



**CITY OF STANTON**  
**STANTON CITY HALL, 7800 KATELLA AVENUE, STANTON, CA**

**PLANNING COMMISSION REGULAR MEETING**

**WEDNESDAY, APRIL 5, 2023 - 6:30 P.M.**

**AGENDA**

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**SAFETY ALERT – NOTICE REGARDING COVID-19**

The health and well-being of our residents is the top priority for the City of Stanton and you are urged to take all appropriate health safety precautions given the health risks associated with COVID-19. The Planning Commission Meeting will be held in-person in the City Council Chambers located at 7800 Katella Avenue, Stanton, CA 90680.

**ANY MEMBER OF THE PUBLIC WISHING TO PROVIDE PUBLIC COMMENT FOR ANY ITEM ON THE AGENDA MAY DO SO AS FOLLOWS:**

- Attend in person and complete and submit a request to speak card to the Planning Commission Chair.
- E-mail your comments to [CommunityDevelopment@StantonCA.gov](mailto:CommunityDevelopment@StantonCA.gov) with the subject line "PUBLIC COMMENT ITEM #" (insert the item number relevant to your comment) or "PUBLIC COMMENT NON-AGENDA ITEM" no later than 5:00 p.m. before the meeting (Wednesday, April 5, 2023). Comments received no later than 5:00 p.m. before the scheduled meeting will be compiled, provided to the Planning Commission, and made available to the public before the start of the meeting. Staff will not read e-mailed comments out loud during the meeting; however, the official record will include all e-mailed comments received until the close of the meeting.

Should you have any questions related to participation in the Planning Commission Meeting, please contact the Community Development Department at (714) 890-4237.

*In compliance with the American Disabilities Act, if you need special assistance to participate in this meeting, you should contact the Community Development Department at (714) 890-4237. Notification 48 hours prior to the Commission meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting.*

1. **CALL TO ORDER STANTON PLANNING COMMISSION REGULAR MEETING**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Chair Ash, Vice Chair Adams, Commissioner Frazier, Commissioner Sanchez, Vacant

4. **SWEARING IN/SEATING OF NEW PLANNING COMMISSIONER**

The City Clerk will administer the Oath of Office to Mr. Hong Tien Tran

5. **PLANNING COMMISSION REORGANIZATION**

1. The Community & Economic Development Director will accept nominations for Chair.
2. The Chair will accept nominations for Vice Chair.

6. **SPECIAL PRESENTATION**

Recognition of former Planning Commissioner – Andrew Marques

7. **PUBLIC COMMENTS**

This is the time for members of the public to address the Planning Commission on any non-agendized matters within the subject matter jurisdiction of the Planning Commission.

- Each speaker will have a maximum of three (3) minutes,
- The Commission cannot discuss or take action on these items.
- All speakers must fill out a REQUEST TO SPEAK card and submit it to the Secretary of the Commission.
- The Chair will call speakers to the microphone. Please state your name, slowly and clearly, for the record.
- When three (3) minutes has expired, please return to your seat as you will not be permitted to have additional time for comments

**8. PUBLIC HEARINGS**

**8A. PUBLIC HEARING TO CONSIDER SITE PLAN AND DESIGN REVIEW SPDR NO. SPDR-819 FOR THE DEVELOPMENT OF FIVE (5) MULTI-FAMILY DWELLING UNITS LOCATED AT 7131 KERMORE LANE IN THE MEDIUM DENSITY RESIDENTIAL (RM) ZONE.**

**RECOMMENDED ACTION**

Planning Commission of the City of Stanton hereby resolves as follows:

- Conduct a public hearing;
- Find the proposed project exempt from the California Environmental Quality Act (CEQA) under the California Public Resources Code Section 15332, Class 3 New Construction or Conversion of Small Structures, and
- Adopt Resolution No. 2559 approving Site Plan and Design Review SPDR-819

**9. NEW BUSINESS**

**10. CONSENT CALENDAR**

**10A. ANNUAL HOUSING ELEMENT PROGRESS REPORT FOR 2022**

**RECOMMENDED ACTION**

Planning Commission of the City of Stanton hereby resolves as follows:

- Declare the project is exempt from the California Environmental Quality Act ("CEQA") pursuant to Guideline Section No. 15306 (Class 6, Information Collection).  
Categorical Exemptions are projects, which have been determined not to have a significant effect on the environment and which have been exempted from the requirements of CEQA. Class 6 consists of projects which solely encompass information collecting and reporting, such as the annual report; and
- Motion to recommend the City Council accept the Annual Housing Element Progress Report for the 2022 calendar year

**10B. APPROVAL OF MINUTES**

The Planning Commission approve minutes of Regular Meetings:

- January 18, 2023
- February 1, 2023

**11. OLD BUSINESS**

None.

12. **PLANNING COMMISSION COMMENTS**

*At this time Commissioners may report on items not specifically described in the agenda which are of interest to the Commission provided no discussion or action may be taken except to provide staff direction to report back or to place the item on a future agenda.*

13. **DIRECTOR'S REPORT**

14. **ADJOURNMENT**

I hereby certify under penalty of perjury under the laws of the State of California, the foregoing agenda was posted at the Post Office, Stanton Family Resource Center and City Hall, not less than 72 hours prior to the meeting. Dated this 30<sup>th</sup> day of March 2023.



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Crystal Landavazo  
Community & Economic Development Director



## **CITY OF STANTON REPORT TO THE PLANNING COMMISSION**

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**TO:** Chair and Members of the Planning Commission

**DATE:** April 5, 2023

**SUBJECT:** PUBLIC HEARING TO CONSIDER SITE PLAN AND DESIGN REVIEW SPDR NO. SPDR-819 FOR THE DEVELOPMENT OF FIVE (5) MULTI-FAMILY DWELLING UNITS LOCATED AT 7131 KERMORE LANE IN THE MEDIUM DENSITY RESIDENTIAL (RM) ZONE.

### **RECOMMENDED ACTION**

That the Planning Commission:

- Conduct a public hearing;
- Find the proposed project exempt from the California Environmental Quality Act (CEQA) under the California Public Resources Code Section 15332, Class 3 New Construction or Conversion of Small Structures, and
- Adopt Resolution No. 2559 approving Site Plan and Design Review SPDR-819

### **BACKGROUND**

The applicant, Christopher Caohuynh, is requesting to develop five two-story multi-family dwelling units within a 0.47-acre site located at 7131 Kermore Lane (APN 079-751-13), highlighted in Figure 1 below. The subject property is currently developed with a single-family home, which has been vacant and in a state of disrepair. The applicant is proposing to demolish the existing structure and improve the property with five multi-family dwelling units consisting of two duplexes and one single-family detached dwelling unit, open space amenities, landscaping, and hardscaping.

**Figure 1. Aerial Map**



The project is located on the north side of Kermore Lane, east of Knott Street in the Medium Density Residential (RM) zone and has a General Plan Land Use designation of Medium Density Residential. Surrounding zoning and land uses are as follows:

Direction	Zoning	Existing Land Use
North	Open Space/Buffer (OS)	Inactive railroad tracks
South	Medium Density Residential (RM)	20 Single Family Detached Units
East	Medium Density Residential (RM)	Single Family Dwellings
West	Medium Density Residential (RM)	Single Family Dwellings

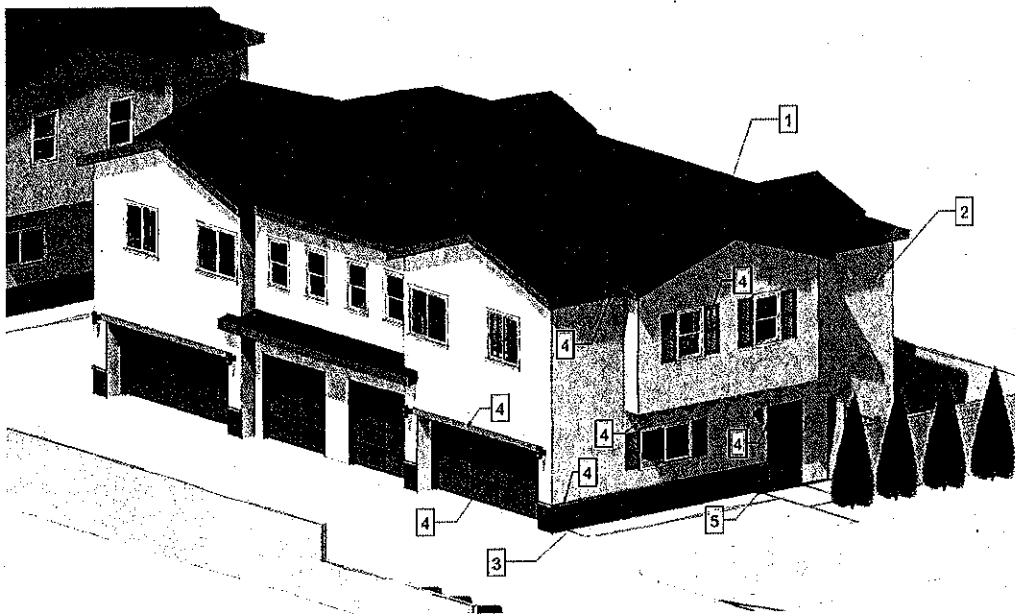
## **ANALYSIS/JUSTIFICATION**

**SITE PLAN AND DESIGN REVIEW-** The Stanton Municipal Code (SMC) requires a Site Plan and Design Review permit for the construction of new dwellings. The project meets the required front, side and rear yard setbacks, building height and other significant development standards. As a point of reference, some development standards for this project are provided below:

Standard	Zoning Code Standard	Proposed
Density	11 units/acre	5 units/0.47 acres
Setbacks: Front Side 1 Side 2 Rear (two-story)	20 ft. 10 ft. 10 ft. 20 ft.	27 ft. 10 ft. 30 ft. 6 in. 49 ft. 4 in.
Building Height	2 stories not to exceed 32 ft.	2 stories- 25 ft. 10 in
Lot Coverage	Max. 50%	24%
Impervious Surface Coverage	Max. 60%	59%
Landscaped Area	Min. 40%	41%

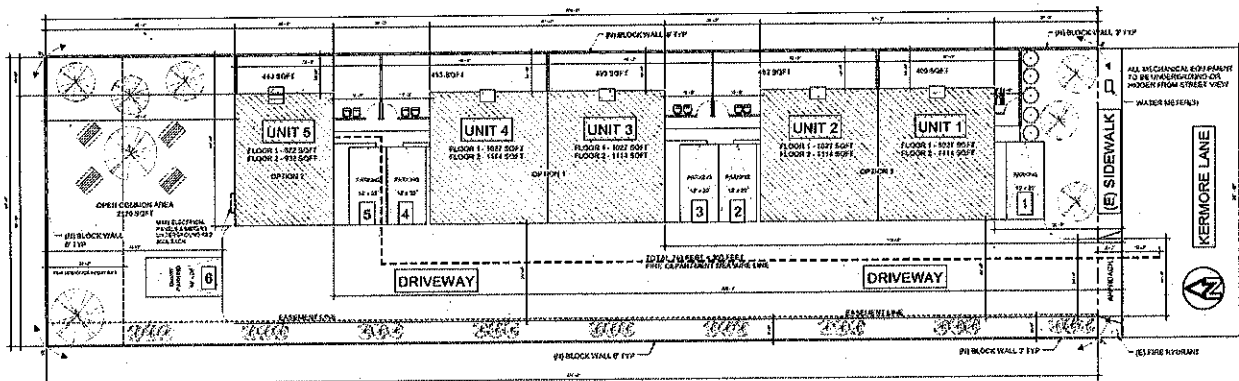
The project is comprised of 5 multi-family dwelling units consisting of two duplexes and one stand-alone unit all with attached two-car and three-car garages. The first floor of the duplexes includes a bathroom, laundry room, bedroom, and three-car garage. The second floors include a bathroom, three bedrooms, dining room, kitchen, and open family room. The first floor of the detached stand-alone unit includes a living room, bathroom, and two-car garage. The second floor includes two bedrooms, two bathrooms, kitchen, and an open family room. The proposed design is associated with Old Ranch style architecture featuring stucco walls, window louvers, and corbel rafter tails. All five units are proposed to have identical colors, materials, and architectural elements, which includes decorative half stone walls, stucco walls, wood trim, wooden garage doors and main doors.

**Figure 2. Front Elevation**



A total of 20 parking spaces are required for the proposed development, comprised of 4 spaces for each duplex unit and 2.75 spaces for each 2-bedroom unit with at least two spaces enclosed in the form of a two-car garage and 1 guest parking space. The project provides 20 parking spaces in the form of 4 three-car garages, one two-car garage, and 5 uncovered parking stalls for the residents, and 1 guest parking space. Access to the site is provided from a main driveway from Kermore Lane which leads to a 20-foot interior drive aisle (Figure 3 – Site Plan).

**Figure 3. Site Plan**



The project will include 8,270 square feet of landscape throughout the site consisting of ground cover, plants, shrubs, and trees. The project includes a 2,170 square foot common area that features four picnic tables, open turf area, and additional decorative landscaping. A minimum of 150 square feet of private open space is required for each unit and the project provides for between 400 and 493 square feet per unit.

The proposed project complies with all development standards and meets the requirements of a Site Plan and Design Review. The project provides for more housing opportunities and improves the character and condition of the neighborhood by redeveloping an underutilized property in disrepair. The project offers increased private open space, quality landscaping and an aesthetically pleasing development compatible with the neighborhood. Staff recommends that the Planning Commission approve SPDR-819 for the development of five multi-family dwelling units consisting of two duplexes and one stand-alone detached dwelling unit.

### **ENVIRONMENTAL IMPACT**

The proposed project is Categorically Exempt from the requirements to prepare additional environmental documentation per California Environmental Quality Act (CEQA), Section 15303, Class 3 (New Construction). Class 3 consists of projects of a limited number of new structures including up to 6 new multifamily residential units within an urbanized area. Specifically, the project is for the construction of five new multi-family residential units on one lot and is in complete conformance with the requirements of the Zoning Code and General Plan therefore, the proposed project is categorically exempt from the provisions of CEQA.

### **PUBLIC NOTIFICATION**

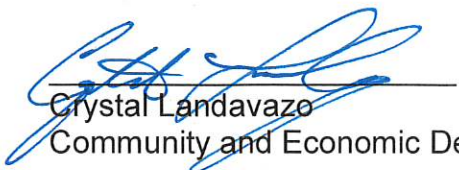
Notice of Public Hearing was mailed to all property owners within a five-hundred-foot radius of the subject property and made public through the agenda-posting process.

Prepared by,



Carlos Castellanos  
Planning Technician

Approved by,



Crystal Landavazo  
Community and Economic Development Director

### **ATTACHMENTS**

- A. Draft Resolution No. 2559 – Site Plan and Design Review No. SPDR-819
- B. Vicinity Map
- C. Project Plans

## **RESOLUTION NO. 2559**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF STANTON, CALIFORNIA APPROVING SITE PLAN AND DESIGN REVIEW NO. SPDR-819 FOR THE DEVELOPMENT OF FIVE (5) SINGLE-FAMILY DWELLING UNITS LOCATED AT 7131 KERMORE LANE IN THE MEDIUM DENSITY RESIDENTIAL (RM) ZONE.**

**WHEREAS**, on July 28, 2022, Christopher Caohuynh, (“Applicant”) filed an application for Site Plan and Design Review SPDR-819 for the development of a 0.47-acre site (“Project Site”), located at 7131 Kermore Lane (APN: 079-751-13) for the development of five single-family dwelling units (“Project”); and

**WHEREAS**, on March 23, 2022, the City gave public notice of the Planning Commission meeting to conduct a public hearing to consider SPDR-819 by posting the public notice at three public places including Stanton City Hall, the Post Office, and the Stanton Community Services Center, noticing property owners within a 500-foot radius of the subject property, posting the notice on the City’s webpage, and was made available through the agenda posting process; and

**WHEREAS**, based upon the information received and staff’s assessment of the information, the project was determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3 (New Construction); and

**WHEREAS**, on April 5, 2023 the Planning Commission of the City of Stanton conducted a duly noticed public hearing concerning the request for the development of a 0.47-acre site located at 7131 Kermore Lane (APN: 079-751-13) for the construction of five dwelling units in the Medium Density Residential (RM) zone; and

**WHEREAS**, the Commission has carefully considered all pertinent testimony and information contained in the staff report prepared for this application as presented at the public hearing; and

**WHEREAS**, all legal prerequisites have occurred prior to the adoption of this resolution.

**NOW THEREFORE, THE PLANNING COMMISSION OF THE CITY OF STANTON DOES HEREBY FIND, RESOLVE, DETERMINE, AND ORDER AS FOLLOWS:**

**SECTION 1:** The foregoing recitals are true and correct and are incorporated herein as substantive findings of this Resolution.

**SECTION 2:** Based upon the assessment of information provided, the Planning Commission exercises its independent judgment and finds that the project, as conditioned hereby, is categorically exempt from environmental review under the California Environmental Quality Act (CEQA), Section 15303, Class 3 (New Construction) . Class 3

consists of projects of a limited number of new structures including up to 6 new multifamily residential units within an urbanized area. Specifically, the project is for the construction of 5 new multifamily residential units on one lot and is in conformance with the requirements of the Zoning Code and General Plan therefore, the proposed project is categorically exempt from the provisions of CEQA.

**SECTION 3:** That in accordance with the requirements as set forth in Section 20.530.050 of the Stanton Municipal Code (SMC) for Site Plan and Design Review application, the proposed Project is:

A. Allowed within the subject zone.

The Project Site is located in the Medium Density Residential (RM) zone. Single-Family and Multi-Family developments are allowed in the RM zone (SMC 20.210.020).

B. Designed so that:

1. The Project will not be detrimental to the public health, safety, or general welfare, and not detrimental to adjacent property.

The Project includes the demolition of an existing single-family dwelling on site. The new five-unit residential development compliments similar residential uses in the vicinity and has been designed to meet building and fire life safety requirements, as well as development standards and off-street parking requirements of the Stanton Municipal Code.

2. Architectural design and functional plan of the structures and related improvements are of high aesthetic quality and compatible with adjacent developments.

The Project is designed to complement and be consistent with recent residential developments on Kermore Lane. The five units are proposed to have similar colors, materials, and architectural elements, which includes decorative half stone walls, stucco walls, wood trim, wood garage doors and main doors. Landscaping will include open turf area, a variety of trees, shrubs and groundcover that feature wide canopies, full foliage, and low water use. Additionally, the common area will be provided with four picnic tables to allow for functional use of all areas on the project site.

3. Structures and related improvements are suitable for the proposed use of the property and provide adequate consideration of the existing and contemplated uses of land and orderly development in the general area of the subject site.

The Project site is 0.47-acres in size and proposes 5 units on a .47-acre site in a zone that allows for up to 11 dwelling units per acre. The RM Zone identifies that multi-family development is suitable and the proposed project is consistent with other developments in the area. The proposed project meets all applicable

development standards, and the site design ensures that the improvements are consistent with the adjacent neighborhoods and complement the general area of the subject site.

4. The project's site plan and design are consistent with the City's Design Standards and Guidelines, if any.

The City does not currently have any adopted design guidelines. However, the Project's design is compatible with existing and recent residential development within the neighborhood. The applicant incorporated design elements such as pop-outs and recesses along with the use of wood accent features to create visual interest on the building elevations.

C. Designed to address the following criteria, as applicable:

1. Compliant with the Zoning Code, Municipal Code Title 16 (Buildings and Construction), and all other applicable City regulations and policies.

The Project, as conditioned herein, is compliant with all applicable City regulations. The proposed project complies with all development standards and will undergo building plan check, prior to permit issuance, to ensure compliance with the California Building Code.

2. Efficient site layout and design;

The Project will feature one two-bedroom unit with an attached two-car garage; four, four-bedroom units with attached three-car garages; 6 open parking stalls; common open space; and private yards for each unit. All buildings are within the height limitations for the zone. The property is rectangular shaped and a 20-foot drive aisle is proposed for access. As such, the Project will efficiently utilize the existing site layout.

3. Adequate yards, spaces, walls, and fences, parking, loading, and landscaping that fit within neighboring properties and developments;

The project will include 8,270 square feet of landscape area consisting of lawn, groundcover, shrubs, plantings, and trees. Additionally, a five-foot six-inch landscape buffer will be provided along the westerly property line. Common open space is provided at 2,170 square feet. Each unit has a private yard of at least 400 square feet in size which exceeds the minimum 150 square feet required by code. The development provides for the required 20 off-street parking spaces in the form of four three-car garages, one two-car garage, and 6 uncovered parking stalls.

4. Relationship to streets and highways that are adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed development;

The proposal is for a residential development. The density and use of the property are consistent with the General Plan and Zoning and is not anticipated

to exceed the design of the roadway network. The Project can be accommodated by the existing street network which was designed to accommodate this activity without any significant impact on the traffic on Kermore Lane and surrounding streets.

