

**AGENDA**  
**CITY OF STURGEON BAY**  
**AESTHETIC DESIGN & SITE PLAN REVIEW BOARD**

Monday, November 8, 2021

6:00 p.m.

Council Chambers, City Hall  
421 Michigan St, Sturgeon Bay, WI

1. Roll call
2. Approval of agenda
3. Approval of minutes from October 25, 2021
4. Consideration of: Ground Sign for DC Cooperative located at 938 Egg Harbor Rd
5. Consideration of: Kwik Trip Development located at 1567 to 1629 Egg Harbor Rd and 1614 to 1636 Alabama St
6. Adjourn

*NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.*

Board Members:

Rick Wiesner

Jon Burk

Cheryl Frank

Kelsey Fox

Pam Jorns

Mark Struck

Dave Augustson

11/4/21  
2:05 p.m.  
CJ

AESTHETIC DESIGN AND SITE PLAN REVIEW BOARD  
Monday, October 25, 2021

The Aesthetic Design and Site Plan Review Board meeting was called to order at 6:01 p.m. by Chairperson Rick Wiesner in the Council Chambers, City Hall, 421 Michigan Street.

**Roll Call:** Members Rick Wiesner, Jon Burk, Kelsey Fox, Dave Augustson, and Pam Jorns were present. Excused was Cheryl Frank and Mark Struck. Also present were Planner/Zoning Administrator Christopher Sullivan-Robinson, Community Development Director Marty Olejniczak, and Police Assistant Candy Jeanquart.

**Adoption of Agenda:** Moved by Ms. Jorns, Seconded by Ms. Fox to adopt the following agenda.

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from October 11, 2021
4. Consideration of: Construction of a 98x40 Theater Building located at 917 N 14<sup>th</sup> Avenue
5. Consideration of: Pavilion / Office for Bay Marine located at 267 Nautical Drive
6. Consideration of: Ace Hardware Development located at 1227 Egg Harbor Road
7. Consideration of: Lexington Homes 14-unit Multiple Family Development located on east side of Grant Avenue
8. Adjourn.

All ayes. Carried.

**Approval of minutes from October 11, 2021:** Moved by Ms. Jorns, Seconded by Ms. Frank to approve all the minutes. **All in favor. Carried.**

**Consideration of: Construction of a 98x40 Theater Building located at 917 N 14<sup>th</sup> Avenue:** Mr. Sullivan-Robinson started by indicating just the building is being presented for approval, the parking lot, landscaping, signage, and lighting will be presented at a later date. Mr. Wiesner questioned if just the structure or also the siding. Mr. Sullivan-Robinson stated anything involving the building including siding.

Mr. Stuart Champeau indicated a new site plan is with their engineering department along with the landscaper. Mr. Champeau stated his main goal is to get the cement slab completed with the change in weather approaching. Mr. Champeau is looking for feedback from the committee as to what they are looking for. At this time there will be brick sod on the front and cedar hedges down the side. Mr. Wiesner is concerned about how the building is going to look in 5-20 years and making sure it fits the city / surrounding neighborhood. Mr. Wiesner would like to see more life to the front with natural products or turning the steel in another direction. Mr. Champeau suggested covering the front with brick or natural siding. Mr. Struck stated the structure is pretty much a pole building which is discouraged in the city. Mr. Champeau stated the colors are matching in the ADRC building and the structure is similar to the building near by the city utilizes. Mr. Struck suggested more of an architectural metal instead of a barn. Ms. Fox would like to see more natural materials or bringing the stone all the way up instead of a pole barn look. Mr. Struck indicated the shape of the building is acceptable, just the materials need to change. Ms. Fox questioned the colors, in which Mr. Champeau is in the design plan showing the roof antique bronze. Ms. Jorns asked for Mr. Champeau to bring in material samples at the next presentation. Mr. Struck suggested front of the building be more presentable and working with the architect to make that happen.

Ms. Jorns made a motion to accept the foundation as presented, however needs to come back with materials for approval. Seconded by Mr. Struck. All in favor. Carried.

**Consideration of: Pavilion / Office for Bay Marine located at 267 Nautical Drive:** Mr. Sullivan-Robinson stated Mr. John Borkovetz is here representing Bay Marine. Looking to build a 71x57 pavilion building as well as redoing the site, parking lot and landscaping. Located by the Yacht Harbor / apartments and Yacht Club. The new building will have office area, new bathroom facilities and pavilion space. This building



needs to meet floodplain regulations and may need a variance for the filling around the building. As for the signage, nothing specific has been presented at this time and should be brought back at a later date. Major difference between the two designs presented is the gable end shows two different material styles of shank shingles and metal siding, the building has horizontal siding with stone veneer on the front of the building. No lighting plan has been provided so, this should be reviewed at a later date.

Mr. John Borkovetz representing Matt and Mark Felhofer. Mr. Borkovetz indicated they are looking to get the foundation completed before the winter weather and anticipates the project will be completed by Memorial Day weekend. The building will be built on a floating slab. The purpose for the buildings is provide bathroom facilities for the boaters and provide a gathering room/reception area. Sidewalks will be constructed around the perimeter of the building, there will be down lights just around the building but no parking lighting. Existing light along the docks will be upgraded to LED. The building will have grey horizontal siding with pewter grey shingles on top. The entry ways will have gable ends with a shake shingle with metal and white baton. The back of the building will have a covered pavilion which will lead pool area and other outdoor amenities. Struck inquired on what kind of stone will be used, in which Mr. Borkovetz stated he is leaning away from the stone due to being too heavy of a look. There will be stone on the base of the pillars in the front of the building but not on the building itself. Mr. Wiesner asked if the bathrooms will be open to the public, Mr. Borkovetz indicated there will be a key pad and not open to the public. Mr. Struck questioned the drainage, Mr. Sullivan-Robinson stated the project complies with the Stormwater management rules per the City Engineer Chad Shefchik.

Mr. Wiesner questioned trees by the water. Mr. Sullivan-Robinson stated no specific rules. Mr. Olejniczak stated parking lot landscaping is to help break up large amounts of asphalt and provide visual interests. Would only be applied with the increase of passes. Mr. Borkovetz stated there will be 95 parking spaces and 80 slips which is similar to current amounts. Mr. Borkovetz stated there will be green added than taking away. Mr. Wiesner suggested minimizing the size of the tree and not a large tree that will bloom out. Mr. Borkovetz stated the landscaper didn't specify yet, but more like the trees on 3<sup>rd</sup> Avenue. Mr. Borkovetz stated can come back with the landscaper.

Mr. Wiesner likes the project and suggests the stone be similar to the other buildings with stone. Mr. Borkovetz would like to see the stone only on the posts. Mr. Struck suggested when coming back with the landscaping presentation to bring a sample of the stone at that time.

Mr. Struck made a motion to approve project as presented with the exception of landscaping plan, signage, and stone to be approved at a later date. Seconded by Ms. Jorns. All in favor. Carried.

**Consideration of: Ace Hardware Development located at 1227 Egg Harbor Road:** Mr. Sullivan-Robinson explained Ms. Amy Labotte and designer Mr. Richard Fisher are looking to do new construction at former Bank Mutual property. The development will include a 250 ft x 120 ft building with an 80-stall parking lot. The existing building and parking lot will be removed, with exception of the driveways. Storm water management is currently being reviewed by Mr. Chad Shefchik and still needs to be approved.

Mr. Wiesner questioned if the color scheme is as shown in the plans, Ms. Labotte confirmed stating premium copper and not ACE red.

Mr. Fisher indicated that there is a 13-foot-wide sidewalk to keep everything neat and organized. Canopies were added to break the scale down over the sidewalk. Tried bringing scale of the building down as much as possible and squared off the front of the building. No other signage is proposed on the building. Mr. Struck asked if the ACE sign is back lit, Ms. Labotte explained similar to the current building signage which is LED. Mr. Fisher stated also be a pole sign out by the road located by the light pole and would like to see a two-pole metal post sign. The signage will be presented at a later date.

Mr. Struck questioned if the posts in front of the building are metal or wood. Ms. Labotte stated under the canopy in the front of the building will be pellets of mulch, stone, sand, and salt so the poles are steel impact resistant for fork lift driver. Mr. Struck questioned the color of the poles, Ms. Labotte and Mr. Fisher

confirmed bronze. Mr. Struck questioned the stone and canopy, Ms. Labotte stated the stone color as shown and canopy will be metal bronze like windows and doors.

Mr. Sullivan-Robinson stated questions the amount of metal exterior. Mr. Olejniczak questioned if additional signage would be considered. Ms. Labotte stated brands are ever changing and wanted to keep the current design as simple as possible.

Mr. Struck questioned raising the canopy pitch to 4x12 to hide some of the metal. Mr. Fisher presented a version of the pitch raised which the committee like better. Mr. Wiesner thought the metal building was appropriate for the purpose of the building.

Mr. Wiesner questioned if the lighting will be shielded, Ms. Labotte confirmed.

Mr. Mark Struck made a motion to approve as presented with colors and a 4x12 pitch. Seconded by Ms. Jorns. All in favored. Carried.

**Consideration of: Lexington Homes 14-unit Multiple Family Development located on east side of Grant Avenue:** Mr. Wiesner questioned the location of the new complex. Ms. Michelle Stempson, Lexington Homes, stated acquired the parcel next to the current Harbor Ridge complex and will build duplicate right next to that. Mr. Sullivan-Robinson stated Ms. Stempson received a conditional use approval from the Plan Commissions for this use. The pond was designated to the city.

Mr. Wiesner questioned if new complex will mimic the current complex, Ms. Stempson stated identical. Ms. Jorns questioned if the material and colors will mimic also, Ms. Stempson confirmed. Mr. Wiesner questioned a neighbor complaint with the first complex and is there concern with the new one. Mr. Olejniczak stated no concerns since.

Mr. Olejniczak indicated this project will have own storm water plan.

Mr. Wiesner questioned if the original 14-unit complex is full, Ms. Stempson confirmed. Mr. Olejniczak stated there was question why only one driveway and dumpster, however was approved as is by Planned Commissions. Mr. Wiesner questioned no direct access to the road from this complex, Ms. Stempson confirmed as the units will be emerged as one with one driveway access.


Mr. Struck questioned the landscaping plan. Ms. Olejniczak and Ms. Stempson stated matching the existing one with street trees every 50 feet, three canopy trees.

Mr. Wiesner questioned materials will be identical, Ms. Stempson confirmed with exception of lack of supplies. Ms. Stempson stated windows are 14-16 weeks out. Mr. Wiesner questioned any concerns with the cultured stone, Ms. Stempson stated a few but that's Dutch quality and working with another vender. Ms. Jorns questioned the timeline of this project, Ms. Stempson anticipates 11 months with hoping to get the foundation in this year. Ms. Stempson stated this building each unit has own hot water heater, furnace, central air and garage. Mr. Wiesner asked if marked rate, Ms. Stempson confirmed with one bedroom at \$925 up to \$1300 on end units. Mr. Olejniczak asked the demographics, Ms. Stempson stated a mixture.

Ms. Jorns made a motion accept as presented. Seconded by Mr. Struck. All in favored. Carried.

**Adjourn:** Moved by Ms. Jorns, seconded by Ms. Frank to adjourn. All ayes. Carried. The meeting adjourned at 7:31 p.m.

Respectfully submitted,



Candy Jeanquart  
Police Assistant



Christopher Sullivan-Robinson  
Planner/Zoning Administrator  
421 Michigan Street  
Sturgeon Bay, WI 54235



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Website: [www.sturgeonbaywi.org](http://www.sturgeonbaywi.org)

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# MEMO

To: Aesthetic Design and Site Plan Review Board  
From: Christopher Sullivan-Robinson  
Date: November 3, 2021  
Subject: Ground Sign Review – 938 Egg Harbor Rd

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Door County Cooperative is requesting approval for the siting and design of a multi-tenant ground sign at their 938 Egg Harbor Rd. The sign will be located within the existing parking lot closer to the west lot line. The overall size excluding the base is 97.3 square feet with an overall height of 20 feet. There will be 4 different tenant panel sections with 32 square foot electronic variable message sign below. This is an internally lit sign; however, the signs are shown with opaque backgrounds. The design and location comply with the sign code chapter.









505 LAWRENCE DR. DE PERE, WI 54155  
920.336.8900 CREATIVESIGNCOMPANY.COM

Company Inc

CLIENT: DOOR COUNTY COOP

LOCATION: 938 EGG HARBOR RD STURGEON BAK, WI

DRAWN BY: TIMOTHY P

SALESPERSON: KELSY H

DATE: 10/01/21

DESIGN #: D19032

PAGE: 1.2

REVISION LOG: INTL DATE DESCRIPTION

TP 10/04/2021 CU-OP LOGO

TP 10/05/2021 TENANT COLOR OPT

EX 11/07/2021 SQ FEET HEIGHT

PYLON

QUANTITY: 1

SIDES: D/F

LIGHTING: LED (WHITE)

CABINET: FABRICATED ALUM (12")

RETAINER: 2"

FACES: LEXAN

GRAPHICS: DIGITAL PRINT, DUAL SURFACE

VINYL: PREMIUM CLEAR W/ GLOSS LAM

BACKED W/ BLOCKOUT VINYL

MESS CENTER: 16MM -OR- 10MM WATCHFIRE (RGR)

BROADBAND: YES

TEMP PROBE: YES

ACCENTS: 4" SQUARE ALUMINUM TUBE

POLE COVER: FABRICATED ALUMINUM (20")

ADDRESS: CUT VINYL, 1ST SURFACE

PHOTO EYE/TECH: BY ELECTRICIAN

MOUNTING: DIRECT EMBEDMENT

INSTRUCTION: PRODUCE & INSTALL

SQ FT: 94.25 SQ FT (100 SQ FT MAX ALLOWED)

COLORS:

P-1 PMS COOL GRAY 8C

P-2 PMS 7516C

C-3/V-3 ORACAL 751-010 WHITE VINYL

C-4 VARIOUS LOGO COLORS

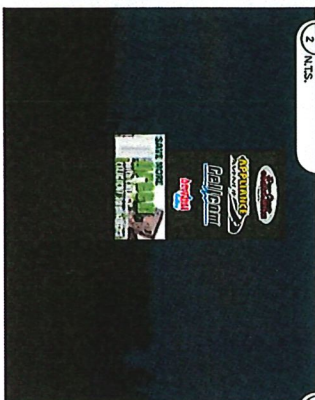
CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

SIGNATURE DATE

1 LOCATION VIEW (AFTER)  
SCALE 3/32" = 1'



2 NIGHT VIEW  
SCALE 3/32" = 1'

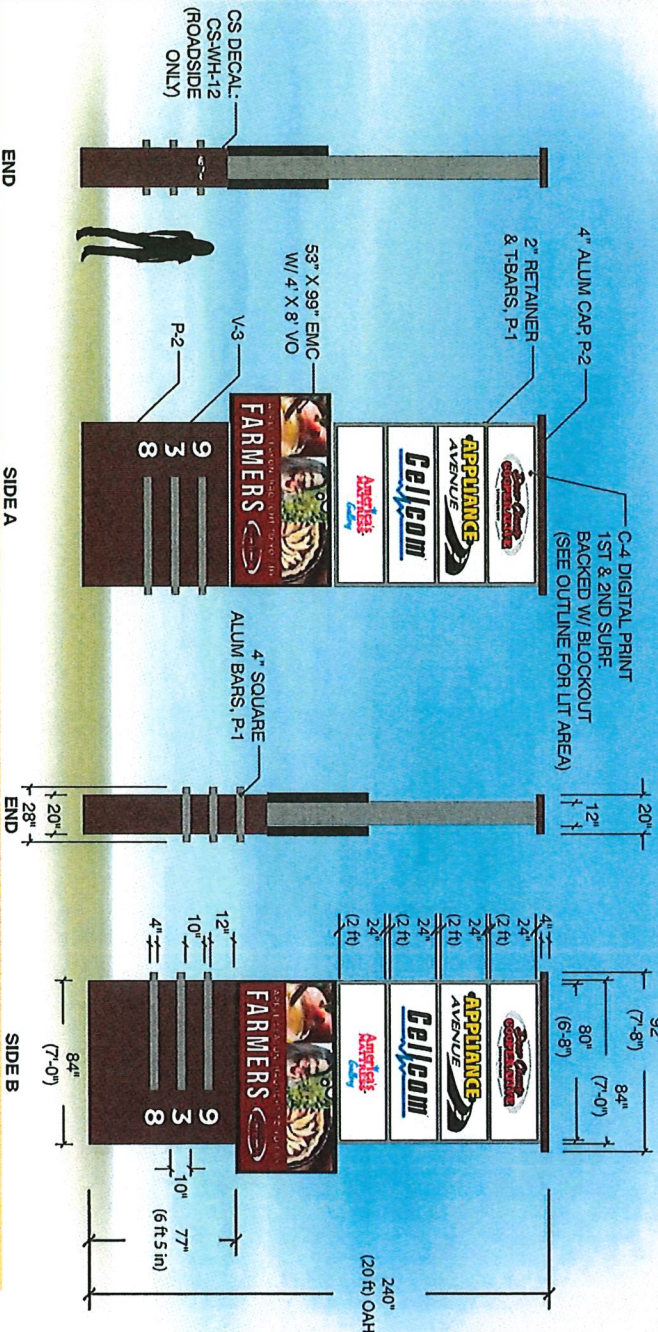


3 EXISTING VIEW  
SCALE 3/32" = 1'



APPROX. PLACEMENT OF PYLON SIGN  
ORDNANCE RESTRICTION: SIGN MUST BE PLACED  
15' FROM WEST LOT LINE AND 5' FROM SOUTH LOT LINE

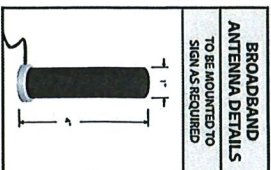
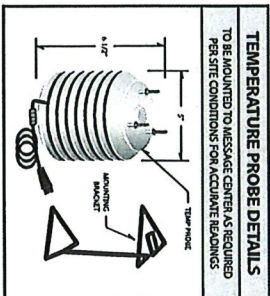
DETAIL VIEW  
SCALE 3/16" = 1'



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CONCEPTUAL DRAWING ONLY  
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505 LAWRENCE DR. DE PERE, WI 54115  
920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: DOOR COUNTY COOP

LOCATION: 938 EGG HARBOR RD STURGEON BAY, WI  
DRAWN BY: TIMOTHY P  
SALESPERSON: KELSY H  
DATE: 10/01/21  
DESIGN #: D19032  
PAGE: 2

REVISION LOG:	INTL	DATE	DESCRIPTION
—	00/00/0000		

PYLON

DETAILS: SEE PAGE 1

COLORS:

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_



SCALE 1:500

SIGN MUST BE PLACED 15' FROM WEST LOT LINE  
(WEST LOT LINE IS 7' FROM EDGE OF PARKING LOT)  
AND 5' FROM SOUTH LOT LINE  
(SOUTH LOT LINE AT EDGE OF PARKING LOT)

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CONCEPTUAL DRAWING ONLY  
All sizes and dimensions are illustrated for client conception of the project and are not to be understood as being exact size, or to be reproduced as such. All dimensions are approximate, and coloration, are an approximation.

CUSTOMER RESPONSIBILITIES  
Please review all drawing details closely, as Creative Sign will produce signs as approved drawing indicates. Some changes may occur based on production needs. While Creative Sign will make all efforts to correct any obvious spelling or grammatical errors, the customer is responsible for making every effort to clearly match colors, including PLUS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used.





# MEMO

To: Aesthetic Design and Site Plan Review Board  
From: Christopher Sullivan-Robinson  
Date: August 4, 2021  
Subject: Kwik Trip Project Review

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Seth Waddell, agent for Kwik Trip, is petition for approval of the building and site design of the new Kwik Trip facility to be located off of Egg Harbor Rd and Alabama St. The project consists of a 122' x 97' Convenience Store / Carwash with a diesel pump canopy and a gas pump canopy. The subject site includes a total of seven properties fronting on Egg Harbor Rd and / or Alabama St including the following:

281-70-32001610; 1567 Egg Harbor Rd  
281-70-33001101; 1601 Egg Harbor Rd  
281-70-33001102; 1614 Alabama St  
281-70-33001103; 1611 Egg Harbor Rd  
281-70-33001104; 1629 Egg Harbor Rd  
281-70-33001105B; 1636 Alabama St  
281-70-33001105A; 1600 Block of Alabama St

**Existing Conditions:** The overall site is currently owned by the Van Den Bogart Family, but is under a purchase agreement with Kwik Trip, Inc contingent on getting City approvals. The overall site is approximately 4.5 acres and includes five single-family dwellings, several storage buildings, and the Malvitz Furniture store. The demolition plans show the existing improvements being demolished and removed from the site.

**Other Consideration:** The developer was required go through a conditional use review process since the development included drive-through facilities. The Plan Commission ultimately approved the proposed development with direction given to the Aesthetic Design and Site Plan Review Board to evaluate the feasibility of a turn around lane along the south side of the building. The intention of the Commission was resolved concerns of truck traffic on Alabama St by redirecting truck traffic back onto Egg Harbor Rd. The Commission also required additional screening be provided from the bordering residential properties to the east.

This project is also subject to review by the Zoning Board of Appeals on Tuesday November 9<sup>th</sup> regarding encroachment of the Egg Harbor Rd setback for off-street parking areas. The zoning code a minimum 5-foot separation and they plan shows zero setback

**Zoning:** The only conflict with the zoning code is the parking setback off of Egg Harbor Rd which will be reviewed by the ZBA. Otherwise area and dimensional requirements are met.

**Building Design:** The front of the building faces Egg Harbor Rd. The building is fairly square and has a hip roof with dormers incorporated. The overall building height is 23 feet (single story). Exterior materials appear to be brick siding with a metal standing seam roof.

**Access / Circulation:** There are two access points off of Alabama Street and Egg Harbor Rd. The diesel pumps are one way so larger recreation vehicles would enter from the north and exit from the south. Otherwise, all other vehicles can enter and exit from all driveways. The circulatory lanes are wider than normal so there is no concern of internal traffic conflicts. Staff have reviewed concerns by Plan Commission regarding limiting truck traffic on Alabama St and potentially adding a circulatory lane on the south end of the building. City staff don't believe the proposal will have a negative impact on Alabama Street nor is there a need for an additional lane. There is a softer approach to the concern such as direction signage from the applicant or additional restrictive signage from the City.

**Signage:** The project uses a variety of business and directional signage. Some of the directional signage will need to be reduced to 4 square feet or less. Wall signage on the canopies and building will require sign permits. The ground sign will also require a permit. Otherwise the signage plan complies with the Sign Code (Chapter 24).

**Lighting:** A lighting plan is included in your packet. Type of fixtures and layout appears to comply with the design board guidelines. However, its always a good idea to add a condition that all exterior lighting be night sky friendly and contained within the property with shields as needed.

**Landscape:** The plan shows a large variety of trees and shrubs. There is only one requirement from zoning for landscape which requires 1 canopy tree per 6 parking spaces. This appears to be met. Also keep in mind that the Plan Commission required additional screening be provided along the east lot line, so that should also be reflected in your approval.

**Options:** The committee can approve the project as present, approve with conditions, or deny the request. However, the committee must evaluate the feasibility for a drive lane around the south end of the building.

**Recommendation:** Staff recommends approval of the certificate of appropriateness as presented subject to the following:

1. All proposed and future lighting must be night sky friendly and contained within the property.
2. Additional vegetative or fence screen be added along the east property line.



