AGENDA CITY OF STURGEON BAY AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

Monday, July 26, 2021 6:00 p.m. Council Chambers, City Hall 421 Michigan Street, Sturgeon Bay, WI

- 1. Roll call.
- 2. Adoption of agenda.
- 3. Consideration of: Building design and materials for the Sturgeon Bay Plaza project located at 100 E Maple Street; parcel #281-12-10080101A.
- 4. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Committee members
Jon Burk
Mark Struck
Dave Augustson
Cheryl Frank
Kelsey Fox
Rick Wiesner
Pam Jorns

7/22/2021 2:30 p.m. CSR Christopher Sullivan-Robinson Planner/Zoning Administrator 421 Michigan Street Sturgeon Bay, WI 54235



Phone: 920-746-2907 Fax: 920-746-2905 E-mail: csullivan-robinson@sturgeonbaywi.org Website: www.sturgeonbaywi.org

MEMO

To: Aesthetic Design and Site Plan Review Board

From: Christopher Sullivan-Robinson

Date: July 26, 2021

Subject: Sturgeon Bay Plaza Plan Review

Peter Gentry representing WWP Development, LLC is requesting the approval of the design and materials for the new approximately 3-story (76' x 40' x 35'H) building located at 100 E Maple Street; also known as Development Site B of West Waterfront RFP documents. The building consists of a mixture of commercial on the first floor, a residential unit on the second floor, and a third-floor rooftop patio. These are all permitted uses within the C-2 zoning district. This project was also reviewed by the Plan Commission on July 21, 2021. They approved a zero setback from the east property line (adjacent to the O.H.W.M.). There are no issues from zoning regarding use and building location.

Site Layout: The building is po sitioned in a way that maximizes the use of the lot while accommodating setback, obstructions, and easements. Surrounding the footprint of the building is a multi-level patio, which extends into public property. A multi-level outdoor patio area will surround the building along the northeast and west sides of the building. Along the east side of the building will include a parking pad for mobile food vendors and the dumpster enclosure. Off of maple street will be the main driveway and parking lot including three parking spaces. Sidewalks surround the building and ultimately lead to public sidewalks on Maple street.

Access and Parking: The property will be accessed off of Maple Street through the two driveway ways as shown on the site plan. The driveway to the west will likely house an additional public parking lot. No parking is required for commercial uses within the downtown area. However, parking is required for lodging and residential uses.

Building Design: The designer of the project has been working with the other designers of the neighboring apartment project and the granary restoration project to create complimentary designs within the overall site. The theme of the building is utilized on all sides and there are various architectural elements that provide appealing views from every side. Lots of sectional windows were uses on every floor with some folding windows on the first floor. Balconies with various types of rail systems are included on the second and third floor. The parapet on the third floor gives the building a peaked roof look and will hide the mechanical equipment. Overall the building design will have a positive impact for the site and downtown area.

Materials and Colors: The siding is a combination of corrugated metal siding and solid metal panels. The third floor will include 6" vertical cedar siding and a standing seam metal roof. The pergola's will be made with tube steel columns and beams with infill and clear corrugated plastic tops. The plan illustrates the intended colors.

Landscaping: No landscaping plan was included; however, their plan does illustrate some areas with shrubs and trees off of the Maple Street / Oregon Bridge side of the building. However, they may have some limitation due to various easements. No landscape is required by the zoning code. The committee can make recommendations, conditions, or require the submittal of a landscape plan.

Lighting: No lighting plan was included. The committee can either approve lighting with the condition that it be night-sky friendly and contained within the site. Or, require the submittal of a lighting plan.

Signs: The project includes 4 wall signs all of which are lit. the final design of the signs will need to be reviewed for compliance with the zoning chapter. However, I can't tell if these signs are internal lit or back lit. The preference should be back lighting and can be made as a condition of approval.

Recommendation: Staff recommends approval of a certificate of appropriateness as presented with the following conditions:

- 1. All exterior lighting be downward directed with cutoff fixtures and contained within the site.
- 2. A landscape plan be submitted and approved by the Chairperson of the Aesthetic Design and Site Plan Review Board.
- 3. All signage be back lit.

CITY OF STURGEON BAY

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Name: Jennifer	t Petr Gentry
Owner of Premise	es: WwP Development LLC
_	Description of Premises: e B - West waterform t - At S. Neenan and Masse/Gresson:
General building Note: This bu Working waters. Committees. The	cific Item Requested for Approval: y Design and Marterials. ilding was designed to fit with The ont aesthetic as osked for by recent Ad Hoc diesign and materials were further quited ne process with the Newby Granny brotect water Apartments.
7/14/2 ₍	Applicant DATE RECEIVED 1.15-21 STAFF SIGNATURE DATE APPROVED/DENIED









NORTH ELEVATION FACING PARK

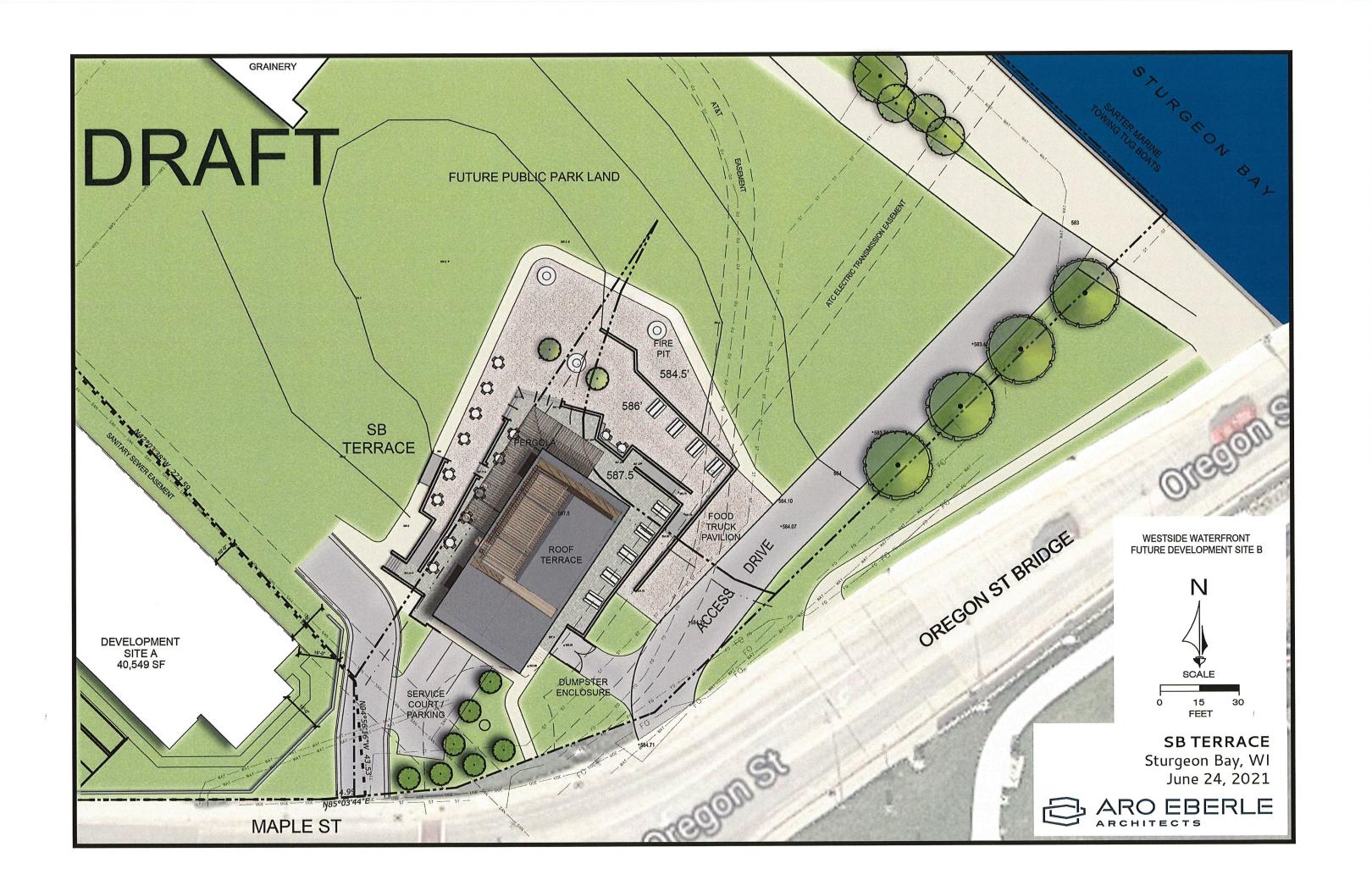
NORTHEAST ELEVATION FACING PARK

EAST ELEVATION FACING BRIDGE







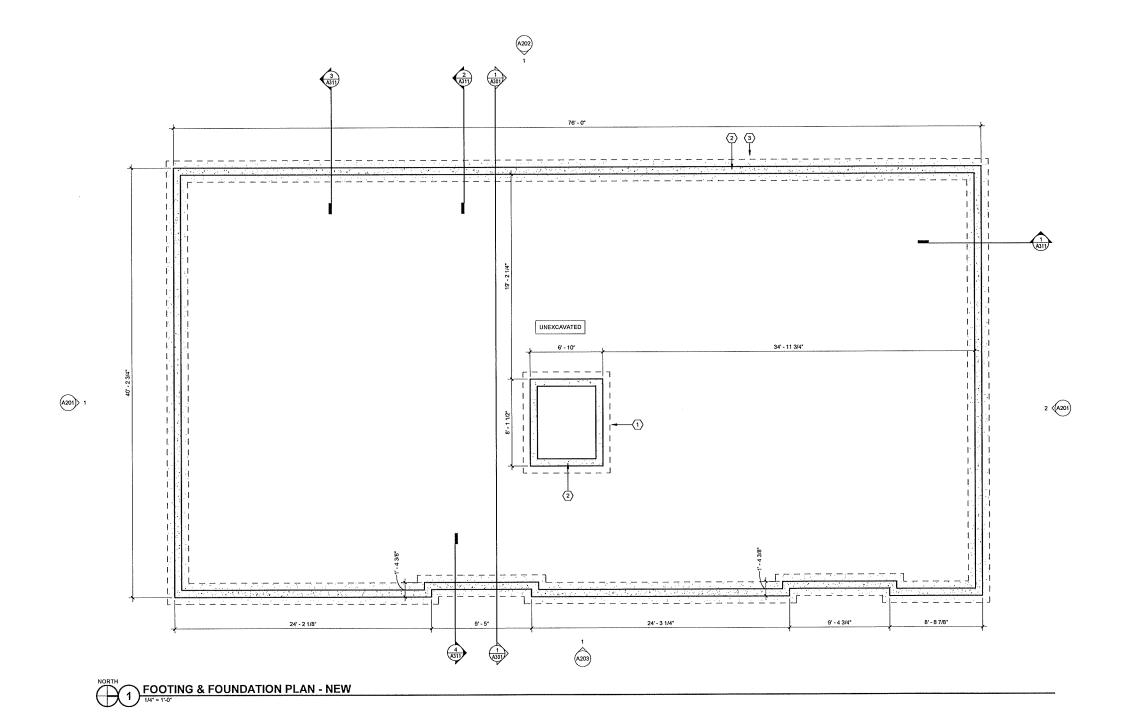


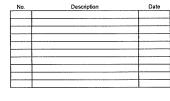
KEYED NOTES (#)