5. Compatible and appropriate scale to neighboring properties and developments;

The proposed project will be compatible with existing residential developments in the area by maintaining appropriate height, mass, density, and scale of the residential development. Additionally, landscape areas, appropriate setback conditions and overall site design were incorporated to ensure the development is compatible with residential development on Kermore Lane.

6. Efficient and safe public access (both pedestrian and vehicular) and parking;

The project has been designed to ensure safe and adequate vehicle and pedestrian access. A 20-foot driveway will provide access from Kermore Lane. A safe and efficient street pattern offers access to the residential units, all garages serving the units and the open stall parking provided.

7. Appropriate and harmonious arrangement and relationship of proposed structures and signs to one another and to other development in the vicinity, based on good standards of design;

The Project is for residential development. The adjacent properties consist of single-family dwelling to the south, west and east, and open space/buffer to the north. The Project proposes landscape buffers along the property lines to enhance the appearance of the property. The architectural style of the residential units is compatible with residential development within the City. The development adheres to allowed building heights and other development standards so as to be consistent with surrounding residential uses.

8. Appropriate relationship to land use and development of adjacent properties, including topographic and other physical characteristics of the land;

The construction and improvements at the Project site are consistent with the surrounding uses and complement the existing neighborhood single-family residential uses. The topography of the land and adjacent areas is generally flat and will not be altered by the new development.

9. Proper site utilization and the establishment of a physical and architectural relationship to existing and proposed structures on the site;

The Old Ranch architectural style and finishes complement existing development in the vicinity. The Project provides Old Ranch style architectural features including the use of stucco walls, decorative half stone walls, wooden garage doors, window louvers, and corbel rafter tails. The project involves demolition of the existing residence on site in order to develop four new units that will be compatible and complimentary.

10. Compatible architectural style with the character of the surrounding area, both to avoid repetition of identical design where not desired, and to ensure compatibility in design where desired;

The design features are architecturally compatible with developments within the neighborhood. The project would utilize sand chenille stucco as the main façade material and include architectural accents such as wood trims and stone walls. The color palette and materials will be complementary to surrounding residential uses without mimicking and creating monotony in the area.

11. Harmonious relationship with existing and proposed developments and the avoidance of both excessive variety and monotonous repetition;

The project provides architectural features to avoid design repetition, including the use of architectural offset on facades facing the west with garages and front entry landings. The project architecture is intended to complement surrounding projects without mimicking them.

12. Compatible in color, material, and composition of the exterior elevations to neighboring visible structures;

The proposed units feature an Old Ranch Style architecture compatible with the condominium development to the south. The project is compatible in color, material and composition of the exterior elevations to neighboring structures. The color palette is intended to be a complimentary neutral tone that will be consistent with surrounding development.

13. Appropriate exterior lighting that provides for public safety and is not of a nature that will constitute a hazard or nuisance to adjacent properties;

The development will incorporate exterior lighting, appropriate in scale for the project and the neighborhood. The lighting will provide for public safety and is directed away from adjacent properties and public streets to minimize glare.

14. Compatible in scale and aesthetic treatment of proposed structures with public areas;

The project site incorporates a variety of landscaping species and pavers at driveway entrances. The structures comply with maximum building heights so they will be compatible in scale to adjacent residential development.

15. Appropriate open space and use of water-efficient landscaping; and

Common open space is provided at the rear of the property totaling 2,170 square feet. Each unit has private yard at least 400 square feet and up to 493 square feet. The project will include 8,270 square feet of landscape area consisting of groundcover, shrubs and trees which would meet the adopted Water Efficient Ordinance Guidelines as required by Stanton Municipal Code.

16. Consistent with the General Plan and any applicable Specific Plan;

The project site is not within a Specific Plan area. The proposed development is consistent with the City's General Plan, specifically:

- ***Goal LU-3.1: A range and balance of residential densities which are supported by adequate city services. Strategy LU-3.1.2: Encourage infill and mixed-use development within feasible development sites.***

The property is located within the Medium Density Residential zone which allows for residential development. The Project provides for five dwelling units consisting of two duplexes and one stand-alone dwelling unit. The proposed project offers infill development to serve the residential needs of the community while maintaining access to existing public services and utilities.

- ***Goal CD-1.1 Promote quality development and design that preserves and enhances a positive and unique image of Stanton and fosters a sense of community pride. Strategy CD-1.1.2 Ensure that new development within the city contributes to the image of Stanton in a positive way and places a high standard of architecture and site design.***

The proposed project offers an Old Ranch style architecture that would continue to enhance the positive image of Stanton and will be compatible with surrounding residential units in the neighborhood.

- ***Action RC-2.1.6(b) Encourage development of underutilized and vacant infill site where public services and infrastructure are available.***

The project will develop an underutilized lot and will complement the surrounding neighborhood-serving an established residential neighborhood. The infill development will redevelop this property in an existing neighborhood where adequate public services and infrastructure are available.

**SECTION 6:** Based on the findings set forth above, The Planning Commission hereby approves Site Plan and Design Review No. SPDR-819 for the development of 5 single-family units subject to the following conditions:

1. The Applicant and property owner must sign and return a City-provided affidavit accepting these Conditions of Approval. The project Applicant and property owner shall have thirty (30) calendar days to return the signed affidavit to the Community and Economic Development Department. In addition, the Applicant shall record the Conditions of Approval in the Office of the County Recorder. Proof of recordation shall be provided prior to permit issuance.
2. The Applicant shall indemnify, protect, defend, and hold the City, and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers, and instrumentalities thereof (collectively, the "Indemnified Parties") harmless from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory,

administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and other such procedures), judgments, orders, and decisions (collectively "Actions"), brought against the Indemnified Parties, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the Project, whether such Actions are brought under the Ralph M. Brown Act, California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Community Redevelopment Law, Code of Civil Procedure Sections 1085 or 1094.5, or any other federal, state, or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. Applicant's obligation under this condition of approval shall extend to indemnifying and holding harmless the Indemnified Parties against any damages, fees, or costs awarded in connection with any Action challenging the Project. The City and the Applicant expressly agree that the City shall have the right to choose the legal counsel providing the City's defense, and that the Applicant shall reimburse, on a monthly basis, the City for any costs, fees, and expenses incurred by the City in the course of the defense. City shall promptly notify the Applicant of any Action brought, and the Applicant shall cooperate with the City in the defense of the Action. Applicant's obligation to fully indemnify the City shall survive the suspension, revocation, expiration or termination of any permit, entitlement, or approval issued by the City for or relating to the Project.

3. The proposed project will be constructed, developed, used, operated, and permanently maintained in accordance with the terms of the application, plans, drawings submitted, and conditions imposed in this Resolution. Development shall occur in conformance with the plans, color and materials, attachments found in the staff report and the information presented to the Planning Commission, the conditions contained herein and all applicable City regulations. Any modifications shall require review and approval by the Community and Economic Development Director prior to the issuance of any building permit. Any significant modifications may require review and approval of the Planning Commission and/or City Council. All conditions must be completed prior to final approval and issuance of the certificate of occupancy.
4. The Applicant shall incorporate a copy of the Conditions of Approval as page 2 of the approved set of building plans prior to building permit issuance.
5. A final landscape plan consistent with the conceptual plan provided to the Planning Commission and as conditioned, shall be submitted for review and approval of a building permit, prior to issuance of grading permit.
  - a. The landscape plan shall include all plant materials, species and sizes, irrigation, open space improvements/furnishings and Water Efficient Ordinance requirements.

- b. All trees shall have a minimum trunk height of 10 feet at the time of installation. All shrubs shall be a minimum of 15 gallon.
  - c. Upon final inspection, staff may require replacement and/or addition of landscaping material to ensure a high-quality planting and sufficient coverage and spread.
  - d. The property owner shall maintain common area landscaping on site at all times in accordance with the approved landscaping plan. Should any planting be damaged, diseased, or removed it shall be replaced in kind.
  - e. All landscaping shall be installed prior to the final approval of building permits and shall be maintained as depicted in the final approved landscape plan. Any modifications or changes are subject to review and approval of the Community and Economic Development Director.
- 6. Prior to the issuance of any Certificate of Occupancy, the applicant shall obtain the necessary permits and complete the installation of a block wall.
  - 7. Applicant shall comply with QUIMBY Act requirements prior to permit issuance.
  - 8. Transformers or other equipment shall not be stored between the building and public right-of-way.
  - 9. Applicant shall incorporate exterior lighting, appropriate in scale for the project and the neighborhood. The exterior lighting shall provide for public safety and be directed away from adjacent properties and public streets to minimize glare.
  - 10. All exterior lighting shall be kept at a reasonable level of intensity and directed away from adjacent properties and public streets to minimize glare to be confirmed by the Community and Economic Development Director upon final inspection. A final lighting and photometric plan certified by a lighting engineer shall be approved by the Community and Economic Development Director or his/her designee prior to building permit issuance.
  - 11. The applicant shall submit utility and mechanical equipment plans prior to submitting for design with any utility company, that address, among other things, the location, size, height, and screening technique for all utilities and mechanical equipment. All utilities and mechanical equipment related to the project whether located on site or in the public right-of-way shall be underground. Should the utility or mechanical equipment (e.g., back flow devices, transformers, A/C units etc.) be unable to be placed underground, as reviewed and determined to be valid by the Community and Economic Development Director and Public Works Director, such equipment shall be located in the least impacting (visual, pedestrian impediment, vehicular obstruction, etc.) location as affirmed by the Community and Economic Development Director, at no time shall the equipment be placed between the structures and a public street. Additionally, all utility and mechanical equipment will

be adequately screened to the Community and Economic Development Director's satisfaction. Screening materials, techniques and locations shall be submitted for the review and approval of the Community and Economic Development Director prior to submittal of plans to any utility company and prior to the issuance of grading permits.

- a. All screening shall be subject to Planning inspection and shall match or exceed the height of the equipment.
  - b. Any modification to the approved screening shall obtain prior approval of the Community and Economic Development Director.
12. A will-serve letter from CR&R shall be submitted to the Planning Division prior to building permit issuance.
13. All colors, materials and finishes must match the approved plans and materials board. Any changes are subject to review and approval by the Community and Economic Development Director. The final architectural set of plans shall depict all materials and finishes prior to building permit issuance.
14. Parking is to be maintained and provided as identified in the approved plans. Any minor changes to the approved parking must be submitted for review and approved by the Community and Economic Development Director. Any significant changes to the approved parking may require review and approval by the Planning Commission.
15. Within forty-eight (48) hours of the approval of this project, the applicant/Applicant shall deliver to the Community and Economic Development Department a check payable to the County Clerk-Recorder to enable the City to pay the County administrative fee necessary to file the Notice of Exemption. If, within such forty-eight (48) hour period, the applicant/Applicant has not delivered to the Community and Economic Development Department the check required above, the approval for the project granted herein shall be void.
16. Construction plans shall be submitted to the Building Division for review and issuance of any future building permit(s). Construction plans shall comply with California Building Codes, as adopted and in effect at time of plan submittal. Building codes in effect, including local amendments, as of January 1, 2023: 2022 California Building Code ('22 CBC); 2022 California Plumbing Code ('22 CPC); 2022 California Mechanical Code ('22 CMC); 2022 California Electrical Code ('22 CEC); 2022 California Residential Code ('22 CRC); 2022 California Energy Code ('22 Energy); and 2022 California Green Building Standards Code ('22 CGBSC).
17. Prior to the issuance of any building permit, the applicant shall submit a soils report.

18. Prior to the final approval of any building permit, the applicant shall obtain the necessary permits and complete the installation of all required photo-voltaic (PV) panels.
19. That a landscape planter area no less than 5' in plantable width shall be provided for along the westerly property line.
20. A landscape planter area, no less than 5' in plantable width, shall be provided along the westerly property line.
21. Prior to the start of any work, a grading plan for on-site improvements prepared by a California-licensed civil engineer shall be submitted to the Public Works Department and approved by the City Engineer. Plan check and inspection fees shall be paid in advance according to the City's fee schedule.
22. Prior to the start of any off-site work, if any, an improvement plan for off-site improvements prepared by a California-licensed civil engineer shall be submitted to the Public Works Department and approved by the City Engineer. Plan check and inspection fees shall be paid in advance according to the City's fee schedule. Off-site improvement plans may be incorporated in the grading plan.
23. Prior to the start of any work in the City's public right-of-way, if any, a separate encroachment permit shall be obtained from the Public Works Department. All work shall be done in accordance with City of Stanton Standard Plans, Orange County Public Works Standard Plans, the Standard Plans for Public Works Construction, or Orange County Sanitation District standard plans.
24. All required geotechnical testing services required for improvements in the public right-of-way, if any, will be based on time and materials, to be invoiced at the completion of the project. These fees are in addition to any other fees paid to the City. These fees must be paid in full prior to release of any bonds.
25. Prior to the issuance of a grading permit or an encroachment permit, a grading bond (surety), letter of credit, or cash deposit (collectively known as "work guarantee device") shall be posted with the City in an amount and type sufficient to cover the cost of off-site and on-site work in an amount specified by the City Engineer. The work guarantee device shall not be released until all on-site and off-site improvement work is completed to the satisfaction of the City Engineer and as-built drawings are reviewed and approved by the City Engineer.
26. Perimeter fencing shall be installed during construction that has green screen material or approved equal. The fence/screen material shall be properly maintained and be free of rips, tears, fraying, graffiti, and any other damage or vandalism.
27. Prior to the demolition of any existing on-site improvements, a demolition plan shall be submitted and approved by the City Engineer, and a grading permit shall be

obtained in addition to any building permits required prior to demolition of any existing structures. The demolition plan shall include an erosion control plan.

28. Grading and improvements shall be in accordance with the City's grading manual and grading code and to the satisfaction of the City Engineer. Any work outside of the project boundaries will require easements or right-of-way entry letters from adjacent property owners.
29. The applicant and his/her contractor shall comply with all requirements of the Orange County Stormwater Program "Construction Runoff Guidance Manual" during the construction of the project. This document is available for downloading from [www.h2oc.org](http://www.h2oc.org).
30. All structural pavement sections, including all new and reconstructed parking lots and drive aisles, shall be submitted to and approved by the City Engineer. The soils engineer shall submit pavement section recommendations based on "R" Value analysis of the subgrade soils, and approved City traffic indices.
31. Handicap access ramps must be installed and/or retrofitted in accordance with current American Disabilities Act (ADA) standards throughout the project. Access ramps shall be provided at all intersections and driveways.
32. The existing driveway ramp and sidewalk along the project frontage are removed and replaced in accordance with current Orange County Public Works plans and American Disabilities Act (ADA) standards. The work shall be performed under a separate encroachment permit.
33. All existing improvements (sidewalk, curb & gutter, driveways, and street paving) on Kermore Lane along the project frontage which are in a damaged condition or demolished due to the proposed work shall be reconstructed to the satisfaction of the City Engineer. When reconstructing sidewalk, curb & gutter, and driveways, restoration shall at a minimum be joint-to-joint.
34. No construction materials or construction equipment shall be stored on public streets.
35. Hours of work in the public right-of-way and project site including demolition and construction shall be Monday through Thursday, 7:30 am to 4:30 pm, with no work performed on Fridays, weekends or holidays unless otherwise approved by the City Engineer and additional inspection fees paid.
36. Prior to the issuance of any building permit, the applicant shall pay sewer connection fees to the City for connection to the sanitary sewer system, if applicable.
37. Grading and improvement plans shall be prepared and submitted to the City Engineer for approval. Plans shall be 24" X 36", ink on mylar, with elevations to

nearest 0.01 foot, and scaled at 1" = 10'. Public works improvements may be shown on this plan. Grading plan check fees must be paid in advance.

38. Prior to the issuance of a building permit, pad certification by the project civil engineer and project geotechnical engineer is required and a building pad compaction report must be submitted to and approved by the City Engineer. Separate review fees may apply.
39. Prior to the issuance of a grading permit, a hydrology and hydraulic study (including off-site areas affecting the development) shall be prepared by a California-licensed civil engineer and approved by the City Engineer. The report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pad(s) to be safe from inundation from rainfall runoff which could be expected from all storms up to and including the theoretical 100-year flood. Methodology, criteria, and sizing of storm drain pipe and facilities shall adhere to the Orange County Hydrology Manual.
40. The maintenance of any landscaping between the curb and the right-of-way line of any street abutting the parcel shall be the responsibility of the owner of that parcel, unless a recognized association or district has assumed responsibility for said maintenance.
41. No above ground utility structures, cabinets, pipes, or valves shall be constructed within the public right-of-way.
42. Prior to the final approval of any building permit, no aerial utilities shall exist within the property boundaries. All connections shall be undergrounded, which will require coordination with the applicable utility companies.
43. Any above ground valve assemblies or back-flow devices shall be placed on private property and an easement dedicated to Golden State Water Company.
44. Water improvement plans shall be approved by Golden State Water Company (for improvements on public Right-of-Way) and the City's Building Department (for improvements on private property). All facilities shall be constructed in accordance with the appropriate agency's specifications, with all incidental fees paid by the applicant. These facilities shall be dedicated to the water company by the applicant to the satisfaction of the City Engineer.
45. Sewer improvement plans shall be approved by the City Engineer. All facilities shall be constructed in accordance with the City's specifications, with all incidental fees paid by the applicant.
46. If any cuts are required in the pavement on Kermore Lane, the applicant shall restore the street per the City's standard trench detail except that the "T" cut shall

consist of the full width paving of Kermore Lane from curb to curb for the length of the project frontage.

47. Prior to the issuance of a grading permit, the applicant shall submit a preliminary and a final water quality management plan (WQMP) incorporating best management practices (BMPs) in conformance with the requirements of the MS4 Permit issued to the City by the Santa Ana Regional Water Quality Control Board. This Permit may require the project to be classified as a priority development project which requires source control BMPs to be proposed, installed, and implemented prior to the issuance of a certificate of occupancy. The applicant is advised there are additional plan check fees for the review of these documents. Treatment control devices will not be permitted in the public right-of-way. The applicant/owner will be responsible for the costs of the construction or installation and maintenance of any BMPs. Construction of these BMPs shall be permitted under a grading plan and grading permit. The review of the conceptual grading plan and the tentative tract map do not constitute approval of the design of these BMPs.
48. All roof drains shall be routed to a landscaped area or an on-site structural treatment BMP prior to draining into the City storm drain system.
49. Prior to the issuance of a grading permit, the applicant shall identify in the WQMP the parties responsible for the long-term maintenance and operation of the structural treatment control BMPs for the life of the project and a funding mechanism for operation and maintenance.
50. Any newly constructed on-site or off-site storm drains shall be inspected by the County of Orange Underground Inspection Team if larger than 24" in diameter. The City will arrange for the inspection. There will be additional fees for this inspection.
51. Prior to the issuance of a certificate of occupancy, all existing and proposed catch basin inlets on the site, if any, shall be fitted with trash capture devices on the State Water Resources Control Board's "Track 1" approved device list.
52. Prior to the final approval of any building permit, the applicant/owner shall furnish a recorded copy of the City's Water Quality Best Management Practices Implementation Agreement. The Agreement outlines post-construction maintenance requirements for on-site water quality related best management practices that will be required to be implemented by the owner, and all subsequent owners. The text of this Agreement shall not be modified except as determined by the City Manager, City Attorney, or City Engineer.
53. Prior to the issuance of any precise grading permit, the applicant shall provide plans and supporting documentation for the review and approval of the City Engineer showing that areas requiring regular washing/cleaning (including

dumpster areas) are isolated from the storm drain system. No discharge from such areas shall be allowed into the storm drains.

54. Prior to the issuance of a grading permit, the applicant shall provide for review and approval by the City Engineer a trash and recycling plan detailing the expected trash, recyclable materials, and organic waste from the project. The applicant shall comply with the requirements of AB1826 and SB1383, mandatory commercial organics recycling (food waste), and AB341, mandatory commercial recycling. City staff notes the conceptual plans submitted to Planning shows one or two carts being stored outside of each condominium, on the side of each condo. The plan can confirm this will be the arrangement for complying with SB 1383, AB 1826, and AB 341.
55. The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority (OCFA) for review. Approval shall be obtained on each plan prior to the event specified. Prior to OCFA clearance of a Final Map or issuance of a precise grading permit or a building permit, if a grading permit is not required:
- Fire master plan (service code PR145),
  - Fire sprinkler system (service codes PR400-PR465)

Specific submittal requirements may vary from those listed above depending on actual project conditions identified or present during design development, review, construction, inspection, or occupancy. Portions of the project that are deferred shall be subject to the codes, standards, and other applicable requirements in force on the date that the deferred plan is submitted to OCFA.

56. Prior to issuance of temporary or final certificate of occupancy, all OCFA inspections shall be completed to the satisfaction of the OCFA inspector and be in substantial compliance with codes and standards applicable to the project and commensurate with the type of occupancy (temporary or final) requested. Inspections shall be scheduled at least five days in advance by calling OCFA Inspection Scheduling at 714-573-6150.
57. After installation of required fire access roadways and hydrants, the applicant shall receive clearance from the OCFA prior to bringing combustible building materials on-site. Contact OCFA Inspection Scheduling at 714-573-6150 with the Service Request number of the approved fire master plan at least five days in advance to schedule the lumber drop inspection.

