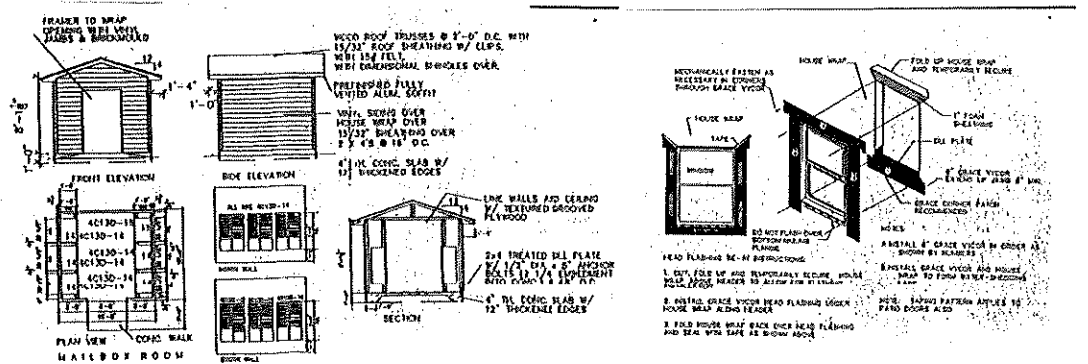
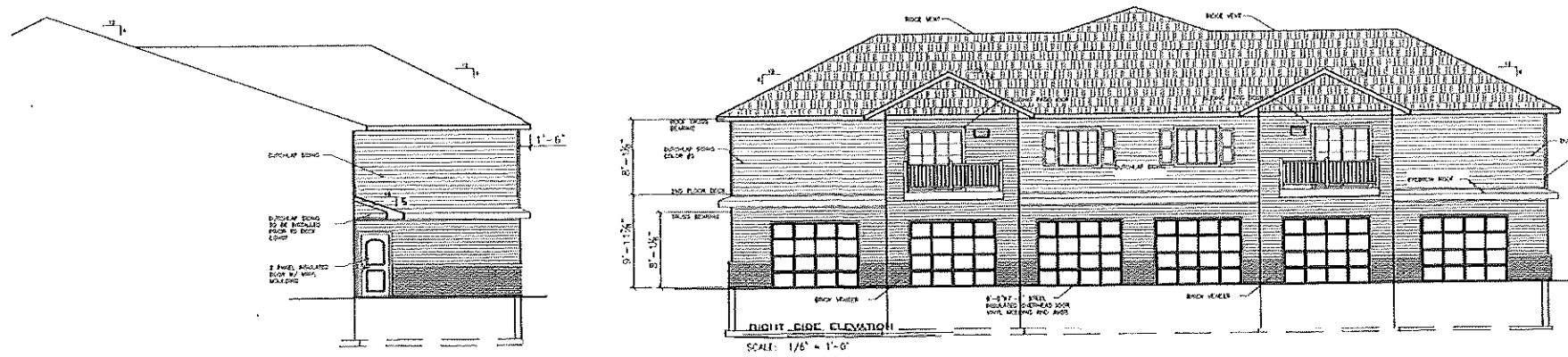


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PROPOSED 12 UNIT APARTMENT
NICOLET LUMBER CO.
WISCONSIN

LLOYD CARPENTER-ARCHITECT, LLC
2663 MAPLE HILLS DRIVE, GREEN BAY, WI 54313
OFFICE (920) 434-0755 - CELL (920) 655-3929
CARPARCH@GMAIL.COM

DATE: 3.29.19
FILE: 3
JOB: #022019
SHEET: 3



24 LIGHT FIXTURES AROUND BUILDING AND STANDARD (EX6) J-BLOCK FOR RECEPTACLES (12)

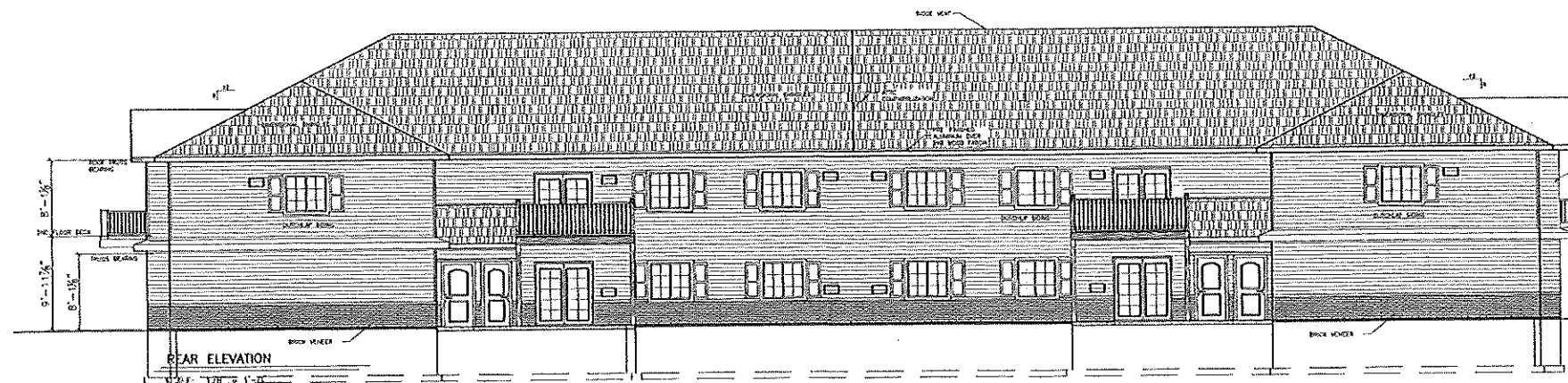
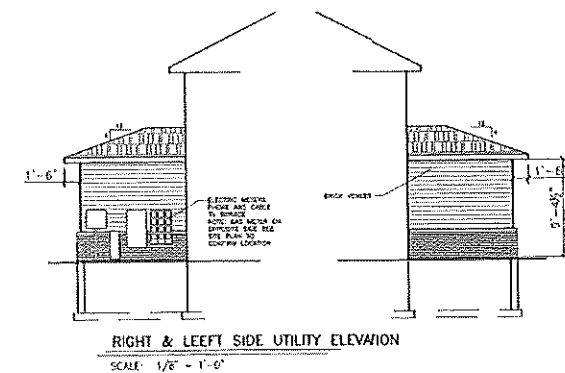
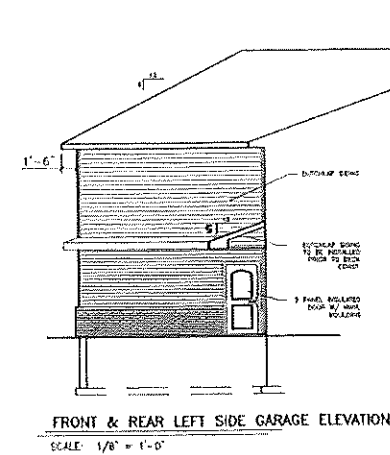
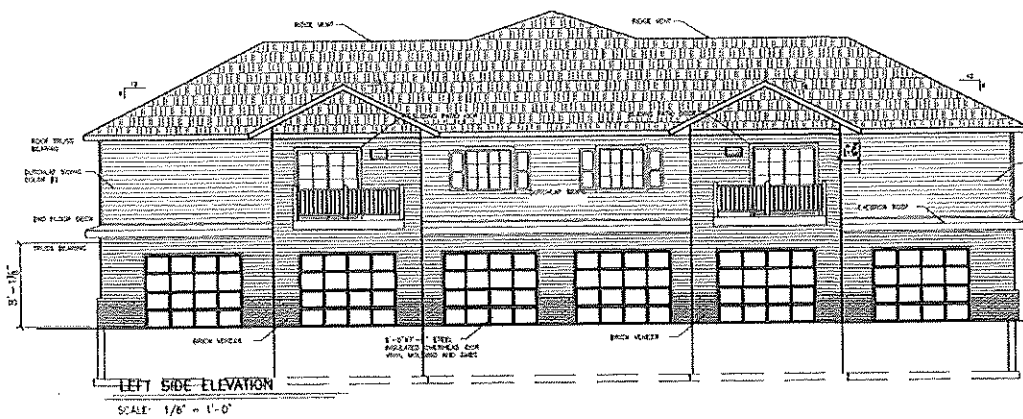
NOTE: SIDING INSTALLER TO PROVIDE HOODED STYL 4" DRYER DUCT VENTS W/ FLAPPER (6) AND HOODED STYL 4" BATH EXHAUST VENTS W/ FLAPPER (6) TO MATCH SIDING COLOR AND DEFLECT-O SOFFIT STYLE DRYER EXHAUST VENTS W/ FLAPPER (4) WHITE COLOR TRIM OUT GRILLES PER MANF. INSTRUCTION FOR DRYERS.

NOTE: SIDING INSTALLER TO CONNECT TO BATH EXHAUST DUCT AND INSTALL SOFFIT GRILLE WITH MID AMERICA MASTER EXHAUST VENT WHITE COLOR. (16)

NOTE: SIDING INSTALLER TO PROVIDE CLEAR EXTERIOR GRADE SEALANT AND CAULK ALONG STONE, AC SLEEVES, DOOR MOLDINGS, DECK JOIST AND RAILINGS, J-TIM

TAPE OFF VENTED SOFFIT WITH TYVEK LIKE TAPE 24" EACH SIDE OF SOFFIT EXHAUST VENT.