CITY OF STURGEON BAY  
AESTHETIC DESIGN & SITE PLAN REVIEW BOARD  
APPLICATION FOR ***CERTIFICATE OF APPROPRIATENESS***

Name: Seth Waddell

Owner of Premises: Richard Van Den Bogart & Thomas Van Den Bogart

Address or Legal Description of Premises:

1611, 1629, 1601 Egg Harbor Rd, 1614, 1636 Alabama St

Statement of Specific Item Requested for Approval:

Site Plan & Building Approval

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9/24/2021

Date



Applicant

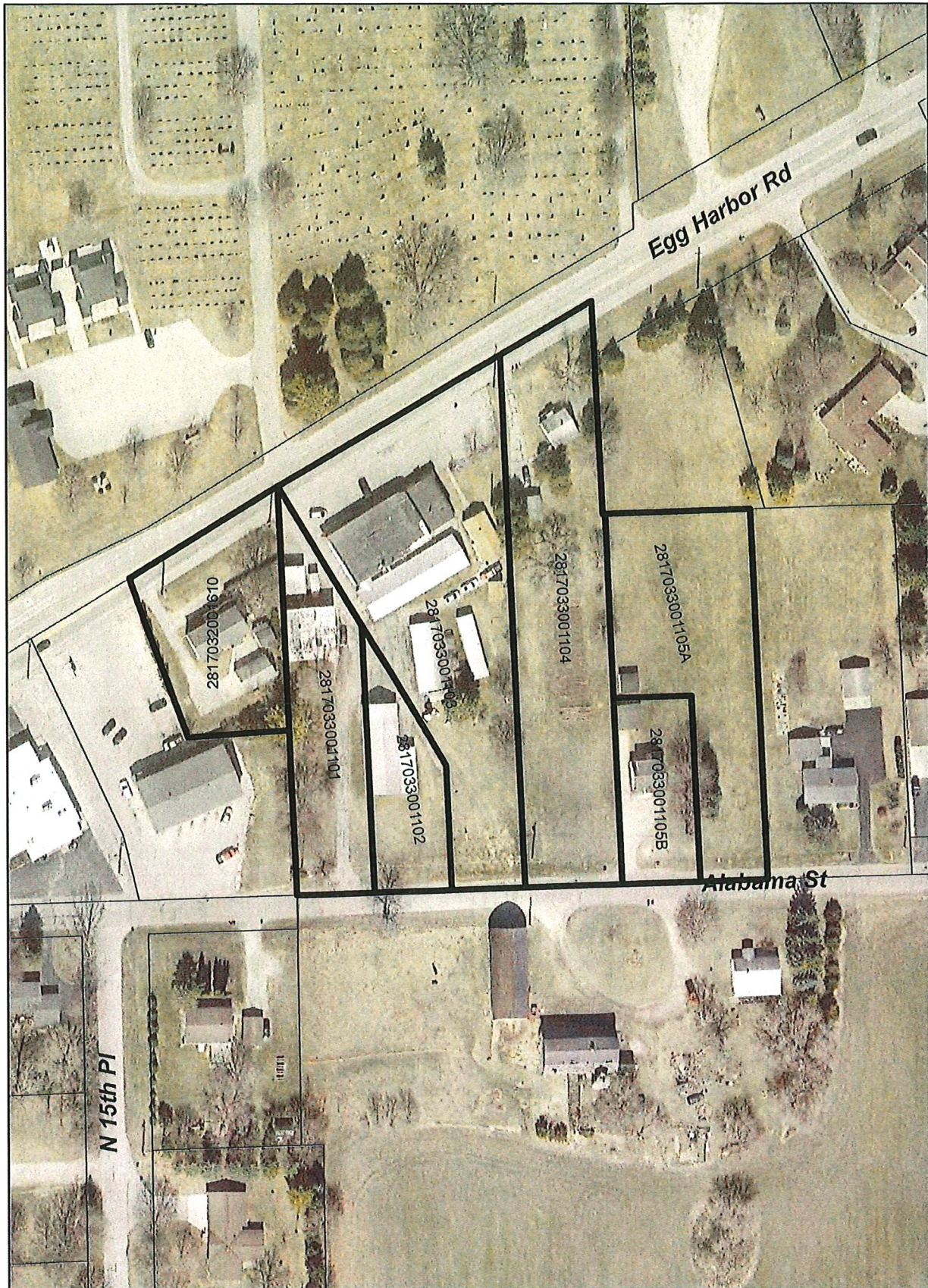
Date Received: \_\_\_\_\_

Staff Signature: \_\_\_\_\_

Date Approved/Denied: \_\_\_\_\_



# Kwik Trip Development Site



 Subject Property





DRAWING FILE: P:\000-0000\10923 - KT MEG - STURGEON BAY\DWG\10923-T1 TITLE PAGE.DWG LAYOUT: TITLE  
PLOTTER: Sep 23 2021 5:36PM PLOTTED BY: DAN

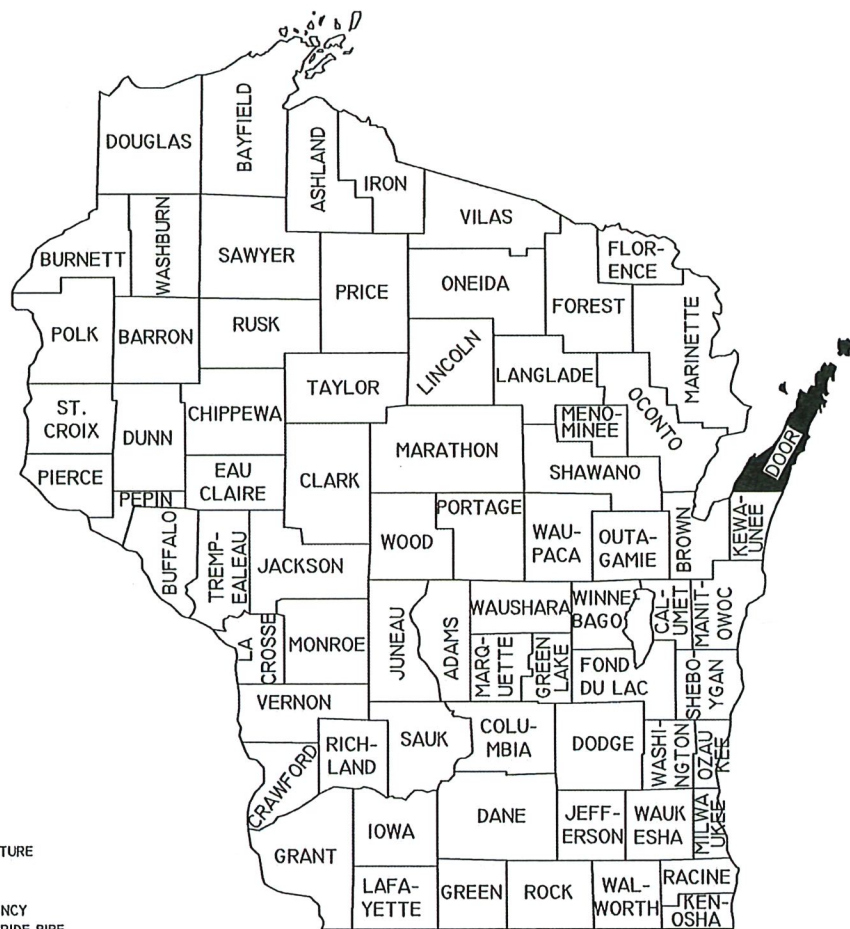
### INDEX OF SHEETS

T1	TITLE SHEET
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SP1.1	SITE PLAN (KEYNOTES)
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SP2.1	GRADING PLAN DETAIL
SP2.2.1	GRADING PLAN SPOT DETAIL
SP2.2.2	CANOPY AND TANK GRADING DETAILS
SP2.3	ACCESSIBLE PLAN
SP3	STORM SEWER PLAN
SP4	UTILITY PLAN
SP4.1	UTILITY SPECS
SP5	SITE PLAN DETAILS
SP6	SITE PLAN DETAILS
SWP1	EROSION CONTROL PLAN
SWP2	EROSION CONTROL DETAILS
SWP3	EROSION CONTROL DETAILS
SWP4	EROSION CONTROL DETAILS
SP	TRUCK CIRCULATION
L1.0	LANDSCAPE PLAN - OVERALL
L1.1	LANDSCAPE PLAN - SOUTH AREA
L1.2	LANDSCAPE PLAN - NORTH AREA
L2.0	LANDSCAPE DETAILS & NOTES
L3.0	BIORETENTION DETAILS & NOTES
E1	PHOTOMETRIC LIGHTING PLAN
TOTAL SHEETS = 25	

### LIST OF STANDARD ABBREVIATIONS

8	AND	(N)	NORTH
AB	AUGER BORING	(NE)	NORTHEAST
ADT	AVERAGE DAILY TRAFFIC	(NW)	NORTHWEST
BC	BOTTOM OF CURB	OH	OVERHEAD
BM	BENCHMARK	PC	POINT OF CURVATURE
BOC	BACK OF CURB	P/L	PROPERTY LINE
BR	BOTTOM OF RAMP	PP	POWER POLE
BS	BOTTOM OF STEPS	PT	POINT OF TANGENCY
BW	BOTTOM OF WALL	PVC	POLYVINYL CHLORIDE PIPE
CB	CATCH BASIN	RCB	REINFORCED CONCRETE BOX CULVERT
CMAC	CORRUGATED METAL ARCH CULVERT	RCP	REINFORCED CONCRETE PIPE
CMBC	CORRUGATED METAL BOX CULVERT	RR	RAIL ROAD
CMP	CORRUGATED METAL PIPE	R/W	RIGHT OF WAY
CO	CLEANOUT	(S)	SOUTH
CONC.	CONCRETE	SAN	SANITARY SEWER
CPP	CORRUGATED PLASTIC PIPE	SB	SOIL BORING
DGB	DENSE GRADED BASE	SS	STORM SEWER
DIP	DUCTILE IRON PIPE	STM	STORM
D/S	DOWNSTREAM	(SW)	SOUTHWEST
(E)	EAST	TC	TOP OF CURB
ELEV.	ELEVATION	TBR	TO BE REMOVED
EOG	EDGE OF GRAVEL	TLE	TEMPORARY LIMITED EASEMENT
FFE	FINISHED FLOOR ELEVATION	TNH	TOP NUT FIRE HYDRANT
FG	FINISH GRADE	TP	TEST PIT
F.O.	FIBER OPTIC	TR	TOP OF RAMP
INL	INLET	TYP.	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TS	TOP OF STEPS
HMA	HOT MIX ASPHALT	TW	TOP OF WALL
HP	HIGH POINT	U/S	UPSTREAM
IE	INVERT ELEVATION	VAR.	VARIES
LF	LINEAL FEET	(W)	WEST
LP	LOW POINT		
MEG	MATCH EXISTING GRADE		
MH	MANHOLE		

# REVIEW PLANS FOR: KWIK TRIP #1209 CITY OF STURGEON BAY, DOOR COUNTY, WISCONSIN



LEGEND	
	BENCHMARK
	1' IRON BAR
	EXISTING MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING WATER SHUTOFF
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING GAS VALVE
	EXISTING CURB INLET
	EXISTING WELL
	TEST PIT LOCATION
	SOIL BORING
	EXISTING AIR CONDITIONING UNIT
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY PEDESTAL
	EXISTING RAILROAD TRACKS
	EXISTING TREE LINE
	EXISTING GUY POLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD UTILITIES
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING PROPERTY LINE
	PROPOSED HANDICAP PARKING
	PROPOSED CURB STOP
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN
	PROPOSED PUMP STATION
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED DRAINAGE FLOW
	PROPOSED SLOPE
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	EXISTING GROUND CONTOUR (INTERVAL -1 FT.)
	PROPOSED GROUND CONTOUR (INTERVAL -1 FT.)
	PROPOSED SPOT ELEVATION (TOP OF CURB)
	PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED RIPRAP
	PROPOSED EROSION MAT
	PROPOSED SAWCUT
	PROPOSED DRAINAGE SWALE



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TITLE SHEET

CONVENIENCE STORE #1209

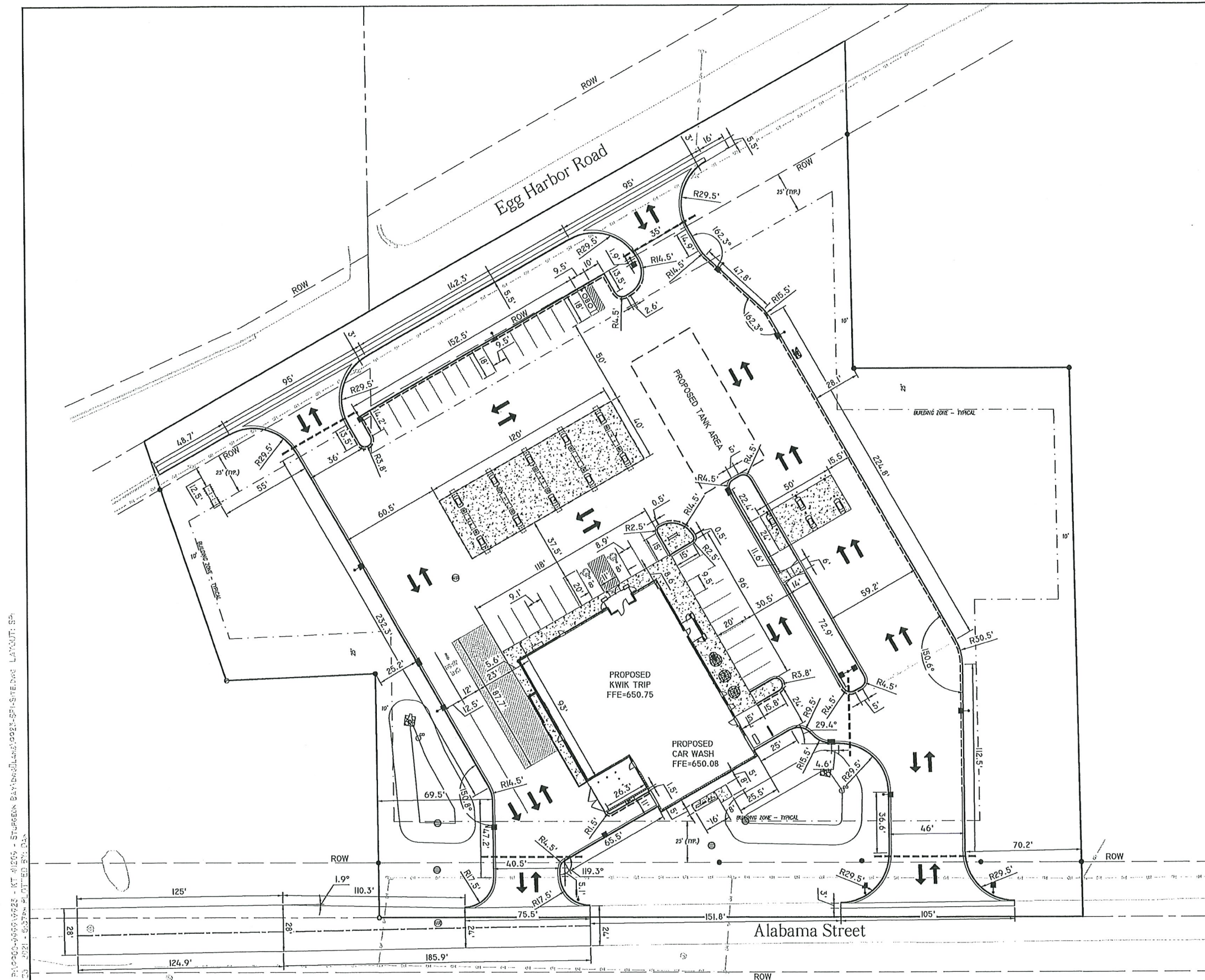
EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

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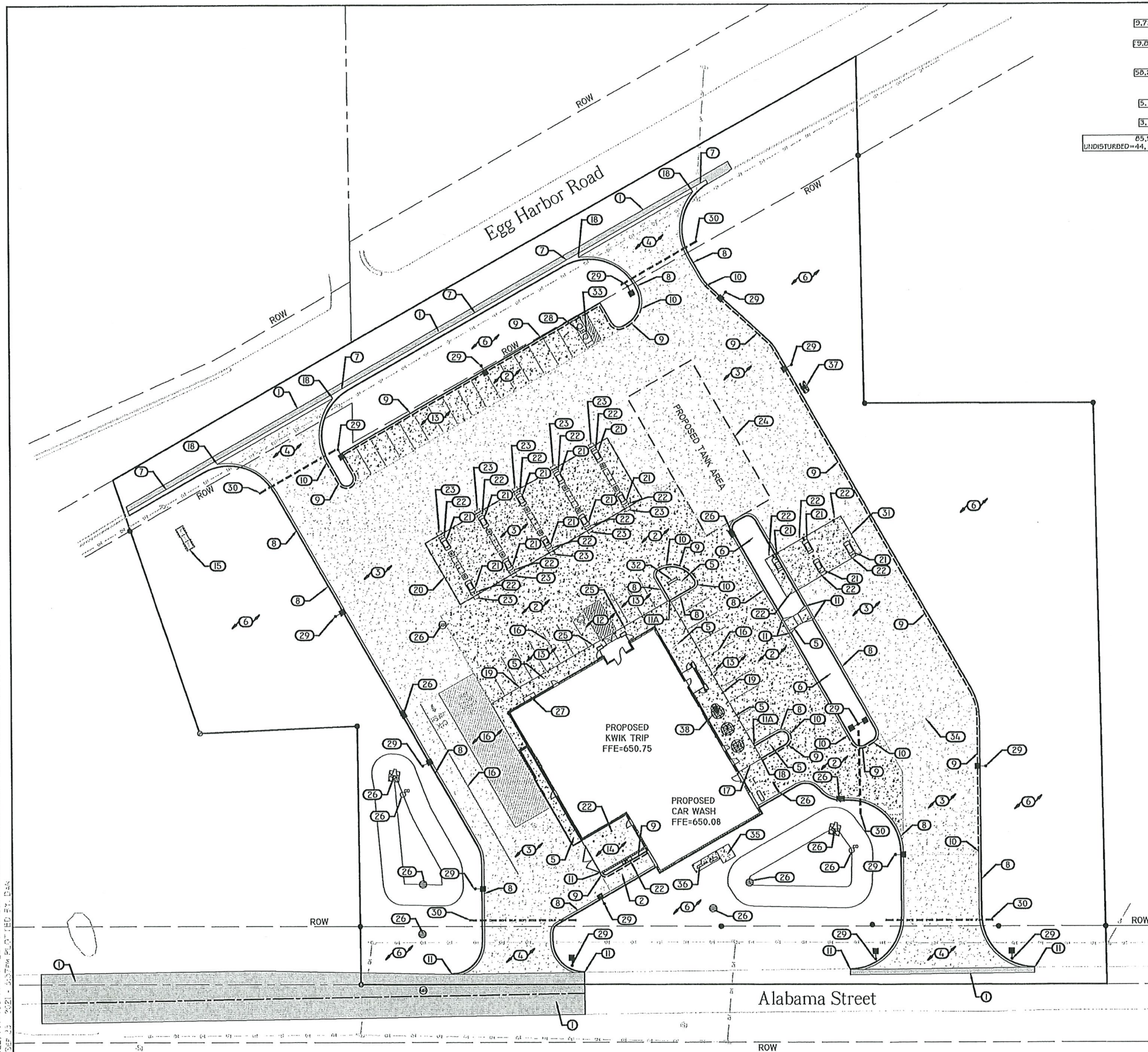








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### KEYED NOTES

1. ASPHALT PAVEMENT. SEE DETAIL 1/SP5.
2. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR, 3' O.C. CONCRETE SEALER: TK-26UV. SEE DETAIL 6/SP5.
3. 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #4 REBAR, 4' O.C. CONCRETE SEALER: TK-26UV. SEE DETAIL 6/SP5.
4. 8" DEPTH CONCRETE APPROACH SIMILAR TO DETAIL 7/SP5.
5. 6" CONCRETE WALK. SEE DETAIL 2/SP5. CONCRETE SEALER: TK-26UV.
6. LANDSCAPE AREA. SEE SHEET L1.
7. 30" CURB AND GUTTER. SEE DETAIL 8/SP5.
8. 18" CURB AND GUTTER. SEE DETAIL 9/SP5.
9. 18" REJECT CURB AND GUTTER. SEE DETAIL 9/SP5.
10. TRANSITION CURB & GUTTER. SEE DETAIL 4/SP5.
11. STANDARD CURB & GUTTER TERMINATION. SEE DETAIL 5/SP5.
- 11.A. TAPER CURB FROM FLUSH TO FULL HEIGHT OVER 6' LENGTH. SEE DETAIL 5A/SP5.
12. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS. SEE SHEET SP2.3.
13. OFF-STREET PARKING STALLS  
STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY YELLOW PAINT. SPACES PROVIDED  
(7) 9.5' x 18.0' (MIN.) GENERAL PARKING  
(7) 9.1' x 20.0' (MIN.) GENERAL PARKING  
(3) 8.9' x 20.0' (MIN.) GENERAL PARKING  
(10) 9.5' x 20.0' (MIN.) GENERAL PARKING  
(2) 8.0' x 20.0' ACCESSIBLE PARKING WITH  
(1) 11.0' x 20.0' LOADING ZONE
14. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
15. KWIK TRIP TRADEMARK SIGN SUBJECT TO SEPARATE REVIEW AND APPROVAL (VERIFY FINAL LOCATION WITH SIGN PERMIT)
16. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- YELLOW, ALL OTHERS- YELLOW.
17. SIDEWALK WITH INTEGRAL CURB. SEE DETAIL 12/SP5.
18. CURB TYPE CHANGE.
19. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD INSTALLED AT EACH PARKING STALL ALONG BUILDING. SEE DETAIL 10/SP5.
20. 40'-0" x 120'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
21. CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER, 3'-6" x 6'-0".
22. 36" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD SIMILAR TO DETAIL 10/SP5.
23. OUTDOOR MERCHANDISING AREA.
24. UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S SPECIFICATIONS. SEE DETAIL 1/SP6.
25. HC PVC BOLLARD SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 60" HT. SEE SHEET SP2.3.
26. STORM STRUCTURE. SEE SHEET SP3 FOR FURTHER STORM SEWER INFORMATION.
27. LP CAGE.
28. "FREE AIR" COMPRESSOR. PROVIDE SIGNAGE PER OWNER.
29. SITE AREA LIGHT WITH CONCRETE BASE. SEE DETAIL 11/SP5.
30. PVC IRRIGATION SLEEVE UNDER PAVEMENT. VERIFY W/ IRRIGATION PLAN FOR EXACT SIZE AND LOCATION BEFORE INSTALLATION. SEE DETAIL 3/SP5.
31. 24'-0" x 50'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
32. BIKE RACK.
33. VACUUM. SEE DETAIL 13/SP5.
34. 18" EPOXY STOP BAR (YELLOW).
35. TRANSFORMER PAD.
36. DISCONNECT PAD.
37. GAS TANK VENT AREA.
38. HANDICAP OUTSIDE SEATING AREA.