**ADOPTED, SIGNED, AND APPROVED** by the Planning Commission of the City of Stanton at a meeting held on April 5, 2022, by the following vote, to wit:

**AYES:**            **COMMISSIONERS:** \_\_\_\_\_

**NOES:**           **COMMISSIONERS:** \_\_\_\_\_

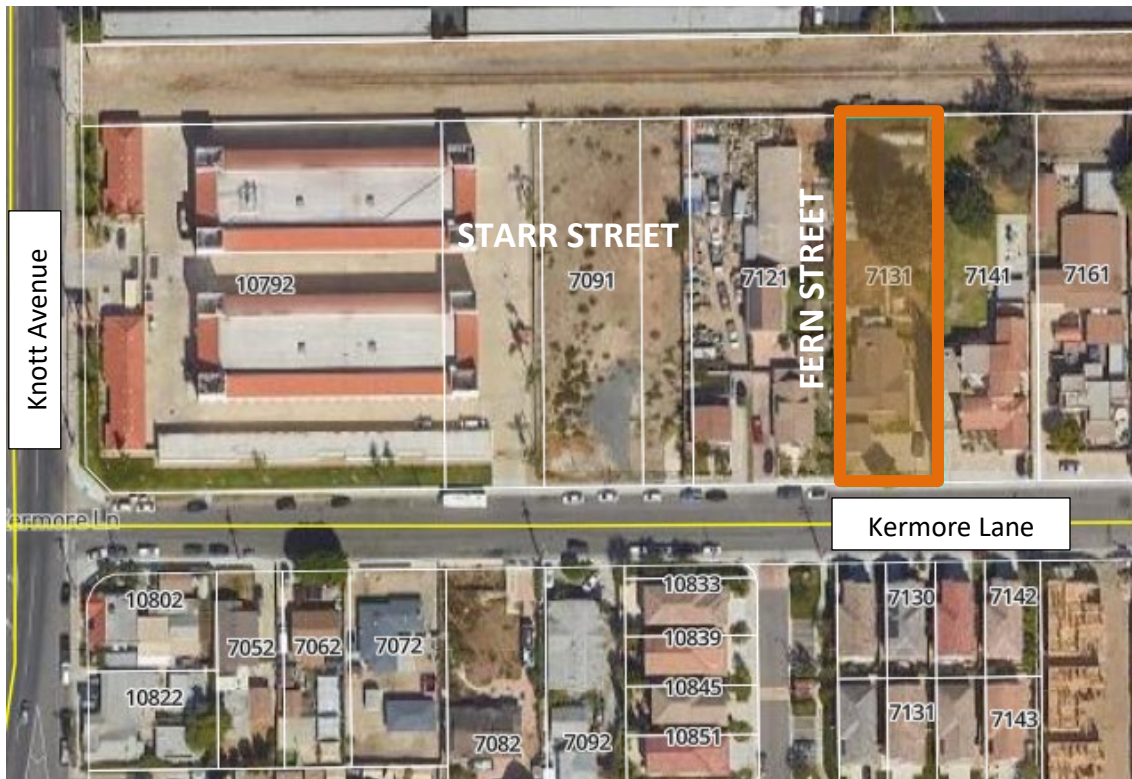
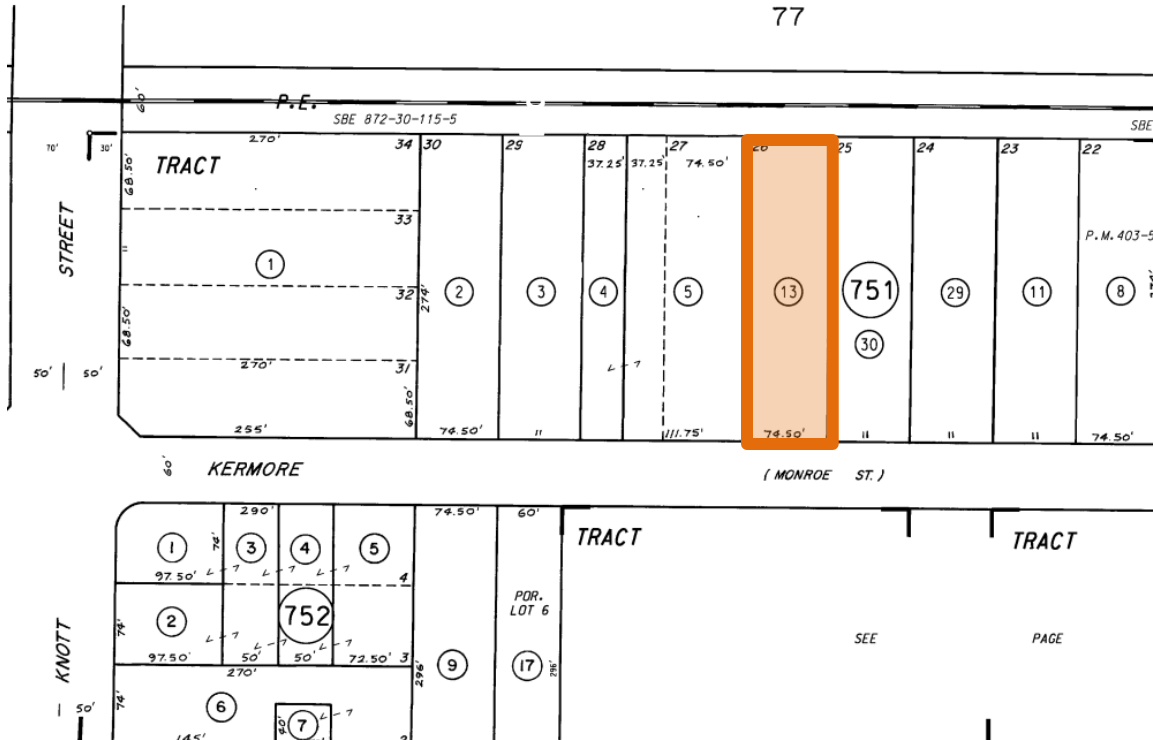
**ABSENT:**        **COMMISSIONERS:** \_\_\_\_\_

**ABSTAIN:**       **COMMISSIONERS:** \_\_\_\_\_

\_\_\_\_\_  
Stanton Planning Commission

\_\_\_\_\_  
Crystal Landavazo  
Planning Commission Secretary

7131 Kermore Lane  
(APN 079-751-13)  
VICINITY MAP



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**VICINITY MAP**

The vicinity map shows the project site located at the intersection of Kermode Ln and Bessie St. The site is highlighted in red. Surrounding streets include Cerritos Ave, North Ave, Rock Ave, and various residential areas. A north arrow is provided in the bottom left corner.

<b>SHEET INDEX</b>	
Sheet Number	Sheet Name
A-01	General Notes, Site Plan, Fire
A-02	Fire Hydrant Map
A-03	Surface Coverage
A-04	Floor Plan Option 1
A-05	Electrical Plan Option 1
A-06	Floor Plan Option 2
A-07	Electrical Plan Option 2
A-08	Roof Plan
A-09	Elevation Option 1
A-10	Elevation Option 2
A-11	Materials Colors
A-12	CGBC
A-13	CGBC
L1 - L4	Landscaping
S0	General Notes
S1	Foundation & Roof Framing Plan
SD1	Foundation Details
SD2	Framing Details
T24	Title 24

SCOPE OF WORK	
<p>-BUILD 5 UNIT SINGLE FAMILY HOMES 2 STORIES EACH UNIT 4 BED, 3 BATH, 3-CAR GARAGE</p> <p>-ADDITIONAL 7 UNCOVERED PARKINGS -1 FOR EACH UNIT AND 2 FOR GUESTS</p>	
PROJECT DATA	
<p>-APN: 079-751-13 -ZONING: RM -OCCUPANCY: R-3 -CONSTRUCTION TYPE: V-B -SPRINKLERS: YES -LOT SIZE: 20,413 SQFT</p> <p><u>IMPERVIOUS SURFACE COVERAGE:</u> BUILDING FOOTPRINT: 4980 SQFT PARKING, WALK, DRIVEWAYS: 6871 SQFT TOTAL: 12044 / 20,413 = 0.59 = 59% &lt; 60%</p> <p><u>REQUIRED PARKING:</u> 4 UNITS : 4 BEDROOMS: 4 x 4 = 16 1 UNITS : 2 BEDROOMS: 1 x 2.75 = 2.75</p> <p>GUEST PARKING: 1 SPACE FOR EACH 3 UNITS: 1</p> <p>TOTAL: 19.75 PARKING</p> <p>PARKING PROVIDED: 20</p>	

LEGEND	
	Property Line
	New Addition
	Existing Walls
	Demolition
	New Walls
	Sliding Door
	Sliding Window
	Door Schedule
	Window Schedule
	110V Outlet
	110V GFCI Outlet
	110V AFCI Outlet
	Switch
	Recessed Light
	Ceiling Mounted Light
	Wall Light
	Exhaust Fan (w/ Light)
	Wired Smoke/Carbon Detector w/backup

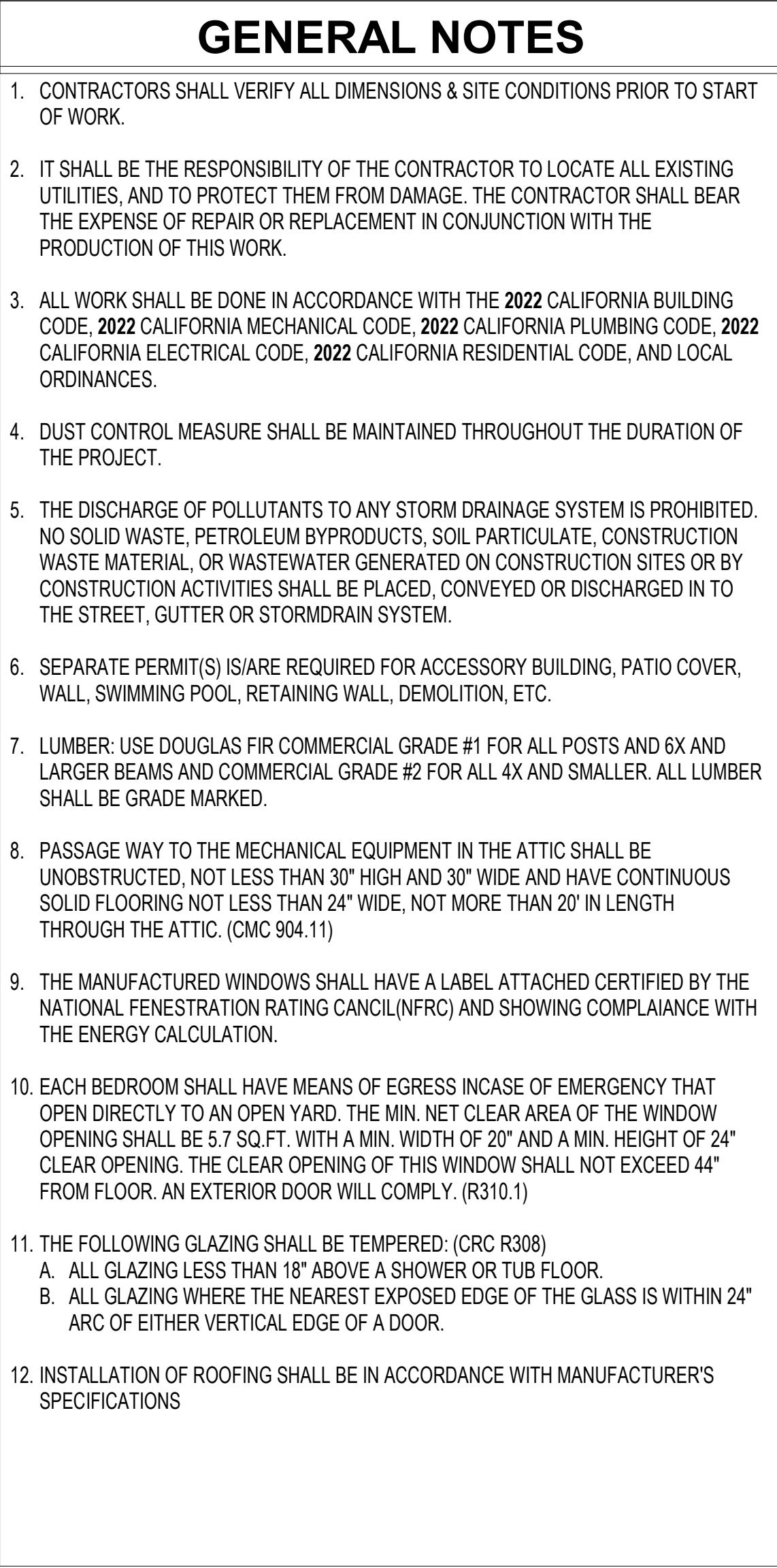
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9. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING CANCEL(NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATION.
10. EACH BEDROOM SHALL HAVE MEANS OF EGRESS INCASE OF EMERGENCY THAT OPEN DIRECTLY TO AN OPEN YARD. THE MIN. NET CLEAR AREA OF THE WINDOW OPENING SHALL BE 5.7 SQ.FT. WITH A MIN. WIDTH OF 20" AND A MIN. HEIGHT OF 24" CLEAR OPENING. THE CLEAR OPENING OF THIS WINDOW SHALL NOT EXCEED 44" FROM FLOOR. AN EXTERIOR DOOR WILL COMPLY. (R310.1)
11. THE FOLLOWING GLAZING SHALL BE TEMPERED; (CRC R308)
  - A. ALL GLAZING LESS THAN 18" ABOVE A SHOWER OR TUB FLOOR.
  - B. ALL GLAZING WHERE THE NEAREST EXPOSED EDGE OF THE GLASS IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF A DOOR.
12. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

**VICINITY MAP**


The vicinity map shows the project site (highlighted in red) located at the intersection of Kermode Ln and Bessie St. The map includes surrounding streets such as Cerritos Ave, North Ave, Rock Ave, and various residential areas. A north arrow icon is located at the bottom left.

<b>SHEET INDEX</b>	
Sheet Number	Sheet Name
A-01	General Notes, Site Plan, Fire
A-02	Fire Hydrant Map
A-03	Surface Coverage
A-04	Floor Plan Option 1
A-05	Electrical Plan Option 1
A-06	Floor Plan Option 2
A-07	Electrical Plan Option 2
A-08	Roof Plan
A-09	Elevation Option 1
A-10	Elevation Option 2
A-11	Materials Colors
A-12	CGBC
A-13	CGBC
L1 - L4	Landscaping
S0	General Notes
S1	Foundation & Roof Framing Plan
SD1	Foundation Details
SD2	Framing Details
T24	Title 24


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General Notes, Site Plan, Fire

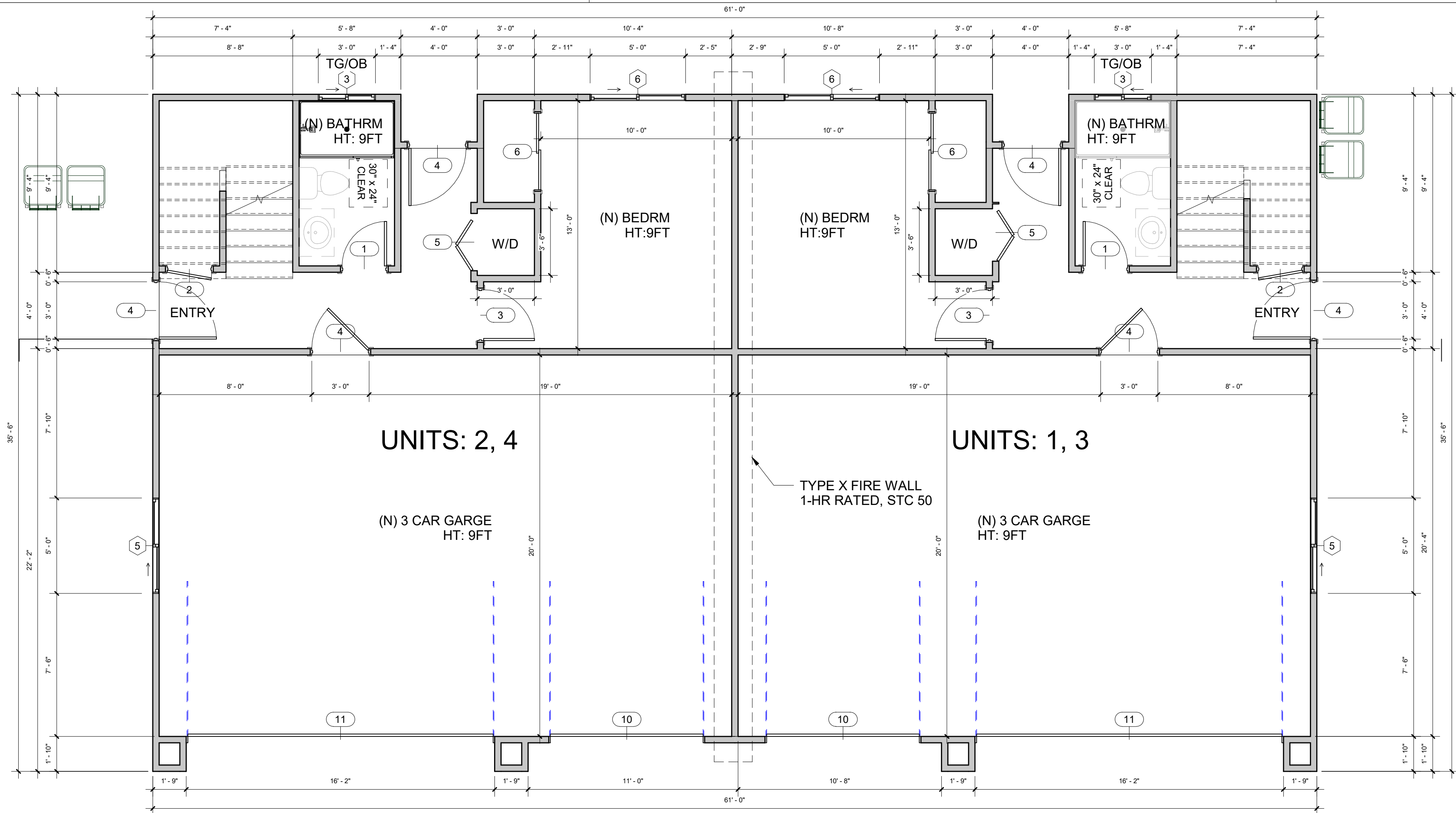
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7131 Kermore Ln, Stanton, CA 90680
General Notes, Site Plan, Fire

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7131 Kermore Ln, Stanton, CA 90680
General Notes, Site Plan, Fire

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1 FLOOR 1 - NEW FLOOR PLAN OPTION 1  
1/4" = 1'-0"

