

AGENDA
CITY OF STURGEON BAY
AESTHETIC DESIGN & SITE PLAN REVIEW BOARD
Monday, December 14, 2020
6:00 p.m.
Council Chambers, City Hall
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from October 26, 2020.
4. Consideration of: Facade changes to Zoerb's Paint and Decorating, 49 S. Madison Avenue.
5. Consideration of: Facade and site improvements for Virlee Gunworks, 1019 Egg Harbor Rd.
6. Consideration of: Roof pitch request from Thomas and Pamela Sadowske for a manufactured home to be located on the northeast corner of S. 16th Place and Texas Place.
7. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Committee members

Dennis Statz –Chair
Jon Burk
Mark Struck
Dave Augustson
Cheryl Frank
Kelsey Fox
Rick Wiesner

12/10/20
3:15 p.m.
CN

AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD
Monday, October 26, 2020

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:00 p.m. by Chairperson Dennis Statz in the Council Chambers, City Hall, 421 Michigan Street.

Roll Call: Members Cheryl Frank, Mark Struck, Dave Augustson, and Dennis Statz were present. Excused: Member Jon Burk. Also present were Alderperson Spencer Gustafson, City Administrator Josh VanLieshout, Community Development Director Marty Olejniczak, Planner/Zoning Administrator Christopher Sullivan-Robinson, and Community Development Secretary Cheryl Nault.

Adoption of Agenda: Moved by Mr. Struck, seconded by Mr. Augustson to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from October 12, 2020.
4. Consideration of: Facade improvements for Third Avenue Playhouse, located at 239 N. 3rd Avenue.
5. Adjourn.

All ayes. Carried.

Approval of minutes from October 12, 2020: Moved by Mr. Augustson, seconded by Mr. Struck to approve the minutes from October 12, 2020. All ayes. Carried.

Consideration of: Facade improvements for Third Avenue Playhouse, located at 239 N. 3rd Avenue: Mr. Sullivan-Robinson stated that Shirley Weese Young has applied for a certificate of appropriateness for exterior remodeling of the Third Avenue Playhouse, including brickwork, new cornice, replacement of windows, and getting it back to its original condition. There is no additional lighting or signage proposed. This property is not located in the historic district.

Shirley Weese Young, 30 N. 7th Avenue, showed photos of the 1908 original building and different phases throughout the years. There is a \$3.5 million capital campaign for the restoration of the TAP building. Half brick cladding and stucco will be used on the exterior. All windows and doors will be replaced, with a charcoal gray trim. Muntins will be added to the top of the windows. A medium gray 4-foot tall fiberglass cornice will be installed in 8-foot sections. The marquee is being restored. The 14 canopy lights will be replaced with LED lights, as well as the 240 chaser lights. She wants to make it beautiful inside and out.

Ms. Weese Young added that the whole building will be stripped out. The mortar for the brick will be an off white color matching the limestone sills.

A short discussion was held. Moved by Mr. Struck, seconded by Ms. Frank to grant a certificate of appropriateness as presented. All ayes. Carried.

Adjourn: Moved by Mr. Augustson, seconded by Mr. Struck to adjourn. All ayes. Carried. The meeting adjourned at 6:17 p.m.

Respectfully submitted,



Cheryl Nault
Community Development Secretary



MEMO

To: Aesthetic Design and Site Plan Review Board
From: Christopher Sullivan-Robinson
Date: December 14, 2020
Subject: 49 S Madison Avenue – Project Review

The applicant seeks approval of the restoration work completed on the front façade of the building located at 49 S. Madison Avenue. In your packet is an image of the previous façade and the new façade. The most notable changes are the removal of the existing canopy. In addition, windows have been installed on the second floor and in transom spaces on the first floor. The trim around the windows was painted white and the trim around the entry door was painted blue. Blue horizontal siding was installed above the entry door with white trim, as well as incorporated around the windows.

This property was reviewed for historic significance back in 1982 and was determined to have no significant historic or architectural value. Attached is the Historic Preservation Division survey form for this property.

In reviewing the Aesthetic Design Guidelines and Criteria, the following sections appear to be relevant:

Building design.

- (a) Buildings shall not be limited to a preferred type of architecture or building materials. However, architectural styles, which are generally not common to Sturgeon Bay or Northeastern Wisconsin, are discouraged.
- (b) Buildings should be sited and designed to be aesthetically pleasing as viewed from adjoining public streets. Excessively long, unbroken building facades shall be avoided. Building materials and design features shall be consistent with the general design theme and/or proposed use of the development.
- (c) The architectural character of historic structures shall be maintained or enhanced whenever remodeling, expansions, or other changes are proposed.
- (d) Buildings on in-fill sites shall be compatible with surrounding buildings in terms of scale, massing, height, entrances, and windows.
- (e) Rhythm/re-occurring patterns in windows and storefronts are encouraged.
- (f) Building components, such as windows, doors, eaves, and parapet, should be in proportionate scale in relationship to one another.
- (g) The use of door and window canopies and awnings is encouraged.
- (h) The use of special architectural features, including projecting windows, towers, turrets, arches and cupolas are encouraged, particularly on corner buildings.

- (i) Rooftop mechanical equipment shall be screened with parapets or the roof form.
- (j) Designs seeking Leadership in Energy and Environmental Design (LEED) certification are encouraged.
- (k) Buildings containing retail commercial uses that are located within 15 feet of the street should have transparent windows on the ground floor along at least 50% of the length of the building facade facing the street.
- (l) Garages should be designed to not dominate the site. Whenever possible, detached garages shall be located to the rear of the principal building or shall be screened or have overhead doors not facing the street. Attached garages that extend beyond the front façade of the building are discouraged. Garages with three or more parking stalls shall be designed to limit the visual impact of overhead doors through features such as offsets or side-loading.
- (m) Blank walls viewable from the street are undesirable.

Materials and colors.

- (a) Opaque or reflective window tints and glazes are discouraged.
- (b) The use of identical building materials on all sides of a building that are visible from public streets is encouraged.
- (c) For developments with multiple buildings, a palette of options for exterior building colors for use throughout the site should be established. The range should be wide enough to allow for variety, yet narrow enough to unify all the buildings on a site.
- (d) Metal siding is strongly discouraged except for industrial buildings or for facades not facing public areas such as streets or parking areas.

Comments: The changes are an improvement to the look of the building and have made the business less hidden to the public. This is generally compatible with the downtown area. However, any future changes need to be approved by the city prior to initiating the construction.

Options: The Board can approve a certificate of appropriateness as presented or with changes. Or, the Board can deny the proposal.

CITY OF STURGEON BAY

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

APPLICATION FOR **CERTIFICATE OF APPROPRIATENESS**

Name: Zoerb's Paint + Decorating

Owner of Premises: Tom Coltrin

Address or Legal Description of Premises:

49 S. Madison Ave

Statement of Specific Item Requested for Approval:

Restoring Building Back to
original condition

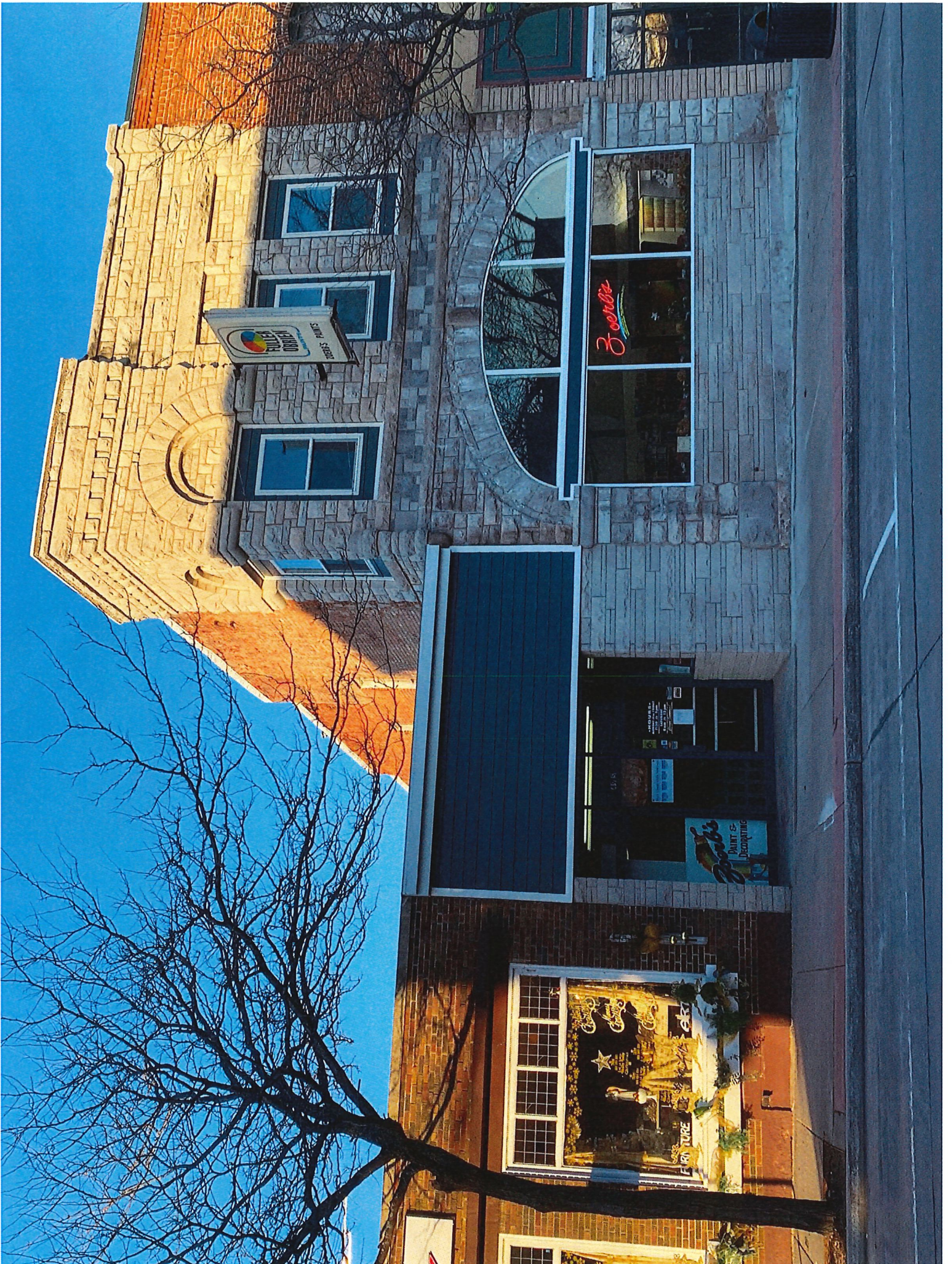
11-19-20
Date

Tom Coltrin
Applicant

Date Received: _____

Staff Signature: _____

Date Approved/Denied: _____



Google Maps 49 Ice Age National Scenic Trail



Image capture: Aug 2019 © 2020 Google

Sturgeon Bay, Wisconsin



Street View



Google Maps 59 Ice Age National Scenic Trail



Image capture: Aug 2019 © 2020 Google

Sturgeon Bay, Wisconsin



Street View



INTENSIVE SURVEY FORM Historic Preservation Division State Historical Society of Wisconsin

City, Village or Town: 1 Sturgeon Bay		County: Door	Surveyor: PHA/Kriviskey		Date: 25 June 82	Street South Madison		
Street Address: 49 South Madison Avenue			Legal Description:		Acreage:			
Current Name & Use: Warner's Grocery			Current Owner:					
Film Roll No. DR 21			Current Owner's Address:					
Negative No. 16a			Special Features Not Visible In Photographs:			Number 49		
Facade Orient. E								
Original Name & Use: 2 Bank of Sawyer			Source A	Previous Owners	Dates By 1911	Uses Bank	Source A	Town
Dates of Construction /Alteration 1904-1911			Source A		By 1919	Grocery	A	
Architect and/or Builder: Unknown			Source					Range
3 Architectural Significance <input type="radio"/> Represents work of a master <input type="radio"/> Possesses high artistic values <input type="radio"/> Represents a type, period, or method of construction <input type="radio"/> Is a visual landmark in the area <input type="radio"/> Other: _____ <input checked="" type="radio"/> None				4 Historical Significance <input type="radio"/> Assoc. with lives of significant persons <input type="radio"/> Assoc. with significant historical events <input type="radio"/> Assoc. with development of a locality <input type="radio"/> Other: _____ <input checked="" type="radio"/> None				Section
Architectural Statement: This stone fronted building is of local grey limestone set as uncoursed ashlar. Only the upper story of the street facade is now visible, however, as the storefront has been completely remodeled. A corner tower is implied and here the windows are topped with semicircular arches. The tower was once topped with a battlement which has since been removed. (B) This is the only example in the city where this limestone has been set other than as coursed ashlar and where both light and dark grey stone are mixed. It is likely that this building used stone of lesser (or later) quality than other buildings such as				Historical Statement:				
5 Sources of Information (Reference to Above) A Sanborn Perris Maps of Sturgeon Bay 1904-1911 B Photographs - SHSW Iconographic Collection C D E F				6 Representation in Previous Surveys <input type="radio"/> HABS <input type="radio"/> NAER <input checked="" type="radio"/> WIHP <input type="radio"/> NRHP <input type="radio"/> landmark <input type="radio"/> other: _____				Map Name Sturgeon Bay
				7 Condition <input type="radio"/> excellent <input checked="" type="radio"/> good <input type="radio"/> fair <input type="radio"/> poor <input type="radio"/> ruins				
				8 District: _____ <input type="radio"/> pivotal <input type="radio"/> contributing <input type="radio"/> non-contributing initials: _____ date: _____				
				9 Opinion of National Register Eligibility <input type="radio"/> eligible <input checked="" type="radio"/> not eligible <input type="radio"/> unknown <input type="radio"/> national <input type="radio"/> state <input type="radio"/> local initials: _____				
								Map Code (68) 21-16a



Architectural Statement: (Continued)

215 North Third. Despite the major modifications, this building is of some architectural interest because of its stonework.



© All Pictometry

04/25/2015

Location Map - Zoerb's Paint and Decorating



Date: 12/10/2020

1 inch = 40 feet

 49 S Madison Ave
 Parcels





MEMO

To: Aesthetic Design and Site Plan Review Board
From: Christopher Sullivan-Robinson
Date: December 14, 2020
Subject: 1019 Egg Harbor Rd – Application Review

The applicant has requested the Board approve a certificate of appropriateness for the façade and site improvements to the former Save A Buck building located at 1019 Egg Harbor Rd. The improvements include painting the exterior of the building black and grey, and installation of two new doors with black canopy structures. The existing bollards and rails will be maintained and painted. In addition, approximately 96,000 square feet of parking lot will be blacktopped with painted parking spaces. The parking lot lighting will be maintained. No building lighting is shown on this plan. The signage will be brought back for review at a future meeting. There is no change to vehicle access or circulation.

Options: The Board can approve a certificate of appropriateness as presented or with changes. Or, the Board can deny the request.

Comments: This work on the exterior is fairly minor. A lot of the mechanical equipment that sticks off the front façade appears to get removed. Staff recommends that any existing and new light be downward directed and contained within the site so that excess lighting does not spillover onto neighboring properties. Signage will need to be approved by the Board or Chairman depending on the complexity of its design.

CITY OF STURGEON BAY

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

APPLICATION FOR **CERTIFICATE OF APPROPRIATENESS**

Name: VIRLEE GUNWORKS

Owner of Premises: 1023 LLC

Address or Legal Description of Premises:
1019 EGG HARBOR ROAD

Statement of Specific Item Requested for Approval:

REPAINT, DE-CLUTTER FRONT FACADE
OF SAVE-A-BUCK BUILDING.
ADD NEW ENTRY TO ACCENTUATE
FRONT MAIN ENTRY DOOR FOR
A IN DOOR SHOOTING RANGE
AND GUN STORE

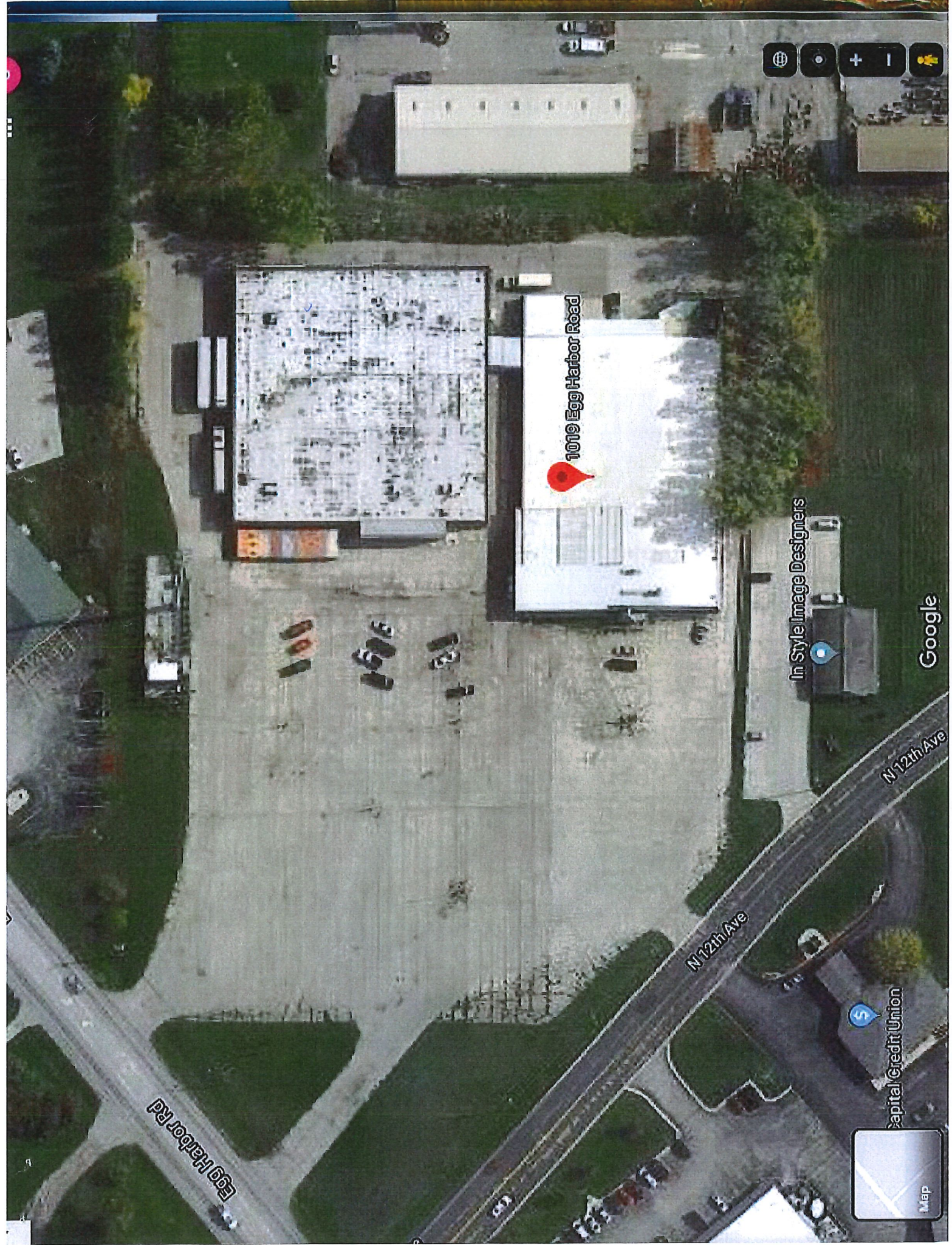
12-9-2020
Date

Dave Phillips
Applicant

Date Received: _____

Staff Signature: _____

Date Approved/Denied: _____



1019 Egg Harbor Road

In Style Image Designers

Google

Egg Harbor Rd

N12th Ave

N12th Ave

Capital Credit Union



BAYLAND
BAYLAND BUILDINGS
723 S. 54th ST. SUITE 100
OMAHA, NE 68105
TEL: 402.466.2000 FAX: 402.466.2003
WWW.BAYLANDBUILDINGS.COM
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
19-0975
CITY, WISCONSIN; COUNTY OF:

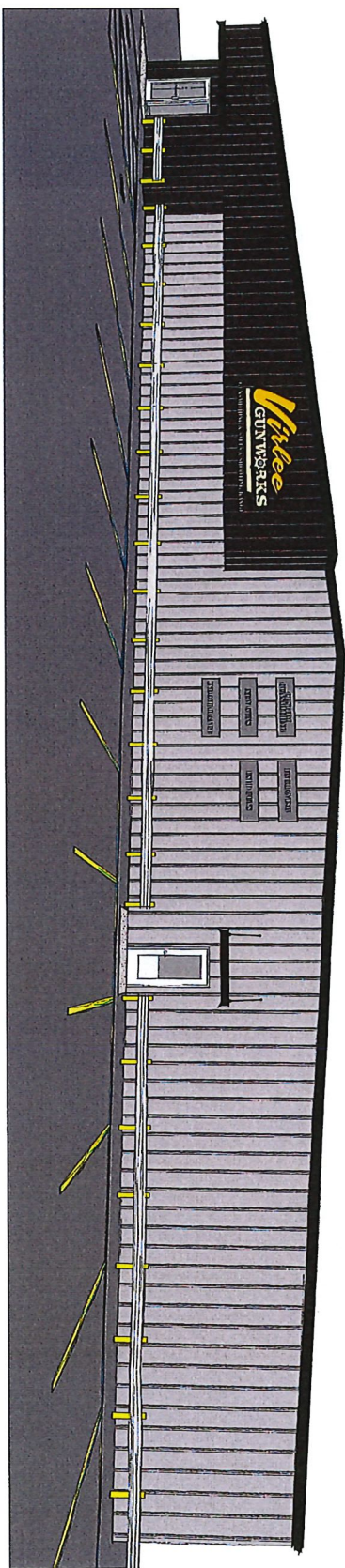
SCALE VERIFICATION



THIS SCALE BAR IS FOR VERIFICATION PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE SCALE BAR IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE SCALE BAR IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE SCALE BAR IS NOT TO BE USED FOR ANY OTHER PURPOSE.

JOB NUMBER:
PROJECT: DAVE PHILLIPS
EXECUTIVE: [202] 509-2590
DRAWN BY: DPO
DATE: 12-8-2020
REVISIONS:

1/A2.0 PERSPECTIVE VIEW

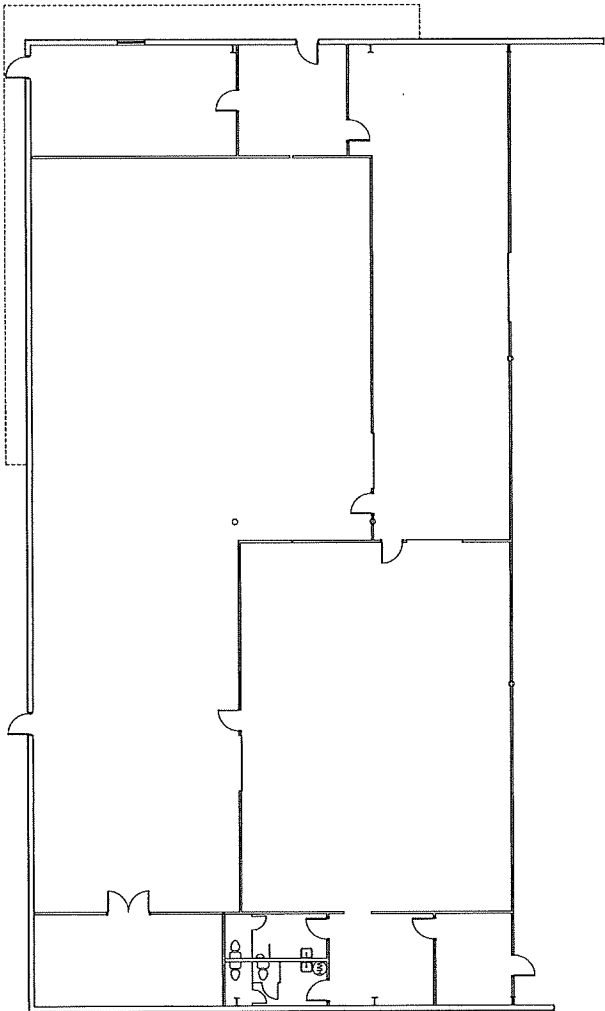


ISSUED FOR: CHECKED DATE:
☒ PRELIMINARY B1:

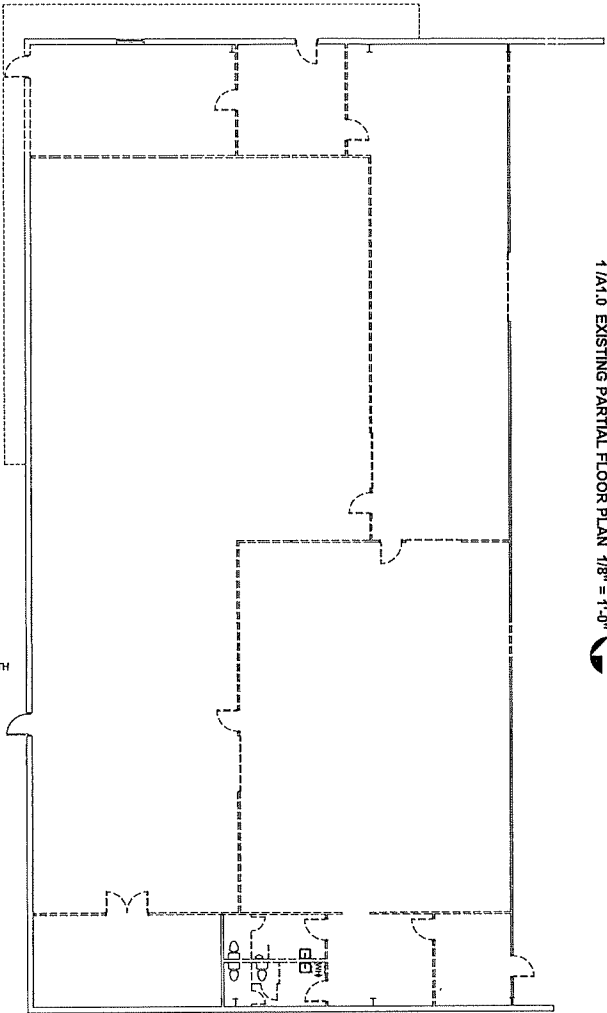
☐ BO SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

PROPOSED FRONT ELEVATION

A2.0



1/A1.0 EXISTING PARTIAL FLOOR PLAN 1/8" = 1'-0"



2/A1.0 DEMO PARTIAL FLOOR PLAN 1/8" = 1'-0"



BAYLAND
BAYLAND BUILDINGS
P.O. BOX 15071 GREEN BAY, WI 54307
(920) 498-5500 FAX (920) 498-5585
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
19-0975
CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION
1" = 1'-0"

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF BAYLAND BUILDINGS. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THESE PLANS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF BAYLAND BUILDINGS IS STRICTLY PROHIBITED. BAYLAND BUILDINGS ASSUMES NO LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THESE PLANS OR SPECIFICATIONS. THE USER ASSUMES ALL LIABILITY FOR THE PROPER USE AND INTERPRETATION OF THESE PLANS AND SPECIFICATIONS.

JOB NUMBER:
PROJECT:
EXECUTIVE: DAVE PHILLIPS
(920) 506-2586

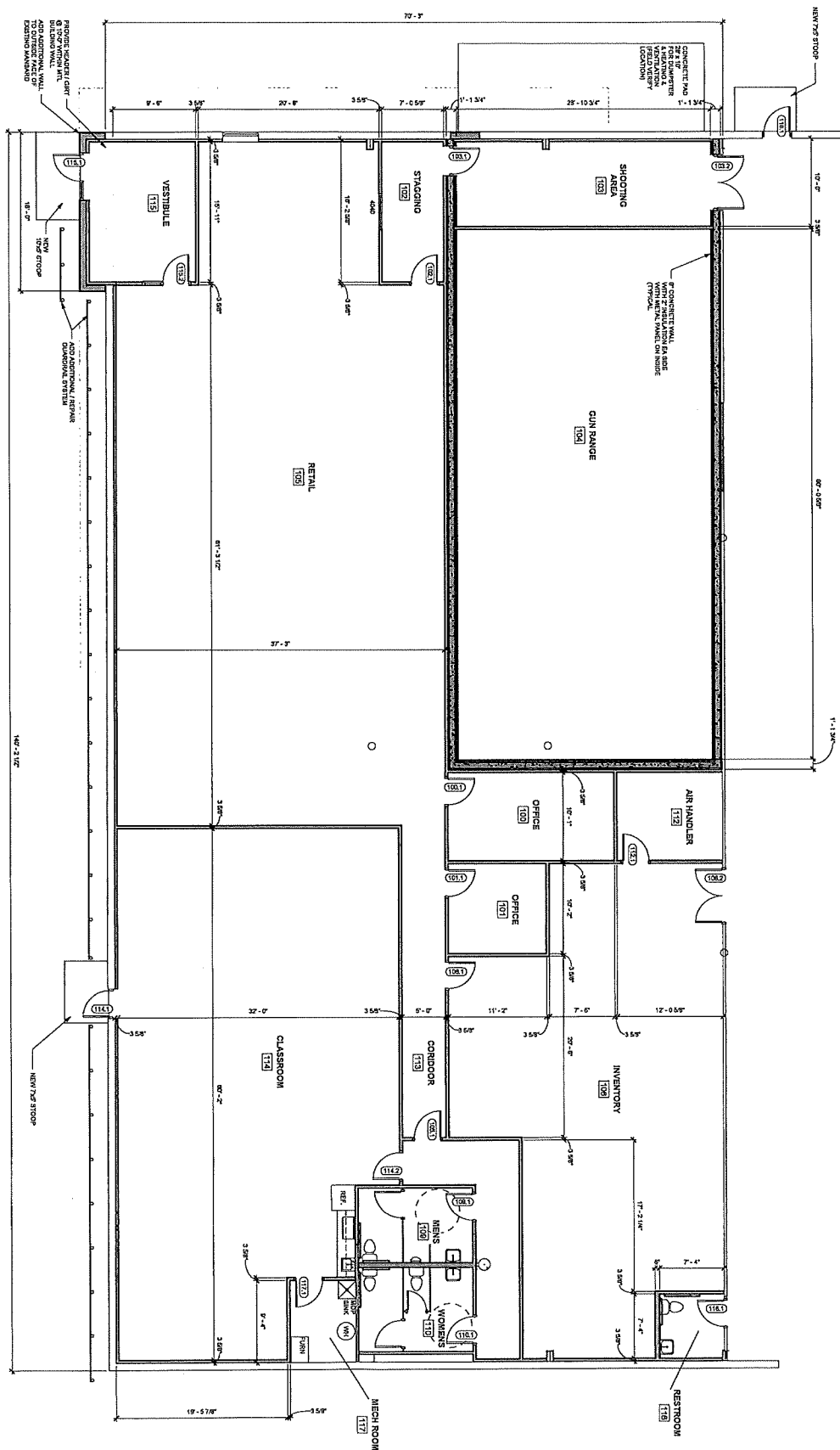
DRAWN BY: DPO
DATE: 12-8-2020
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☒ PRELIMINARY
☐ SET
☐ DEMO REVIEW
☐ CHECKLIST
☐ CONSTRUCTION

EXISTING / DEMO FLOOR PLAN

A1.0



BAYLAND
BAYLAND BUILDINGS
P.O. BOX 15871 GREEN BAY, WI 54307
(920) 833-1111
www.baylandbuildings.com
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
19-0975
CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

NOT TO SCALE

JOHN NUMBER:
PRO. ACT: DAVE PHILLIPS
EXECUTIVE: (626) 508-5280
DRAWN BY: DPO
DATE: 12-8-2020
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

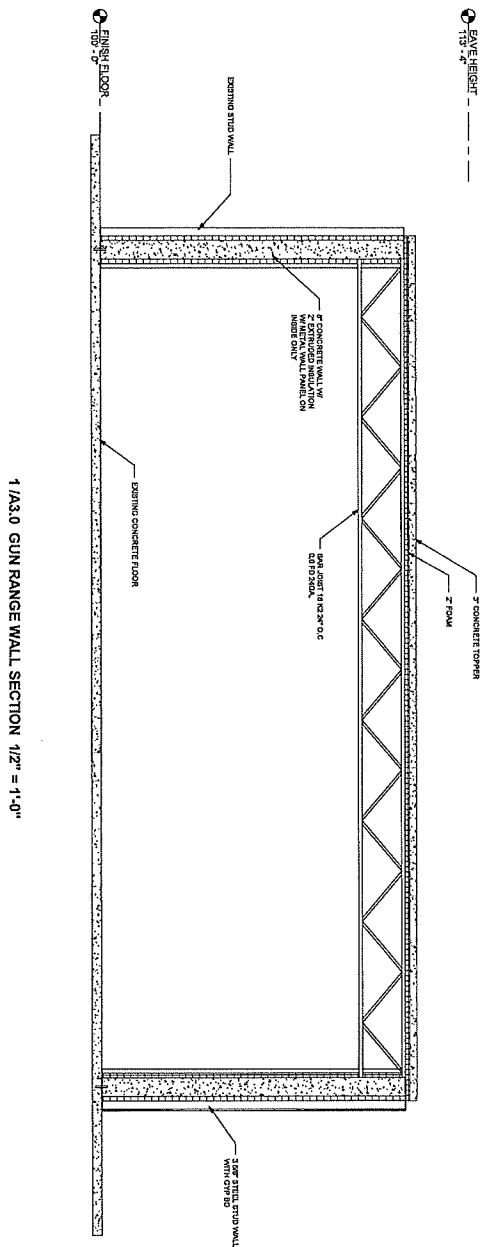
- ☒ PRELIMINARY
- ☐ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

PROPOSED FLOOR PLAN

A1.1

1/4"=1' PROPOSED PARTIAL FLOOR PLAN 3/16"=1'-0"





CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

APPROX. 7' 2" x 4 1/2" x 1 1/2" (18 cm x 11 cm x 4 cm)

NOTES OF COMPANY
THESE PLANS ARE SUBMITTED AND ARE SUBJECT TO

CONSIDER PROTECTION AS AN "ADDITIONAL" STEP WITHIN THE
MFC 100 OR THE CONSENT ACT, IF U.S.A. AS A MEMBER
PROVIDES THAT AS A MEMBER AS A MEMBER (U.S.A. MEMBER)
CONSIDER PROTECTION ACT OF 1996, THE PROTECTION

includes but is not limited to the physical, mental and emotional health and comfort of the animal and the safety of the handler. When such protection, maintenance and the physical well-being of the animal are not the primary purpose of the activity, the animal is not to be used.

ADMINISTRATIVE, 6000 CALIFORNIA AVE., SUITE 100, THE CORPORATION OF CONSTRUCTION OF BUILDINGS, 1000 WEST 10TH AVE., SUITE 100, COVINGTON, LA 70022-1000. (504) 835-1000. FAX (504) 835-1001. E-MAIL: info@bldg.org.

JOB NUMBER: _____

PROJECT _____

EXECUTIVE:
DAVE PHILLIPS
(202) 309-2580

DRAWN BY: DPO

DATE: 12-8-2020

REVISIONS:

CONCLUSIONS

ISSUED FOR: CHECKED DATE: BY:

☒ PRELIMINARY

☐ BIO GET

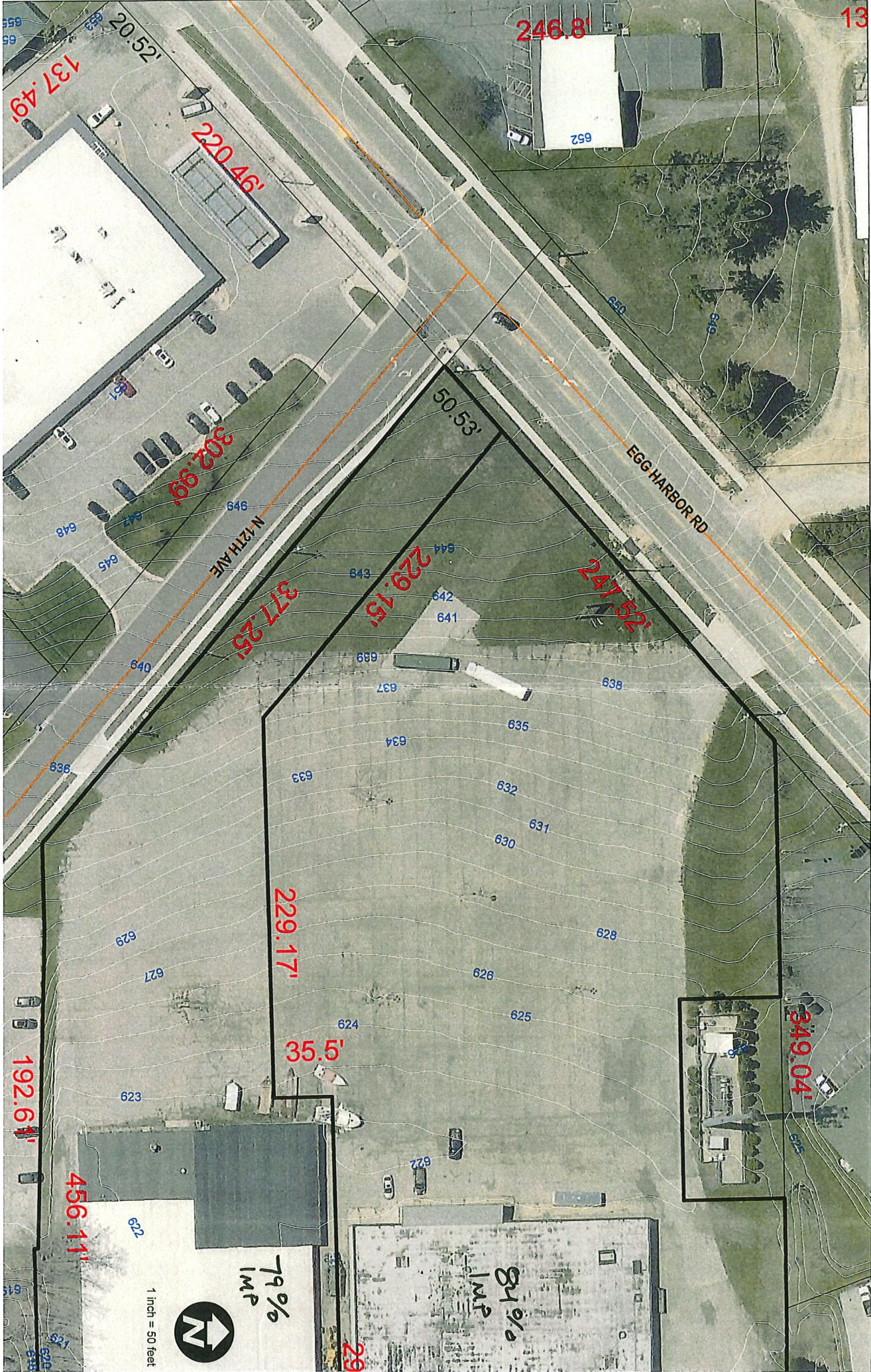
☐ DESIGN REVIEW

☐ CHECKLIST

☐ CONSTRUCTION

BUILDING SECTIONS

A3.0



137.49'

220.46'

246.8'

13

302.99'

377.25'

229.15'

247.52'

50.53'

EGG HARBOR RD

N 12TH AVE

229.17'

35.5'

349.04'

192.61'

456.11'

1 inch = 50 feet



79%
IMF

84%
IMF

29

EXISTING





MEMO

To: Aesthetic Design and Site Plan Review Board

From: Christopher Sullivan-Robinson

Date: December 14, 2020

Subject: Northeast Corner of S. 16th Place and Texas Place – Application Review

The applicant requests approval from the Board to allow the construction of a single-family dwelling with a 3/12 roof pitch. The committee does not typically review single-family or two-family residential projects except if they request less than a 4/12 pitch. This minimum roof pitch requirement was created along with several other general design requirements to restrict certain types of manufactured homes that are generally not compatible and undesired in most residential zones. Attached is the general design requirements. There are no set standards for how to review roof pitches. The last time the Board reviewed a roof pitch request, it was based off of the roof pitches in the surrounding neighborhood to assess compatibility. Below is a list of roof pitches found in that area.

Roof Pitches		
Superior Street		
	1607	6/12
	1619	4/12
	1620	4/12
Texas Place		
	1609	4/12
	1618	4/12
	1619	4/12
	1628	4/12
	1629	10/12
	1639	4/12
	1640	5/12
	1648	4/12
	1667	6/12
S 16th Place		
	624	5/12
S 17th Place		
	727	7/12

Options: The Board can approve the request as presented or with conditions. Or, the Board can deny the request.

CITY OF STURGEON BAY

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

APPLICATION FOR **CERTIFICATE OF APPROPRIATENESS**

Name: Thomas & Pamela Sadowske

Owner of Premises: Door Cty Habitat for Humanity

Address or Legal Description of Premises:

S. 16th Place and Texas Place

Statement of Specific Item Requested for Approval:

We request a variance for a 3/12
pitch roof.

12/2/2020

Date

Thomas Sadowske
Applicant Pamela Sadowske

Date Received: _____

Staff Signature: _____

Date Approved/Denied: _____

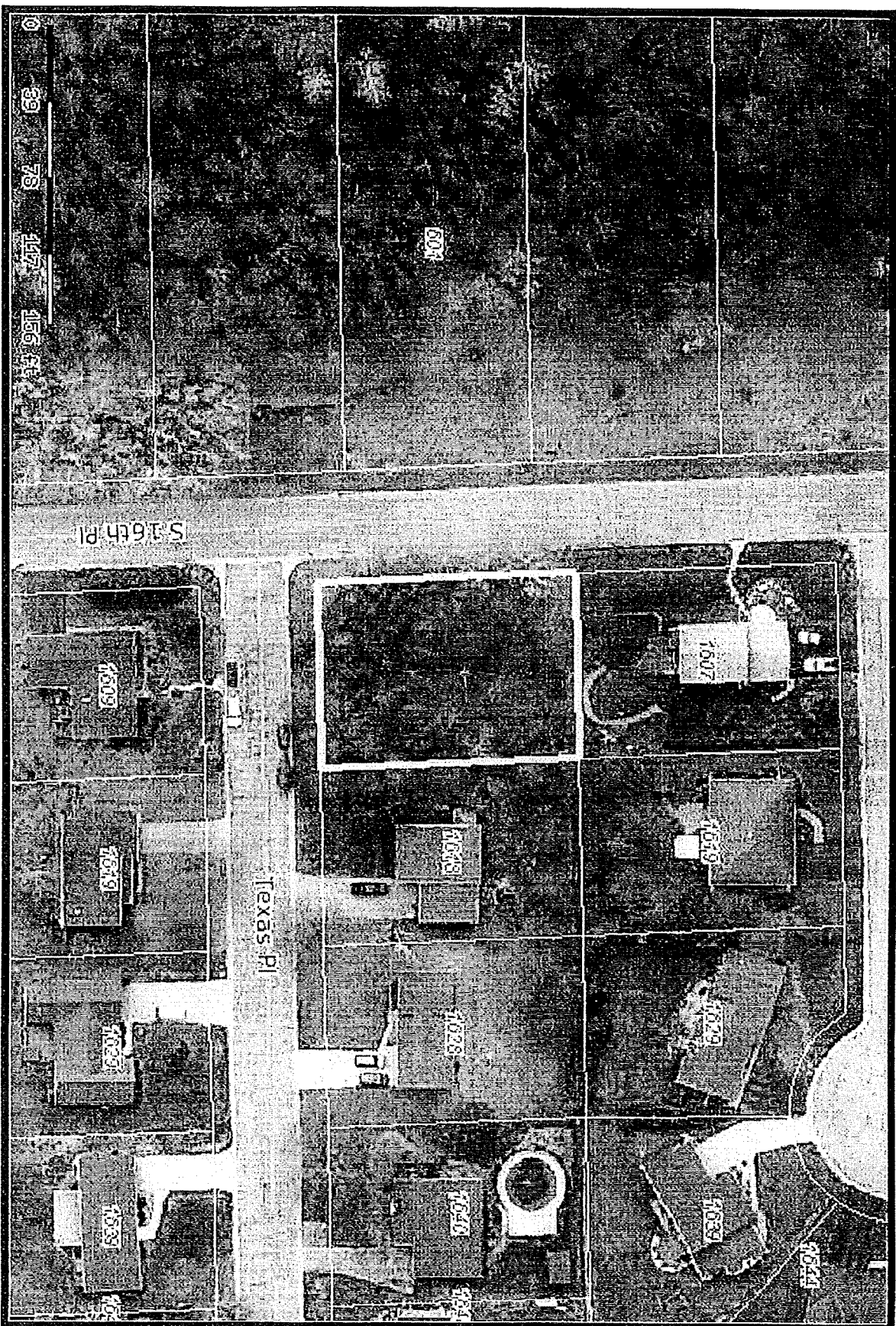


Printed 12/15/2015 courtesy of Door County Land Information Office

... from the Web Map of ...
([//www.co.door.wi.gov](http://www.co.door.wi.gov))



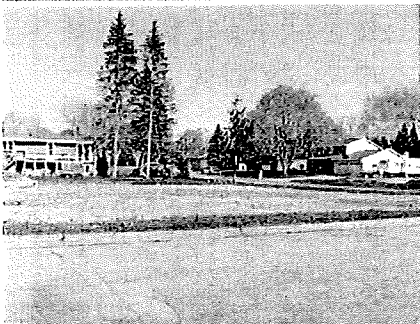
**Door County, Wisconsin
... for all seasons!**



Don't forget you can not avoid not finding any representation regarding the accuracy or completeness, nor the source, nature, or timeliness of information depicted on this map. The information provided is based on the best of the information currently available. The use of this information assumes any and all risks associated with this information. Don't County makes no warranty, representation, either explicit or implied, as to the accuracy, completeness, or fitness for a particular purpose of this information. The Web Map is only a sample location of information and is NOT to be considered a legally recorded map or a legal land survey to be relied upon.

MLS #: A135588A (Active) List Price: \$19,000

S. 16th Pl Sturgeon Bay, WI 54235



Original List Price: \$19,000
 Active Status: Active
 Apx Acreage: 0.31
 Type: Inland

Days on Market 2
 MLS Area: 11-Sturgeon Bay E
 County: Door
 School District: Sturgeon Bay

Tax Parcel #: 2812411041500

Tax Amount: 0.00

Tax Year: 2019

Use Value Tax: No

Apx Lot Size: 100 x 135

Restrictive Covenants: No

Apx Shore Footage: 0

Shore Easement: No

Apx Road Frontage: 235

Zoning: R-1

Addl Info: Corner of S. 16th Place & Texas Place

Elec/Rd: Yes

Gas/Rd: Yes

WtrAtRd: Yes

SwrAtRd: Yes

Survey: Yes

Condo: No

Condo Assoc Fee : 0.00

Project Apx Acre: 0

Unit Apx Acre: 0

Documents On File: Survey

Showing Instructions: Call Listing Agent, Show Anytime

Owner's Legal Name: Door County Habitat for Humanity

Description/Topography: Corner Lot, Level

Improvements: Electric On Site, Public Water, Public Sewer

Views: Neighborhood View

Improvements: No

Access: City Street

Directions: Take Michigan Street to S. 16th Place. Follow S. 16th Place to Texas Place. Subject property is on the Northeast Corner of S. 16th Place and Texas Place.

Remarks: Ready to build a house? This .31 acre Sturgeon Bay lot is ready to go! Located near the hospital and schools, it features natural gas, city sewer and water, electricity and cable TV. Plus it's in a very quiet area with a park across the street and very nice neighboring homes. Seller recently added fill to this parcel, making it all set for your new construction project.

List Date: 8/11/2020

Contingencies: No

Display on Internet: Yes

Display Address: Yes

Value Range Pricing: No

Limited Service: No

Distressed Property: Not Applicable

Comm S/B: 2.1

Comm B/B: 2.1

Electronic Consent: Yes

Allow AVM: No

Allow Comments: No

Listing Office: ERA Starr Realty (#:27)

Listing Agent: Robert Gray (#:47)

Office: (920) 743-4321

Agent Email: bobgray1@charter.net

Fax: (920) 743-0297

Mobile #: (920) 493-5670

Mail Address 1: PO Box 167

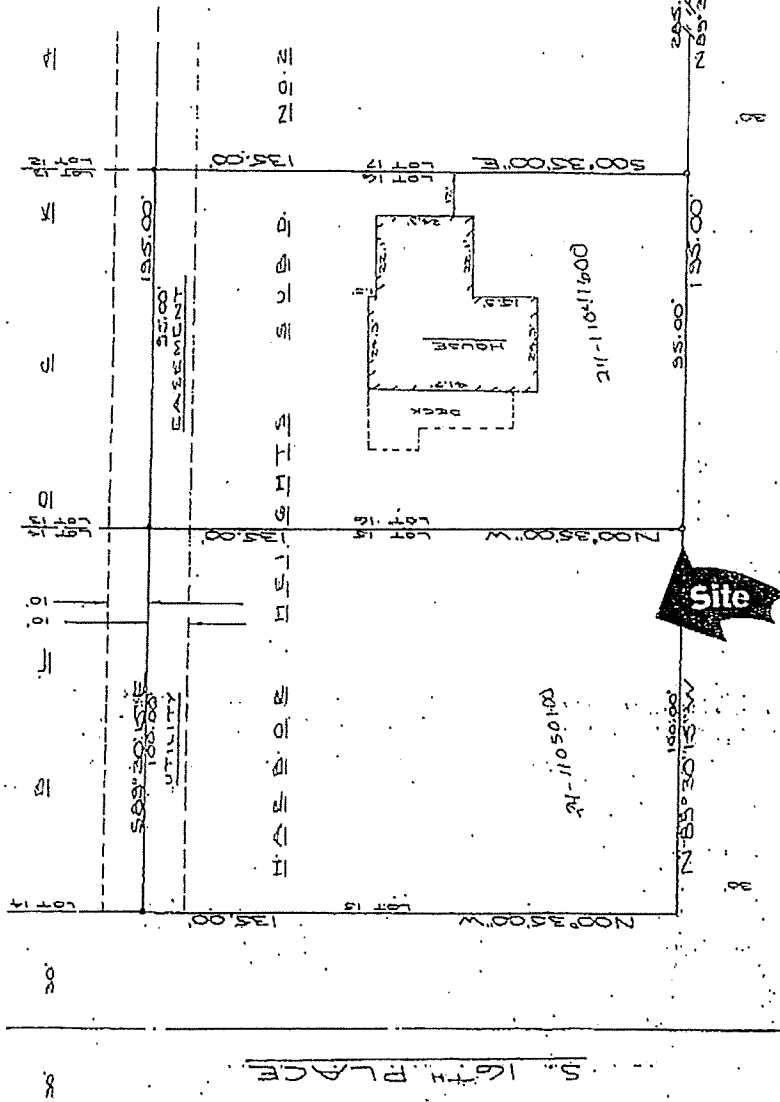
Mail City: Sturgeon Bay

Mail State: WI

Mail Zip Code: 542350167

Information Herein Deemed Reliable but Not Guaranteed

MLS #: A135588A



24-110-11-500
24-110-11-600

TEXAS PLACE

BLOCK 4 HARBOR HEIGHTS SUBDIVISION NO. 2
CITY OF STURGEON BAY

FOR
ELIZABETH BYLASKA-OWNER

BECK STURGEON BAY
LAND SURVEYORS
208 SO. 4TH AVE. STURGEON BAY
APRIL 11 1981 5:30 PM

015309

REC-1P-1001

Lot 15 and Lot 16, Block 4, Harbor Heights Subdivision No. 2, City of Sturgeon Bay.

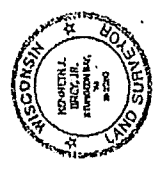
SURVEYOR'S CERTIFICATE:

I, Kenneth J. Ray, Jr., registered land surveyor for Gray - Sturgeon Bay, Wisconsin, do hereby certify that we have surveyed the property described and shown on this map to a true representation thereof and show the site and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and visible adjacent property lines.

This survey is made for the use of the present owners of the property and also those who purchase, mortgage or guarantee title thereon.

Dated 4-1-81

Kenneth J. Ray, Jr.
Kenneth J. Ray, Jr.
S. L. S. 5-250





North Country Homes, Inc.

