

**AGENDA
CITY OF STURGEON BAY
AESTHETIC DESIGN & SITE PLAN REVIEW BOARD**

Monday, May 23, 2022

6:00 p.m.

Council Chambers, City Hall
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from April 25, 2022.
4. Approval of minutes from May 9, 2022.
5. Consideration of: 26-unit multi-family development for S.C. Swiderski located at 827 N. 8th Avenue.
6. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Committee members

Jon Burk
Mark Struck
Dave Augustson
Cheryl Frank
Kelsey Fox
Rick Wiesner
Pam Jorns

May 18, 2022
4:00 p.m.
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AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD
Monday, April 25 2022

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:00 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

Roll Call: Members Rick Wiesner, Jon Burk, Dave Augustson, Kelsey Fox, Mark Struck and Pam Jorns were present. Excused was Cheryl Frank. Also present were Planner/Zoning Administrator Christopher Sullivan-Robinson, Community Development Director Marty Olejniczak, and Police Assistant Candy Jeanquart.

Adoption of Agenda: Moved by Mr. Augustson, Seconded by Mr. Struck to adopt the following agenda.

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from March 14, 2022
4. Consideration of: 38' x 98' Building Addition for Fred Young located at 120 N 14th Avenue.
5. Consideration of: 16,000 ft² Building Addition and Parking Lot Modification for Door County YMCA located at 1900 Michigan Street.
6. Adjourn.

All ayes. Carried.

Approval of minutes from March 14, 2022: Moved by Ms. Jorns, Seconded by Mr. Burk to approve all the minutes. **All in favor. Carried.**

Consideration of: 38' x 98' Building Addition for Fred Young located at 120 N 14th Avenue: Mr. Sullivan-Robinson explained the application is for a 38' x 98' foot addition to the existing automotive business. The addition is located towards the back with limited visibility. Some new asphalt will be added along the edge of the building by the overhead doors. No new parking is being added or required. The applicant submitted for storm water management approval with the City Engineer. Zoning requirements have been met.

Mr. Wiesner questioned the addition extending on another piece of property. Mr. Sullivan-Robinson stated two properties sit behind the project site and are all owned by the same family. The lot line will be adjusted to meet the 25-foot set back. Ms. Jorns questioned if all new siding is being added to the whole building or just the new addition. Brian Sigworth, Project Manager with Peninsula Building Systems, indicated future plans are to update the siding of the existing building with the new addition. Mr. Struck questioned if the lighting is downward directed, Mr. Sigworth confirmed. Mr. Wiesner asked if the lighting will be shut off at night, Mr. Sigworth confirmed stating its security lighting. Ms. Jorns asked how close the new addition would be to the home and will there be landscaping added with the one main tree being removed for the addition. Mr. Sigworth indicated no landscaping plan at this time.

Mr. Struck made a motion to accept as presented. Seconded by Mr. Burk. All in favor. Carried.

Consideration of: 16,000 ft² Building Addition and Parking Lot Modification for Door County YMCA located at 1900 Michigan Street: Mr. Sullivan-Robinson explained the application is for a 16,000 ft² addition for the YMCA. The addition is a multi-level project with varying heights. Parking will be reviewed at a later time. Approvals should be primarily based off the civil engineered plans as the provided renderings are conceptual and inaccurate.

Mr. Struck questioned where the concrete panels are being placed. Eric Baumann, Project Manager, stated the precast concrete will be the two story to match the existing gymnasium two story space. Mr. Baumann indicated the single-story space will be brick to match the existing building. Mr. Struck questioned if the parking lot will be changing and any green space will be removed, such as the area in front of the building. Mr. Baumann stated the current parking lot meets the needs of the YMCA even with the current additions,

so no changes at this time to the parking lot. Mr. Jorns questioned if the walking path will be removed. Mr. Baumann explained it will be reconfigured. Ms. Jorns questioned if additional lighting will be added. Mr. Baumann stated downlighting on the new addition. Mr. Baumann indicated the lighting under the entrance will be security lighting. Mr. Struck questioned if the family sign will be lit, Mr. Baumann stated the YMCA logo will be internally lit.

Mr. Wiesner asked if the covered area to the exterior was created for outdoor exercising. Heidi Erickson, YMCA staff, explained that area will serve as multi-purpose; part as summer day camp programs which will be moved from the YMCA center to the existing site and outdoor fitness class. Ms. Erickson stated the kaboom playground will remain.

Mr. Burk made a motion to approve as presented with staff recommendation. Seconded by Mr. Struck. All in favor. Carried.

Adjourn: Moved by Ms. Jorns, seconded by Mr. Augustson to adjourn. All ayes. Carried. The meeting adjourned at 6:30 p.m.

Respectfully submitted,



Candy Jeanquart
Police Assistant

AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD
Monday, May 9, 2022

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:00 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

Roll Call: Members Rick Wiesner, Jon Burk, Dave Augustson, Kelsey Fox, Mark Struck, Pam Jorns and Cheryl Frank were present. Also present were Planner/Zoning Administrator Christopher Sullivan-Robinson, City Engineer Chad Shefchik and Community Development Administrative Assistant Cindy Sommer.

Adoption of Agenda: Moved by Mr. Burk, seconded by Mr. Struck to adopt the following agenda.

1. Roll call.
2. Adoption of agenda.
3. Consideration of: 68-unit multifamily development for Cherry Point Investments, LLC, located at 1116/1148 Egg Harbor Road.
4. Consideration of: Approx. 52 ft x 30 ft building addition for Rhoden and Amy Crook located at 59 E. Oak St.
5. Adjourn.

All ayes. Carried.

Consideration of: 68-unit multifamily development for Cherry Point Investments, LLC, located at 1116/1148 Egg Harbor Road: Mr. Sullivan-Robinson presented the proposed 68-unit multifamily development for Cherry Point Investments, LLC, consisting of five 12-unit residential buildings, two 4-unit buildings with three sets of 24-unit garages in a pod layout located on Egg Harbor Road. The project has been approved for Zoning Code compliance. The Fire Department has no concerns. Storm water management is being reviewed by the City Engineer and Baudhuin Engineering, and will incorporate a water flow analysis of drainage within the area. Signage, garbage and lighting has not been addressed. Staff recommends approval subject to storm water management, lighting to be directed downward and shielded with LED lights, garbage and gazebo plans to be approved by the Chair.

Mr. Weisner questioned the type of materials to be used. Jeff Halbrook, represent for Cherry Pointe Investment, LLC, explained that the material will be vinyl siding in blue and gray with Anderson Alliance vinyl lined windows, aluminum clad LED lighting that shines down with fire extinguishers on garage buildings located under the lights between every third garage door. Garages will match but will likely be gray siding only. The roof line will have a one-foot step down every four units. Sidewalks will be along the side of the driveway, to the gazebo, and with access to the grilling area.

Mr. Augustson questioned the direction of the siding. Cherry Point explains it will be horizontal with white trim and white windows with a transition piece between the blue and gray. The front of the residential buildings will be blue and gray and the back will be gray with blue on the side of the garage gables.

Mr. Struck questioned the gazebo plan. Cherry Point explained that it hasn't been fully developed but will likely be about 12 ft x 14 ft with a steel roof. The gazebo would be built on a slab. The playground will have bark or rubber base with motion-detector flood lights on the end of the garage for safety in the playground area.

Ms. Jorns questioned the type of storm ponds being constructed and whether a safety fence was needed. Mr. Shefchik explained they will likely be mostly dry ponds averaging 2-3 feet deep with the deepest about five feet deep. They may have a little standing water after heavy rains but will drain quickly. There is no requirement for fencing around the ponds.

Ms. Jorns questioned the need for a buffer to neighboring properties. Mr. Shefchik explained there will be a berm with vegetation for privacy and the grading plan shows contour changes to help with diverting headlights, but a line of hedges could be put in if the City feels it is needed.

Ms. Jorns questioned the garbage plan. Cherry Point explained they will be enclosed on three sides at the west side of the garages. Dumpsters will be at an angle for the trucks to have access.

Moved by Mr. Struck to accept as presented with lighting directed downward, seconded by Mr. Burk. Mr. Augustson amended motion to clarify elevation changes in roof line. Cherry Point explained that roof line of garages will also be raised to allow for break in center.

Moved by Mr. Struck to approve as presented with gazebo and lighting to be approved by Chair, seconded by Mr. Burk. All ayes. Motion carried.

Consideration of: Approx. 52 ft x 30 ft building addition for Rhoden and Amy Crook located at 59 E. Oak St.: Mr. Sullivan-Robinson presented a proposed 52 ft x30 ft building addition to Kitty O'Reillys tiki bar located at 59 E. Oak Street. Addition is to be fully enclosed with two bathrooms. Building plan has already gone through Zoning Board of Appeals to obtain variance from 25 ft setback and has been approved with a 15 ft setback. Design, location, materials and lighting have all been approved. Staff recommends approval of the plan as presented. Buster and Amy Crook further explained that the plan was originally to add bathrooms but has expanded to allow for better flow of customers around the tiki bar area. One side of the building will have garage doors that can be opened in nice weather. It will be in about the same location as the tent that is normally used for St. Patricks' Day. The roof will be black metal with dark charcoal metal siding and natural cedar plank boards on the parking lot side, with black doors and black windows.

Mr. Weisner questioned whether the fasteners on the siding would be exposed. Mr. Crook assured the Board that he will make that happen. He will contact Mr. Sullivan-Robinson if that becomes a concern.

Ms. Crook explained that the lighting will consist of four downward facing lights on both sides of the building for safety.

Ms. Jorns questioned the landscape plan. Ms. Crook explained that she would like to put upright cedars next to the alley but the alley is currently being redone. A slab was also put in to divert water and she isn't sure how much space will be available for trees but will add trees if space permits.

Moved by Ms. Jorns to accept as presented with the exception that the rivets on the siding are to be approved by the Chair. Seconded by Mr. Burk. All eyes. Motion carried.

Adjourn: Moved by Ms. Jorns, seconded by Mr. Burk to adjourn. All ayes. Carried. The meeting adjourned at 6:55 p.m.

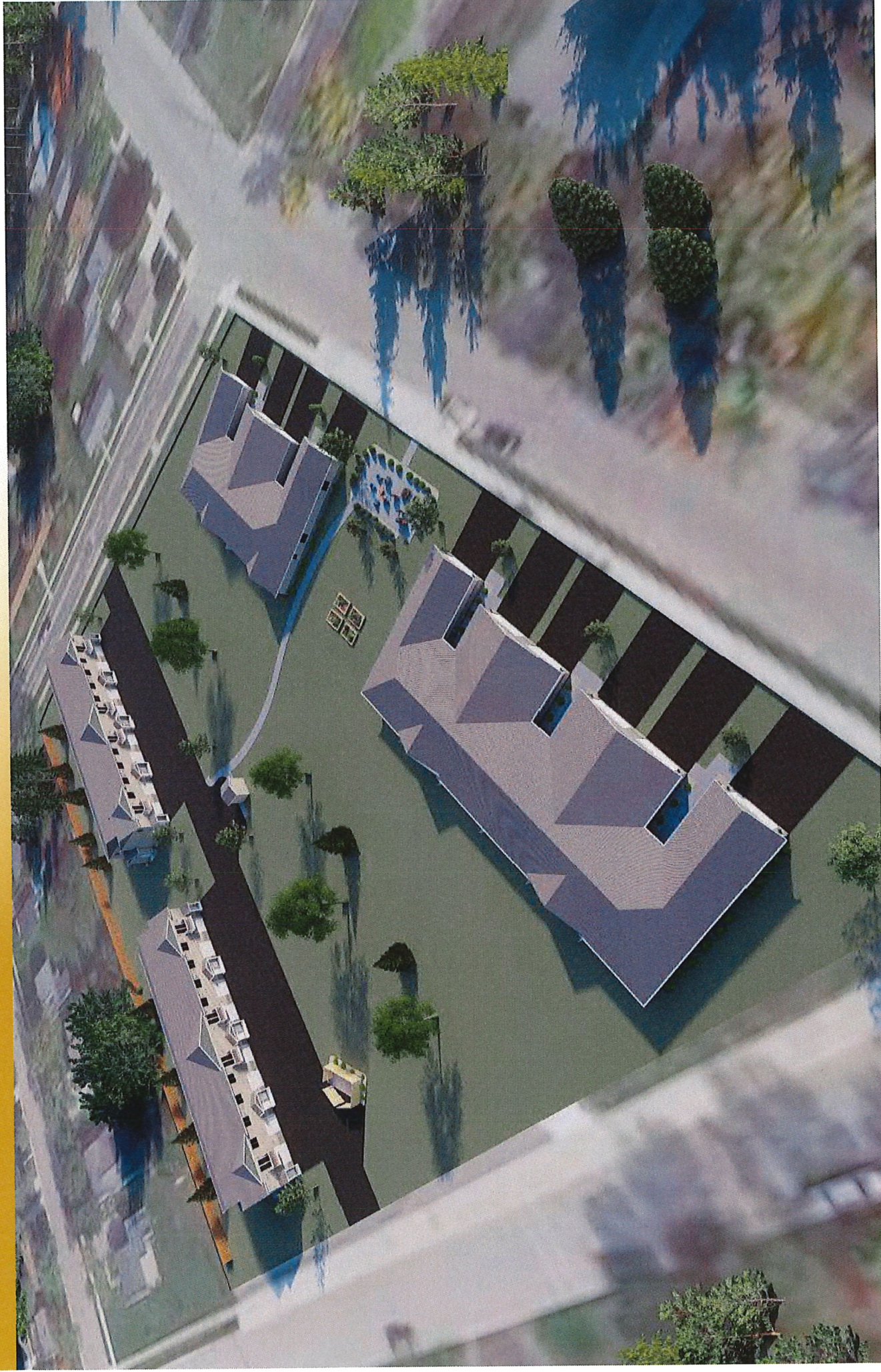
Respectfully submitted,



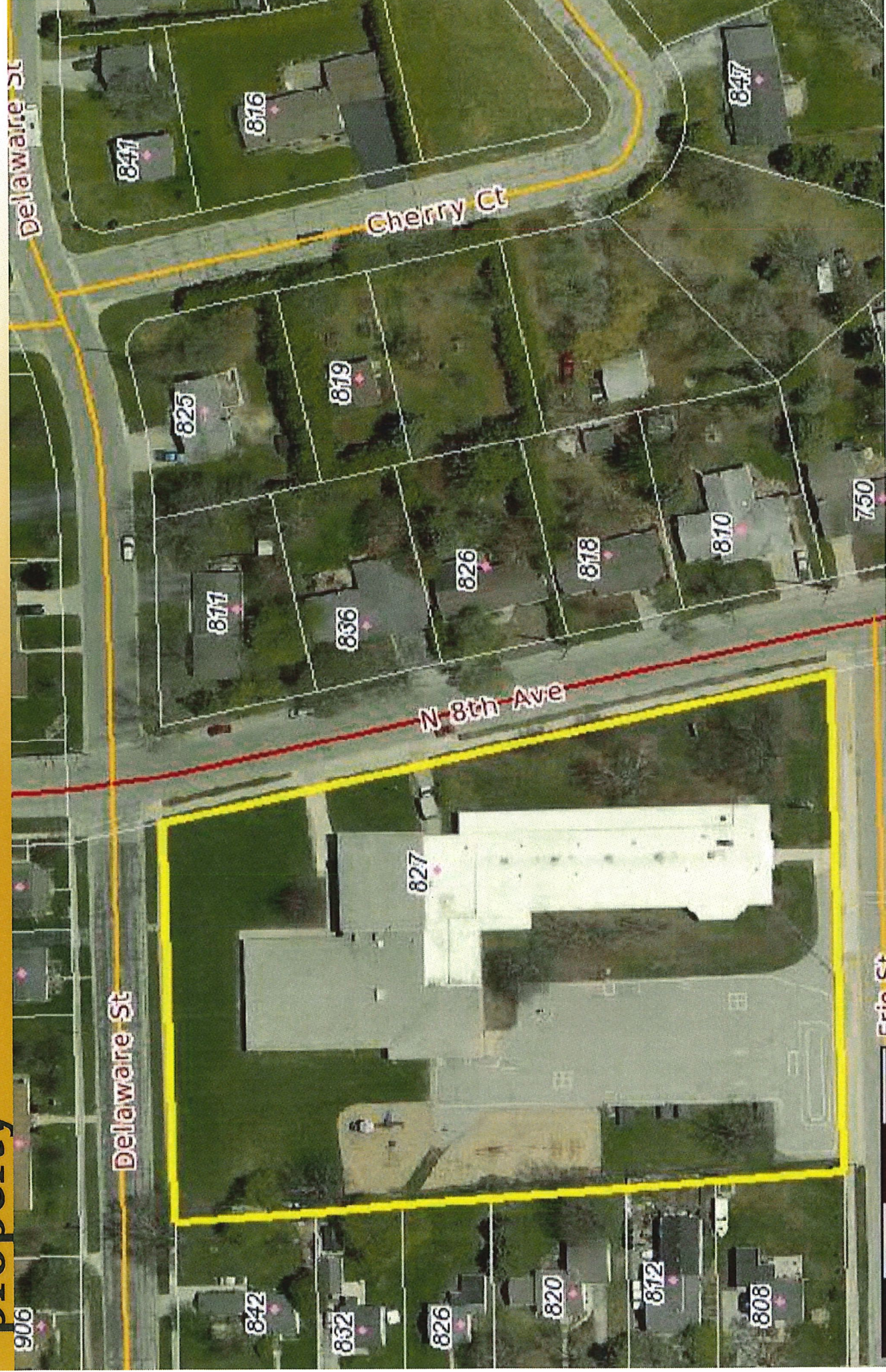
Cindy Sommer
Community Development
Administrative Assistant

SCS Sunset Estates

5



Location: ReDevelopment of Sunset School property



The architectural site plan illustrates the layout of the Huntington Building complex. The Huntington Building is a large, L-shaped structure with a central courtyard. The Bedford Building is located to the north of the Huntington Building, and the Huntingdon Building is located to the east. The plan shows the building footprints, setbacks, and dimensions. Key features include:

- Streets:** Delaware Street to the west, North Eighth Avenue to the north, and Erie Street to the east.
- Buildings:** Huntington Building, Bedford Building, and Huntingdon Building.
- Setbacks:** Various setback lines are shown, including a 10-foot setback from the street and a 20-foot setback from the property line.
- Dimensions:** Numerous dimensions are provided for the buildings and setbacks, such as 100.0, 150.0, 200.0, and 300.0 feet.
- Proposed Parking Lot:** A proposed parking lot is shown to the south of the Huntington Building, with a 10-foot setback from the building and a 20-foot setback from the property line.
- Other Features:** The plan also shows a proposed driveway, a proposed walkway, and a proposed utility easement.

NORTH EIGHTH AVENUE

REDFORD 4 BUILDING

RECEIVED BUILDING

HUNTERDON BUILDING

HUNTING FOR BUILDING

ERIE STREET

Site Rendering



Site Rendering



Project Considerations

Added Community Area (removed 6 previously planned parking stalls)



Project Considerations

- Improved Bedford Garage Look
- Added islands – Bedford driveways



Project Summary

LAND AND PARKING

- Zoning: Rezone to PUD
- 2.76 Acres
- 9.42 Units Per Acre
- 36 garage stalls
- 46 pavement spaces = 82 total parking
- 2 Entrances

BUILDING COUNT

- 2 Huntington Buildings
- 1 Bedford 6 Unit Building
- 1 Bedford 4 Unit Building
- 1 Refuse Enclosure
- 1 Mail Hut
- 2 Monument Signs
- Tenant grilling area
- Community Gardens
- Privacy cedar fencing

UNIT INFO

- 22-Two Bedroom
- 4 -Three Bedroom
- 26 Total Units
- 6 Floor plans
- 889-1244 sq ft
- Attached garages
- Private entrances
- In-Unit Laundry
- Rent includes heat and water, cable & wifi

Project Considerations

Cedar Privacy Fencing



Refreshed Huntington



Community Element



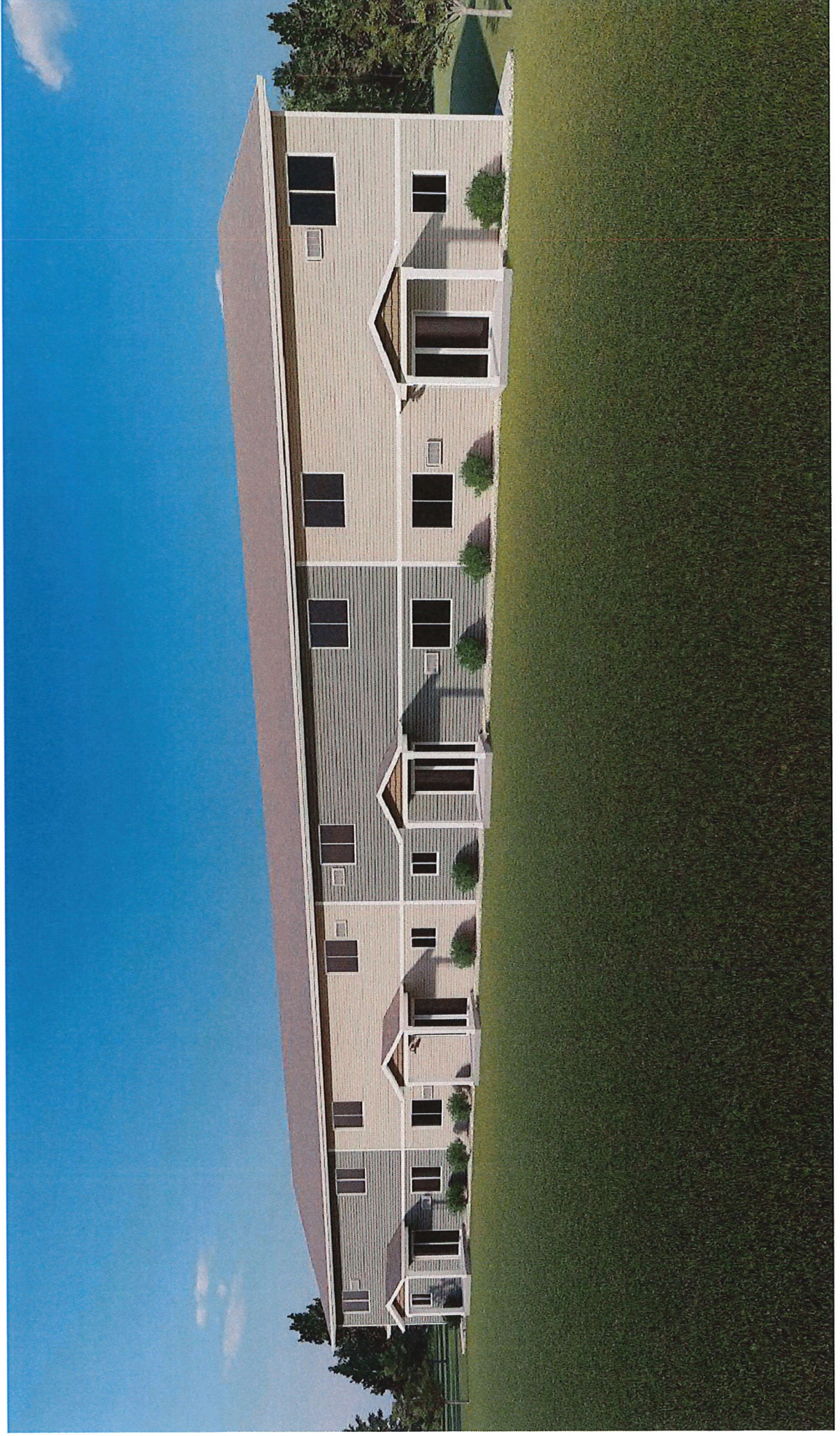
Huntington

8 Unit



Huntington

8 Unit



Bedford

1 - 6 UNIT and 1 - 4 Unit



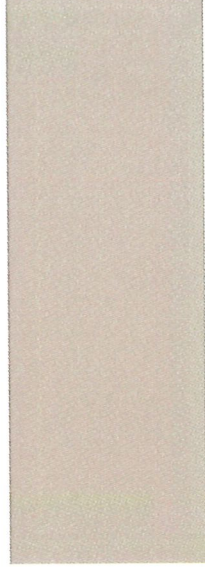
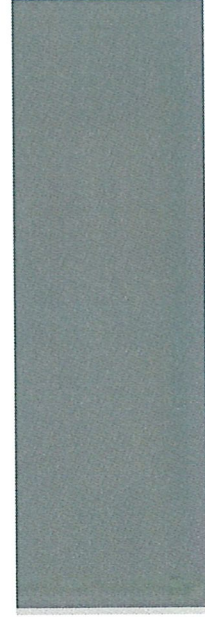
Bedford

1 - 6 UNIT and 1 - 4 Unit



Exteriors

SIDING | MASTIC BY PLY GEM

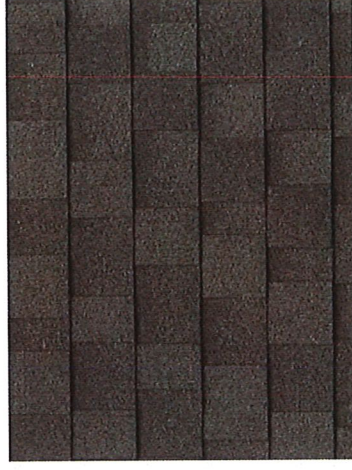


GARAGE DOORS

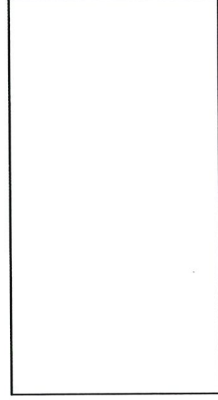


WHITE

WEATHEREDWOOD

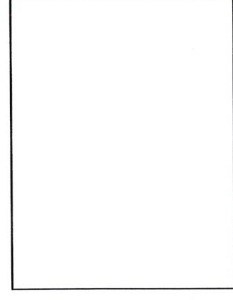


Mastic Aluminum Soffit & Fascia



WHITE

Trim



White

Construction & Demo Schedule

Prelim Demo Schedule: Out to Bid 3/31/22; Bid Due Date: 4/14/22; Expected Contract Date: 4/29 *Contract award date dependent upon project approval*

Task Name	Duration	Start	Finish
Sturgeon Bay 20-036 Preliminary Schedule	219 days	Mon 5/23/22	Fri 4/14/23
Demolition Work	33 days	Mon 5/23/22	Sat 7/9/22
Mass Grading	30 days	Mon 7/11/22	Fri 8/19/22
Huntington 8 Unit - H1	88 days	Mon 8/22/22	Tue 1/10/23
Bedford 6 Unit ADA - B2	105 days	Thu 9/1/22	Tue 2/14/23
Mail Building - M1	49 days	Wed 9/21/22	Mon 12/5/22
Huntington 8 Unit - H2	107 days	Mon 9/26/22	Fri 3/10/23
Property Fence	10 days	Fri 10/7/22	Thu 10/20/22
Dumpster - D1	9 days	Thu 10/6/22	Tue 10/18/22
Bedford 4 Unit - B1	121 days	Tue 10/11/22	Fri 4/14/23
Raised Garden	5 days	Fri 10/21/22	Thu 10/27/22
Monument Sign #1	5 days	Fri 10/28/22	Thu 11/3/22
Monument Sign #2	5 days	Fri 11/4/22	Thu 11/10/22

SCS SUNSET ESTATES

scswiderski.com | 715-693-9522





S.C. Swiderski

Sunset Estates - Bedford



Asphalt Shingles
Weatherwood



Outside
Mastic (White)



Exterior Light
Portfolio Dovary
(Oil Rubbed Bronze)



Ply Gem
Mastic (Almond)



PlyGem
Mastic (Quiet Wil

S.C. Swiderski

Sunset Estates - Bedford



Ply Gem

ic (Almond)



Cedar Discorvery

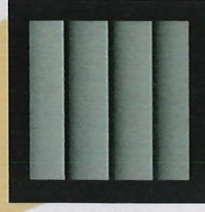
Solid Shake

Mastic (Whispering Timber)



Stone Sill

Taupe

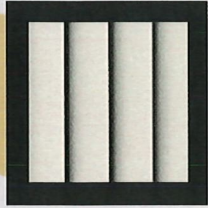


PlyGem

Mastic (Quiet Wil

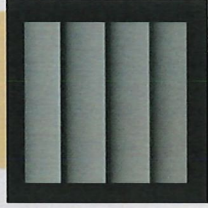
S.C. Swiderski

Sunset Estates - Huntington



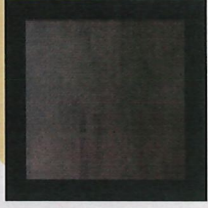
Ply Gem

Mastic (Almond)



Ply Gem

Mastic (Quiet Willow)



Exterior Light
Portfolio Dovary

(Oil Rubbed Bronze)

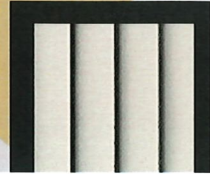


Cedar Discorvery
Solid Shake

Mastic(Rugged Canyon)

S.C. Swiderski

Sunset Estates - Huntington

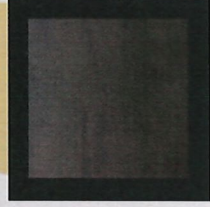


Ply Gem

ic (Almond)



Aluminum
Garage
White



Exterior Light
Portfolio Dovary
(Oil Rubbed Bronze)



Stone Sill

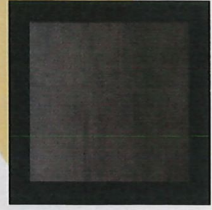
Taupe



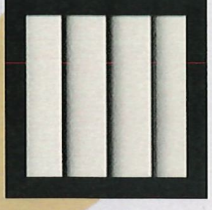
Versetta Stone
Ledge Stone
Sterling

S.C. Swiderski

Sunset Estates - Mail



Exterior Light
Portfolio Dovary
(Oil Rubbed Bronze)



Ply Gem
Mastic (Almond)



EXTERIOR SELECTION FORM

Development: SCS SUNSET ESTATES

BEDFORD - 4 AND 6 UNIT

Address: Sturgeon Bay

Material	Approved Color/Finish Selection	Noted on Rendering	Notes
Shingles	GAF WeatheredWood		
Soffit	Color Select for Mastic - White-280		
Fascia	Color Select for Mastic - White-280		
Gutters/Downspout	Norandex - White		
Vertical Band Board	Mastic Carvedwood-44 - White		
Horizontal Band Board	Mastic Carvedwood-44 - White		
Lap Siding A	(1) Mastic Carvedwood-44 - Almond		
Lap Siding B	(3) Mastic Carvedwood-44 - Quiet Willow		
Lap Siding C	N/A		
Board and Batten A	N/A		
Board and Batten B	N/A		
Board and Batten C	N/A		
Outside Corners	Vinyl Corners		
Shake	(2) Mastic Cedar Discovery Cedar Shake - Pebblestone Clay		
Brick/Stone	Versetta Stone - Ledgestone (Sterling)		
Sill	Versetta Stone (Taupe)		
Patio Dividers	Belmont - White 6-FT Single		
Garage Door	White 8'x16' with windows		
Entry Door	6-PNL - Primed		
Entry Door Hardware	Schlage Solstice Product Line - Lever - Satin Nickel		
Address Plaques	Omegabond Plaques		Contrasting colors 6 in numbers no border
Unit Entry Plaques	Omegabond Plaques		Contrasting colors 4 in numbers no border
Garage Plaques	Omegabond Plaques		Contrasting colors 4 in numbers no border
Window Style	No Grid		
Window	Sierra Pacific 8000 Series		
Patio Door	Sierra Pacific 8000 Series		
ADA Patio Door	ThermaTru 6/0 Double Door Full Lite One Side Stationary - White		
Exterior Lighting Sconce	Portfolio Elicott Galvanized Dark Sky Medium 10.75-in		
Exterior Lighting Flush Mount	Texas Disc Light - White		
Attached Mechanical Room	Yes		

FORM COMPLETED BY: SC SWIDERSKI

DATE: 4/21/2022



INTERIOR SELECTION FORM

Development: SCS SUNSET ESTATES

BEDFORD - 4 AND 6 UNIT

Address: Sturgeon Bay

Material	Approved Color/Finish Selection	Noted on Rendering	Notes
Casing	LP-0065 White (Wood)		
Base	LP-0065 White (Wood)		
Handrail	Walnut 7096		
Handrail Bracket	Gatehouse 3.169" x1.8" x 0.07" - Satin Nickel		
Interior Door Style	3-PNL Shaker		
Interior Door Color	White		
Peepsite	Gatehouse 160-Degree View Door Viewer 0.6-in Diameter - Silver		
Bypass Hardware	Cup Pull - Satin Nickel		
Bi-fold Hardware	Knob - Amazon Basics - Satin Nickel		
Hinge Stop	Gatehouse 2-3/5-in Hinge Pin Stop - Satin Nickel		
Spring Stop	Gatehouse 2-9/10-in Spring Stop - Satin Nickel		
Interior Door Hardware	Schlage Solstice Product Line - Lever - Satin Nickel		
LVP Flooring	(12 mil) Mohawk Aladdin Sohana II - Reed		
Carpeting	Mohawk, Aladdin 3B52, 927 Iron Side - Fusion I		
Carpet Pad (Main Areas)	Mohawk ValueCushion 8LB 3/8"		
Carpet Pad (Stairs)	Mohawk ValueCushion 8LB 3/8"		
Interior Paint Color	Hallman Lindsey - Swiderski Antique Ivory		
Towel Bar	Stone Harbor 24" Towel Bar, Zurich Line, 4584-15 - Satin Nickel		
Toilet Paper Holder	Stone Harbor TP Holder, Zurich Line, 4582-15 - Satin Nickel		
Towel Ring	Stone Harbor Towel Ring, Zurich Line, 4580-15 - Satin Nickel		
Wire Closet Shelving	Rubbermaid - White		
Bullnose Closet Shelving	N/A		
Dishwasher	(2/3) Whirlpool WDF330PAHS - Stainless		
Range	(3) Whirlpool WFE510S0HS - Stainless		
Refrigerator	(3) Whirlpool WRS325SDHZ / Side by Side - Stainless		
Microwave Range Hood	(2/3) Whirlpool WMH31017HS - Stainless		
Washer (Side by Side)	(2) Whirlpool - WTW4855HW / Top Load - White		
Dryer (Side by Side)	(2) Whirlpool WED4850HW / Front Load/Hamper Door - White		
Washer (Stackable)	N/A		
Dryer (Stackable)	N/A		
Dishwasher (ADA)	(2) Whirlpool WDF550SAHS - Stainless		
Range (ADA)	(2/3) Whirlpool WEE310SAGS - Stainless		
Countertop Microwave (ADA)	(2/3) Whirlpool WMC30516HZ - Stainless		
Refrigerator (ADA)	(3) Whirlpool WRS325SDHZ / Side by Side - Stainless		
Range Hood (ADA)	(2/3) Broan 30" 413004 - Stainless		
Washer (ADA)	(1/2/3)Whirlpool WFW560CHW / Front Load - White		
Dryer (ADA)	(1/2/3) Whirlpool Front Load WED5620HW - White		
Blinds	White		
Cabinet Door Style	Smart Cabinetry: Brighton - Recessed		
Cabinet Color	Brighton Maple - Root Beer		
Cabinet Hardware	Swiss Kelly - 10 mm Bar Pull - Satin Nickel		
Countertop	Laminate/Formica: Silver Quartzite 9497-58		
Outlet Switch Covers	Ivory		
11", 13" & 15" Flush Mount Lights	Patriot Lighting 11", 13", 15" Stella - Brushed Nickel		
Stairwell Sconce	Portfolio 1-Light - Brushed Nickel		

Ceiling Fan	Harbor Breeze Grace Bay 52" LED - Brushed Nickel		
Bath Vanity	Portfolio 3-Light Vanity - Brushed Nickel		
Bath Vanity Globe	Portfolio Glass Cone Vanity Light Shade - Alabaster		
Disc Light	Texas Disc Light - White		

FORM COMPLETED BY: SC SWIDERSKI
DATE: 4/21/2022



EXTERIOR SELECTION FORM

Development: SCS SUNSET ESTATES

HUNTINGTON - 8 UNIT

Address: Sturgeon Bay

Material	Approved Color/Finish Selection	Noted on Rendering	Notes
Shingles	GAF WeatheredWood		
Soffit	Color Select for Mastic - White-280		
Fascia	Color Select for Mastic - White-280		
Gutters/Downspout	Norandex - White		
Vertical Band Board	Mastic Carvedwood-44 - White		
Horizontal Band Board	Mastic Carvedwood-44 - White		
Lap Siding A	(1) Mastic Carvedwood-44 - Almond		
Lap Siding B	(3) Mastic Carvedwood-44 - Quiet Willow		
Lap Siding C	N/A		
Board and Batten A	N/A		
Board and Batten B	N/A		
Board and Batten C	N/A		
Outside Corners	Vinyl Corners		
Shake	(2) Mastic Cedar Discovery Cedar Shake - Pebblestone Clay		
Brick/Stone	Versetta Stone - LedgeStone (Sterling)		
Sill	Versetta Stone (Taupe)		
Patio Dividers	N/A		
Garage Door	White		
Entry Door	6-PNL - Primed		
Entry Door Hardware	Schlage Solstice Product Line - Lever - Satin Nickel		
Address Plaques	Omegabond Plaques		Contrasting colors 6 in numbers no border
Unit Entry Plaques	Omegabond Plaques		Contrasting colors 4 in numbers no border
Garage Plaques	Omegabond Plaques		Contrasting colors 4 in numbers no border
Window Style	No Grid		
Window	Sierra Pacific 8000 Series		
Patio Door	Sierra Pacific 8000 Series		
ADA Patio Door	ThermaTru 6/0 Double Door Full Lite One Side Stationary - White		
Exterior Lighting Sconce	Portfolio Elicott Galvanized Dark Sky Medium 10.75-in		
Exterior Lighting Flush Mount	Texas Disc Light - White		
Attached Mechanical Room	Yes		

FORM COMPLETED BY: SC SWIDERSKI

DATE: 4/21/2022



INTERIOR SELECTION FORM

Development: SCS SUNSET ESTATES

BEDFORD - 4 AND 6 UNIT

Address: Sturgeon Bay

Material	Approved Color/Finish Selection	Noted on Rendering	Notes
Casing	LP-0065 White (Wood)		
Base	LP-0065 White (Wood)		
Handrail	Walnut 7096		
Handrail Bracket	Gatehouse 3.169" x 1.8" x 0.07" - Satin Nickel		
Interior Door Style	3-PNL Shaker		
Interior Door Color	White		
Peepsite	Gatehouse 160-Degree View Door Viewer 0.6-in Diameter - Silver		
Bypass Hardware	Cup Pull - Satin Nickel		
Bi-fold Hardware	Knob - Amazon Basics - Satin Nickel		
Hinge Stop	Gatehouse 2-3/5-in Hinge Pin Stop - Satin Nickel		
Spring Stop	Gatehouse 2-9/10-in Spring Stop - Satin Nickel		
Interior Door Hardware	Schlage Solstice Product Line - Lever - Satin Nickel		
LVP Flooring	(12 mil) Mohawk Aladdin Sohana II - Reed		
Carpeting	Mohawk, Aladdin 3B52, 927 Iron Side - Fusion I		
Carpet Pad (Main Areas)	Mohawk ValueCushion 8LB 3/8"		
Carpet Pad (Stairs)	Mohawk ValueCushion 8LB 3/8"		
Interior Paint Color	Hallman Lindsey - Swiderski Antique Ivory		
Towel Bar	Stone Harbor 24" Towel Bar, Zurich Line, 4584-15 - Satin Nickel		
Toilet Paper Holder	Stone Harbor TP Holder, Zurich Line, 4582-15 - Satin Nickel		
Towel Ring	Stone Harbor Towel Ring, Zurich Line, 4580-15 - Satin Nickel		
Wire Closet Shelving	Rubbermaid - White		
Bullnose Closet Shelving	N/A		
Dishwasher	(2/3) Whirlpool WDF330PAHS - Stainless		
Range	(2) Whirlpool WFC310S0ES - Stainless		
Refrigerator	(2) Whirlpool WRT148FZDM / Top-Freezer - Stainless		
Microwave Range Hood	(2/3) Whirlpool WMH31017HS - Stainless		
Washer (Side by Side)	(2) Whirlpool - WTW4855HW / Top Load - White		
Dryer (Side by Side)	(2) Whirlpool WED4850HW / Front Load/Hamper Door - White		
Washer (Stackable)	N/A		
Dryer (Stackable)	N/A		
Dishwasher (ADA)	(2) Whirlpool WDF550SAHS - Stainless		
Range (ADA)	(2/3) Whirlpool WEE310SAGS - Stainless		
Countertop Microwave (ADA)	(2/3) Whirlpool WMC30516HZ - Stainless		
Refrigerator (ADA)	(2) Whirlpool WRT148FZDM / Top-Freezer - Stainless		
Range Hood (ADA)	(2/3) Broan 30" 413004 - Stainless		
Washer (ADA)	(1/2/3)Whirlpool WFW560CHW / Front Load - White		
Dryer (ADA)	(1/2/3) Whirlpool Front Load WED5620HW - White		
Blinds	White		
Cabinet Door Style	Smart Cabinetry: Brighton - Recessed		
Cabinet Color	Brighton Maple - Root Beer		
Cabinet Hardware	Swiss Kelly - 10 mm Bar Pull - Satin Nickel		
Countertop	Laminate/Formica: Silver Quartzite 9497-58		
Outlet Switch Covers	Ivory		
11", 13" & 15" Flush Mount Lights	Patriot Lighting 11", 13", 15" Stella - Brushed Nickel		
Stairwell Sconce	Portfolio 1-Light - Brushed Nickel		

Ceiling Fan	Harbor Breeze Grace Bay 52" LED - Brushed Nickel		
Bath Vanity	Portfolio 3-Light Vanity - Brushed Nickel		
Bath Vanity Globe	Portfolio Glass Cone Vanity Light Shade - Alabaster		
Disc Light	Texas Disc Light - White		

FORM COMPLETED BY: SC SWIDERSKI

DATE: 4/21/2022

EXTERIOR SELECTION FORM

Development: SCS SUNSET ESTATES

SITE SELECTIONS

Address: Sturgeon Bay

[illegible]

FORM COMPLETED BY: SC SWIDERSKI DATE: 4/21/2022

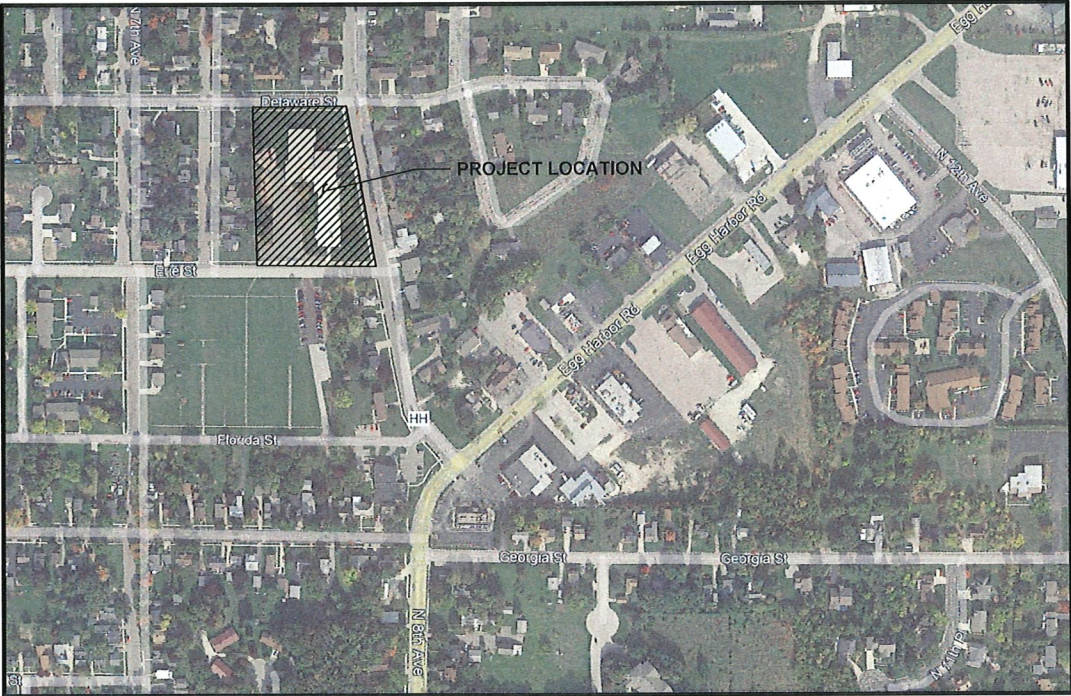
SUNSET ESTATES

CITY OF STURGEON BAY, WISCONSIN

SW 1/4, NW 1/4, SECTION 5, TOWNSHIP 27 NORTH, RANGE 26 EAST

DRAWING INDEX

C0.0	TITLE SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C1.1	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & EROSION CONTROL PLAN
C4.0	UTILITY PLAN - STORM & SANITARY
C4.1	UTILITY PLAN - WATER
C5.0	DETAILS
C5.1	DETAILS
C5.2	DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN ENLARGEMENTS
L1.2	LANDSCAPE PLAN ENLARGEMENTS
L2.0	LANDSCAPE DETAILS & NOTES



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

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CHAD SHEFCHIK
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P. 715.298.6330

CLIENT:
S.C. SWIDERSKI, LLC



CLIENT ADDRESS:
401 RANGER STREET
MOSINEE, WI 54455

PROJECT:
SCS SUNSET ESTATES

PROJECT LOCATION:
STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
2	02.22.2022	MUNICIPAL SUBMITTAL
3	04.12.2022	MUNICIPAL COMMENTS
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Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

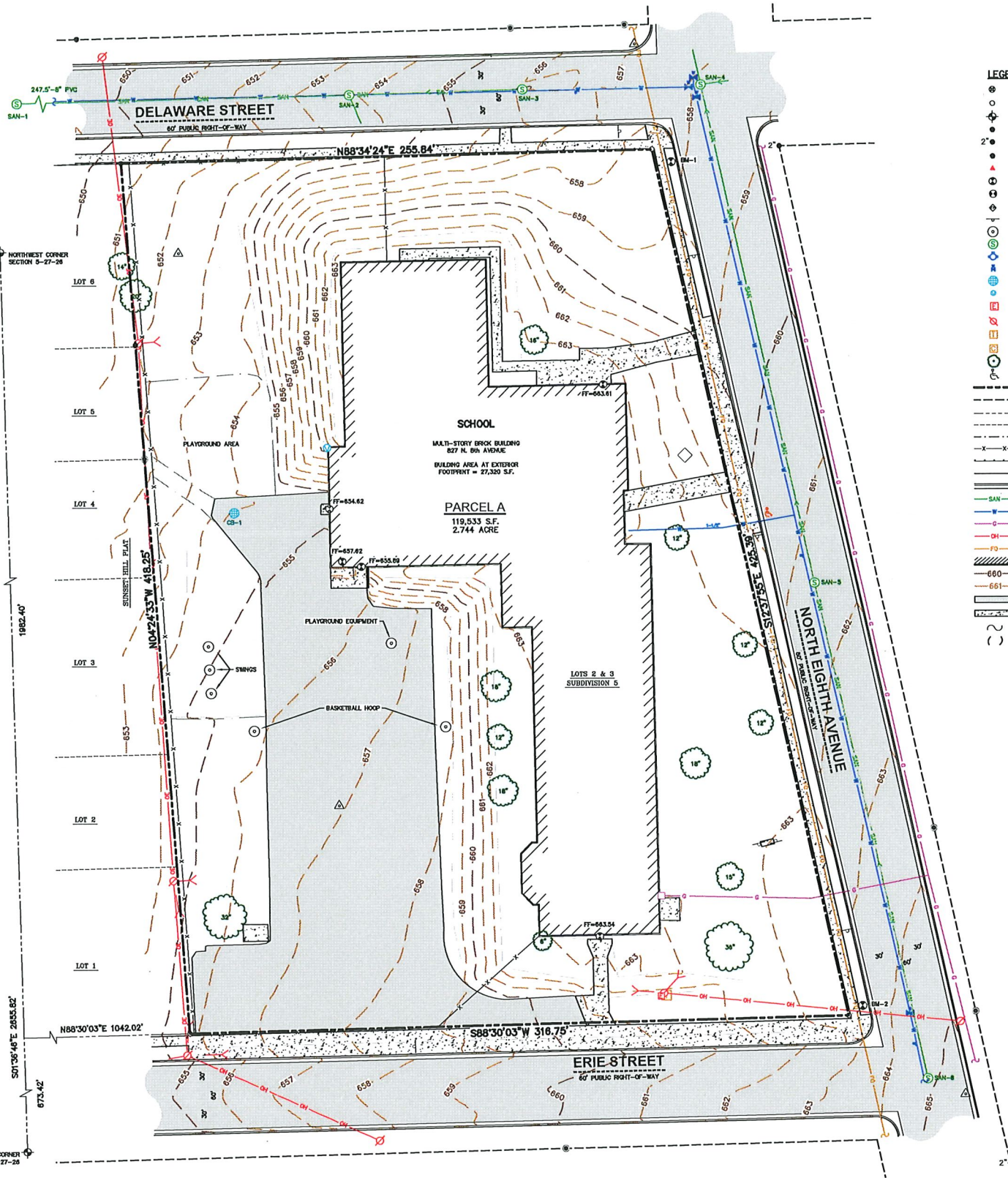
SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
C0.0

JSD PROJECT NO: 21-10589



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SANITARY SEWER MANHOLES				
STRUCT. ID	R/W ELEVATION	INVERT	ELEVATION	PIPE TYPE
SAN-1	645.23	E	633.88	8" PVC
SAN-2	653.91	W	645.66	8" PVC
		E	646.39	8" PVC
		S	647.61	6" PVC
SAN-3	654.82	W	645.47	8" PVC
SAN-4	658.14	S	650.34	8" PVC
SAN-5	661.38	N	653.68	8" PVC
		S	653.72	8" PVC
SAN-6	664.87	N	657.12	8" PVC

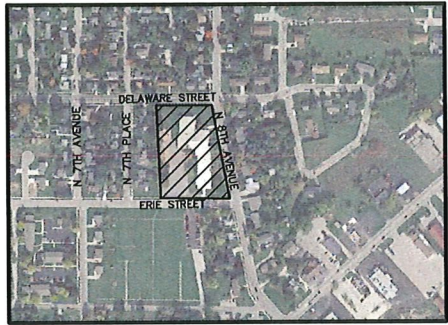
STORM SEWER MANHOLES				
STRUCT. ID	R/W ELEVATION	INVERT	ELEVATION	PIPE TYPE
CB-1	654.06		+650.46	
*TRENCH DRAIN				
			INV MEASURED TO TOP OF GRAVEL	

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	661.12	TOP NUT ON HYDRANT NE CORNER OF PROPERTY
BM-2	666.41	TOP NUT ON HYDRANT SE CORNER OF PROPERTY

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

ALTA/NSPS LAND TITLE SURVEY

PART OF LOTS 2 AND 3, OF SUBDIVISION 5, CITY OF STURGEON BAY, LOCATED IN SECTION 5, TOWNSHIP 27 NORTH, RANGE 26 EAST, CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN.



VICINITY MAP
NOT TO SCALE

- LEGEND**
- CHISELED "X" SET
 - 3/4" x 24" REBAR SET (1.50 LBS/LF)
 - GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - 2" IRON PIPE FOUND
 - 3/4" REBAR FOUND
 - CONTROL POINT
 - BENCHMARK
 - FINISHED FLOOR SHOT LOCATION
 - FLAG POLE
 - SIGN
 - PLAYGROUND EQUIPMENT
 - SANITARY MANHOLE
 - HYDRANT
 - WATER VALVE
 - ROUND CASTED INLET
 - DOWNSPOUT
 - ELECTRIC PEDESTAL
 - POWER POLE
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - DECIDUOUS TREE
 - HANDICAP PARKING
 - PARCEL BOUNDARY
 - RIGHT-OF-WAY LINE
 - SECTION LINE
 - PROPERTY LINE
 - EASEMENT LINE
 - FENCE LINE
 - GUARD OR SAFETY RAIL
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - NATURAL GAS
 - OVERHEAD LINE
 - FIBER OPTIC
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - END OF FLAGGED UTILITIES
 - DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACTED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED ON NOVEMBER 29 AND 30, 2021.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DOOR COUNTY ZONE THE WEST LINE OF THE NORTHWEST QUARTER, SECTION 05, TOWNSHIP 27 NORTH, RANGE 26 EAST, RECORDED AS 50136'46"E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET NO. 202114613797, 202114613805, 202114613834, 202114613852, 202114613864, AND 202114613879 WITH A CLEAR DATE OF NOVEMBER 17, 2021.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: DOOR COUNTY FIBER OPTIC UTILITY, AT&T DISTRIBUTION, CHARTER COMMUNICATIONS, STURGEON BAY UTILITIES, WISCONSIN PUBLIC SERVICE CORPORATION.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED, FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS SHOWN ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

- (FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: CL-211436, COMMITMENT DATE: SEPTEMBER 2, 2021)
- 10 SUBJECT TO THE TERMS AND CONDITIONS OF THAT RIGHT OF FIRST REFUSAL BY AND BETWEEN THE CITY OF STURGEON BAY, A WISCONSIN MUNICIPAL CORPORATION AND THE SCHOOL DISTRICT OF STURGEON BAY, A WISCONSIN MUNICIPAL CORPORATION, DATED DECEMBER 14, 1983, IN VOLUME 368 ON PAGE(S) 613-618, AS DOCUMENT NO. 442217.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: CL-211436, COMMITMENT DATE: SEPTEMBER 2, 2021)

THE EAST 8 ACRES OF LOT TWO (2) AND THREE (3), IN SUBDIVISION FIVE (5) OF THE CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN, ACCORDING TO THE ASSESSOR'S MAP OF SAID CITY RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF DOOR COUNTY, WISCONSIN ON PAGE(S) 14 OF PLAT BOOKS:

WITH THE EXCEPTION OF 5 ACRES OF LAND ACQUIRED BY THE UNITED STATES OF AMERICA BY JUDGEMENT IN THE DISTRICT COURT OF THE UNITED STATES FOR THE EASTERN DISTRICT OF WISCONSIN, ENTERED MARCH 30, 1942, A CERTIFIED COPY THEREOF HAVING BEEN FILED IN THE OFFICE OF THE REGISTER OF DEEDS IN AND FOR DOOR COUNTY, WISCONSIN ON APRIL 9, 1942, IN VOLUME 20 OF MISCELLANEOUS, ON PAGE(S) 210, AS DOCUMENT NO. 236507. SUBJECT TO EXISTING PUBLIC RIGHT-OF-WAY IN PUBLIC STREETS.

FOR INFORMATIONAL PURPOSES ONLY:
ADDRESS: 827 N. 8TH AVENUE, STURGEON BAY, WI
TAX KEY NUMBER: 281-6205000208

SURVEYOR'S CERTIFICATE

TO:
I) S.C. SWIDERSKI LLC,
II) FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS. THE FIELD WORK WAS COMPLETED ON NOVEMBER 30, 2021.

Todd J. Buhr
TODD J. BUHR, S-2614
PROFESSIONAL LAND SURVEYOR
Email: todd.buhr@jsdinc.com
Website: www.jsdinc.com

DATE
12/08/2021



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WAUSAU REGIONAL OFFICE
7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WI 54478
P. 715.298.6330

CLIENT:
S.C. SWIDERSKI, LLC

CLIENT ADDRESS:
401 RANGER STREET
MOSINEE, WI

PROJECT:
SCS SUNSET ESTATES

PROJECT LOCATION:
827 N. 8TH AVENUE,
STURGEON BAY, WI

MODIFICATIONS:		
#	Date	Description
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Designed By: BRW 12/12/21
Reviewed By: TJB 12/22/21
Approved By: TJB 12/22/21

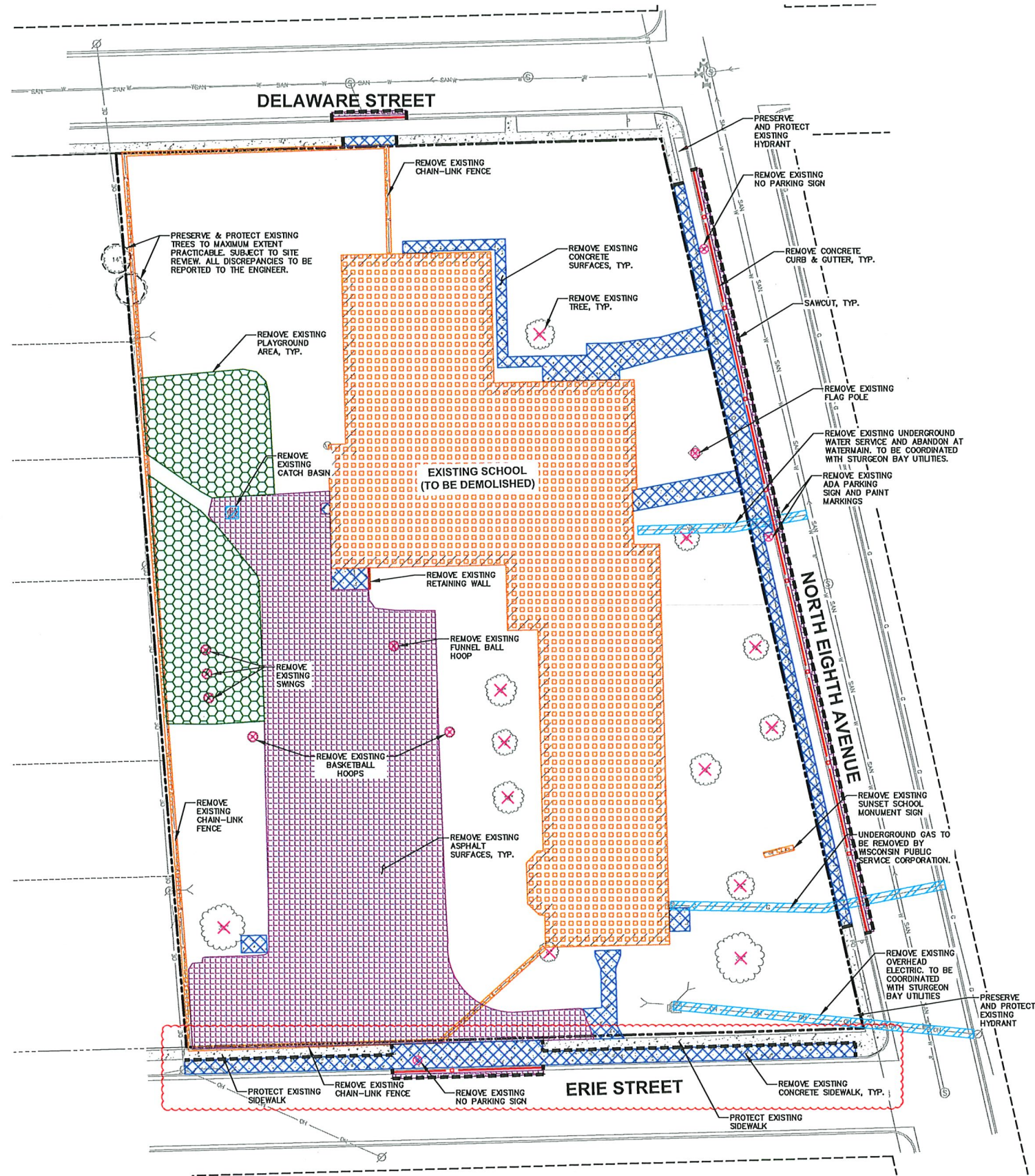
SHEET TITLE:
ALTA/NSPS LAND
TITLE SURVEY

SHEET NUMBER:
C1.0

PROJECT NO: 21-10959

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- DEMOLITION NOTES**
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
 - CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
 - ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
 - ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
 - CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
 - ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
 - ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
 - ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
 - SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF STURGEON BAY SPECIFICATIONS.
 - WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF STURGEON BAY SPECIFICATIONS.
 - ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES.
 - BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE.
 - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
 - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EASEMENT LINE
---	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
---	SAWCUT EXISTING PAVEMENT
---	DEMOLITION - REMOVAL OF RETAINING WALL
---	DEMOLITION - REMOVAL OF ASPHALT SURFACES
---	DEMOLITION - REMOVAL OF CONCRETE SURFACES
---	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
---	DEMOLITION - REMOVAL OF UTILITIES
---	DEMOLITION - REMOVAL OF PLAYGROUND AREA
---	TREE REMOVAL
---	REMOVAL - SEE PLAN FOR DETAILED NOTES
---	PROTECT EXISTING TREE

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WESTON, WI 54476
P. 715.298.6330

CLIENT:
S.C. SWIDERSKI, LLC

SCS

CLIENT ADDRESS:
401 RANGER STREET
MOSINEE, WI 54455

PROJECT:
SCS SUNSET ESTATES

PROJECT LOCATION:
**STURGEON BAY, WI
DOOR COUNTY**

PLAN MODIFICATIONS:

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1	01.24.2022	CONSTRUCTION DOCUMENTS
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Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

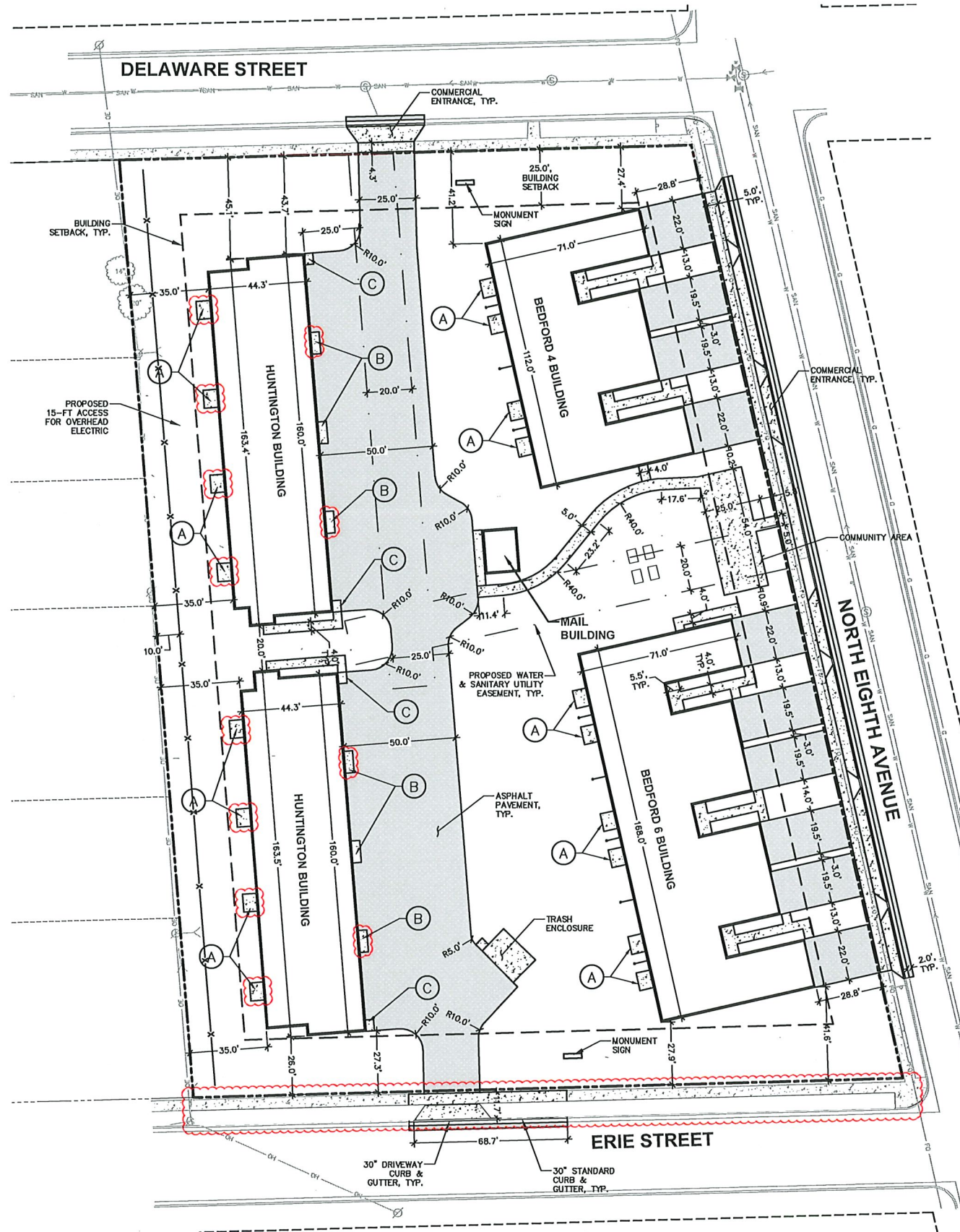
SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C1.1

JSD PROJECT NO: 21-10989

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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF STURGEON BAY ORDINANCES AND THE GEOTECHNICAL REPORT TO BE PREPARED BY INTERTEK PSI.
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE - SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. CONCRETE PAVING SPECIFICATIONS
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 25' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
 - 4.1. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH EPOXY PAINT PER SPECIFICATIONS.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. USE 4" WIDE, HIGH VISIBILITY YELLOW EPOXY PAINT FOR STALL LINES.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

LEGEND

---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY
- . - . -	EASEMENT LINE
=====	BUILDING OUTLINE
-----	BUILDING OVERHANG
-----	BUILDING SETBACK LINE
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
=====	ASPHALT PAVEMENT
=====	HEAVY DUTY ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	RETAINING WALL
=====	ADA PARKING SIGN

SITE INFORMATION BLOCK

SITE ADDRESS	827 N. 8TH AVENUE
PROPERTY ACREAGE	2.744 ACRES
HUNTINGTON BUILDING	
NUMBER OF BUILDING STORIES	2
BUILDING FOOTPRINT SQUARE FOOTAGE	7,025
NUMBER OF UNITS	8
BEDFORD 4 BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	6,693
NUMBER OF UNITS	4
BEDFORD 6 BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	9,836
NUMBER OF UNITS	6
MAIL BUILDING	
NUMBER OF BUILDING STORIES	1
BUILDING FOOTPRINT SQUARE FOOTAGE	312
TOTAL BUILDING FOOTPRINT SQUARE FOOTAGE	30,891
NUMBER OF PARKING STALLS	
SURFACE	36
GARAGE	36
TOTAL PARKING	72
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	51,916 SF
EXISTING PERVIOUS SURFACE AREA	67,617 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.43
PROPOSED IMPERVIOUS SURFACE AREA	62,634 SF
PROPOSED PERVIOUS SURFACE AREA	56,899 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.52



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P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC



CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI 54455

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	01.24.2022	CONSTRUCTION DOCUMENTS
2	02.22.2022	MUNICIPAL SUBMITTAL
3	04.12.2022	MUNICIPAL COMMENTS
4		
5		
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14		
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Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

SHEET TITLE:

SITE PLAN

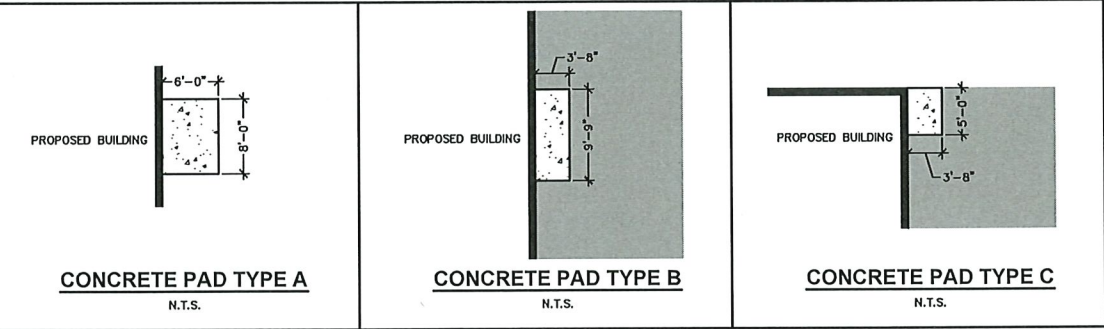
SHEET NUMBER:

C2.0

JSD PROJECT NO:

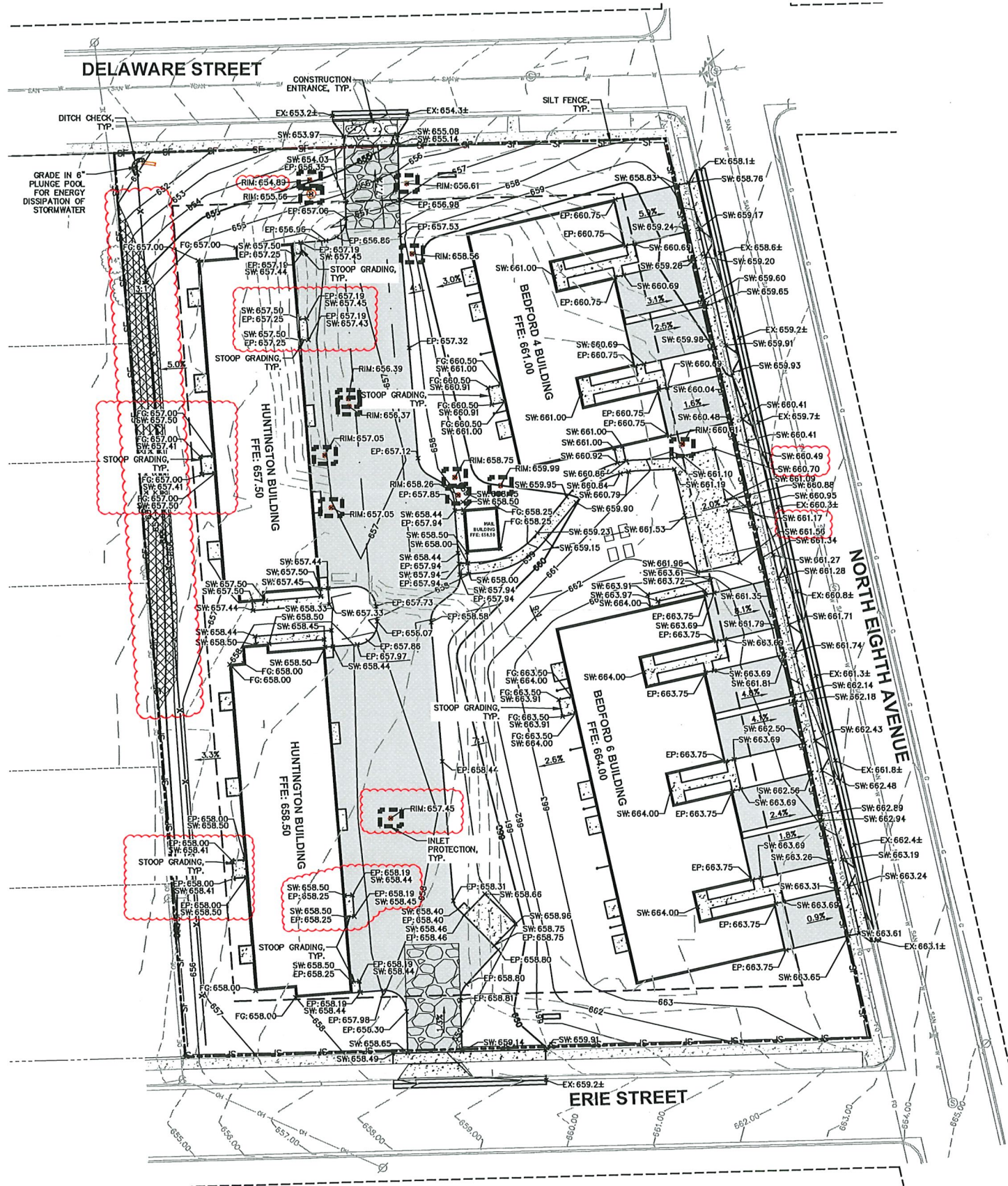
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EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF STURGEON BAY OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF STURGEON BAY ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF STURGEON BAY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS NOT SHOWN ON THE PLANS MUST BE APPROVED BY THE MUNICIPALITY PRIOR TO INSTALLATION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF STURGEON BAY.
- INLET PROTECTION SHALL BE IMMEDIATELY INSTALLED AT ALL STORM INLETS AND SILT FENCE SHALL BE IMMEDIATELY INSTALLED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED AT A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - *PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - *TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - *HYDRO-MULCHING WITH A TACKIFIER
 - *GEOTEXTILE EROSION MATTING
 - *SOODING
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO/SEED MIX TO BE IN ACCORDANCE WITH OWNER SPECIFICATIONS.
- CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SOODING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF STURGEON BAY ORDINANCE.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- SILT FENCE
- RIP-RAP
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- SPOT ELEVATION
 - EP - EDGE OF PAVEMENT
 - FG - FINISH GRADE
 - EC - EDGE OF CONCRETE
 - BC - BACK OF CURB
 - EX - MATCH EXISTING GRADE
 - HP - HIGH POINT
 - SW - SIDEWALK
- DITCH CHECK
- INLET PROTECTION



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P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC



CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI 54455

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
2	02.22.2022	MUNICIPAL SUBMITTAL
3	04.12.2022	MUNICIPAL COMMENTS
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Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

SHEET TITLE:

GRADING & EROSION
CONTROL PLAN

SHEET NUMBER:

C3.0

JSD PROJECT NO:

21-10989

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PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN MH-1	658.16	N INV: 650.19 (8")	8.0	48 IN MH	R-1550 SOLID LID

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	TO	FROM	LENGTH	DISCHARGE EL. (FT)	INVERT EL. (FT)	SLOPE	SIZE & MATERIAL
SAN-1	EX MH	WYE	231'	647.61	649.92	1.00%	8 IN PVC
SAN-2	WYE	BEND	4'	650.00	650.09	2.16%	6 IN PVC
SAN-3	BEND	BEND	51'	650.09	651.19	2.16%	6 IN PVC
SAN-4	BEND	BEND	10'	651.19	651.40	2.16%	6 IN PVC
SAN-5	BEND	BUILDING	5'	651.40	651.50	2.00%	6 IN PVC
SAN-6	WYE	WYE	3'	649.92	649.95	1.00%	8 IN PVC
SAN-7	WYE	BEND	5'	650.03	650.19	3.17%	6 IN PVC
SAN-8	BEND	BEND	111'	650.19	653.71	3.17%	6 IN PVC
SAN-9	BEND	BUILDING	41'	653.71	655.00	3.17%	6 IN PVC
SAN-10	WYE	WYE	14'	649.95	650.09	1.00%	8 IN PVC
SAN-11	WYE	BEND	5'	650.17	650.45	5.65%	6 IN PVC
SAN-12	BEND	BEND	113'	650.45	656.85	5.65%	6 IN PVC
SAN-13	BEND	BUILDING	20'	656.85	658.00	5.62%	6 IN PVC
SAN-14	WYE	WYE	5'	650.09	650.14	1.00%	8 IN PVC
SAN-15	BEND	BEND	64'	650.22	652.41	3.44%	6 IN PVC
SAN-16	BEND	BUILDING	3'	652.41	652.50	3.34%	6 IN PVC
SAN-17	WYE	SAN MH-1	5'	650.14	650.19	1.00%	8 IN PVC

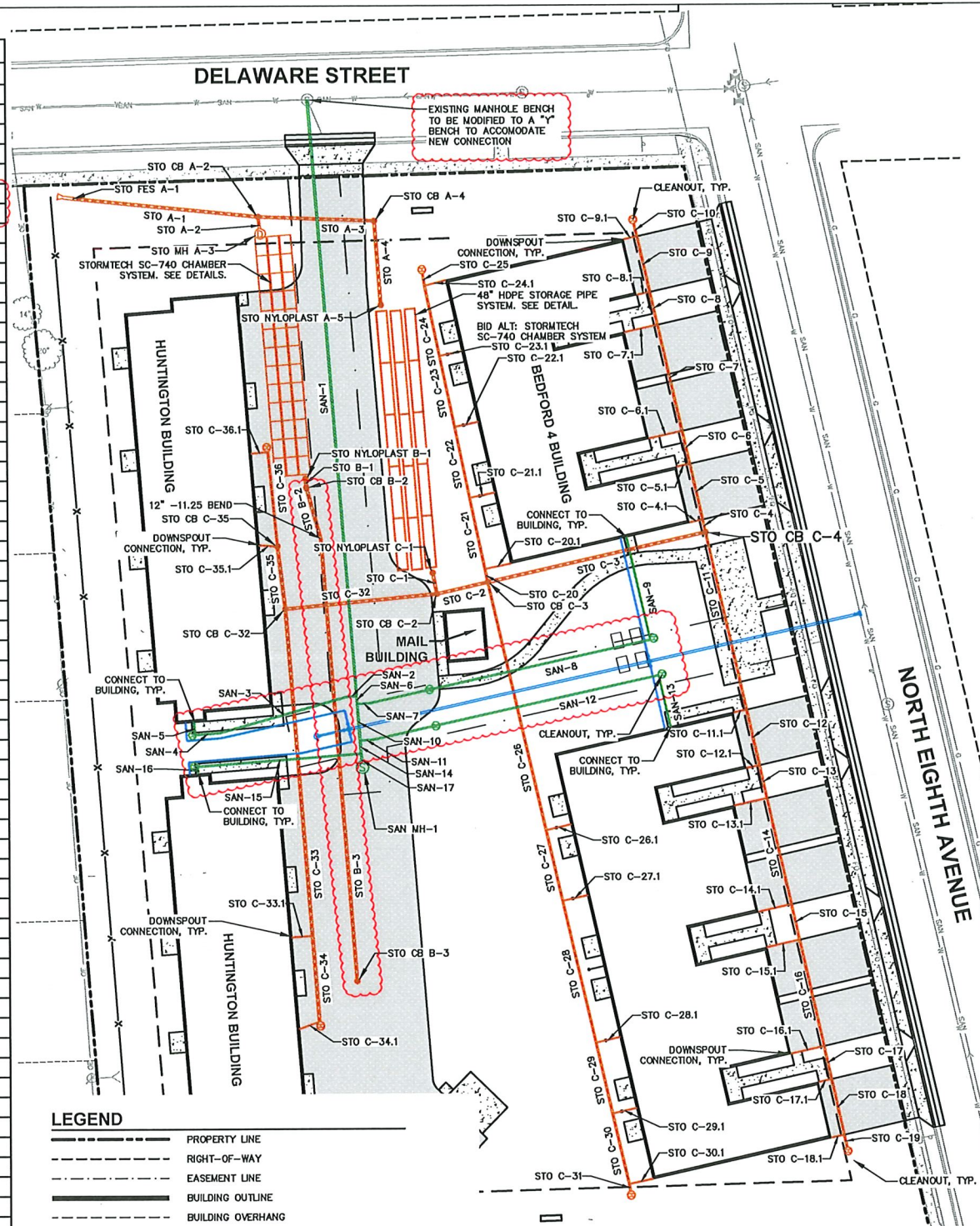
PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO CB A-2	654.89	S INV: 651.98 (10") E INV: 651.38 (12") W INV: 651.28 (12")	3.6	36 IN MH (FLAT)	R-2050 TYPE D
STO CB A-4	656.61	S INV: 651.64 (12") W INV: 651.54 (12")	5.1	36 IN MH (FLAT)	R-2050 TYPE D
STO CB B-2	656.37	S INV: 652.60 (12") N INV: 652.50 (12")	3.9	36 IN MH (FLAT)	R-2050 TYPE D
STO CB B-3	657.45	N INV: 653.02 (12")	4.4	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-2	658.26	E INV: 654.89 (12") W INV: 654.89 (12") N INV: 654.79 (12")	3.5	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-3	659.99	E INV: 655.20 (12") N INV: 655.30 (8") S INV: 655.30 (8") W INV: 655.20 (12")	4.8	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-4	660.81	S INV: 656.83 (8") N INV: 656.83 (8") W INV: 656.50 (12")	4.3	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-32	657.05	N INV: 655.20 (12") S INV: 655.20 (12") E INV: 655.10 (12")	1.9	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-35	657.05	W INV: 655.42 (4") N INV: 655.42 (8") S INV: 655.32 (12")	1.7	36 IN MH (FLAT)	R-2050 TYPE D
STO FES A-1		E INV: 651.00 (12")		12 IN HDPE FES	
**STO MH A-3	655.56	N INV: 652.00 (10")	3.6	48 IN MH (FLAT)	R-1550 SOLID LID
STO NYLOPLAST A-5	658.56	N INV: 651.75 (12")	6.8	24 IN DB	24" SOLID LID
STO NYLOPLAST B-1	656.39	S INV: 652.48 (12")	3.9	12 IN DB	12" SOLID LID
STO NYLOPLAST C-1	658.75	S INV: 654.75 (12")	4.0	12 IN DB	12" SOLID LID

* INSTALL WIER PLATE. SEE DETAIL.
** INSTALL UPFLO FILTER. SEE DETAIL.

PROPOSED STORM SEWER PIPE TABLE							
LABEL	TO	FROM	LENGTH	DISCHARGE EL. (FT)	INVERT EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO FES A-1	STO CB A-2	72'	651.00	651.28	0.39%	12 IN HDPE
STO A-2	STO CB A-2	STO MH A-3	7'	651.98	652.00	0.30%	10 IN HDPE
STO A-3	STO CB A-2	STO CB A-4	45'	651.38	651.54	0.35%	12 IN HDPE
STO A-4	STO CB A-4	STO NYLOPLAST A-5	33'	651.64	651.75	0.35%	12 IN HDPE
STO B-1	STO NYLOPLAST B-1	STO CB B-2	4'	652.48	652.50	0.50%	12 IN HDPE
STO B-2	STO CB B-2	11.25 BEND	21'	652.60	652.65	0.22%	12 IN HDPE
STO B-3	11.25 BEND	STO CB B-3	171'	652.65	653.02	0.22%	12 IN HDPE
STO C-1	STO NYLOPLAST C-1	STO CB C-2	8'	654.75	654.79	0.50%	12 IN HDPE
STO C-2	STO CB C-2	STO CB C-3	20'	654.89	655.20	1.51%	12 IN HDPE
STO C-3	STO CB C-3	STO CB C-4	86'	655.20	656.50	1.51%	12 IN HDPE
STO C-4	STO CB C-4	WYE	5'	656.83	656.86	0.50%	8 IN HDPE
STO C-4.1	WYE	DOWNSPOUT	5'	657.02	657.13	2.08%	4 IN HDPE
STO C-5	WYE	WYE	22'	656.86	656.97	0.50%	8 IN HDPE
STO C-5.1	WYE	DOWNSPOUT	5'	657.13	657.24	2.08%	4 IN HDPE
STO C-6	WYE	WYE	13'	656.97	657.03	0.50%	8 IN HDPE
STO C-6.1	WYE	DOWNSPOUT	13'	657.20	657.47	2.08%	4 IN HDPE
STO C-7	WYE	WYE	42'	657.04	657.25	0.50%	8 IN HDPE
STO C-7.1	WYE	DOWNSPOUT	13'	657.41	657.68	2.08%	4 IN HDPE
STO C-8	WYE	WYE	13'	657.25	657.31	0.50%	8 IN HDPE
STO C-8.1	WYE	DOWNSPOUT	5'	657.47	657.58	2.08%	4 IN HDPE
STO C-9	WYE	WYE	22'	657.31	657.42	0.50%	8 IN HDPE
STO C-9.1	WYE	DOWNSPOUT	5'	657.58	657.69	2.08%	4 IN HDPE
STO C-10	WYE	CLEANOUT	5'	657.42	657.44	0.50%	8 IN HDPE
STO C-11	STO CB C-4	WYE	70'	656.83	657.53	1.00%	8 IN HDPE
STO C-11.1	WYE	DOWNSPOUT	5'	657.70	657.81	2.08%	4 IN HDPE
STO C-12	WYE	WYE	22'	657.54	657.76	1.00%	8 IN HDPE
STO C-12.1	WYE	DOWNSPOUT	5'	657.92	658.03	2.08%	4 IN HDPE
STO C-13	WYE	WYE	13'	657.76	657.89	1.00%	8 IN HDPE
STO C-13.1	WYE	DOWNSPOUT	13'	658.05	658.32	2.08%	4 IN HDPE
STO C-14	WYE	WYE	42'	657.89	658.31	1.00%	8 IN HDPE
STO C-14.1	WYE	DOWNSPOUT	13'	658.47	658.74	2.08%	4 IN HDPE
STO C-15	WYE	WYE	14'	658.31	658.45	1.00%	8 IN HDPE
STO C-15.1	WYE	DOWNSPOUT	13'	658.61	658.88	2.08%	4 IN HDPE
STO C-16	WYE	WYE	42'	658.45	658.87	1.00%	8 IN HDPE
STO C-16.1	WYE	DOWNSPOUT	13'	659.03	659.30	2.08%	4 IN HDPE
STO C-17	WYE	WYE	13'	658.87	659.00	1.00%	8 IN HDPE
STO C-17.1	WYE	DOWNSPOUT	5'	659.16	659.27	2.08%	4 IN HDPE
STO C-18	WYE	WYE	22'	659.00	659.22	1.00%	8 IN HDPE
STO C-18.1	WYE	DOWNSPOUT	5'	659.38	659.49	2.08%	4 IN HDPE
STO C-19	WYE	CLEANOUT	5'	659.22	659.27	1.00%	8 IN HDPE
STO C-20	STO CB C-3	WYE	5'	655.30	655.33	0.50%	8 IN HDPE
STO C-20.1	WYE	DOWNSPOUT	10'	655.33	655.54	2.08%	4 IN HDPE
STO C-21	WYE	WYE	28'	655.33	655.47	0.50%	8 IN HDPE
STO C-21.1	WYE	DOWNSPOUT	10'	655.64	655.84	2.08%	4 IN HDPE
STO C-22	WYE	WYE	28'	655.47	655.61	0.50%	8 IN HDPE
STO C-22.1	WYE	DOWNSPOUT	9'	655.78	655.97	2.08%	4 IN HDPE
STO C-23	WYE	WYE	28'	655.61	655.75	0.50%	8 IN HDPE
STO C-23.1	WYE	DOWNSPOUT	9'	655.92	656.10	2.08%	4 IN HDPE
STO C-24	WYE	WYE	28'	655.75	655.89	0.50%	8 IN HDPE
STO C-24.1	WYE	DOWNSPOUT	8'	655.89	656.07	2.08%	4 IN HDPE
STO C-25	WYE	CLEANOUT	5'	655.89	655.91	0.50%	8 IN HDPE
STO C-26	STO CB C-3	WYE	98'	655.30	655.79	0.50%	8 IN HDPE
STO C-26.1	WYE	DOWNSPOUT	10'	655.96	656.16	2.08%	4 IN HDPE
STO C-27	WYE	WYE	28'	655.79	655.93	0.50%	8 IN HDPE
STO C-27.1	WYE	DOWNSPOUT	10'	656.10	656.30	2.08%	4 IN HDPE
STO C-28	WYE	WYE	56'	655.93	656.21	0.50%	8 IN HDPE
STO C-28.1	WYE	DOWNSPOUT	10'	656.38	656.58	2.08%	4 IN HDPE
STO C-29	WYE	WYE	28'	656.21	656.35	0.50%	8 IN HDPE
STO C-29.1	WYE	DOWNSPOUT	9'	656.52	656.71	2.08%	4 IN HDPE
STO C-30	WYE	WYE	28'	656.35	656.49	0.50%	8 IN HDPE
STO C-30.1	WYE	DOWNSPOUT	9'	656.49	656.68	2.08%	4 IN HDPE
STO C-31	WYE	CLEANOUT	3'	656.49	656.50	0.50%	8 IN HDPE
STO C-32	STO CB C-2	STO CB C-32	59'	654.89	655.10	0.36%	12 IN HDPE
STO C-33	STO CB C-32	WYE	126'	655.20	655.83	0.50%	12 IN HDPE
STO C-33.1	WYE	DOWNSPOUT	8'	655.83	656.08	3.18%	4 IN HDPE
STO C-34	WYE	WYE	33'	655.83	656.00	0.50%	12 IN HDPE
STO C-34.1	WYE	DOWNSPOUT	8'	656.00	656.28	3.33%	4 IN HDPE
STO C-35	STO CB C-32	STO CB C-35	24'	655.20	655.32	0.50%	12 IN HDPE
STO C-35.1	STO CB C-35	DOWNSPOUT	7'	655.42	655.57	2.08%	4 IN HDPE
STO C-36	STO CB C-35	WYE	37'	655.42	655.60	0.49%	8 IN HDPE
STO C-36.1	WYE	DOWNSPOUT	6'	655.70	655.83	2.08%	4 IN HDPE

LEGEND

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---	ASPHALT PAVEMENT
---	HEAVY DUTY ASPHALT PAVEMENT
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---	HEAVY DUTY CONCRETE PAVEMENT
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---	STORM SEWER
---	8"x4"x2" INSULATION (PLAN VIEW)
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SCS SUNSET ESTATES

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STURGEON BAY, WI
DOOR COUNTY

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Designed By: CEJ
Reviewed By: PMP
Approved By: JLF

SHEET TITLE:
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SHEET NUMBER:

C4.0

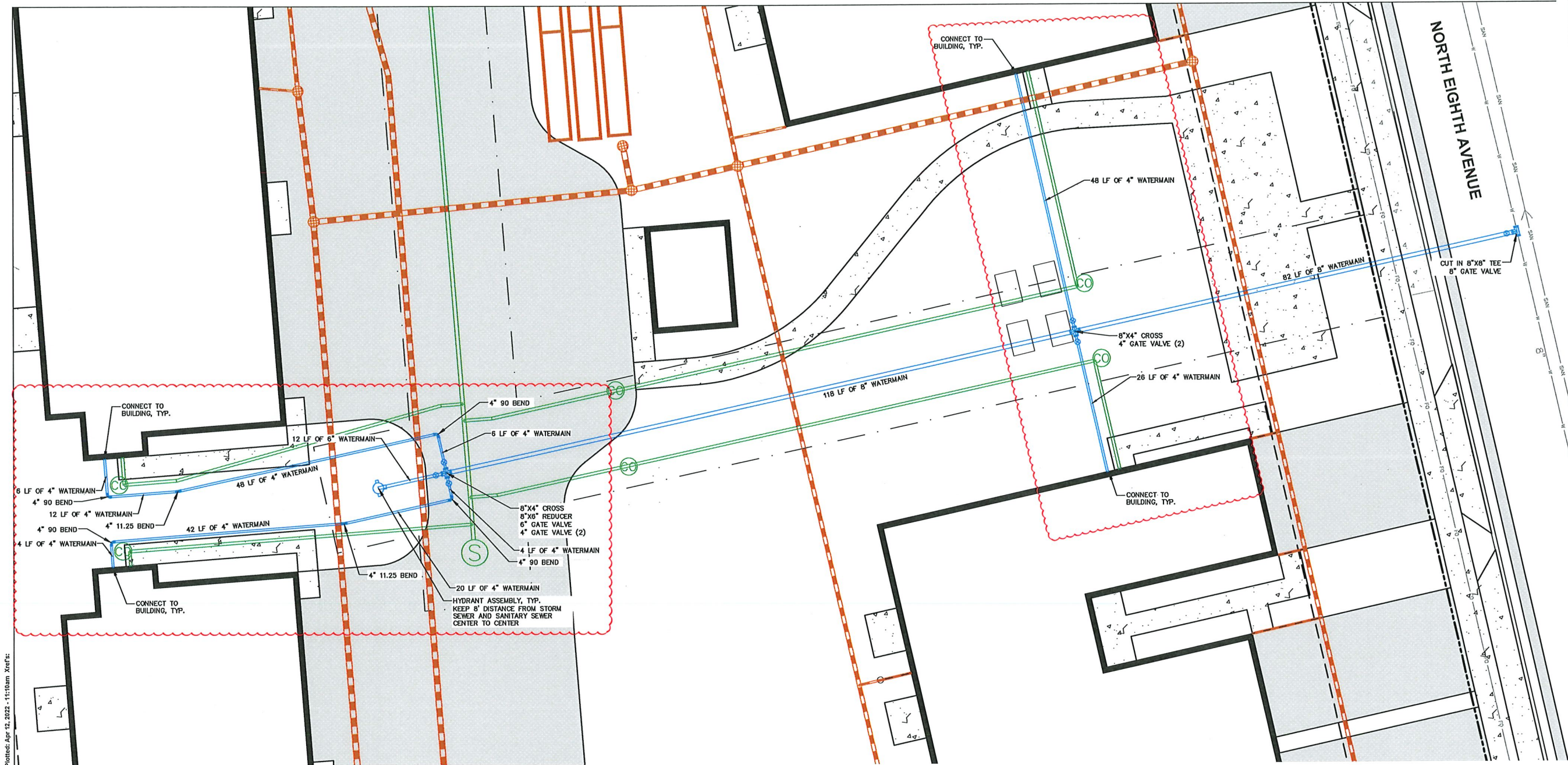
JSD PROJECT NO:

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UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. OR ALL INCLUSIVE, THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.

- ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -**
 - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF MSHTO DESIGNATION M-294 TYPE "S".
 - BEDDING AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- WATER MAIN SPECIFICATIONS -**
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS S2 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS".
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF STURGEON BAY. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A

- POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -**
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212 FOR PIPE SIZES 8" TO 15"; SCHEDULE 40 FOR PIPE SIZES 4" AND 6".
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF STURGEON BAY.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1556 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).**

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	8" CONCRETE RIBBON CURB
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	RETAINING WALL
	BOULDER WALL
	RAILING
	FENCE
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	8"x4"x2" INSULATION (PLAN VIEW)
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S.C. SWIDERSKI, LLC



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PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

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DOOR COUNTY

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Designed By: CEJ

Reviewed By: PMP

Approved By: JLF

SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

C4.1

JSD PROJECT NO:

21-1098

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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT AND SCS. ANY SUBSTITUTIONS OF PLANT TYPE, LOCATION OR SIZE TO BE APPROVED BY SCS PRIOR TO INSTALLATION. BE AWARE OF MUNICIPALITY POINT REQUIREMENTS AND PLACEMENT OF PLANTINGS, REPOSITIONING OF PLANTINGS TO BE APPROVED BY SCS PRIOR TO INSTALLATION.
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
9. CONCRETE CURB EDGING FOR LANDSCAPE AREAS, BEDS AND TREE RINGS AS SHOWN ON PLAN.

PLANT SCHEDULE

CLIMAX TREE	CODE	QTY	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	MATURE HT	MATURE SP
	ACRU	8	Acer rubrum 'Armstrong' / Armstrong Red Maple	Container	1.5" Cal	55'	25'
	CEOC	4	Celtis occidentalis / Common Hackberry	Container	1.5" Cal		
	GLTR	9	Gleditsia triacanthos inermis 'Skycole' TM / Skyline Thornless Honey Locust	Container	2" Cal	60'	35'
	TICO	5	Tilia cordata / Littleleaf Linden	Container	2" Cal	50'	40'
MEDIUM DECIDUOUS TREE	CODE	QTY	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	MATURE HT	MATURE SP
	AMAL	4	Amelanchier alnifolia 'Saskatoon' / Serviceberry	Container	1.5" Cal Multi-stem	25'	20'
	CECA	1	Cercis canadensis / Eastern Redbud	Container	1.5" Cal Multi-stem	25'	30'
	SYIR	8	Syringa reboulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	Container	1.5" Cal	25'	15'
TALL EVERGREEN TREE	CODE	QTY	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	MATURE HT	MATURE SP
	PIGL	15	Picea glauca 'Densata' / Black Hills Spruce	Container	5' Ht	40'	20'
	THOS	11	Thuja occidentalis 'Emerald' / Emerald Green Arborvitae	Container	3-4 ft. tall	15'	5'
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP
	PHOP	23	Physocarpus opulifolius 'Dorona May' TM / Little Devil Ninebark	#022 gal.	Min. 12"	4'	4'
	PHIV	8	Physocarpus opulifolius 'SMPTVY' TM / Tiny Wine Ninebark	#022 gal.	Min. 12"	5'	4'
	SPJA	5	Spiraea japonica 'Watsuma' / Magic Carpet Japanese Spirea	#022 gal.	Min. 12"	2'	3'
	SPBU	36	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	#022 gal.	Min. 12"	4'	4'
	SYXS	19	Syringa x 'SMSDTL' TM / Little Darling Lilac	#022 gal.	Min. 12"	5'	5'
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP
	JUCH P	14	Juniperus chinensis 'Pfitzerana Kallay's Compact' / Kally Pfitzer Compact Juniper	#033 gal.	Min. 18"-24"	3'	6'
	JUSQ	12	Juniperus squamata 'Blue Star' / Blue Star Juniper	#033 gal.	Min. 18"-24"	3'	4'
	TADE	18	Taxus x media 'Densiformis' / Dense Yew	#033 gal.	Min. 18"-24"	4'	5'
PERENNIALS & GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP
	CAKA	48	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	#01/1 gal.		5'	3'
	CHSU	32	Chrysanthemum x superbum / Shasta Daisy	#01/1 gal.		3'	2'
	HEAT	41	Hemerocallis x 'Atlanta Moonlight' / Atlanta Moonlight Daylily	#01/1 gal.		3'	2'
	HEND	61	Hemerocallis x 'Nosferatu' TM / Rainbow Rhythm Nosferatu Daylily	#01/1 gal.		3'	2'
	PAVI	15	Paricum virgatum 'Shenandoah' / Switch Grass	#01/1 gal.		4'	3'
	PELI	25	Pewevskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	#01/1 gal.		2'	3'
	RUSP	71	Rudbeckia speciosa 'Vielles Little Suzie' / Black-eyed Susan	#01/1 gal.		1.5'	2'
	SCSC	42	Schizachyrium scoparium / Little Bluestem	#01/1 gal.		4'	3'
	SPHE	112	Sporobolus heterolepis / Prairie Dropseed	#01/1 gal.		2'	2.5'
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP
	GECI	27	Geranium cinereum 'Ballerina' / Ballerina Hardy Geranium	#01/1 Gal.		6"	3'
	SEXF	68	Sedum x 'Firecracker' TM / Sunsparkler Firecracker Stonecrop	#01/1 Gal.		6"	3'



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Designed By: MJH
Reviewed By: LMW/JLF
Approved By: JLF

SHEET TITLE:
OVERALL LANDSCAPE
PLAN

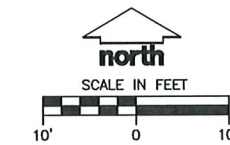
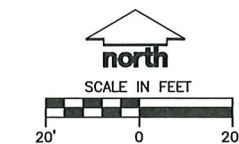
SHEET NUMBER:

L1.0

JSD PROJECT NO:

21-10989

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21-109

89 F F H

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File: N:\PROJECTS\2021\1210989\DWG\Landscape Sheets\1210989 Landscape Plan.dwg Layout: L2.0 DETAIL User: mjkel-hobart Plotdate: Apr 14, 2022 3:17pm Xref's: 11-10989 Sturgeon Bay, WI

APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS (CRR). FIRST, MEASURE THE TREE DIAMETER IN INCHES AT BREAST HEIGHT (DBH). THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

EXAMPLE: DBH = 8 Inches
 $8 \times 1.5 = 12$
CRR = 12 feet

DBH x 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES

OR

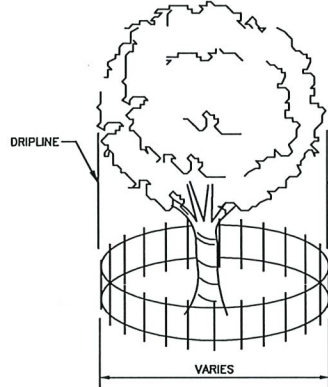
DBH x 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES

PROTECTED ROOT ZONE (PRZ)

DRIPLENE

CRITICAL ROOT RADIUS

4'-5"



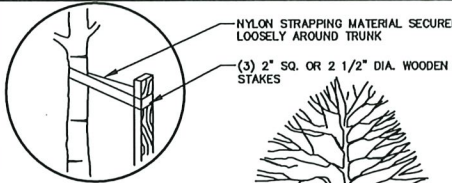
NOTE:

- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
- NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
- IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

TREE PROTECTION DETAIL

N.T.S.

REV. 01-04-2019



STRAPPING ATTACHMENT AND STAKING DETAIL

NYLON STRAPPING MATERIAL

WOODEN STAKES - 3 PER TREE

ROOT FLARE SHALL BE EXPOSED

SEE NOTES FOR MULCH SPECIFICATIONS

SAUCER MOUND AROUND TREE

PROPOSED GRADE

PLANTING MIXTURE (WATER TAMP TO REMOVE AIR POCKETS)

POSTS TO EXTEND 18\"/>

PIT INTO UNDISTURBED GROUND

UNDISTURBED GROUND

12\"/>

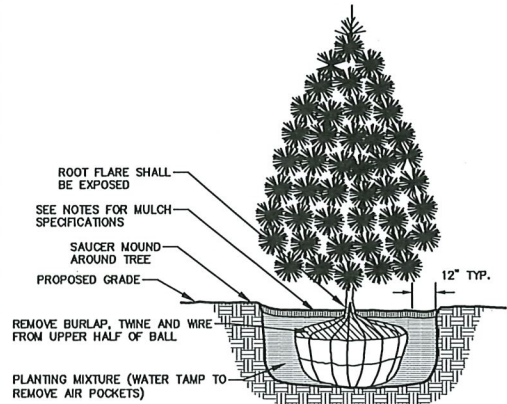
NOTE:

- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
- REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

DECIDUOUS TREE PLANTING DETAIL

N.T.S.

REV. 01-25-2022



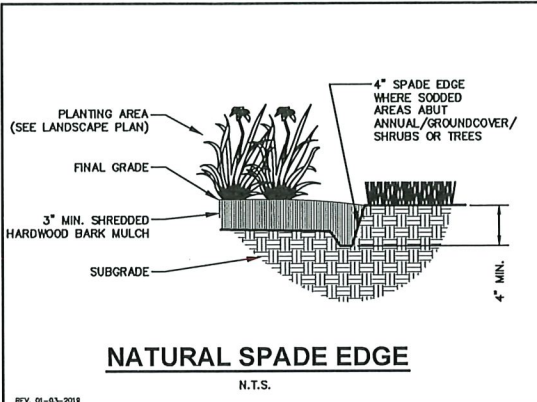
NOTE:

- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED

EVERGREEN TREE PLANTING DETAIL

N.T.S.

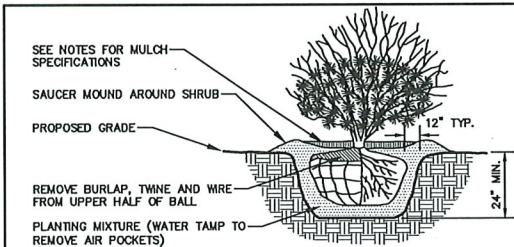
REV. 01-03-2019



NATURAL SPADE EDGE

N.T.S.

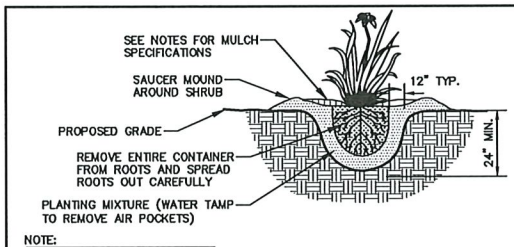
REV. 01-03-2019



SHRUB PLANTING DETAIL

N.T.S.

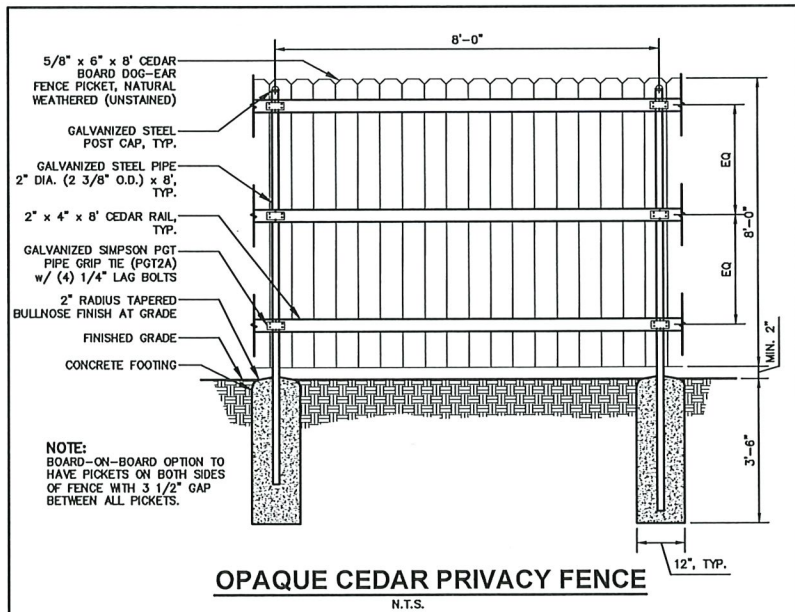
REV. 01-03-2019



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

REV. 01-03-2019



OPAQUE CEDAR PRIVACY FENCE

N.T.S.

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: CONTRACTOR TO PROVIDE ADEQUATE, APPROPRIATE AND SECURE STORAGE TO BE APPROVED BY THE OWNER. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DIGG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON PRUNING, 3/4\"/>
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS. ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY PROJECT MANAGER PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.
- CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A MINIMUM OF ONE (1) YEAR AFTER ACCEPTANCE BY THE SCS REPRESENTATIVE. ANY TREES OR PLANTS THAT ARE DEAD OR NOT IN A THRIVING CONDITION SHALL BE REPLACED (AT NO COST TO OWNER) WITH SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. AREAS DISTURBED DURING PLANT REPLACEMENT TO BE REPAIRED AT NO COST TO OWNER.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. 1 1/2\"/>
- MATERIALS - TREE & SHRUB RINGS: ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES AND SECURED WITH STRAPPING. ALL TREES IN THE LAWN TURF AREA SHALL HAVE A 3\"/>
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
- MATERIALS - DECORATIVE POURED CONCRETE LAWN EDGING: DECORATIVE POURED CONCRETE LAWN EDGING SHALL BE PLACED AROUND ALL LANDSCAPE BEDS. EDGING SHALL BE 6\"/>

SEEDING

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CREATE THE VISION TELL THE STORY

jsdinc.com

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P. 715.298.6330

CLIENT:

S.C. SWIDERSKI, LLC



CLIENT ADDRESS:

401 RANGER STREET
MOSINEE, WI 54455

PROJECT:

SCS SUNSET ESTATES

PROJECT LOCATION:

STURGEON BAY, WI
DOOR COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2022	CONSTRUCTION DOCUMENTS
2	02.22.2022	MUNICIPAL SUBMITTAL
3	04.12.2022	MUNICIPAL COMMENTS
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MHH
Reviewed By: LMW/JLF
Approved By: JLF

SHEET TITLE:
LANDSCAPE NOTES &
DETAILS

SHEET NUMBER:

L2.0

JSD PROJECT NO:

21-10989



Toll Free (800) 242-8511

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Page 2 of 2



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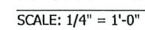
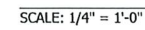
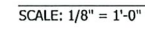
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SHEET NO.

A2.1

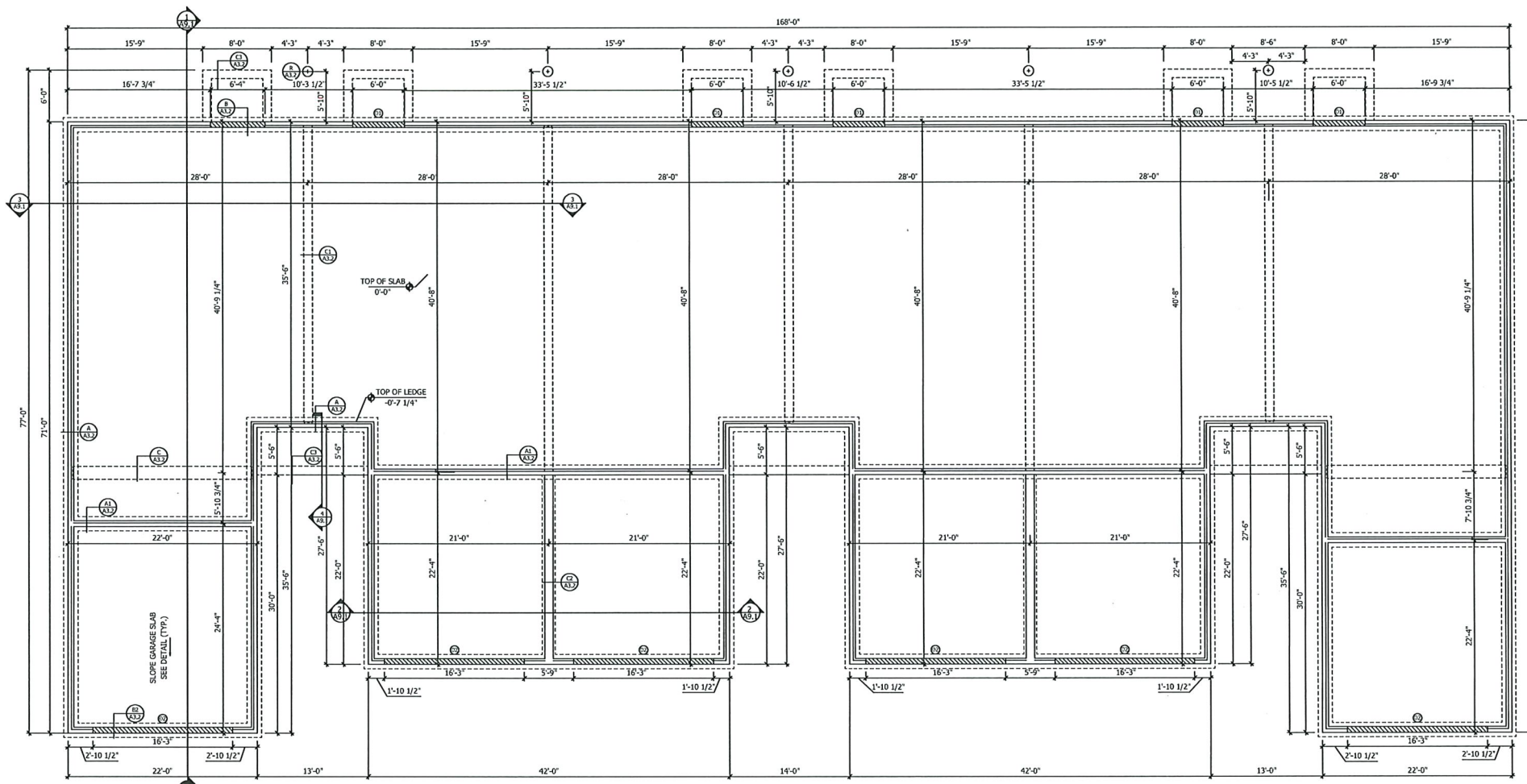
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SHEET NO.

A2.2

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FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

3 BEDROOM UNIT (W/ MECHANICAL)
ALL BUILDINGS

KEY NOTES:

- 01 DROPPED FOUNDATION WALL AT PATIO DOOR. SEE DETAIL B / A3.2.
- 02 DROPPED FOUNDATION WALL AT O.H. DOOR. SEE DETAIL B2 / A3.2.

FOUNDATION PLAN NOTES:

1. FOUNDATION CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD WITH ARCHITECTURAL PLANS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCY TO BE VERIFIED WITH OWNER BEFORE CONCRETE PLACEMENT.
2. ALL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE.
3. VERIFY ALL PLUMBING REQUIREMENTS PRIOR TO PLACEMENT OF SLAB.
4. CONTRACTOR TO PROVIDE CONTROL/CONSTRUCTION JOINTS AT NO MORE THAN 20'-0" SQUARE. NO CONSTRUCTION JOINT SHALL GO THROUGH A THICKENED SLAB FOOTING.
5. ANCHOR WALLS TO CONCRETE. TYPICAL AT ALL BEARING WALL LOCATIONS. REFER TO STRUCTURAL NOTES FOR DETAILS.
6. FOUNDATION WALL UTILITY SLEEVE LOCATIONS TO BE COORDINATED AND REVIEWED WITH MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS.

REV	DATE	DESIGNER	REVISIONS

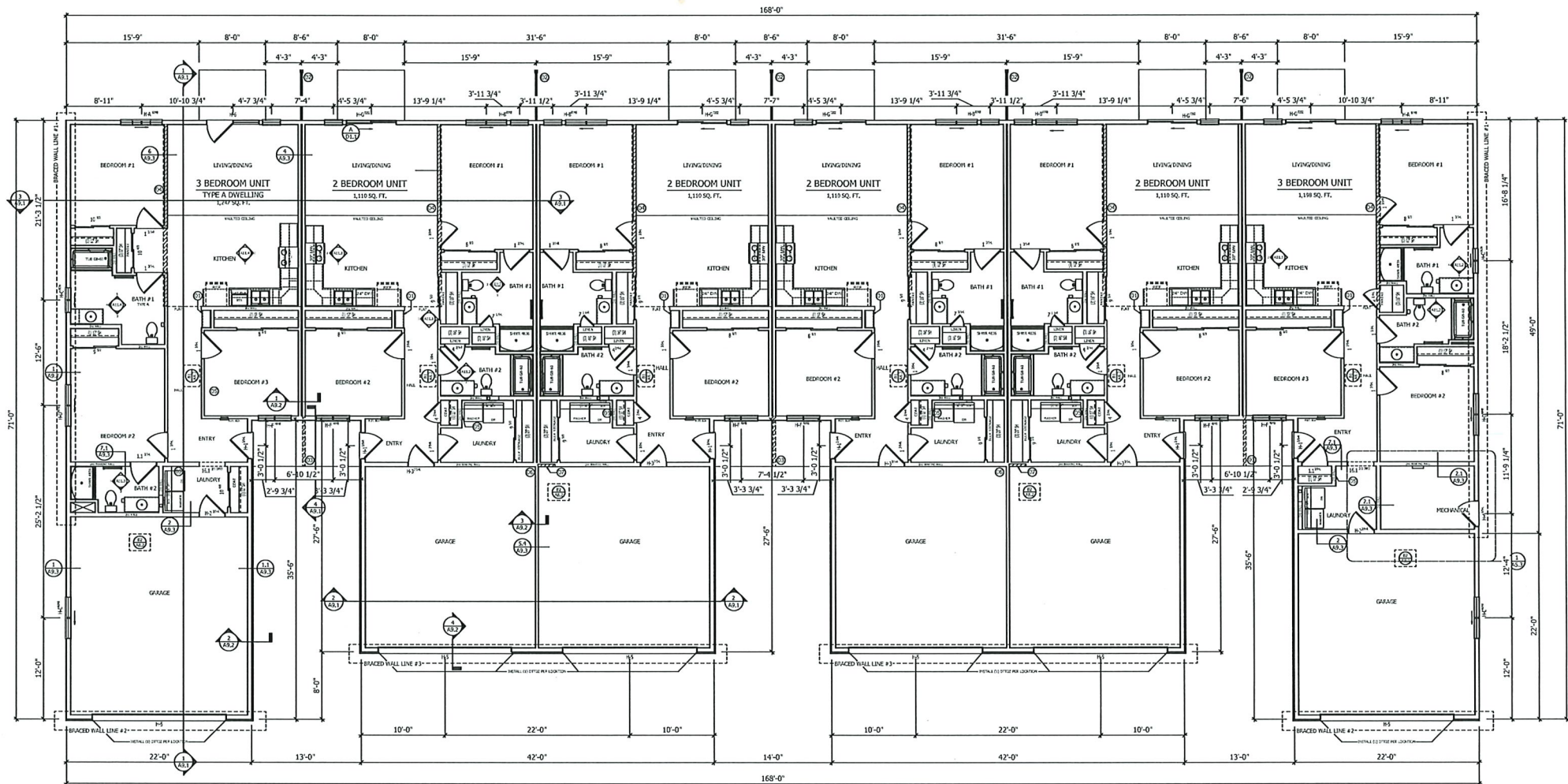
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PROJECT	20-036_SCS SUNSET ESTATES
MODEL	BEDFORD 6-UNIT (B2)
TITLE	FOUNDATION PLAN

DATE	03/30/2021
DRAWN BY	SB
SCALE	1/8"=1'-0"

SHEET NO.
A3.1



3 BEDROOM UNIT
BUILDING B1

3 BEDROOM UNIT (TYPE A)
BUILDING B2

2 BEDROOM UNITS
ALL BUILDINGS

3 BEDROOM UNIT (W/ MECHANICAL)
ALL BUILDINGS

FLOOR PLAN

SCALE: 1/8" = 1'-0"

PLAN NOTES:

1. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION
2. ALL EXTERIOR STUDS (HOUSE & GARAGE WALLS) SHALL BE 2x6, UNLESS NOTED OTHERWISE. SILL SEAL TO BE INSTALLED AT EXTERIOR WALLS.
3. ALL INTERIOR STUDS SHALL BE 2x4, UNLESS NOTED OTHERWISE. PLUMBING WALLS AND BEARING WALLS SHALL BE 2x6.
4. 8'-1 1/8" WALL HEIGHT, UNLESS NOTED OTHERWISE.
5. 82 7/8" HEADER HEIGHT, UNLESS NOTED OTHERWISE.
6. HOUSE-TO-GARAGE WALLS AND MECHANICAL ROOM WALLS REQUIRE 5/8" TYPE-X GYPSUM BOARD SHEATHING.
7. ALL DIMENSIONS ARE FRAMING-TO-FRAMING, UNLESS NOTED OTHERWISE.
8. SEE HEADER SCHEDULE FOR MINIMUM BEARING REQUIREMENTS.
9. SMOKE DETECTION REQUIRED PER FIRE CODE. CARBON MONOXIDE DETECTION REQUIRED IF COMBUSTION APPLIANCES ARE PROVIDED. CONTRACTOR TO COORDINATE WITH NFPA 13R SYSTEM.
10. ALL FIRST FLOOR UNITS TO BE TYPE "B" UNITS; EXCEPTION OF TYPE "A" UNIT IF REQUIRED. *SEE SHEET A1.4 DWELLING TYPE PLAN*
11. PROVIDE UNIT WATER SHUT-OFF IN LAUNDRY ROOM.
12. SEE ROOF FRAMING PLAN FOR ATTIC SPRINKLER CHASE LOCATION.

KEY NOTES:

- 01 DROP-ZONE. 12" BASE AND UPPER CABINET.
- 02 ALIGN FENCE POST WITH EDGE OF PATIO SLAB.
- 03 2X4 WEDGE WALL ATTACHED TO TRUSS. SHIM AS NEEDED. SEE 4 / A9.1 & F / D1.1.
- 04 2X6 INSULATED WALL RAKED TO VAULTED CEILING. SEE DETAIL C / D1.1.
- 05 APPROXIMATE UNIT WATER SHUT-OFF.
- 06 HOLD WALL BACK 5/8" FOR FINISH.
- 07 FIRE-RATED ATTIC ACCESS DOOR IN TRUSS ABOVE. SEE 3 / A9.2 AND DETAIL B3 / A8.2.

PROJECT 20-036_SCS SUNSET ESTATES
MODEL BEDFORD 6-UNIT (B2)
TITLE

DATE 03/30/2021
DRAWN BY SB
SCALE 1/8"=1'-0"

SHEET NO.

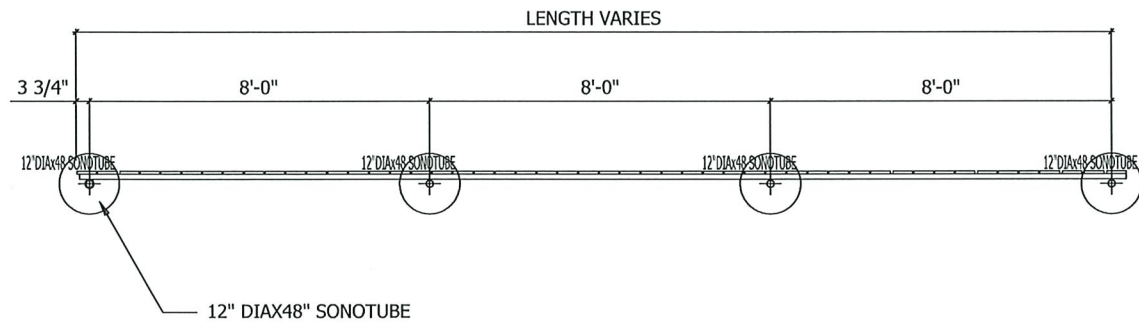
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SCS
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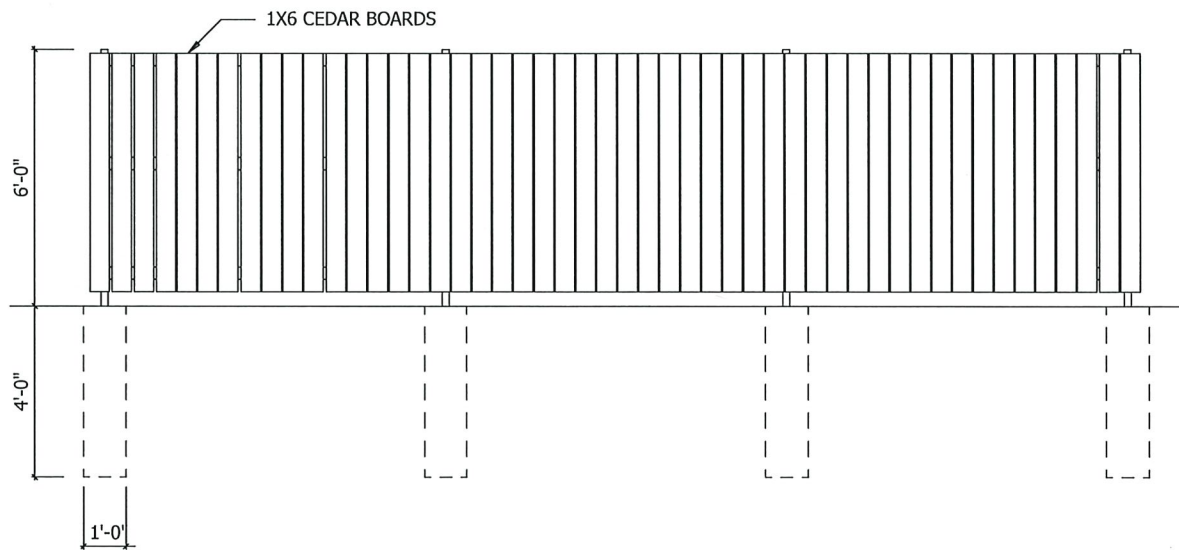
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FLOOR PLAN
SCALE: 1/2" = 1'-0"

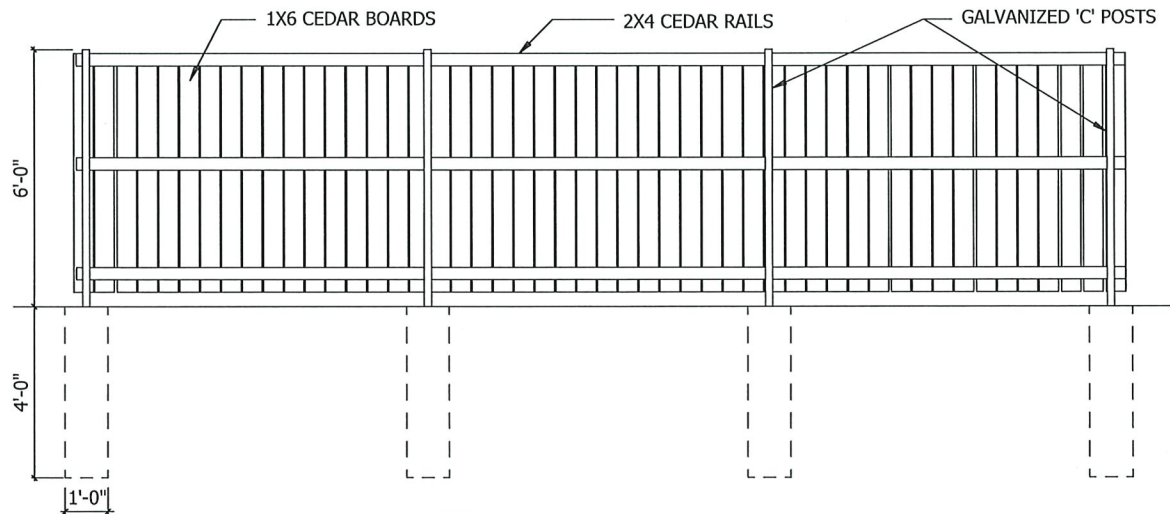


CEDAR FENCE CONSTRUCTION:

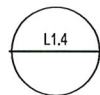
- 12" DIA. X 48" SONOTUBE
 - GALVANIZED 'C' POSTS DRIVE SET
 - 2x4 CEDAR RAILS
 - 1x6 CEDAR BOARDS
- 280'0" CEDAR FENCE, 6'-0" TALL ALONG SW PROPERTY LINE



EXTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



CEDAR FENCE DETAILS
SCALE: 1/2"=1'-0"

REV	DATE	DESIGNER	REMARKS

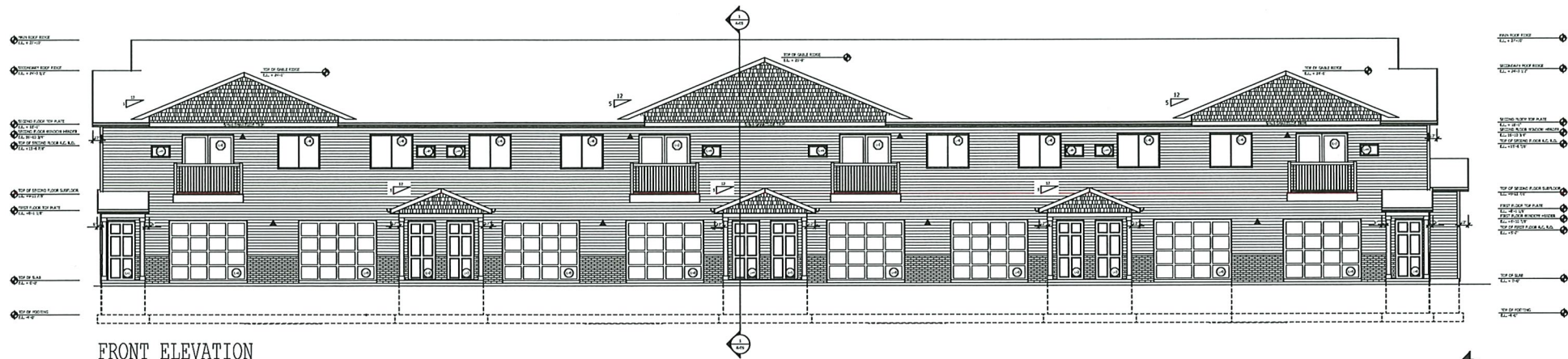
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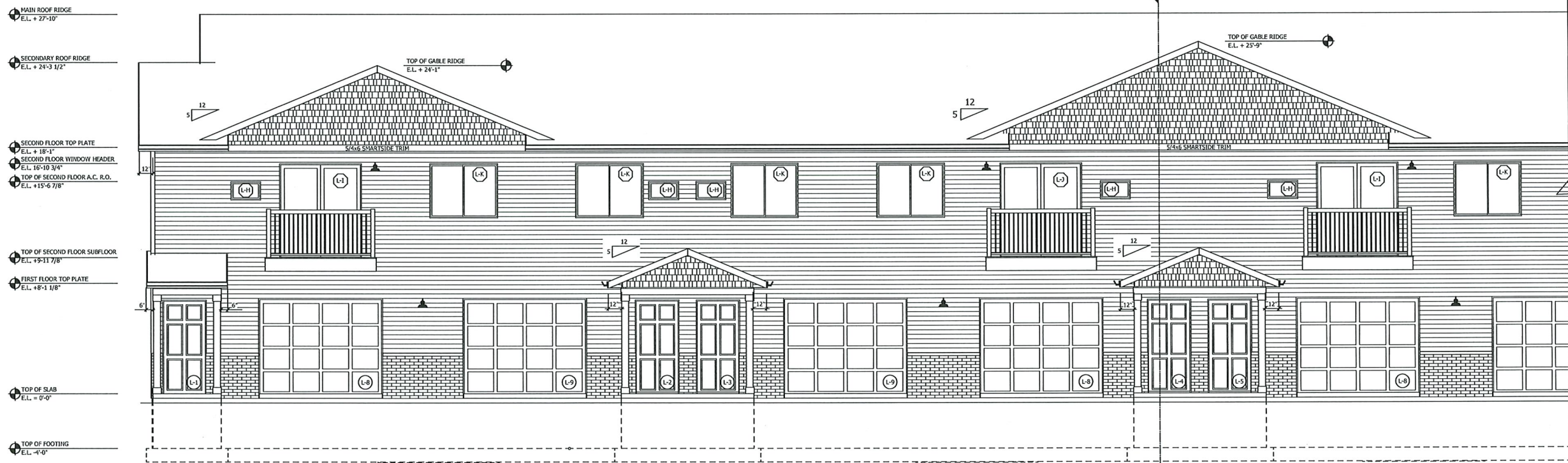
PROJECT	20-036_SCS SUNSET ESTATES
MODEL	
TITLE	CEDAR FENCE DETAILS

DATE	05/24/2021
DRAWN BY	KF
SCALE	1/2"=1'-0"

SHEET NO.	L1.4
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FRONT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

A-02
1.02

FRONT ELEVATION
SCALE: AS SHOWN

REV	DATE	DESIGNER	STATE	REVISION
1	10/05/2020	DK	OK	FINAL CONSTRUCTION
2	01/05/2021	CDV	OK	FINAL CONSTRUCTION

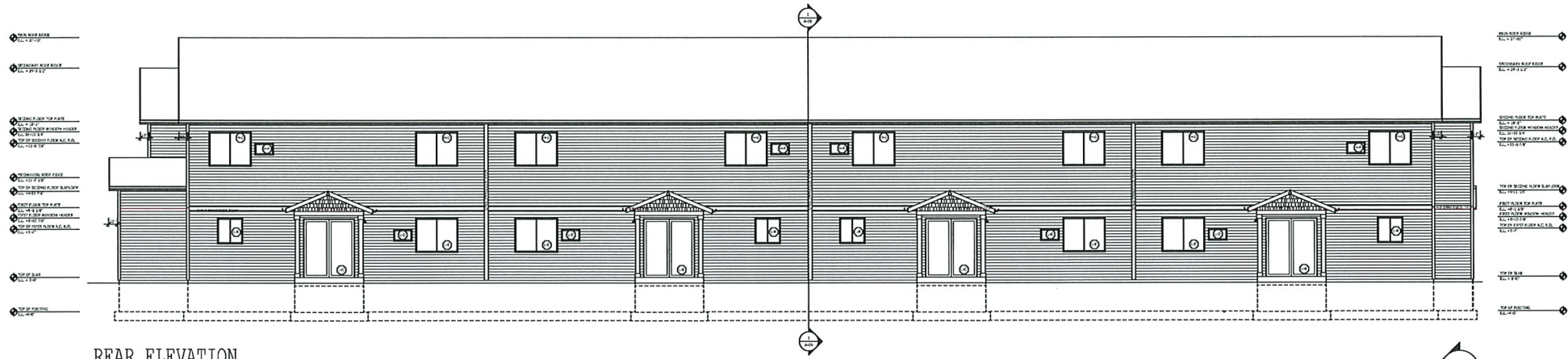
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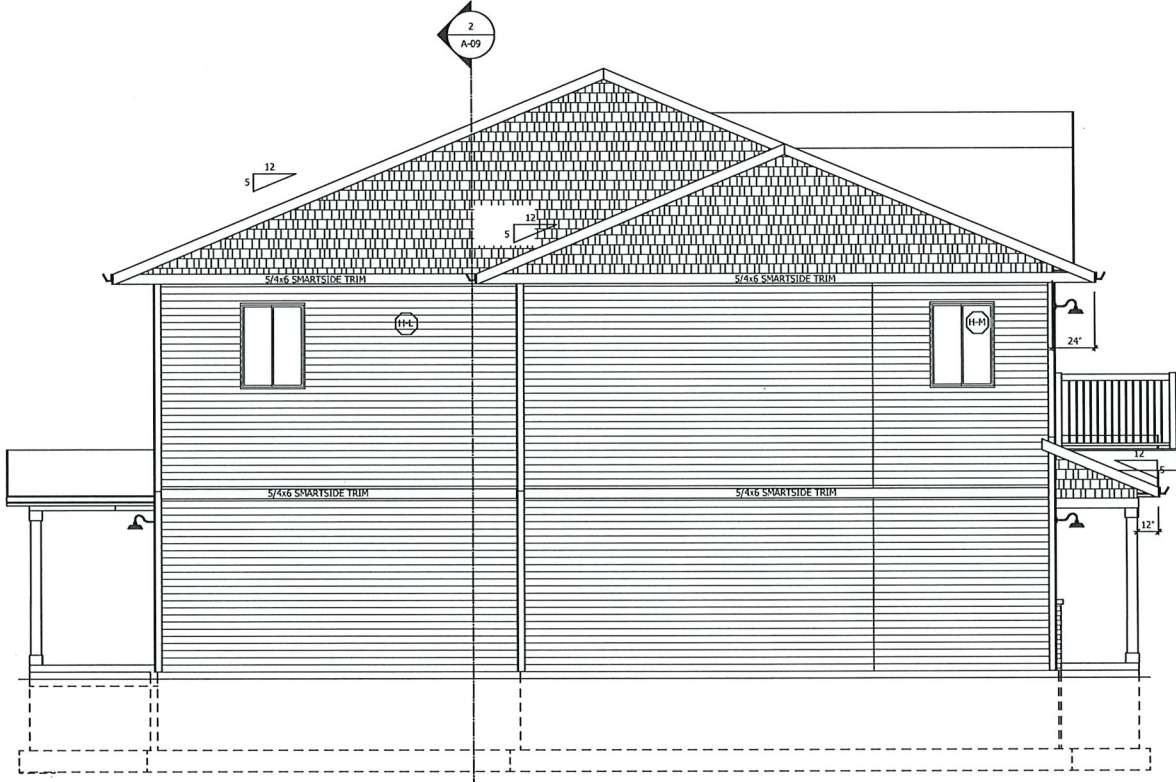
PROJECT	20-036_SUNSET ESTATES
MODEL	HUNTINGTON 8 UNIT (C2)
TITLE	FRONT ELEVATION

DATE	03/24/2021
DRAWN BY	CDV
SCALE	AS SHOWN

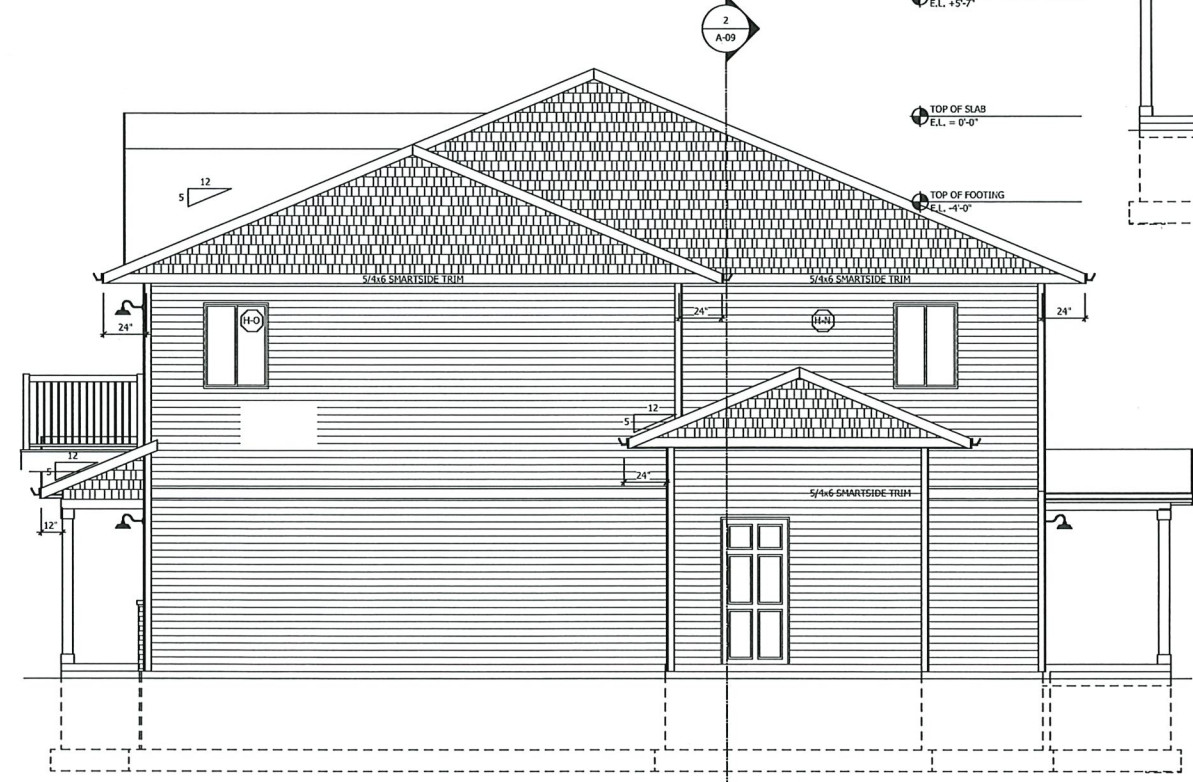
SHEET NO.	A-02
1.02	



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

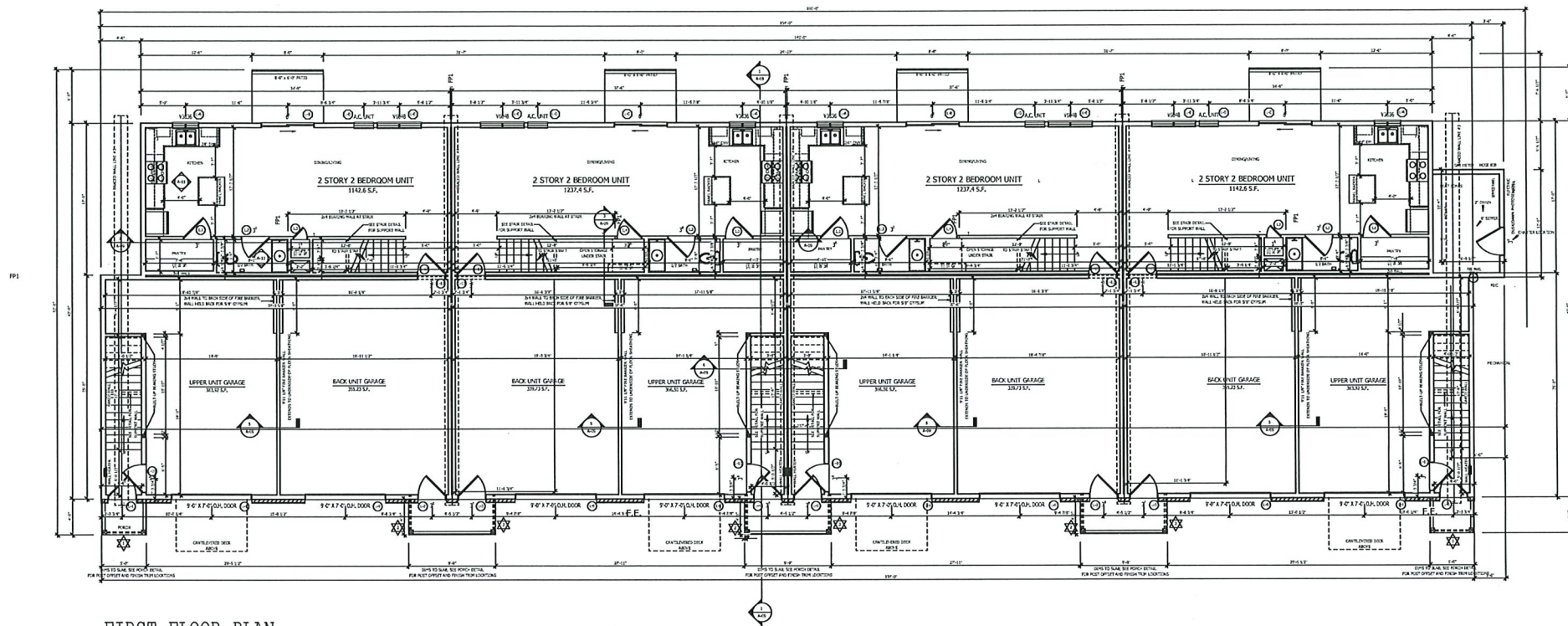
ELEVATIONS
SCALE: AS SHOWN

PROJECT	20-036_SUNSET ESTATES	DATE	03/24/2021
MODEL	HUNTINGTON 8 UNIT (C2)	DRAWN BY	CDV
TITLE	ELEVATIONS	SCALE	AS SHOWN
		SHEET NO.	A-02
			2.02

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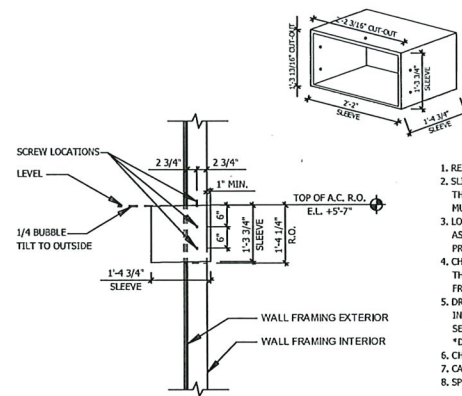
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

1. SEE HEADER SCHEDULE FOR MINIMUM BEARING REQUIREMENTS.
2. 8'-1 1/8" WALL HEIGHT, UNLESS NOTED OTHERWISE.
3. 82 7/8" HEADER HEIGHT, UNLESS NOTED OTHERWISE.
4. HOUSE-TO-GARAGE WALLS, MECHANICAL ROOM WALLS REQUIRE 5/8" TYPE-X SHEATHING.
5. INTERIOR STAIR WALL TO BE 2X6 FRAME AT GARAGE WALL.
6. GARAGE CEILING 2 LAYERS 5/8" TYPE X SHEATHING.
7. SILL SEALER TO BE INSTALLED AT EXTERIOR WALLS.

PLAN NOTES:

1. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION
2. ALL EXTERIOR STUDS SHALL BE 2x6, UNLESS NOTED OTHERWISE.
3. ALL INTERIOR STUDS SHALL BE 2x4, UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE FRAMING-TO-FRAMING, UNLESS NOTED OTHERWISE.
5. SMOKE DETECTION REQUIRED PER FIRE CODE. CARBON MONOXIDE DETECTION REQUIRED IF COMBUSTION APPLIANCES ARE PROVIDED. CONTRACTOR TO COORDINATE WITH NFPA R19 SYSTEM.
6. PROVIDE UNIT WATER SHUT-OFF IN PANTRY CLOSET @ TWO STORY UNIT.
PROVIDE UNIT WATER SHUT-OFF IN LAUNDRY/BATHROOM AT UNITS ABOVE GARAGES.



AC SLEEVE DETAIL
SCALE: 1/2" = 1'-0"

A-05
1.05

FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

1	20-036_01	1
2	20-036_02	2
3	20-036_03	3

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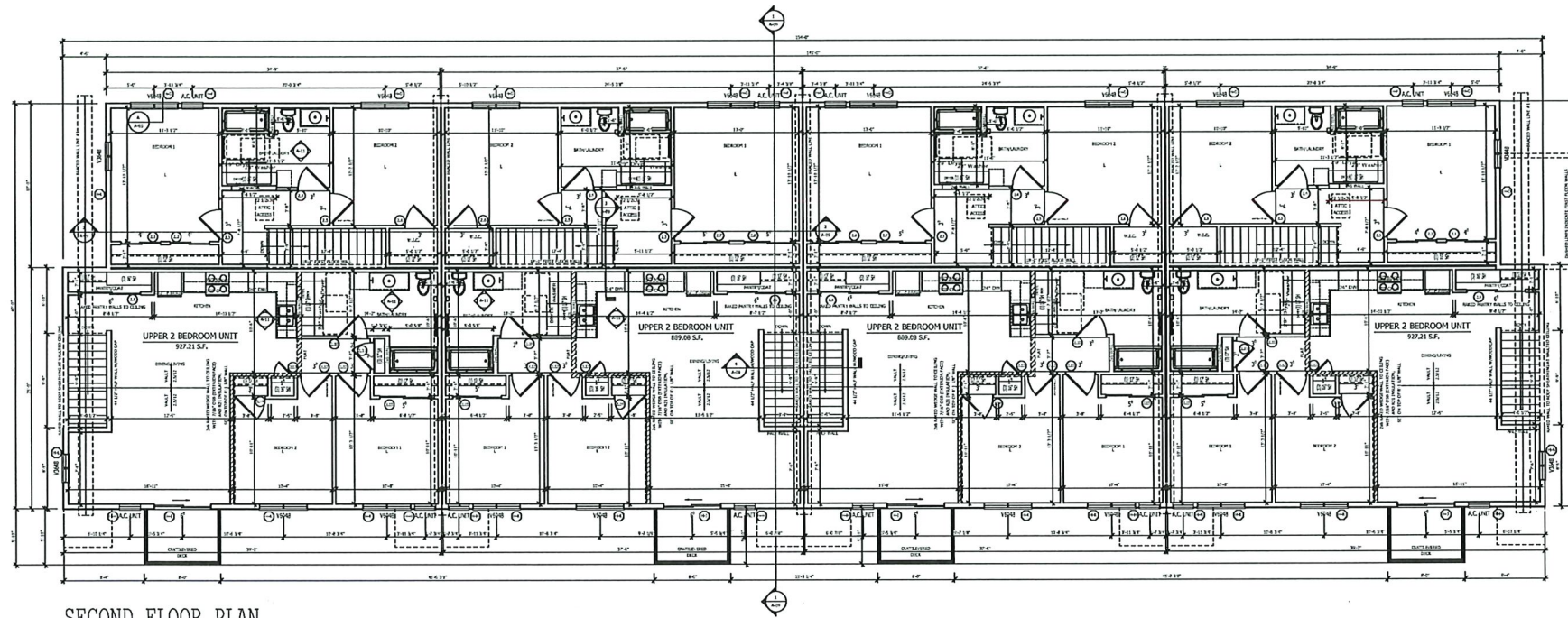
SCS
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PROJECT: 20-036_SUNSET ESTATES
MODEL: HUNTINGTON 8 UNIT (C2)
TITLE: FIRST FLOOR PLAN

DATE: 03/24/2021
DRAWN BY: CDV
SCALE: 1/8"=1'-0"

SHEET NO.
A-05
1.05

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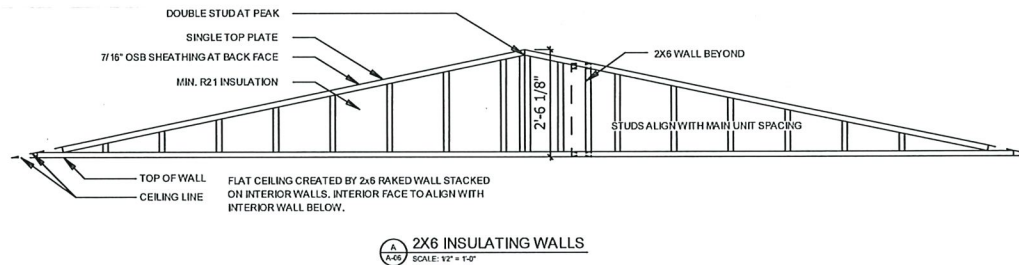
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

- SEE HEADER SCHEDULE FOR MINIMUM BEARING REQUIREMENTS.
- 8'-1 1/8" WALL HEIGHT, UNLESS NOTED OTHERWISE.
- 82 7/8" HEADER HEIGHT, UNLESS NOTED OTHERWISE.
- HOUSE-TO-GARAGE WALLS, MECHANICAL ROOM WALLS & CEILINGS REQUIRE 5/8" TYPE-X SHEATHING.
- INTERIOR STAIR WALL TO BE 2X6 FRAME AT GARAGE.

PLAN NOTES:

- VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION
- ALL EXTERIOR STUDS SHALL BE 2x6, UNLESS NOTED OTHERWISE.
- ALL INTERIOR STUDS SHALL BE 2x4, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE FRAMING-TO-FRAMING, UNLESS NOTED OTHERWISE.
- SMOKE DETECTION REQUIRED PER FIRE CODE. CARBON MONOXIDE DETECTION REQUIRED IF COMBUSTION APPLIANCES ARE PROVIDED. CONTRACTOR TO COORDINATE WITH NFPA R19 SYSTEM.
- ALL FIRST FLOOR UNITS TO BE TYPE "B" UNITS; EXCEPTION OF TYPE "A" UNIT IF REQUIRED. *SEE SHEET A-01, 4.01 DWELLING AND ADA PLAN*
- ATTIC SHALL BE SUBDIVIDED INTO AREAS NO GREATER THAN 3000 SQ. FT. OR EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER (SEE NOTES ON ROOF PLAN). 7/16" O.S.B. INSTALLED ON ENTIRE FACE OF TRUSS AS DRAFTSTOP.
- PROVIDE UNIT WATER SHUT-OFF IN PANTRY CLOSET @ TWO STORY UNIT. PROVIDE UNIT WATER SHUT-OFF IN LAUNDRY/BATHROOM AT UNITS ABOVE GARAGES.



A-06
1.06

SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



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PROJECT 20-036_SUNSET ESTATES
MODEL HUNTINGTON 8 UNIT (C2)
TITLE SECOND FLOOR PLAN

DATE 03/24/2021
DRAWN BY CDV
SCALE 1/8"=1'-0"

SHEET NO.
A-06
1.06

REVISIONS
DATE DESIGNER
03/24/2021 CDV
03/24/2021 CDV
FINAL CONSTRUCTION
CONSTRUCTION BULLETIN #3