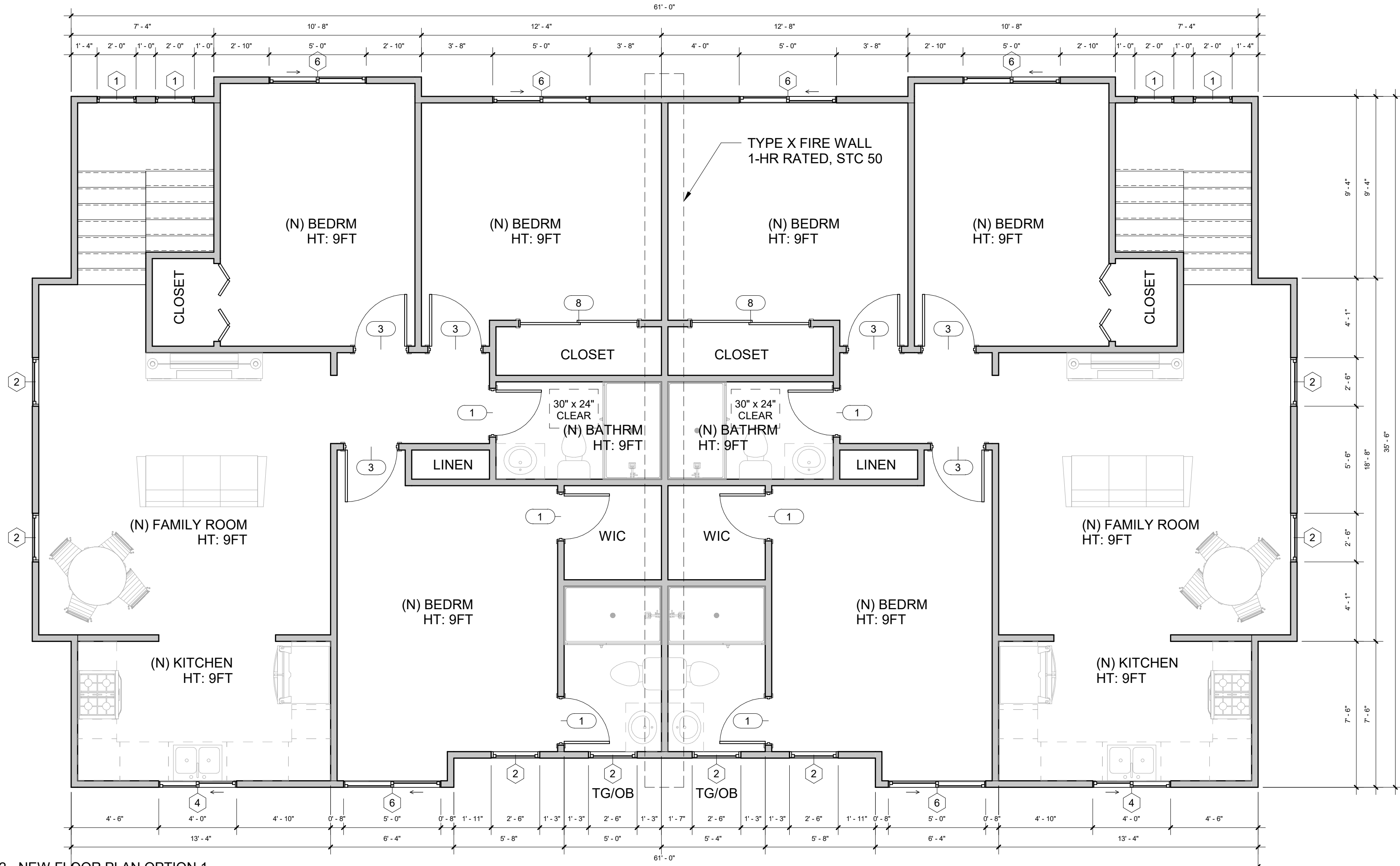
Door Schedule					
Type Mark	Count	Type	Description		
1	19	28" x 80"	INTERIOR HOLLOW CORE DOOR, TYP.		
2	5	28" x 80"	INTERIOR HOLLOW CORE DOOR, TYP.		
3	18	32" x 80"	INTERIOR HOLLOW CORE DOOR, TYP.		
4	14	36" x 80"	EXTERIOR SOLID CORE DOOR, TYP.		
5	4	36" x 80"	INTERIOR BI-FOLD DOOR, TYP.		
6	4	48" x 80"	INTERIOR SLIDING CLOSET DOOR, TYP.		
7	4	48" x 80"	INTERIOR BI-FOLD DOOR, TYP.		
8	6	72" x 80"	INTERIOR SLIDING CLOSET DOOR, TYP.		
9	1	72" x 80"	SLIDING PATIO DOOR, TYP.		
10	4	96" x 84"	1-CAR GARAGE ROLLER		
11	5	192" x 84"	2-CAR GARAGE ROLLER		
Window Schedule					
Type Mark	Count	Type	U-FACTOR	SHGC	Description
1	10	24" x 48"			VINYL PICTURE WINDOW
2	18	30" x 48"			VINYL SINGLE HUNG WINDOW
3	7	36" x 24"			VINYL SLIDING WINDOW.
4	5	48" x 48"			VINYL SLIDING WINDOW
5	5	60" x 36"			VINYL SLIDING WINDOW
6	18	60" x 48"			VINYL SLIDING WINDOW

SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6FT ABOVE THE FLOOR

ALL SHOWER COMPARTMENTS REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQIN AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE

CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14' WITH TWO ELBOWS. THIS SHALL BE REDUCED 2' FOR EVERY ELBOW IN EXCESS OF TWO OR IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. SHOW MINIMUM 4" DIAMETER, SMOOTH, METAL DUCT, AND SHOW DUCT ROUTE ON PLAN

LANDING AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2' LOWER THAN THE TOP OF THE THRESHOLD. LANDINGS WITH DOORS THAT DO NOT SWING OVER THE LANDING MAY HAVE A DIFFERENCE IN ELEVATION OF 7-3/4" MAXIMUM BELOW THE TOP OF THE THRESHOLD.



2 FLOOR 2 - NEW FLOOR PLAN OPTION 1  
1/4" = 1'-0"

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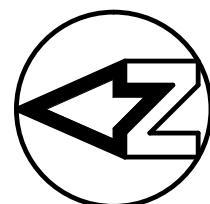
Floor Plan Option 1

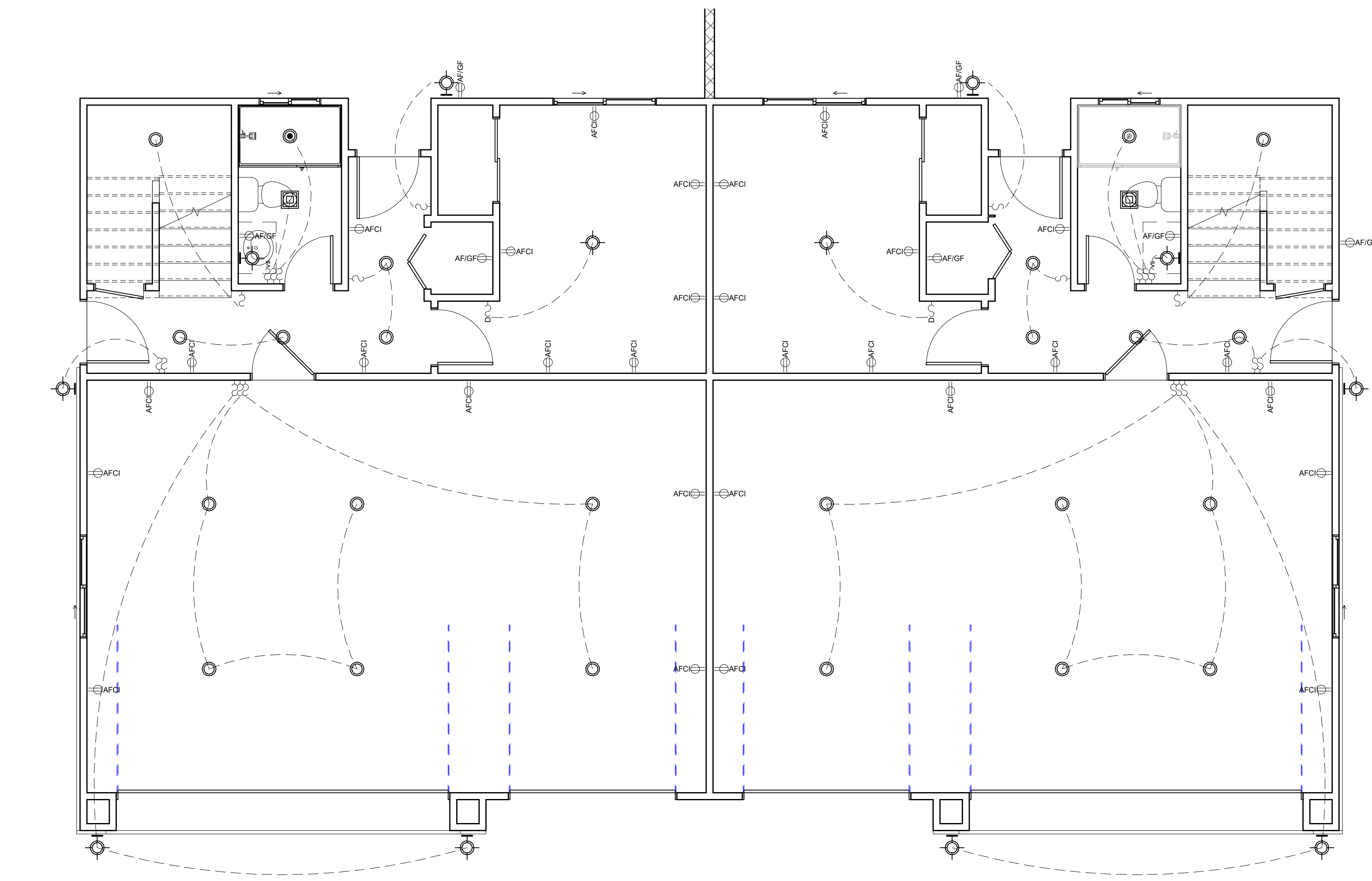
No. Description Date

Project number  
Date  
Drawn by

A-04

SCALE: AS NOTED





ALL KITCHEN CIRCUITS SHALL BE COMBINATION AFCI AND GFCI

KITCHEN RANGE EXHAUST HOOD SHALL BE MIN 100 CFM, 3 SONES MAX VENTED TO THE OUTSIDE WITH BACKDRAFT DAMPER

BATHROOM EXHAUST SHALL BE 50 CFM MIN WITH HUMIDITY CONTROL, VENTED TO THE OUTSIDE WITH BACKDRAFT DAMPER

SMOKE DETECTORS SHALL HAVE A 10 YEAR LIFE BATTERY IN A SEALED COMPARTMENT

ALL LIGHTS ARE HIGH EFFICACY

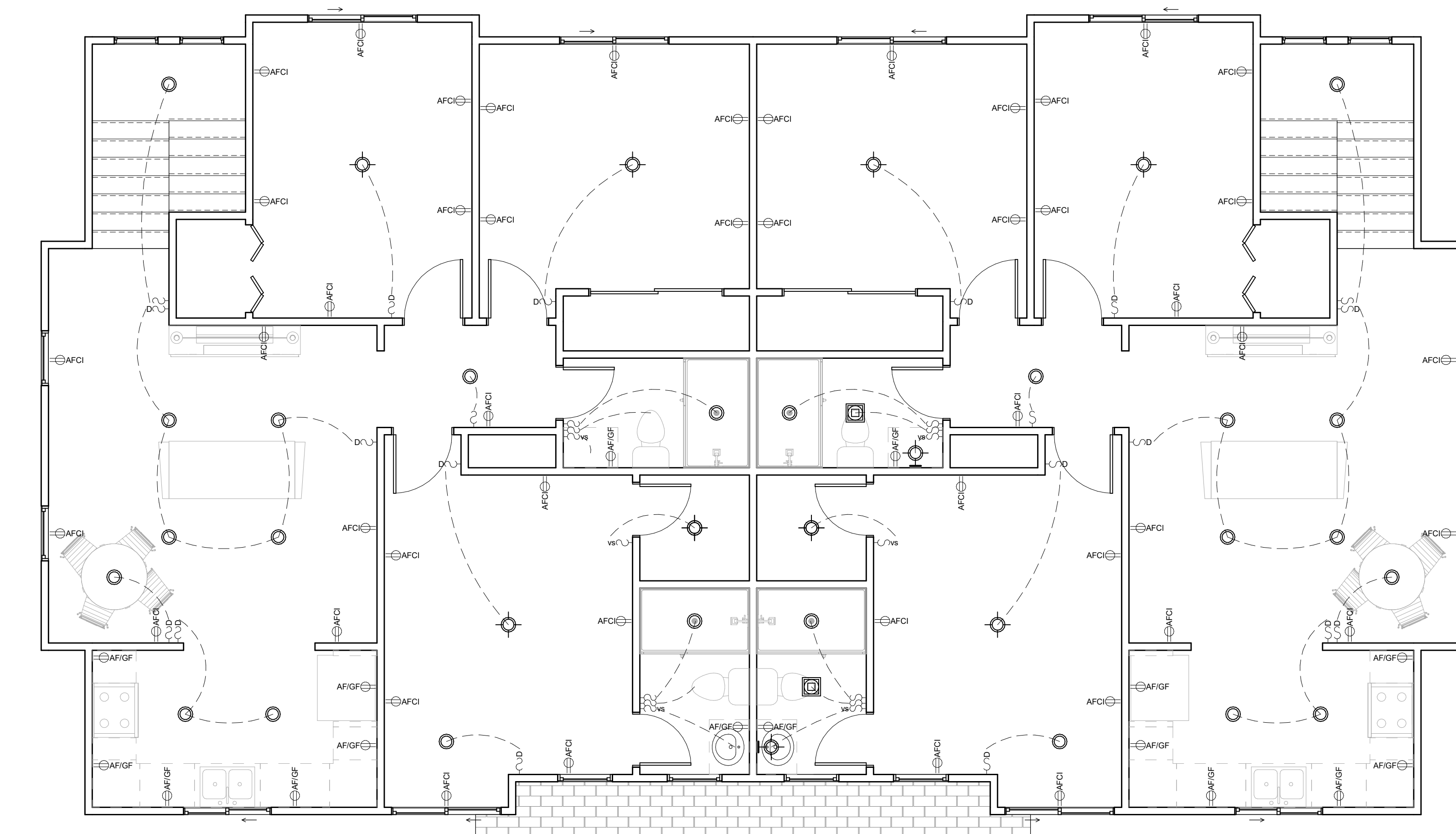
ALL RECEPTACLES REQUIRE GFCI SHALL BE COMBINATION OF AFCI, GFCI

ALL NEW RECEPTACLES IN BATHROOM WET AREAS OR OVER THE COUNTER SHALL BE COMBINATION OF GFCI AND AFCI

EXTERIOR RECEPTACLES REQUIRED FOR PORCH SHALL BE ON AFCI, GFCI, WR, AND WP WITH A BUBBLE COVER.

ALL WATER HEATER INSTALLATION LOCATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE:

1. A 120V RECEPTACLE THAT IS WITHIN 3FT FROM THE WATER HEATER
2. A CATEGORY iii OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.
3. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW
4. A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN 2000 BTW/HR SYSTEM



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## Electrical Plan Option 1

[illegible]

Project number
Date
Drawn by

A-05

SCALE: AS NOTED



LANDING AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. LANDINGS WITH DOORS THAT DO NOT SWING OVER THE LANDING MAY HAVE A DIFFERENCE IN ELEVATION OF 7-3/4" MAXIMUM BELOW THE TOP OF THE THRESHOLD.



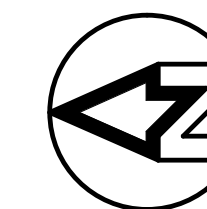
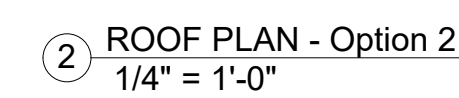
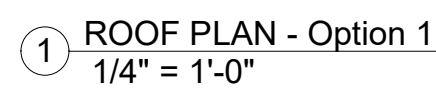
1. A 120V RECEPTACLE THAT IS WITHIN 3FT FROM THE WATER HEATER
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3. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW
4. A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN 2000 BTW/HR SYSTEM

Project number
Date
Drawn by
<b>A-07</b>
SCALE: AS NOTED

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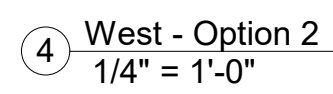
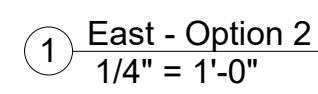
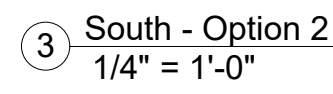
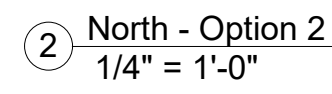
## Roof Plan

[illegible]

A-08

SCALE: AS NOTED





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Stanton, CA 90680

## Elevation Option 2

[illegible]

A-10

SCALE: AS NOTED



PLANTING NOTES

CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO ANY DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY FAILURE TO DO SO.

PLANT MAINTENANCE WORK SHALL CONSIST OF APPLYING WATER, WEEDING, FERTILIZING PER SPECIFICATIONS.

THE ENTIRE PROJECT IS TO BE MAINTAINED FOR A PERIOD OF 60 CALENDAR DAYS, COMMENCING FROM THE TIME ALL ITEMS OF WORK HAVE BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR DISEASE AND PEST CONTROL DURING THE MAINTENANCE PERIOD.

CONTRACTOR SHALL RAISE OR LOWER SPRINKLER HEADS TO PROPER LEVEL IF PLANT MATERIAL OBSTRUCTS FULL COVERAGE.

CONTRACTOR TO VERIFY WITH SOIL ANALYSIS, THE SOIL AMENDMENT AND CONTACT THE LANDSCAPE ARCHITECT IF THERE ARE ANY INADEQUATE AMENITIES.

ALL SHRUBS AND GROUND COVER TO BE INSTALLED 1" ABOVE BACKFILL GRADE. COMPACT BACKFILL TO REMOVE MAJOR SETTLING OF PLANT MATERIAL.

PLANTS CALLED OUT ON PLAN ARE CONSIDERED IN CLUSTERS EVEN IF NOT ATTACHED BY CONNECTING LINES. CALLOUTS WILL HAVE TOTAL COUNTS NEEDED.

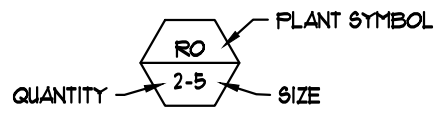
ALL PLANTING BEDS TO RECEIVE 2" DEPTH OF FIR BARK MULCH - "FOREST FLOOR" OR EQUAL.

ALL TREES WITHIN FIVE FEET (5') OF HARDSCAPE OR WALLS TO BE INSTALLED WITH A ROOT BARRIER.

CONTRACTOR SHALL ENSURE THAT ALL TOP SOILS HAVE A MINIMUM OF 4" HORIZONTAL SEPARATION FROM BUILDING WEEP SCREED AND ALL SOIL SHALL SLOPE AWAY FROM THE BUILDING.

PLANT LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS / QTY.
TREES				
CE	24" BOX	CERCIDIMUM 'DESERT MUSEUM'	PALO VERDE	L / 3
OE	36" BOX	OLEA E. FRUITLESS	FRUITLESS OLIVE	L / 3
PT	15 GAL	PITTOSPORUM T. 'SILVER SHEEN'	BLACKSTEM PITTOSPORUM	M / 5
FR	36" BOX	PROSOPIS C. 'THORNLESS'	MESQUITE	L / 2
SHRUBS				
AG	5 GAL	AGAVE ATTENUATA	FOXTAIL AGAVE	L / 35
AL	5 GAL	ALOE CAMPERI	POPCORN ALOE	L / 20
AH	5 GAL	ALYOGYNE HUEGELII	BLUE HIBISCUS	L / 9
CV	5 GAL	CALLISTEMON V. 'LITTLE JOHN'	DWARF BOTTLEBRUSH	L / 31
CS	5 GAL	CISTUS SKANBERGII	PINK ROCKROSE	L / 55
LF	5 GAL	LEUCOPHYLLUM F. 'GREEN CLOUD'	TEXAS RANGER	L / 54
LL	5 GAL	LOMANDBA L. 'BREEZE'	HAT RUSH	L / 41
PS	5 GAL	PEROVSKIA 'BLUE SPIRES'	RUSSIAN SAGE	L / 51
PH	5 GAL	PHORMIUM T. 'PINK STRIPE'	NEW ZEALAND FLAX	M / 12
RI	5 GAL	ROSA 'ICEBERG'	WHITE ICEBERG ROSE	M / 13
SG	5 GAL	SALVIA G. 'ALBA'	AUTUMN SAGE	L / 9
UF	5 GAL	UESTRINGIA F. 'BLUE GEM'	AUSTRALIAN ROSEMARY	L / 68
VINES				
BO	5 GAL	BOUGAINVILLEA 'BARBARA KARST'	BOUGAINVILLEA	L / 12
GROUND COVERS				
	4" POTS	CAREX DIVULSA	BERKELEY SEDGE	L / 12" O.C.
	PLUGS	KURAPIA 'NEW WHITE'	KURAPIA	L / 15" O.C.
	1 GAL	LANTANA 'TRAILING YELLOW'	YELLOW LANTANA	L / 18" O.C.
	1 GAL	SENECIO SERPENS	CHALKSTICKS	L / 18" O.C.

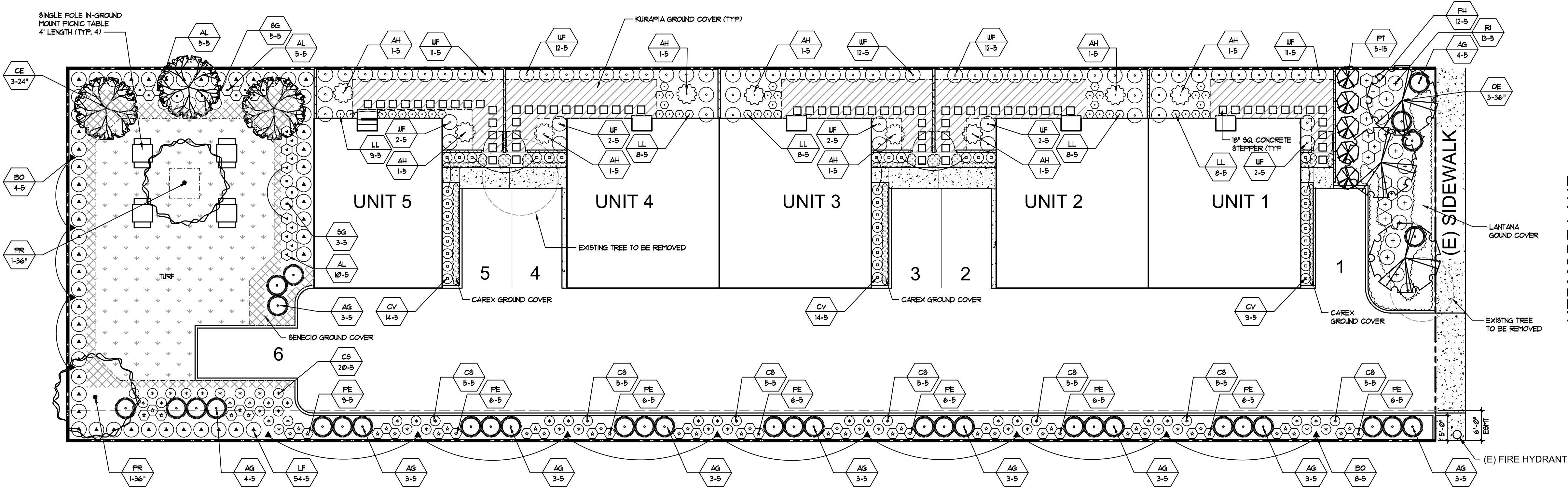


LANDSCAPE DATA:

TOTAL SITE AREA: 20,413 SQ. FT.