# KWIK TRIP

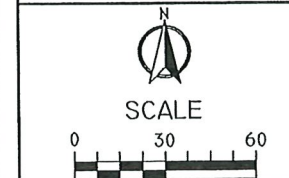
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# KWIK STAR

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SITE PLAN (KEYNOTES)

CONVENIENCE STORE #1209

EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

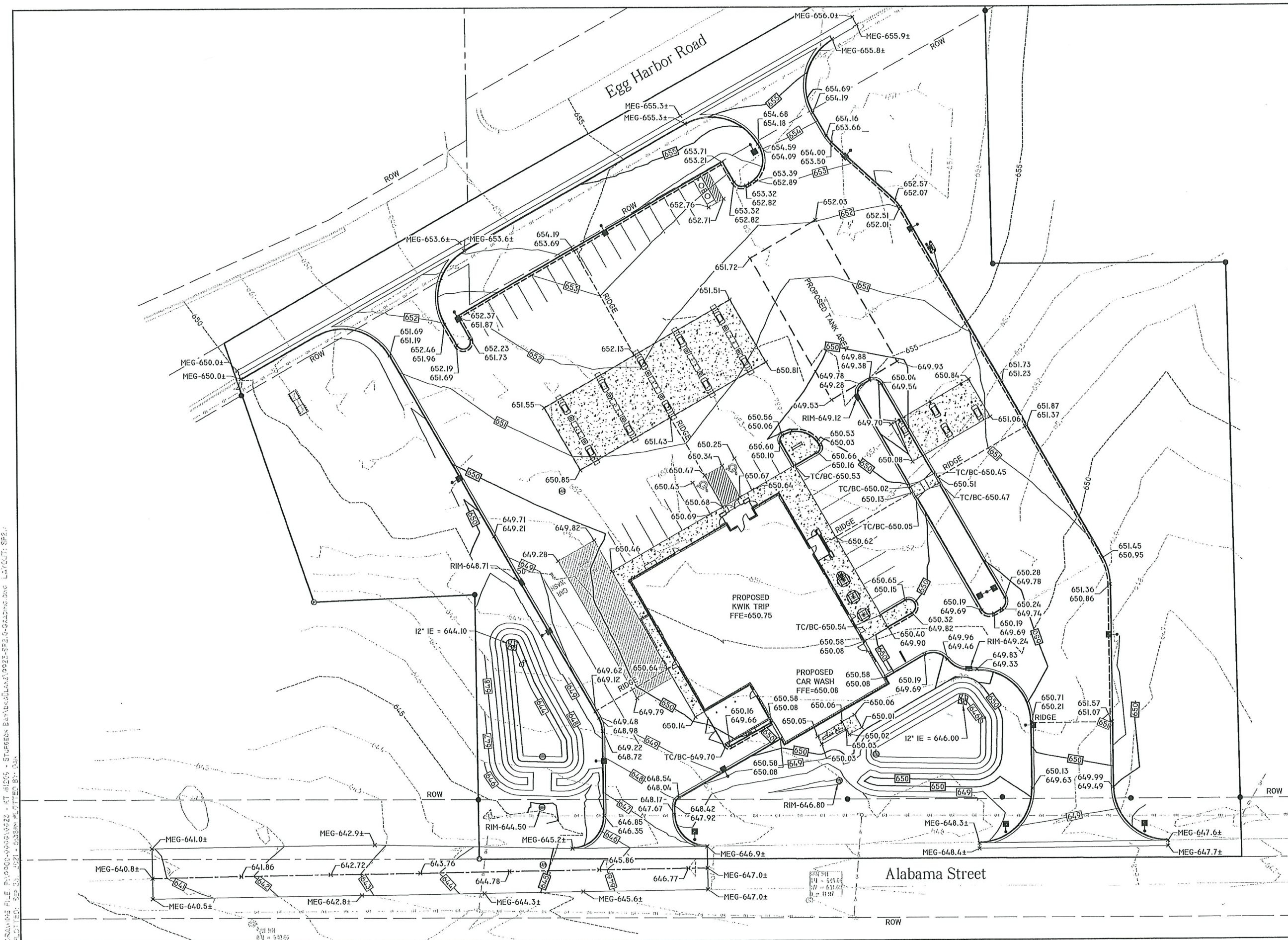
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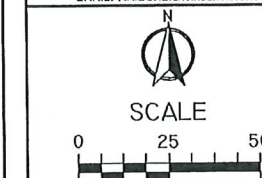
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GRADING PLAN DETAIL

CONVENIENCE STORE #1209

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STURGEON BAY, WI

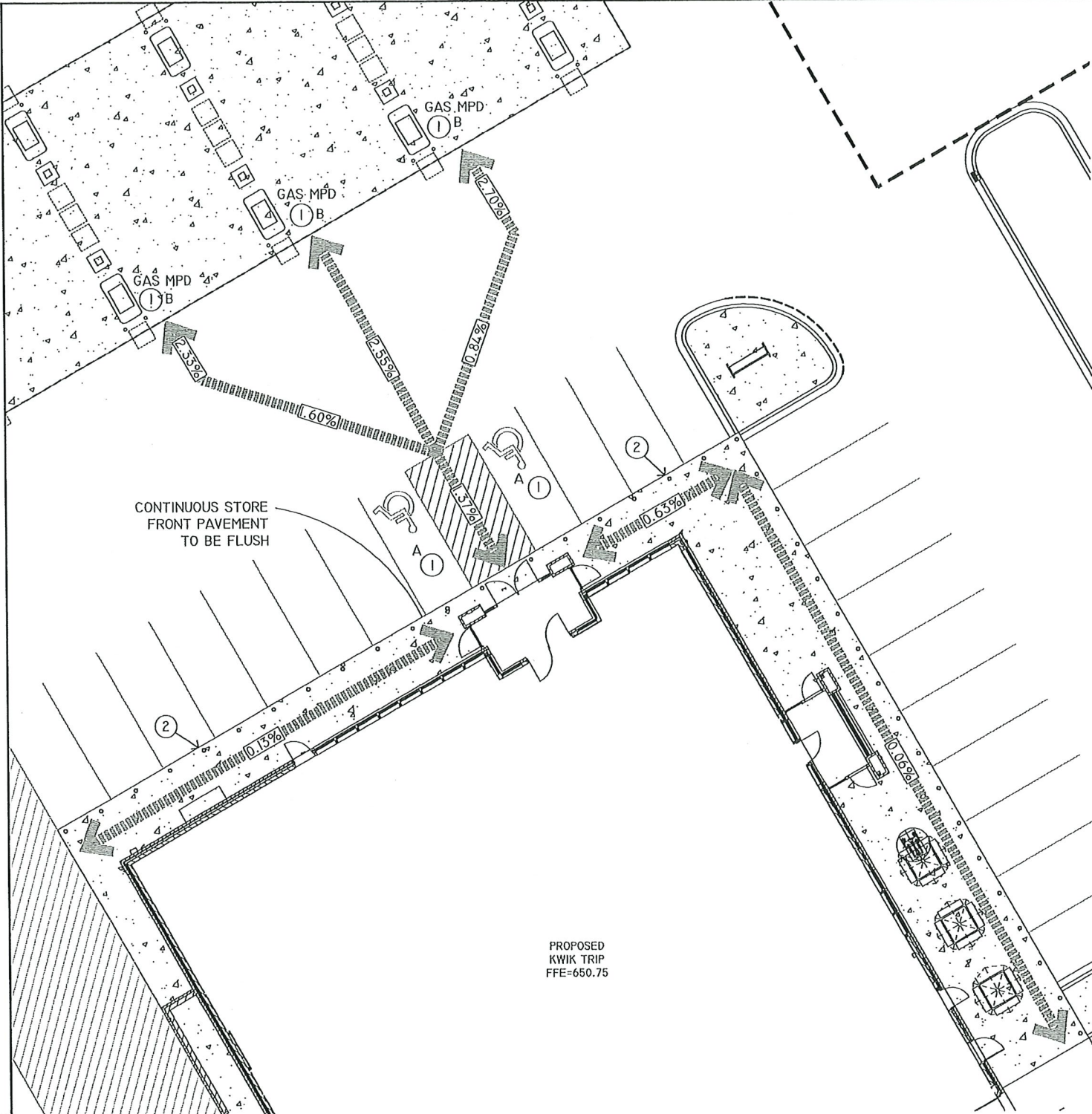
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PLAN KEYNOTES

- ACCESSIBLE STALLS  
A. STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY BLUE PAINT.  
SPACES PROVIDED  
(2) 8'-0" X 20'-0" ACCESSIBLE PARKING WITH  
(1) 11'-0" X 20'-0" LOADING ZONE  
B. ACCESSIBLE FUELING POINT AND DISPENSER AND VALET. VALET AND KEY PAD ON PUMP SHALL CONFORM TO ADA REACH DIMENSIONS AS SHOWN IN DETAIL. SEE NOTES FOR CONVENIENCE STORE ACCESSIBILITY.
- PAVEMENTS FLUSH FOR ACCESSIBILITY.



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NOTES FOR CONVENIENCE STORE ACCESSIBILITY

AT LEAST 1 MPD(MULTI PRODUCT DISPENSER) COVERING ALL GRADES OF FUEL MUST BE ACCESSIBLE IN A 30'X48" CLEAR LEVEL FLOOR AREA(CLF).

ALL PUMP CONTROLS SHALL BE < 48"(2010 STANDARD). WINDOW WASHER, PAPER TOWEL DISPENSER, LITERATURE, FIRE EXTINGUISHER, EMERGENCY FUEL STOPS, ETC. BE ACCESSIBLE 30'X48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

PROVIDE ISA(INDUSTRY STANDARD ARCHITECTURE) AT EACH ACCESSIBLE FUEL POSITION ON FACE OF PUMP.

PROVIDE ISA AT EACH ACCESSIBLE FUELING POSITION VISIBLE TO APPROACHING VEHICLES.

PROVIDE A SIGN AT EACH ACCESSIBLE FUELING POSITION WITH STORE TELEPHONE NUMBER, ADVISING AVAILABLE FUELING ASSISTANCE.

ANY PAY FUNCTION- I.E. AIR/VACUUM ETC. ARE REQUIRED TO HAVE AN ACCESSIBLE ROUTE TO STORE ENTRANCE. CONTROLS SHALL BE ACCESSIBLE 30'X48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

NOTES:

- REFER TO THE DOCUMENT FROM THE DEPARTMENT OF JUSTICE ON "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN". CONTRACTOR SHALL REFERENCE CURRENT A.D.A. GUIDELINES AND LOCAL REGULATIONS FOR SITE ACCESSIBILITY. IN ALL CASES THE MINIMUM REQUIREMENTS SHALL BE PROVIDED ON SITE TO ENSURE COMPLIANCE TO ALL REGULATIONS.
- KWIK TRIP STANDARD ENTRANCE DOOR IS AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS. ENTRANCE DOORS FOR ACCESSIBLE ROUTES WILL HAVE A MINIMUM CLEAR OPENING OF 32"
- STORE FRONTS WILL PROVIDE FLUSH PAVEMENTS ALONG ACCESSIBLE ROUTES WITH PROTECTIVE SECURITY BOLLARDS INDICATED AND SPACED BETWEEN PARKING SURFACES AND BUILDING WALK PER PLAN.
- NO OBJECTS OR DISPLAYS SHOULD PROTRUDE INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WILL INCLUDE SEASONAL DISPLAY VENDING AREAS AS WELL AS OTHER OUTDOOR STORAGE UNITS FOR PROPANE AND ICE, ETC.
- PER A.D.A GUIDELINES- CLEAR WIDTH OF ACCESSIBLE ROUTES SHALL BE 36" AND PERMITTED TO BE REDUCED TO 32" FOR A LENGTH OF 24".
- ACCESS ISLES SERVING WHEEL CHAIR LIFTS OR CHAIR ACCESS FROM VEHICLES ARE REQUIRED TO BE NEARLY LEVEL IN ALL DIRECTIONS TO PROVIDE SAFE TRANSFER OF WHEELCHAIRS TO AND FROM VEHICLES. THE EXCEPTION WOULD BE FOR DRAINAGE. MAXIMUM SLOPE FOR THE ACCESS ISLE IS 1:48. NO CURB RAMPS SHALL BE A PART OF THE ACCESS ISLE.
- IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH THE DESIGNATION OF 1 "VAN ACCESSIBLE" IN EVERY 8 ACCESSIBLE SPACES ON SITE.

ADA BOLLARD SIGNAGE	HANDICAP SYMBOL
NOT TO SCALE	NOT TO SCALE

VAN ACCESSIBLE PARKING	
NOT TO SCALE	

HIGH AND LOW - SIDE REACH LIMITS	MAXIMUM SIDE REACH OVER OBSTRUCTION
ACCESSIBLE REACH DIMENSIONS	
NOT TO SCALE	

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**ACCESSIBLE PLAN**

CONVENIENCE STORE #1209

EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

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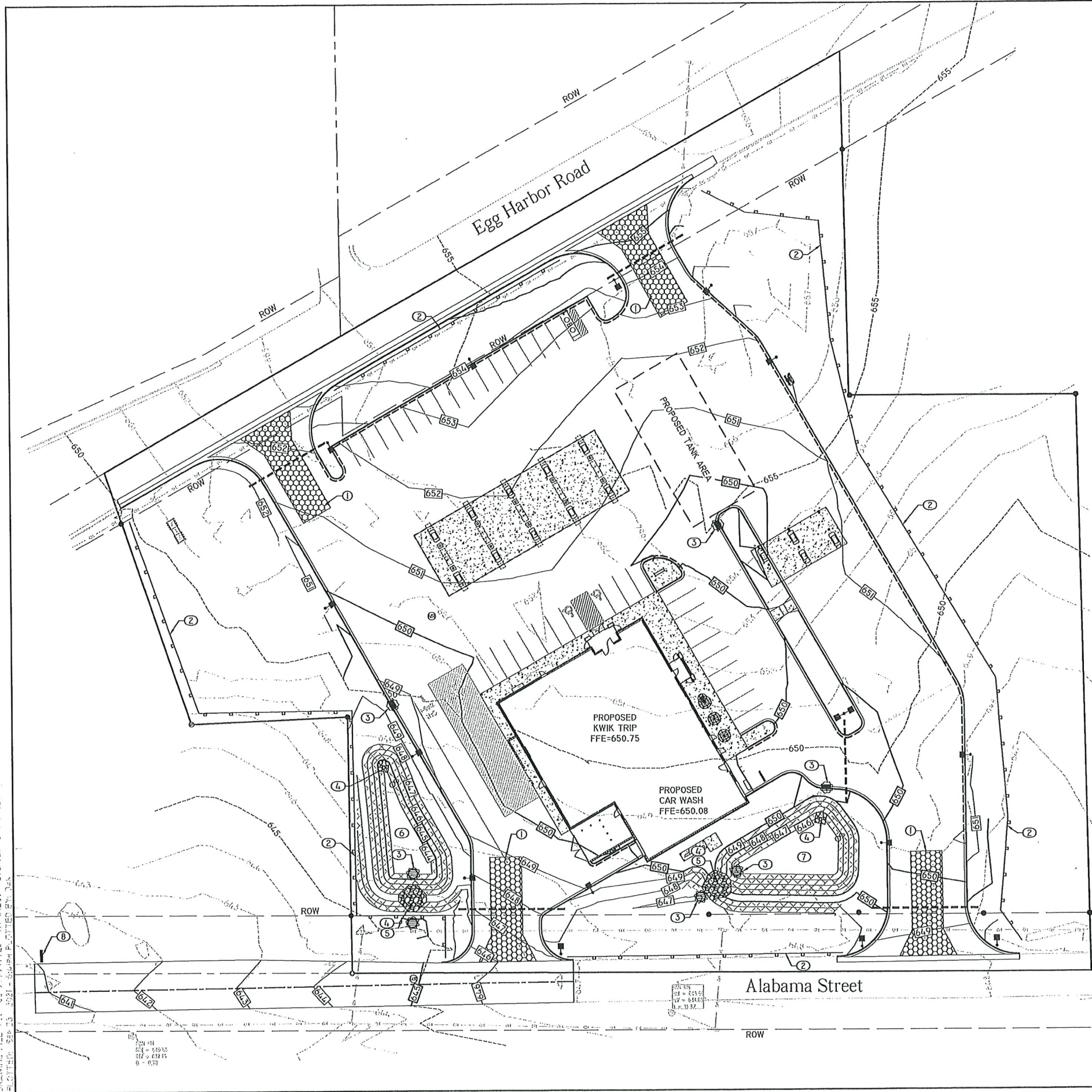
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<b>PROJECT DATA</b>	
PROJECT START DATE	APRIL 2022
PROJECT COMPLETION DATE	OCT 2022
<b>SITE AREA DATA</b>	
DISTURBED AREA	136,343 SF
PRE-CONSTRUCTION IMPERVIOUS AREA	44,867 SF
POST-CONSTRUCTION IMPERVIOUS AREA	95,832 SF
APPROX. AREA OF LAND DISTURBANCE	136,343 SF
<b>SITE RUNOFF COEFFICIENT</b>	
PRE-CONSTRUCTION	82
POST-CONSTRUCTION	91
<b>SOIL DATA</b>	
SURFACE SOIL	PAVED
SUB-SURFACE SOIL	SILTY SAND
DEPTH OF GROUND WATER	NOT ENCOUNTERED
DEPTH OF BEDROCK	4'-9' BELOW EX GRADE
DOWN-STREAM TRIBUTARY	STURGEON BAY

**NOTES:**

(A) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL. REFER TO SWP4 FOR TECHNICAL STANDARDS EMPLOYED.

(B) CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AREAS ON-SITE. SEE DETAIL F/SWP3.

(C) DEWATERING BAGS SHALL BE READILY AVAILABLE AND SHALL BE USED AT ALL TIMES IN THE PROCESS OF DEWATERING.

#### OKEYED NOTESO

1. TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/SWP3.
2. INSTALL SILT FENCE. SEE DETAIL D/SWP3.
3. PROVIDE INLET PROTECTION. REFER TO SWP2 FOR ACCEPTABLE PRODUCTS.
4. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL B/SWP3.
5. CONSTRUCT EMERGENCY OVERFLOW WEIR, WITH LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL C/SWP3.
6. BIORETENTION POND. SEE DETAIL B/SWP4.
7. BIORETENTION POND. SEE DETAIL C/SWP4.
8. INSTALL DITCH CHECK. SEE DETAIL F/SWP4.

INSTALL WISDOT URBAN TYPE B EROSION CONTROL BLANKET ON SIDE SLOPES OF 4:1 OR GREATER. SEE DETAIL E/SWP3 FOR INSTALLATION.

#### ESTIMATED PRELIMINARY EROSION CONTROL QUANTITIES (ACTUAL QUANTITIES SUBJECT TO CHANGE)

ITEM	QUANTITY
ROCK CONSTRUCTION ENTRANCE	400 SQ. YD.
INLET PROTECTION	3
EROSION CONTROL BLANKET	670 SQ. YD.
RIP RAP	462 CU. YD.
SILT FENCE	1,216 L.F.
CULVERT PROTECTION	0
DITCH CHECK	AS NEEDED
BIO ROLL/EROSION LOG	AS NEEDED

NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL PROVIDE ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.

#### SUGGESTED CONSTRUCTION SEQUENCE

- PROVIDE CONSTRUCTION ACCESS
- INSTALL SILT FENCE
- INSTALL INLET PROTECTION ON EXISTING STORM STRUCTURES
- SAWCUT AND REMOVE PAVEMENT, STRIP TOPSOIL, REMOVALS
- ROUGH GRADING
- INSTALL DIVERSIONS
- CONSTRUCT BUILDING
- SITE UTILITY INSTALLATION
- INSTALL INLET PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- CONSTRUCT BASE COURSE AND PAVEMENT
- INSTALL LAWN/ LANDSCAPE
- FLUSH STORM SEWER
- REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE SWP PLAN NOTES AND DETAIL SHEETS SWP2-4 FOR MORE INFORMATION.

**CONTACT:**  
KWIK TRIP, INC.  
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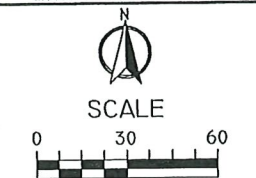
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EROSION CONTROL  
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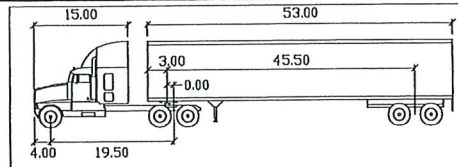
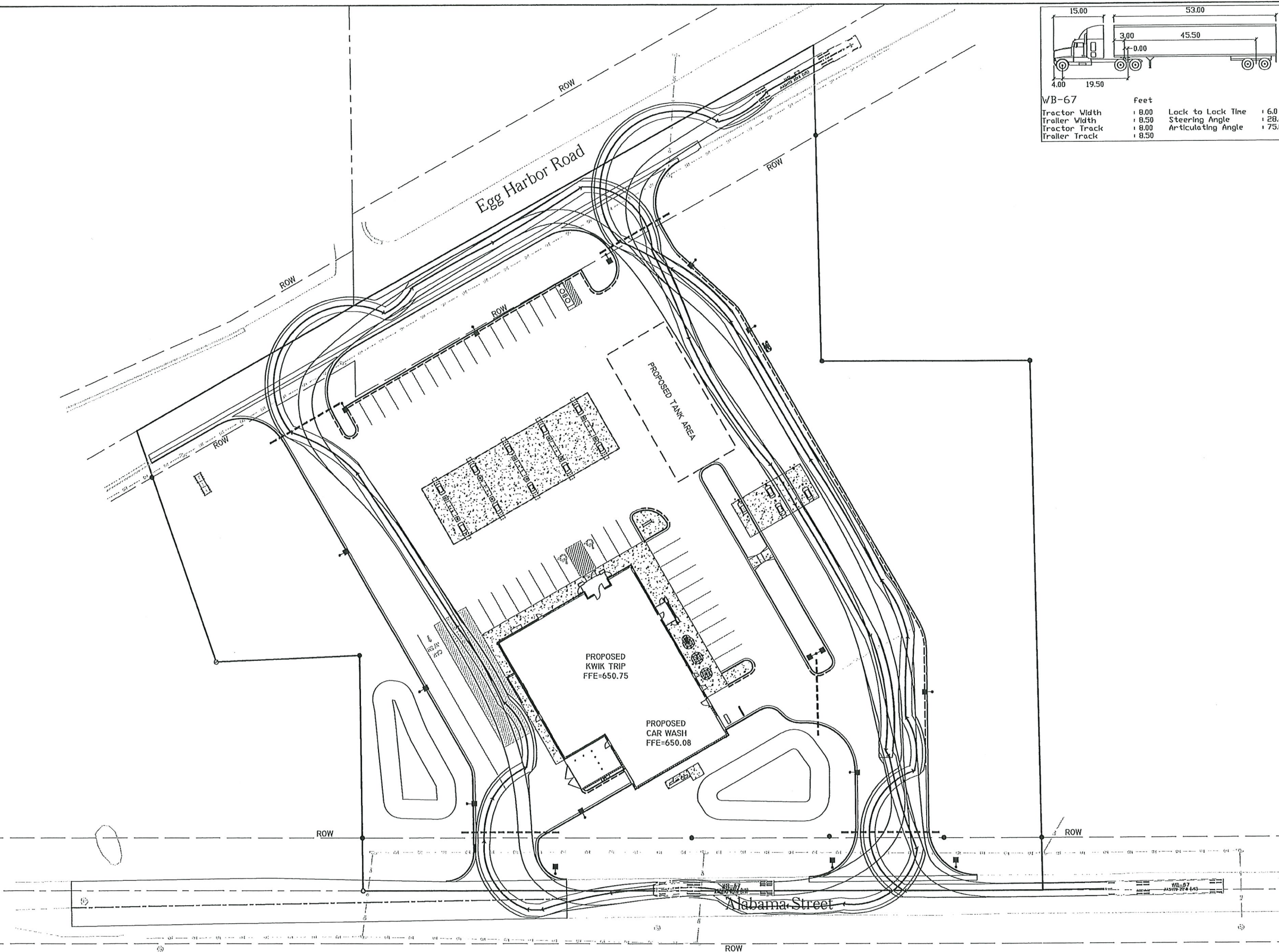
CONVENIENCE STORE #1209

EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

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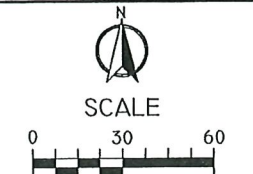
# KWIK TRIP

## STORES

The Kwik Star logo, featuring the word "Kwik" in a bold, italicized sans-serif font above the word "Star" in a similar font, with a five-pointed star replacing the letter "a".

## STORES

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TRUCK CIRCULATION

CONVENIENCE STORE #1209

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## PLANT SCHEDULE

CANOPY TREES (INSTALL IN ACCORDANCE WITH DETAIL 1/L2.0 FOR SINGLE STEM TREES & DETAIL 2/L2.0 FOR MULTI-STEM TREES)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE
ACFAF	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	2	2' Cal. B4B	H-50', W-30'
ACFAB	Acer saccharum 'Baileya'	Fall Fiesta Sugar Maple	3	2' Cal. B4B	H-50', W-40'
BENIC	Betula nigra 'Cully'	Heritage River Birch	3	12' B4B, multi-stem	H-50', W-35'
CEOCF	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	3	2' Cal. B4B	H-50', W-45'
GIBAG	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo (male)	2	2' Cal. B4B	H-50', W-30'
GLTDR	Gleditsia triacanthos 'Draves'	Street Keeper Honeylocust	2	2' Cal. B4B	H-45', W-20'
GLTIS	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2	2' Cal. B4B	H-50', W-35'
GYDIE	Gynocladus dioicus 'Espresso-JF5'	Espresso Kentucky Coffee Tr.	3	2' Cal. B4B	H-50', W-35'
FLOC	Platanus occidentalis	American Planetree	1	2' Cal. B4B	H-75', W-15'
QUMA	Quercus macrocarpa	Bur Oak	1	2' Cal. B4B	H-75', W-15'
TAD5B	Taxodium distichum 'Mickelson'	Shawnee Brave Bald Cypress	2	2' Cal. B4B	H-60', W-20'

ORNAMENTAL TREES (INSTALL IN ACCORDANCE WITH DETAIL 1/L2.0 FOR SINGLE STEM TREES & DETAIL 2/L2.0 FOR MULTI-STEM TREES)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE
AMGAB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1	8' B4B, multi-stem	H-20', W-15'
SYRIS	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1	2' Cal. B4B	H-25', W-15'
SYRIS1	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2	8' B4B, multi-stem	H-25', W-15'

EVERGREEN TREES (INSTALL IN ACCORDANCE WITH DETAIL 3/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE
FIAB	Picea abies	Nonsey Spruce	5	6' Tall B4B	H-55', W-30'
FIGLD	Picea glauca var 'Densata'	Black Hills Spruce	8	6' Tall B4B	H-40', W-15'
FI5T	Pinus strobus	Eastern White Pine	3	6' Tall B4B	H-50', W-20'

EVERGREENS / BROADLEAF EVERGREEN SHRUBS (INSTALL IN ACCORDANCE WITH DETAIL 4/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE
JHGH	Juniperus horizontalis 'Hughes'	Hughes Creeping Juniper	4	18" Spread Pot	H-1', W-8'
THOS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6	4" Tall B4B	H-15', W-4'

DECIDUOUS SHRUBS (INSTALL IN ACCORDANCE WITH DETAIL 4/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE
HYPAJ	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	13	24" Tall Pot	H-4', W-4'
PHOFM	Physocarpus opulifolius 'Monlo'	Purple Leaf Ninebark	3	36" Tall B4B	H-1', W-8'
RHARG	Rhus aromatica 'Gro-low'	Gro Low Sumac	15	24" Spread Pot	H-2', W-5'
SPBET	Spiraea betulifolia 'Tor'	Tor Birchleaf Spiraea	11	24" Tall Pot	H-3', W-3'
SYMEP	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	4	24" Tall B4B	H-5', W-1'
VIC5I	Viburnum carlesii 'N. Select A'	Spice Island Viburnum	3	24" Tall B4B	H-5', W-6'

PERENNIALS / GRASSES / VINES

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	SPACING
CAAC	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	41	1" Pot	30" O.C.
HEGB	Heimericallis 'Going Bananas'	Going Bananas Daylily	31	1" Pot	24" O.C.
NEUL	Nepeta x Walker's Low	Walker's Low Catmint	18	1" Pot	30" O.C.
PANO	Panicum virgatum 'Northwinds'	Northwinds Switch Grass	9	1" Pot	30" O.C.
PEALS	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	12	1" Pot	30" O.C.

## LANDSCAPE CALCULATIONS

STURGEON BAY LANDSCAPE REQUIREMENTS

ZONING: C-1 (GENERAL COMMERCIAL DISTRICT)

PARKING LOT PAVED AREA: 15,141 SF

PARKING STALLS = 33 SPACES

PARKING LOT INTERIOR GREENSPACE

MIN. 5% OF THE TOTAL PARKING LOT PAVED AREA SHALL BE GREEN SPACE

15,141 SF PAVED AREA x 0.05 = 3161 SF MINIMUM INTERIOR GREENSPACE

PARKING LOT INTERIOR CANOPY TREE REQUIREMENT

CANOPY TREES SHALL BE PROVIDED AT THE RATE OF ONE TREE PER 6

PARKING SPACES (FRACTIONS SHALL BE ROUNDED DOWN TO THE NEAREST

WHOLE NUMBER). SUCH CANOPY TREES SHALL BE LOCATED EITHER IN

ISLANDS WITHIN THE INTERIOR OF THE PARKING AREA OR WITHIN 10 FEET OF

THE PERIMETER OF THE PARKING AREA.

33 SPACES / 6 PARKING SPACES = 6.5 TREES

REQUIRED PROVIDED

5% 6.6%

3161 SF 5004 SF

6 TREES 8 TREES

## ABBREVIATIONS

ABBREVIATION	FULL WORDS
B4B	Balled and burlapped
CAL	Caliper
DBH	Diameter at breast height (Approximately 4 ft above finish grade)
DIA	Diameter
EX	Existing
HIT	Height to top
OC	On center
SQ. FT. - or - SF	Square feet
TYP.	Typical
TR	Tree

## GRASS SEED MIX

GRASS SEED SHALL CONSIST OF THE FOLLOWING VARIETIES (OR APPROVED EQUAL):

NAME	MIN. % GRASS	MIN. % PURE SEED	MAX. % WEED SEED
10% KENTUCKY BLUEGRASS (GOOD QUALITY)	65%	80%	050%
10% MERCURY KENTUCKY BLUEGRASS	65%	80%	050%
20% KENBLUE KENTUCKY BLUEGRASS	65%	80%	050%
25% CREEPING RED FESCUE	65%	80%	050%
15% WICKED PERENNIAL RYEGRASS	65%	80%	050%
10% FIESTA 4 PERENNIAL RYEGRASS	65%	80%	050%

SEEDING RATE SHALL BE 45 POUNDS PER 1000 SQUARE FEET

SEEDS SHALL BE INSTALLED 1" TO 1 1/2" BELOW FINISH GRADE.

## LANDSCAPE MATERIALS CALCULATIONS

DECORATIVE STONE MULCH IN PLANTING BEDS

ON WEED BARRIER

AREA: 1511 SQUARE FEET WEED BARRIER

VOLUME: 215 CUBIC YARDS STONE MULCH

SHREDDED HARDWOOD MULCH

(AROUND TREES IN LAWN AREAS)

AREA: 186 SQUARE FEET

VOLUME: 11 CUBIC YARDS

SHREDDED HARDWOOD MULCH AND EROSION

MAT (IN INFILTRATION BASINS)

AREA: 1342 SQUARE FEET EROSION MAT

VOLUME: 18 CUBIC YARDS HARDWOOD MULCH

LAWN SOIL

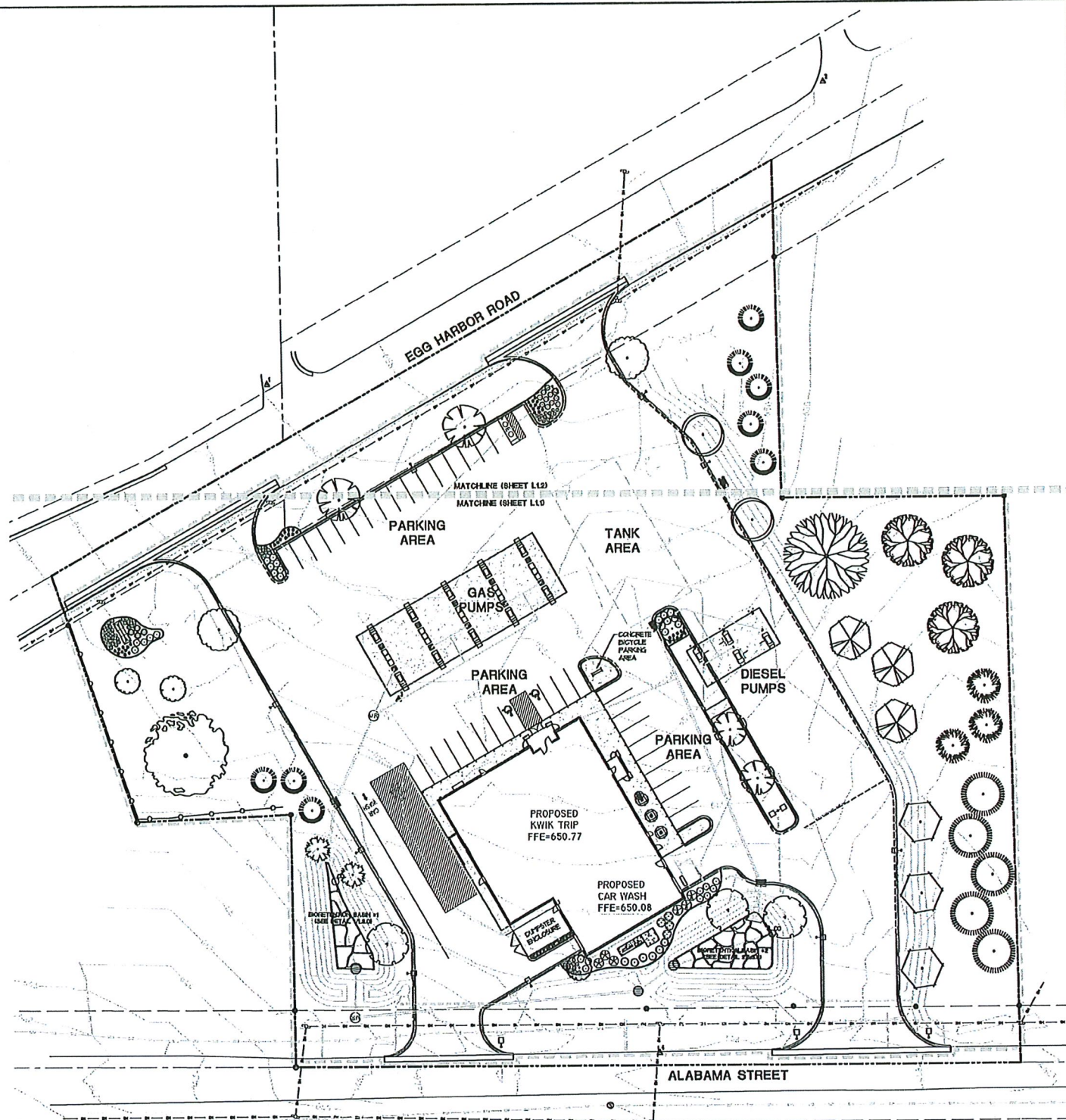
AREA: 6847 SQUARE YARDS

LAWN SEEDING WITH EROSION MAT

AREA: 1163 SQUARE YARDS

PLASTIC EDGING

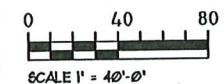
LENGTH: 730 LINEAR FEET



## INDEX OF SHEETS

SHEET	TITLE
L1.0	LANDSCAPE PLAN- OVERALL
L1.1	LANDSCAPE PLAN- SOUTH AREA
L1.2	LANDSCAPE PLAN- NORTH AREA
L2.0	LANDSCAPE DETAILS & NOTES
L3.0	BIORETENTION DETAILS & NOTES

PLANT SCHEDULE ON SHEET L1.0.  
LANDSCAPE DETAILS ON SHEET L2.0.  
BIORETENTION PLANTING DETAILS AND  
NOTES ON SHEET L3.0.



**Kwik Trip**  
STORES

**Kwik Star**  
STORES

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LANDSCAPE PLAN  
- OVERALL

CONVENIENCE STORE #1209

EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

#	DATE	DESCRIPTION

DRAWN BY: BJB  
SCALE: SEE SCALE BAR  
PROJ. NO.: 9923  
DATE: 09/22/2021 - REVIEW DOCUMENTS  
SHEET: L1.0



## STORES



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EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

[illegible]

L1.1

INFORMATION SHOWN ON THIS DRAWING IS BASED ON AN ORIGINAL SURVEY AND SITE PLAN DEVELOPED BY REI ENGINEERING, INC. THE LANDSCAPE ARCHITECT MAKES NO WARRANTIES OR REPRESENTATIONS AS TO THE ACCURACY AND COMPLETENESS OF THE SURVEY AND SITE PLAN. ALL INFORMATION SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.



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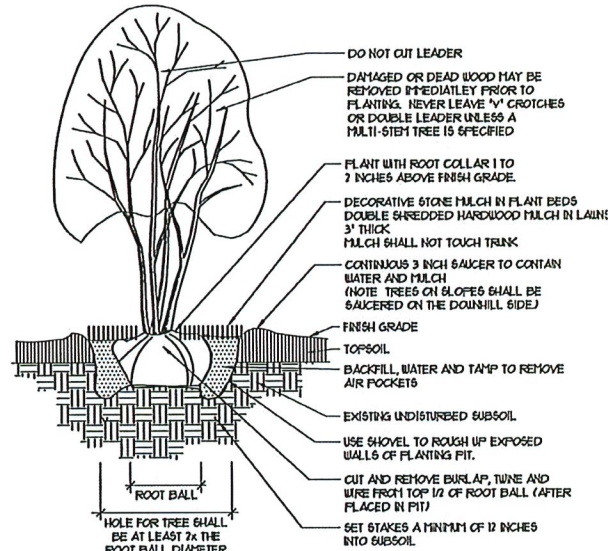


## LANDSCAPE NOTES:

- LOCATE ALL PRIVATE AND PUBLIC UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF ANY DIGGING/CLEARING OPERATIONS. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE ARCHITECT, LANDSCAPE ARCHITECT, ENGINEER AND OWNER. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY ARCHITECT, LANDSCAPE ARCHITECT, ENGINEER AND OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIALS.
- KEEP DRIVEWAYS, PARKING LOTS AND ENTRANCES SERVING THE PREMISES CLEAR AND AVAILABLE AT ALL TIMES UNLESS AREAS ARE INDICATED FOR STORAGE AND STAGING. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON SITE.
- (IF APPLICABLE) CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO REMAIN AND CLEARLY TAG THEM WITH MARKING TAPE AND PROVIDE A 4' TALL ORANGE CONSTRUCTION FENCE TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. THE ORANGE CONSTRUCTION FENCE SHALL BE PLACED A MINIMUM 1 FOOT AWAY FROM THE TREE TRUNK FOR EVERY 1 INCH DIAMETER AT BREAST HEIGHT (DBH) OF THE TREE.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS AND QUANTITIES OF MATERIALS INDICATED ARE FOR CONVENIENCE ONLY AND SHALL BE FIELD VERIFIED WITH SITE CONDITIONS.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLAN AND/OR CIVIL DRAWINGS, (AND ANY OTHER SITE DRAWING) THE DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S/ENGINEER'S ATTENTION FOR COORDINATION AND RESOLUTION.
- THE PLANT SCHEDULE IS ON SHEET L10 AND BIORETENTION PLANT SCHEDULE IS ON SHEET L3.0. PLANT QUANTITIES INDICATED ON THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. PLANT QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR. WHEN DISCREPANCIES BETWEEN THE SCHEDULE, LABELS AND THE PLAN OCCUR, THE QUANTITY SHOWN ON THE PLAN SHALL BE THE OFFICIAL QUANTITY.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- REMOVE ALL EXISTING TREES, SHRUBS, PLANTS, SOIL, MULCH, WEED BARRIER, DEBRIS, ETC. TO PERMIT THE INSTALLATION OF NEW PLANT MATERIAL. REMOVE ALL GRAVEL TO WHATEVER DEPTHS ENCOUNTERED IN AREAS THAT ARE BEING CONVERTED TO LANDSCAPE ISLANDS OR LAWN AREAS. REPLACE GRAVEL WITH TOPSOIL. DO NOT PLANT OR SEED LAWN OVER GRAVEL BASE.
- EXISTING TOPSOIL SHALL BE STRIPPED AND STOCKPILED TO BE RE-SPREAD BY OTHERS AFTER GRADING WORK IS COMPLETED. PROVIDE ADDITIONAL TOPSOIL IF QUANTITY OR QUALITY OF STRIPPED TOPSOIL IS INSUFFICIENT. TOPSOIL SHALL HAVE A pH RANGE OF 6.0-7.5, BETWEEN 3 AND 8 PERCENT ORGANIC MATERIAL CONTENT WITH A LIBERAL AMOUNT OF HUMUS, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION, WEED SEEDS, ROOTS AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SUITABLE FOR THE GROWTH OF GRASS AND PLANTS.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS OR TREE PITS ARE TO RECEIVE RE-SPREAD OR IMPORTED TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES AND SHALL BE SOODED -OR- SEEDDED WITH SPECIFIED LAWN GRASS OR APPROVED EQUAL. LANDSCAPE CONTRACTOR SHALL INCLUDE COST FOR ADDITIONAL SEED OPERATIONS TO RE-ESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN PER THE CIVIL PLANS. NO PONDING STORM WATER IS PERMITTED OUTSIDE OF THE STORM WATER MANAGEMENT AREAS (IF APPLICABLE). PONDING AREAS SHALL BE REPAIRED TO BE FREE DRAINING.
- FINISH GRADES OF LAWN AREAS SHALL BE 1/2 INCH BELOW THE TOP OF ADJACENT PAVEMENTS AND CURBS UNLESS OTHERWISE NOTED ON THE PLANS.
- PLANTING SOIL FOR PLANTING BEDS TO BE BLENDED CONSISTING OF A RATIO OF 3 PARTS TOPSOIL TO 1 PART COMPOST. TOPSOIL TO HAVE A pH RANGE OF 6.0-7.5, BETWEEN 3 AND 8 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH. COMPOST TO BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8, MOISTURE CONTENT OF 5 TO 10 DECIDED NOT EXCEEDING 85 PERCENT NEST CONTAMINANTS, FREE OF SUBSTANCES TOXIC TO PLANTINGS AND ORGANIC CONTENT OF BETWEEN 50 TO 60 PERCENT DRY WEIGHT. PLANTING SOIL TO BE INSTALLED 6 INCHES DEEP. TILL PLANTING BEDS TO A MINIMUM DEPTH OF 8 INCHES PRIOR TO PLANTING.
- TREES AND SHRUBS SHALL BE INSTALLED PER THE PLANTING DETAILS. SEE PLANTING DETAILS ON SHEET L3.0 FOR PLANT INSTALLATION REQUIREMENTS.
- ALL AREAS INDICATED AS 'SOIL' SHALL BE SOODED AS SPECIFIED. ALL AREAS INDICATED AS 'LAWN' SHALL BE SEEDDED WITH THE SPECIFIED SEED MIX AND COVERED WITH STRAW EROSION MAT. ALL AREAS DISTURBED DURING CONSTRUCTION INCLUDING TRENCHING DISTURBANCE SHALL BE SOODED OR LAWN SEEDDED. SEE CIVIL PLANS FOR APPROXIMATE LIMITS OF GRADING AND TRENCHING WORK.
- LAWN INSTALLATION- CONTRACTOR SHALL TILL THE TOPSOIL AND REMOVE ALL STONE 1 INCH DIAMETER AND LARGER TO PREPARE THE TOPSOIL FOR SEEDING. APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE STRAW EROSION MAT TYPE AS SPECIFIED ON THE EROSION CONTROL PLAN FOR ALL SEEDING AREAS AND INSTALL PER MANUFACTURER'S WRITTEN REQUIREMENTS. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF FREE FROM ANY BARE AREAS IN EXCESS OF 5 INCHES BY 5 INCHES. POORLY SEEDDED AREAS SHALL BE RE-SEEDDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SEED AND STRAW EROSION BLANKET THE LANDSCAPE AREA BETWEEN THE PROPERTY LINE AND STREET PAVEMENT EDGE WITHIN THE RIGHT-OF-WAY ADJACENT TO THE PROJECT SITE IF DISTURBED AREA EXTENDS BEYOND THE PROPERTY LINE OR IF THE EXISTING VEGETATION WITHIN THE RIGHT-OF-WAY IS NOT LAWN. SEED SHALL MATCH THE PROPOSED SEED USED ON THE PROJECT SITE IN ORDER TO BLEND THE TWO AREAS SEAMLESSLY TOGETHER. INSTALL IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION OR ACCORDING TO THE LANDSCAPE SPECIFICATIONS IF THERE ARE NO MUNICIPAL REQUIREMENTS.
- WATER SEEDDED AREAS IMMEDIATELY AFTER SEEDING AND STRAW EROSION MAT INSTALLATION COMPLETION. MAINTAIN A 1-INCH PER WEEK NATURAL OR AUGMENTED WATERING REGIME FOR ALL PLANTINGS AND LAWN. OPTIONALLY PROVIDE AUTOMATIC LAWN OR TREE/SHRUB/PERENNIAL WATERING DEVICES DURING INITIAL TREE/SHRUB/PERENNIAL ESTABLISHMENT.
- THE LANDSCAPE SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND FOR 30 DAYS FOLLOWING SUBSTANTIAL COMPLETION DATE WHICH WILL BE DEFINED BY THE ARCHITECT/ENGINEER. NEW LAWNS AND PLANTINGS SHALL BE WATERED, DAMAGE REPAIRED AND WEEDS SHALL BE REMOVED FROM THE TIME OF SEEDING/PLANTING AND CONTINUED THROUGH THE END OF THE 30 DAY MAINTENANCE PERIOD. NO EXCEPTIONS WILL BE GRANTED UNLESS APPROVED BY THE OWNER.
- ALL PLANTING BEDS NOT ADJACENT TO ASPHALT, CONCRETE OR CURBS SHALL HAVE A PLASTIC BED EDGE AS INDICATED ON THE PLAN. ALL PLANTING BEDS SHALL BE TOPDRESSED WITH 3/4" DIAMETER TO 1-1/2" DIAMETER RIVER ROCK (OR OWNER APPROVED EQUAL) TO A DEPTH OF 3 INCHES ON WEED BARRIER.
- THE CONTRACTOR SHALL PROVIDE A 1-YEAR WARRANTY ON THE ENTIRE LANDSCAPE INSTALLATION STARTING FROM THE DATE OF SUBSTANTIAL COMPLETION.
- UNDERGROUND UTILITIES INDICATED ON THIS PLAN ARE SHOWN FOR CONVENIENCE ONLY. LIGHT POLE LOCATIONS ARE UNKNOWN. SEE SITE LIGHTING PLAN FOR OFFICIAL LIGHT POLE LOCATIONS AND SURVEY/CIVIL PLANS FOR OFFICIAL UNDERGROUND UTILITY LOCATIONS. ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY TO AVOID LIGHT POLES AND UNDERGROUND UTILITIES.
- CONFINE OPERATIONS TO AREAS WITHIN THE PROJECT LIMIT LINE INDICATED. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION OPERATIONS ARE INDICATED ARE NOT TO BE DISTURBED.

## MULTI-STEM TREE STAKING AND PLANTING NOTES

- STAKING - MULTI-STEM TREES SHALL NOT BE STAKED. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY.
- PRUNING - CLEARLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
- PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK, OR CROWN OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
- WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.

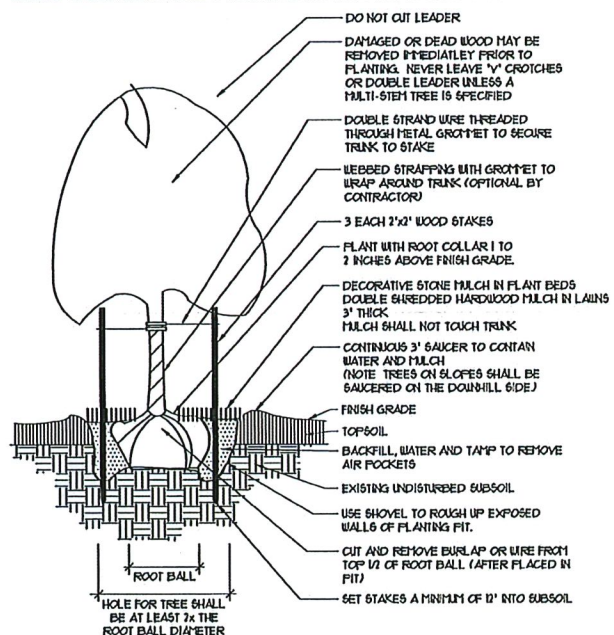


## MULTI-STEM TREE PLANTING

SCALE: NOT TO SCALE

## TREE STAKING AND PLANTING NOTES

- STAKING - ONLY TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING SHALL BE STAKED. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. THE WEEDED STRAPPINGS TO THE TREE 1/3 UP THE TRUNK AND WIRE TO THREE STAKES POSITIONED EVENLY AROUND THE TREE. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- PRUNING - CLEARLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
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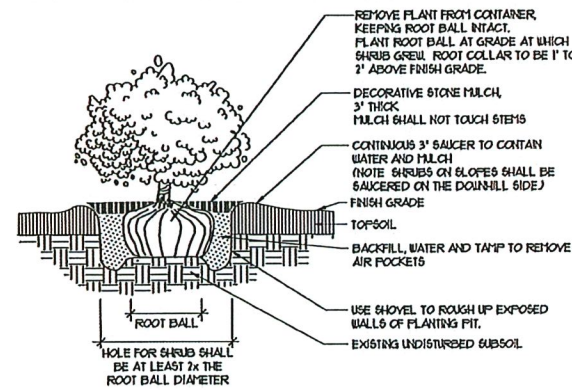


## DECIDUOUS TREE PLANTING

SCALE: NOT TO SCALE

## SHRUB PLANTING NOTES

- PRUNING - CLEARLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
- PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK, OR CROWN OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
- WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.

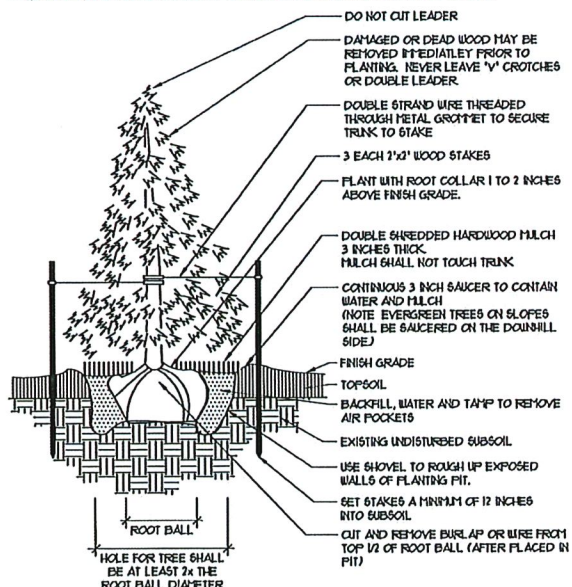


## SHRUB PLANTING DETAIL

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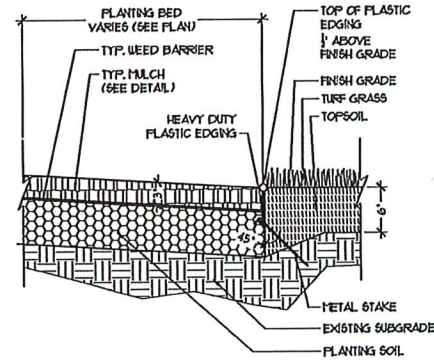
## EVERGREEN TREE STAKING AND PLANTING NOTES

- STAKING - ONLY EVERGREEN TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING SHALL BE STAKED. EVERGREEN TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE EVERGREEN TREE IS FREE TO SWAY. THE WEEDED STRAPPINGS TO THE TREE 1/3 UP THE TRUNK AND WIRE TO THREE STAKES POSITIONED EVENLY AROUND THE EVERGREEN TREE. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- PRUNING - CLEARLY PRUNE ONLY DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
- PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK, OR CROWN OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
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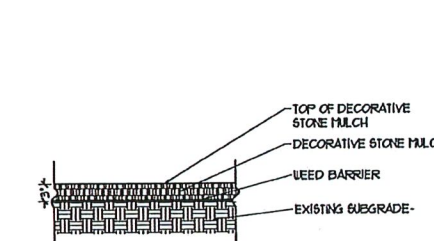
## EVERGREEN TREE PLANTING

SCALE: NOT TO SCALE



## TYPICAL PLASTIC EDGE SECTION

SCALE: 1" = 1'-0"



NOTE: SEE PLANS AND SPECIFICATIONS FOR DECORATIVE STONE TYPE.

## TYP. DECORATIVE STONE MULCH SECTION

SCALE: 3/4" = 1'-0"

**Kwik**  
**TRIP**

STORES

**Kwik**  
**STAR**

STORES

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LANDSCAPE  
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CONVENIENCE STORE #1209  
EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

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DRAWN BY: BJB  
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SHEET: L2.0

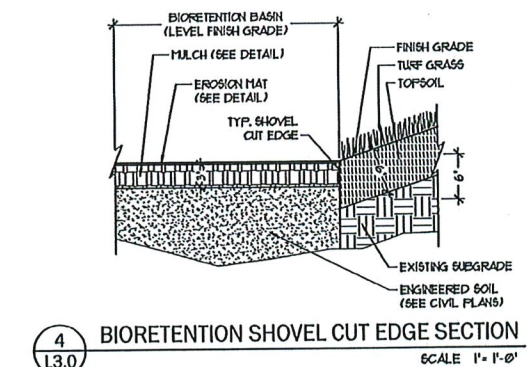
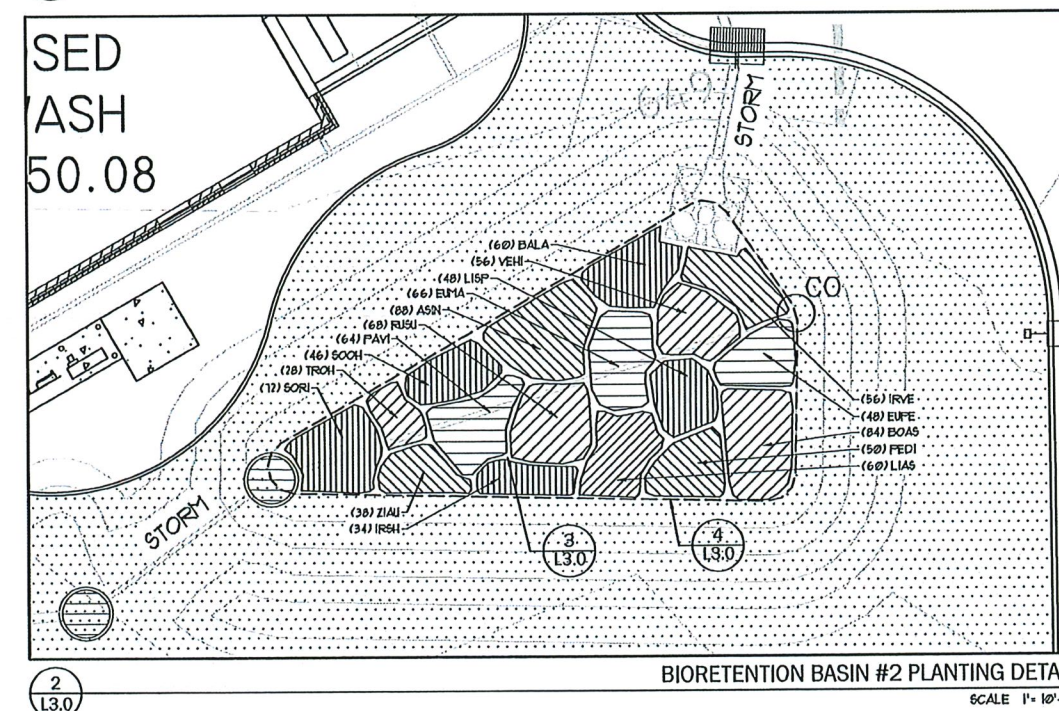
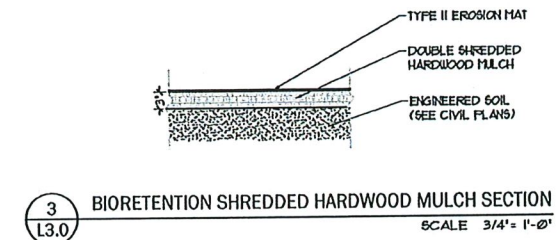
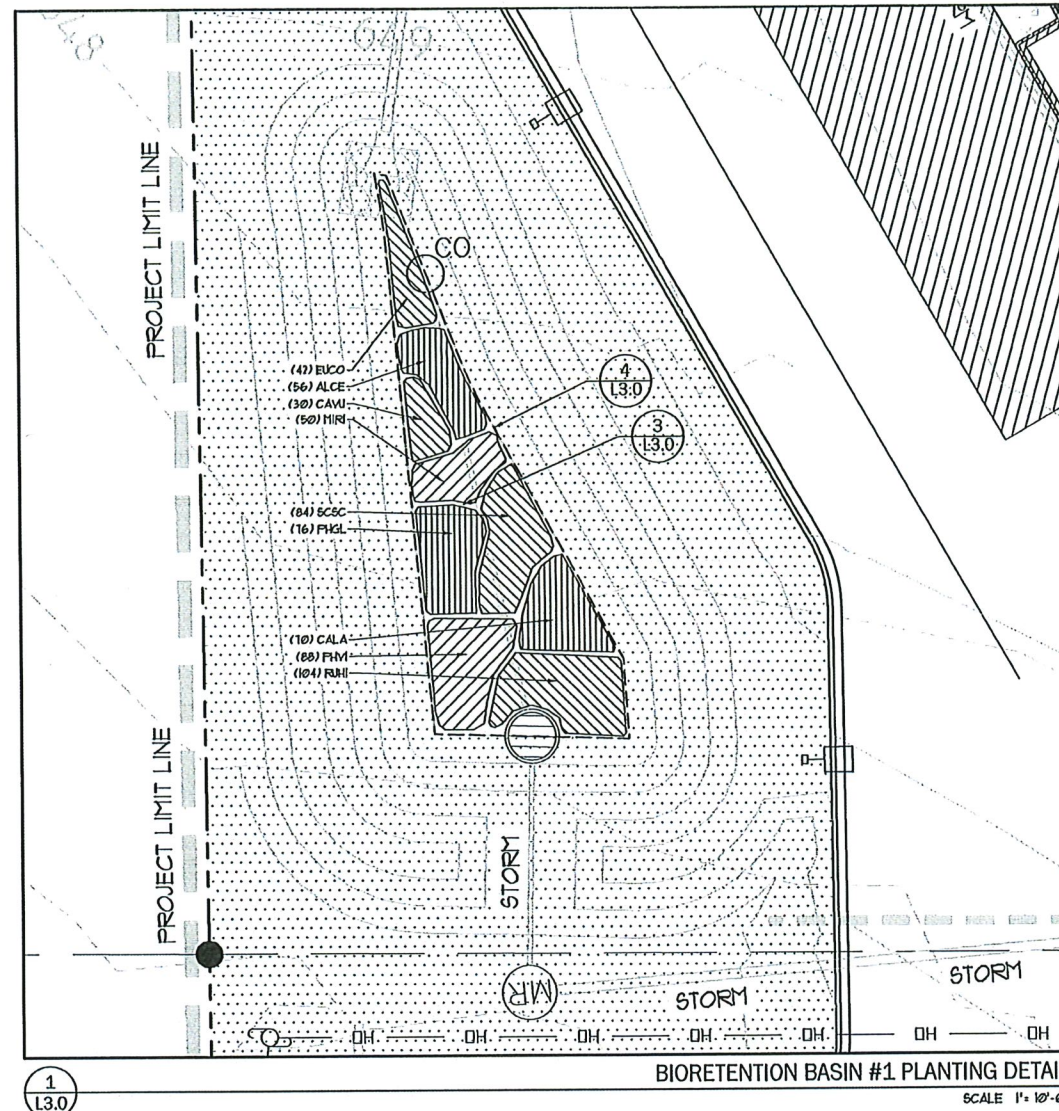


**FOLLOW THIS PROCESS TO PREPARE AND PLANT BIORETENTION BASIN.**

1. IT IS RECOMMENDED THAT THE BIORETENTION BASIN BE BUILT IN THE SPRINGS BECAUSE THE PLANTS WILL BE MORE LIKELY TO THRIVE. HOWEVER IT IS ACCEPTABLE FOR THE BIORETENTION BASIN TO BE BUILT FROM APRIL 15 - SEPTEMBER 15 AS LONG AS THE PLANTS ARE WATERED.
2. LAYOUT THE BIORETENTION BASIN IN THE SHAPE INDICATED ON THE LANDSCAPE PLAN.
3. EXCAVATE THE BIORETENTION BASIN TO THE ELEVATIONS INDICATED BY THE CIVIL PLANS. ALLOW FOR THE DEPTH OF THE ENGINEERED SOIL MIX AND SHREDDED HARDWOOD MULCH. THE SIDES OF THE BASIN SHALL HAVE A MAXIMUM SIDE SLOPE OF 2 TO 1 AND COVERED WITH MULCH OR PLANTED AS SPECIFIED TO PREVENT EROSION.
4. AFTER EXCAVATION IS COMPLETE, DEEP TILL THE EXISTING SUBGRADE UNDER THE BIORETENTION BASIN TO THE DEPTHS INDICATED IN THE BIORETENTION BASIN SECTIONS FOUND IN THE CIVIL DRAWINGS. DEEP TILLING IS NECESSARY TO REDUCE COMPACTION CREATED BY CONSTRUCTION EQUIPMENT, THEREBY IMPROVING INFILTRATION CHARACTERISTICS. AFTER DEEP TILLING, CHECK THE INFILTRATION RATES BY DIGGING TEST HOLES A MINIMUM OF 12 INCHES DEEP AND FILL THE HOLE COMPLETELY WITH WATER. IF THE WATER TAKES MORE THAN 24 HOURS TO SOAK IN, NOTIFY THE LANDSCAPE ARCHITECT. SOIL ATTENDANCES MAY NEED TO BE ADDED TO THE SUBGRADE TO IMPROVE INFILTRATION CHARACTERISTICS. COMPLETE ONE TEST HOLE PER 300 SQUARE FEET OF BIORETENTION BASIN AREA, BUT NO LESS THAN ONE TEST HOLE PER BIORETENTION BASIN.
5. FILL THE BIORETENTION BASIN WITH THE SPECIFIED SAND AND ENGINEERED SOIL MIX TO DEPTHS INDICATED IN THE BIORETENTION BASIN DETAIL. IN THE CIVIL DRAWINGS, USE CARE TO NOT EXCESSIVELY COMPACT THE ENGINEERED SOIL MIX. THE FINISH GRADE BOTTOM OF THE BIORETENTION BASIN SHALL BE LEVEL IN ALL DIRECTIONS. COORDINATE WITH THE CONTRACTOR RESPONSIBLE FOR THE SIGHT INLET, STANDPIPE, CLEANOUT OR UNDERDRAIN INSTALLATION IF PROPOSED.
6. PLANTING - BIORETENTION BASIN PLANTS SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM. USUALLY ONE OR TWO-YEAR-OLD PLANTS WILL HAVE ROOT SYSTEMS THAT ARE BEGINNING TO CIRCLE OR GET MATTED. (NOTE - USE ONLY NURSERY-PROPAGATED PLANTS, DO NOT COLLECT PLANTS FROM THE WLD.)
  - A. APPLY DOUBLE-SHREDDED MULCH AGED A MINIMUM OF 18 MONTHS, EVENLY OVER THE BED APPROXIMATELY THIRTY INCHES THICK PRIOR TO PLANTING VEGETATION TO HELP PREVENT COMPACTION OF THE PLANTING SOIL DURING THE PLANTING PROCESS. APPLY CLASS II EROSION MAT OVER THE MULCH TO PREVENT THE MULCH FROM FLOATING UNTIL THE DENSE VEGETATION IS ESTABLISHED. OVERLAP PIECES OF EROSION MAT A MINIMUM OF 6 INCHES AND FASTEN THE EROSION MAT TO THE SOIL WITH SIX-INCH LONG HARDWOOD STAKES.
  - B. LAY OUT THE PLANTS AS INDICATED ON THE LANDSCAPE PLAN, SPACE AS INDICATED IN THE PLANT SCHEDULE IN A GRID PATTERN, KEEPING THEM IN CONTAINERS UNTIL THEY ARE ACTUALLY PLANTED TO PREVENT DRYING OUT BEFORE THEY ARE INSTALLED IN THE GROUND.
  - C. CUT A HOLE IN THE EROSION MAT JUST LARGE ENOUGH TO INSTALL THE PLANT, TEMPORARILY MOVE THE MULCH TO THE SIDE, DIG EACH HOLE TWICE AS WIDE AS THE PLANT PLUG AND DEEP ENOUGH TO KEEP THE CROWN OF THE PLANT LEVEL WITH THE EXISTING GRADE (NOT AS IF IT WAS GROWING IN THE CELL PACK OR CONTAINER). THEN INSTALL THE PLANT, BACKFILL, AND RETURN MULCH AROUND THE INSTALLED PLANT. DO NOT COVER THE STEM OR LEAVES OF THE PLANT WITH MULCH. MAKE SURE THE CROWN IS LEVEL, AND THEN FILL THE HOLE AND FIRMLY TAMP AROUND THE ROOTS TO AVOID AIR POCKETS.
  - D. STICK PLANT LABELS NEXT TO EACH INDIVIDUAL GROUPING. THIS WILL HELP IDENTIFY THE YOUNG NATIVE PLANTS FROM NON-DESIRABLE SPECIES (WEEDS) AS YOU VIEW THE BASIN.
  - E. WATER IMMEDIATELY AFTER PLANTING AND CONTINUE TO WATER TWICE A WEEK (UNLESS NATURAL RAIN PRODUCES 1 INCH PER WEEK) UNTIL THE PLUGS ARE ESTABLISHED.
7. MAINTAINING THE BIORETENTION BASIN - INITIAL MAINTENANCE SHALL BE COMPLETED BY THE CONTRACTOR FOR 60 DAYS FOLLOWING SUBSTANTIAL COMPLETION.
  - A. WEEDING WILL BE NEEDED THE FIRST COUPLE OF YEARS. REMOVE BY HAND ONLY THOSE PLANTS THAT ARE WEEDS. REMOVE ALL THE ROOTS OF THE WEEDY PLANTS. WEEDS MAY NOT BE A PROBLEM IN THE SECOND YEAR, DEPENDING ON THE VARIETY AND TENACITY OF THE WEEDS PRESENT. IN THE THIRD YEAR AND BEYOND, THE NATIVE GRASSES, SEDGES, RUSHES, AND WILDOGWERS WILL BE ABOUT TO MATURE AND WILL OUT-COMPETE THE WEEDS. WEEDING ISOLATED PATCHES MIGHT STILL BE NEEDED ON OCCASION.
  - B. AFTER EACH GROWING SEASON, THE STEMS AND SEEDHEADS CAN BE LEFT FOR WINTER INTEREST, WILDLIFE COVER AND BIRD FOOD. ONCE SPRING ARRIVES AND NEW GROWTH IS 4-6 INCHES TALL, CUT ALL, TATTERED PLANTS BACK. IF THE GROWTH IS REALLY THICK, HAND-CUT THE LARGEST PLANTS AND THEN USE A STRING TRIMMER TO HOWL THE PLANTINGS BACK TO A HEIGHT OF SIX TO EIGHT INCHES. DEAD PLANT MATERIAL CAN ALSO BE REMOVED WITH A STRING TRIMMER OR WEED WHACKER AND COMPOSTED OR DISPOSED OF AS APPROPRIATE.
  - C. WATERING WILL BE REQUIRED AS INDICATED IN ITEM 6.E ABOVE.

## BIORETENTION RETENTION PLANTS - LOAM TO SANDY/LOAM &amp; FULL SUN

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	SPACING	HEIGHT
ALCE	<i>Allium cernuum</i>	Nodding Pink Onion	56	3' Pot	12' OC.	1'-2'
ASN	<i>Asclepias incarnata</i>	Red Milkweed	88	3' Pot	12' OC.	3'-5'
BALA	<i>Baptisia lactea</i>	White False Indigo	60	3' Pot	12' OC.	3'-5'
BOAS	<i>Boltonia asteroides</i>	False Aster	84	3' Pot	12' OC.	2'-4'
CALA	<i>Coresopsis lanceolata</i>	Sand Coresopsis	10	3' Pot	12' OC.	1'-3'
CAVU	<i>Carex vulpinoidea</i>	Fox sedge	30	3' Pot	12' OC.	1'-3'
EUCO	<i>Euphorbia corollata</i>	Flowering Spurge	42	3' Pot	12' OC.	1'-2'
EURM	<i>Eupatorium maculatum</i>	Joe Pye Weed	66	3' Pot	12' OC.	4'-6'
EUPE	<i>Eupatorium perfoliatum</i>	Bonsett	48	3' Pot	12' OC.	2'-4'
IRSH	<i>Iris sibirica</i>	Wild Iris	34	3' Pot	12' OC.	2'-3'
IRVE	<i>Iris versicolor</i>	Blue Flag Iris	56	3' Pot	12' OC.	2'-3'
LIAS	<i>Liatris aspera</i>	Rough blazingstar	60	3' Pot	12' OC.	2'-3'
LISP	<i>Liatris spicata</i>	Dense blazingstar	48	3' Pot	12' OC.	3'-6'
MIRI	<i>Mimulus ringens</i>	Monkeyflower	50	3' Pot	12' OC.	1'-3'
PAVI	<i>Panicum virgatum</i>	Switchgrass	64	3' Pot	12' OC.	3'-6'
PEDI	<i>Penstemon digitalis</i>	Smooth Penstemon	50	3' Pot	12' OC.	2'-3'
PHGL	<i>Phlox glaberrima</i>	Marsh Phlox	76	3' Pot	12' OC.	2'-4'
PHVI	<i>Physostegia virginiana</i>	Obedient Plant	18	3' Pot	12' OC.	2'-3'
RUHI	<i>Rudbeckia hirta</i>	Black-eyed Susan	104	3' Pot	12' OC.	1'-3'
RUSU	<i>Rudbeckia subtomentosa</i>	Sweet Black-eyed Susan	68	3' Pot	12' OC.	4'-6'
SCSC	<i>Scilla dichryum coparium</i>	Little Bluebell	84	3' Pot	12' OC.	1'-3'
SOCH	<i>Solidago chensis</i>	Oro Goldenrod	46	3' Pot	12' OC.	3'-4'
SORI	<i>Solidago rodrickii</i>	Riddell's Goldenrod	12	3' Pot	12' OC.	1'-3'
TROH	<i>Tradescantia chensis</i>	Spiderwort	26	3' Pot	12' OC.	1'-4'
VEHA	<i>Verbena hastata</i>	Blue Vervain	56	3' Pot	12' OC.	3'-6'
ZIAU	<i>Zizia aurea</i>	Divided Golden Alexander	38	3' Pot	12' OC.	1'-2'



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BIORETENTION  
DETAILS & NOTES

CONVENIENCE STORE #1209

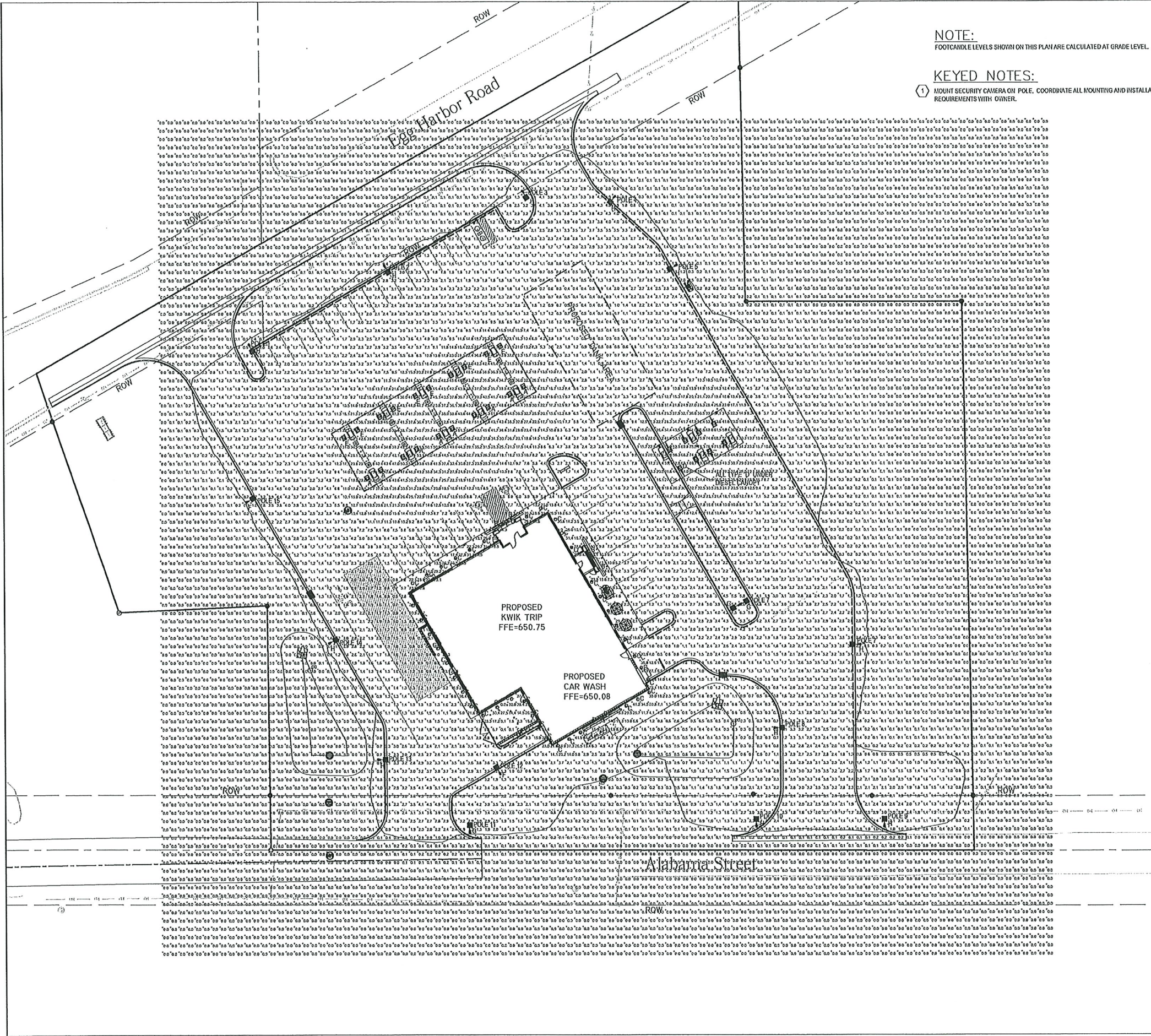
EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

#	DATE	DESCRIPTION

DRAWN BY _____	BJS _____
SCALE _____	SEE SCALE BAR
PROJ. NO. _____	9923 _____
DATE 09/22/2021 - REVIEW DOCUMENTS	
SHEET _____	130 _____





NOTE:  
FOOTCANDLE LEVELS SHOWN ON THIS PLAN ARE CALCULATED AT GRADE LEVEL.

KEYED NOTES:

- 1) MOUNT SECURITY CAMERA ON POLE. COORDINATE ALL MOUNTING AND INSTALLATION REQUIREMENTS WITH OWNER.

CALCULATION STATISTICS

AVERAGE: 3.1  
MAXIMUM: 76.3  
MINIMUM: 0.0

FIXTURE QUANTITIES

- A - 10  
B - 8  
C - 40  
D - 8  
E - 10  
F - 3  
G - 2  
H - 11

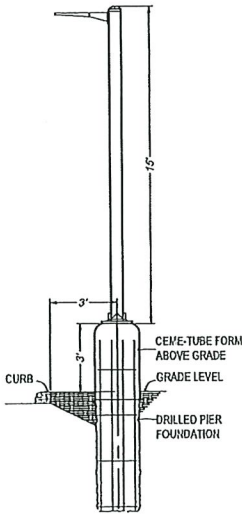
PROVIDE (15) 15' POLES.

FIXTURE SYMBOLS:

- A, D & E LED LIGHT MOUNTED UNDER FUEL CANOPIES  
B LED STRIP LIGHT MOUNTED IN CABLE  
C RECESSED LED DOWNLIGHT  
F, G & H POLE MOUNTED LED FIXTURE

FIXTURE TYPES:

- A- LSI LIGHTING: SCV-LED-23L-SCFT-UNY-DIM-50-WHT  
MOUNTED UNDER GAS CANOPY  
MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING AT STORE FRONT.  
B- LED STRIP LIGHT MOUNTED IN CABLE  
LITHONIA-ETL-WL-96-1000LM-FST-MVOLT  
C- RECESSED LED DOWNLIGHT  
GOTHAM EVO-3530-8AR-W-120-TRV  
D- LSI LIGHTING: SCV-LED-23L-SCFT-UNY-DIM-50-BLK  
MOUNTED UNDER DIESEL CANOPY  
MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING IN DIRECTION OF ARROW.  
E- LSI LIGHTING: SCV-LED-19L-SC-UNY-DIM-50-WHT  
MOUNTED UNDER GAS CANOPY  
F- LSI LIGHTING: SIM-LED-9L-SIL-3-UNY-50-70CRI-WHT-IL  
G- LSI LIGHTING: SIM-LED-9L-SIL-FT-UNY-50-70CRI-WHT  
H- LSI LIGHTING: SIM-LED-9L-SIL-FT-UNY-50-70CRI-WHT-IL



LOT LIGHT ELEVATION DETAIL

NOT TO SCALE

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EMAIL: MAIL@REIENGINEERING.COM



SCALE



PHOTOMETRIC  
LIGHTING PLAN

CONVENIENCE STORE # 1209

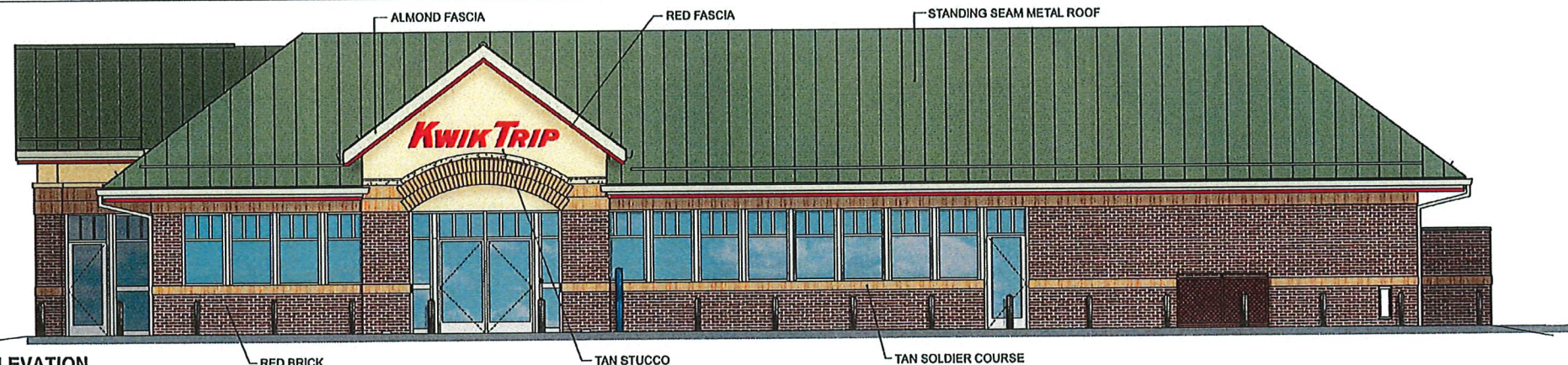
EGG HARBOR RD & ALABAMA ST  
STURGEON BAY, WI

#	DATE	DESCRIPTION
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2		
3		
4		
5		

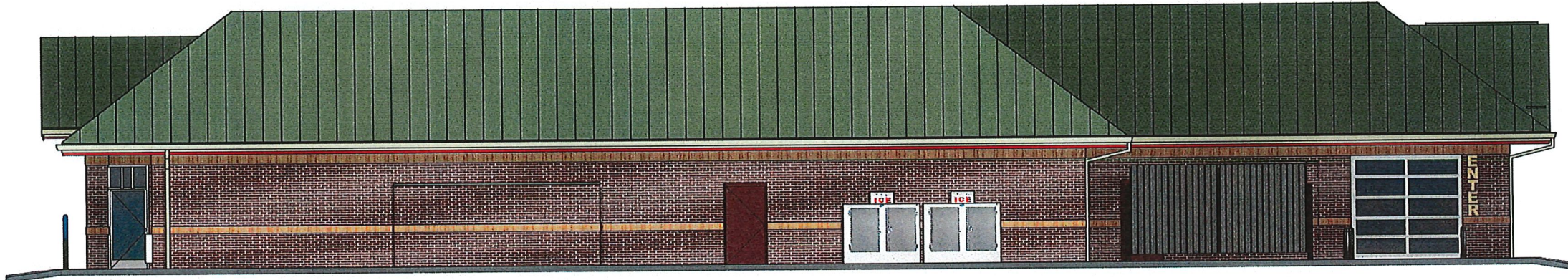
DRAWN BY	CZE
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PROJ. NO.	9923
DATE	09/23/21 - REVIEW DOCUMENTS
SHEET	E1

**Gräef**  
One Honey Creek Corporate Center  
125 South 84th Street, Suite 401  
MILWAUKEE, WI 53214-1470  
414 / 259 1500  
414 / 259 0037 fax

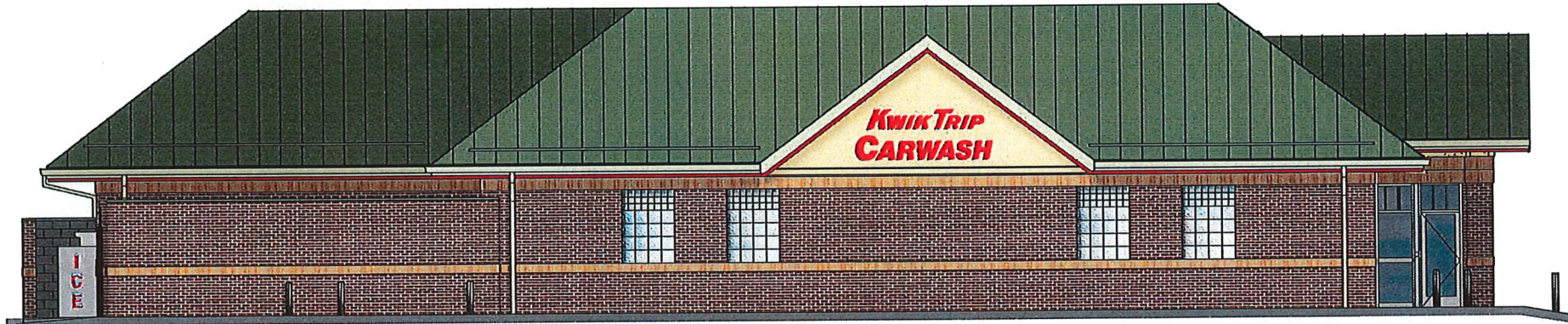




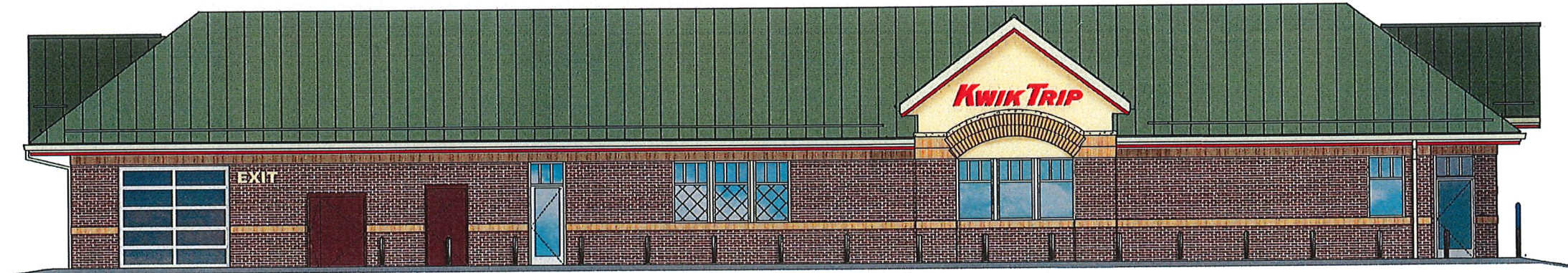
1 FRONT ELEVATION



2 RIGHT ELEVATION



3 REAR ELEVATION



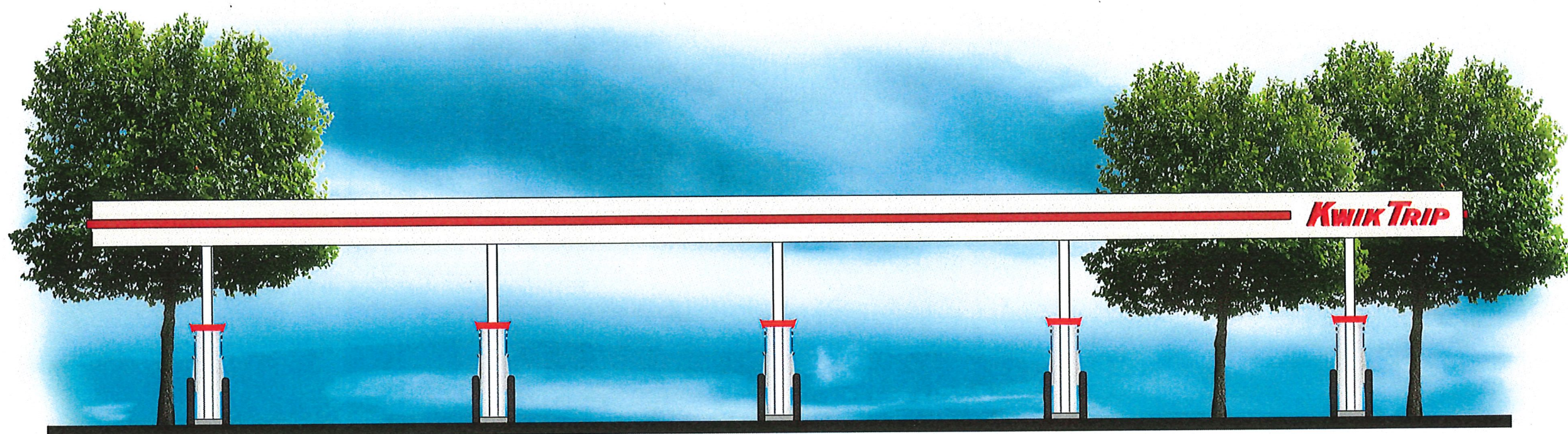
4 LEFT ELEVATION

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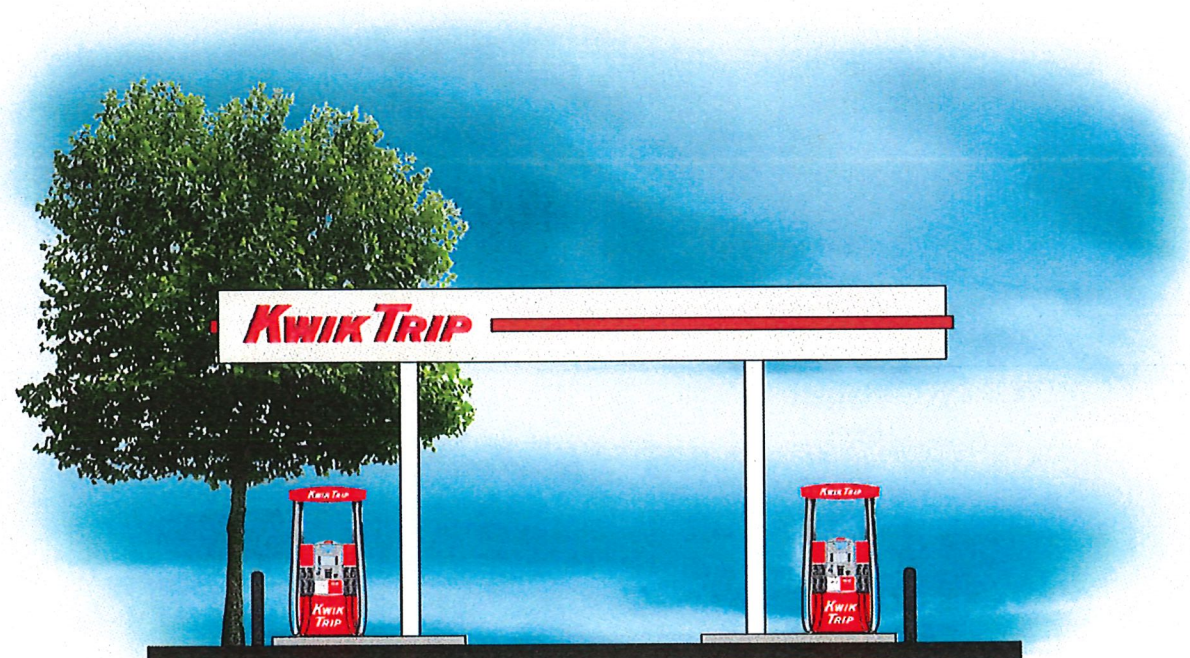
1 FRONT ELEVATION

**Kwik  
Trip**

**Kwik  
Star**

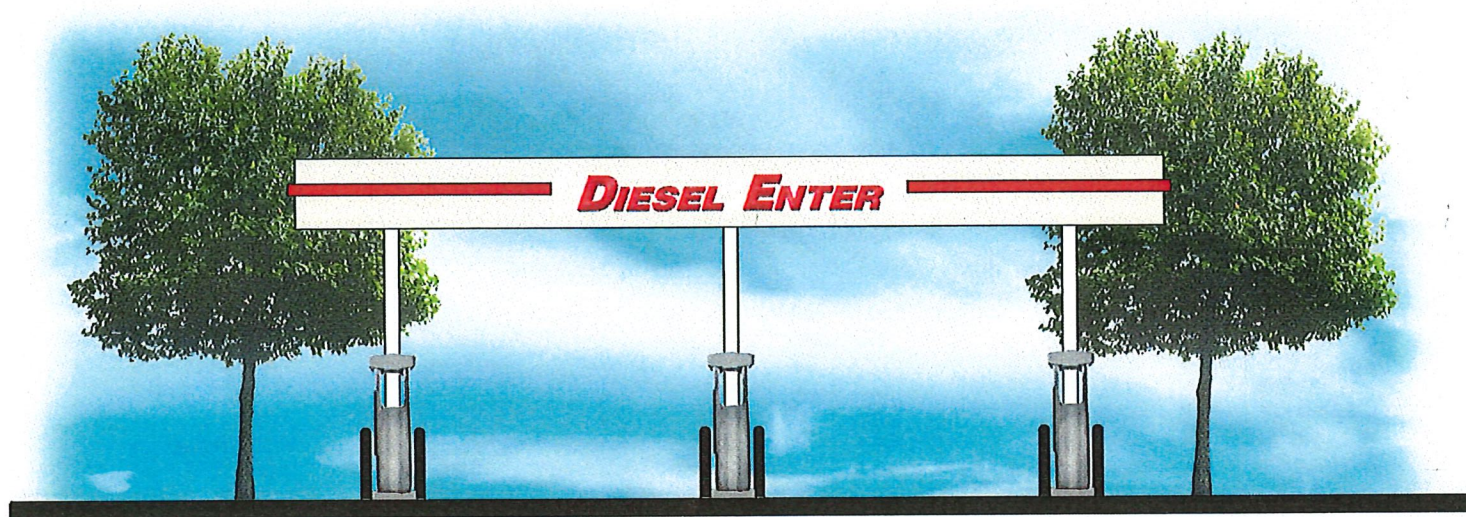
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10 MPD

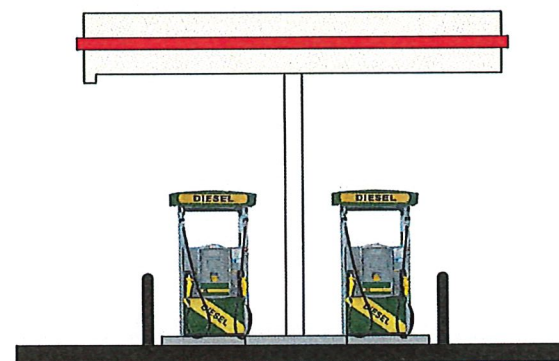


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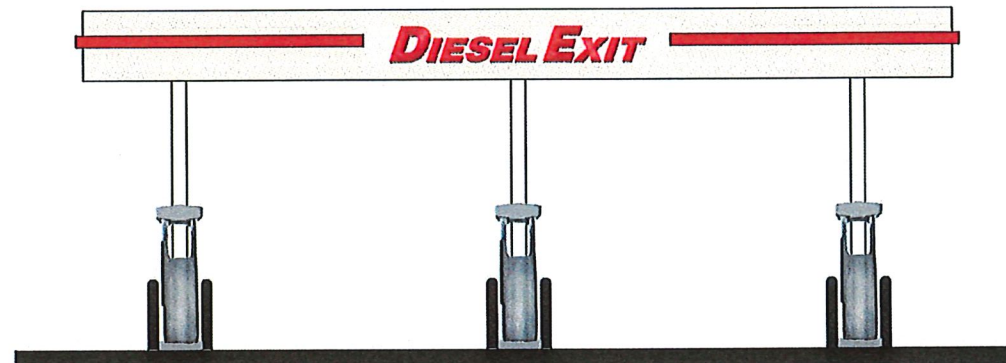




1 FRONT ELEVATION



2 SIDE ELEVATION



3 REAR ELEVATION

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2 LANE DIESEL



Typical Abbreviations List

AVC	AIR CONDITIONING	GYP BD	GYPSUM BOARD
ACT	ACOUSTICAL CEILING TILE	HV	HEATING & VENTILATION
AD	AREA DRAIN	HC	HOLLOW CORE
ADJ	ADJUSTABLE	HM	HOLLOW METAL
AFF	ABOVE FINISHED FLOOR	HO	HOLD OPEN ARM
ALT	ALTERNATE	HR	HOURS
ALUM	ALUMINUM	HYD	HYDRANT
AP	ACCESS PANEL	INSUL	INSULATION
APPROX	APPROXIMATE	INT	INTERIOR
AT	AT	JT	JOINT
BD	BOARD	JST	JOIST
BRG	BEARING	MBD	MARKER BOARD
BIT	BITUMINOUS	MAS	MASONRY
BLK&B	BLOCKING	MO	MASONRY OPENING
BR	BRICK	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BM	BEAM	MTL	METAL
B.O.	BOTTOM OF	MN	MINIMUM
BOTT.	BOTTOM	NC	NOT IN CONTRACT
BRG	BEARING	NTS	NOT TO SCALE
BTWN.	BETWEEN	OC	ON CENTER
CAB	CABINET	OD	OUTSIDE DIAMETER
CB	CONCRETE BLOCK	OH	OVERHEAD
CIP	CAST-IN-PLACE	FNT	FAINT
CF	CUBIC FEET	PLAS	PLASTER
CFT	CARPET	FLAM	FLAME PLASTIC LAMINATE
CLG	CEILING	PL	PLATE
CLK	CAULK	PLBG	PLUMBING
CLR	CLEAR	PLYMD	PLYWOOD
CT	CERAMIC TILE	PCT	PORCELAIN CERAMIC TILE
GTR	CENTER	P/C	PRECAST
CO	CLEAN OUT	P/C TERR	PRECAST TERRAZZO
COL	COLUMN	PREFAB	PREFABRICATED
CONC	CONCRETE	PREFIN	PREFINISHED
CMU	CONCRETE MASONRY UNIT	GT	GUARRY TILE
CONT	CONTINUOUS	REIN	REINFORCING OR REINFORCEMENT
CONST	CONSTRUCTION	REQD	REQUIRED
CONTR	CONTRACTOR	R	RISERS
CJ	CONTROL JOINT	RD	ROOF DRAIN
COORD	COORDINATE	RFG	ROOFING
CRPT	CARPET	RFS	ROOM FINISH SCHEDULE
GY	CUBIC YARD	RM	ROOM
DBL	DOUBLE	SCHED	SCHEDULE
DET	DETAIL	SH	SEALED
DIA	DIAMETER	SC	SOLID CORE
DIA	DIAGONAL	SSURF	SOLID SURFACE
DM	DIMENSION	SPEC	SPECIFICATION
DIST	DISTANCE	ST	STAIN
DN	DOWN	SS	STAINLESS STEEL
DRS	DOORS	STRCT	STRUCTURE OR STRUCTURAL
DS	DOWNSPOUT	SW	SITE WASTE
ENC	ELECTRIC WATER CHILLER	TBD	TACKBOARD
ELECT	ELECTRICAL	TEMP	TEMPERED
EL	ELEVATION	TERR T	TERRAZZO TILE
ELEV	ELEVATOR	T&G	TONGUE & GROOVE
EP	EPOXY PAINT	TOP	TOP OF
EQUP	EQUIPMENT	TP	TOILET PARTITION
EXIST	EXISTING	TR	TREADS
EPS	EXPANDED POLYSTYRENE	TYP	TYPICAL
EXP	EXPOSED	UNFN	UNFINISHED
EXT	EXTERIOR	VB	VAPOR BARRIER
EIFS	EXTERIOR INSULATION FINISH SYSTEM	VCT	VERTICALLY
FV	FIELD VERIFY	VNC	VINYL COMPOSITION TILE
FN	FINISH	VNF	VINYL WALL COVERING
FE	FIRE EXTINGUISHER	VB	VINYL BASE
FL	FLOOR	WVF	WELDED WIRE FABRIC
FD	FLOOR DRAIN	WDM	WINDOW
FTG	FOOTING	WTH	WITH
FDN	FOUNDATION	WD	WOOD
GEN	GENERAL		
GC	GENERAL CONTRACTOR		
GL	GLASS OR GLAZING		
GFCMU	GROUND FACE CMU		

SYMBOL LEGEND

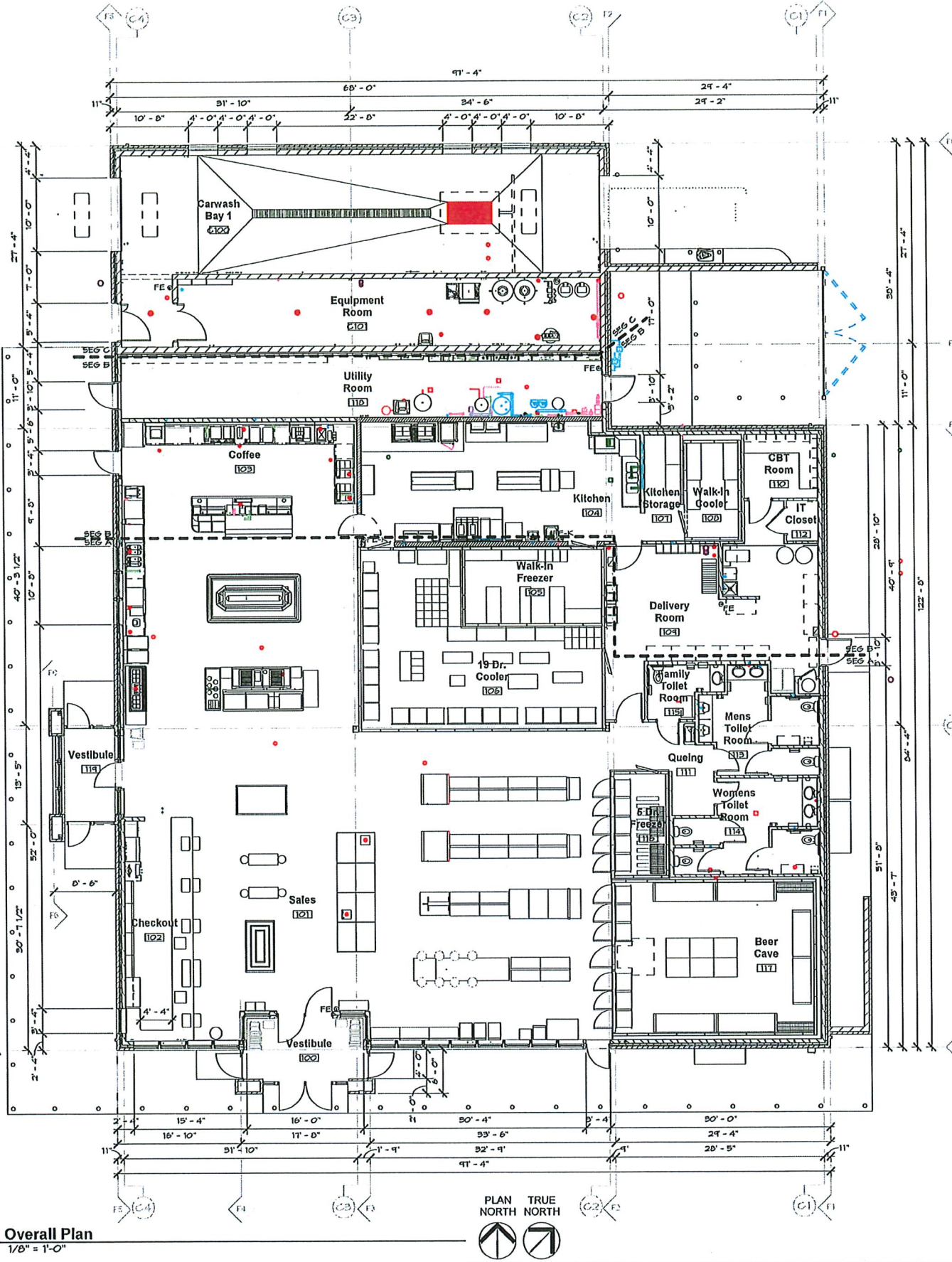
SEG A	MATCH LINE
SEG B	GRID LINE - FACE OF BRICK VENEER & FOUNDATION WALL
CA	GRID LINE - CENTER OF STEEL

Graphic Symbols

Room name [121]	ROOM TAG
[1 A101]	SECTION CALLOUT
[1 A101]	ELEVATION CALLOUT
[1 A101]	DETAIL CALLOUT
[5]	DOOR NUMBER
CN	CURTAIN WALL TYPE
AI	WALL TYPE
+	VERTICAL WORKING POINT ELEVATION
△	REVISION INDICATOR
○	GRID LINE - CENTER OF STEEL STUD

Material Symbols

[Pattern]	EARTH
[Pattern]	CONCRETE
[Pattern]	CONCRETE MASONRY UNIT
[Pattern]	FACE BRICK
[Pattern]	SPRAY-FOAM INSULATION
[Pattern]	STRUCTURAL STEEL
[Pattern]	BATT INSULATION
[Pattern]	ROUGH LUMBER
[Pattern]	RIGID INSULATION
[Pattern]	GYPSUM BOARD
[Pattern]	PLYWOOD



1 Overall Plan  
1/8" = 1'-0"

PLAN TRUE NORTH

THERMAL ENVELOPE NOTES	
RETAIL STORE	
AREA	SYSTEM
COLD ATTIC CEILING:	1. R-49 BLOWN FIBERGLASS WITH 4 MIL POLY VAPOR BARRIER AT GYP. BD. SURFACES. PROVIDE DEPTH MARKERS ON TRUSSES
KNEE WALL AT CEILING:	1. R-27 SPRAY FOAM POLYURETHANE (4") APPLY INTUMESCENT COATING @ ALL EXPOSED AREAS.
EXTERIOR WALLS:	1A. TYPICAL EXTERIOR WALLS: 3" UNFACED POLYISOCYANURATE INSUL. (R18.5) WITH VAPOR BARRIER COATING ON ALL INTERIOR GYP. BD. SURFACES 1B. WALLS AT FREEZER AND COOLER: 3" UNFACED POLYISOCYANURATE INSUL. (R18.5) WITH 5/8" DENS SHIELD, BEAD OF SEALANT AT ALL EDGES. NO ADDITIONAL FINISH OR VAPOR BARRIER. NO TAPE OR PAINT. 2. PACK ALL DOOR AND WINDOW VOIDS. 3. FOAM ALL PENETRATIONS. 4. SEAL ALL VAPOR BARRIER PENETRATIONS (OUTLETS, LIGHT FIXTURES, ETC.) 5. USE VAPOR BARRIER COATING ON ALL INTERIOR DENS SHIELD SURFACES.
INTERIOR WALLS:	1. NO SOUND INSULATION
ROOF:	1. R-35 TAPERED POLYISOCYANURATE (6" MIN) 2 LAYERS W/ STAGGERED JOINTS.
FOUNDATION PERIMETER:	1. R-10 EXTRUDED RIGID INSULATION (2" THICK). SEE SPEC. CONTINUOUS FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL.
HEATED SLAB:	1. R-20 EXTRUDED RIGID INSULATION (4" THICK) SEE SPEC. UNDERSLAB RADIANT FLOOR.
AIR BARRIER	
1. AIR & VAPOR BARRIER SPRAY @ ALL EXTERIOR WALLS. SEE SPEC & DETAIL 2. AIR BARRIER AT KNEE WALL WITHIN TRUSS SPACE, BETWEEN STORE AND ATTIC IS 4" CLOSED CELL SPRAY FOAM OVER GYPSUM BOARD THERMAL BARRIER. 3. SEAL ALL UTILITY PENETRATIONS TO AIR BARRIER. 4. SEAL ALL WINDOW AND DOOR FRAMES. 5. VAPOR BARRIER: A. GYP. BD. WALLS AND SPRAY FOAM KNEE WALL PAINTED: HALMAN LINSAY 530-1 FOR PERM RATING OF 0.30 B. 4 MIL POLY AT ATTIC CEILING.	
FENESTRATION	
ZONES 5 & 6 ALUMINUM WINDOWS: U = 0.36, SHGC: 0.40 ZONE 7 ALUMINUM WINDOWS: U = 0.29, SHGC: 0.45 ALUMINUM DOORS: U = 0.67, SHGC: 0.35 H.M. INSULATED DOORS: U = 0.44 ALUMINUM DOORS AND WINDOWS VALUES PER NFRC100 BY TUBELITE FOR T14000 WINDOWS AND NARROW STYLE DOORS.	
THERMAL ENVELOPE NOTES	
CAR WASH	
AREA	SYSTEM
COLD ATTIC CEILING:	1. (R-36) BLOWN FIBERGLASS (14") PLUS 2" SPRAY FOAM (R 13.0)
EXTERIOR WALLS:	1. TYPICAL EXTERIOR WALLS: 3" POLYISOCYANURATE INSULATION (R-18.5) AND EPOXY PAINT ON ALL INTERIOR SURFACES. 2. PACK ALL DOOR AND WINDOW VOIDS. 3. FOAM ALL PENETRATIONS. 4. SEAL ALL VAPOR BARRIER PENETRATIONS (OUTLETS, LIGHT FIXTURES, ETC.)
INTERIOR WALLS:	1. NO SOUND INSULATION
COMMON WALLS:	1. (R-20) SPRAY FOAM POLYURETHANE (3"). APPLY INTUMESCENT COATING @ ALL EXPOSED AREAS.
ROOF:	1. AT CENTER FLAT ROOF: TPO MEMBRANE ROOFING SYSTEM FULLY ADHERED OVER A MIN. OF 6" TAPERED POLYISOCYANURATE INSUL. (R-35) OVER VAPOR BARRIER OVER 8" CONC. PLANK 2. AT PERIMETER METAL ROOF: R-25 BLOWN IN INSULATION OVER 2" CLOSED-CELL SPRAY FOAM (R-13) 3. PRECAST DECK - CONCRETE SEALANT.
FOUNDATION PERIMETER:	1. R-10 EXTRUDED RIGID INSULATION (2" THICK). SEE SPEC. CONTINUOUS FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL.
AIR BARRIER	
A. CARWASH AIR BARRIER IS EXTERIOR BRICK VENEER.	
FENESTRATION	
GLASS BLOCK WINDOWS: R-1.96, U = 0.51, SHGC: 0.35 FIBERGLASS REIN. PANEL U = 0.500 DOOR & FRAME: OVERHEAD POLYCARBONATE U = .260 (INCLUDES VINYL & AIR FILMS) DOORS:	

**VANTAGE ARCHITECTS, INC.**

La Crosse, WI 54601  
750 N. Third Street  
Ph (608) 784-2729 Fax (608) 784-2826

**Kwik Trip**

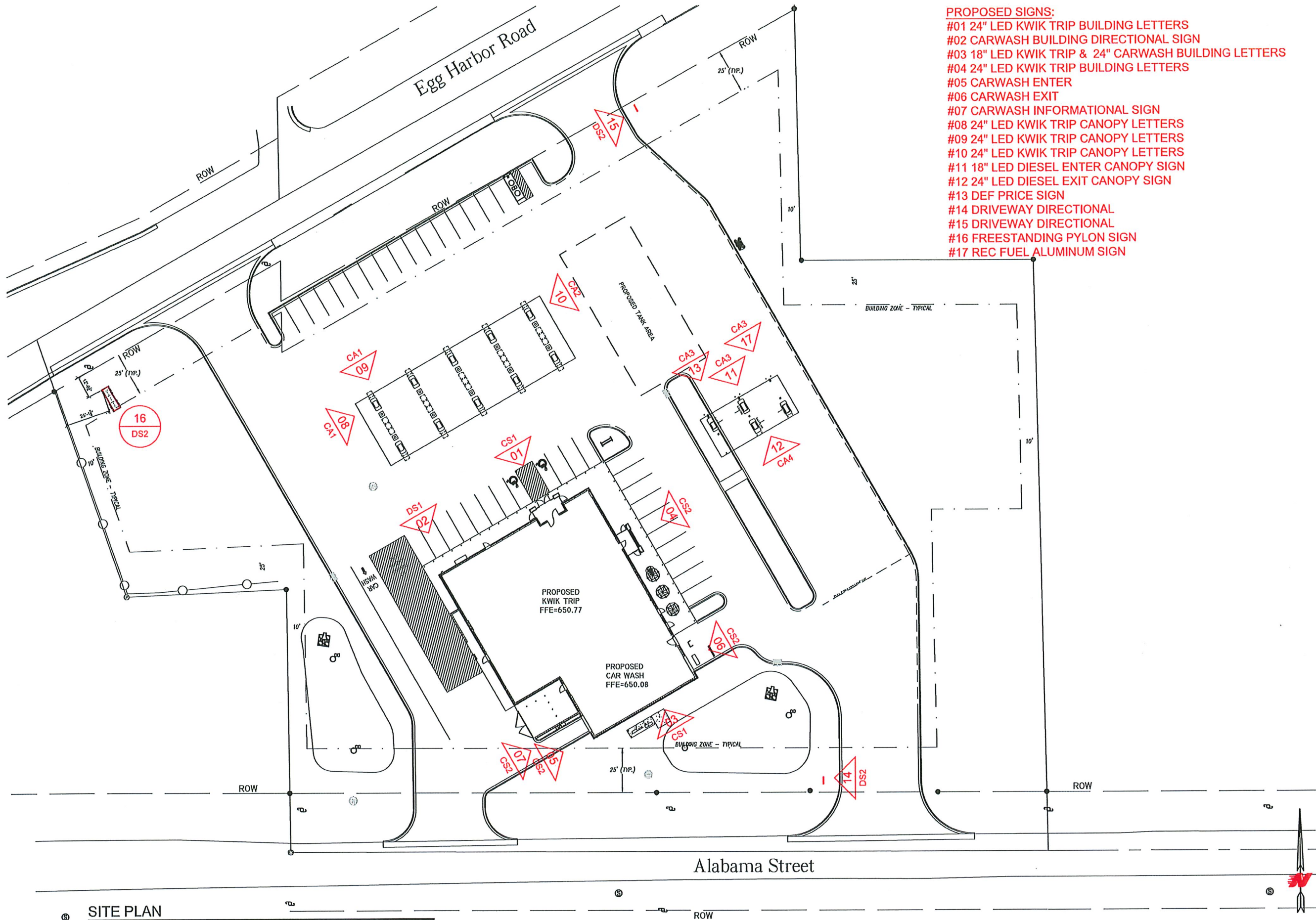
**Kwik Star**

Kwik Trip, Inc.  
P.O. BOX 2107  
1628 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8980



SHEET TITLE  
Overall Floor Plan &  
Thermal Envelope  
Insulation Values & Notes

SHEET NO.  
**A000**





- PROPOSED SIGNS:**
- #01 24" LED KWIK TRIP BUILDING LETTERS
  - #02 CARWASH BUILDING DIRECTIONAL SIGN
  - #03 18" LED KWIK TRIP & 24" CARWASH BUILDING LETTERS
  - #04 24" LED KWIK TRIP BUILDING LETTERS
  - #05 CARWASH ENTER
  - #06 CARWASH EXIT
  - #07 CARWASH INFORMATIONAL SIGN
  - #08 24" LED KWIK TRIP CANOPY LETTERS
  - #09 24" LED KWIK TRIP CANOPY LETTERS
  - #10 24" LED KWIK TRIP CANOPY LETTERS
  - #11 18" LED DIESEL ENTER CANOPY SIGN
  - #12 24" LED DIESEL EXIT CANOPY SIGN
  - #13 DEF PRICE SIGN
  - #14 DRIVEWAY DIRECTIONAL
  - #15 DRIVEWAY DIRECTIONAL
  - #16 FREESTANDING PYLON SIGN
  - #17 REC FUEL ALUMINUM SIGN



KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**SITE PLAN**

CONVENIENCE STORE #1209  
w/ 1 BAY CW & SIDE DIESEL

ALABAMA ST & EGG HARBOR RD  
STURGEON BAY, WI

#	DATE	DESCRIPTION

DRAWN BY: KMK

SCALE: MULTIPLE

PROJ. NO.: 0001

DATE: 2021-09-20

SHEET: SP1

**SITE PLAN**  
1" = 50'-0"



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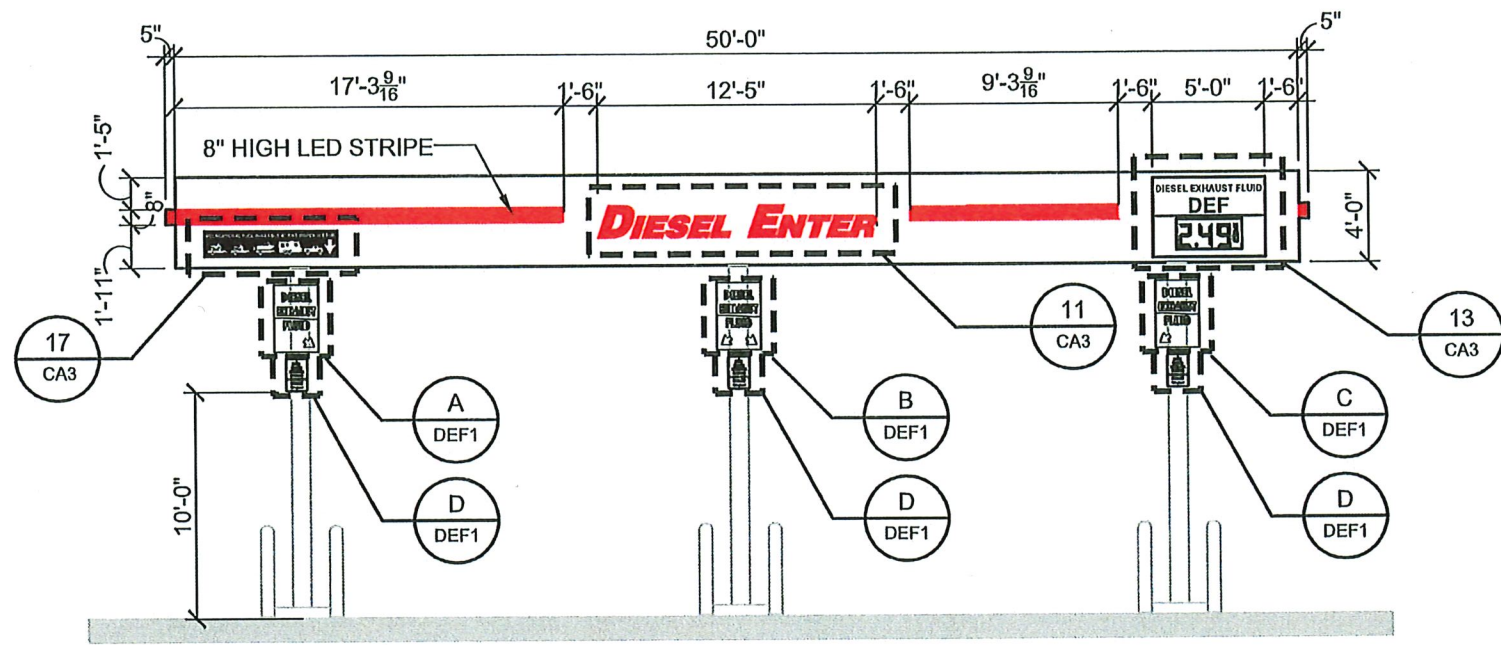




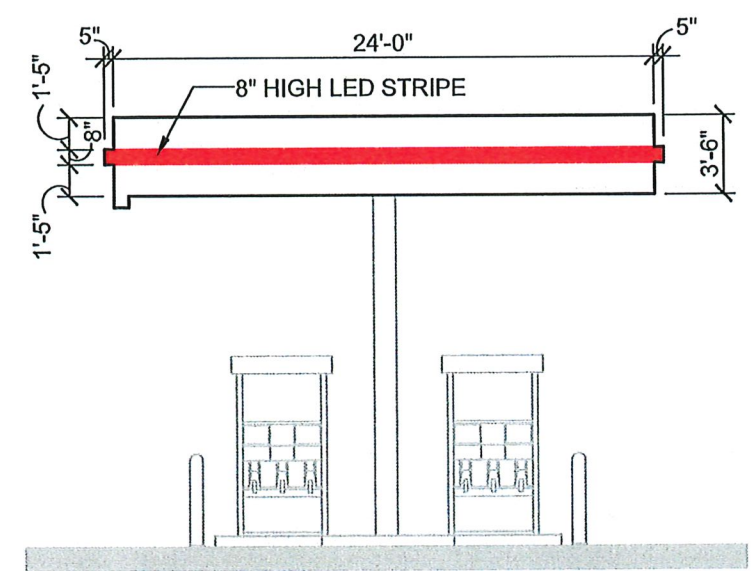


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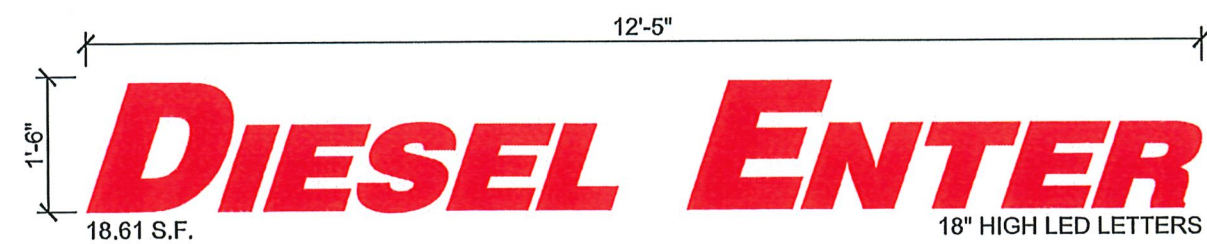




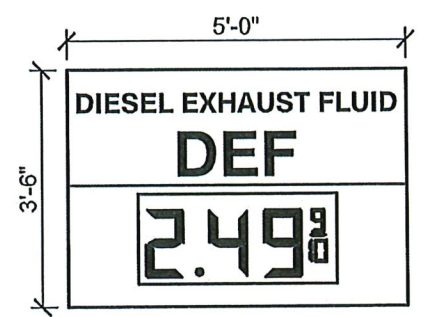
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SCALE: 1/8" = 1'-0"



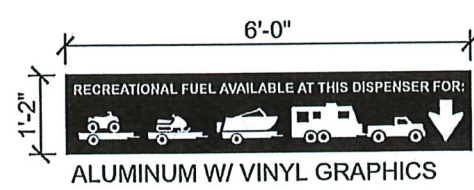
CANOPY ELEVATION  
SCALE: 1/8" = 1'-0"



LOGO DETAIL - SIGN #11  
SCALE: 1/2" = 1'-0"



DEF DETAIL - SIGN #13  
SCALE: 3/8" = 1'-0"



REC FUEL - SIGN #17  
SCALE: 3/8" = 1'-0"

Kwik  
TRIP

Kwik  
Star

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LA CROSSE, WI 54602-2107  
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CANOPY SIGNAGE

CONVENIENCE STORE #1209  
w/ 1 BAY CW & SIDE DIESEL

ALABAMA ST & EGG HARBOR RD  
STURGEON BAY, WI

#	DATE	DESCRIPTION

DRAWN BY: KMK

SCALE: MULTIPLE

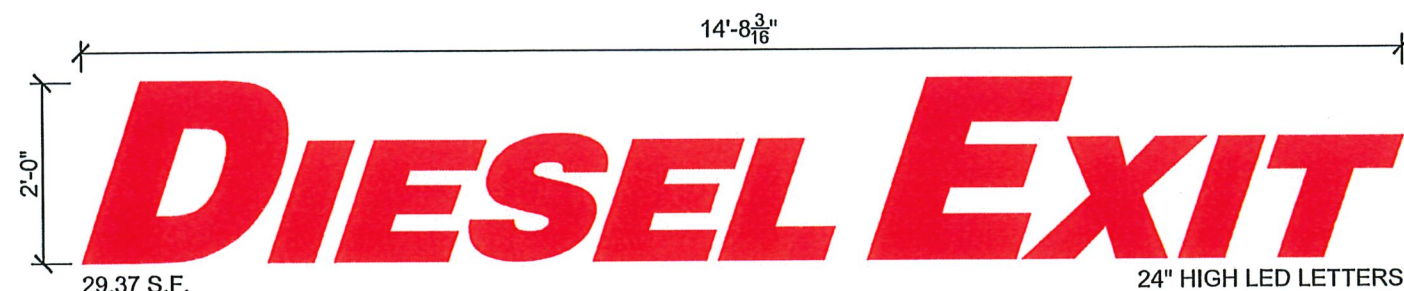
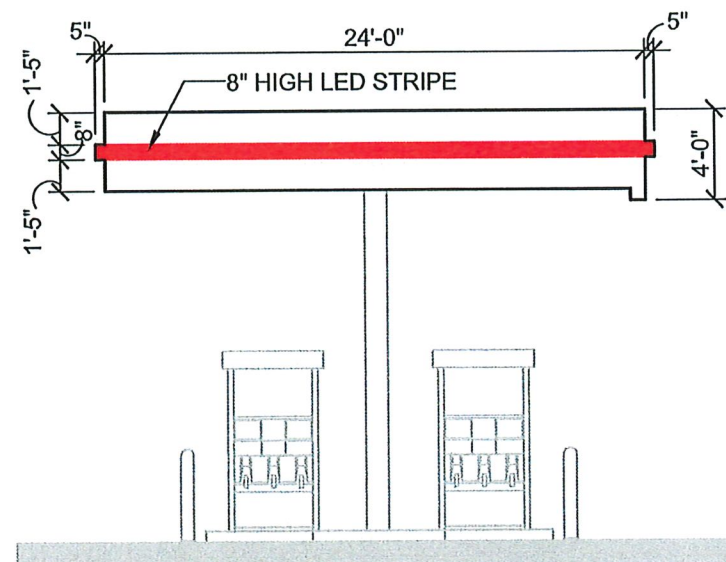
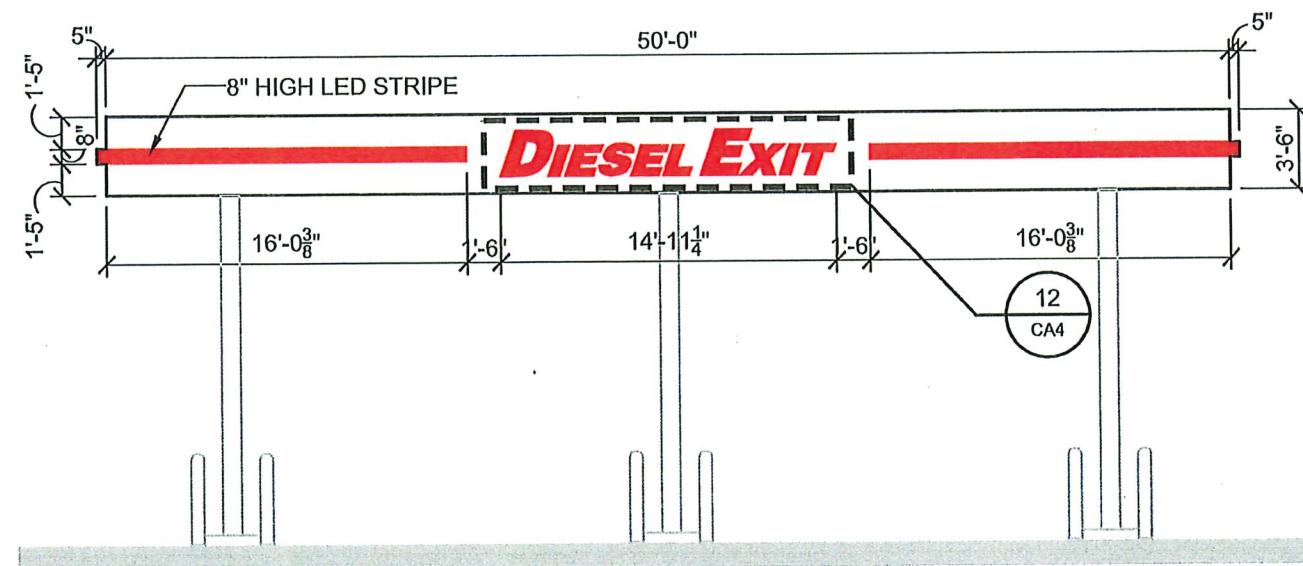
PROJ. NO.: 0001

DATE: 2021-09-20

SHEET: CA3

CA3





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P.O. BOX 2107  
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## CANOPY SIGNAGE

CONVENIENCE STORE #1209  
w/ 1 BAY CW & SIDE DIESEL

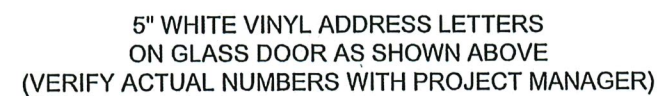
ALABAMA ST & EGG HARBOR RD  
STURGEON BAY, WI

#	DATE	DESCRIPTION

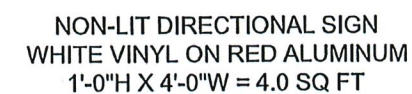
  

DRAWN BY _____	KMK
SCALE _____	MULTIPLE
PROJ. NO. _____	0001
DATE _____	2021-09-20
SHEET _____	CA4





SCALE: 3/4" = 1'-0"



SCALE: 3/4" = 1'-0"

*Install along with various signs for same site, crew to give to KT trim guys to install.*

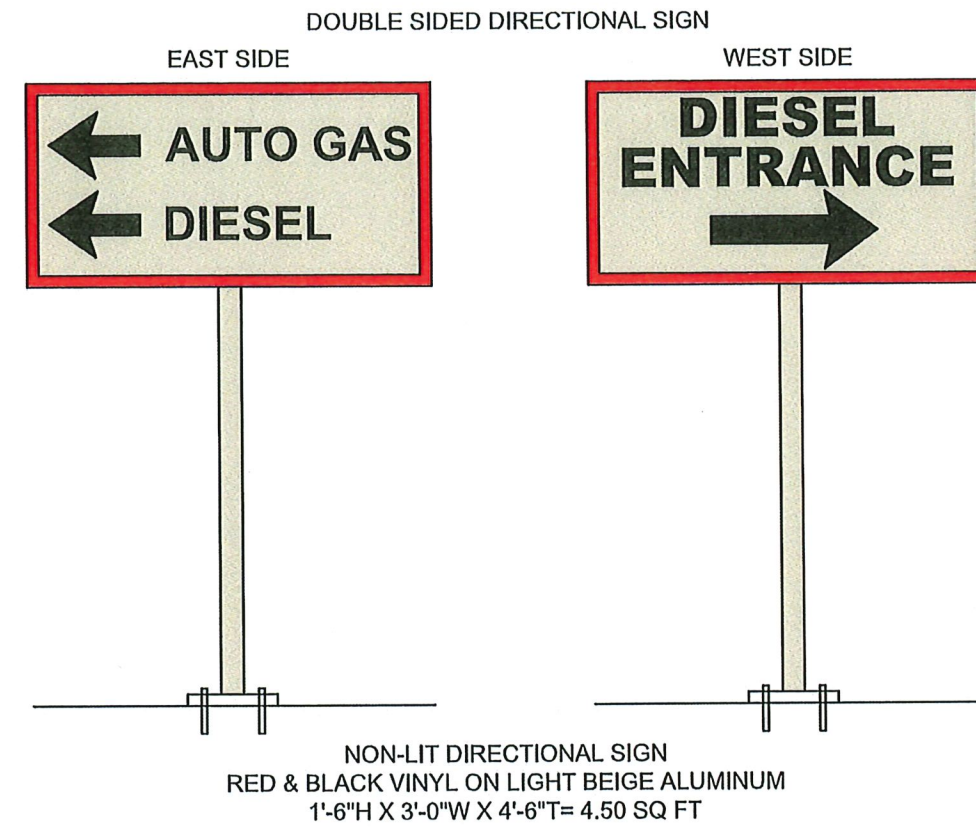
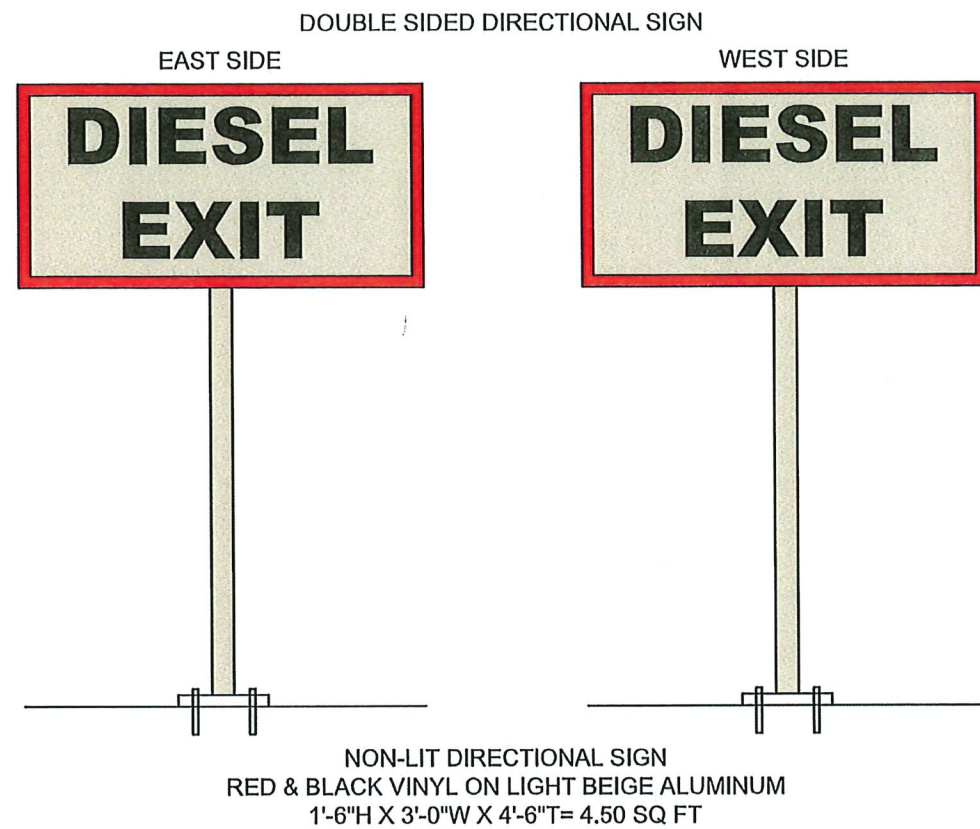


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ALABAMA ST & EGG HARBOR RD  
STURGEON BAY, WI

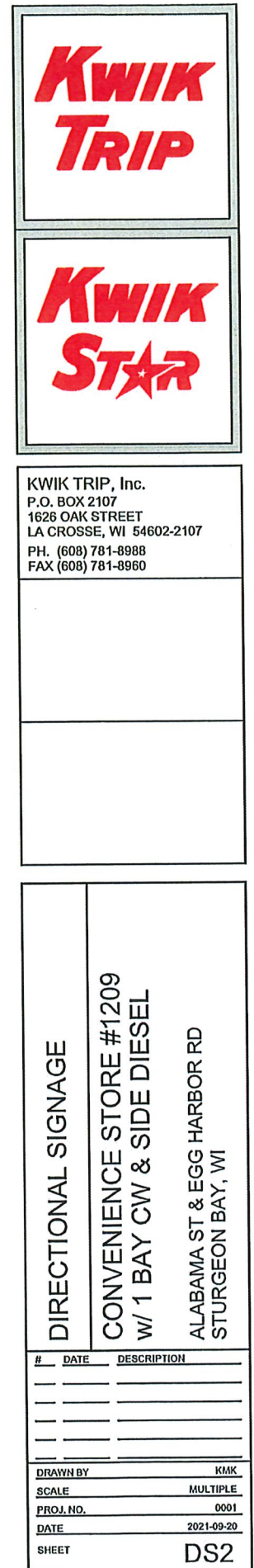
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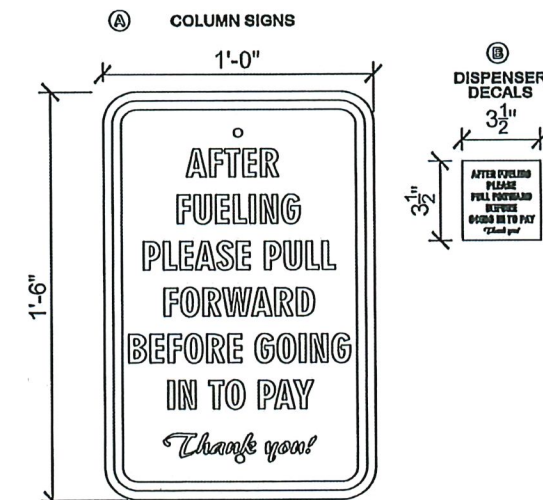
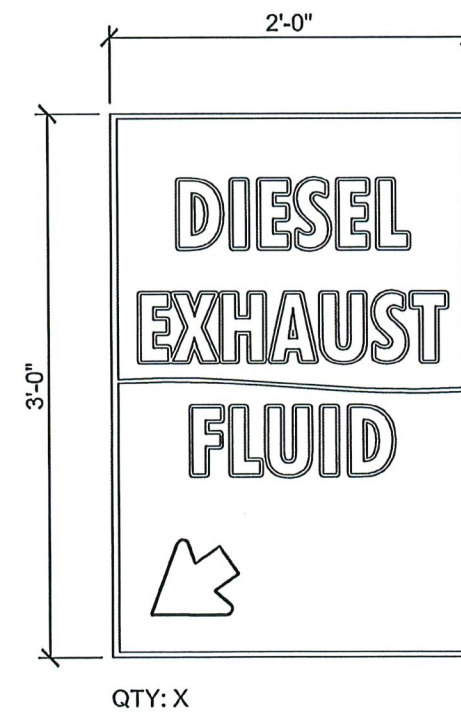
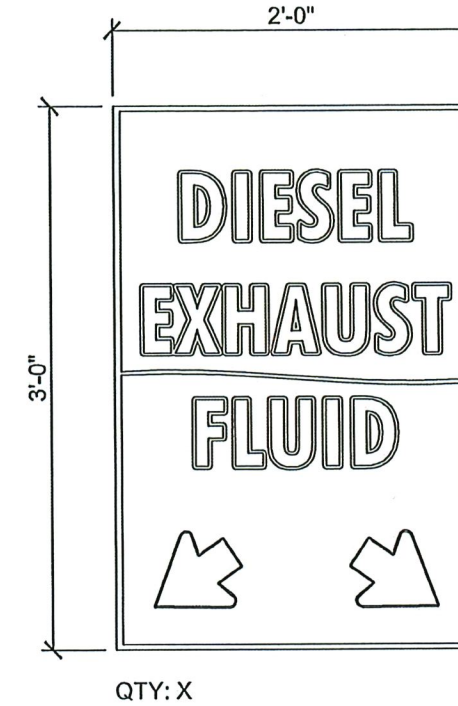
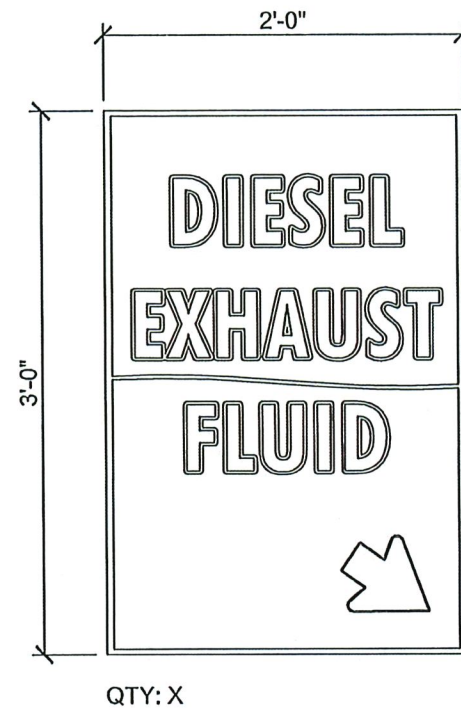


## #16 KWIK TRIP FREESTANDING PYLON SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO





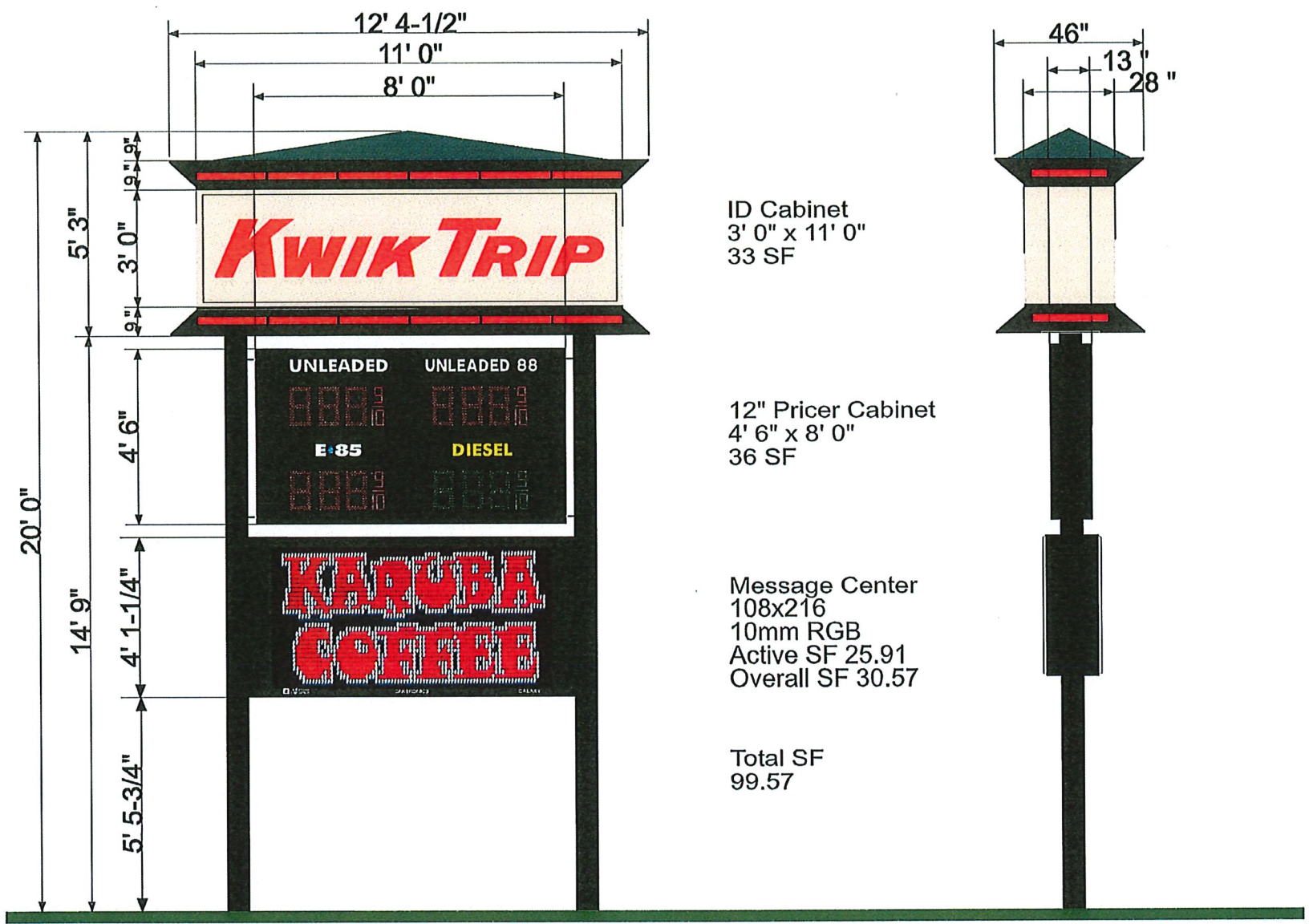


DEF / DSL SIGNAGE		CONVENIENCE STORE #1209 w/ 1 BAY CW & SIDE DIESEL		ALABAMA ST & EGG HARBOR RD STURGEON BAY, WI	
#	DATE	DESCRIPTION			
DRAWN BY		KMK			
SCALE		MULTIPLE			
PROJ. NO.		0001			
DATE		2021-09-20			
SHEET		DEF 1			




DOUBLE FACED PYLON

1209 Sturgeon Bay, WI



Approved by: \_\_\_\_\_ Date: \_\_\_\_\_ Landlord: \_\_\_\_\_ Date: \_\_\_\_\_

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It is the property of La Crosse Sign Co., Inc., and must be returned to them.

lacrossesign.com		DESIGN	SALES	FILE	COLOR KEY
 <b>La Crosse Sign Group</b> <small>1450 Oak Forest Drive • Onalaska, WI 54650 • 608-781-1450 2242 Mustang Way • Madison, WI 53718 • 608-222-5353 2502 Melby Street • Eau Claire, WI 54703 • 715-835-6189</small>		Drawing by: Danielle Hadley	Job Name: Kwik Trip	Revision Number:	<small>*COLORS ON SKETCH ARE ONLY A REPRESENTATION. ACTUAL COLOR OF FINISHED PRODUCT MAY DIFFER.</small> a NA 208080 Beige b Black S/G paint c #2283 Red Acrylic d White of Acrylic e Red LED f NA 307880 Hemlock Green g Green LED h Black (230-22) i Yellow (230-015) j Blue (230-167)
		Sign Type: Pylon	Job Address:	Job File Location:	
		Date Created: 3/7/2019	Salesperson: Cindy Bluske		
		Last Modified:	Job Number:		
		Scale: 3/16" = 1' 0"			