1 8" CONCRETE PAD FOR ELEVATOR PIT
2 8" CONCRETE FOUNDATION WALL WITH DAMP PROOFING
3 CONCRETE FOOTING



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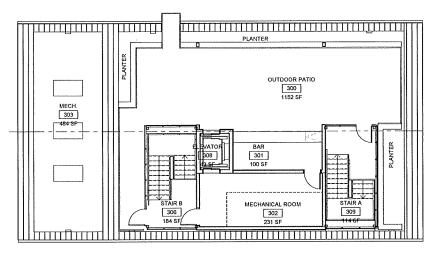


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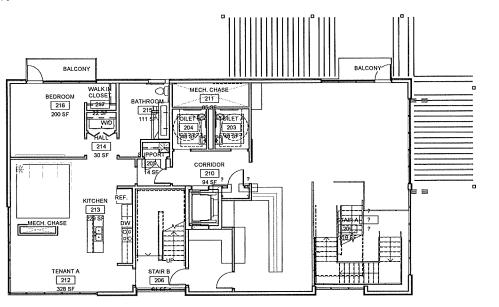
FOOTING & FOUNDATION PLAN

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021

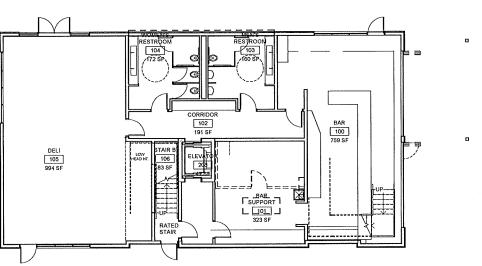


THIRD FLOOR CODE PLAN

1/8" = 1"-0"



SECOND FLOOR CODE PLAN



FIRST FLOOR CODE PLAN

1/8" = 1'-0"

CODE ANALYSIS:

APPLICABLE CODES:
WISCONSIN COMMERCIAL BUILDING CODE 2018 - EFFECTIVE
MAY 1, 2018 (BASEO ON 2015 INTERNATIONAL BUILDING
CODE WITH VISCONSIN AMENDMENTS - SPS 361 & 362)

2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS (SPS 364)

2015 INTERNATIONAL FUEL GAS CODE WITH WISCONSIN AMENDMENTS (SPS 365)

2009 WISCONSIN PLUMBING CODE - SPS 381-387 WISCONSIN STATE ELECTRICAL CODE - SPS 316

BUILDING USE AND OCCUPANCY CLASSIFICATION: GROUP --- WITH --- ACCESSORY OCCUPANCY

CONSTRUCTION TYPE:
TYPE VB - FULL BUILDING SPRINKLERED

RATED CONSTRUCTION:
PRIMARY STRUCTURAL FRAME; —
BEARING WALLS: —
FLOOR CONSTRUCTION: —
ROOF CONSTRUCTION: —

OCCUPANT LOAD: FIRST FLOOR: BUSINESS OCCUPANCY = --- OCCUPANTS

TOTAL: --- OCCUPANTS

MEANS OF EGRESS:
SECTION 1005.3.1 - STAIR EGRESS WIDTH
3º PER OCCUPANT FOR STAIRWAYS
FIRST FLOOR = --- x .3" = --- REQUIRED; --- PROVIDED

SECTION 1005.3.1 - OTHER EGRESS COMPONENTS WIDTH

Z PER OCCUPANT FOR OTHER EGRESS
FIRST FLOOR COMPONENTS = Z x — = —* REQUIRED; —*
PROVIDED

SECTION 1010.1.1 DOOR WIDTH = 32" MIN WIDTH DOOR WIDTH PROVIDED = ---" MIN

SECTION 1010.1.2.1
DOORS MUST SWING IN THE DIRECTION OF TRAVEL FOR OCCUPANT LOAD OF 50 OR MORE.

SECTION 1010.1.10 - PANIC HARDWARE
DOORS SERVING ROOMS WITH AND OCCUPANT LOAD OF 50
OR MORE IF PROVIDED WITH A LOCK AND LATCH SHALL BE
PROVIDED WITH PANIC HARDWARE; PANIC HARDWARE

SECTION 1006 3.1 - TWO MEANS OF EGRESS ALLOWED FOR OCCUPANT LOAD OF 1-500.

SECTION 1017.2 - EXIT ACCESS TRAVEL DISTANCE OCCUPANCY B = 300FT W/ SPRINKLER ACTUAL TRAVEL DISTANCE = -----" (FIRST FLOOR)

SECTION 1020.1 - CORRIDORS
OCCUPANT LOAD GREATER THAN 30 W/ SPRINKLER = RATED CORRIDOR NOT REQUIRED

FIRST FLOOR: MIN WIDTH REQUIRED = --*
MIN WIDTH PROVIDED = --*

SECTION 1023.2 - EXIT ENCLOSURES STAIR ENCLOSURE CONNECTING 4 STORIES OR MORE SHALL BE 2 HOUR RATED ENCLOSURES; EXISTING CONCRETE AND CMU STAIR ENCLOSURE IS 2 HOUR RATED. NEW DOORS IN EXIT STARWAYS ARE 214R RATED

SECTION 906 - PORTABLE FIRE EXTINGUISHERS LOW HAZARD OCCUPANCY = MAXIMUM TRAVEL DIST OF -' TO EACH EXTINGUISHER

SECTION 307 - HIGH HAZARD GROUP H
EXCEPTION 1 - NO HAZARD CLASSIFICATION NEEEDED IF
AREA COMPLIES WITH SECTION 416 OF THE IBC
SECTION 416 - APPLICATION OF FLAMMABLE FINISHES
SECTION 416 - Z.2 SPRAYING SPACES MUST BE VENTILATED
IN ACCORDANCE WITH THE INC.

PLUMBING FIXTURES:
FRIST FLOOR
- OCCUPANCY
WATER CLOSETS: 1/25 FOR FIRST 50 THEN 1/50 AFTER
- REQUIRED; - PROVIDED - - MALE, - FEMALE, - UNISEX
LAVATORIES: 1/40 FOR THE FIRST 80 THEN 1/80 AFTER
- REQUIRED; - PROVIDED, - MALE, - FEMALE, - UNISEX
DRINKING FOUNTAIN: - PROVIDED
SERVICE SINK: - PROVIDED



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No.	Description	Date
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CODE ANALYSIS PLANS AND **SCHEDULES**

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021

FLOOR PLAN GENERAL NOTES:

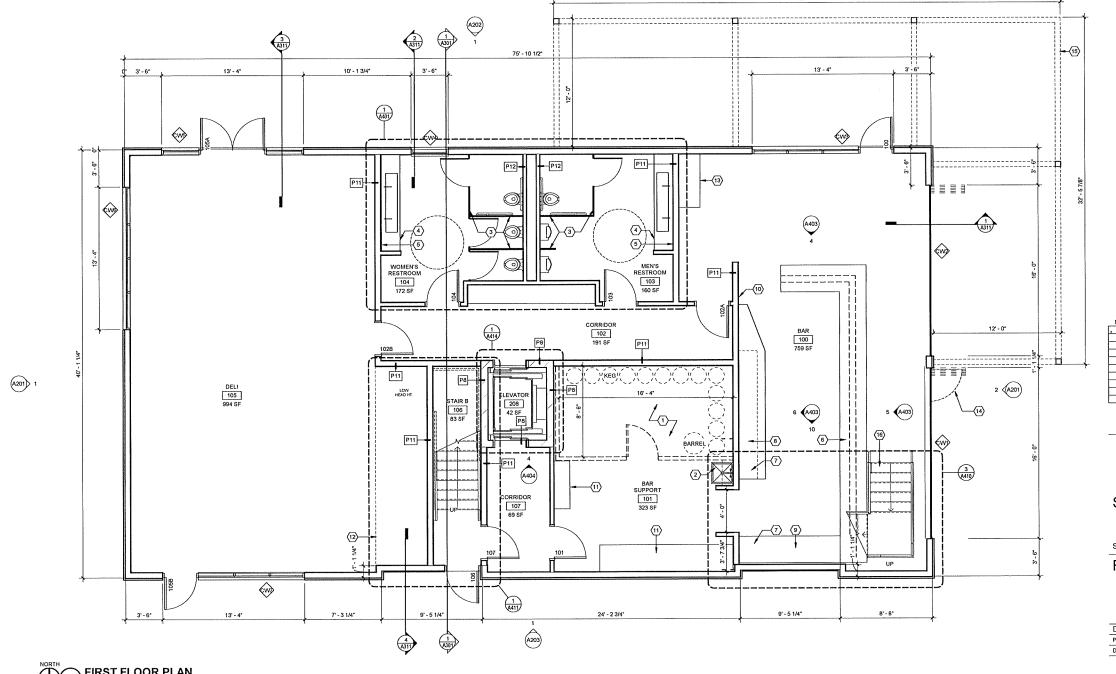
1. SITE DATUM OF 587.5' = FLOOR EL. 100' - 0' ON ARCHITECTURAL DRAWINGS

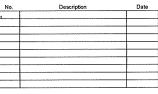
- DIMENSIONS ON FLOOR PLAN ARE BASED ON STUD TO STUD.
 ALL P-TYPES ARE P10 UNLESS OTHERWISE NOTED.

KEYED	NOTES (1)
1	WALK-IN COOLER
2	MOP SINK, RACK AND SHELF
3	POWDER COATED RESTROOM PARTITIONS
4	SOLID SURFACE COUNTER WINTEGRAL RAMP BOWL AND APRON
5	WALL MOUNTED FRAMELESS BEVELED MIRROR W WALL MOUNTED SCONCES
6	BAR - LARGE FORMAT TILE COUNTER TOP - OPEN BELOW FOR OWNER PROVIDED EQUIPMENT, KNEE WALL CONSTRUCTION WITH FRP INTERIOR FACE, 6* VERTICAL CEDAR SIDING EXTERIOR FACE
7	BACK BAR - LARGE FORMAT TILE COUNTER TOP, 6° VERTICAL CEDAR SIDING EXTERIOR FACE
8	BEER TAPS LOCATED AT BACK BAR
9	WINE TAPS LOCATED AT COUNTER BELOW STAIR
10	6" VERTICAL CEDAR SIDING
11	EQUIPMENT AND STORAGE, OWNER PROVIDED
12	LINE OF FIRE RATED STAIR ENCLOSURE ABOVE (RATING TO MATCH STAIR SHAFT)
13	SELF-SERVE WATER STATION
14	MAN DOOR IN FOLDING GLASS WALL
15	OUTLINE OF PERGOLA ABOVE
16	CONCRETE FILLED METAL PAN STAIR WITH METAL STRINGER WITH CUSTOM METAL RAILINGS



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FIRST FLOOR PLAN

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021

FLOOR PLAN GENERAL NOTES:

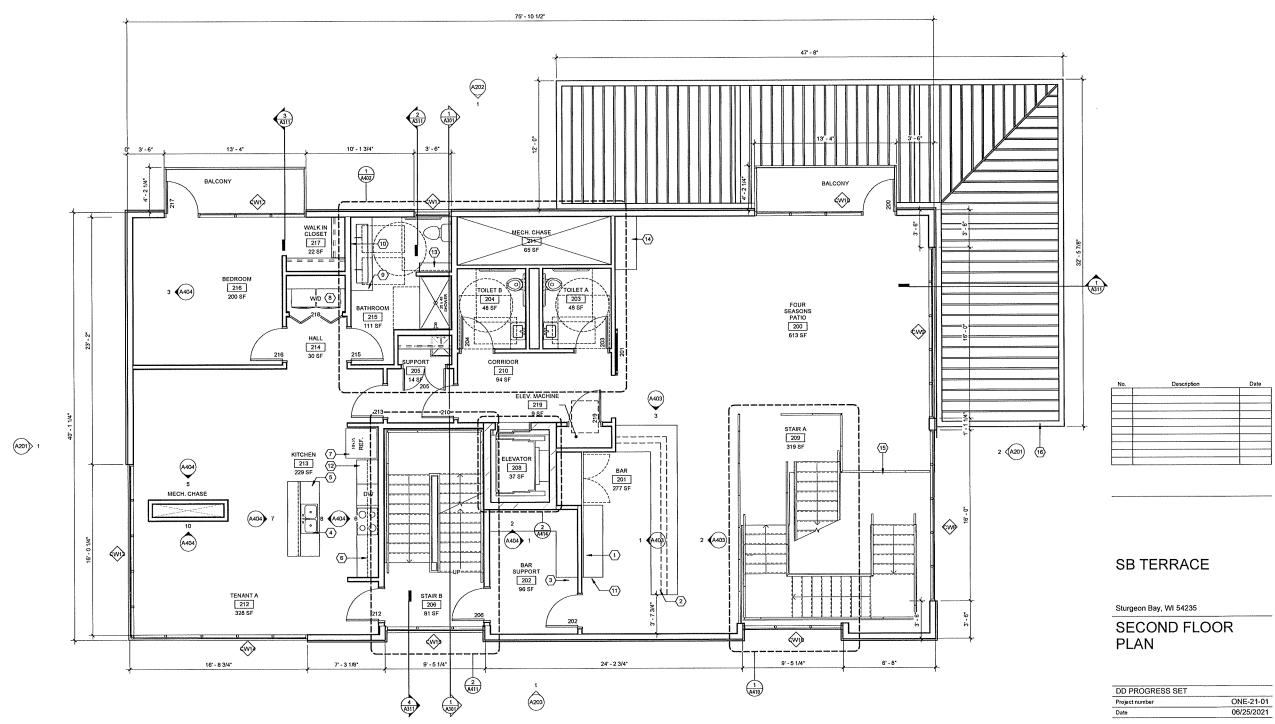
1. SITE DATUM OF 587.5' = FLOOR EL. 100' - 0" ON ARCHITECTURAL

- DIMENSIONS ON FLOOR PLAN ARE BASED ON STUD TO STUD.
 ALL P-TYPES ARE P10 UNLESS OTHERWISE NOTED.

KEYED	NOTES (*)
1	CERAMIC WALL TILE
2	BAR - LARGE FORMAT TILE COUNTER TOP - OPEN BELOW FOR OWNER PROVIDED EQUIPMENT, KNEE WALL CONSTRUCTION WITH FRP INTERIOR FACE, CERAMIC TILE EXTERIOR FACE
3	EQUIPMENT AND STORAGE, OWNER PROVIDED
4	STAINLESS STEEL DOUBLE COMPARTMENT SINK
5	ISLAND W/ SOLID SURFACE COUNTER AND PLASTIC LAMINATE CASEWORK BELOW
- 6	DASHED LINE INDICATES NEW PLASTIC LAMINATE CASEWORK ABOVE
7	APARTMENT SIZE REFRIGERATOR
8	SIDE BY SIDE WASHER/DRYER
9	SOLID SURFACE COUNTER W/ INTEGRAL RAMP BOWL AND APRON
10	WALL MOUNTED FRAMELESS BEVELED MIRROR W/ WALL MOUNTED SCONCES
11	BACK BAR - LARGE FORMAT TILE COUNTER TOP, OPEN BELOW FOR OWNER PROVIDED EQUIPMENT
12	SOLID SURFACE COUNTER WITH PLASTIC LAMINATE CASEWORK BELOW
13	WOOD SHELVING, 10" DEEP
14	SELF-SERVE WATER STATION
15	GUARDRAIL
16	PERGOLA; TUBE STEEL COLUMNS AND BEAMS WITH 2X8S INFILL AND CLEAR CORRUGATED PLASTIC TOP



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FLOOR PLAN GENERAL NOTES:

1. SITE DATUM OF 587.5' ≈ FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS,

- DIMENSIONS ON FLOOR PLAN ARE BASED ON STUD TO STUD.
 ALL P-TYPES ARE P10 UNLESS OTHERWISE NOTED.

KEY	'FD	NO	TES	(#)
' ` - '				~

1	ROOF ASSEMBLY: STANDING SEAM METAL ROOF WITH SHEET METAL FLASHING CAP OVER WEATHER BARRIER OVER PLYWOOD SHEATHIN
	FLASHING CAP OVER WEATHER BARRIER OVER PLYWOOD SHEATHIN
	OVER WOOD TRUSS
2	PLANTER WALL

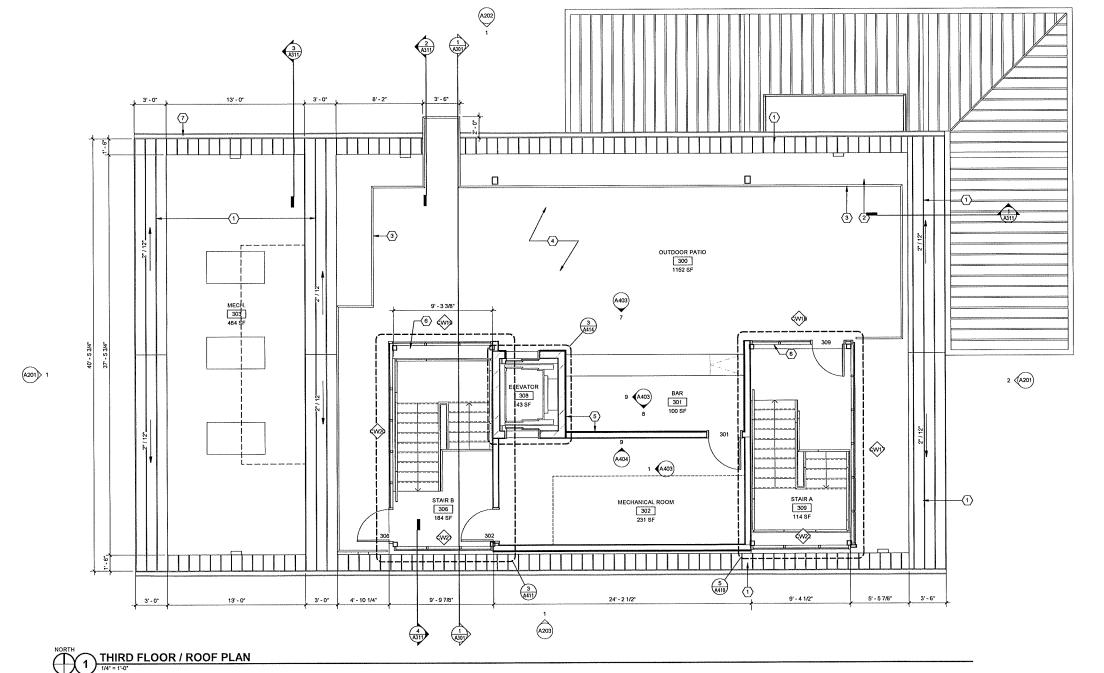
PLANTER WALL

RAILING

WOOD DECKING OVER PEDESTALS OVER EPDIM ROOFING OVER 1/4" PER
FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER
PLYWOOD UNDERLAYMENT
6" VERTICAL CEDAR SIDING
PERIMETER LIGHTING AT EDGE OF STAIR ENCLOSURE
SHEET METAL GUTTER



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THIRD FLOOR PLAN

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/202

KEYED NOTES (*)

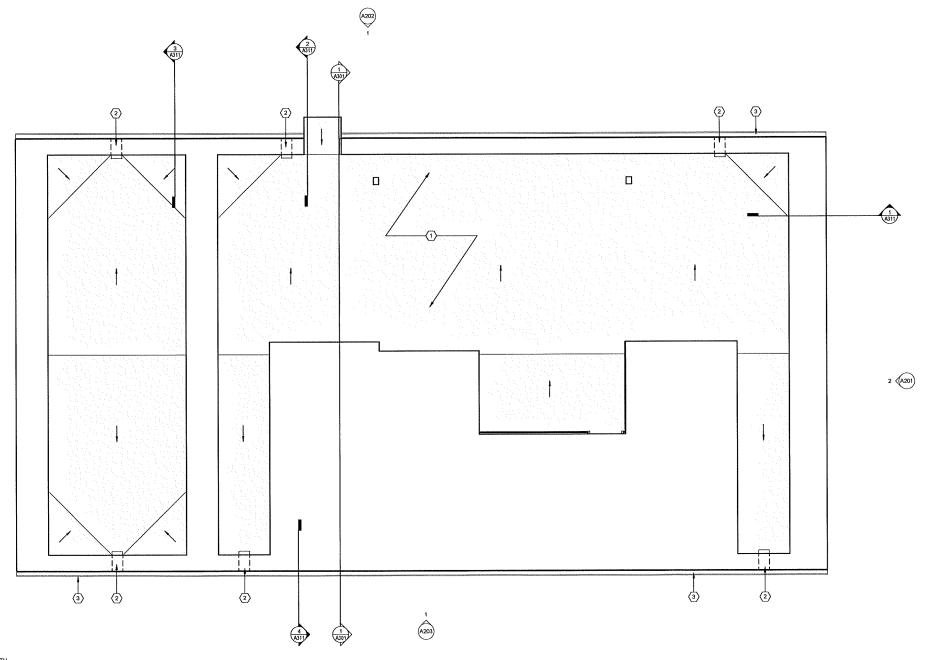
1 GRAY SHADING INDICATES EPDM ROOFING OVER 1/4* PER FOOT SLOPED RIGID INSULATION, SLOPE ARROWS INDICATE DIRECTION OF SLOPE

2 THROUGH-WALL SCUPPER

3 SHEET METAL GUTTER



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No.	Description	Date	

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ROOFING PLAN

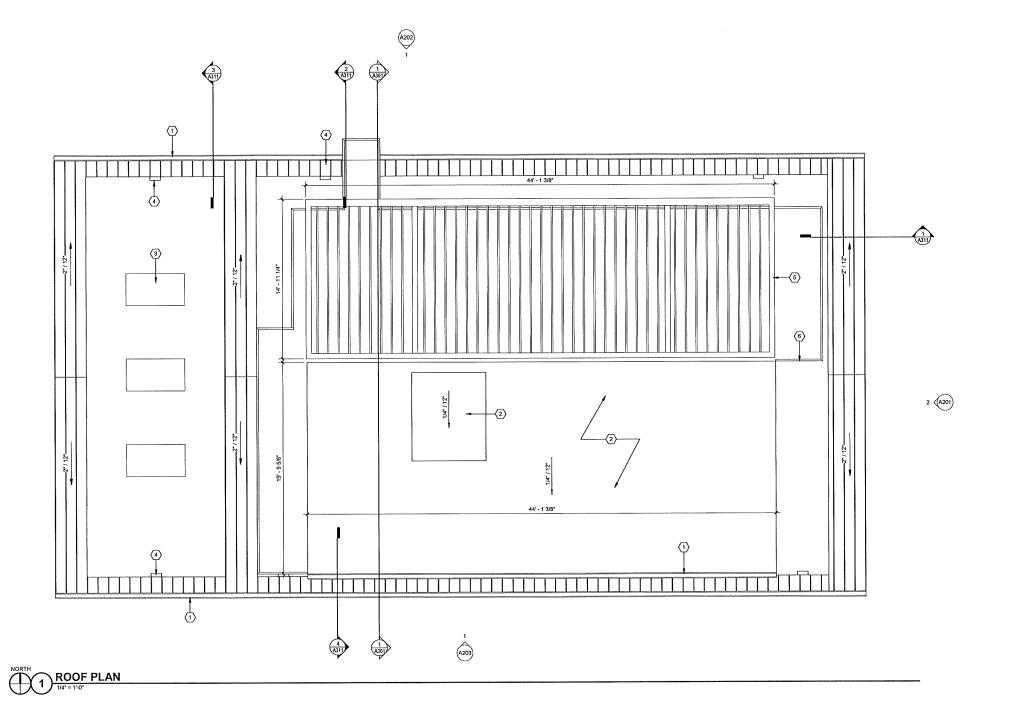
DD PROGRESS SET	
Project number	ONE-21-0
Date	06/25/202

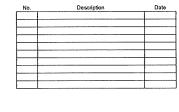
A104

(A201)> 1

1	SHEET METAL GUTTER
2	EPDM OVER 2" RIGID INSULATION SLOPED 1/4" PER FOOT TO GUTTER OVER VAPOR BARRIER OVER 34" PLYWOOD OVER 2X8S WITH SHEET METAL FASCIA WITH GRAVEL STOPS
3	MECHANICAL EQUIPMENT
4	THROUGH-WALL SCUPPER
5	PERGOLA; TUBE STEEL COLUMNS AND BEAMS WITH 2X8S INFILL AND CLEAR CORRUGATED PLASTIC TOP
^	CHARDON







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ROOF PLAN

ONE-21-0
06/25/202

CEILING GENERAL NOTES:

1. REFER TO PROJECT MANUAL FOR MATERIAL SPECIFICATIONS.

- 2. REFER TO FINISH SCHEDULE FOR KEY CODES, SELECTION AND COLOR.
- 3. ALL CEILINGS OR SOFFITS NOTED AS GWB OR PLASTER TO BE PAINTED PT-XX UNLESS NOTED OTHERWISE.
- REFER TO MEP DRAWINGS, SPECIFICATIONS, AND SCHEDULES FOR TYPE AND QUANTITY OF FIXTURES AND EQUIPMENTS SHOWN ON THIS PLAN.
- 5. RCP'S INDICATE LAYOUT ONLY. REFER TO ELECTRICAL DRAWINGS FOR SMOKE DETECTOR AND OTHER FIRE SAFETY INFORMATION NOTE SHOWN ON THIS PLAN.
- REFER TO MEP DRAWINGS FOR LIGHTING AND FIXTURES IN AREAS WITH NO CEILINGS / EXPOSED TO STRUCTURE.
- 7. VERIFY SIZE, LOCATION, AND QUANTITY OF ACCESS PANELS WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
- ALL RECESSED LIGHTS, SPEAKERS, OCCUPANCY SENSORS, ETC. SHALL BE CENTERED IN THE TILES UNLESS NOTED OTHERWISE.
- CENTER ALL CEILING GRIDS IN SPACE UNLESS NOTED OTHERWISE.
- 10. ALL METAL LINEAR DIFFUSERS AND SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH SURROUNDING WALL OR CEILING SURFACE.
- 11. CONTROL JOINTS IN GWB CEILING OR SOFFITS ARE NOTED WITH CJ. SEE SPEC FOR ADDITIONAL INFORMATION IF NOT SHOWN.

(A201) 1

CEILIN	G LEGEND:											
							LUMINAIRE SCHEDUL	Ŀ				
	2' x 2' SUSPENDED CEILING GRID	⊗H Ø	WALL MOUNTED EXIT LIGHT CEILING MOUNTED EXIT LIGHT	FIXTURE				FIXTURE INFORMAT	LAMP	COLOR		
	GYPSUM BOARD CEILING (PAINTED)	•	SPRINKLER	DESIGNATION	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	ION	TYPE	TEMP. 3500	COLOR	DIMMING
	2x4 RECESSED LIGHT FIXTURE	0	CEILING MOUNTED PROJECTOR STAND							3500 3500 3500		
П	2x2 RECESSED LIGHT FIXTURE	0	JUNCTION BOX							3500 3000		
	12" x 48" RECESSED LIGHT FIXTURE	SA	SMOKE ALARM							3500		
	6" x 48" RECESSED LIGHT FIXTURE	H	HEAT DETECTOR							3500 3000		
0	RECESSED DOWN LIGHT	⊗	OCCUPANCY SENSOR							3500 3500		
\boxtimes	SUPPLY AIR DIFFUSER	50	SMOKE DETECTOR							3500 3500		
Ŋ	RETURN AIR DIFFUSER / EXHAUST GRILL	WAP	WIRELESS ACCESS POINT							3000 3500		
Ľ3 ⊠	EXHAUST FAN	CJ	- CONTROL JOINT				***************************************			3000K 3500		

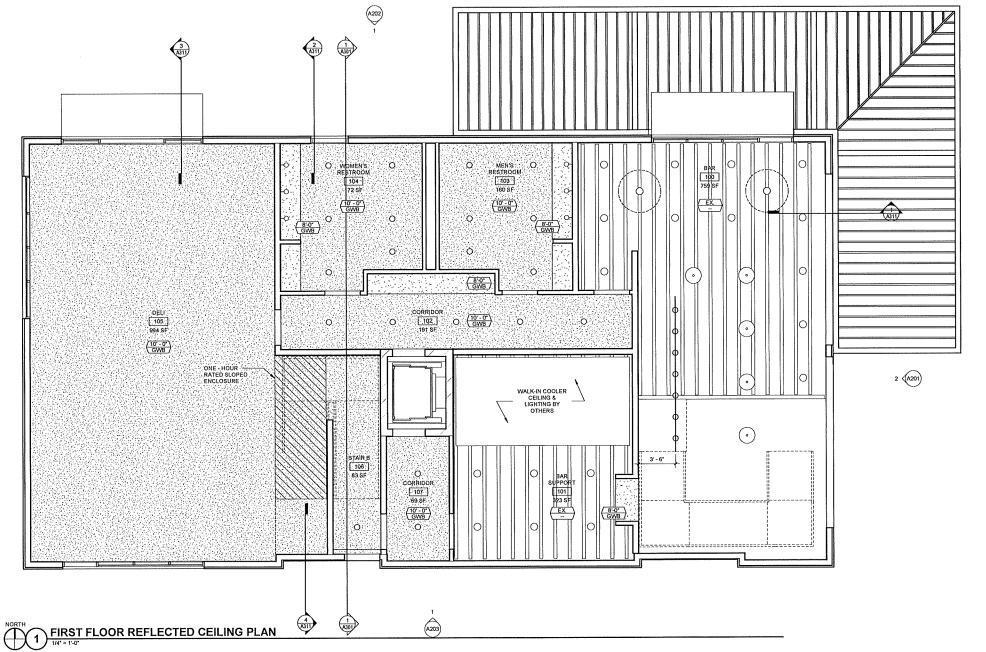
(9'-0") CEILING HEIGHT / MATERIAL

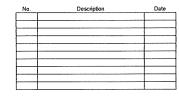
SUPPLY AIR DIFFUSER - SLOT

[[]] 1' x 4' LIGHT FIXTURE (SUSPENDED)

KEYED NOTES (*)

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FIRST FLOOR REFLECTED CEILING PLAN

DD PROGRESS SET	
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- ALL RECESSED LIGHTS, SPEAKERS, OCCUPANCY SENSORS, ETC. SHALL BE CENTERED IN THE TILES UNLESS NOTED OTHERWISE.
- 9. CENTER ALL CEILING GRIDS IN SPACE UNLESS NOTED
- 10. ALL METAL LINEAR DIFFUSERS AND SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH SURROUNDING WALL OR CEILING SURFACE.
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(A201)> 1

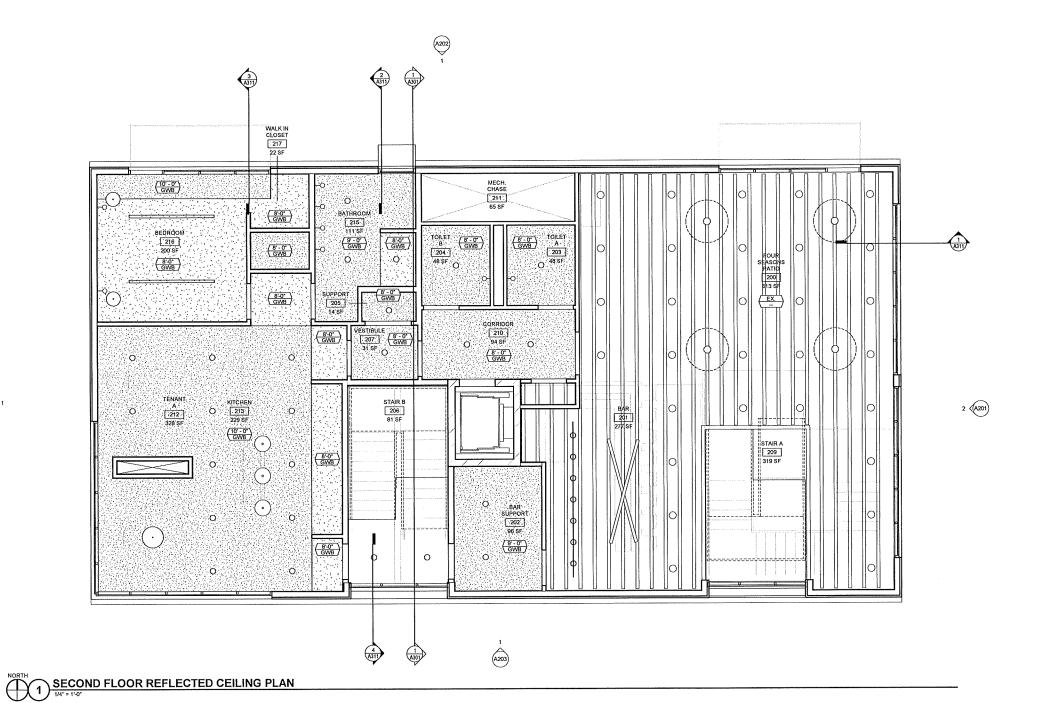
CEILIN	G LEGEND:		
++	2' x 2' SUSPENDED CEILING GRID	€H	WALL MOUNTED EXIT LIGHT
++		\otimes	CEILING MOUNTED EXIT LIGHT
	GYPSUM BOARD CEILING (PAINTED)	•	SPRINKLER
	2x4 RECESSED LIGHT FIXTURE	0	CEILING MOUNTED PROJECTOR STAND
	2x2 RECESSED LIGHT FIXTURE	①	JUNCTION BOX
	12" x 48" RECESSED LIGHT FIXTURE	EA.	SMOKE ALARM
	6" x 48" RECESSED LIGHT FIXTURE	н	HEAT DETECTOR
0	RECESSED DOWN LIGHT	⊗	OCCUPANCY SENSOR
\boxtimes		so	SMOKE DETECTOR
\square	SUPPLY AIR DIFFUSER	WAP	WIRELESS ACCESS POINT
	RETURN AIR DIFFUSER / EXHAUST GRILL		CONTROL JOINT
⋈	EXHAUST FAN	Cl	
	SUPPLY AIR DIFFUSER - SLOT	9' - 0" ACP-1	CEILING HEIGHT / MATERIAL

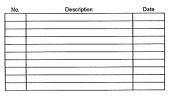
[1' x 4' LIGHT FIXTURE (SUSPENDED) ├───── INDUSTRIAL FLUORESCENT

			LUMINAIRE SCHEDUL	E				
FIXTURE DESIGNATION	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	FIXTURE INFORMAT ION	LAMP TYPE	COLOR TEMP.	COLOR	DIMMING
						3500 3500		
				-		3500		
						3500		
						3500		
						3000		
						3500		
						3500		
						3000		
						3500 3500		
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	·			1		3000		-
				+		3500		
		-	·········	-		3000K		<u> </u>
						3500		1

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KEYED NOTES (*)





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SECOND FLOOR REFLECTED CEILING PLAN

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 OTHERWISE.
- ALL METAL LINEAR DIFFUSERS AND SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH SURROUNDING WALL OR CEILING SURFACE.
- 11. CONTROL JOINTS IN GWB CEILING OR SOFFITS ARE NOTED WITH CJ. SEE SPEC FOR ADDITIONAL INFORMATION IF NOT SHOWN.

(A201) 1

CEILIN	G LEGEND:		
廿	2' x 2' SUSPENDED CEILING GRID	⊗ H	WALL MOUNTED EXIT LIGHT
		€	CEILING MOUNTED EXIT LIGHT
	GYPSUM BOARD CEILING (PAINTED)	•	SPRINKLER
	2x4 RECESSED LIGHT FIXTURE	O	CEILING MOUNTED PROJECTOR STAND
	2x2 RECESSED LIGHT FIXTURE	0	JUNCTION BOX
	12" x 48" RECESSED LIGHT FIXTURE	SA.	SMOKE ALARM
	6" x 48" RECESSED LIGHT FIXTURE	н	HEAT DETECTOR
0	RECESSED DOWN LIGHT	⊗	OCCUPANCY SENSOR
∇		80	SMOKE DETECTOR
	SUPPLY AIR DIFFUSER	WAP	WIRELESS ACCESS POINT
\square	RETURN AIR DIFFUSER / EXHAUST GRILL		CONTROL JOINT

SUPPLY AIR DIFFUSER - SLOT

[1'x 4'LIGHT FIXTURE (SUSPENDED)

CJ CONTROL JOINT

(9'-0") CEILING HEIGHT / MATERIAL

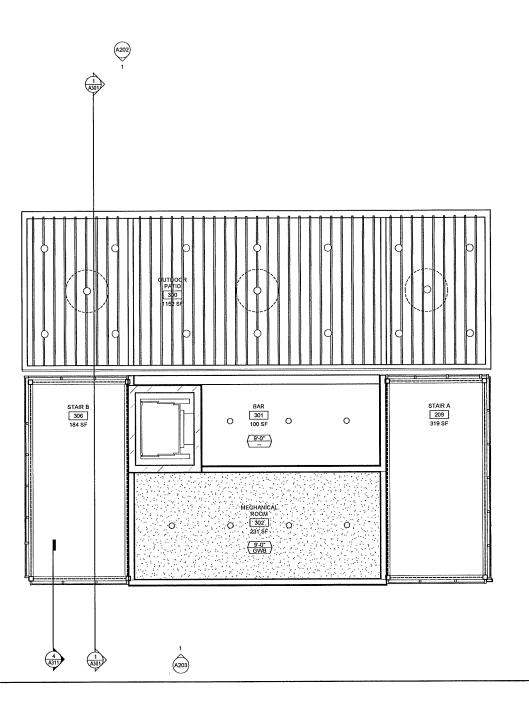
			LUMINAIRE SCHEDUL	E				
FIXTURE DESIGNATION	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	FIXTURE INFORMAT ION	LAMP TYPE	COLOR TEMP.	COLOR	DIMMING
						3500		
						3500		
						3500		ļ
						3500 3500		
	.,,			-		3000		
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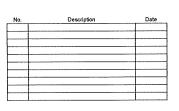
KEYED NOTES (*)		
	^	

2 (A201)

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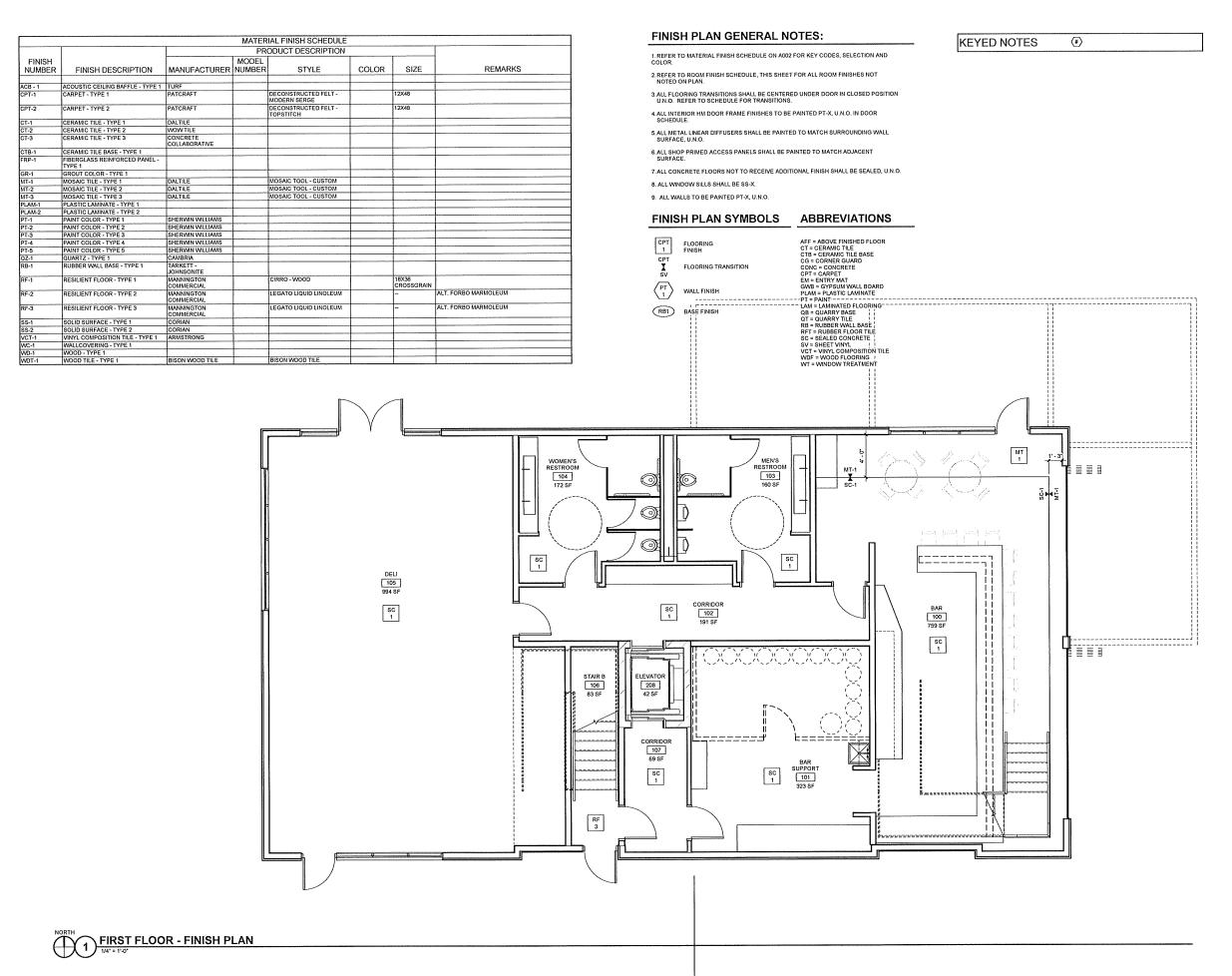
SB TERRACE

Sturgeon Bay, WI 54235

THIRD FLOOR REFLECTED CEILING PLAN

DD PROGRESS SET	
Project number	ONE-21-0
Date	06/25/202

1) THIRD FLOOR REFLECTED CEILING PLAN





SB TERRACE

Sturgeon Bay, WI 54235

FIRST FLOOR FINISH PLAN

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021

		·		IAL FINISH SCHEDULE		·	
	PRODUCT DESCRIPTION						
FINISH NUMBER	FINISH DESCRIPTION	MANUFACTURER	MODEL NUMBER	STYLE	COLOR	SIZE	REMARKS
ACB - 1	ACOUSTIC CEILING BAFFLE - TYPE 1	TURF				 	
CPT-1	CARPET - TYPE 1	PATCRAFT		DECONSTRUCTED FELT - MODERN SERGE		12X48	
CPT-2	CARPET - TYPE 2	PATCRAFT		DECONSTRUCTED FELT - TOPSTITCH		12X48	
CT-1	CERAMIC TILE - TYPE 1	DALTILE					
CT-2	CERAMIC TILE - TYPE 2	WOW TILE					
СТ-З	CERAMIC TILE - TYPE 3	CONCRETE COLLABORATIVE					
CTB-1	CERAMIC TILE BASE - TYPE 1						
FRP-1	FIBERGLASS REINFORCED PANEL - TYPE 1						
GR-1	GROUT COLOR - TYPE 1						
MT-1	MOSAIC TILE - TYPE 1	DALTILE		MOSAIC TOOL - CUSTOM			
MT-2	MOSAIC TILE - TYPE 2	DALTILE		MOSAIC TOOL - CUSTOM			
MT-3	MOSAIC TILE - TYPE 3	DALTILE		MOSAIC TOOL - CUSTOM			
PLAM-1	PLASTIC LAMINATE - TYPE 1				T		
PLAM-2	PLASTIC LAMINATE - TYPE 2						
PT-1	PAINT COLOR - TYPE 1	SHERWIN WILLIAMS				1	
PT-2	PAINT COLOR - TYPE 2	SHERWIN WILLIAMS					
PT-3	PAINT COLOR - TYPE 3	SHERWIN WILLIAMS				i	
PT-4	PAINT COLOR - TYPE 4	SHERWIN WILLIAMS					
PT-5	PAINT COLOR - TYPE 5	SHERWIN WILLIAMS					
QZ-1	QUARTZ - TYPE 1	CAMBRIA					
RB-1	RUBBER WALL BASE - TYPE 1	TARKETT - JOHNSONITE					
RF-1	RESILIENT FLOOR - TYPE 1	MANNINGTON COMMERCIAL		CIRRO - WOOD		18X36 CROSSGRAIN	
RF-2	RESILIENT FLOOR - TYPE 2	MANNINGTON COMMERCIAL		LEGATO LIQUID LINOLEUM		-	ALT, FORBO MARMOLEUM
RF-3	RESILIENT FLOOR - TYPE 3	MANNINGTON COMMERCIAL		LEGATO LIQUID LINOLEUM		-	ALT, FORBO MARMOLEUM
SS-1	SOLID SURFACE - TYPE 1	CORIAN					
SS-2	SOLID SURFACE - TYPE 2	CORIAN					
VCT-1	VINYL COMPOSITION TILE - TYPE 1	ARMSTRONG					
WC-1	WALLCOVERING - TYPE 1						
WD-1	WOOD - TYPE 1						
WDT-1	WOOD TILE - TYPE 1	BISON WOOD TILE		BISON WOOD TILE			

FINISH PLAN GENERAL NOTES:

1.REFER TO MATERIAL FINISH SCHEDULE ON A002 FOR KEY CODES, SELECTION AND COLOR.

2. REFER TO ROOM FINISH SCHEDULE, THIS SHEET FOR ALL ROOM FINISHES NOT NOTED ON PLAN.

3. ALL FLOORING TRANSITIONS SHALL BE CENTERED UNDER DOOR IN CLOSED POSITION U.N.O. REFER TO SCHEDULE FOR TRANSITIONS.

4, ALL INTERIOR HM DOOR FRAME FINISHES TO BE PAINTED PT-X, U.N.O. IN DOOR SCHEDULE.

5. ALL METAL LINEAR DIFFUSERS SHALL BE PAINTED TO MATCH SURROUNDING WALL SURFACE, U.N.O.

ALL SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH ADJACENT SURFACE.

7. ALL CONCRETE FLOORS NOT TO RECEIVE ADDITIONAL FINISH SHALL BE SEALED, U.N.O.

8, ALL WINDOW SILLS SHALL BE SS-X.

9. ALL WALLS TO BE PAINTED PT-X, U.N.O.

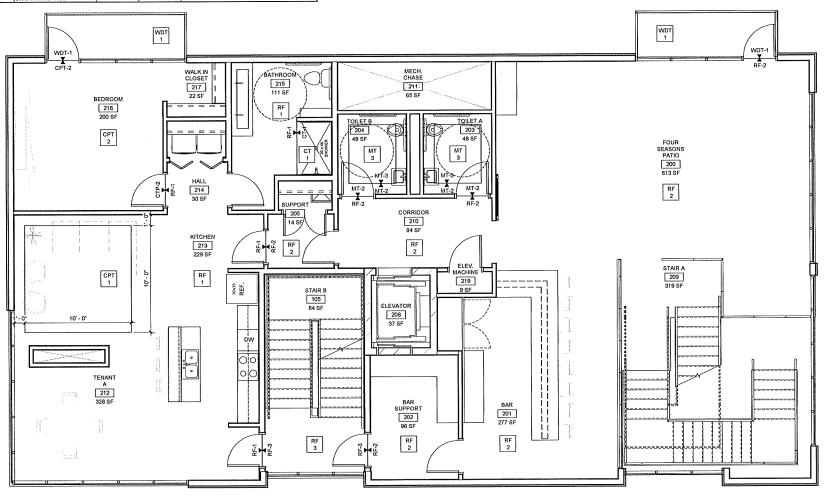
FINISH PLAN SYMBOLS **ABBREVIATIONS**

FLOORING TRANSITION



WALL FINISH RB1 BASE FINISH AFF = ABOVE FINISHED FLOOR
CT = CERAMIC TILE
CTB = CERAMIC TILE BASE
CQ = CORNER GUARD
CONC = CONCRETE
EM = EMTY MAT
GWB = GYPSUM WALL BOARD
PLAM = PLASTIC LAMINATE
PT = PAINT
LAM = LAMINATED FLOORING
QB = QUARRY BASE
GT = QUARRY TILE
RB = RUBBER WALL BASE
RFT = RUBBER FLOOR TILE
SC = SEALED CONCRETE
SV = SHEET VINYL
VCT = VINYL COMPOSITION TILE
WDF = WOOD FLOORING
WT = WINDOW TREATMENT

KEYED NOTES ①





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No.	Description	Date
	244	

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SECOND FLOOR FINISH PLAN

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021

			MATER	IAL FINISH SCHEDULE			
	T	T		ODUCT DESCRIPTION			<u> </u>
FINISH NUMBER	FINISH DESCRIPTION	MANUFACTURER	MODEL	STYLE	COLOR	SIZE	REMARKS
NOMBER	FINISH DESCRIPTION	WANDFACTORER	MOMBER	STILL	COLOR	OIZL	TIENATIO
ACB - 1	ACOUSTIC CEILING BAFFLE - TYPE 1	TURF		· · · · · · · · · · · · · · · · · · ·	 		
CPT-1	CARPET - TYPE 1	PATCRAFT		DECONSTRUCTED FELT - MODERN SERGE		12X48	
CPT-2	CARPET - TYPE 2	PATCRAFT		DECONSTRUCTED FELT - TOPSTITCH		12X48	
CT-1	CERAMIC TILE - TYPE 1	DALTILE					
CT-2	CERAMIC TILE - TYPE 2	WOWTILE					
CT-3	CERAMIC TILE - TYPE 3	CONCRETE COLLABORATIVE					
CTB-1	CERAMIC TILE BASE - TYPE 1						
FRP-1	FIBERGLASS REINFORCED PANEL - TYPE 1						
GR-1	GROUT COLOR - TYPE 1						
MT-1	MOSAIC TILE - TYPE 1	DALTILE		MOSAIC TOOL - CUSTOM			
MT-2	MOSAIC TILE - TYPE 2	DALTILE		MOSAIC TOOL - CUSTOM			
MT-3	MOSAIC TILE - TYPE 3	DALTILE		MOSAIC TOOL - CUSTOM			
PLAM-1	PLASTIC LAMINATE - TYPE 1						
PLAM-2	PLASTIC LAMINATE - TYPE 2					1	
PT-1	PAINT COLOR - TYPE 1	SHERWIN WILLIAMS					
PT-2	PAINT COLOR - TYPE 2	SHERWIN WILLIAMS					
PT-3	PAINT COLOR - TYPE 3	SHERWIN WILLIAMS					
PT-4	PAINT COLOR - TYPE 4	SHERWIN WILLIAMS			i		
PT-5	PAINT COLOR - TYPE 5	SHERWIN WILLIAMS			i .		
QZ-1	QUARTZ - TYPE 1	CAMBRIA					
RB-1	RUBBER WALL BASE - TYPE 1	TARKETT - JOHNSONITE					
RF-1	RESILIENT FLOOR - TYPE 1	MANNINGTON COMMERCIAL		CIRRO - WOOD		18X36 CROSSGRAIN	
RF-2	RESILIENT FLOOR - TYPE 2	MANNINGTON COMMERCIAL		LEGATO LIQUID LINOLEUM		-	ALT. FORBO MARMOLEUM
RF-3	RESILIENT FLOOR - TYPE 3	MANNINGTON COMMERCIAL		LEGATO LIQUID LINOLEUM		-	ALT. FORBO MARMOLEUM
SS-1	SOLID SURFACE - TYPE 1	CORIAN					
SS-2	SOLID SURFACE - TYPE 2	CORIAN					
VCT-1	VINYL COMPOSITION TILE - TYPE 1	ARMSTRONG					
WC-1	WALLCOVERING - TYPE 1						
WD-1	WOOD - TYPE 1						
WDT-1	WOOD TILE - TYPE 1	BISON WOOD TILE		BISON WOOD TILE			

MECH. 303 484 SF

FINISH PLAN GENERAL NOTES:

1. REFER TO MATERIAL FINISH SCHEDULE ON A002 FOR KEY CODES, SELECTION AND COLOR.

2. REFER TO ROOM FINISH SCHEDULE, THIS SHEET FOR ALL ROOM FINISHES NOT NOTED ON PLAN.

3.ALL FLOORING TRANSITIONS SHALL BE CENTERED UNDER DOOR IN CLOSED POSITION U.N.O. REFER TO SCHEDULE FOR TRANSITIONS.

4. ALL INTERIOR HM DOOR FRAME FINISHES TO BE PAINTED PT-X, U.N.O. IN DOOR SCHEDULE.

5. ALL METAL LINEAR DIFFUSERS SHALL BE PAINTED TO MATCH SURROUNDING WALL SURFACE, U.N.O.

ALL SHOP PRIMED ACCESS PANELS SHALL BE PAINTED TO MATCH ADJACENT SURFACE.

7. ALL CONCRETE FLOORS NOT TO RECEIVE ADDITIONAL FINISH SHALL BE SEALED, U.N.O.

8. ALL WINDOW SILLS SHALL BE SS-X.

9. ALL WALLS TO BE PAINTED PT-X, U.N.O.

FINISH PLAN SYMBOLS **ABBREVIATIONS**

FLOORING TRANSITION

 $\left\langle \frac{\text{PT}}{\text{1}}\right\rangle$ WALL FINISH

STAIR B

RF 306
3 184 SF

RB1 BASE FINISH

AFF = ABOVE FINISHED FLOOR
OT = CERAMIC TILE
OTB = CERAMIC TILE BASE
OG = CORNER GUARD
CONC = CONCRETE
OF STATE OF THE CO

KEYED NOTES (#)



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	OUTDOOR PATIO 300 WDT 1152 SF 1	
ELEVATOR 308 43 SF	BAR 301 WDT 100 SF 1	WDT-1 RF-2 VCT-1
R B F L L L L L L L L L L L L L L L L L L	MECHANICAL ROOM 302 231 SF	STAIR A 209 319 SF

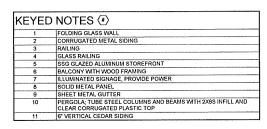
No.	Description	Date

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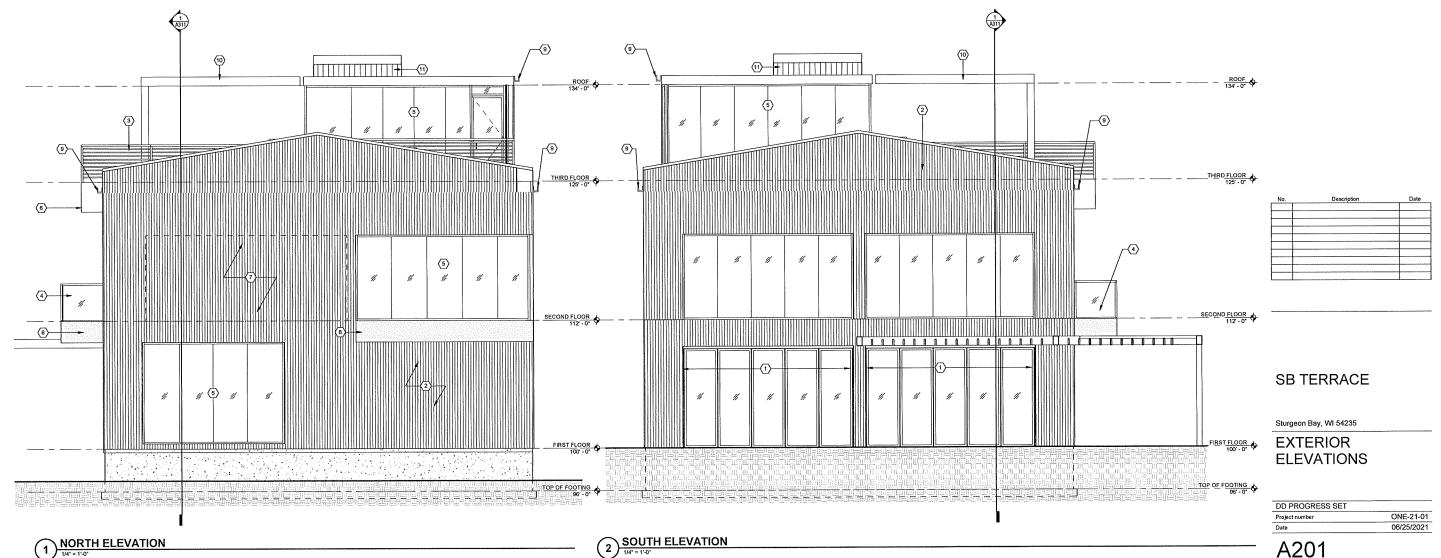
Sturgeon Bay, WI 54235

THIRD FLOOR FINISH PLAN

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021

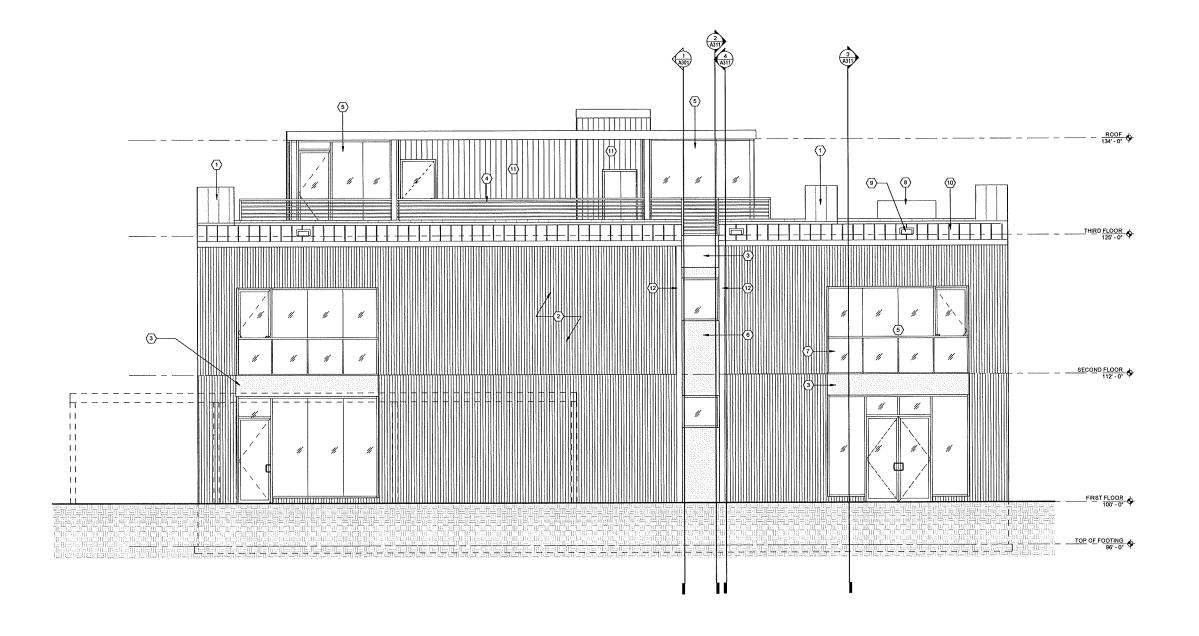






KEYE	O NOTES 🕖	
1	STANDING SEAM METAL ROOFING	
2	CORRUGATED METAL SIDING	
3	BALCONY WITH WOOD FRAMING	
4	RAILING	
5	SSG GLAZED ALUMINUM STOREFRONT	
6	SOLID METAL PANEL	
7	GLASS RAILING	
8	MECHANICAL EQUIPMENT	
9	SCUPPER	
10	STANDING SEAM METAL	
11	6* VERTICAL CEDAR SIDING	
12	SHEET METAL DOWNSPOUT, DRAIN TO DAYLIGHT	





No.	Description	Date
		
		
		

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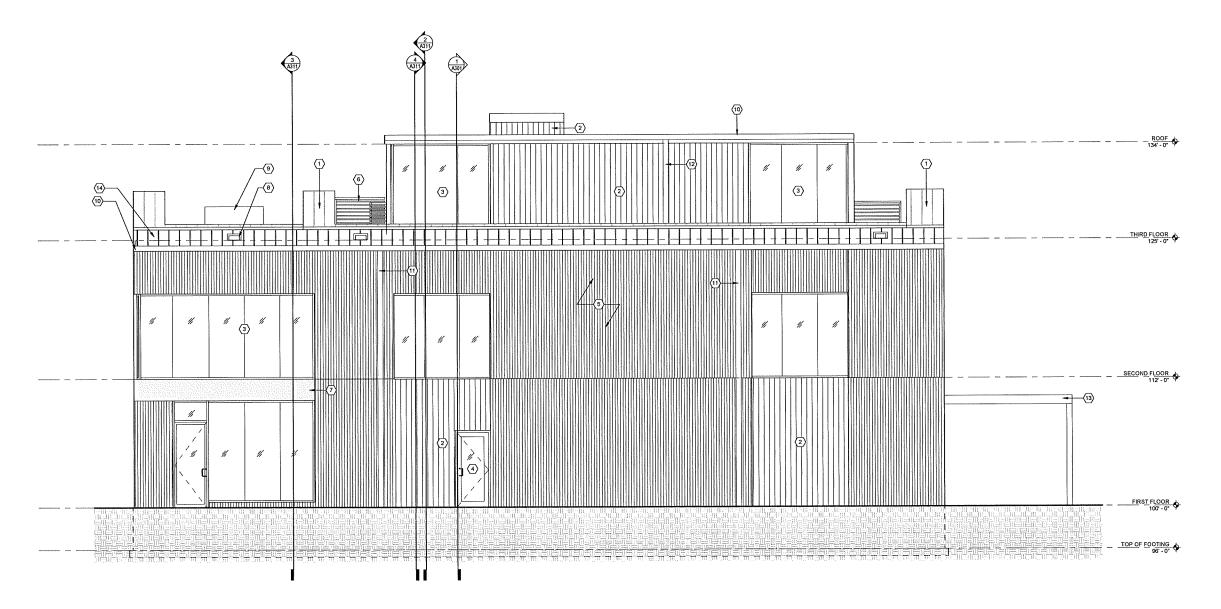
Sturgeon Bay, WI 54235

EXTERIOR **ELEVATIONS**

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021

KEYED	NOTES (8)
1	STANDING SEAM METAL ROOFING
2	6' VERTICAL CEDAR SIDING
3	SSG GLAZED ALUMINUM STOREFRONT
4	HOLLOW METAL DOOR & FRAME
5	CORRUGATED METAL SIDING
6	RAILING
7	SOLID METAL PANEL
В	SCUPPER
9	MECHANICAL EQUIPMENT
10	SHEET METAL GUTTER
11	SHEET METAL DOWNSPOUT, DRAIN TO DAYLIGHT
12	SHEET METAL DOWNSPOUT, DRAIN TO STANDING SEAM METAL ROOF BELOW
13	PERGOLA; TUBE STEEL COLUMNS AND BEAMS WITH 2X8S INFILL AND CLEAR CORRUGATED PLASTIC TOP
14	STANDING SEAM METAL



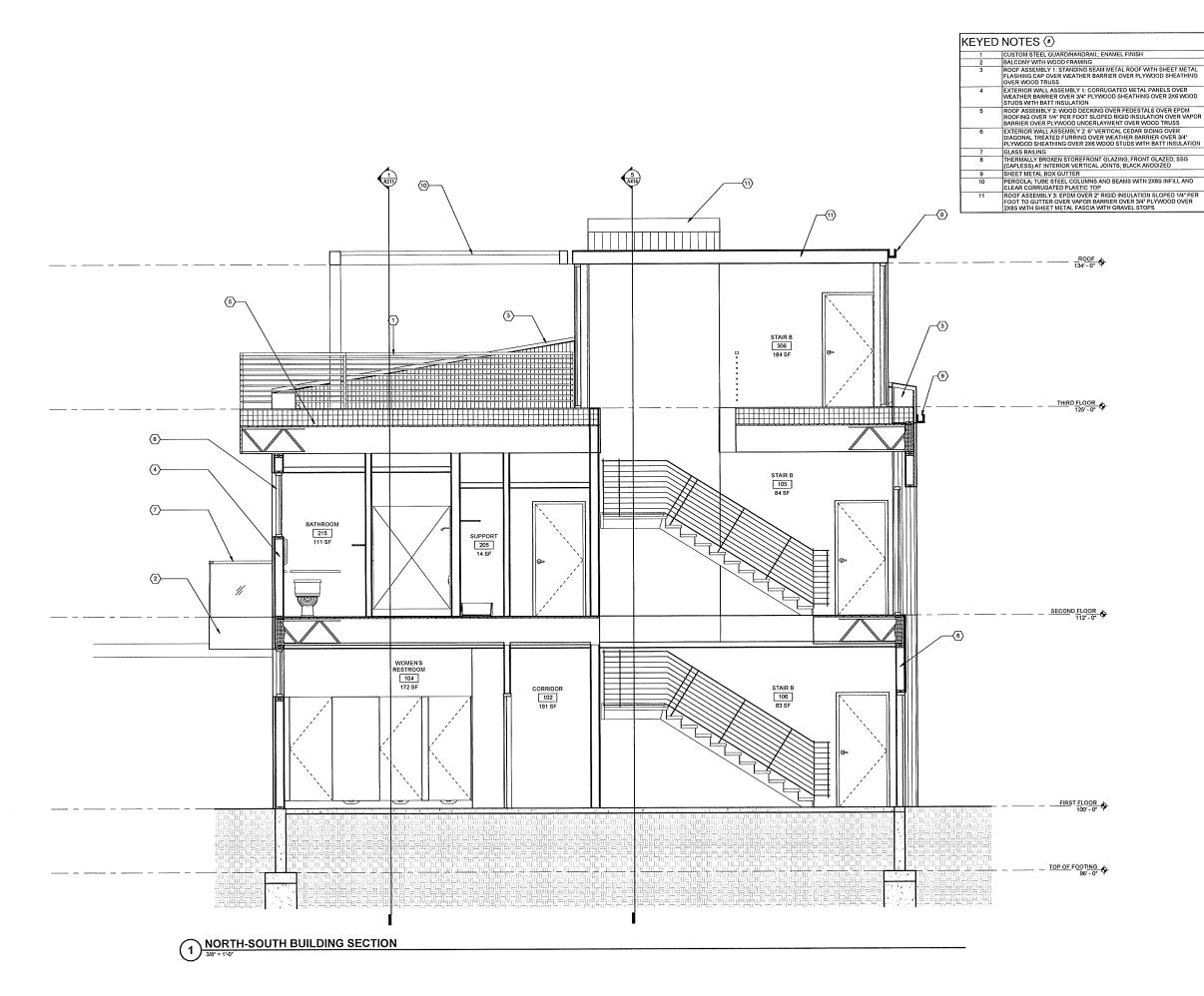


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EXTERIOR **ELEVATIONS**

Project number	ONE-21-01
Date	06/25/2021





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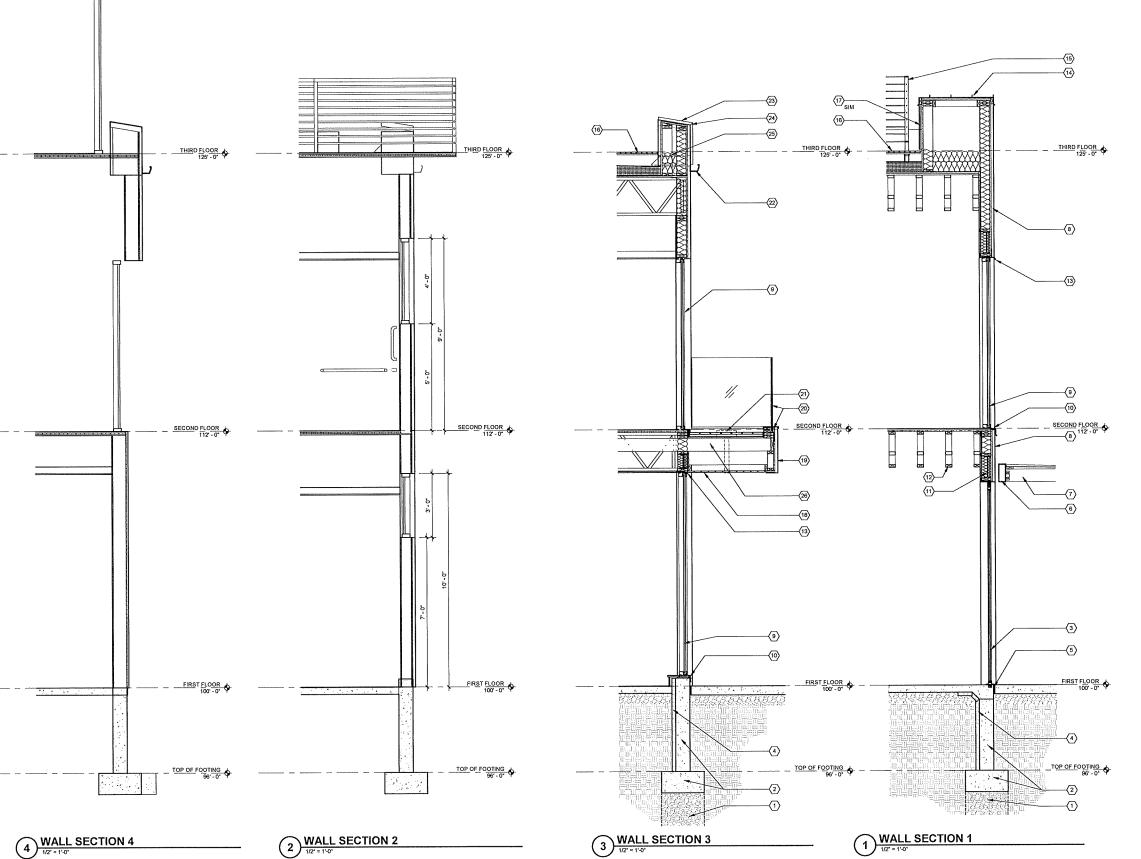
Sturgeon Bay, WI 54235

BUILDING SECTIONS

DD PROGRESS SET	
Project number	ONE-21-01
Date	06/25/2021







ROOF +

1	GROUND IMPROVEMENTS; DESIGNED BY OTHERS
2	CONCRETE FOUNDATION & FOOTING TO FROST DEPTH; DESIGN BY OTHERS
3	NANAWALL SLEO WITH LOW-PROFILE SILL AND SWING DOOR; OUTWARD FOLDING
4	Z RIGID INSULATION
5	EXPANSION JOINT MATERIAL AND SEALANT CAP
6	STEEL PERGOLA TUBE FRAME; HSS6X10X1/4" WITH 2"X5" CLIPS / WOOD PURLINS; ENAMEL FINISH
7	2X8 WOOD (CEDAR) PURLINS AT 12" O.C.
8	EXTERIOR WALL ASSEMBLY 1: CORRUGATED METAL PANELS OVER WEATHER BARRIER OVER 3/4" PLYMOOD SHEATHING OVE 2X6 WOOD STUDS WITH BATT INSULATION
9	THERMALLY BROKEN STOREFRONT GLAZING; FRONT GLAZED; SSG (CAPLESS) AT INTERIOR VERTICAL JOINTS; BLACK ANODIZE
10	SHEET METAL SILL FLASHING
11	STEEL BEAM - SEE STRUCTURAL
12	WOOD FLOOR TRUSS
13	SHEET METAL DRIP EDGE
14	STANDING SEAM METAL ROOF
15	CUSTOM STEEL GUARD/HANDRAIL; ENAMEL FINISH
16	ROOF ASSEMBLY 2: WOOD DECKING OVER PEDESTALS OVER EPDM ROOFING OVER 1/4" PER FOOT SLOPED RIGID INSULATION OVER VAPOR BARRIER OVER PLYWOOD UNDERLAYMENT OVER WOOD TRUSS
17	EXTERIOR WALL ASSEMBLY 2: 6" VERTICAL CEDAR SIDING OVER DIAGONAL TREATED FURRING OVER WEATHER BARRIER OVER : PLYMOOD SHEATHING OVER 2X6 WOOD STUDS WITH BATT INSULATION
18	1X4 CEDAR SOFFIT BOARDS OVER INSECT SCREEN OVER FRAMING
19	BLACK ANODIZED COMPOSITE ALUMINUM PANEL
20	BLUMCRAFT RG200 GLAZING SHOE ANCHORED TO BENT STEEL PLATE; 1/2" TEMPERED FLOAT GLASS
21	CORNER DRAIN
22	SHEET METAL BOX GUTTER
23	ROOF ASSEMBLY 1: STANDING SEAM METAL ROOF WITH SHEET METAL FLASHING CAP OVER WEATHER BARRIER OVER PLYWOO SHEATHING OVER WOOD TRUSS
24	MITER EDGE OF STANDING SEAM ROOFING
25	THROUGH-WALL SCUPPER
26	2X8 OUTRIGGERS SISTERED TO BOTH SIDES OF TRUSSES, BACI SPAN 2X CANTILEVER

 			
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Sturgeon Bay, WI 54235

WALL SECTIONS

DD PROGRESS SET	OUE OLO
Project number	ONE-21-0
Date	06/25/202