LANDSCAPE AREA: 8,261 SQ. FT. / 40%

TURF AREA: 1,518 SQ. FT. / 7%



REVISIONS	BY

(949) 855-6413  
FAX 830-4446  
LANDSCAPE ARCHITECTURE  
23011 Melton Parkway  
PLANNING • RESEARCH  
Suite J112 • Laguna Hills, CA 92653  
STAN SMITH ASSOCIATES

5 UNIT RESIDENTIAL  
7131 KERMORE LANE  
STANTON, CA 90680  
PLANTING PLAN

DRAWN SSA
CHECKED SS
DATE 12-15-22
SCALE 1"=10'
JOB NO.
SHEET
1-1
OF SHEETS





PLANTING SPECIFICATIONS

**WEED CONTROL:** KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA. UPON COMPLETION OF SOIL PREPARATION, THE CONTRACTOR SHALL APPLY A SELECTIVE PRE-EMERGENT TO ALL PLANTING AREAS EXCEPT SEEDED LAWN AREAS.

**CULTIVATION:** IMMEDIATELY AFTER APPLICATION OF WEED CONTROL, CULTIVATE ALL AREAS TO A DEPTH OF 1-1/2".

**FINISH GRADING:** MAKE ALL SOIL AREAS SMOOTH AND EVEN WITH A FINISH GRADE OF 1" (ONE INCH) BELOW THE SURFACE OF WALKS, PAVED AREAS AND CURBS AND SLIGHTLY LESS THAN FLUSH WITH CATCH BASINS, MANHOLES, CLEAN OUTS, VALVE BOXES AND SIMILAR FEATURES. RAKE CLEAN ALL AREAS.

**SOIL PREPARATION AND FERTILIZATION:** IN ALL PLANTING AREAS THE FOLLOWING APPLICATION SHALL BE MADE PER 10000 SQ. FT. OF AREA AND SHALL BE THOROUGHLY CULTIVATED IN TWO DIRECTIONS INTO THE TOP 6" OF SOIL, AND THE AREA WATERED DOWN: 2 CUBIC YARDS NITROGEN STABILIZED SAUDUST, 100 LBS. AGRICULTURAL GYPSUM, 150 LBS. GRO-POWER PLUS COMMERCIAL FERTILIZER.

**DEEP RIP** ALL AREAS TO BE PLANTED OR SEEDED TO A UNIFORM DEPTH OF AT LEAST 12" AND FOR THIS ENTIRE DEPTH THE SOIL SHALL BE MADE LOOSE AND FRABLE.

ALL MATERIALS SHALL BE UNIFORMLY AND THOROUGHLY BLENDED BY REPEATED ROTARY CULTIVATION INTO THE 6" OF TOP SOIL.

AT TIME OF PLANTING, THE TOP 2" (TWO INCHES) OF ALL AREAS TO BE PLANTED OR SEEDED SHALL BE FREE OF STONES, WEEDS, ROOTS OR OTHER DELETERIOUS MATTER 1" (ONE INCH) IN DIAMETER OR LARGER AND SHALL BE FREE FROM ALL WIRE, PLASTER OR SIMILAR OBJECTS THAT WOULD BE A HINDRANCE TO PLANTING OR MAINTENANCE. REMOVE ALL DEBRIS FROM THE SITE.

AFTER 30 DAYS (MAINTENANCE PERIOD) APPLY 25 LBS. PER 10000 SQ. FT. OF GRO-POWER PLUS IN ALL LANDSCAPE AREAS.

REFER TO SOILS REPORT FOR ANY ADDITIONAL SOIL AMENDMENTS.

**BACKFILL MIX:** TREES, SHRUBS AND VINES:  
SOIL MIX FOR BACKFILL IN PITS FOR TREES, SHRUBS AND VINES SHALL CONSIST OF THE FOLLOWING:

AMOUNT/CUBIC YARD  
60% BY VOLUME ON-SITE SOIL  
40% BY VOLUME ORGANIC AMENDMENT  
2 LBS. AGRICULTURAL GYPSUM  
15 LBS. GRO-POWER PLUS

PLANTING PITS SHALL BE EXCAVATED TWICE THE DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL. BACKFILL SHALL THEN BE ADDED AS OUTLINED ABOVE. THE PREPARED SOIL SHALL BE UNIFORMLY BLENDED IN AN AREA ADJACENT TO THE PLANTING WORK AND SHALL BE ACCURATELY PROPORTIONED USING A SUITABLE MEASURING CONTAINER. UNUSED EXCAVATED SOIL SHALL BE REMOVED FROM SITE. PROTECT THE MIX FROM WATER UNTIL IT HAS BEEN PLACED IN BACKFILL AROUND PLANTS.

INSTALL PLANTING TABLETS IN THE FOLLOWING APPLICATIONS: 1 GRAM "GRO-LIFE" TABLETS BY GRO-POWER INTO PLANTING PITS AS PER DETAIL.

EACH GALLON PLANT - 2 TABLETS  
EACH 5 GALLON PLANT - 4 TABLETS  
EACH 15 GALLON PLANT - 8 TABLETS

SPECIMEN PLANTS LARGER THAN 15 GALLON SIZE SHALL BE 3 TABLETS PER 1/2" CALIPER OF TREE TRUNK.

**AGRONOMIC SOILS REPORT:**  
a. AFTER COMPLETION OF ROUGH GRADING & PRIOR TO SOIL PREPARATION, THE CONTRACTOR SHALL PROVIDE THE TESTING OF PLANTING SOILS & COMPOSTED ORGANIC HUMUS MATERIALS BY AN INDEPENDENT AGRONOMIC SOILS TESTING LABORATORY THAT IS A MEMBER OF THE CALIFORNIA ASSOCIATION OF AGRICULTURAL LABS. REPRESENTATIVE SOILS SAMPLES SHALL BE TAKEN IN THE FIELD & A WRITTEN REPORT SHALL BE PREPARED BY THE SOIL SCIENTIST THAT SHALL INCLUDE RECOMMENDATIONS FOR SOIL AMENDMENTS, PRE-PLANT FERTILIZATION, HYDROMULCH SLURRY & POST-MAINTENANCE FERTILIZATION PROGRAM.

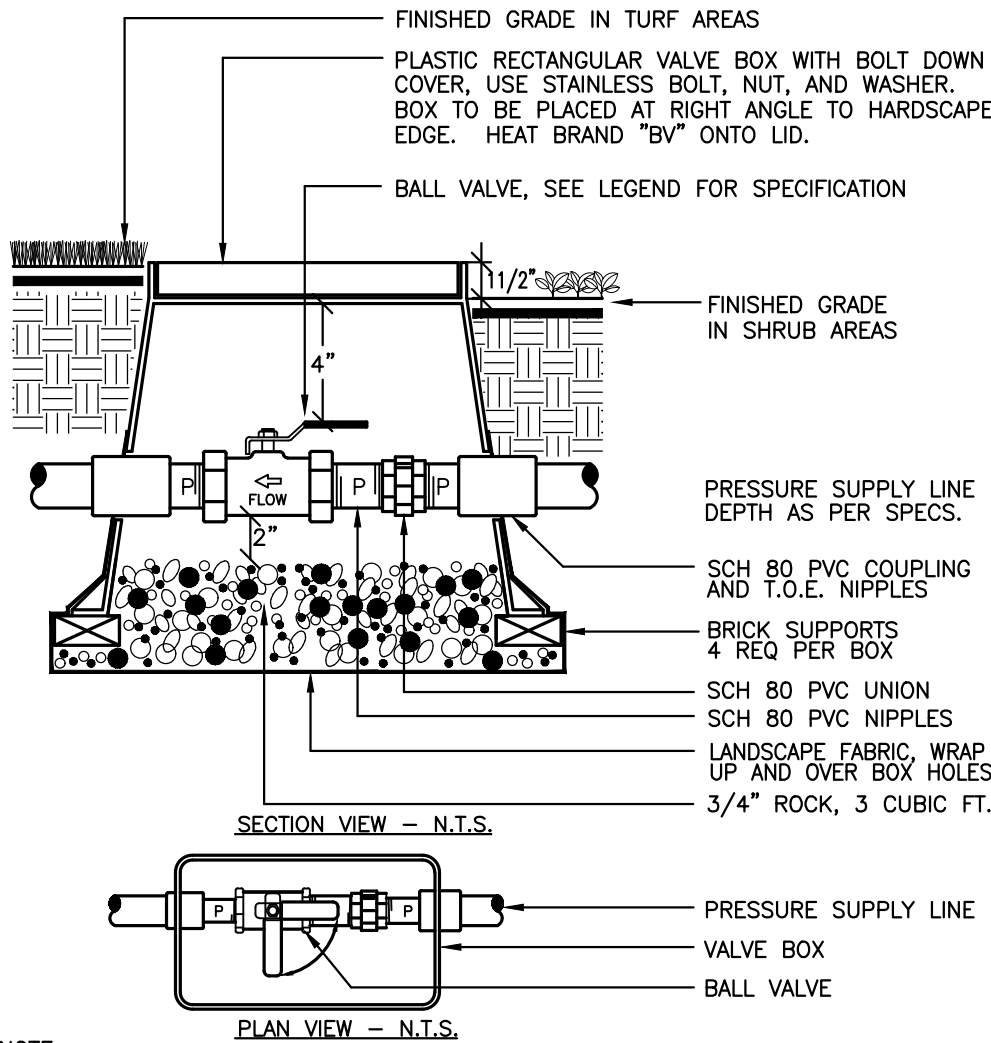
b. SOIL PREPARATION SPECIFICATIONS SHALL BE PREPARED BASED ON THE TEST RESULTS & RECOMMENDATIONS AND MUST BE APPROVED BY THE CITY PRIOR TO SOIL PREPARATION.

c. SOIL TESTS SHALL BE PERFORMED AFTER SOIL PREPARATION TO CONFIRM THAT SOIL PREPARATION WAS PERFORMED IN COMPLIANCE WITH PRE-PLANT SOILS REPORT & SPECIFICATIONS. COMPLIANCE OF CONTRACTOR'S WORK WITH SOIL PREPARATION SPECIFICATIONS SHALL BE DETERMINED SOLELY BY THE CITY.

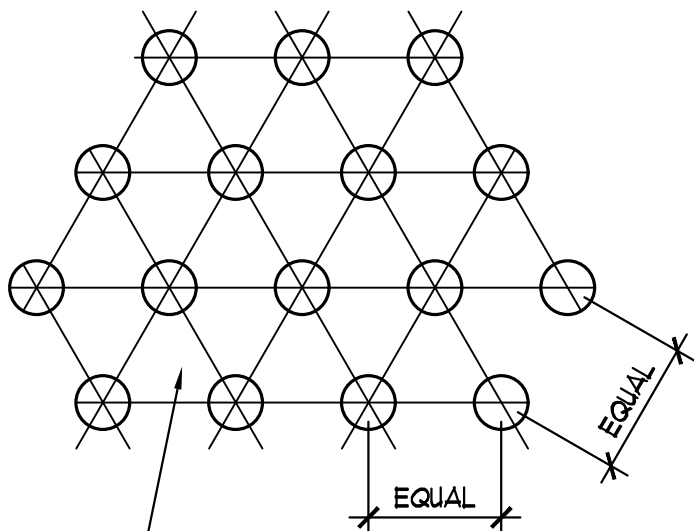
**GUARANTEE:** ALL SPECIMEN TREES AND ALL SHRUBS OF 15 GALLON SIZE AND LARGER SHALL BE GUARANTEED BY THE CONTRACTOR TO TAKE ROOT AND GROW IN A HEALTHY CONDITION FOR ONE YEAR AFTER COMPLETION OF ALL CONTRACTOR'S LANDSCAPE PLANTING WORK PROVIDING SAID TREES AND SHRUBS HAVE RECEIVED NORMAL CARE AND MAINTENANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT AND OWNER.

ALL OTHER PLANTINGS INCLUDING, BUT NOT NECESSARILY LIMITED TO, GROUND COVER, VINES, ETC. SHALL BE GUARANTEED BY THE CONTRACTOR TO TAKE ROOT AND GROW IN A HEALTHY CONDITION FOR SIXTY (60) DAYS AFTER COMPLETION OF ALL CONTRACTOR'S LANDSCAPE PLANTING WORK.

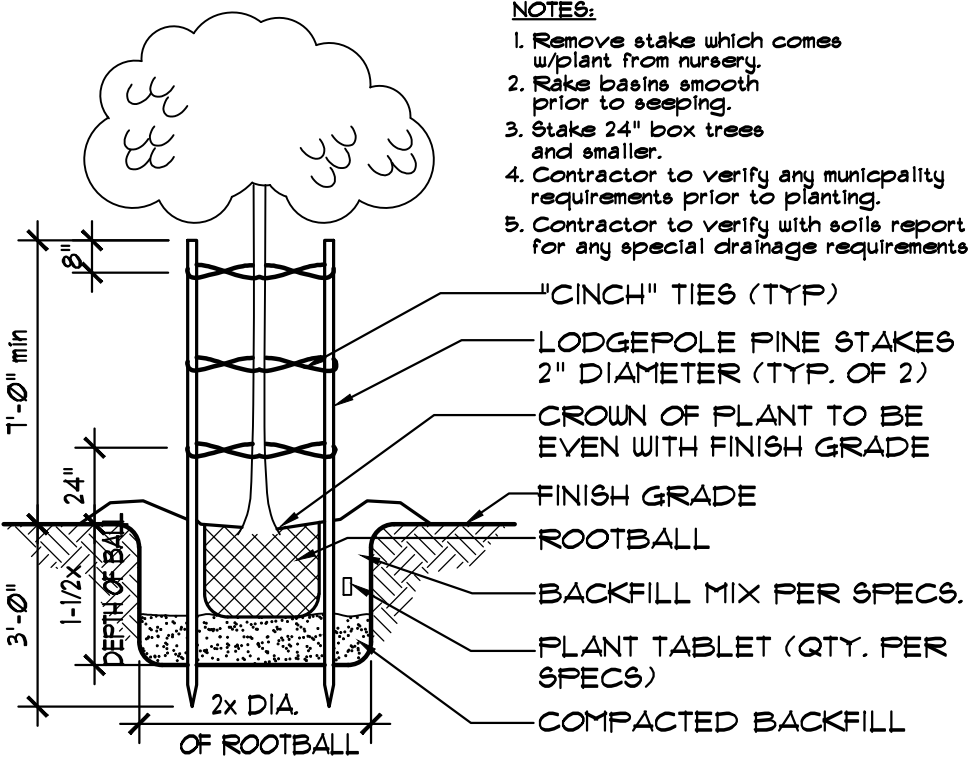
ANY OF SAID TREE, SHRUBS, OR OTHER PLANTINGS WHICH DIE BACK OR LOSE FORM AND SIZE AS ORIGINALLY SPECIFIED SHALL BE REPLACED WITHOUT DELAY BY CONTRACTOR WHEN REQUESTED BY LANDSCAPE ARCHITECT AND/OR OWNER, AT NO COST TO OWNER.



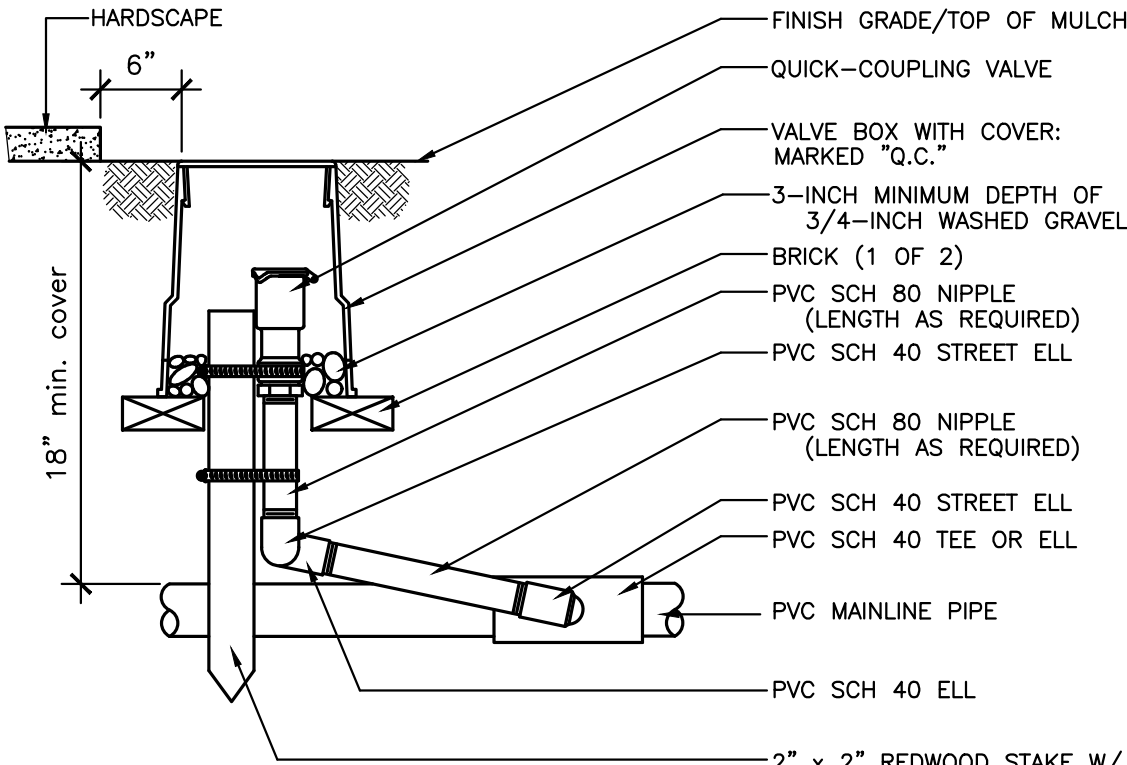
NOTE:  
BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE  
INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE, INSTALL VALVE OFF-CENTER IN BOX.  
INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE  
INSTALLATION AT MAIN LINE DEPTH.