VERIFY ALL WINDOW & DOOR LOCATIONS & STYLES WITH FLOOR PLAN SHEET TO DETAILS & DEVELOPER

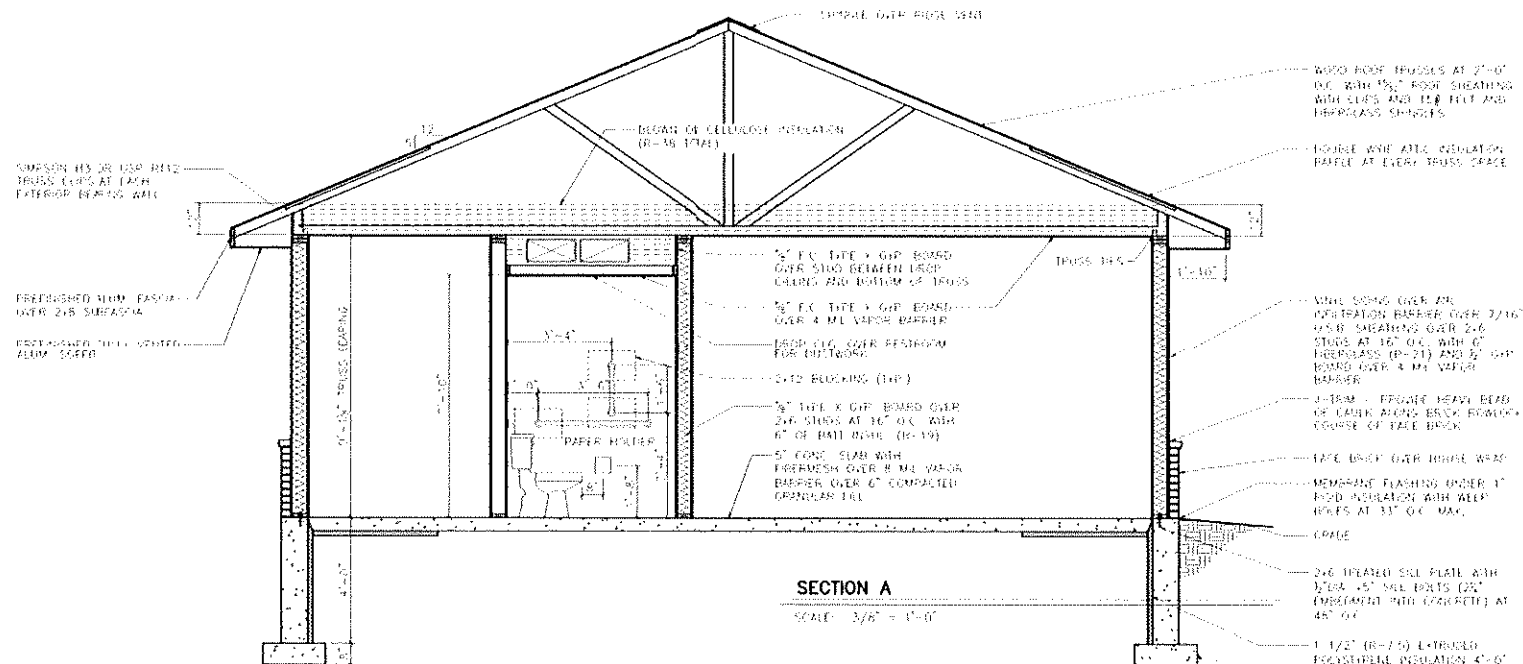
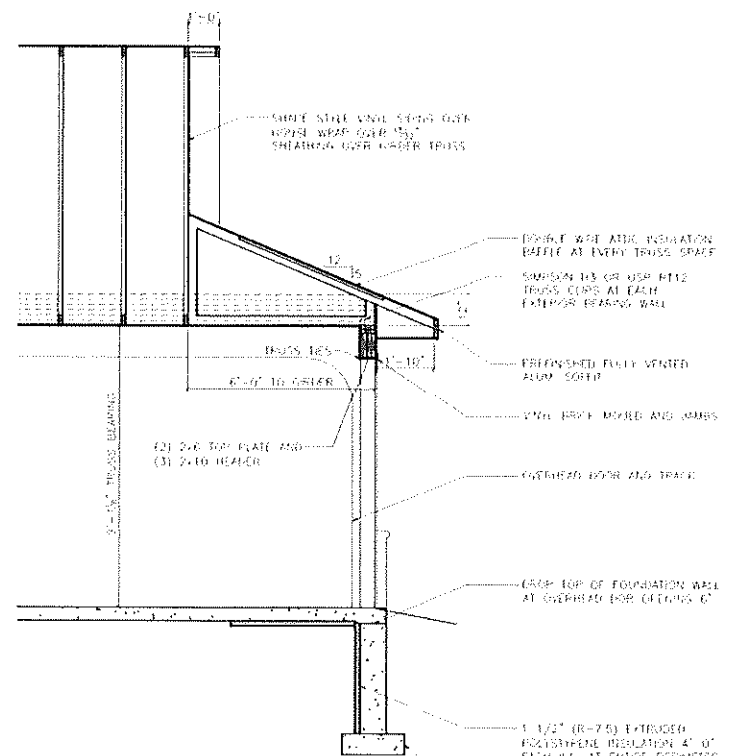


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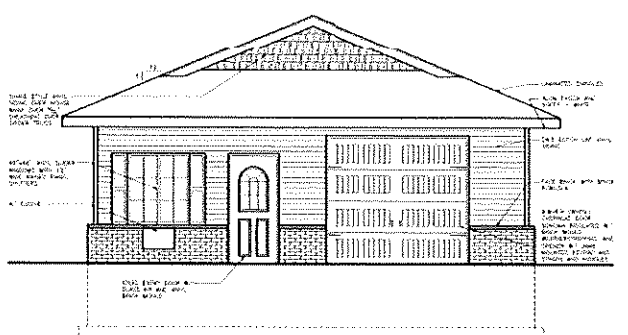
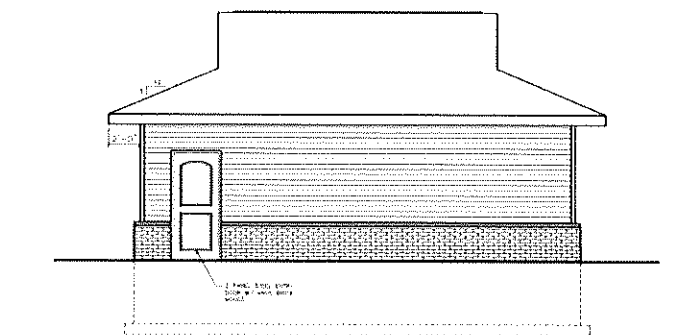
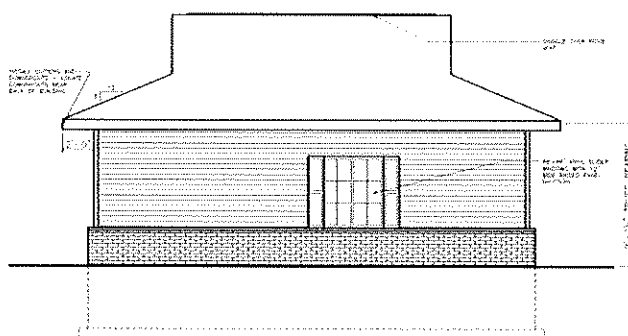
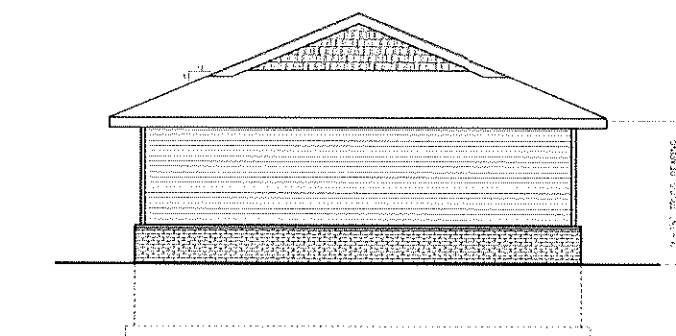
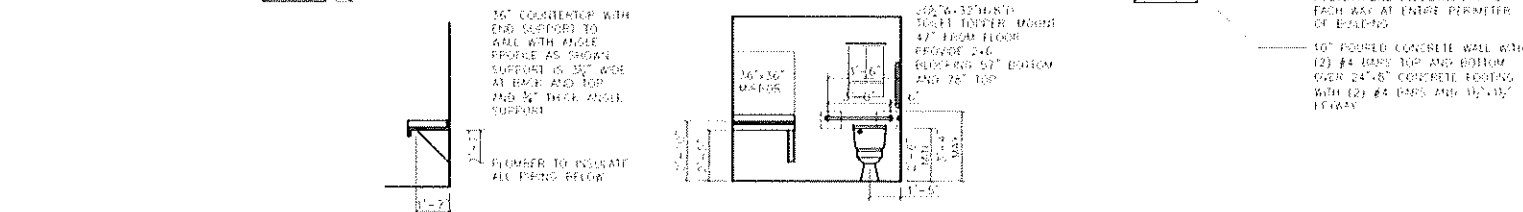
PROPOSED 12 UNIT APARTMENT
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WISCONSIN

LLOYD CARPENTER-ARCHITECT, LLC
2663 MAPLE HILLS DRIVE, GREEN BAY, WI 54313
CELL 9201 655-3629
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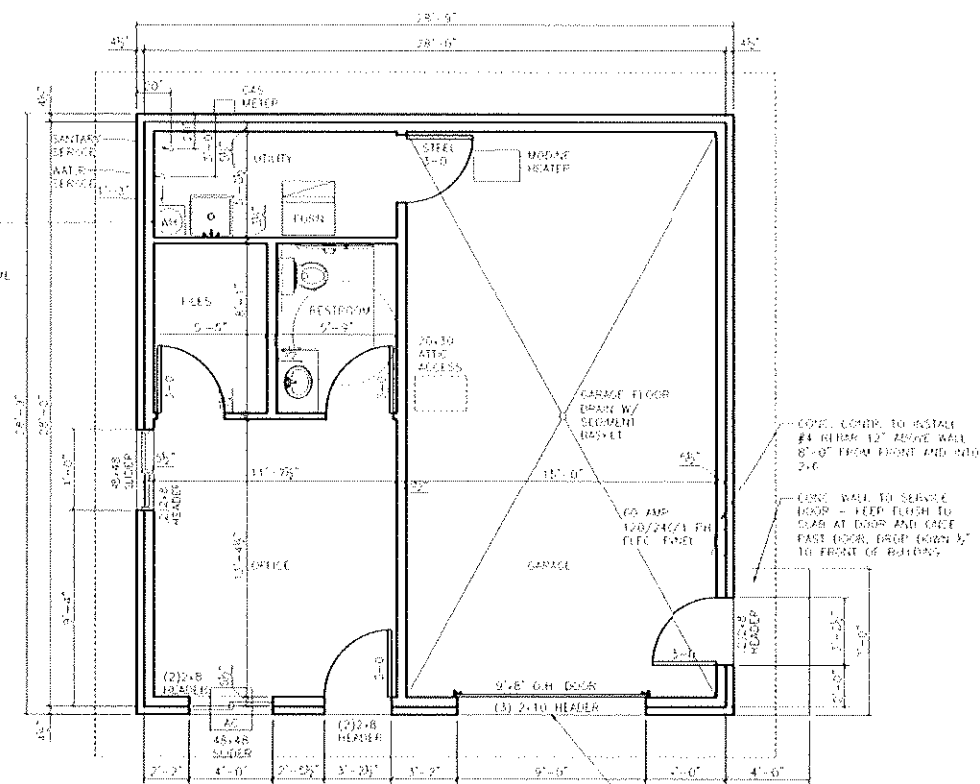
DATE: 3.29.19
FILE: J
JOB: #00219
SHEET: 5



SECTION B
SCALE: 3/8" = 1'-0"



10" WATER HEATER
20" DIA. WITH WATER
FITTER TO BUILD
DRILL WITH 2x4 FRAME
SCREWED TO WALLS
W/SCREW PANEL AS
SHELL 4" CLEAR
UNDER 2x4 FRAME



NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

DATE: 3 FILE: JOB: SHEET: G1

OFFICE MAINTENANCE GARAGE
COUNTRY PLEASANT APTS
WISCONSIN

LLOYD CARPENTER-ARCHITECT, LLC
2863 MAPLE HILLS DRIVE, GREEN BAY, WI 54313
CELL (920) 656-3629
CAPPARCH@GMAIL.COM













PREMIER REAL ESTATE MANAGEMENT

EXTERIOR (2 SCHEMES)		
ROOF/SHINGLES	ALL: ATLAS PINNACLE SHINGLES – PRISTINE WEATHERED	
ROOF EDGING	WHITE	
FACIA/SOFFIT	WHITE 16" CENTER VENTED SOFFIT	
WINDOWS	ELLISON – WHITE	
GUTTERS	WHITE	
PRIMARY VINYL SIDING	A: VORTEX VARIFORM – 46 ML DUTCH LAP DOUBLE 4.5 – DEEP BRUNSWICK B: VORTEX VARIFORM – 46 ML DUTCHLAP DOUBLE 4.5 – TWILIGHT SHADOW	
GARAGE END GABLES ALL WAY DOWN	A: SHAKE – TEAK B: SHAKE – OLD DUBLIN	
SIDING CORNERS	WHITE	
FAN/DRYER VENT	MATCH SIDING COLORS – 12 OR 8 FOR DRYERS AND 8 BATH FANS HOODED STYLE OR DEFLECT-0 SOFFIT VENT TOTAL OF 4	
BATH SOFFIT VENTS	WHITE COLOR TO BE MIDAMERICA MASTER INTAKE/EXHAUST STYLE – TOTAL OF 12 OR 16	
BRICK	KENTWOOD BRICK – 9404 ACADIAN - KING SIZED – 50%	
SHUTTERS	PLYGEM RAISED PANEL – SPANISH MOSS (93) ALL BUILDINGS NOTE: ONE PAIR SHUTTERS TO BE 3-BOARD CLOSED TO FIT AT WINDOWS EACH SIDE UTILITY ROOM	
EXTERIOR ENTRY DOORS	6 PANEL - PAINTED TO MATCH SHUTTERS (SPANISH MOSS) – SEMI-GLOSS SHEEN (NOT FLAT)	
ENTRY DOOR FRAME	WHITE	
GARAGE DOORS	MODEL r138 SONOMA WITH HANDLES & HINGES (WHITE)	
GARAGE DOOR FRAMES	MENARDS VINYL JAMBS & BRICKMOULD (WHITE)	
BALCONIES	WHITE COMPOSITE RAILING SYSTEM & FASCIA BOARD	
MAINTENANCE GARAGE/OFFICE	YES – INTERIOR SAME AS UNITS, CARPET SAME AS STAIRS BATHROOM VINYL MOWHAWK DANBURY, VINYL BASE	
MAILBOXES	BRONZE	
DUMPSTER CORRAL	3 SIDED PRESSURE TREATED WOOD AND CEDAR BOARDS	
COACH LIGHTS	BARN LIGHTS – PATRIOT MATTIA 11" - GRAY	
A/C GRILLS	NONE – FURNACES & CONDENSING UNITS	
PROJECT SIGN	LARGE	



MEMO

To: Aesthetic Design and Site Plan Review Board
From: Christopher Sullivan-Robinson
Date: June 22, 2022
Subject: 100ft x 100ft Building Addition – 615 S Lansing Ave

Midwest Wire Products located at 615 South Lansing Avenue is requesting approval of a 100-ft. x 100-ft. x 20-ft. building addition on the north end of the existing facility. In addition, they are seeking approval of a 4-ft x 12-ft metal canopy to be located by the existing entry way off of Lansing Avenue.

Building Design: The addition is intended to match the existing building consisting of metal siding and roofing panels. Colors will closely resemble the existing look. The north side of the building will have a wainscoting with a darker gray color. Down spouts will be located on the east and west walls of the building which is the directions the roof is pitched. Loading facilities will be located west side of the building consisting of two sets of overhead doors. The proposed canopy to be located by the main office area is not approved for zoning as it will encroach the setback off of Lansing Avenue. However, the committee and approve the design and located subject to approval of a variance from the zoning board of appeals for encroachment of setbacks.

Access: A new internal driveway will extend off the west side of the building connecting to other driveways on the neighboring property. There are no issues with the design as provided.

Stormwater Management: The new building will be located within some greenspace on the north end of the property. There are not restricted by related to impervious surface limits under the light industrial zone. They will have to submit a formal stormwater management plan to the City Engineer prior to obtaining a building permit. The City Engineer did receive the site plan in your packet and does not have any comments at this time. A water retention area will be located west of the addition with drains leading to the existing storm sewer.

Landscaping: No landscaping is proposed with this addition. Some grading will occur around the addition, so I'm assuming that will be replanted with natural grass. There is some existing tree near the street frontage.

Parking: No new parking is required with this addition as they don't intend to have an increase in employees.

Guidelines: Here are some things to consider from the design guidelines:

1. The use of identical building materials on all sides of a building that are visible from public streets is encouraged.

2. Metal siding is strongly discouraged except for industrial buildings or for facades not facing public areas such as streets or parking areas.
3. Vegetative landscaping shall be used to soften the appearance of blank walls.
4. Exterior light fixtures shall be shielded such that direct beams of light are not cast skyward or onto adjoining property. Exterior light fixtures for signage, building entrances, accents, parking lots, and landscaped areas are strongly encouraged to be downward directed. Auto-dimmers and timers are encouraged for all exterior lights to limit energy waste during non-operational hours. Lighting of an intensity beyond which is reasonably required to conduct operations or maintain security is discouraged. Lighting fixtures and devices promoting energy efficiency are encouraged.
5. The use of door and window canopies and awnings is encouraged.

Staff recommendation: Approve a certificate of appropriateness as presented subject to:

1. The property owner must receive any necessary variances for siting of the awning.

CITY OF STURGEON BAY

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

APPLICATION FOR **CERTIFICATE OF APPROPRIATENESS**

Name: MIDWEST WIRE PRODUCTS

Owner of Premises: ERIC VOLLARTH

Address or Legal Description of Premises:

615 S. LANSING AVE

Statement of Specific Item Requested for Approval:

- ① 100' X 100' ADDITION ONTO THE NORTH
SIDE OF EXISTING BUILDING.
SAME HEIGHT AS EXISTING - 20',
STEEL SIDING TO MATCH EXISTING
WITH ADDED WAINSCOTE ON
NORTH SIDE.
- ② ADD A 12' X 4' METAL CANOPY OVER
EXISTING FRONT ENTRY.

Date

DAVE PHILLIPS (AGENT)
Applicant

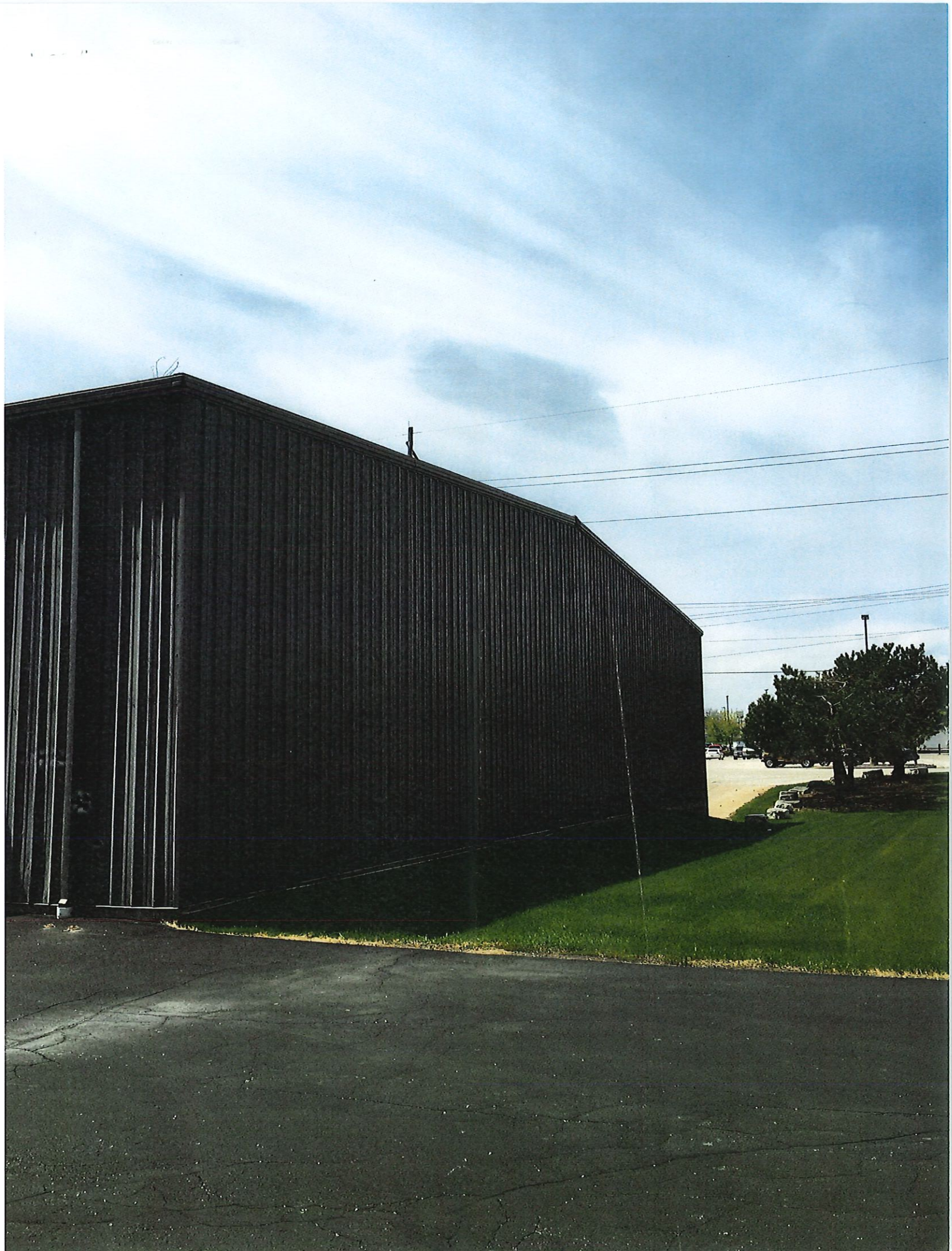
DATE RECEIVED _____

STAFF SIGNATURE _____

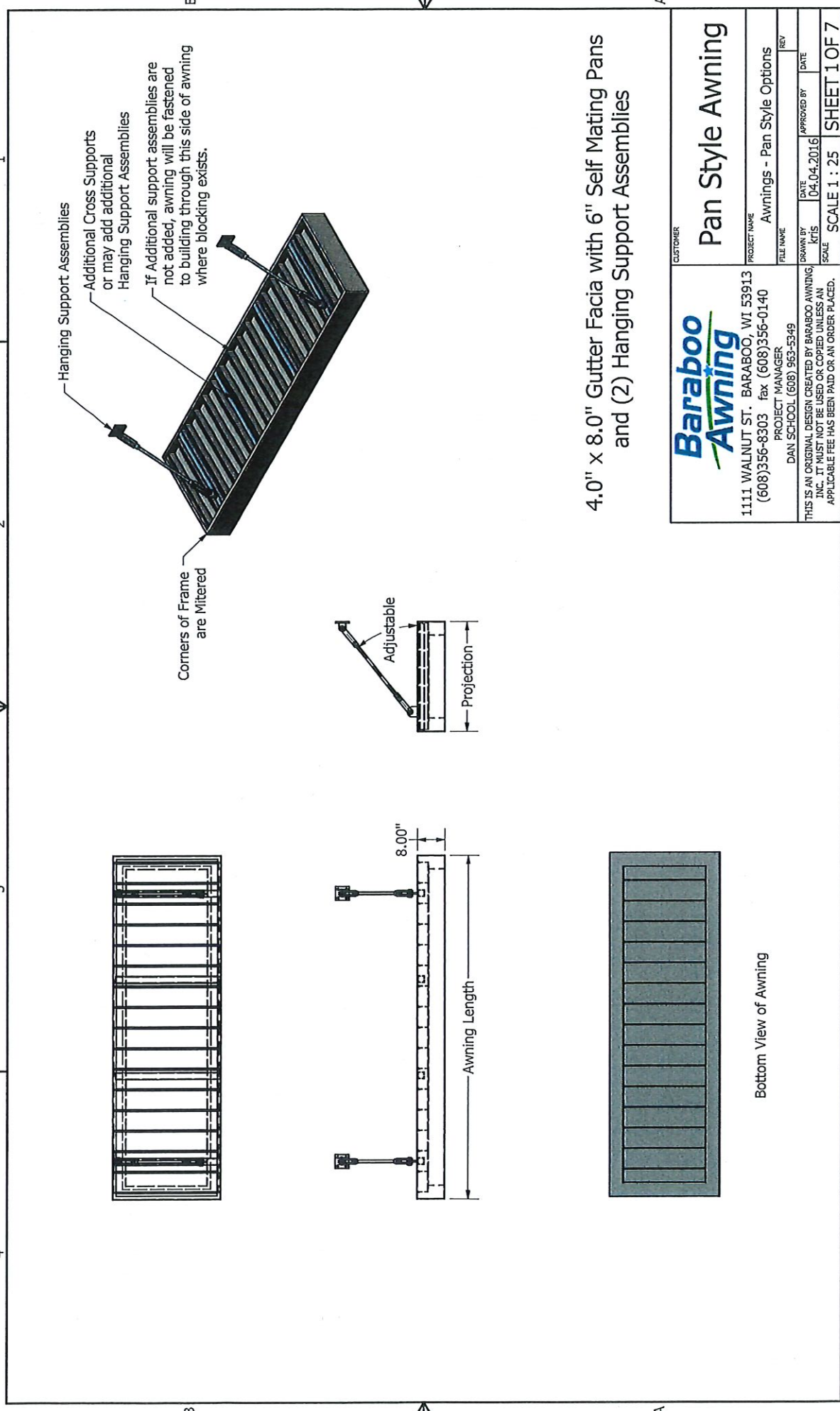
DATE APPROVED/DENIED _____







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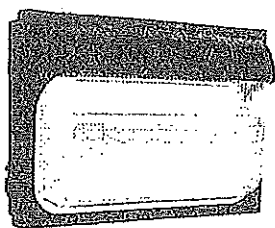
4.0" x 8.0" Gutter Fascia with 6" Self Mating Pans
and (2) Hanging Support Assemblies

		Pan Style Awning	
CUSTOMER PROJECT NAME 1111 WALNUT ST. BARABOO, WI 53913 (608)356-8303 fax (608)356-0140		PROJECT NAME Awnings - Pan Style Options	
PROJECT MANAGER DAN SCHOOL (608) 963-5349		FILE NAME Awnings - Pan Style Options	
THIS IS AN ORIGINAL DESIGN CREATED BY BARABOO AWNING, INC. IT MUST NOT BE USED OR COPIED UNLESS AN APPLICABLE FEE HAS BEEN PAID OR AN ORDER PLACED.		DRAWN BY KTS	DATE 04.04.2016
		APPROVED BY KTS	DATE 04.04.2016
		SCALE 1 : 25	
		SHEET 1 OF 7	

Bottom View of Awning







TWPX2 LED

Vandal Resistant LED Wall Luminaire

Catalog
Number

MIDWEST
WIRE

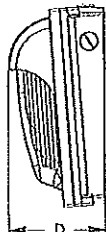
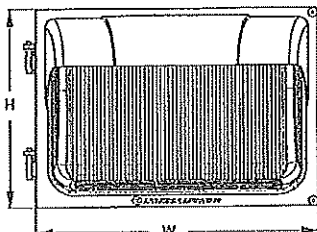
Notes

OUTSIDE LIGHT

Type

Specifications

Depth: 4.5"
Height: 9.0"
Width: 13.0"
Weight: 7.5 lbs
(without options)



Introduction

The TWPX LED wall pack family features premium polycarbonate lenses that are designed to make these luminaires tough enough to take real world abuse in applications such as parks and recreation areas, locker rooms, entry ways or any public space that has high-traffic and low mounting height. The TWPX2 LED is energy efficient, saving up to 82% in energy costs when replacing a metal halide luminaire.

The Adjustable Light Output (ALO) feature allows the contractor to set the light output during installation, to a level perfectly suited for the job site. The TWPX2 LED ALO luminaires can replace anything from a 70W to 250W metal halide luminaire.

TWPX LED Family Overview

Luminaire	Voltage	Photocell	Lumens (4000K)			
			P1	P2	P3	P4
TWPX1 LED	MVOLT (120-277V)	YES	1,450	2,700	—	—
TWPX2 LED	MVOLT (120-277V), 347V, 480V	YES	3,150	4,250	5,050	6,600
TWPX3 LED	MVOLT (120-277V), 347V	YES	8,400	10,150	12,300	13,200

Ordering Information

EXAMPLE: TWPX2 LED ALO 40K MVOLT DDBXD

Series	Part #	Color Temperature	Voltage	Options	Finish
TWPX2 LED	P1 3,150 lumens	30K 3000K	MVOLT (120-277V)	PE Photocell, Button Type	DDBXD Dark bronze
	P2 4,250 lumens	40K 4000K	347		DBLXD Black
	P3 5,050 lumens	50K 5000K	480		DWHXD White
	P4 6,600 lumens				DHAXD Natural aluminum
	ALO 1,400-6,600 lumens				DNATXD Textured natural aluminum
					DBBTXD Textured dark bronze

FEATURES & SPECIFICATIONS

INTENDED USE

The TWPX2 LED is an energy-efficient, low maintenance LED wall pack for replacing up to a 250W MH fixture, providing the same footprint on the wall. TWPX2 is ideal for applications such as carports, loading areas, driveways and parking areas.

CONSTRUCTION

Two-piece die-cast aluminum housing to optimize thermal management through conductive and convective cooling. The door is hinged on the side and can be removed for easy installation. The housing is completely sealed against moisture and environmental contaminants (IP65) and is suitable for the hose-down applications.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

The advanced optical design uses both reflector and refractor technologies that work together to create superior illumination and further throw, getting the light where it is needed. The UV stabilized polycarbonate refractor is specifically designed to maximize light extraction and create a fully luminous luminaire for a better nighttime look.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to housing to maximize heat dissipation and promote long-life (up to L81/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

INSTALLATION

Designed for wall mounting above four feet from the ground. Housing is configured for mounting directly over a standard junction box (by others) or for surface wiring via any of three 1/2" threaded entry hubs.

LISTINGS

CSA certified to U.S. and Canadian standards, IP65 rated for outdoor applications. Rated for -40°C minimum ambient.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

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TWPX2 LED
Rev. 05/19/21

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	10K (800K-8000)		40K (4000K-8000)		50K (5000K-8000)	
		Lumens	LPW	Lumens	LPW	Lumens	LPW
P1	23W	3,000	130	3,150	137	3,150	137
P2	32W	4,050	127	4,250	133	4,250	133
P3	39W	4,850	124	5,050	129	5,050	129
P4/ALO	54W	6,300	117	6,600	122	6,600	122

Electrical Load

Performance Package	System Watts	9/16/16 (C)					
		12V	24V	36V	72V	72V	80V
P1	23W	0.195	0.112	0.097	0.084	0.067	0.049
P2	32W	0.268	0.154	0.134	0.116	0.093	0.067
P3	39W	0.326	0.188	0.163	0.141	0.113	0.082
P4/ALO	54W	0.447	0.258	0.224	0.194	0.155	0.112

Adjustable Lumen Output (ALO) Table

Setting	System Watts	Lumen Output	Factory Default
8*	54W	6,600	250W
7	51W	6,300	
6	42W	5,450	150/175W
5	36W	4,700	
4	29W	3,900	
3	22W	3,050	100W
2	15W	2,150	
1	9W	1,400	70W

* Factory default setting is #8

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Average	Multiplier
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

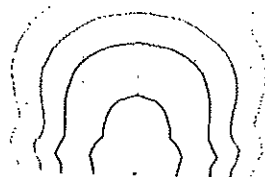
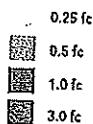
Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	60,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.90	>0.88	>0.81

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting TWPX LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

LEGEND



TWPX2 LED ALO

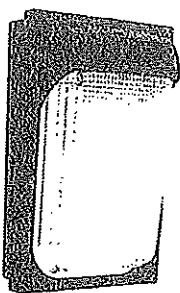
MH = 15ft
Grid = 15ft x 15ft



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TWPX2 LED
Rev. 05/19/21

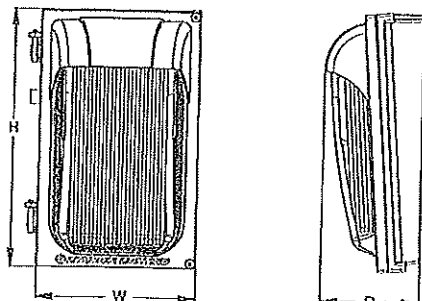


TWPX1 LED

Vandal Resistant LED Wall Luminaire

Specifications

Depth:	5.0"
Height:	12.0"
Width:	7.5"
Weight: (without options)	7 lbs



Catalog
Number

Notes

Type

Introduction

The TWPX LED wall pack family features premium polycarbonate lenses that are designed to make these luminaires tough enough to take real world abuse in applications such as parks and recreation areas, locker rooms, entry ways or any public space that has high-traffic and low mounting height. The TWPX1 LED is energy efficient saving up to 83% in energy costs when replacing a metal halide luminaire.

The Adjustable Light Output (ALO) feature allows the contractor to set the light output during installation, to a level perfectly suited for the job site. The TWPX1 LED ALO luminaires can replace anything from a CFL to 100W metal halide luminaire.

TWPX LED Family Overview

Luminaire	Voltage	Protocol	Lumens (4000K)			
			P1	P2	P3	P4
TWPX1 LED	MVOLT (120-277V)	YES	1,450	2,700	—	—
TWPX2 LED	MVOLT (120-277V), 347V, 480V	YES	3,150	4,250	5,050	6,600
TWPX3 LED	MVOLT (120-277V), 347V	YES	8,400	10,150	12,300	13,200

Ordering Information

EXAMPLE: TWPX1 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature (5000K)	Voltage	Options	Finish
TWPX1 LED	P1 1,450 lumens	30K 3000K	MVOLT (120-277V)	PE Photocell, Button Type	DDBXD Dark bronze
	P2 2,700 lumens	40K 4000K			DBLXD Black
	ALO 550 - 2,700 lumens	50K 5000K			DWHXD White
					DNAXD Natural aluminum
					DBTDX Textured dark bronze
					DBLBD Textured black
					DWHGX Textured White
					DNATDX Textured natural aluminum

FEATURES & SPECIFICATIONS

INTENDED USE

The TWPX1 LED is an energy-efficient, low maintenance LED wall pack for replacing up to a 70W HPS or 100W MH fixture, providing the same footprint on the wall. TWPX1 is ideal for lower mounting height applications such as above the door, storage units, and strip malls.

CONSTRUCTION

Two-piece die-cast aluminum housing to optimize thermal management through conductive and convective cooling. The door is hinged on the side and can be removed for easy installation. The housing is completely sealed against moisture and environmental contaminants (IP65) and is suitable for the hose-down applications.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

The advanced optical design uses both reflector and refractor technologies that work together to create superior illumination and further throw, getting the light where it is needed. The UV stabilized polycarbonate refractor is specifically designed to maximize light extraction and create a fully luminous luminaire for a better nighttime look.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to housing to maximize heat dissipation and promote long-life (up to L81/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

INSTALLATION

Designed for wall mounting above four feet from the ground. Housing is configured for mounting directly over a standard junction box (by others) or for surface wiring via the 1/2" threaded conduit entry on the top.

LISTINGS

CSA certified to U.S. and Canadian standards. IP65 rated for outdoor applications. Rated for -40°C minimum ambient.

WARRANTY

5-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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TWPX1 LED
Rev. 05/19/21

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Platform	System Watts	30° Beam Angle		36° Beam Angle		42° Beam Angle	
		Lumen	lm/W	Lumen	lm/W	Lumen	lm/W
P1	11W	1,400	127	1,450	132	1,450	132
P2/ALO	22W	2,550	116	2,700	123	2,700	123

Electrical Load

Performance Platform	System Watts	CFL (lm/W)			
		20W	25W	30W	35W
P1	10W	0.095	0.055	0.047	0.041
P2/ALO	15W	0.187	0.108	0.094	0.081

Adjustable Lumen Output (ALO) Table

Step	System Watts	Lumen Output	Light Output Level
8*	22W	2,700	100W
7	21W	2,600	
6	17W	2,250	
5	15W	1,950	70W
4	12W	1,600	
3	9W	1,250	CFL
2	6W	850	
1	4W	550	

* Factory default setting is #8

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	60,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.90	>0.88	>0.81

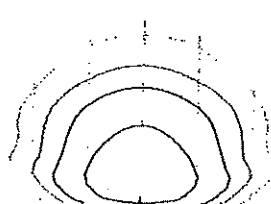
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting TWPX LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc

MH = 10ft
Grid = 10ft x 10ft



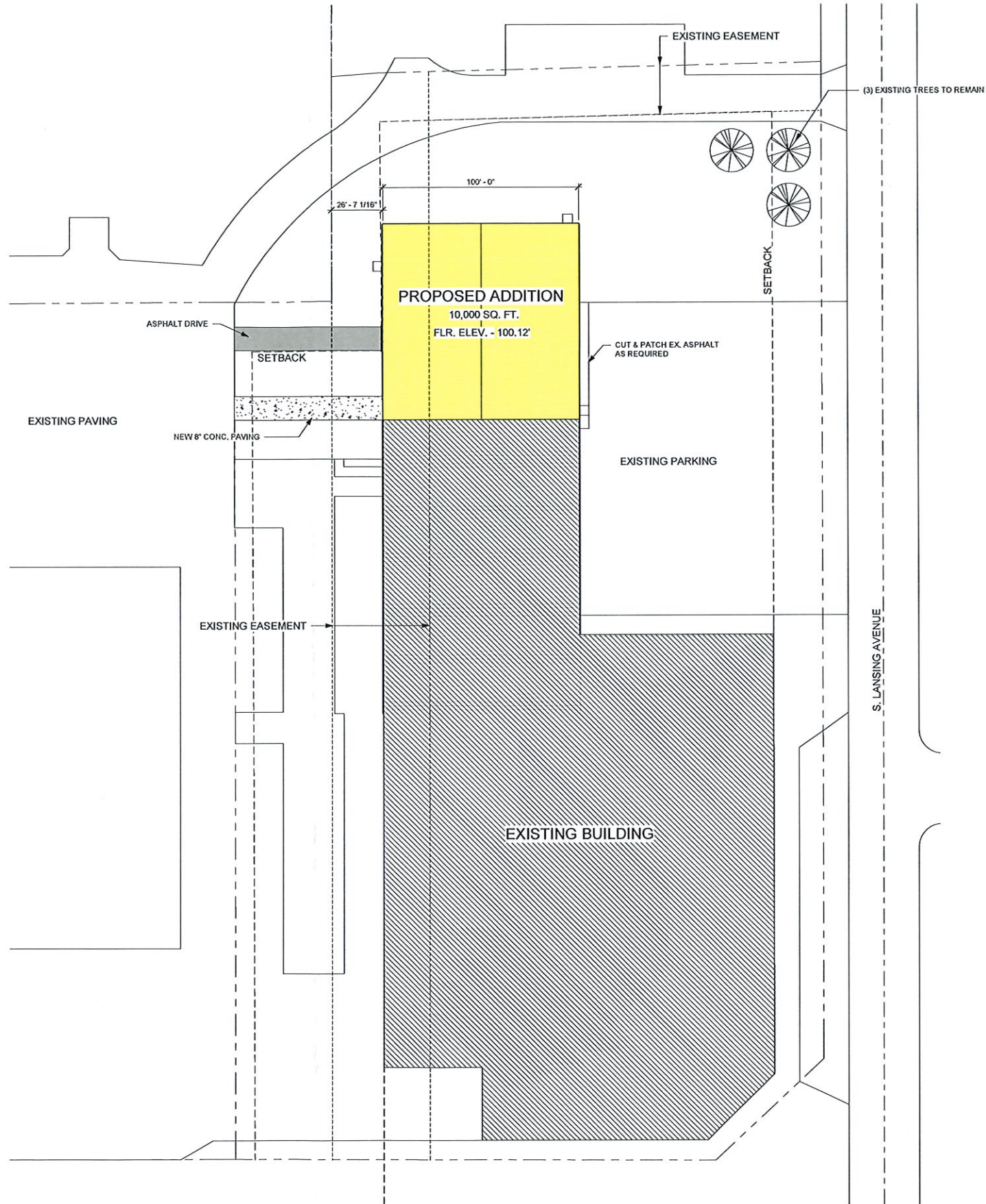
TWPX1 LED ALO



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TWPX1 LED
Rev. 05/19/21



BAYLAND BUILDINGS

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www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING ADDITION FOR:

20-1318

STURGEON BAY, WISCONSIN; COUNTY OF: DOOR

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 22-5090

SALES REP: DAVID PHILLIPS

DRAWN BY: DV

DATE: 06/08/2022

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☒ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

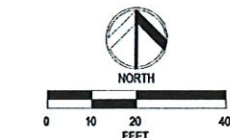
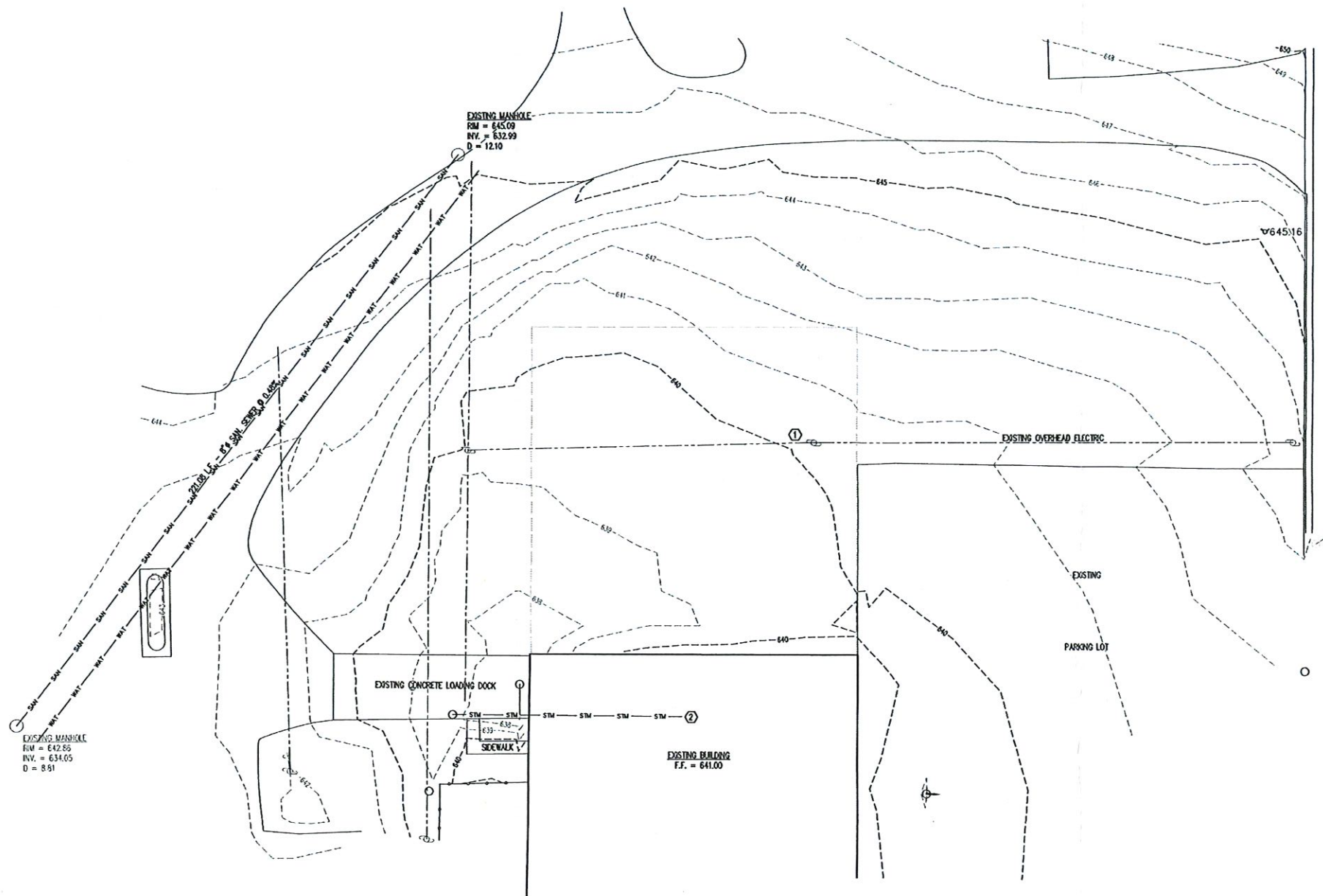
CIVIL PLANS



SITE PLAN

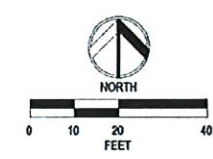
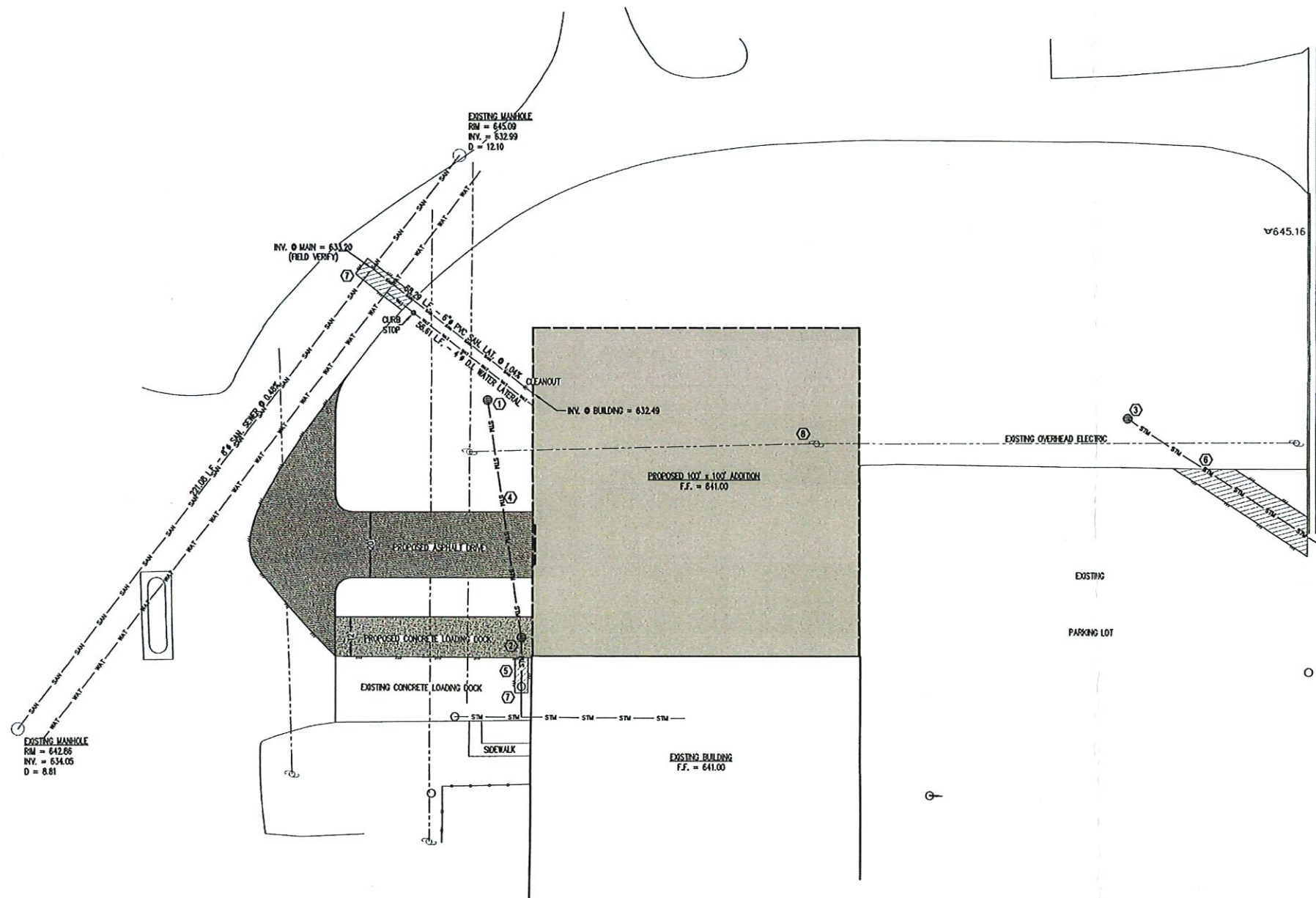
1/C1.1 SCALE = 1" = 30'-0"

C1.1



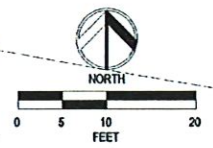
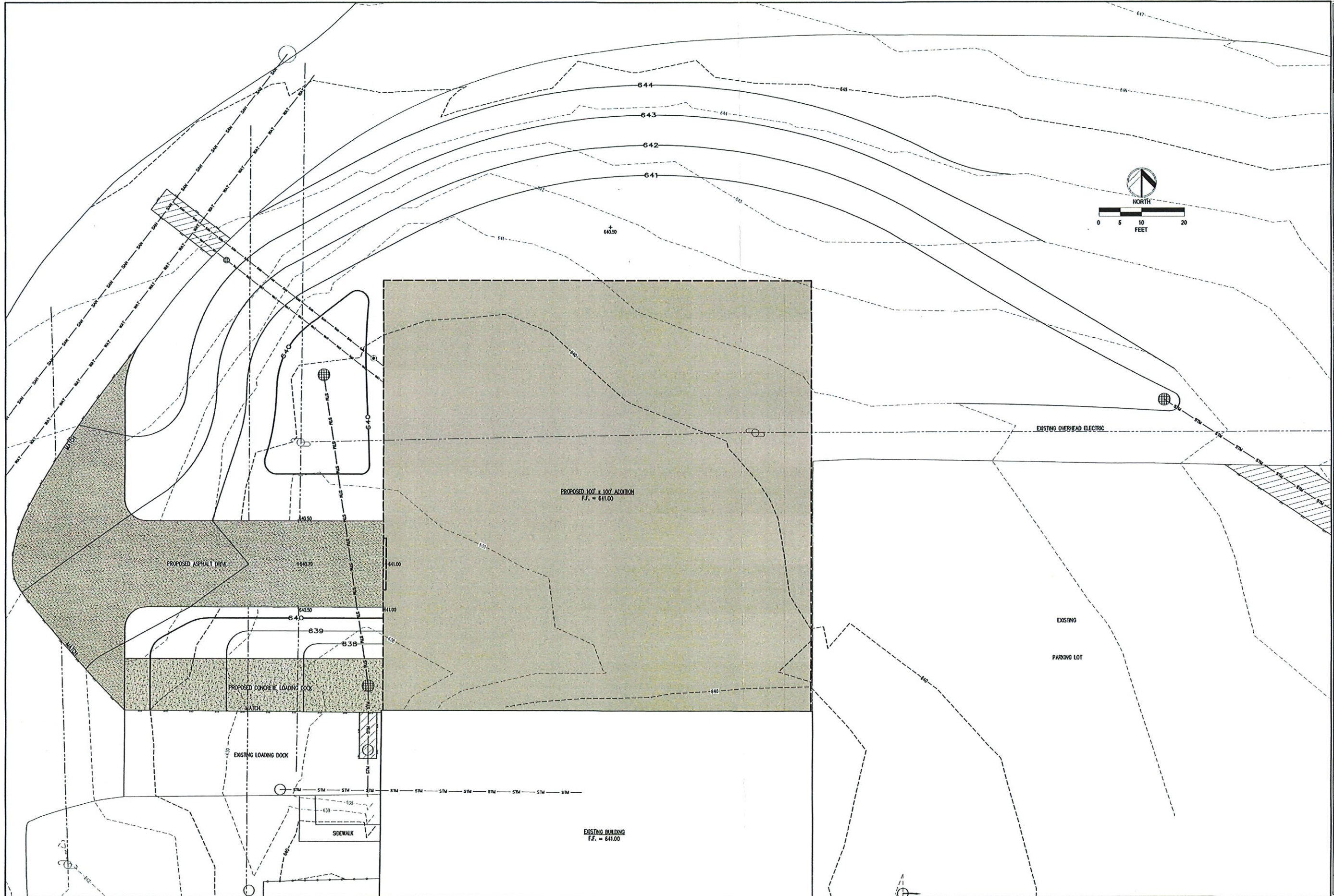
- ① EXISTING POWER POLE & OVERHEAD WIRES TO BE MOVED OUTSIDE OF PROPOSED FOOTPRINT.
- ② EXISTING CATCH BASIN UNDER BUILDING(7).

BAUDHUIN SURVEYING & ENGINEERING 	312 N. 5TH AVE. P.O. BOX 105 STURGEON BAY, WI 54235 PHONE: 920-743-8211	DRAWN BY: [blank] DESIGNED BY: [blank] P.L.H.: [blank] 5/31/22 JOB NUMBER: 25144
	Bayland Buildings - Midwest Wire Products 615 S. LANSING AVE. STURGEON BAY, WI 54235	EXISTING CONDITIONS / DEMOLITION PLAN
C100		1

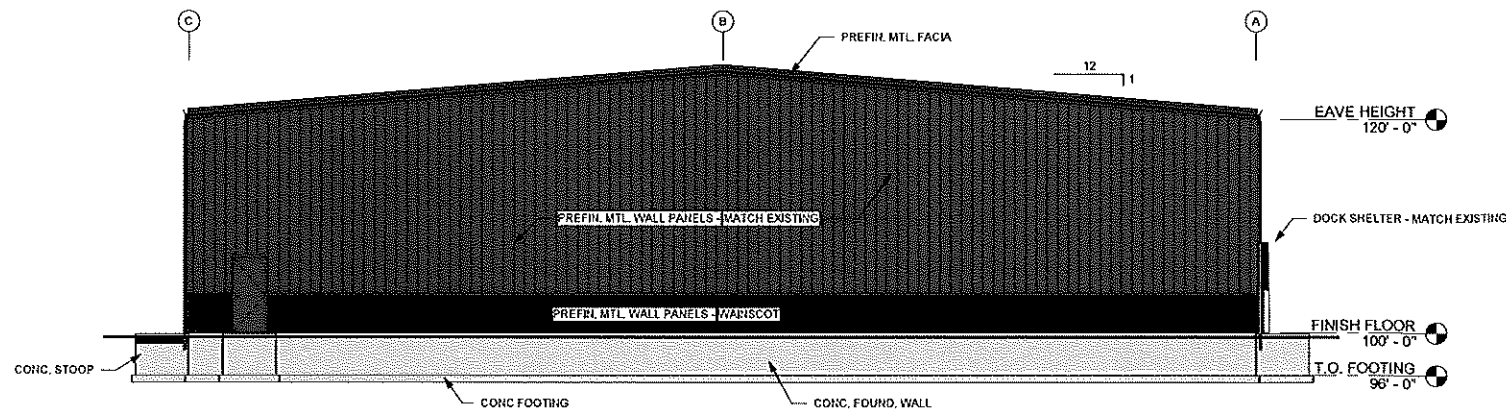


- ① Proposed Yard Drain
Rim = 639.00
Inv. 8'0" SE =
Sump =
D =
- ② Proposed Catch Basin
Rim = 637.00
Inv. 8'0" NW & S =
Sump =
D =
- ③ Proposed Yard Drain
Rim = 640.00
Inv. 8'0" SE =
Sump =
D =
- ④ 73.00 L.F. - 8'0" @ 2.77%
- ⑤ 14.94 L.F. - 8'0" @ 2.77%
- ⑥ 70.00 L.F. - 8'0" @ 2.77%
- ⑦ PATCH ASPHALT / CONCRETE TO MATCH
- ⑧ EXISTING POWER POLE & OVERHEAD WIRES TO BE MOVED OUTSIDE OF PROPOSED FOOTPRINT.

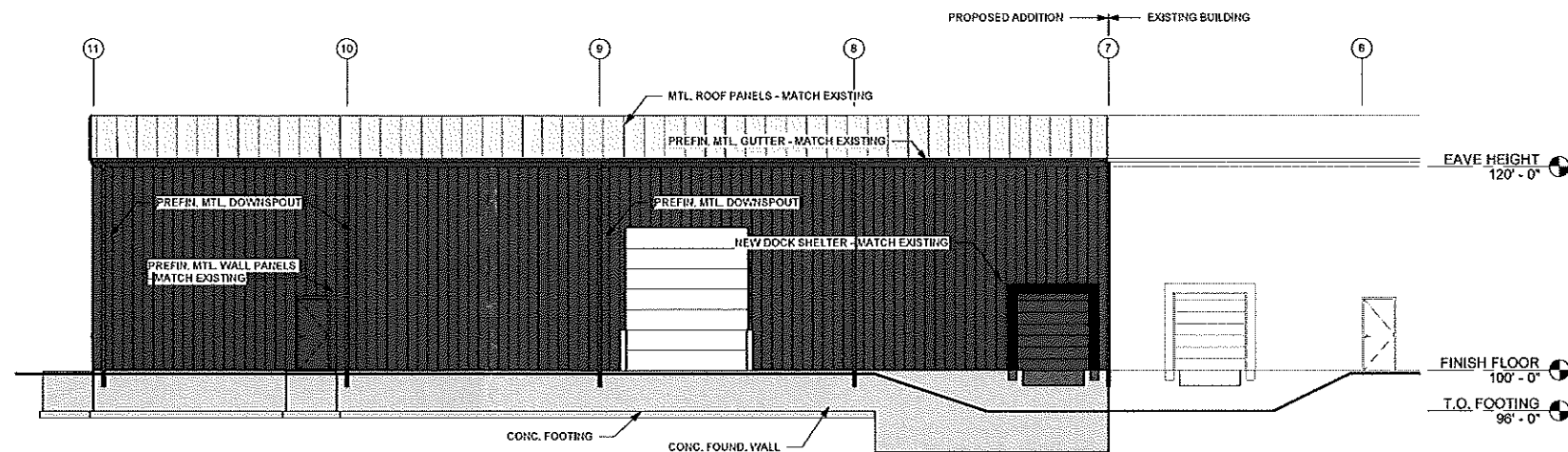
	DRAWN BY: [blank] CHECKED BY: [blank] P.L.H. 5/31/22 JOB NUMBER: 25144
	312 N. 5TH AVE. P.O. BOX 105 STURGEON BAY, WI 54235 PHONE: 920-743-8211
Bayland Buildings - Midwest Wire Products 615 S. LANSING AVE. STURGEON BAY, WI 54235	SITE UTILITY PLAN
PRELIMINARY NOT FOR CONSTRUCTION	
C101	



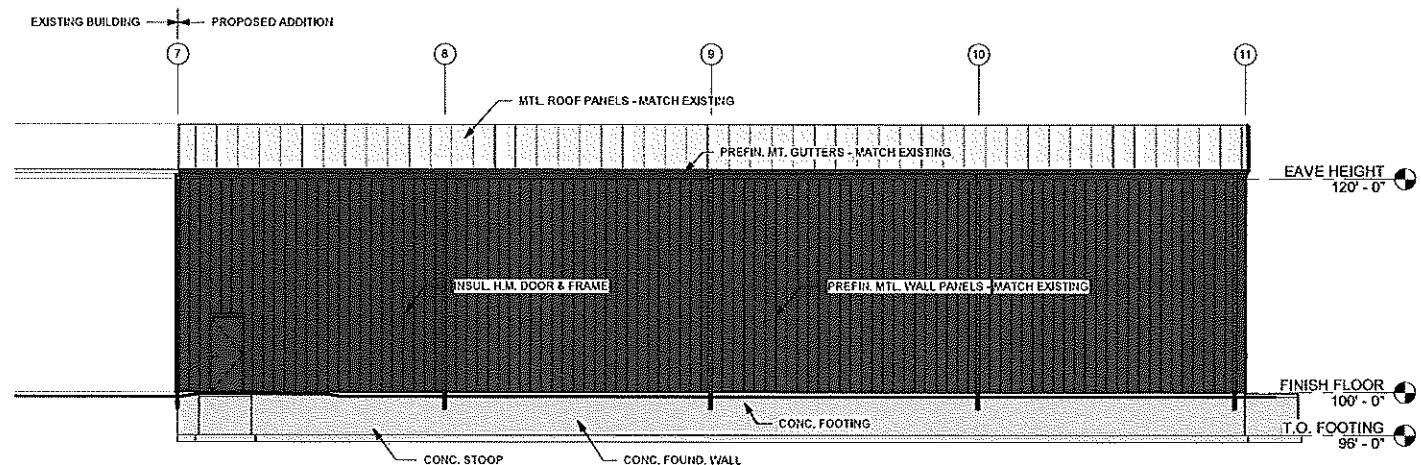
BAUDHUIN SURVEYING & ENGINEERING	312 N. 5TH AVE P.O. BOX 105 STURGEON BAY, WI 54235 PHONE: 920-743-8211	DRAWN BY: [blank] CHECKED BY: [blank] P.L.H. 5/1/20 SHEET NUMBER: 25144
	Bayland Buildings - Midwest Wire Products 615 S. LANSING AVE STURGEON BAY, WI 54235	GRADING & DRAINAGE PLAN
PRELIMINARY NOT FOR CONSTRUCTION		C102



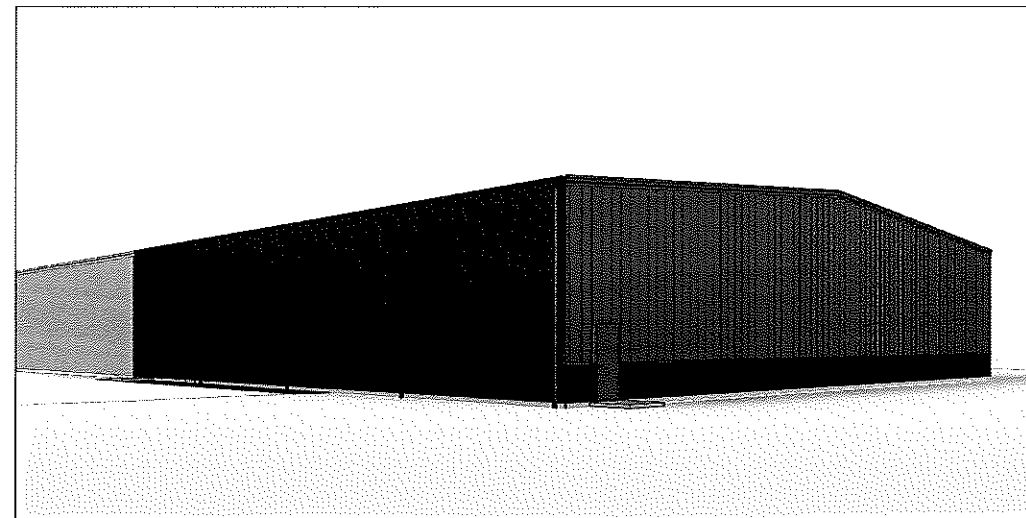
NORTH ELEVATION
1 / A2.0 SCALE = 1/8" = 1'-0"



WEST ELEVATION
2 / A2.0 SCALE = 1/8" = 1'-0"



EAST ELEVATION
3 / A2.0 SCALE = 1/8" = 1'-0"



EXTERIOR VIEW LOOKING (SW)
4 / A2.0 SCALE =

PROPOSED BUILDING ADDITION FOR:

20-1318

STURGEON BAY, WISCONSIN; COUNTY OF: DOOR

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
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JOB NUMBER: 22-5090

SALES REP: DAVID PHILLIPS

DRAWN BY: DV

DATE: 06/08/2022

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

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EXTERIOR ELEVATIONS

A2.0



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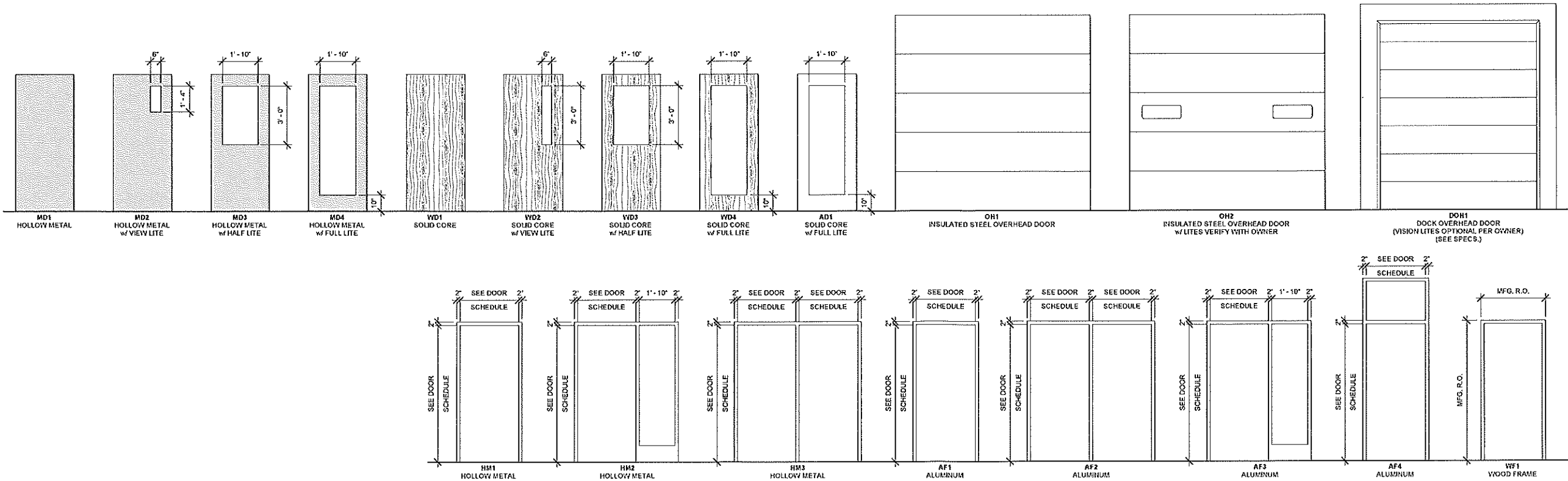
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING ADDITION FOR:

20-1318

STURGEON BAY, WISCONSIN; COUNTY OF: DOOR

DOOR SCHEDULE											
NUMBER	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	FIRE RATING	HARDWARE					REMARKS
						LOCK	PASSAGE	CLOSER	PANIC	PRIVACY	
100.1	3'-0"	7'-0"	MD1	HM1		■		■			WEATHER STRIPPING / LATCH GUARD
100.2	3'-0"	7'-0"	MD1	HM1		■		■			WEATHER STRIPPING / LATCH GUARD
100.3	3'-0"	7'-0"	MD1	HM1		■		■			WEATHER STRIPPING / LATCH GUARD
100.5	8'-0"	8'-0"	DOH1	-							
100.6	12'-0"	14'-0"	-	-							
101.1	3'-0"	7'-0"	MD1	HM1				■		■	
102.1	3'-0"	7'-0"	MD1	HM1				■		■	
103.1	3'-0"	7'-0"	-	-							



SCALE VERIFICATION

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PLOT SCALE ACCURATELY

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CONSTRUCTION OF BUILDINGS BEING SITED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 22-5090

PROJECT
EXECUTIVE: DAVID PHILLIPS

DRAWN BY: DV

DATE: 06/08/2022

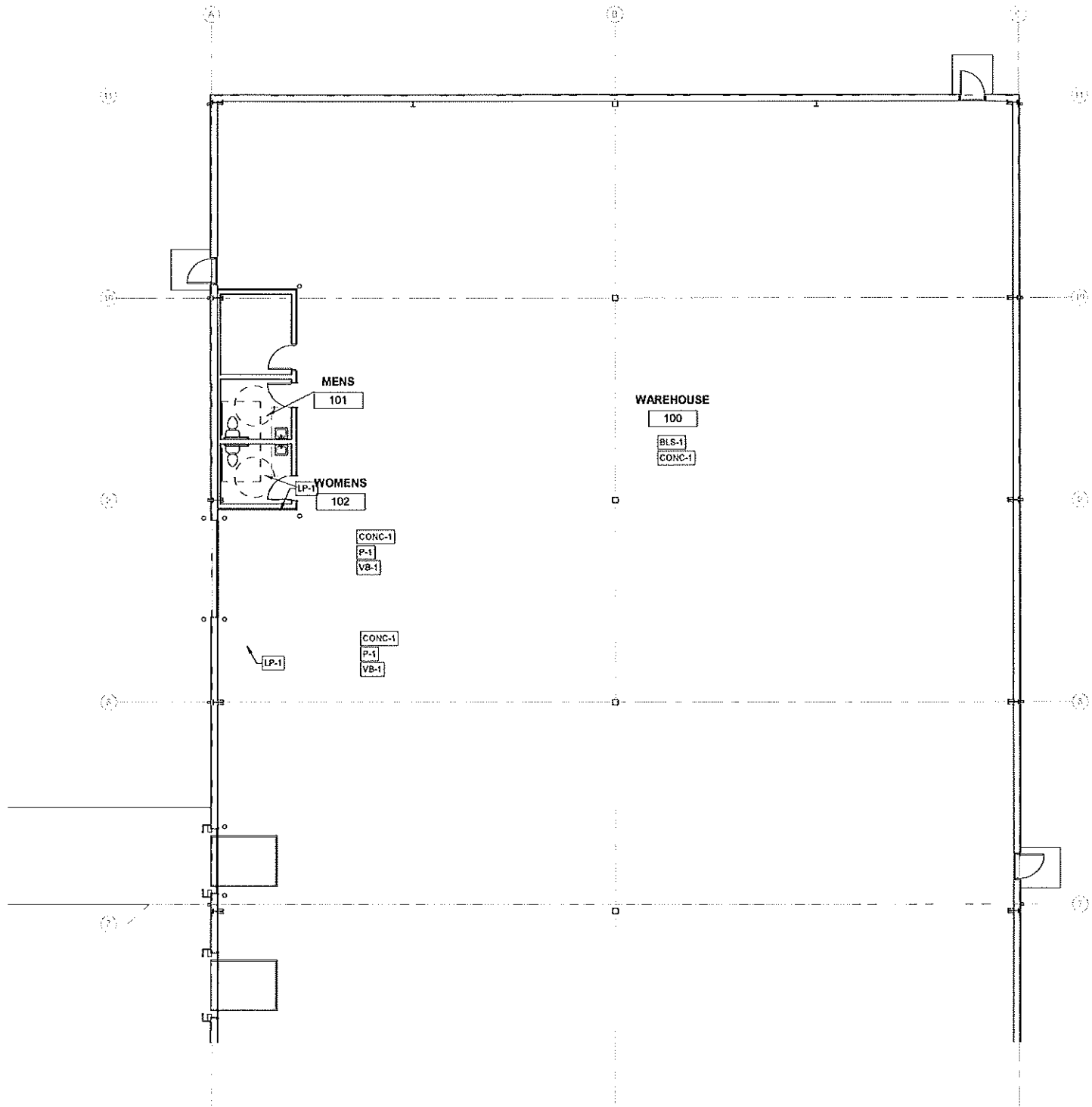
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ISSUED FOR: CHECKED DATE:
BY:

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☐ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

DOOR / WINDOW SCHEDULES

A6.0



1 ROOM FINISH PLAN
A6.1 1/8" = 1'-0" NORTH

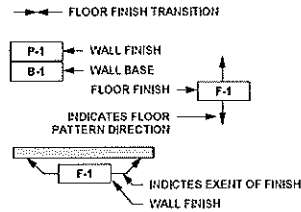
MATERIAL LEGEND

MARK	DESCRIPTION
BLS-1	FINISH, Banded Liner System STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
P-1	FINISH, Painted Drywall STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
LP-1	FINISH, 29 GA LINER PANEL STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
CONC-1	FINISH, Concrete STYLE: SEALED MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
VB-1	FINISH, Vinyl Base STYLE: 4" HIGH MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:

FINISH GENERAL NOTES

- ALL FINISH SELECTIONS IDENTIFIED IN LEGENDS, SCHEDULES, AND SPECIFICATIONS ARE NOT SUBJECT TO OR EQUAL SUBSTITUTIONS U.N.O. THE CONTRACTOR AND SUBCONTRACTORS SHALL SUBMIT PRODUCTS AND FINISHES AS INDICATED IN THE DOCUMENTS. NOTIFY ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
- REFER TO THE MATERIAL SCHEDULE FOR MANUFACTURER, PRODUCT STYLE NAME, COLOR SPECIFICATION.
- INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS, INCLUDING WALLCOVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC.
- THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.
- FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION, U.N.O. THE PAINTING SUBCONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE MUNICIPAL & STATE CODES AND BUILDING REGULATIONS FOR LOW VOC EMISSIONS.
- ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALL COVERINGS AND SPECIFIED CARPET. STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS/IMPERFECTIONS ARE NOT VISIBLE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE FIELD. GO TO GET CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH ANY WORK.
- PROVIDE VINYL TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES, U.N.O. REFER TO PLAN FOR DETAIL LOCATIONS.
- HARD FLOORING GROUT IS TO BE SEALED WITH MANUFACTURER'S RECOMMENDED SEALERS.
- RUBBER/VINYL BASE SHALL BE STRAIGHT BASE AT ALL LOCATIONS FOR CARPET AND COVE BASE AT TILE AND RESILIENT FLOORS.
- ALL ELECTRICAL PANELS IN THE CORRIDORS SHALL BE PAINTED TO MATCH THE ADJACENT WALL FINISH.
- PAINT CEILING ACCESS PANELS TO MATCH ADJACENT CEILING FINISH.
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO BE PAINTED TO RECEIVE FINISH TO MATCH WALL, U.N.O.
- FINISH FLOORING TO EXTEND FROM WALL TO WALL INCLUDING UNDER CABINETS AND UNDER ABUSET EQUIPMENT.
- ALL INTERIOR WALL & CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS A MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM IN NON PUBLIC AREAS TO COMPLY WITH CLASS B MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26-75, SMOKE DEVELOPED 450.
- ALL PAINTED SURFACES ARE TO RECEIVE A PRIME COAT AND A MINIMUM OF TWO COATS FINAL COLOR, U.N.O.
- CARPET CONTRACTOR SHALL VERIFY THAT ALL CARPET OF EACH VARIETY IS TO BE SHIPPED FROM THE SAME DYE LOT.
- ALL WALLS PAINTED WITH A LATEX PAINT TO HAVE AN EGGSHELL FINISH, U.N.O. REFER TO THE MATERIAL SCHEDULE AND FINISH LEGEND FOR MANUFACTURER'S PRODUCT NAME.
- GYPSUM BOARD CEILINGS SCHEDULED TO RECEIVE PAINT SHALL HAVE A FLAT FINISH, U.N.O.
- PROVIDE ARCHITECT WITH A MINIMUM OF (3) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR ARCHITECT'S APPROVAL PRIOR TO APPLICATION.
- ALL PLASTIC LAMINATE MELWORK CABINET INTERIORS TO BE WHITE MELAMINE, U.N.O.
- ARCHITECTURAL ADHESIVES, SEALANTS AND SEALANT PRIMERS MUST COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM) RULE #1168, VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN THE TABLE BELOW CORRESPOND TO RULE AMENDMENT DATE OF JANUARY 7, 2005.
- PAINTS AND COATINGS: APPLIED TO INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-11, PARTS, 1ST EDITION, MAY 20, 1999.
- ANTI-CORROSION AND ANTI-RUST PAINTS: APPLIED TO INTERIOR FERROUS METAL SUBSTRATES MUST NOT EXCEED THE VOC CONTENT LIMIT OF 250 G/L ESTABLISHED IN GREEN SEAL STANDARD GS-03, ANTI-CORROSION PAINTS, 2ND EDITION, JANUARY 7, 1997.
- CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, PRIMERS, SEALERS, AND SHELLACS: APPLIED TO INTERIOR ELEMENTS MUST NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED FOR THOSE COATING TYPES IN SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM) RULE 1113, ARCHITECTURAL COATINGS, AMENDED FEBRUARY 5, 2015.

FINISH PLAN LEGEND



FINISH PLAN KEYNOTES

- NO FINISH WORK IN THIS AREA.
- CARPET TO BE INSET WITHIN CERAMIC TILE. VERIFY DIMS. AS SHOWN.
- PROVIDE 1/8" THICK ZINC TRANSITION STRIP BETWEEN CERAMIC TILE AND CARPET. FEATHER FLOORING BENEATH CARPET AS REQUIRED FOR A SMOOTH TRANSITION.
- PROVIDE VINYL STRIP AT CARPET TO VINYL TRANSITION. SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL.
- PATH/EXTEND FINISHES WITHIN COMMON CORRIDOR. ANY NEW FLOOR AND/OR WALL FINISHES TO MATCH EXISTING FOR A SEAMLESS TRANSITION.

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DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING ADDITION FOR:

20-1318

STURGEON BAY, WISCONSIN; COUNTY OF: DOOR

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

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JOB NUMBER: 22-5090

PROJECT
EXECUTIVE: DAVID PHILLIPS

DRAWN BY: DV

DATE: 06/08/2022

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☒ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

ROOM FINISH PLAN

A6.1

PROPOSED BUILDING ADDITION FOR:
20-1318
STURGEON BAY, WISCONSIN; COUNTY OF: DOOR

SCALE VERIFICATION
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ADJUST SCALE ACCORDINGLY.

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FLOOR PLAN