110 Brooke Ct.

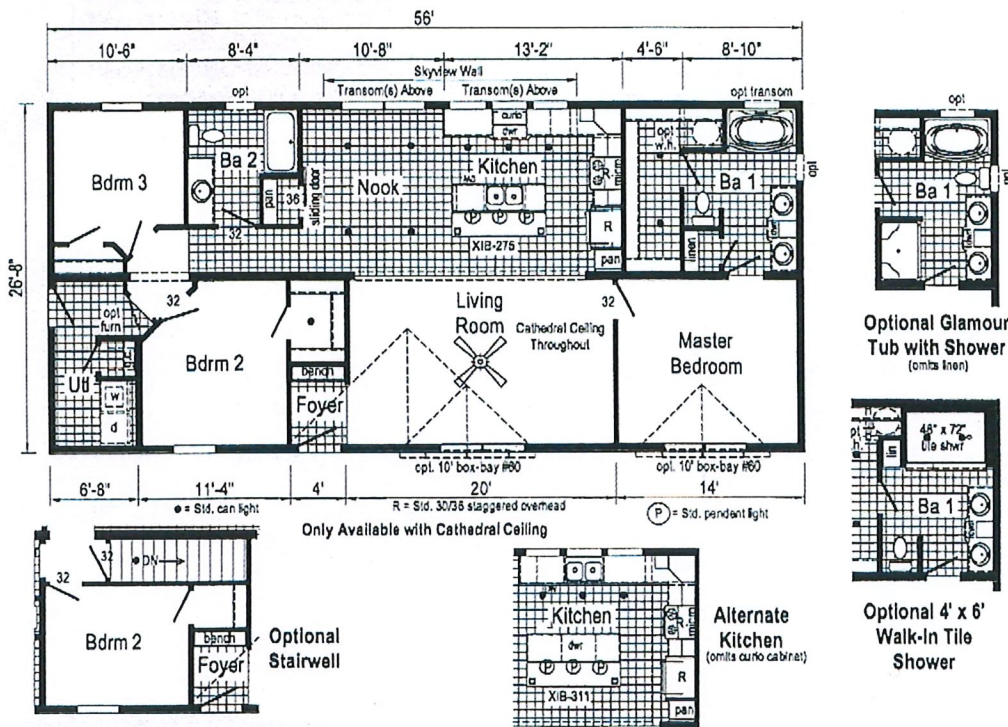
Bonduel, WI 54107

(715)758-7500

(715)758-7501 Fax

www.northcountryhomes.com

The Topeka

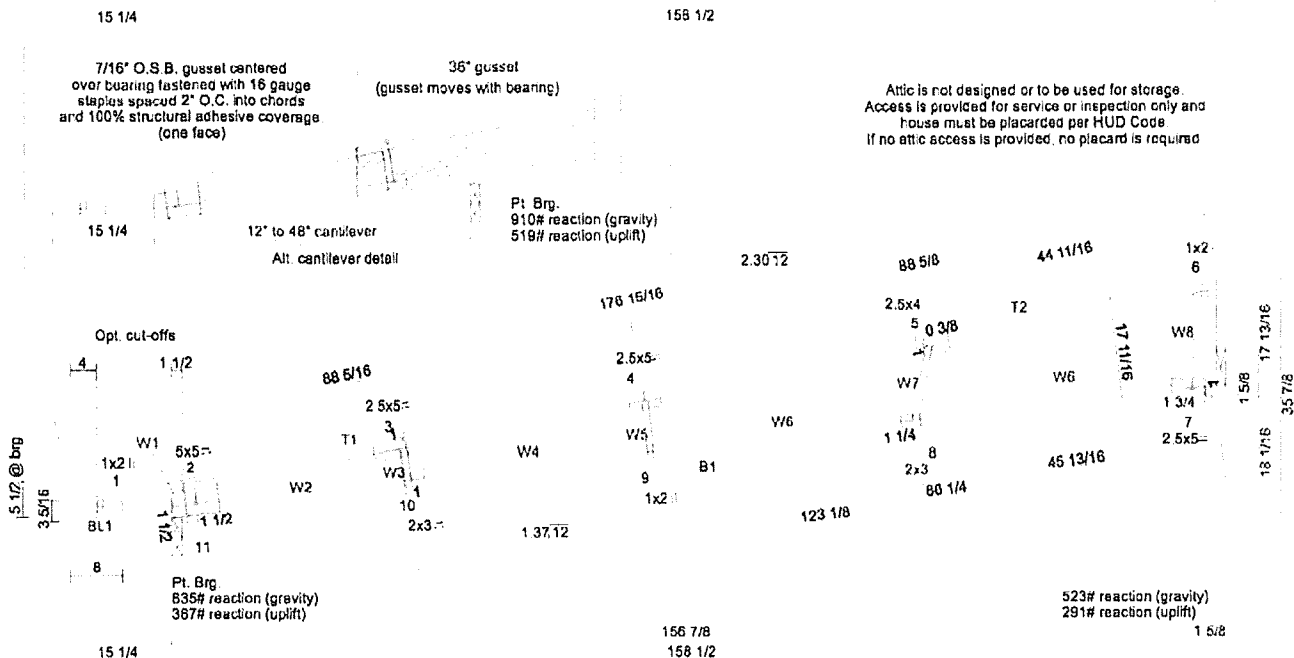


26' x 56'

1493 Sq. Ft.

OPTIONS IN OUR MODEL

- 50 Gallon Electric Water Heater
- 30" Cabinet and Wire Shelf over Laundry
- 9 Lite Fiberglass Door Replacing Standard
- 2 Clay Storm Doors
- Patio Door W/Vertical Blind-Dining room
- 24X36 Window in each Bathroom
- R-38 Ceiling Insulation
- R-21 Wall Insulation
- 16" Fixed Eave
- Upgraded Vinyl Siding
- 200 Amp Service
- Wind Wrap
- Carbon Monoxide Detector
- Sapphire Exterior Package
 - » Dormer Flush 10'
 - » 19'8" Peak Fixed
 - » 2 Front Exterior Patina Coach Lights
- Clay Package
 - » Clay Vinyl Windows and Doors
 - » Clay Soffit/Fascia/Trim
- Full Backsplash Linear Mosaic-Kitchen Range Wall only
- Cabinet Door over Panel Box
- 3 Total Exterior Receptacles; One at Each Door



SPACING	2-0-0	SPACING	1-4-0	PLATES
LOADING	(psf)	LOADING	(psf)	MT20
TCLL	30.0	TCLL	45.0	
TCDL	6.0	TCDL	9.0	
BCLL	0.0	BCLL	0.0	CODE:
BCDL	4.0	BCDL	6.0	Proof Load 1.75 (Hud Non-Destruct)

WIND ZONE I 2.5i 24\" O/C	WIND ZONE II 2.0i 16\" O/C
-9 PSF WL NET UPLIFT	-39 PSF WL
-22.5 PSF WL(EAVES)	-51 PSF WL(EAVE ONLY)
	6 PSF DL

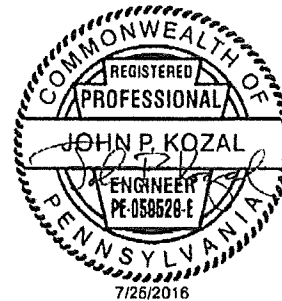
LUMBER-
 TOP CHORD H* 1-1/2 x 1-5/8 SPF Stud
 BOT CHORD H* 1-1/2 x 1-5/8 SPF No.2
 WEBS H* 1-1/2 x 1-0/16 SPF Stud *Except*
 W1,W8: H* 2x4 SPF Stud, W2: H* 1-1/2 x 1-5/8 SPF Stud
 OTHERS H* 1-1/2 x 1-5/8 SPF Stud

NOTES

- 1) Truss members shall not be cut, drilled, sliced, notched or otherwise altered without written approval of the design engineer.
- 2) Manufacturing Tolerances: +- 1/4" overall height, +- 1/4" overall length, +- 1" vertical post/diagonal placement, +- 1" vertical post/chord splice placement provided centerline of post is centered over the splice. Maximum allowable plate rotation +- 10 degrees plates. Size and/or grade of lumber must be equal to or greater than what is noted on print.
- 3) Top chord overhang and/or soffit block may be cut back to the heel of the truss. Overhang may be mfg. at any length up to the maximum shown.
- 4) All connector plates to be placed +/- 1/4". For 1x2 plates provide 4 teeth bite (min) into each member (per plate, per side).
- 5) For complete plate placement details, refer to the joint details published separately in design manager.
- 6) Field connections to secure the truss to other framing members are the responsibility of the home builder or others. Minimum bearing length is 1-1/2" unless noted otherwise.
- 7) Top and bottom chords to be equally cambered.
- 8) Chords & webs are to be certified from the specific grade & species of lumber noted above, per the 2013 UFP QC Manual sec. 4.1-4.9 and Appendix F.
- 9) This truss has been designed to meet MHCSS Sec. 3280.303, 3280.304, 3280.305, 3280.402 (Effective 1-13-2014). For HUD load cases on calculated designs, the snow load applied to the truss (TCLL) has not been reduced and is equivalent to the ground snow load indicated in the design loading box. For trusses qualified through full-scale testing, all loads, including any loading from field installed cap members shown on the design prints, have been considered during the qualification of the truss assembly.
- 10) (H*) H-data directory referenced for material.
- 11) Continuous lateral bracing or equivalent (i.e. roof sheathing, or drywall, etc.) required for top & bottom chords.



E-signed by John Kozal



WARNING - Verify design parameters and READ NOTES

This building component has only been designed for the loads noted on this drawing. Construction and lifting forces have not been considered. The builder is responsible for lifting methods and system design. Builder responsibilities are defined under section 2.3 & 2.4 of TPI-2007. This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication quality control, storage, delivery, erection and bracing, consult Building Component Safety Information - June 2011 from Wood Truss Council of America and Truss Plate Institute recommendation available from Wood Truss Council of America 6300 Enterprise LN Madison, WI 53719 J:\support\Mitek\Supplier\templates\ufp.tps

Universal Forest Products, Inc. 2801 EAST BELTLINE RD, NE
 PHONE (616)-364-8161 FAX (616)-365-0060 GRAND RAPIDS, MI 49525





Absolute Distribution Inc.

1-800-335-5909

150' = 4'

100'

33' Garage

DRIVE
Approx 28'

House

56'

Approx 35'
Side Lot

TEXAS



Map

Printed 12/10/2020 courtesy of Door County Land Information Office

... from the Web Map of ...
([//www.co.door.wi.gov](http://www.co.door.wi.gov))



Door County, Wisconsin
... for all seasons!



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