ALL GROUND COVER TO BE PLANTED  
AT EQUAL SPACING (TRIANGULAR) PER  
O.C. SPACING NOTED ON PLANS

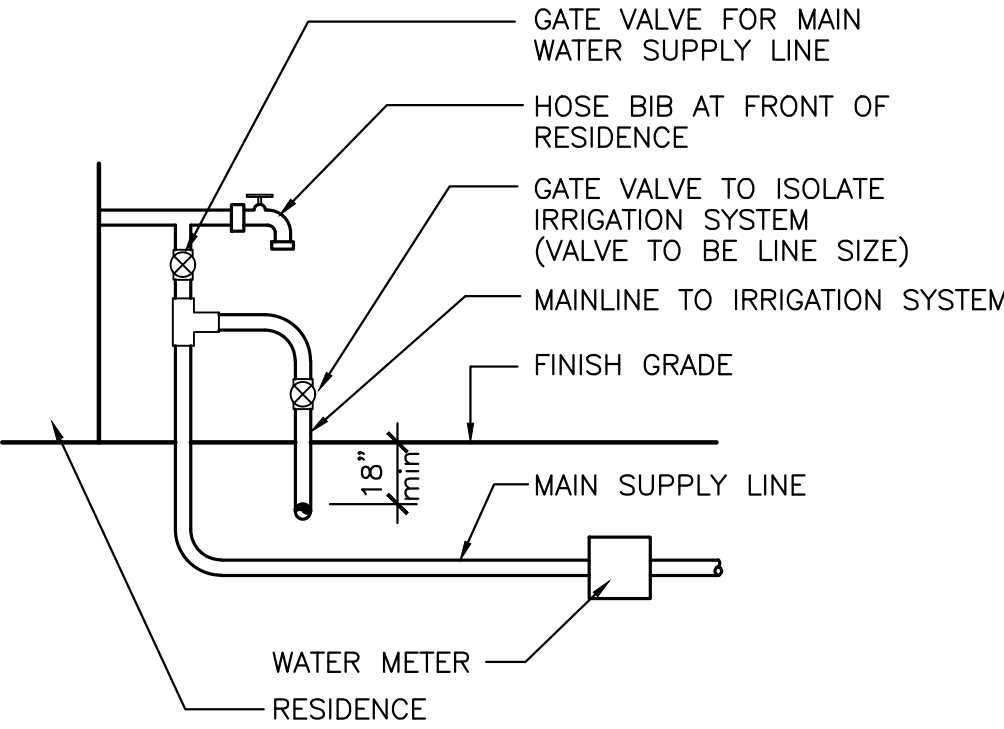


G BALL VALVE

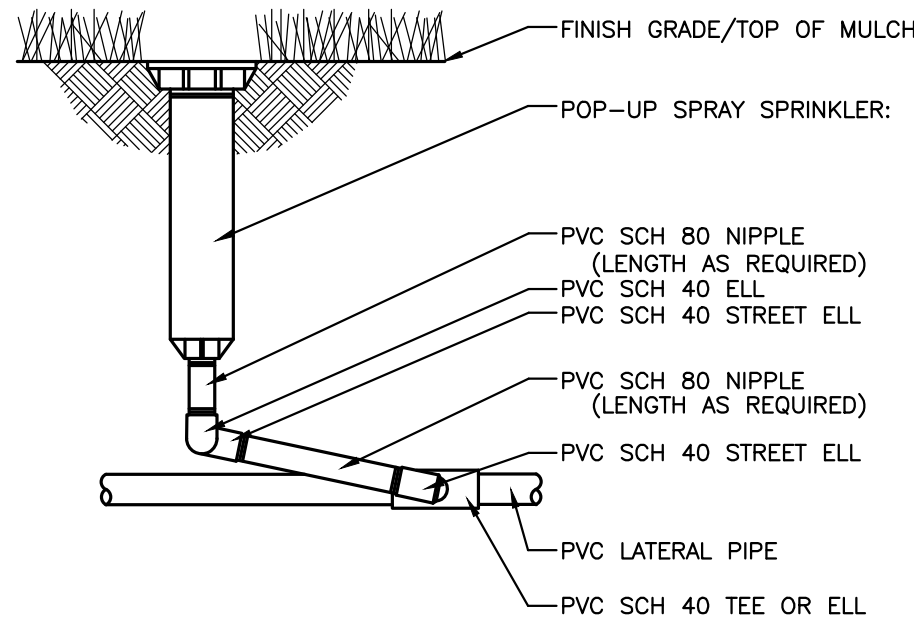


NOTE:  
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO  
NOMINAL QUICK COUPLING VALVE INLET SIZE.

H QUICK COUPLER

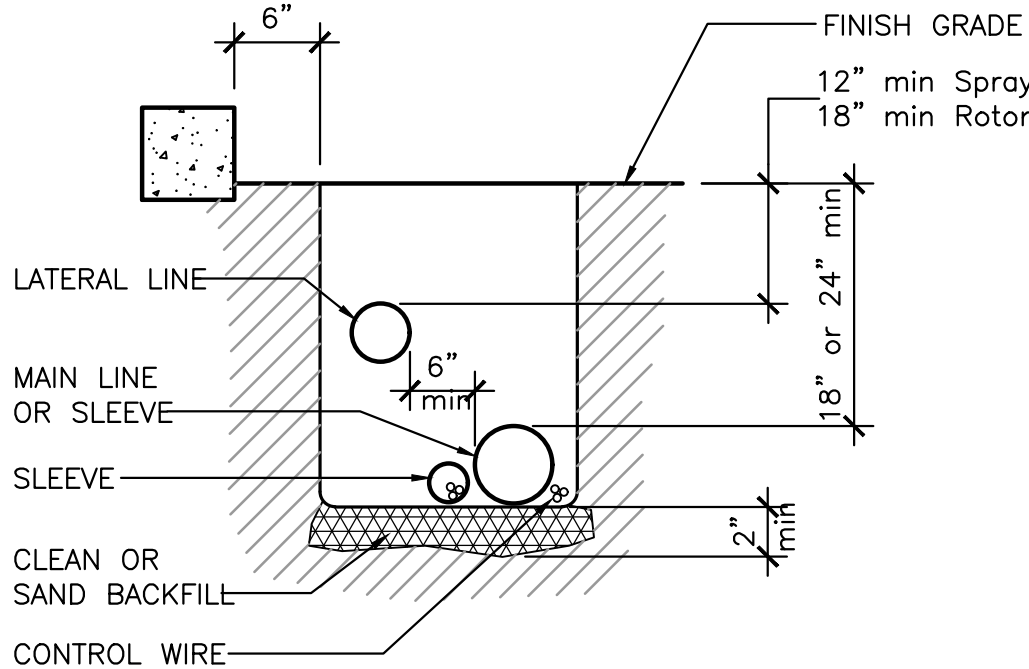


J HOMEOWNER POC

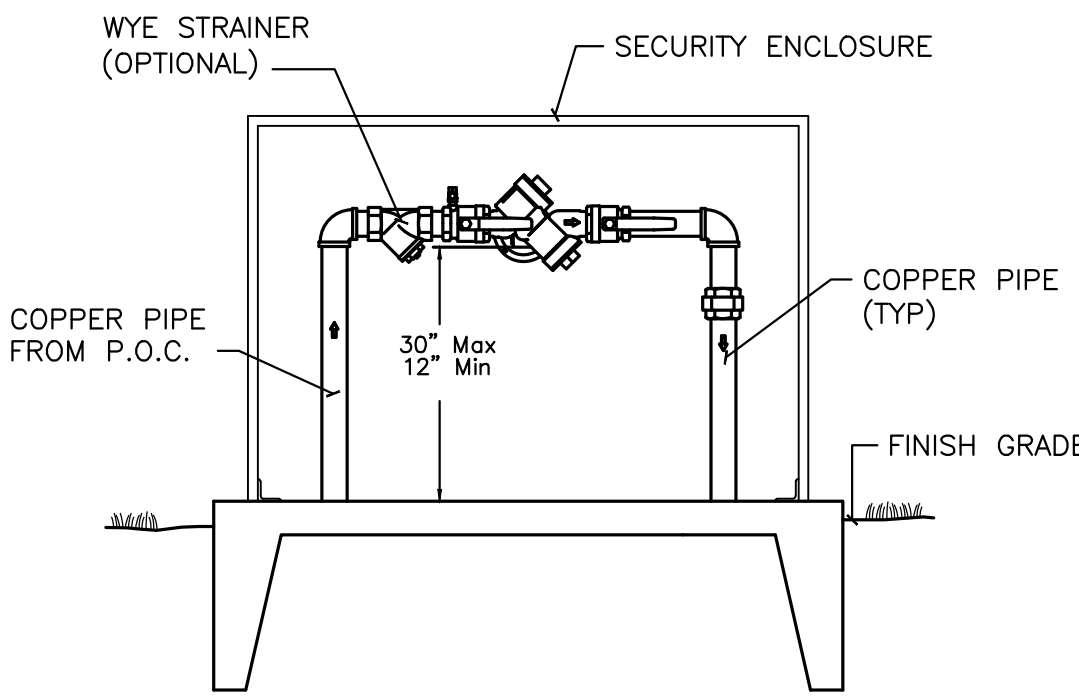


I POP-UP SPRAY

D GROUND COVER PLANTING



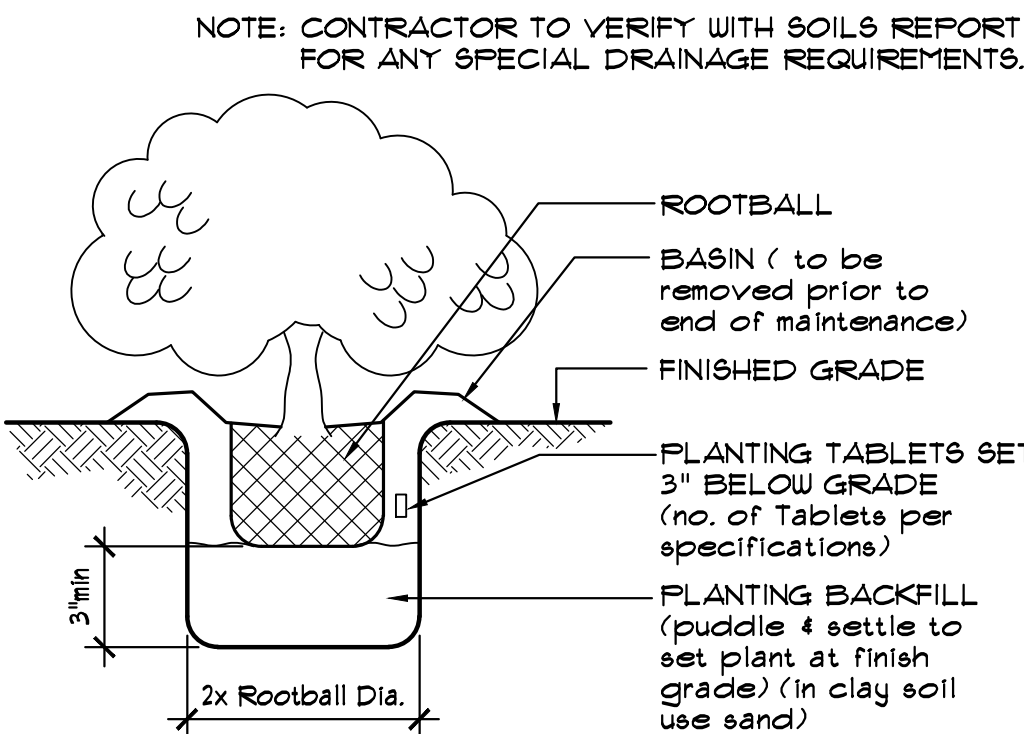
E IRRIGATION TRECHING



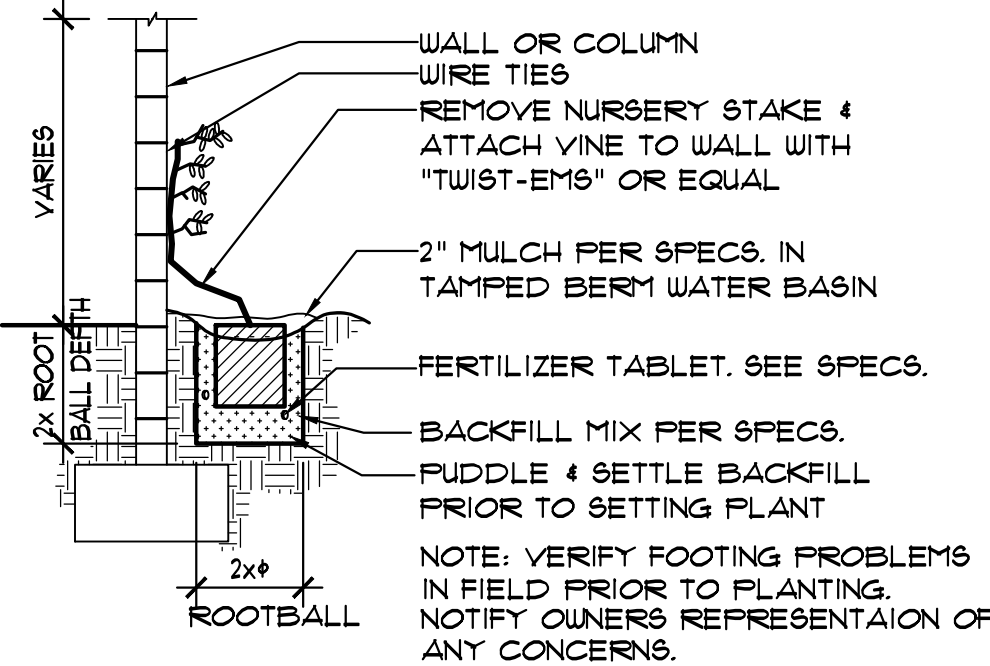
NOTE:  
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

F BACKFLOW PREVENTER

A TREE PLANTING



B SHRUB PLANTING



C VINE PLANTING

REVISIONS	BY

(949) 855-6413  
FAX 830-4465

LANDSCAPE ARCHITECTURE  
23011 Moulton Parkway  
PLANNING • RESEARCH  
Suite H2 • Laguna Hills, CA 92653

STAN SMITH ASSOCIATES

DETAILS

5 UNIT RESIDENTIAL  
7131 KERMORE LANE  
STANTON, CA 90680

DRAWN SSA
CHECKED SS
DATE 12-19-22
SCALE NTS
JOB NO.
SHEET

L-3

OF SHEETS

IRRIGATION SPECIFICATIONS

INSTALL ALL MATERIALS TO COMPLY WITH LOCAL CODES AND ORDINANCES. VERIFY PRESSURE SHOWN PRIOR TO BEGINNING OF CONSTRUCTION.

VERIFICATION: ALL SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS. LOCATIONS OF VALVES AND VACUUM BREAKERS SHALL BE AS INDICATED ON THE DRAWINGS. ANY DEVIATION FROM THE PLAN MUST HAVE THE APPROVAL OF THE LANDSCAPE ARCHITECT. LOCATION OF ALL BACKFLOW AND CONTROLLERS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PERMIT AND FEES: THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY FEES AND PERMITS REQUIRED IN THE PURSUIT OF HIS WORK AS REQUIRED BY GOVERNING CODES.

EXCAVATIONS: DEPTHS OF MINIMUM COVER UNLESS OTHERWISE SPECIFIED BELOW FINISH GRADE.  
1. MAIN LINE PRESSURE PLASTIC - 18" MINIMUM COVER, 24" UNDER PAVING SAND BACKFILL.  
2. QUICK COUPLER LINES - 1-1/2" AND SMALLER MAIN LINE 18".  
3. LATERAL SPRINKLER LINES - 12" ± SAND BACKFILL UNDER PAVING.  
4. CONTROL WIRING - 18".

THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL SPRINKLER SYSTEMS AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES AND/OR DISCREPANCIES IN AREA DIMENSIONS, UNTIL SUCH CONDITIONS ARE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

INSTALL ALL EQUIPMENT AND MATERIALS AS SHOWN IN DETAILS AND SPECIFICATIONS.

ALL PIPING UNDER PAVED AREAS SHALL BE INSTALLED PRIOR TO PAVING. USE PVC CLASS 315 FOR 2" AND LARGER AND PVC SCHEDULE 40 FOR 1-1/2" AND SMALLER. PROVIDE SAND BACKFILL OVER PIPING CROSSING ANY ROADWAY OR AC PAVING.

ALL PIPING BETWEEN WATER METER AND BACKFLOW PREVENTER SHALL BE PER LOCAL CODE.

VALVE BOXES SHALL BE AMETEK #10-131-001 WITH AMETEK #10-131-001 COVER MARKED "IRRIGATION CONTROL VALVE."

INSTALL CONTROLLER AS CALLED FOR ON THE DRAWINGS. OWNER SHALL PROVIDE 110 VOLT SERVICE TO CONTROLLER. IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP TO CONTROLLER.

INSTALL 24 VOLT CONTROL WIRING ON #14 UF DIRECT BURIAL IRRIGATION WIRE. USE BLACK FOR PILOT, USE WHITE FOR COMMON WIRE.

USE EPOXY TAPE CONNECTORS FOR SPLICING OF WIRES. BURY WIRES IN SAME TRENCH AS MAIN LINE WITH SIX 1" DIA. X 36" LINEAR EXPANSION COILS EVERY 100' AND AT VALVES. INSTALL WIRES IN PVC SLEEVE UNDER PAVING.

CONTRACTOR SHALL SUBMIT "AS-BUILT" DRAWINGS TO OWNER. LOCATE VALVES, QUICK COUPLERS AND MAIN LINE LOCATION WITH DIMENSIONS FROM THE NEAREST PERMANENT POINT OF REFERENCE.

CONTRACTOR SHALL FURNISH THREE (3) QUICK COUPLING KEYS EQUIPPED WITH HOSE SUIVELS.

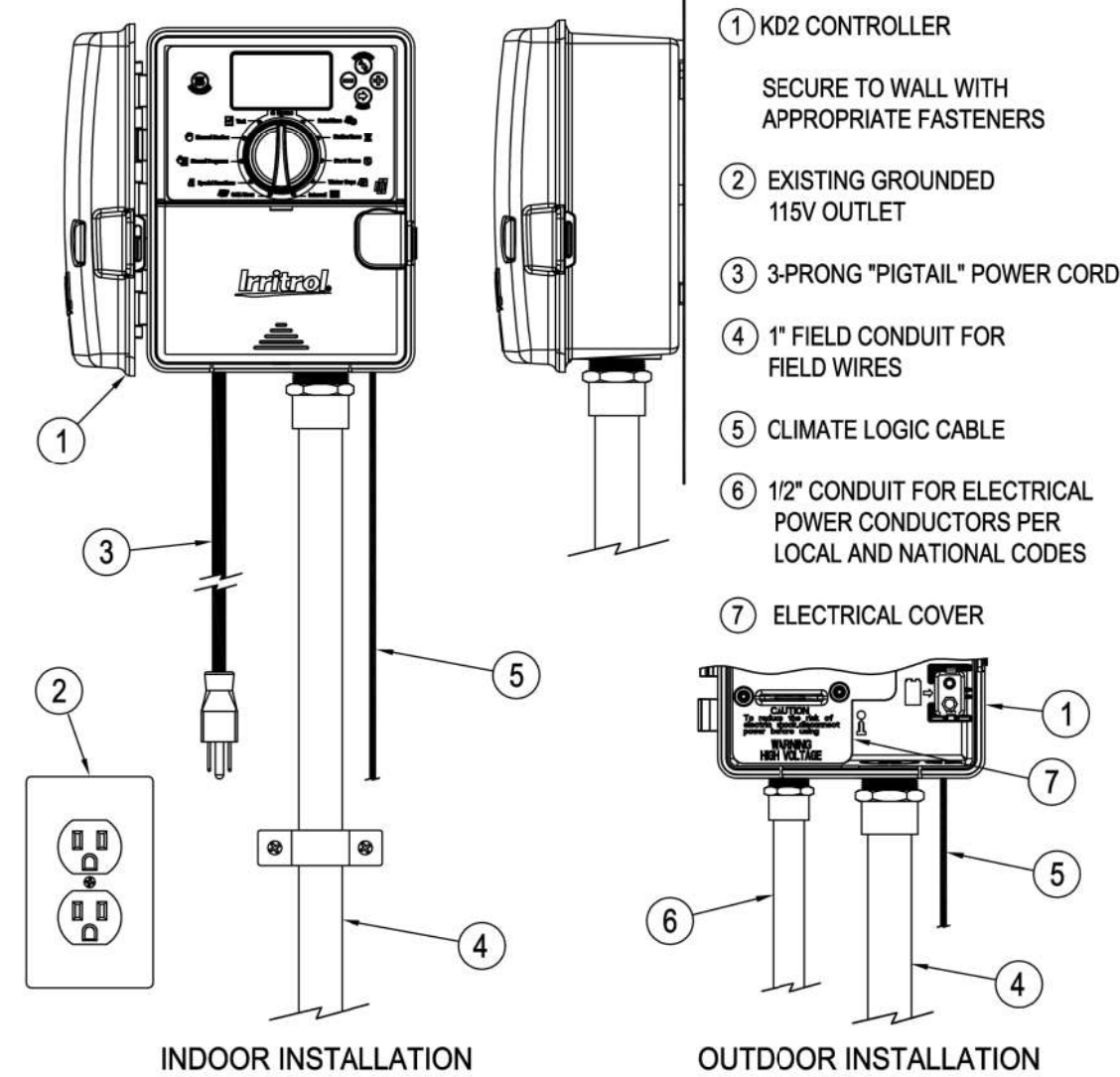
TESTS: ALL PRESSURE LINES SHALL BE TESTED PRIOR TO BACKFILL OPERATIONS. CENTER LOAD PLASTIC PIPE WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND WHIPPING UNDER PRESSURE.

GUARANTEE: THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR TO GIVE COMPLETE AND SATISFACTORY SERVICE AS TO MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

SHOULD ANY TROUBLE DEVELOP WITHIN THE SPECIFIED GUARANTEE PERIOD, WHICH IN THE OPINION OF THE OWNER IS DUE TO INFERIOR OR FAULTY MATERIAL AND/OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED, WITHOUT DELAY, BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AND AT NO EXPENSE TO THE OWNER AS PART OF THIS CONTRACT.

Irritrol

IRRITROL  
5825 JASMINE STREET  
RIVERSIDE, CA 92504  
TOLL FREE: 1-800-634-8873  
www.irritrol.com



NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION AND ADJUSTMENT INFORMATION.
3. DO NOT SCALE DRAWINGS.
4. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT: [www.irritrol.com](http://www.irritrol.com)

IRRITROL KD2 SERIES

INTERIOR AND EXTERIOR WALL-MOUNT CONTROLLER

REVISION DATE 06/15/2018

VALVES

2500 SERIES: 2055 SLP CONNECTION

743-051

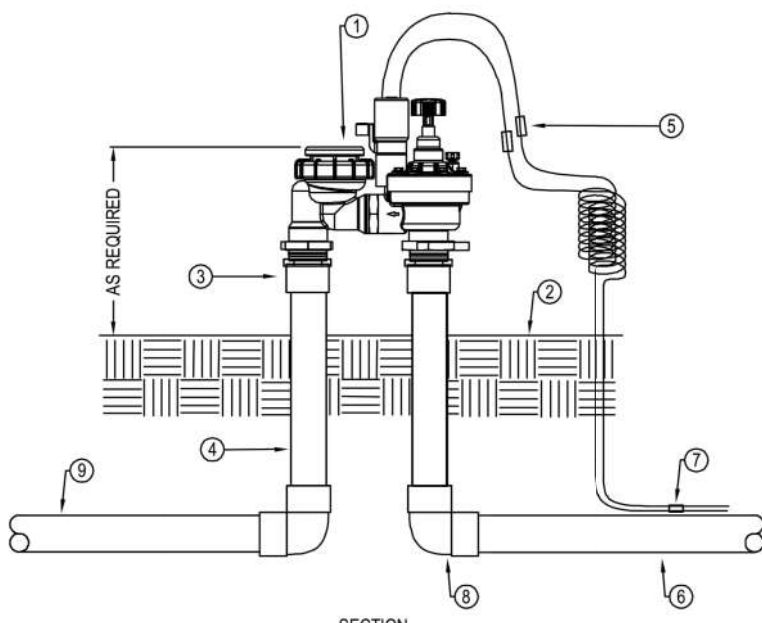
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REVISION DATE 06/17/2015

CADetails.com

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For Professionals Only

IRRITROL SYSTEMS  
5825 JASMINE ST.  
RIVERSIDE, CA 92504  
TOLL FREE: 1-800-634-8873  
PHONE: (951) 785-3454  
www.irritrol.com



- LEGEND:
1. IRRITROL 2711APR 07S ELECTRIC ANTI-SIPHON CONTROL VALVE.
  2. FINISH GRADE.
  3. PVC MALE ADAPTER (TYPICAL).
  4. PVC SCHEDULE 40 PIPE (TYPICAL).
  5. WATERPROOF WIRE CONNECTORS.
  6. PVC PRESSURE MAIN LINE PIPING.
  7. COMMON AND CONTROL WIRES TO CONTROLLER LOCATION.
  8. PVC SCHEDULE 40 ELL.
  9. PVC LATERAL LINE PIPING.

- NOTES:
1. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION AND ADJUSTMENT INFORMATION.
  2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
  3. DO NOT SCALE DRAWINGS.
  4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  6. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADetails.com/info](http://www.CADetails.com/info) AND ENTER REFERENCE NUMBER 743-055.

VALVES

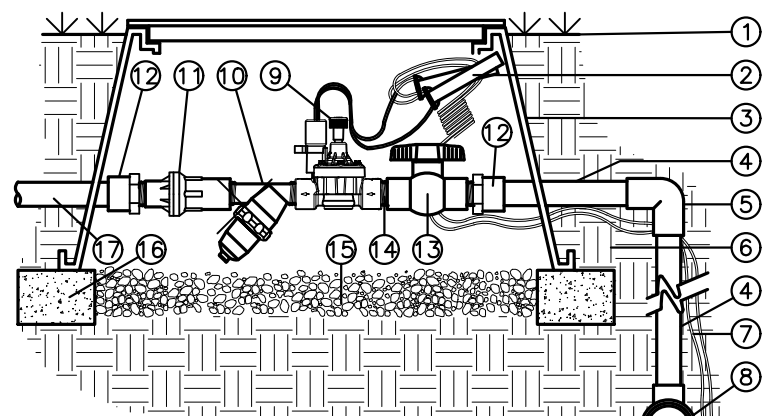
2711APR 07S: ELECTRIC FLOW CONTROL, STAINLESS STEEL SCREW BONNET

743-055

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REVISION DATE 06/17/2015

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SECTION/ELEVATION

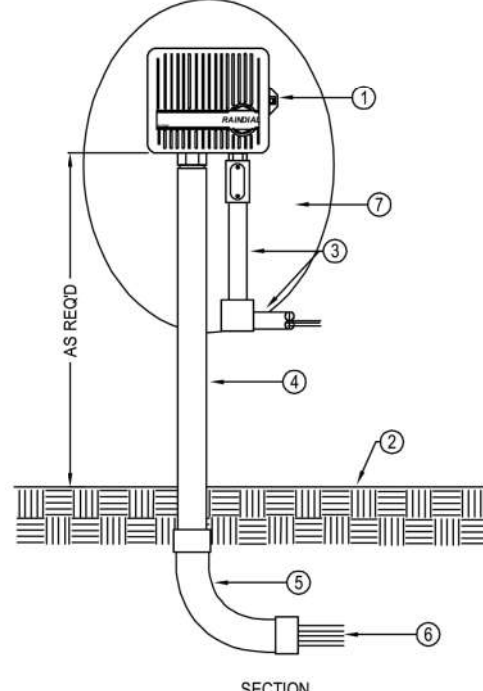
NOT TO SCALE

- LEGEND
1. FINISH GRADE.
  2. CONTROL WIRES WITH 3/8" SERVICE COIL AND WATER PROOF WIRE CONNECTIONS, DBY OR EQUAL.
  3. RECTANGULAR PLASTIC VALVE BOX. HEAT BRAND STATION NUMBER ON LID IN 2" HIGH CHARACTERS.
  4. PVC MAINLINE PER SPECIFICATIONS (LENGTH AS REQUIRED).
  5. SCH 40 PVC ELL (SxS).
  6. NATIVE SOIL PER SPECIFICATIONS.
  7. CONTROL WIRES TO CONTROLLER.
  8. PVC MAINLINE FITTING.
  9. INLINE VALVE (\*).
  10. Y-FILTER (\*).
  11. LOW FLOW PRESSURE REGULATOR (\*).
  12. SCH 40 PVC MALE ADAPTER.
  13. SCH 40 PVC BALL VALVE (\*).
  14. SCH 80 PVC CLOSE NIPPLE (\*).
  15. PEA GRAVEL SUMP, MINIMUM 6" DEEP.
  16. BRICK SUPPORTS (4 COMMON BRICKS REQUIRED).
  17. LATERAL LINE TO DRIP SYSTEM.
- (\*) PARTS IN DRIP ZONE KIT.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
  2. DO NOT SCALE DRAWINGS.

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RIVERSIDE, CA 92504  
TOLL FREE: 1-800-634-8873  
PHONE: (951) 785-3454  
www.irritrol.com



- LEGEND:
1. IRRITROL RD-EXT RAIN DIAL SERIES AUTOMATIC SPRINKLER CONTROLLER (EXTERIOR WALL MOUNT).
  2. FINISH GRADE.
  3. 1/2" IL APPROVED ELECTRICAL CONDUIT, RING NUT AND JUNCTION BOX FOR 12V AC ELECTRICAL POWER.
  4. PVC SCHEDULE 40 CONTROL WIRE CONDUIT (SIZE AS REQUIRED).
  5. PVC SWEEP ELL (DEPTH AS REQUIRED).
  6. CONTROL WIRES TO ELECTRIC VALVES.
  7. EXTERIOR SURFACE FOR MOUNTING OF SPRINKLER CONTROLLER.

- NOTES:
1. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION REQUIREMENTS.
  2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
  3. DO NOT SCALE DRAWINGS.
  4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  6. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADetails.com/info](http://www.CADetails.com/info) AND ENTER REFERENCE NUMBER 743-008.

CONTROLLERS

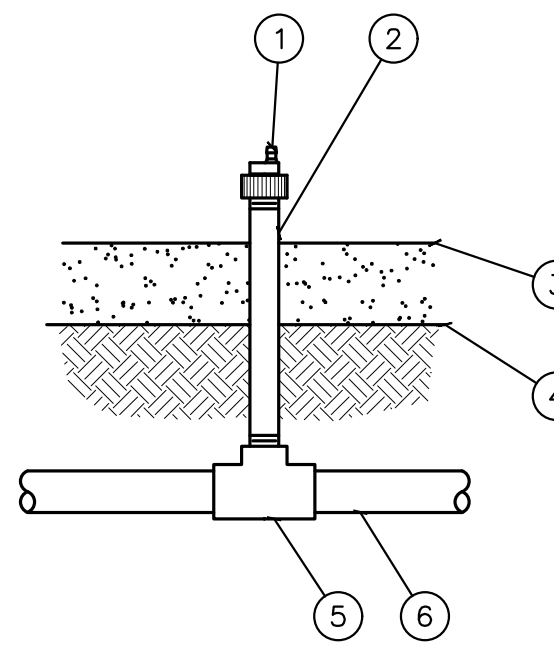
RAIN DIAL SERIES: OUTDOOR

743-008

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REVISION DATE 06/17/2015

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1. DRIP BUBBLER
2. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
3. TOP OF MULCH
4. FINISH GRADE
5. PVC SCH 40 TEE OR ELL
6. PVC LATERAL PIPE

A DRIP BUBBLER

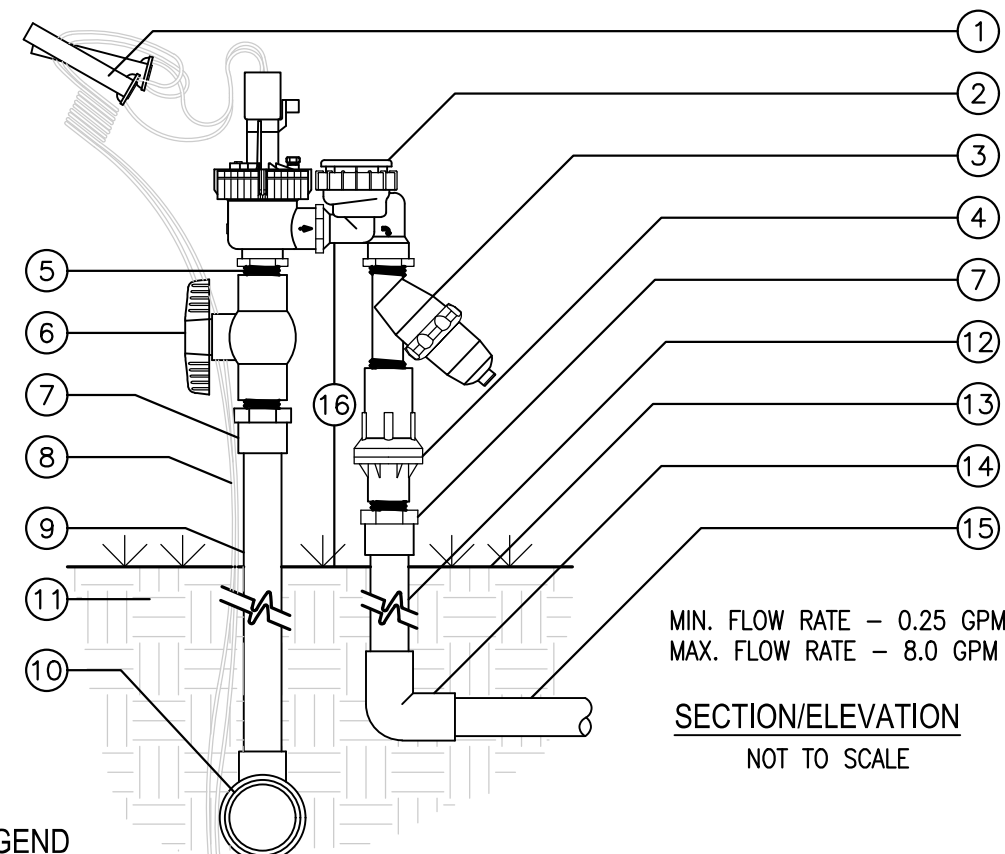
LEGEND

1. PVC LATERAL LINE FROM DRIP ZONE KIT.
2. PVC SUPPLY MANIFOLD.
3. PVC TEE OR ELL
4. POLY TUBING AT SUPPLY AND FLUSH END OF EACH ISLAND.
5. AIR/VACUUM RELIEF VALVE PLUMBED TO TUBING AT HIGH POINT.
6. DRIPLINE LATERAL
7. AUTOMATIC FLUSH VALVE PLUMBED TO TUBING AT LOW POINT.
8. PLANTER PERIMETER.

NOTE:  
THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH.

INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

B DRIP LINE



LEGEND

1. CONTROL WIRES WITH 12" SERVICE COIL AND WATER PROOF WIRE CONNECTIONS, DBY OR EQUAL.
  2. ANTI-SIPHON VALVE (\*).
  3. Y-FILTER (\*).
  4. LOW FLOW PRESSURE REGULATOR (\*).
  5. SCH 80 PVC CLOSE NIPPLE (\*).
  6. SCH 40 PVC BALL VALVE (\*).
  7. SCH 40 PVC MALE ADAPTER.
  8. CONTROL WIRES TO CONTROLLER.
  9. PVC MAINLINE PER SPECIFICATIONS.
  10. PVC MAINLINE FITTING.
  11. NATIVE SOIL PER SPECIFICATIONS.
  12. PVC LATERAL LINE PER SPECIFICATIONS.
  13. FINISH GRADE.
  14. PVC SCH 40 ELL (SxS).
  15. LATERAL LINE TO DRIP SYSTEM.
  16. HEIGHT ABOVE GRADE PER LOCAL CODES (6" MINIMUM).
- (\*) PARTS IN DRIP ZONE KIT.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
  2. DO NOT SCALE DRAWINGS.

C ANTI-SIPHON DRIP VALVE

REVISIONS	BY

(949) 855-6413  
FAX 850-4465

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Suite H12 · Laguna Hills, CA 92653

STAN SMITH ASSOCIATES

DETAILS

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7131 KERMORE LANE  
STANTON, CA 90680

DRAWN SSA
CHECKED SS
DATE 12-19-22
SCALE NTS
JOB NO.
SHEET

L-4

OF SHEETS



## **CITY OF STANTON REPORT TO THE PLANNING COMMISSION**

---

**TO:** Chair and Members of the Planning Commission

**DATE:** April 5, 2023

**SUBJECT: REQUEST THE PLANNING COMMISSION TO RECOMMEND THE CITY COUNCIL ACCEPTS THE ANNUAL HOUSING ELEMENT PROGRESS REPORT FOR 2022**

### **RECOMMENDED ACTION**

Planning Commission of the City of Stanton hereby resolve as follows:

- Declare the project is exempt from the California Environmental Quality Act ("CEQA") pursuant to Guideline Section No. 15306 (Class 6, Information Collection). Categorical Exemptions are projects, which have been determined not to have a significant effect on the environment and which have been exempted from the requirements of CEQA. Class 6 consists of projects which solely encompass information collecting and reporting, such as the annual report; and
- Approve and forward the Housing Element Annual Progress Report for the 2022 calendar year.

### **DISCUSSION**

California Government Code requires each city, county, including charter cities, to prepare and submit an annual housing element progress report to the Department of Housing and Community Development (HCD). The purpose of the report is to monitor the City's housing element implementation and progress in meeting the City's share of regional housing needs. Before submitting to the referenced state agency, the annual housing element progress report must be reviewed and accepted by the Planning Commission and City Council.

During the 2022 calendar year, the Planning Division accepted and processed 33


applications including administrative, discretionary, and legislative applications to the City Council.

The Planning Commission conducted nine meetings and considered ten items. Four out of the ten items considered involved new housing development, approving nine new housing units. In 2022, the Building and Safety Division issued 32 permits for new housing units. These permits consist of new single-family dwellings, and accessory dwelling units.

### **ENVIRONMENTAL IMPACT**

Staff has reviewed the Housing Element Annual Progress Report for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, it was determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15306 (Class 6, Information Collection). Categorical Exemptions are projects, which have been determined not to have a significant effect on the environment and which have been exempted from the requirements of CEQA. Class 6 consists of projects which solely encompass information collecting and reporting, such as the annual report.

Prepared by,

  
\_\_\_\_\_  
Patricia Garcia  
Assistant Planner

Approved by,

  
\_\_\_\_\_  
Crystal Landavano  
Community and Economic Development Director

### **ATTACHMENTS**

A. Housing Element Annual Progress Report

## Please Start Here

General Information	
Jurisdiction Name	Stanton
Reporting Calendar Year	2022
Contact Information	
First Name	Patricia
Last Name	Garcia
Title	Assistant Planner
Email	<a href="mailto:pgarcia@stantonca.gov">pgarcia@stantonca.gov</a>
Phone	7148904210
Mailing Address	
Street Address	7800 Katella Ave
City	Stanton
Zipcode	90680

**Optional:** Click here to import last year's data. This is best used when the workbook is new and empty. You will be prompted to pick an old workbook to import from. Project and program data will be copied exactly how it was entered in last year's form and must be updated. If a project is no longer has any reportable activity, you may delete the project by selecting a cell in the row and typing ctrl + d.

[Click here to download APR Instructions](#)

Click here to add rows to a table. If you add too many rows, you may select a cell in the row you wish to remove and type ctrl + d.

3\_6\_23

**Optional:** This runs a macro which checks to ensure all required fields are filled out. The macro will create two files saved in the same directory this APR file is saved in. One file will be a copy of the APR with highlighted cells which require information. The other file will be list of the problematic cells, along with a description of the nature of the error.

**Optional:** Save before running. This copies data on Table A2, and creates another workbook with the table split across 4 tabs, each of which can fit onto a single page for easier printing. Running this macro will remove the comments on the column headers, which contain the instructions. Do not save the APR file after running in order to preserve comments once it is reopened.

**Optional:** This macro identifies dates entered that occurred outside of the reporting year. RHNA credit is only given for building permits issued during the reporting year.

Link to the online system: <https://apr.hcd.ca.gov/APR/login.do>

## Submittal Instructions

**Please save your file as Jurisdictionname2022 (no spaces).** Example: the city of San Luis Obispo would save their file as SanLuisObispo2022

Housing Element Annual Progress Reports (APRs) forms and tables must be submitted to HCD and the Governor's Office of Planning and Research (OPR) on or before April 1 of each year for the prior calendar year; submit separate reports directly to both HCD and OPR pursuant to Government Code section 65400. There are two options for submitting APRs:

**1. Online Annual Progress Reporting System - Please see the link to the online system to the left.** This allows you to upload the completed APR form into directly into HCD's database limiting the risk of errors. If you would like to use the online system, email [APR@hcd.ca.gov](mailto:APR@hcd.ca.gov) and HCD will send you the login information for your jurisdiction. *Please note: Using the online system only provides the information to HCD. The APR must still be submitted to OPR. Their email address is [opr.apr@opr.ca.gov](mailto:opr.apr@opr.ca.gov).*

**2. Email -** If you prefer to submit via email, you can complete the excel Annual Progress Report forms and submit to HCD at [APR@hcd.ca.gov](mailto:APR@hcd.ca.gov) and to OPR at [opr.apr@opr.ca.gov](mailto:opr.apr@opr.ca.gov). Please send the Excel workbook, not a scanned or PDF copy of the tables.



ulation formulas

## Household Incomes

[illegible]

[illegible]

[illegible]

[illegible]

Jurisdiction	Stanton	
Reporting Year	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

## ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.  
Please contact HCD if your data is different than the material supplied here

Table B														
Regional Housing Needs Allocation Progress														
Permitted Units Issued by Affordability														
		1		2									3	4
Income Level		RHNA Allocation by Income Level	Projection Period - 06/30/2021- 10/14/2021	2021	2022	2023	2024	2025	2026	2027	2028	2029	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	165	-	-	-	-	-	-	-	-	-	-	-	-
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-	-	-	165
Low	Deed Restricted	145	-	-	-	-	-	-	-	-	-	-	-	-
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-	-	-	145
Moderate	Deed Restricted	231	-	-	-	-	-	-	-	-	-	-	16	215
	Non-Deed Restricted		3	13	-	-	-	-	-	-	-	-	-	
Above Moderate		690	-	17	32	-	-	-	-	-	-	-	49	641
Total RHNA		1,231												
Total Units			3	30	32	-	-	-	-	-	-	-	65	1,166
Progress toward extremely low-income housing need, as determined pursuant to Government Code 65583(a)(1).														
		5 Extremely low-income Need		2021	2022	2023	2024	2025	2026	2027	2028	2029	6 Total Units to Date	7 Total Units Remaining
Extremely Low-Income Units*		83		-	-	-	-	-	-	-	-	-	-	83

\*Extremely low-income housing need determined pursuant to Government Code 65583(a)(1). Value in Section 5 is default value, assumed to be half of the very low-income RHNA. May be overwritten.

Note: units serving extremely low-income households are included in the very low-income RHNA progress and must be reported as very low-income units in section 7 of Table A2. They must also be reported in the extremely low-income category (section 13) in Table A2 to be counted as progress toward meeting the extremely low-income housing need determined pursuant to Government Code 65583(a)(1).

Please note: For the last year of the 5th cycle, Table B will only include units that were permitted during the portion of the year that was in the 5th cycle. For the first year of the 6th cycle, Table B will only include units that were permitted since the start of the planning period. Projection Period units are in a separate column.

Please note: The APR form can only display data for one planning period. To view progress for a different planning period, you may login to HCD's online APR system, or contact HCD staff at [apr@hcd.ca.gov](mailto:apr@hcd.ca.gov).



# ANNUAL ELEMENT PROGRESS REPORT

## Housing Element Implementation

Jurisdiction		Stanton	
Reporting Year		2022 (Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H-1.1.1	Review and revise development standards, as appropriate, to facilitate construction of a range of housing types	Ongoing	Thirty-two accessory dwelling units were approved and issued building permits. ADUs require an administrative approval typically processed within 2-3 months. A development with two or more units requires Planning Commission approval (3-6 months). Additionally, staff updated the ADU section of the Municipal Code to ensure compliance with State requirements and further streamline the approval of ADUs.
H-1.1.2	Maximize the development potential of vacant and underutilized land	Ongoing	The City maintains a regular identification of vacant and underutilized sites for potential development of residential units. The City encourages, through the use of incentives, the consolidation of vacant and underutilized lots. Currently the City as multiple ongoing residential projects which include the VRV and Lighthouse. Additionally, the City is in the process of adopting the Town Center Specific Plan. The specific plan will further implement mixed-use designations and provide affordable housing incentives to maximize development.
H-1.1.3	Actively promote the development of affordable housing through provision of financial and technical assistance	Ongoing	The City is actively promoting development. The City Council entered into a Development Agreement with Bonanni Development allowing the construction of a new 79-unit townhome development including 7 low-income affordable units and associated improvements for the property located at 12200 Beach Boulevard. The development adds to the City’s housing stock and creates for sale housing market rate and affordable options.

H-2.1.1	Pursue funding for maintenance and rehabilitation of existing housing stock	Ongoing	On August 27, 2019, City Council approved professional services agreement with Housing Programs for administration of the City's residential rehabilitation program. The program went through 2020. The City continues to actively identifying and pursuing such additional funding through Development Agreements and other mechanisms.
H-2.1.2	Engage in code enforcement activities	Ongoing	The City has continued a proactive code enforcement program to ensure building safety and integrity of residential neighborhoods. This year our code enforcement team closed 261 active code enforcement cases.
H-2.1.3	Identify partnerships to assist in acquisition and rehabilitation of existing housing units	Ongoing	The City, through our family resource center, provides information and referral services when it comes to housing assistance. Additionally, the City of Stanton has maintained its partnership with outside organizations (eg. County of Orange and Jamboree Housing) to establish permanent supportive housing under Project Homekey.
H-3.1.1	Ensure long term affordability of housing units.	Ongoing	The City has continued its monitoring of at risk affordable housing units. The earliest conversion of any affordable housing units in the city is November 2022.
H-4.1.1	Promote homeownership opportunities	Ongoing	The City advertises the programs and current development projects to the public at the City's public counter, website, and social media as funding becomes available.
H-4.1.2	Address the needs of the homeless population	Ongoing	The County of Orange and Jamboree Housing submitted an application for and received a Homekey funding to acquire and develop the existing Riviera Motel for permanent supportive housing, located 11892 Beach Blvd. The City Council approved the Grant and Regulatory Agreement for the Riviera Motel. The agreement authorized a matching Homekey grant from the Housing Authority. The necessary site improvements are currently in the building plan check phase.
H-4.1.3	Provide opportunities for the development of housing for large families	Ongoing	The City continually encourages and support the development of rental and for-sale housing. The City consistently processes large infill residential projects such as the VRV and Lighthouse.
H-4.1.4	Provide opportunities for the development of housing for persons with disabilities	Ongoing	In April 2022, the City issued a certificate of occupancy to a mixed-use development that included the construction of a 66-room assisted living facility. Through the family resource center, the City provides outreach, information, and referral services and partners with the County of Orange, Habitat for Humanity and illumination foundation. Project Homekey will be providing housing for families experiencing homelessness due to Covid-19.
H-4.1.5	Continue support for Section 8 Program	Ongoing	The City will continue to provide referral services as requested to residents regarding the Section 8 Rental Housing Assistance Program.

H-4.1.6	Promote fair housing standards	Ongoing	The City continually refers all inquiries regarding housing discrimination to the Fair Housing Council of Orange County. Services offered include but are not limited to bilingual fair housing enforcement and education, landlord/tenant counseling, and mediation.
H-4.1.7	Provide opportunities for the development of housing for extremely low-income households	Ongoing	The City acquired 25 of the 31 properties of the Tina/ Pacific neighborhood to potentially develop as affordable housing. The City entered into an exclusive negotiation agreement with affordable housing developers and operators (C&C Development, Brandywine Homes and National Core) on the Tina Pacific Neighborhood. Additionally, the City of Stanton, County of Orange, and Jamboree Housing partnered together to identify three properties – Riviera Motel, Tahiti Motel and Stanton Inn & Suites - to operate as temporary housing (Project Roomkey) with an ultimate transition to permanent supportive housing under Project Homekey. The project will result in permanent supportive housing units with on-site management and support services.
H-5.1.1	Consolidate and disseminate information	Ongoing	The City has continued to regularly develop forms of comprehensive information resources regarding housing projects, programs, policies, available funding, technical assistance and other related items through appropriate delivery means (i.e. information packets, City webpage, social media platforms, reader board sign, workshop meetings, etc.). The City continues to research available funding through different County, State and Federal sources and directs residents to those sources when requested.
H-6.1.1	Encourage use of energy efficient design and appliances	Ongoing	The city ensures that green building concepts are consistent with State building standards and local subdivision and zoning standards. The City also expedites review for plans that are for the installation of energy conservation devices in accordance with State requirements.

[illegible]

[illegible]



Jurisdiction	Stanton	
Reporting Period	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Note: "+" indicates an optional field

Cells in grey contain auto-calculation formulas

Table F									
Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)									
Please note this table is optional: The jurisdiction can use this table to report units that have been substantially rehabilitated, converted from non-affordable to affordable by acquisition, and preserved, including mobilehome park preservation, consistent with the standards set forth in Government Code section 65583.1, subdivision (c). Please note, motel, hotel, hostel rooms or other structures that are converted from non-residential to residential units pursuant to Government Code section 65583.1(c)(1)(D) are considered net-new housing units and must be reported in Table A2 and not reported in Table F.									
Activity Type	Units that Do Not Count Towards RHNA* Listed for Informational Purposes Only				Units that Count Towards RHNA * Note - Because the statutory requirements severely limit what can be counted, please contact HCD at apr@hcd.ca.gov and we will unlock the form which enable you to populate these fields.				The description should adequately document how each unit complies with subsection (c) of Government Code Section 65583.1*. For detailed reporting requirements, see the chcklist here: <a href="https://www.hcd.ca.gov/community-development/docs/adequate-sites-checklist.pdf">https://www.hcd.ca.gov/community-development/docs/adequate-sites-checklist.pdf</a>
	Extremely Low-Income*	Very Low-Income*	Low-Income*	TOTAL UNITS*	Extremely Low-Income*	Very Low-Income*	Low-Income*	TOTAL UNITS*	
Rehabilitation Activity									
Preservation of Units At-Risk									
Acquisition of Units									
Mobilehome Park Preservation									
Total Units by Income									



# ANNUAL ELEMENT PROGRESS REPORT

## Housing Element Implementation

Note: "+" indicates an optional field

Cells in grey contain :

Table F2

**Above Moderate Income Units Converted to Moderate Income Pursua**

ing agency may include the number of units in an existing multifamily building that were converted to d  
this table, please ensure housing developments meet the requirements descr

[illegible]

## auto-calculation formulas

**nt to Government Code section 65400.2**

eed-restricted rental housing for moderate-income households by the imposition of affordability covenants a  
ibed in Government Code 65400.2(b).

[illegible]





<b>Jurisdiction</b>	Stanton
<b>Reporting Period</b>	2022 (Jan. 1 - Dec. 31)

NOTE: This table includes ALL surplus/empty units.

## ANNUAL ELEMENT PROGRESS Housing Element Implementation

For Orange County jurisdictions, please format the APN as follows:

Table H			
Locally Owned Surplus Sites			
Parcel Identifier			
1	2	3	4
APN	Street Address/Intersection	Existing Use	Number of Units
Summary Row: Start Data Entry Below			
126-481-15	8970 Tina Way	Vacant	
126-481-14	8960 Tina Way	Vacant	
126-481-13	8950 Tina Way	Vacant	
126-481-12	8940 Tina Way	Vacant	
126-481-11	8930 Tina Way	Vacant	
126-481-10	8920 Tina Way	Residential	1
126-481-09	8910 Tina Way	Residential	1
126-481-08	8900 Tina Way	Residential	1
126-481-07	8890 Tina Way	Residential	1
126-481-05	8870 Tina Way	Residential	1
126-481-17	8961 Pacific Ave	Residential	1
126-481-16	8951 Pacific Ave	Residential	1
126-481- 19	8941 Pacific Ave	Residential	1
126-481-20	8931 Pacific Ave	Residential	1
126-481-22	8911 Pacific Ave	Residential	1
126-481-23	8901 Pacific Ave	Residential	1
126-481-24	8891 Pacific Ave	Residential	1
126-481-25	8881 Pacific Ave	Residential	1
126-481-26	8871 Pacific Ave	Residential	1
126-481-27	8861 Pacific Ave	Residential	1
126-481-28	8851 Pacific Ave	Residential	1
126-481-29	8841 Pacific Ave	Residential	1
126-482-15	8970 Pacific Ave	Residential	1
126-482-13	8950 Pacific Ave	Residential	1
126-482-12	8940 Pacific Ave	Residential	1
126-482-11	8930 Pacific Ave	Residential	1
126-482-10	8920 Pacific Ave	Residential	1

[illegible]

[illegible]

[illegible]

[illegible]

## S REPORT

### ntation

PN's as follows:999-999-99

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]



Jurisdiction	Stanton	
Reporting Period	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

NOTE: STUDENT HOUSING WITH DENSITY BONUS ONLY. This table only needs to be completed if there were student housing projects WITH a density bonus approved pursuant to Government Code 65915(b)(1)(F)

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Not
Cells in g

Table J												
Student housing development for lower income students for which was granted a density bonus pursuant to subparagraph (F) of paragraph (1) of subdivision (b) of Section 65915												
Project Identifier				Project Type	Date	Units (Beds/Student Capacity) Approved						
1				2	3	4						
APN	Street Address	Project Name+	Local Jurisdiction Tracking ID+	Unit Category (SH - Student Housing)	Date	Very Low- Income Deed Restricted	Very Low- Income Non Deed Restricted	Low- Income Deed Restricted	Low- Income Non Deed Restricted	Moderate- Income Deed Restricted	Moderate- Income Non Deed Restricted	Above Moderate- Income
Summary Row: Start Data Entry Below												

Jurisdiction	Stanton	
Reporting Year	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	0
Above Moderate		32
Total Units		32

Note: Units serving extremely low-income households are included in the very low-income permitted units totals

Units by Structure Type	Entitled	Permitted	Completed
SFA	0	0	0
SFD	1	0	15
2 to 4	0	0	0
5+	0	0	0
ADU	0	32	20
MH	0	0	0
Total	1	32	35

Housing Applications Summary	
Total Housing Applications Submitted:	2
Number of Proposed Units in All Applications Received:	26
Total Housing Units Approved:	0
Total Housing Units Disapproved:	0

Use of SB 35 Streamlining Provisions	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

Units Constructed - SB 35 Streamlining Permits			
Income	Rental	Ownership	Total
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Cells in grey contain auto-calculation formulas

<b>Jurisdiction</b>	Stanton
<b>Reporting Year</b>	2022 (Jan. 1 - Dec. 31)

Please update the status of the proposed uses listed in the entity's application for funding and the c 50515.02 or 50515.03, as applicable.

<b>Total Award Amount</b>	\$0.00
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Task	\$ Amount Awarded	\$ Cumulative Reimbursement Requested

Summary of entitlements, building permits, and certificates of occupancy (auto-populated from Ta

Completed Entitlement Issued by Affordability Summary	
Income Level	
Very Low	Deed Restricted
	Non-Deed Restricted
Low	Deed Restricted
	Non-Deed Restricted
Moderate	Deed Restricted
	Non-Deed Restricted
Above Moderate	
Total Units	

Building Permits Issued by Affordability Summary	
Income Level	
Very Low	Deed Restricted
	Non-Deed Restricted
Low	Deed Restricted
	Non-Deed Restricted

Moderate	Deed Restricted
	Non-Deed Restricted
Above Moderate	
Total Units	

Certificate of Occupancy Issued by Affordability Summary	
Income Level	
Very Low	Deed Restricted
	Non-Deed Restricted
Low	Deed Restricted
	Non-Deed Restricted
Moderate	Deed Restricted
	Non-Deed Restricted
Above Moderate	
Total Units	

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*Total award amount is auto-populated based on amounts entered in rows 15-26.*

[illegible]

<b>Current Year</b>
0
0
0
0
0
0
1
<b>1</b>

Current Year
0
0
0
0

0
0
32
<b>32</b>

<b>Current Year</b>
0
0
0
0
6
0
42
<b>48</b>

*eligible uses specified in Section*

[illegible]

**DRAFT**  
**MINUTES OF THE PLANNING COMMISSION OF THE CITY OF STANTON**  
**REGULAR MEETING**  
**WEDNESDAY, JANUARY 18, 2023, 6:30 P.M.**

**1. CALL TO ORDER STANTON PLANNING COMMISSION REGULAR MEETING**

The members of the Planning Commission of the City of Stanton met in regular session in the City Council Chambers at 6:30 p.m., Chairperson Ash presiding.

**2. PLEDGE OF ALLEGIANCE**

Led by Commissioner Frazier.

**3. ROLL CALL**

Present: Chairperson Ash, Vice Chair Adams, Commissioner Frazier, Commissioner Marques, Commissioner Sanchez.

Absent: None.

Excused: None.

**4. SPECIAL PRESENTATION**

The new City Manager, Hannah Shin-Heydorn, introduced herself and explained she is aware of the Commission's goals and priorities.

Chairperson Ash welcomed Ms. Shin-Heydorn.

**5. APPROVAL OF MINUTES**

None.

**6. PUBLIC COMMENTS**

None.

**7. PUBLIC HEARINGS**

**7A. PUBLIC HEARING TO CONSIDER A RESOLUTION OF THE PLANNING COMMISSION RECOMMENDING THE CITY COUNCIL APPROVE ZONING TEXT AMENDMENT NO. ZTA 23-01 AMENDING STANTON MUNICIPAL CODE TITLE 20, ZONING, SECTION 20.400.330 ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) AND DETERMINING THE ORDINANCE TO BE EXEMPT FROM CEQA**

**DRAFT**

Associate Planner Patricia Garcia introduced the resolution. She explained the purpose behind the resolution, which is to comply with the Governor's legislation.

She outlined the notable changes including height requirements, allowing accessory dwelling units in the front yard, providing leniency regarding non-conforming conditions, and adding additional language to ensure all accessory dwelling units comply with the California Building Code.

Ms. Garcia stated that the recommended action is that the Commission find that the project is exempt from the California Environmental Quality Act (CEQA) under the California Public Resources Code Section 21080.17, which exempts the adoption of an accessory dwelling unit ordinance to implement the provisions of Section 65852.1 and 65852.2 of the Government Code, and adopt Resolution No. 2557 approving the Zoning Text Amendment No. 23-01 to modify Section 20.400.330 of the Stanton Municipal Code (SMC) regarding accessory dwelling units and junior accessory dwellings.

Chairperson Ash asked whether other cities are working together to comply with the Governor's directives regarding accessory dwelling units.

Commissioner Frazier asked whether Commission has to have very specific reasons to deny an accessory dwelling unit.

Vice Chair Adams noted the Commissioner's hands are tied and expressed concern there is gray area regarding the topic.

A motion was made to adopt Resolution No. 2557 approving the Zoning Text Amendment No. 23-01 to modify Section 20.400.330 of the Stanton Municipal Code (SMC) regarding accessory dwelling units and junior accessory dwellings.

Motion/Second: Frazier/ Marques

Motion passed unanimously with the following vote:

AYES:	Ash, Adams, Marques, Frazier, Sanchez
NOES:	None
ABSTAIN:	None
ABSENT:	None

**8. NEW BUSINESS**

None.

**9. OLD BUSINESS**

None.

**10. PLANNING COMMISSION COMMENTS**

**DRAFT**

Vice Chair Adams asked whether accessory dwelling unit applications have increased.

**11. DIRECTOR'S REPORT**

Acting Community & Economic Development Director Maribeth Tinio noted there would be at least one Planning Commission meeting in February. She announced there would be a meeting on February 15, 2023.

**12. ADJOURNMENT**

Commission adjourned at 6:46 p.m.

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Crystal Landavazo  
COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR

**DRAFT**  
**MINUTES OF THE PLANNING COMMISSION OF THE CITY OF STANTON**  
**REGULAR MEETING**  
**WEDNESDAY, FEBRUARY 15, 2023, 6:30 P.M.**

**1. CALL TO ORDER STANTON PLANNING COMMISSION REGULAR MEETING**

The members of the Planning Commission of the City of Stanton met in regular session in the City Council Chambers at 6:30 p.m., Chairperson Ash presiding.

**2. PLEDGE OF ALLEGIANCE**

Led by Commissioner Frazier.

**3. ROLL CALL**

Present: Chairperson Ash, Vice Chair Adams, Commissioner Frazier

Absent: Commissioner Marques, Commissioner Sanchez

Excused: None.

**4. SPECIAL PRESENTATION**

None.

**5. APPROVAL OF MINUTES**

A motion was made to adopt the minutes of October 19, 2022, as amended.

Motion/Second: Frazier/ Adams

Motion passed unanimously with the following vote:

AYES: Ash, Adams, Frazier

NOES: None

ABSTAIN: None

ABSENT: Marques, Sanchez

**6. PUBLIC COMMENTS**

None.

**7. PUBLIC HEARINGS**

**7A. PUBLIC HEARING TO CONSIDER A RESOLUTION OF THE PLANNING COMMISSION RECOMMENDING THE CITY COUNCIL APPROVE ZONING TEXT AMENDMENT NO. ZTA 23-02 AN OMNIBUS CODE UPDATE AMENDING SECTIONS 20.210.020, 20.215.020, 20.230.040, 20.450.030, AND 20.700.090 OF THE STANTON MUNICIPAL**

**DRAFT**

**CODE AND FIND THAT THE PROJECT BE EXEMPT IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) SECTIONS 15016(b)(3) and 15378**

Senior Planner Paige Montojo introduced the resolution. She explained an omnibus ordinance allows for the packaging of an amendments which are relatively small in scale and very limited in scope.

Ms. Montojo outlined the four notable changes to the existing Municipal Code language which will provide clarification, ensure alignment with City policies, and consistency between the City's Housing Element and State Housing practices. The first proposed amendment is to the wireless communication facility section to remove remnant language ("provisional"). The second proposed amendment adds a reference to the personal services section to ensure those permitted uses follow the new regulations adopted by the City Council on January 10, 2023.

Ms. Montojo further reported the third and fourth proposed amendments would bring the Zoning Code into compliance with the Housing Element. One would conform transitional and supportive housing language in the Code to affirm such housing to be considered a residential use subject to the same restrictions as the other residential uses in the same zones. The other amendment makes clarifications in definitions related to housing, including the definition for group homes, however it should be noted the changes will not amend the permitted housing types per zone. Additionally, the residential permitted use table will also be updated to maintain consistency with the new definitions and ensure there are no changes to permitted housing types.

Ms. Montojo stated that the recommended action is that the Commission find that the project is exempt from the California Environmental Quality Act (CEQA) under the California Public Resources Code Sections 15016(b)(3) and 15378 and adopt Resolution No. 2558 approving Zoning Code Amendment No. 23-02 to amend Section 20.210.020, 20.215.020, 20.230.040, 20.450.030, and 20.700.090 of the Stanton Municipal Code.

Chair Ash opened the public hearing and public comments. Hearing none, Chair Ash closed public comments and the public hearing.

A motion was made to adopt Resolution No. 2558 approving Zoning Code Amendment No. 23-02 to amend Section 20.210.020, 20.215.020, 20.230.040, 20.450.030, and 20.700.090 of the Stanton Municipal Code and determining that the ordinance is exempt from CEQA.

Motion/Second: Frazier/ Adams

Motion passed unanimously with the following vote:

AYES:	Ash, Adams, Frazier
NOES:	None
ABSTAIN:	None
ABSENT:	Marques, Sanchez

**DRAFT**

**8. NEW BUSINESS**

None.

**9. OLD BUSINESS**

None.

**10. PLANNING COMMISSION COMMENTS**

Chair Ash commented she provided a card for Maribeth Tinio.

**11. DIRECTOR'S REPORT**

The Interim Director Hannah Shin-Heydorn commented she appreciated the Planning staff which have provided excellent work and stability during the transitional period until the new Director is appointed. She reported the new Director is scheduled to begin on February 27, 2023.

**12. ADJOURNMENT**

Commission adjourned at 6:40 p.m.

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Crystal Landavazo  
COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR