

LOCAL UTILITY PROVIDERS

1.

SOUTHINGTON WATER DEPT.
WEST QUEEN STREET, P.O. BOX 111
SOUTHINGTON, CT. 06489-0111
(860) 628-5593
(860) 621-0491
2.

SOUTHINGTON/PLAINVILLE HEALTH DEPT.
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
(860) 276-6275
(860) 276-6277
3.

EVERSOURCE ELECTRIC
(203) 352-5412
4.

EVERSOURCE GAS
(203) 596-3071
5.

SOUTHERN NEW ENGLAND TELEPHONE
(860) 725-1010
(860) 549-1100
6.

SOUTHINGTON FIRE DEPARTMENT
310 NORTH MAIN STREET
SOUTHINGTON, CT 06489
(860) 621-3202
(860) 628-4049
7.

SOUTHINGTON HIGHWAY DEPT.
DELLABITTA DRIVE
SOUTHINGTON, CT. 06489
(860) 276-9430
(860) 276-9101
8.

TOWN ENGINEER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6231
FAX: (860) 628-8669
9.

TOWN PLANNER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6248
FAX: (860) 628-8669
10.

TOWN BUILDING DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6242
FAX: (860) 628-8669
11.

TOWN SEWER DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6233
FAX: (860) 628-8669
12.

POLICE DEPARTMENT
69 LAZY LANE
SOUTHINGTON, CT 06489
PHONE: (860) 621-0103

STATE INFORMATION

1.

CONNECTICUT HIGHWAY DEPT.
OFFICE OF SPECIAL SERVICES & PERMITS
1107 CROMWELL AVENUE
ROCKY HILL, CT 06067
(860) 258-4541
2.

STATE D.E.P.
79 ELM STREET
HARTFORD, CT 06106
(860) 424-3245

MISCELLANEOUS

1.

CALL BEFORE YOU DIG
(800) 922-4455

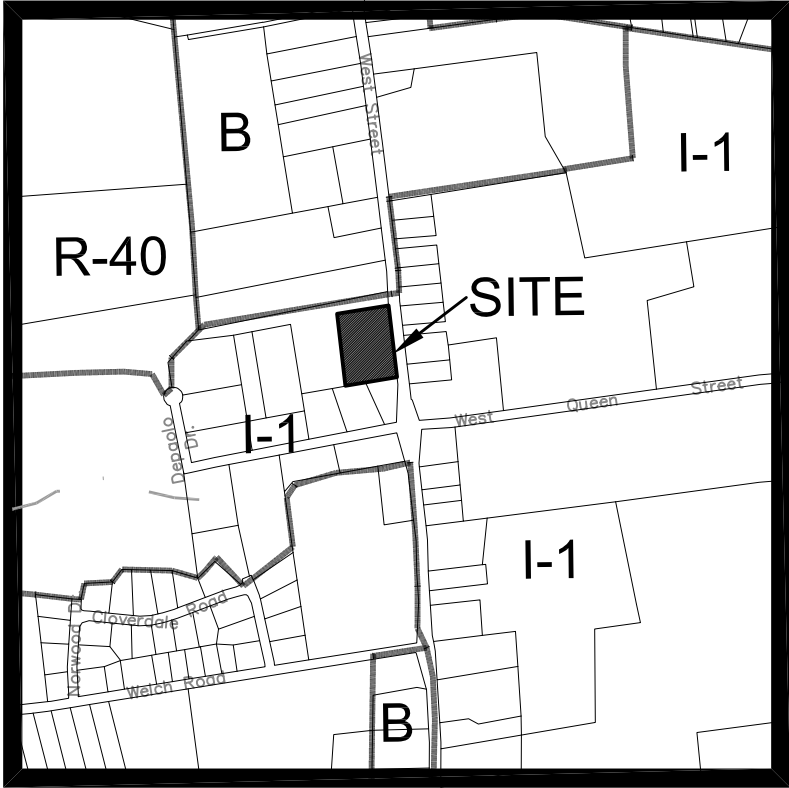
SITE PLANS PREPARED FOR
STARLING PHYSICIANS



FRONT ELEVATION

LIST OF DRAWINGS

C-1	COVER SHEET	N.T.S.
E-1	EXISTING CONDITIONS MAP	30 SCALE
L-1	LAYOUT & LANDSCAPING PLAN	20 SCALE
G-1	GRADING & EROSION CONTROL PLAN	20 SCALE
D-1	STANDARD SITE DETAILS	N.T.S.
D-2	EROSION & SEDIMENTATION CONTROL DETAILS	N.T.S.
CHAMBERMAXX STORMWATER RETENTION SYSTEM STANDARD INSTALLATION DETAIL		
CHAMBERMAXX STORMWATER RETENTION SYSTEM STANDARD INSTALLATION DETAIL		



KEYMAP: SCALE: 1"=1000'

Disclaimer:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION:		
PROJECT:		
DB: MPT	SR: ---	DR: ---

kratzert, jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

COVER
SHEET

for
STARLING
PHYSICIANS

#1908 WEST STREET
SOUTHINGTON, CT

SCALE: N.T.S.
DATE: AUGUST 2, 2022

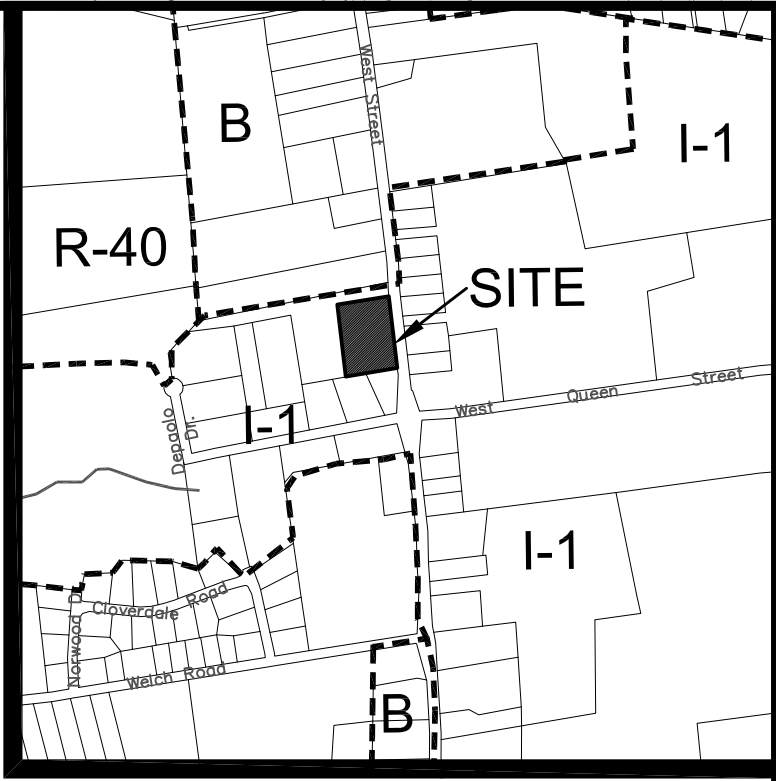
HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO. :
213-707
DRAWING NO. :
C-1

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.
1755 MERIDEN-WATERBURY RD.
P.O. BOX 337
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FAX (860) 621-9609
EMAIL: info@kratzertjones.com
www.kratzertjones.com

kratzert, jones & associates, inc.
CIVIL ENGINEERS • LAND SURVEYORS • SITE PLANNERS
BUILDING ENGINEERS



KEYMAP: SCALE: 1"=1000'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT:	DB: MPT	SR: AQ
DR: AT		

SEAL:
SURVEY NOTES:
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION MAP.

BOUNDARY DETERMINATION IS BASED UPON: A DEPENDENT RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2, T-2

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert, jones & associates, inc. KJA

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EXISTING
CONDITIONS
MAP

for

STARLING
PHYSICIANS

#1908 WEST STREET
SOUTHINGTON, CT

SCALE: 1"=30'

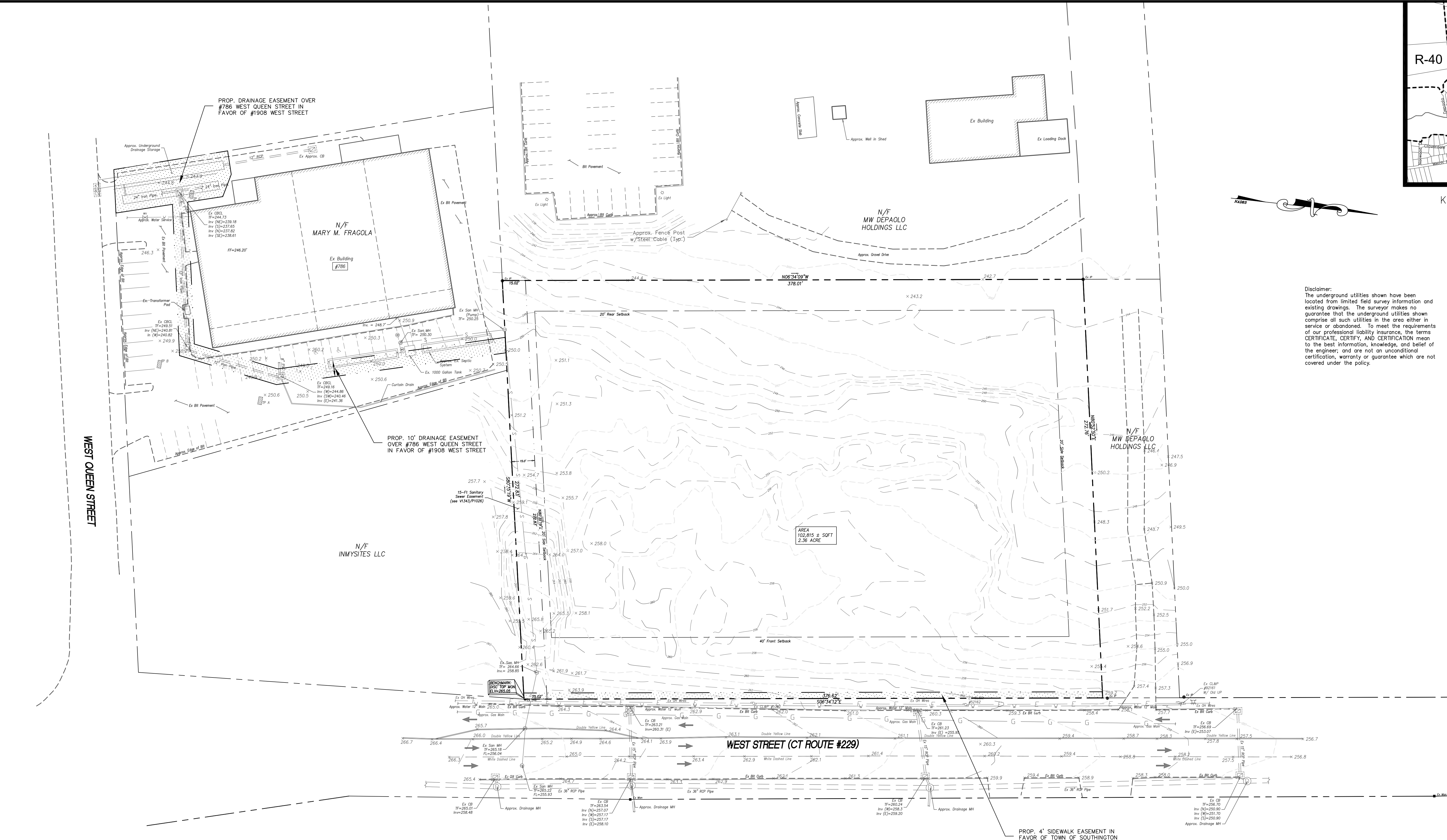
DATE: AUGUST 2, 2022

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO. : DRAWING NO. :

213-707 E-1

MAP 131707-1908 WEST STREET SOUTHINGTON, CT
DATE: SEP 20, 2022 2:00pm



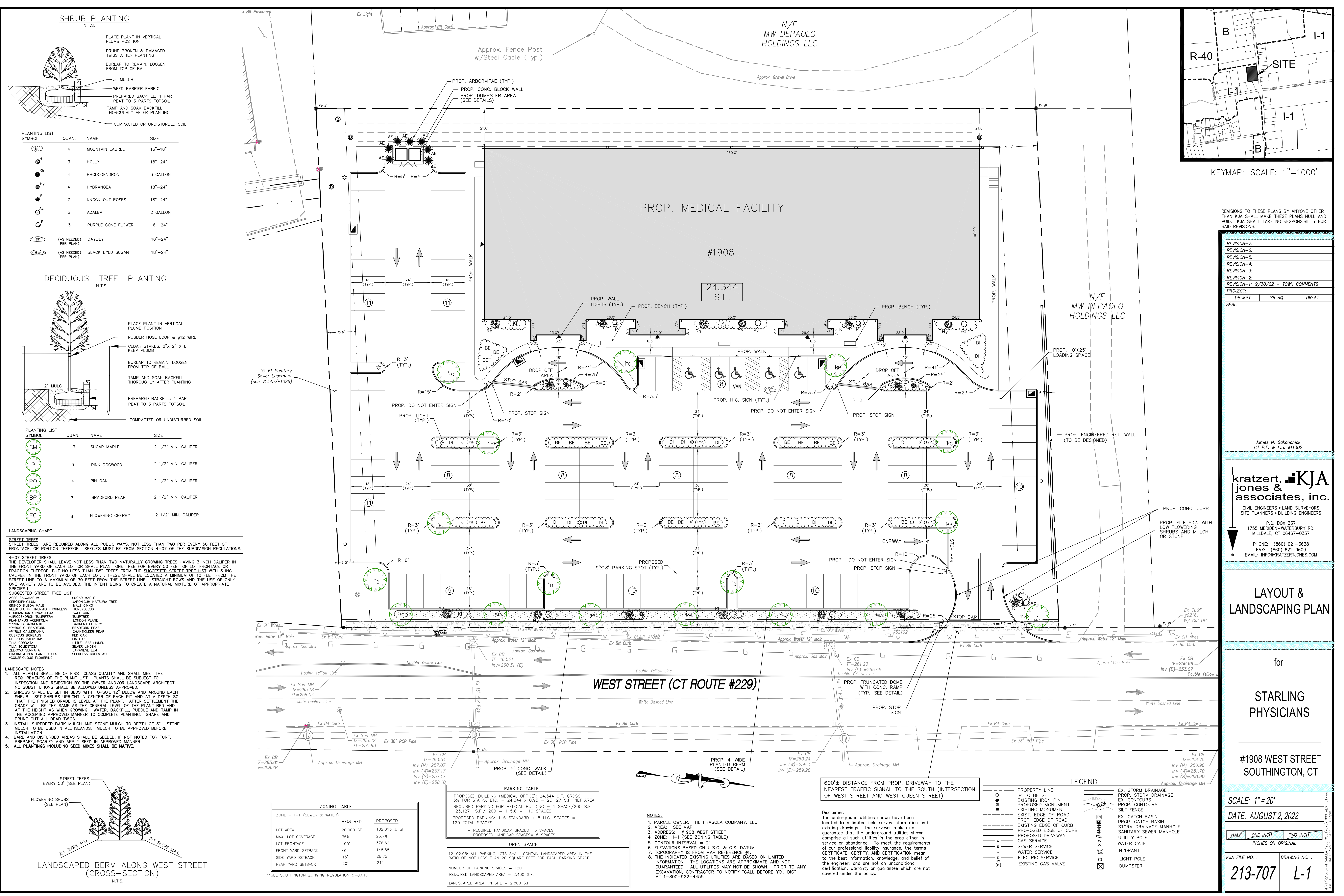
ZONING TABLE	
ZONE - I-1 (SEWER & WATER)	REQUIRED
LOT AREA	20,000 SF
LOT FRONTAGE	100'
FRONT YARD SETBACK	40'
SIDE YARD SETBACK	15'
REAR YARD SETBACK	20'

**SEE SOUTHINGTON ZONING REGULATION 5-00.13

Map References:
1. GRADING AND EROSION PLAN, THE FRAGOLA CORPORATION; 1906 WEST STREET SOUTHINGTON, CT; SCALE: 1"=20'; DATE: JUNE 18, 1996; BY KRATZERT, JONES & ASSOC. INC.; KJA MAP #23-44.
2. MAP SHOWING PROPERTY TO BE DEEDED TO THE FRAGOLA CORPORATION BY LEONIDE G. & IRENE CHARETTE; WEST STREET, SOUTHINGTON, CT; SCALE: 1"=40'; DATE: MARCH 27, 1996; BY KRATZERT, JONES & ASSOCIATES, INC.
3. WEST STREET AS-BUILT STA. 20+75 TO STA. 29+75; SHEET NO. C-7; WEST STREET, SOUTHINGTON, CT; HORIZ. SCALE 1"=40'; 8/17/04; BY TOWN OF SOUTHINGTON
4. WEST STREET AS-BUILT STA. 29+75 TO STA. 35+0; SHEET NO. C-8; WEST STREET, SOUTHINGTON, CT; HORIZ. SCALE 1"=40'; 8/17/04; BY TOWN OF SOUTHINGTON
5. TOWN OF SOUTHINGTON GIS

NOTES:
1. PARCEL OWNER: THE FRAGOLA CORPORATION; 1906 WEST STREET SOUTHINGTON, CT; SCALE: 1"=20'; DATE: JUNE 18, 1996; BY KRATZERT, JONES & ASSOC. INC.; KJA MAP #23-44.
2. AREA: 102,815 ± SQ. FT. = 2.36 ACRE
3. ADDRESS: #1908 WEST STREET
4. ZONE: I-1 (SEWER & WATER)
5. CONTOUR INTERVAL = 1'
6. ELEVATIONS BASED ON TOWN OF SOUTHINGTON GIS AND FIELD DATA NAVD 88
7. TOPOGRAPHY IS FROM MAP REFERENCE #1 AND FIELD DATA
8. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
9. PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.

LEGEND	
---	PROPERTY LINE
○	IRON PIN TO BE SET
●	EXISTING IRON PIN
□	MONUMENT TO BE SET
■	EXISTING MONUMENT
⊗	EXISTING SANITARY MANHOLE
⊕	EXISTING STORM MANHOLE
⊙	EXISTING CATCH BASIN
⊛	EXISTING LIGHT
⊞	EXISTING HYDRANT
⊟	EXISTING GAS VALVE
⊠	EXISTING WATER VALVE
⊡	EXISTING UTILITY POLE
---	EX. EDGE OF ROAD (CURBED)
---	EX. EDGE OF DRIVEWAY
---	EX. SANITARY SEWER LINE
---	EX. WATER LINE
---	EX. GUIDE RAIL
---	EX. CONTOUR



SHRUB PLANTING

N.T.S.

PLACE PLANT IN VERTICAL PLUMB POSITION
PRUNE BROKEN & DAMAGED TWIGGS AFTER PLANTING
BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL

3" MULCH
WEED BARRIER FABRIC
PREPARED BACKFILL: 1 PART PEAT TO 3 PARTS TOPSOIL
TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING
COMPACTED OR UNDISTURBED SOIL

PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
ML	4	MOUNTAIN LAUREL	15"-18"
H	3	HOLLY	18"-24"
RH	4	RHODODENDRON	3 GALLON
HY	4	HYDRANGEA	18"-24"
R	7	KNOCK OUT ROSES	18"-24"
AZ	5	AZALEA	2 GALLON
P	3	PURPLE CONE FLOWER	18"-24"
(AS NEEDED PER PLAN)		DAYLILY	18"-24"
(AS NEEDED PER PLAN)		BLACK EYED SUSAN	18"-24"

DECIDUOUS TREE PLANTING

N.T.S.

PLACE PLANT IN VERTICAL PLUMB POSITION
RUBBER HOSE LOOP & #12 WIRE
CEDAR STAKES, 2"x 2" x 8' KEEP PLUMB
BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL
TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING
PREPARED BACKFILL: 1 PART PEAT TO 3 PARTS TOPSOIL
COMPACTED OR UNDISTURBED SOIL

PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
SM	3	SUGAR MAPLE	2 1/2" MIN. CALIPER
B	3	PINK DOGWOOD	2 1/2" MIN. CALIPER
PO	4	PIN OAK	2 1/2" MIN. CALIPER
BP	3	BRADFORD PEAR	2 1/2" MIN. CALIPER
FC	4	FLOWERING CHERRY	2 1/2" MIN. CALIPER

LANDSCAPING CHART

STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.

4-07 STREET TREES
THE DEVELOPER SHALL LEAVE NOT LESS THAN TWO NATURALLY GROWING TREES HAVING 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT OR SHALL PLANT ONE TREE FOR EVERY 50 FEET OF LOT FRONTAGE OR FRACTION THEREOF, BUT NO LESS THAN TWO TREES FROM THE SUGGESTED STREET TREE LIST WITH 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT. THESE SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE STREET LINE TO A MAXIMUM OF 30 FEET FROM THE STREET LINE. STRAIGHT ROWS AND THE USE OF ONLY ONE VARIETY ARE TO BE AVOIDED, THE INTENT BEING TO CREATE A NATURAL MIXTURE OF APPROPRIATE SPECIES.

SUGGESTED STREET TREE LIST

ALTERNATIVE	SUGAR MAPLE	JAPANESE KATSURA TREE
1	ALTERNATIVE	ALTERNATIVE
2	ALTERNATIVE	ALTERNATIVE
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100	ALTERNATIVE	ALTERNATIVE

LANDSCAPED BERM ALONG WEST STREET (CROSS-SECTION)

N.T.S.

2-1 SLOPE MAX.

2-1 SLOPE MAX.

STREET TREES EVERY 50' (SEE PLAN)

FLOWERING SHRUBS (SEE PLAN)

LANDSCAPING CHART

STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.

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99	ALTERNATIVE	ALTERNATIVE
100	ALTERNATIVE	ALTERNATIVE

WEST STREET (CT ROUTE #229)

LEGEND

PROPERTY LINE
IP TO BE SET
EXISTING IRON PIN
PROPOSED MONUMENT
EXISTING MONUMENT
EXIST. EDGE OF ROAD
PROPOSED EDGE OF ROAD
EXISTING EDGE OF CURB
PROPOSED EDGE OF CURB
PROPOSED DRIVEWAY
GAS SERVICE
SEWER SERVICE
WATER SERVICE
ELECTRIC SERVICE
EXISTING GAS VALVE

EX. STORM DRAINAGE
PROP. STORM DRAINAGE
EX. CONTOURS
PROP. CONTOURS
SILT FENCE
EX. CATCH BASIN
PROP. CATCH BASIN
STORM DRAINAGE MANHOLE
SANITARY SEWER MANHOLE
UTILITY POLE
WATER GATE
HYDRANT
LIGHT POLE
DUMPSTER

600'± DISTANCE FROM PROP. DRIVEWAY TO THE NEAREST TRAFFIC SIGNAL TO THE SOUTH (INTERSECTION OF WEST STREET AND WEST QUEEN STREET)

DISCLAIMER:
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NOTES:
1. PARCEL OWNER: THE FRAGOLA COMPANY, LLC
2. AREA: SEE MAP
3. ADDRESS: #1908 WEST STREET
4. ZONE: I-1 (SEE ZONING TABLE)
5. CONTOUR INTERVAL = 2'
6. ELEVATIONS BASED ON U.S.C. & G.S. DATUM.
7. TOPOGRAPHY IS FROM MAP REFERENCE #1.
8. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

PARKING TABLE

PROPOSED BUILDING (MEDICAL OFFICE): 24,344 S.F. GROSS
5% FOR STAIRS, ETC. = 24,344 x 0.95 = 23,127 S.F. NET AREA
REQUIRED PARKING FOR MEDICAL BUILDING = 1 SPACE/200 S.F.
23,127 S.F. / 200 = 115.6 = 116 SPACES
PROPOSED PARKING: 115 STANDARD + 5 H.C. SPACES = 120 TOTAL SPACES
- REQUIRED HANDICAP SPACES = 5 SPACES
- PROPOSED HANDICAP SPACES = 5 SPACES

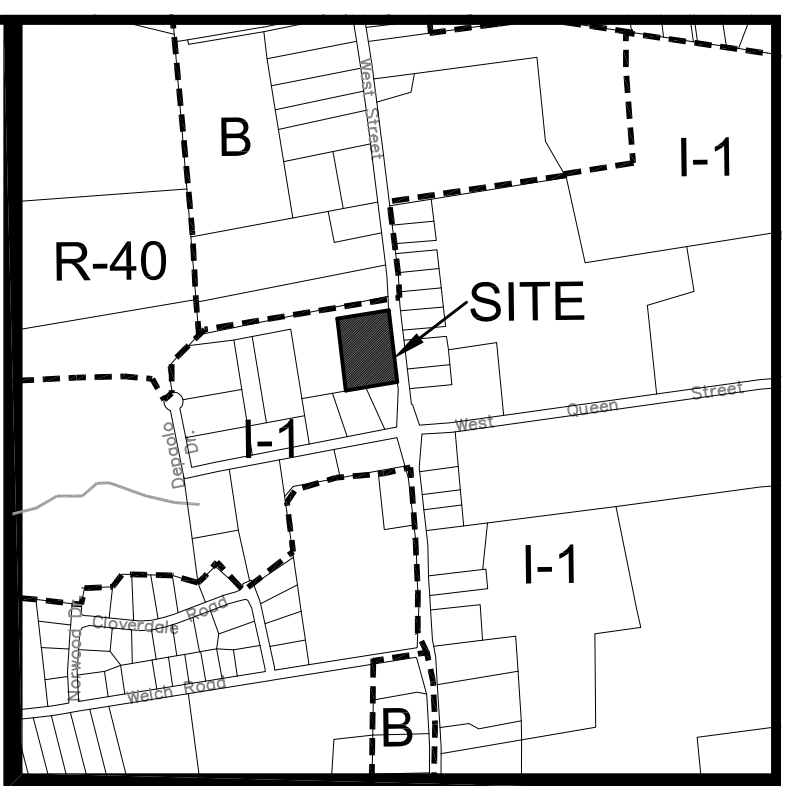
OPEN SPACE

12-02.05: ALL PARKING LOTS SHALL CONTAIN LANDSCAPED AREA IN THE RATIO OF NOT LESS THAN 20 SQUARE FEET FOR EACH PARKING SPACE.
REQUIRED LANDSCAPED AREA = 2,400 S.F.
LANDSCAPED AREA ON SITE = 2,800 S.F.

ZONING TABLE

ZONE	REQUIRED	PROPOSED
LOT AREA	20,000 SF	102,815 ± SF
MAX. LOT COVERAGE	35%	23.7%
LOT FRONTAGE	100'	376.62'
FRONT YARD SETBACK	40'	148.58'
SIDE YARD SETBACK	15'	28.72'
REAR YARD SETBACK	20'	21'

SEE SOUTHBURY ZONING REGULATION 5-00.13



KEYMAP: SCALE: 1"=1000'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1: 9/30/22 - TOWN COMMENTS		
PROJECT:		
DB: MPT	SR: AQ	DR: AT
SCALE:		

James N. Sakonchick
CT P.E. & L.S. #11302

kratzer jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
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P.O. BOX 337
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MILDALE, CT 06467-0337

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FAX: (860) 621-9609
EMAIL: INFO@KRATZERJONES.COM

LAYOUT & LANDSCAPING PLAN

for

STARLING PHYSICIANS

#1908 WEST STREET
SOUTHBURY, CT

SCALE: 1" = 20'

DATE: AUGUST 2, 2022

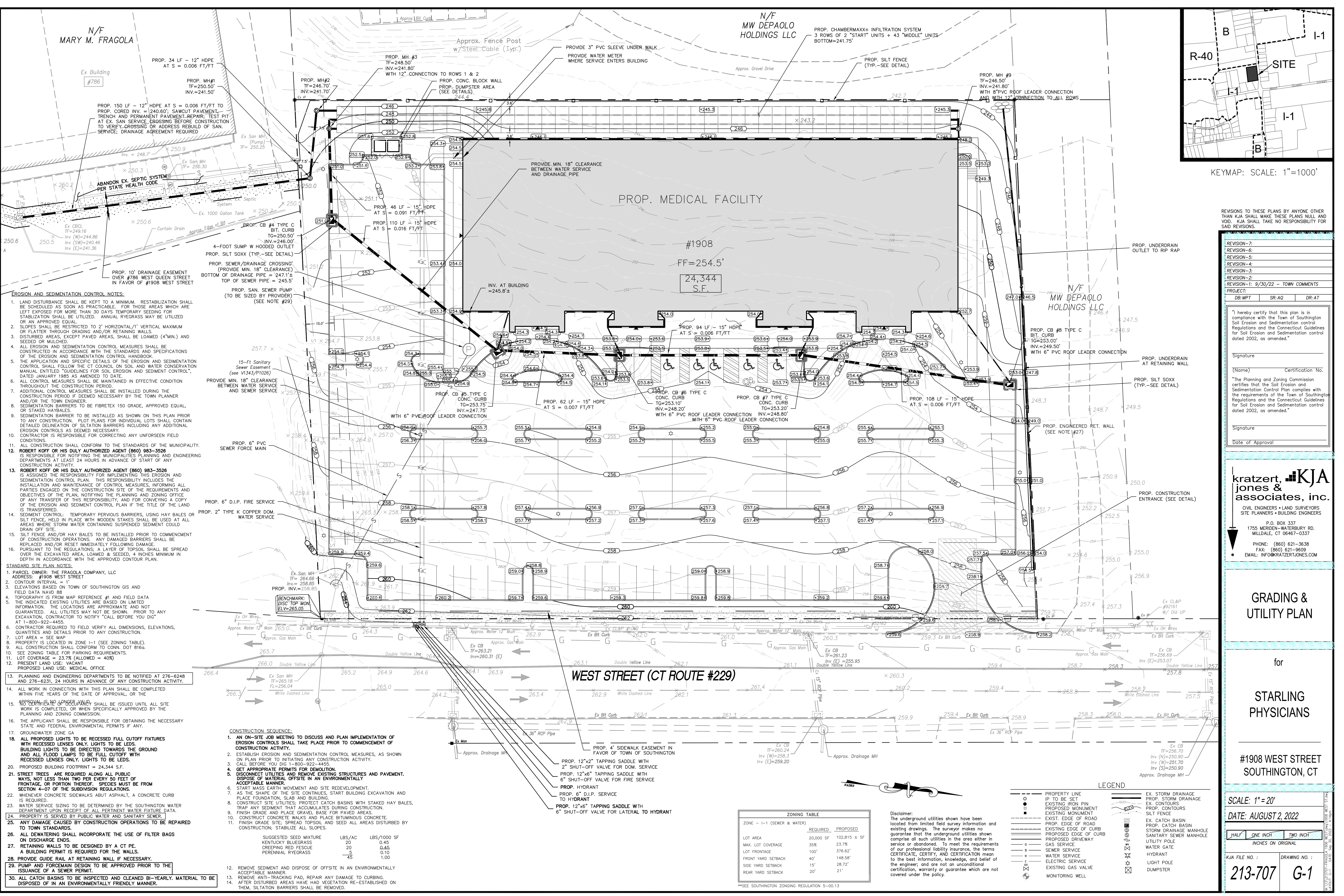
HALF	ONE INCH	TWO INCH
		INCHES ON ORIGINAL

KJA FILE NO. :

DRAWING NO. :

213-707

L-1



N/F
MARY M. FRAGOLA

PROP. 34 LF - 12" HDPE
AT S = 0.006 FT/FT

PROP. MH #1
TF=250.50'
INV.=241.50'

PROP. 150 LF - 12" HDPE AT S = 0.006 FT/FT TO
PROP. CURED INV. = 240.60'; SAWCUT PAVEMENT
TRENCH AND PERMANENT PAVEMENT REPAIR; TEST PIT
AT EX. SAN SERVICE CROSSING BEFORE CONSTRUCTION
TO VERIFY CROSSING OR ADDRESS REBUILD OF SAN
SERVICE; DRAINAGE AGREEMENT REQUIRED

ABANDON EX. SEPTIC SYSTEMS
PER STATE HEALTH CODE

PROP. 10' DRAINAGE EASEMENT
OVER #786 WEST QUEEN STREET
IN FAVOR OF #1908 WEST STREET

EROSION AND SEDIMENTATION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE. FOR THOSE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED. ANNUAL RYEGRASS MAY BE UTILIZED OR AN APPROVED EQUAL.
2. SLOPES SHALL BE RESTRICTED TO 2" HORIZONTAL/1" VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4" MIN.) AND SEEDED OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENTATION CONTROL HANDBOOK.
5. THE APPLICATION AND SPECIFIC DETAILS OF THE EROSION AND SEDIMENTATION CONTROL SHALL FOLLOW THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED JANUARY 1985 AS AMENDED TO DATE.
6. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
7. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE TOWN PLANNER AND/OR THE TOWN ENGINEER.
8. SEDIMENTATION BARRIERS TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION. PLOT PLANS FOR INDIVIDUAL LOTS SHALL CONTAIN DETAILED DELINEATION OF SITUATION BARRIERS INCLUDING ANY ADDITIONAL EROSION CONTROLS AS DEEMED NECESSARY.
9. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY UNFORESEEN FIELD CONDITIONS.
10. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
11. ROBERT KOFF OR HIS DULY AUTHORIZED AGENT (860) 983-3526 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
12. ROBERT KOFF OR HIS DULY AUTHORIZED AGENT (860) 983-3526 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
13. SEDIMENT CONTROL: TEMPORARY PEROUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
14. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE.
15. PURSUANT TO THE REGULATIONS, A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.

STANDARD SITE PLAN NOTES:

1. PARCEL OWNER: THE FRAGOLA COMPANY, LLC
2. ADDRESS: #1908 WEST STREET
3. CONTOUR INTERVAL = 1'
4. ELEVATIONS BASED ON TOWN OF SOUTHTONING GIS AND FIELD DATA NAVD 88
5. TOPOGRAPHY IS FROM MAP REFERENCE #1 AND FIELD DATA
6. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
7. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
8. LOT AREA = SEE MAP
9. PROPERTY IS LOCATED IN ZONE I-1 (SEE ZONING TABLE).
10. ALL CONSTRUCTION SHALL CONFORM TO COM. REG. §160.
11. SEE ZONING TABLE FOR PARKING REQUIREMENTS.
12. LOT COVERAGE = 23.7% (ALLOWED = 40%)
13. PRESENT LAND USE: VACANT
14. PROPOSED LAND USE: MEDICAL OFFICE
15. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT 276-6248 AND 276-6231, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
16. ALL WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
17. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS IF ANY.
18. GROUNDWATER ZONE GA
19. ALL PROPOSED LIGHTS TO BE RECESSED FULL CUTOFF FIXTURES WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
20. BUILDING LIGHTS TO BE DIRECTED TOWARDS THE GROUND AND ALL FLOOD LAMPS TO BE FULL CUTOFF WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
21. PROPOSED BUILDING FOOTPRINT = 24,344 S.F.
22. STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.
23. WHENEVER CONCRETE SIDEWALKS ABOUT ASPHALT, A CONCRETE CURB IS REQUIRED.
24. WATER SERVICE SIZING TO BE DETERMINED BY THE SOUTHTONING WATER DEPARTMENT UPON RECEIPT OF ALL PERTINENT WATER FUTURE DATA.
25. PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
26. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO BE REPAIRED TO TOWN STANDARDS.
27. ALL DRAINAGE SHALL INCORPORATE THE USE OF FILTER BASINS ON DISCHARGE ENDS.
28. RETAINING WALLS TO BE DESIGNED BY A CT PE. A BUILDING PERMIT IS REQUIRED FOR THE WALLS.
29. PROVIDE GUIDE RAIL AT RETAINING WALL IF NECESSARY.
30. PUMP AND FOREMAIN DESIGN TO BE APPROVED PRIOR TO THE ISSUANCE OF A SEWER PERMIT.
31. ALL CATCH BASINS TO BE INSPECTED AND CLEANED BI-YEARLY. MATERIAL TO BE DISPOSED OF IN AN ENVIRONMENTALLY FRIENDLY MANNER.

CONSTRUCTION SEQUENCE:

1. AN ON-SITE JOB MEETING TO DISCUSS AND PLAN IMPLEMENTATION OF EROSION CONTROLS SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
3. CALL BEFORE YOU DIG 1-800-922-4455.
4. GET APPROPRIATE PERMITS FOR DEMOLITION.
5. DISCONNECT UTILITIES AND REMOVE EXISTING STRUCTURES AND PAVEMENT. DISPOSE OF MATERIAL OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
6. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
7. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
8. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
9. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
10. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
11. FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
12. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
13. REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
14. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.

ZONING TABLE			
ZONE - I-1 (SEWER & WATER)			
	REQUIRED	PROPOSED	
LOT AREA	20,000 SF	102,815 ± SF	
MAX. LOT COVERAGE	35%	23.7%	
LOT FRONTAGE	100'	376.62'	
FRONT YARD SETBACK	40'	148.58'	
SIDE YARD SETBACK	15'	28.72'	
REAR YARD SETBACK	20'	21'	

SUGGESTED SEED MIXTURE			
	LBS/AC	LBS/1000 SF	
KENTUCKY BLUEGRASS	20	0.45	
CREeping RED FESCUE	20	0.45	
PERENNIAL RYEGRASS	5	1.00	
	45	1.00	

WEST STREET (CT ROUTE #229)

PROP. 12"x12" TAPPING SADDLE WITH 2" SHUT-OFF VALVE FOR DOM. SERVICE

PROP. 12"x6" TAPPING SADDLE WITH 6" SHUT-OFF VALVE FOR FIRE SERVICE

PROP. HYDRANT

PROP. 6" D.I.P. SERVICE TO HYDRANT

PROP. 12"x6" TAPPING SADDLE WITH 6" SHUT-OFF VALVE FOR LATERAL TO HYDRANT

PROP. 4' SIDEWALK EASEMENT IN FAVOR OF TOWN OF SOUTHTONING

PROP. 12"x2" TAPPING SADDLE WITH 2" SHUT-OFF VALVE FOR DOM. SERVICE

PROP. 12"x6" TAPPING SADDLE WITH 6" SHUT-OFF VALVE FOR FIRE SERVICE

PROP. HYDRANT

PROP. 6" D.I.P. SERVICE TO HYDRANT

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Disclaimer: The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer, and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

KEYMAP: SCALE: 1"=1000'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	
REVISION-1:	9/30/22 - TOWN COMMENTS

PROJECT: DB:MPT SR:AQ DR:AT

"I hereby certify that this plan is in compliance with the Town of Southington Soil Erosion and Sedimentation control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature _____

(Name) _____ Certification No. _____

"The Planning and Zoning Commission certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Southington Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature _____

Date of Approval _____

kratzert, KJA
jones &
associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

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GRADING &
UTILITY PLAN

for

STARLING
PHYSICIANS

#1908 WEST STREET
SOUTHTONING, CT

SCALE: 1"=20'

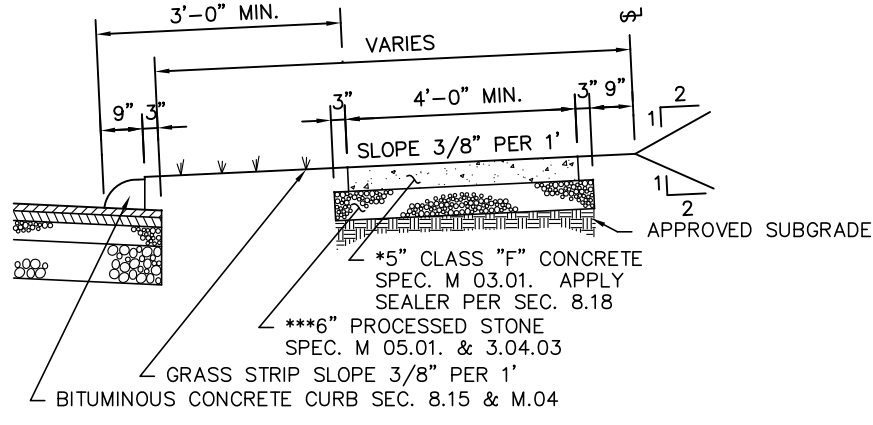
DATE: AUGUST 2, 2022

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.: DRAWING NO.:
213-707 G-1

*ALL CLASS CONCRETE SHALL CONTAIN 7% ENTRAINED AIR, 4000 P.S.I., MIX.
ALL SPECS FROM CT HWY. STD. 816.
CONTRACTION JOINTS EVERY FOUR (4) FEET.
EXPANSION JOINTS EVERY TWENTY (20) FEET.

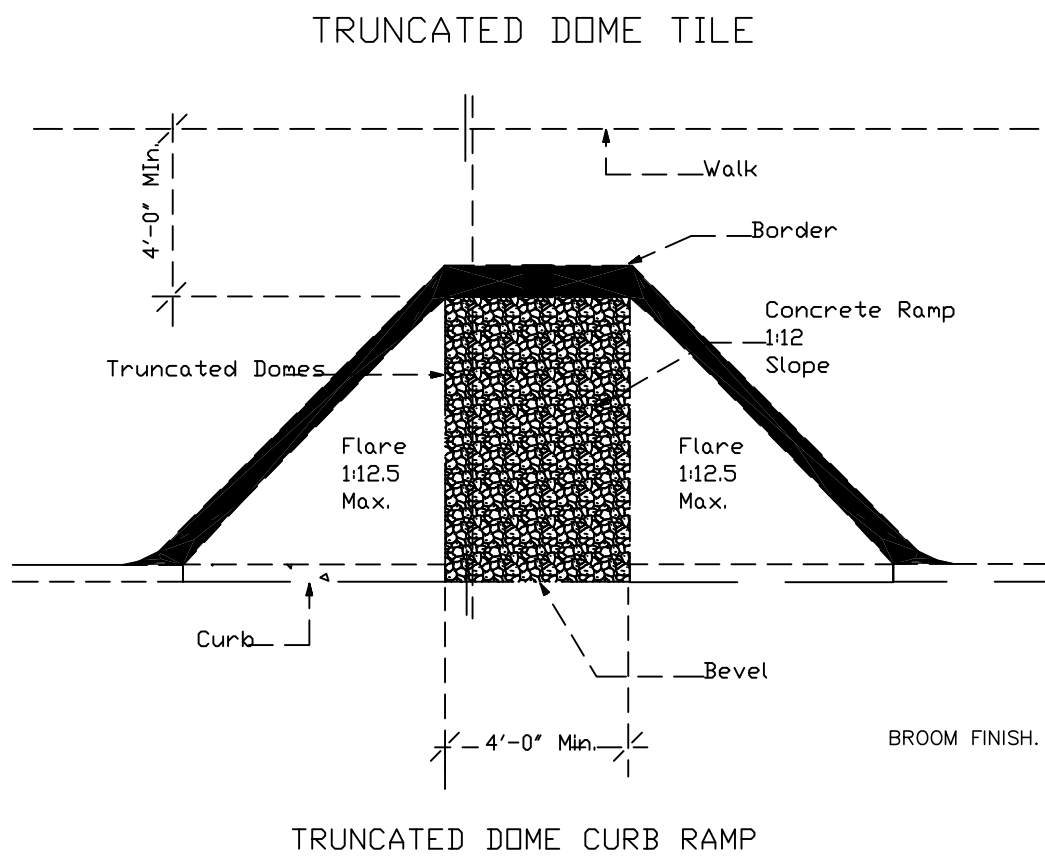
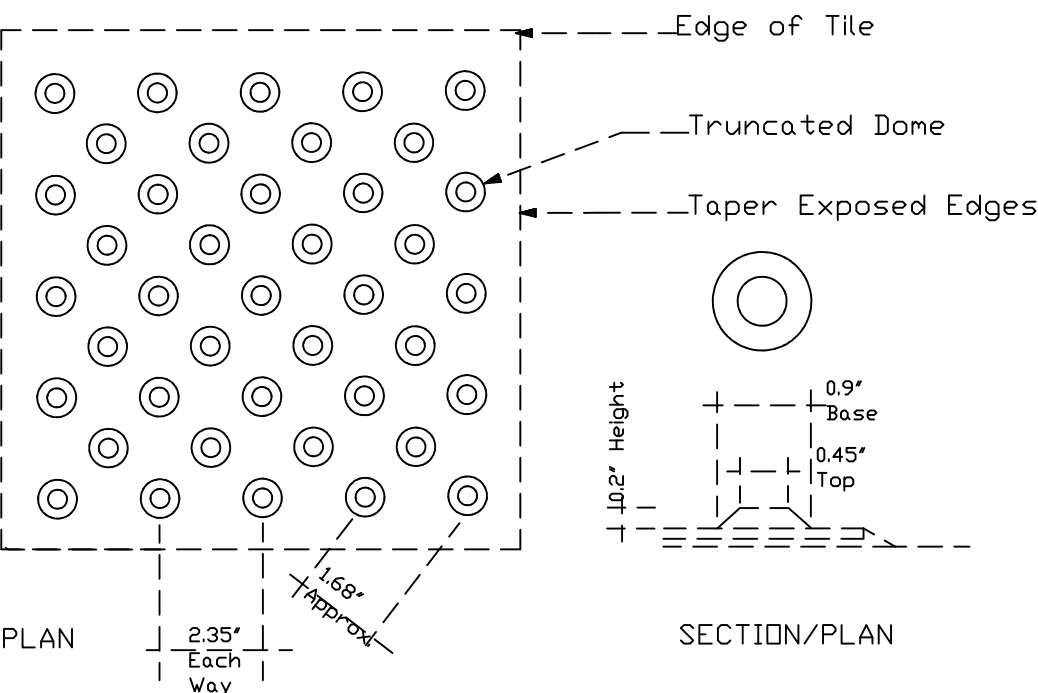
*6" OF CONCRETE THROUGH DRIVEWAY (RESIDENTIAL).
8" OF CONCRETE THROUGH DRIVEWAYS (INDUSTRIAL/BUSINESS).



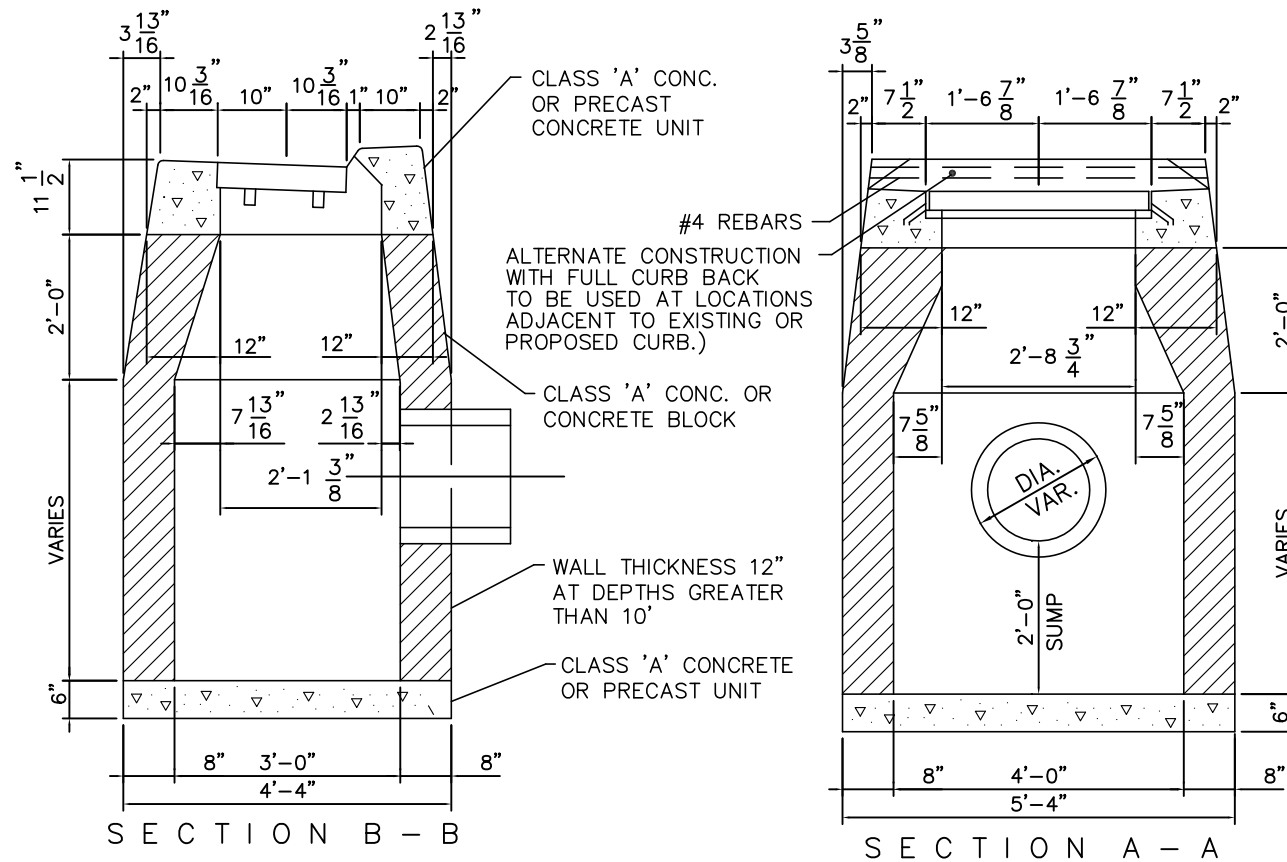
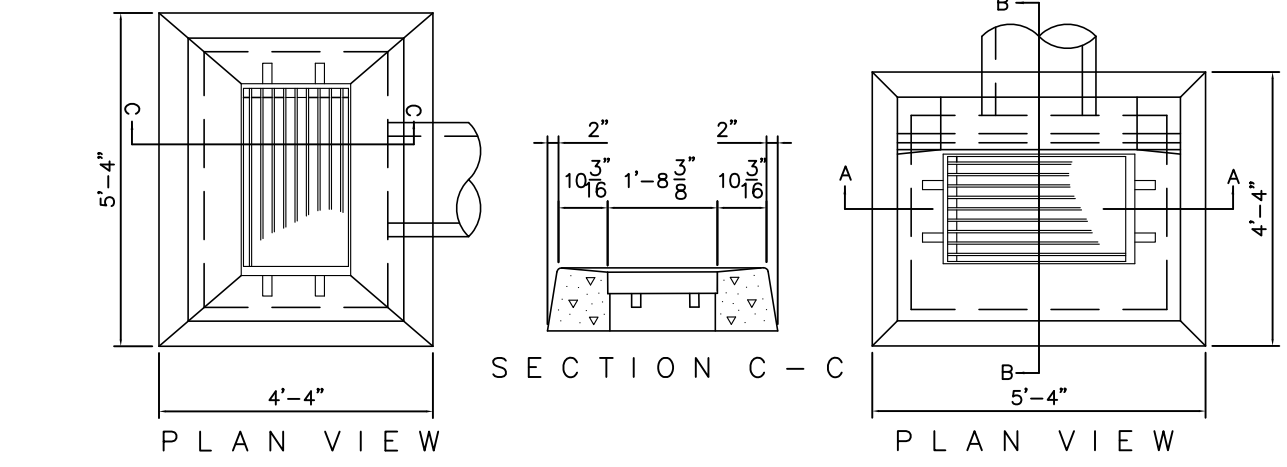
***UNLESS OTHERWISE DIRECTED BY ENGINEER.

**IF SEPARATION BETWEEN GUTTER LINE AND FRONT EDGE OF WALK IS LESS THAN 3',
TOWN ENGINEER MAY MODIFY TYPICAL SECTION BASED ON FIELD CONDITIONS AND
CONCRETE CURB, CONCRETE D.W. RAMPS AND WIDER WALKS MAY BE REQUIRED.
*WIDTH OF WALK SHALL BE WIDENED TO MATCH FIELD CONDITIONS UNLESS MODIFIED
BY TOWN ENGINEER BASED ON FIELD CONDITIONS.

TYPICAL SIDEWALK SECTION (SOUTHINGTON)
SEC. 9.21
NOT FOR SUBDIVISIONS

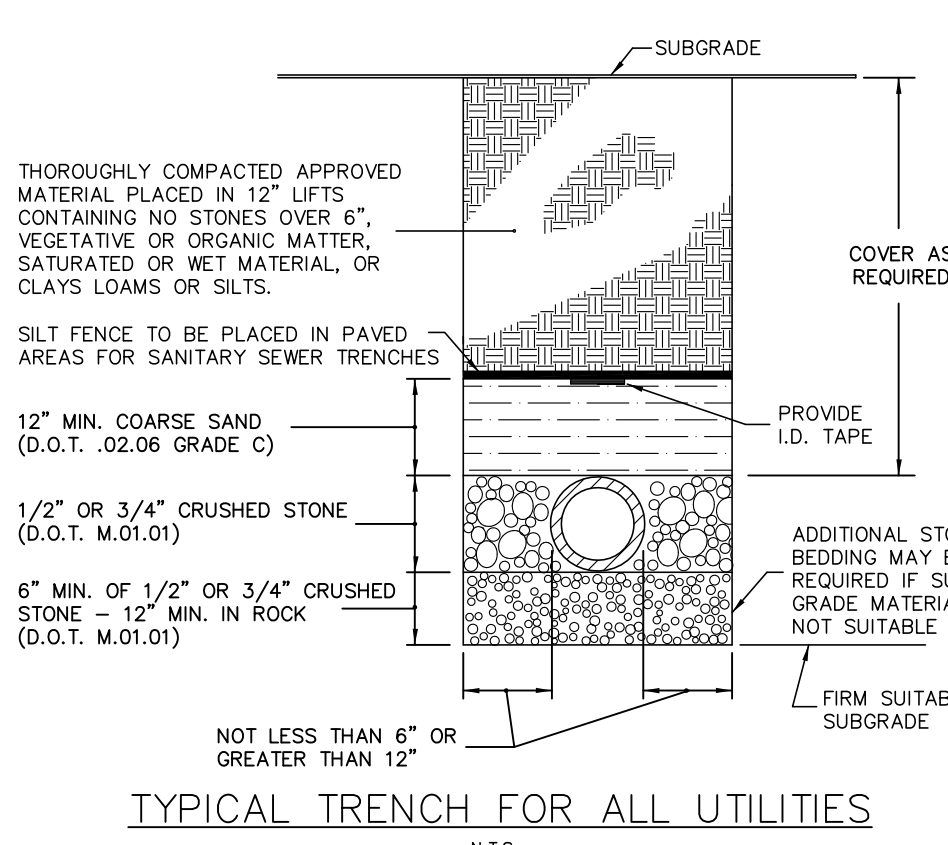
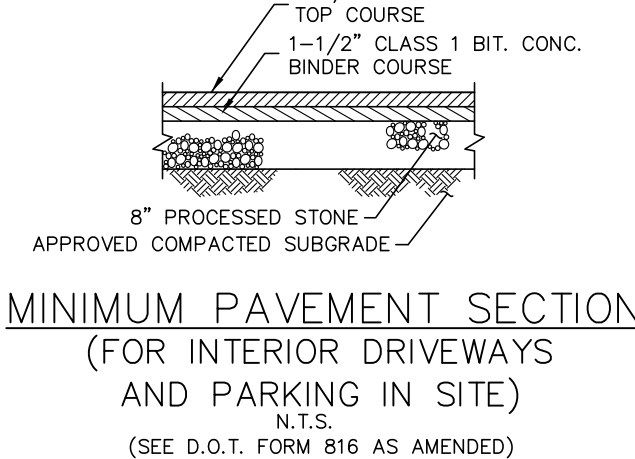
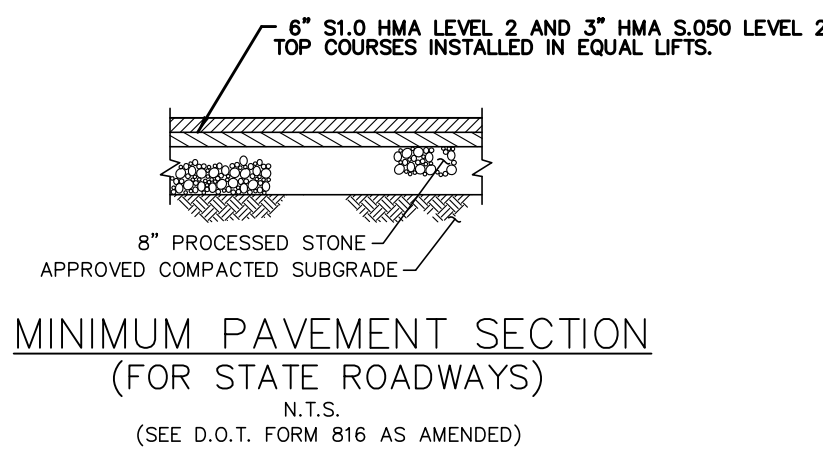
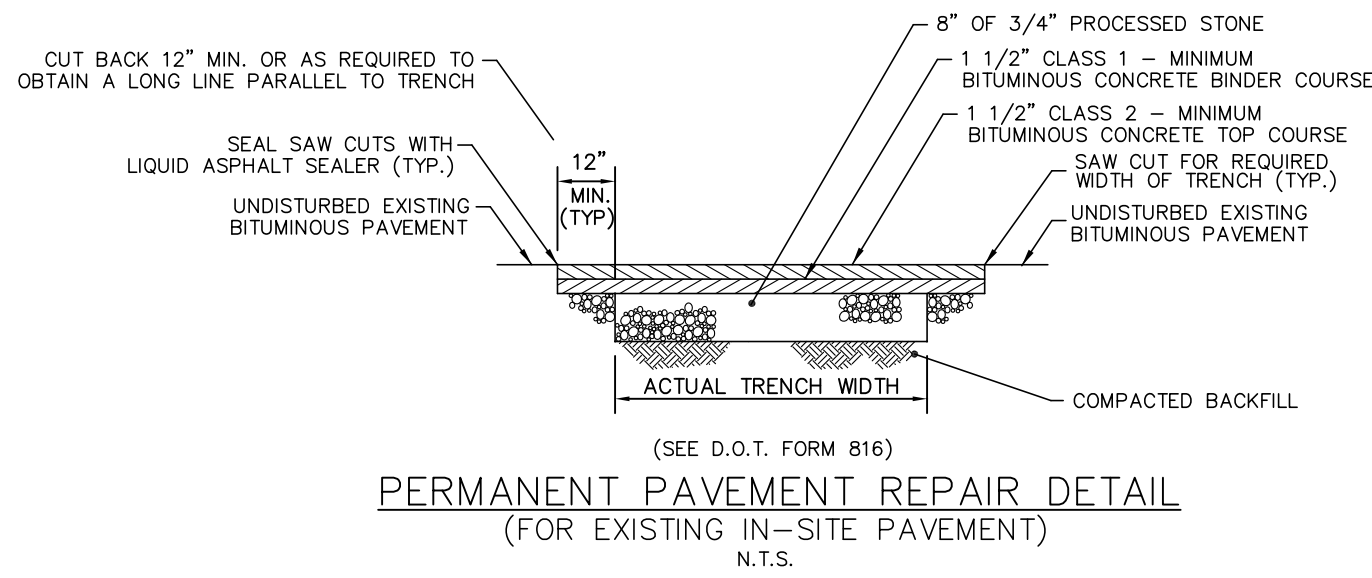
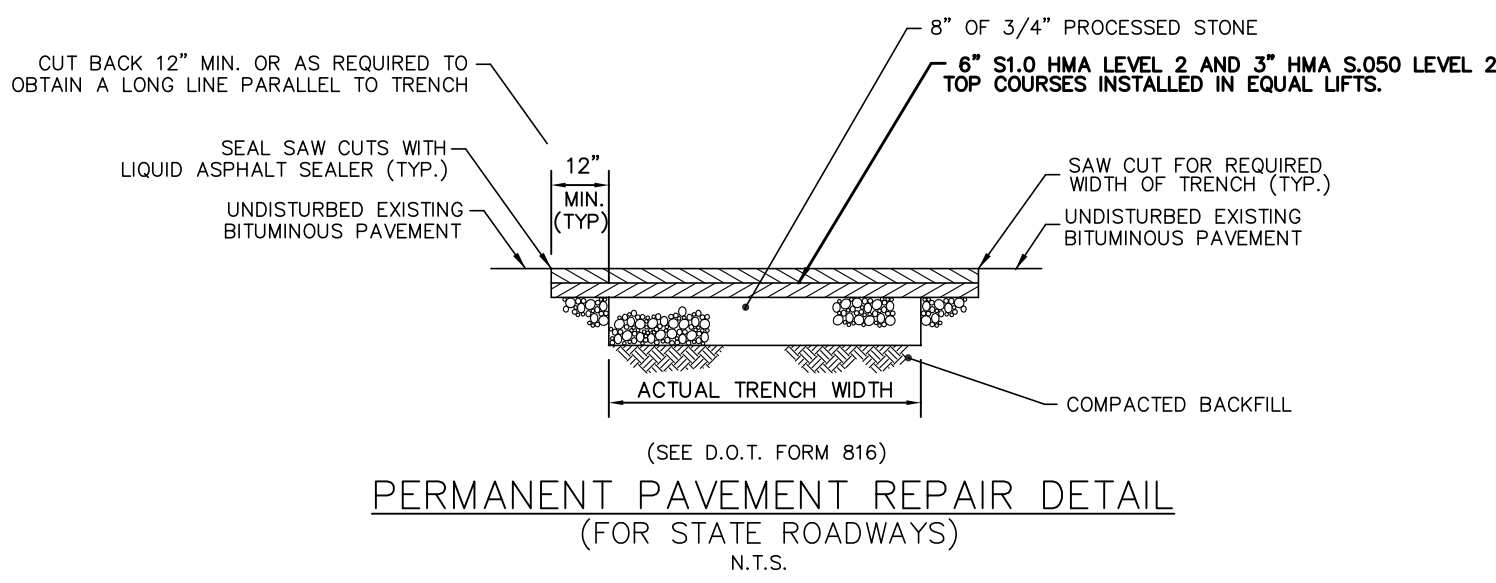
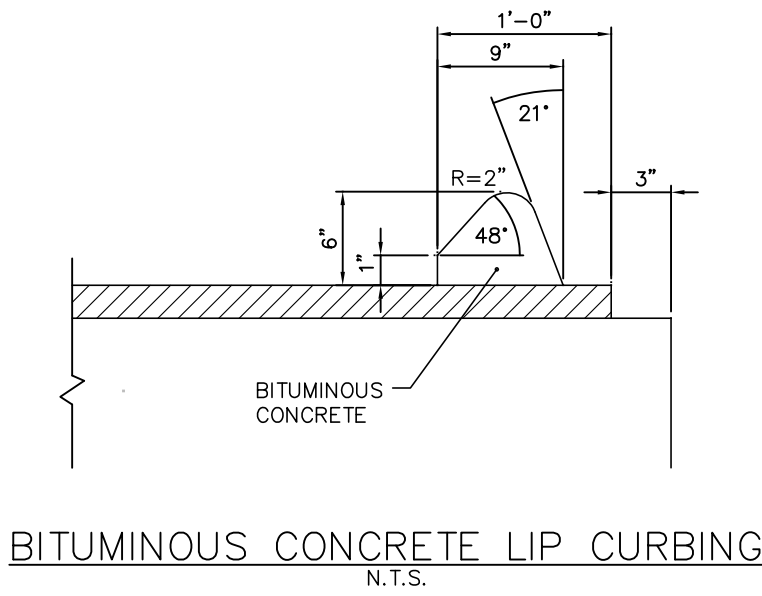


CATCH BASIN TYPE "C-I"
N.T.S.

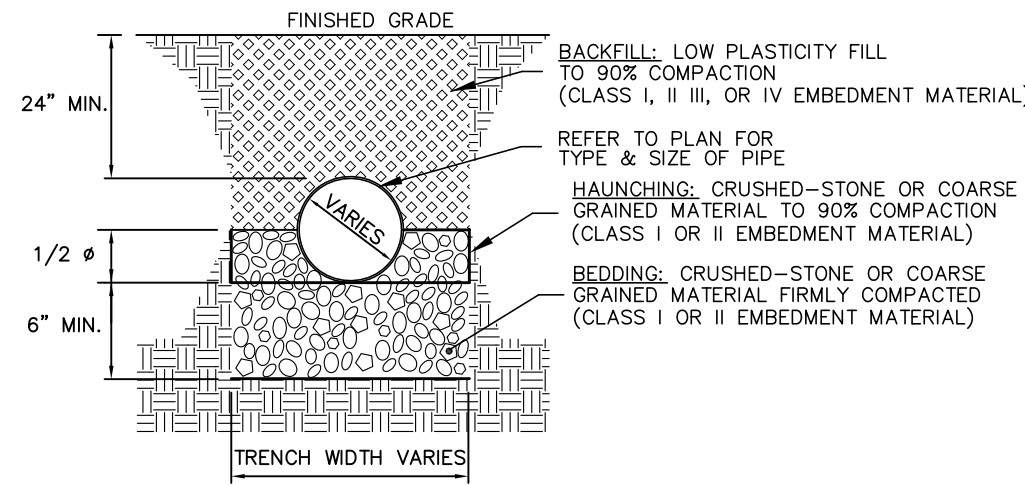


*ALL CATCH BASINS SHALL BE TO D.O.T. STANDARD PER FORM
816 (AS AMENDED). NO UNNECESSARY KNOCKOUTS WILL BE ALLOWED.

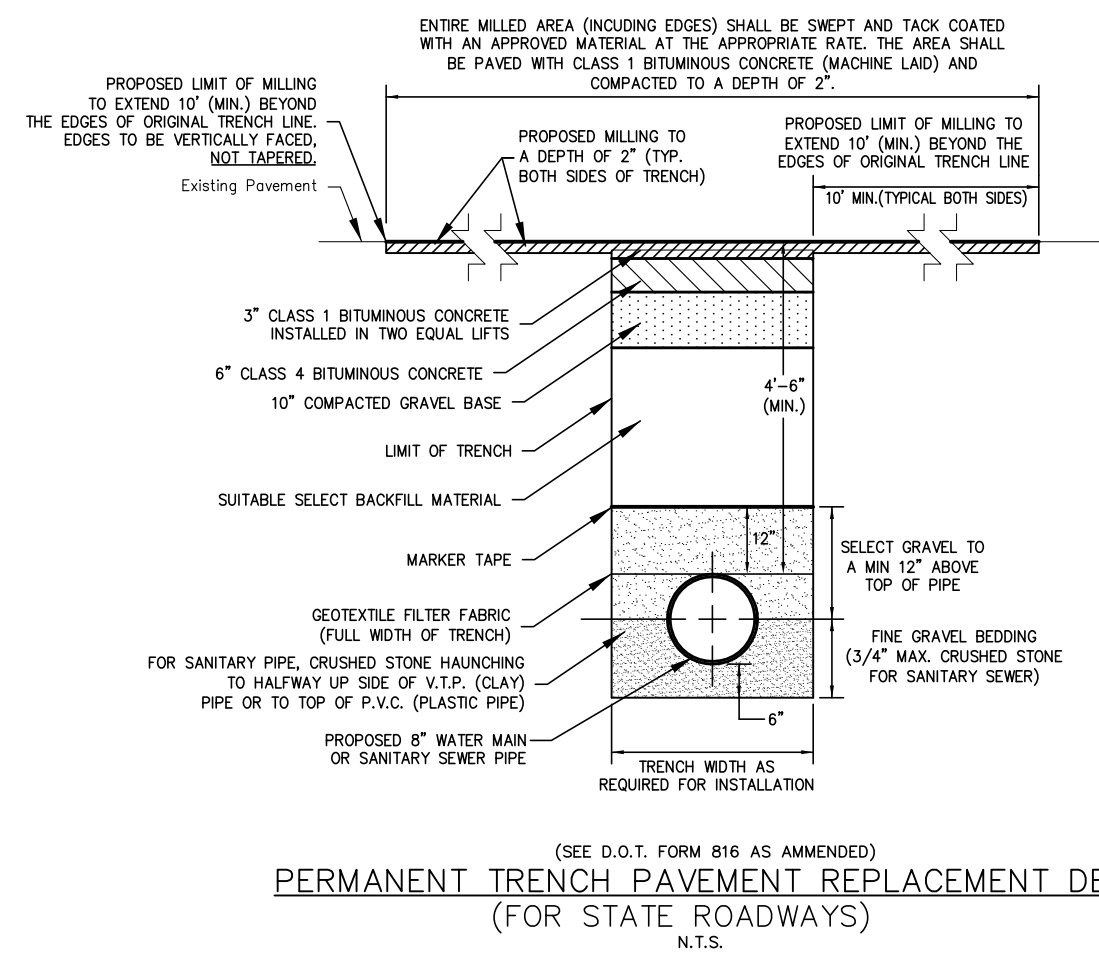
CATCH BASIN TYPE "C" DETAIL
N.T.S.



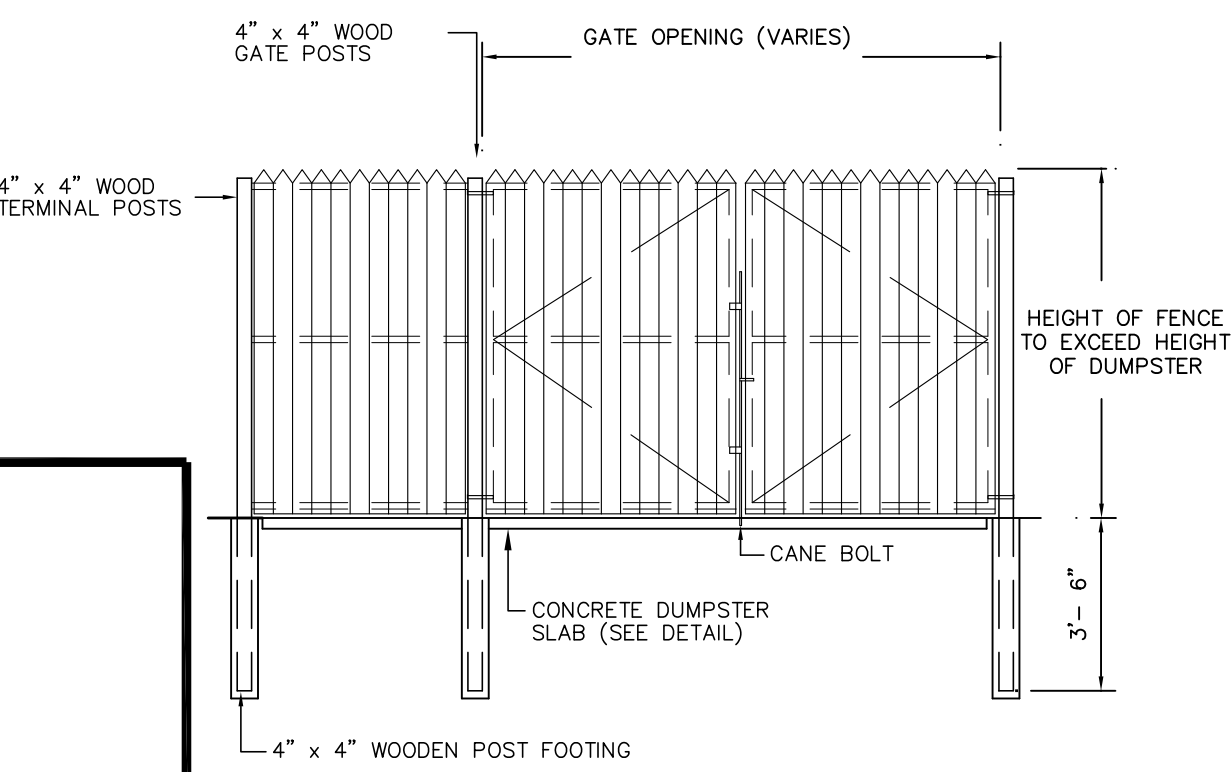
CLASS I: ANGULAR CRUSHED STONE OR ROCK, DENSE OR OPEN-GRADED, WITH LITTLE OR
NO FINES (1/4" TO 1 1/2" IN SIZE).
CLASS II: CLEAN, COARSE-GRAINED MATERIALS, SUCH AS GRAVEL, COARSE SANDS, AND
GRAVEL/SAND MIXTURES (1 1/2" IN SIZE).
CLASS III: COARSE-GRAINED MATERIALS WITH FINES INCLUDING SILTY OR CLAYEY
GRAVELS OR SANDS. GRAVEL OR SAND MUST COMPRISE MORE THAN 50% OF CLASS III
MATERIALS (1 1/2" MAX SIZE).
CLASS IV: FINE-GRAINED MATERIALS, SUCH AS FINE SAND AND SILTS, CONTAINING 50%
OR MORE CLAY OR SILT. SOILS CLASSIFIED AS CLASS I (ML OR CL) HAVE MEDIUM TO
LOW PLASTICITY AND ARE NOT RECOMMENDED IN THE EMBEDMENT ZONE. SOILS
CLASSIFIED AS CLASS I (MH OR CH) HAVE HIGH PLASTICITY AND ARE NOT
RECOMMENDED FOR EMBEDMENT MATERIALS.



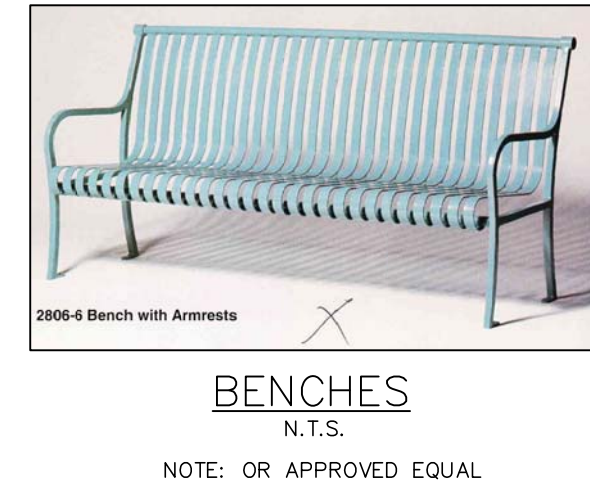
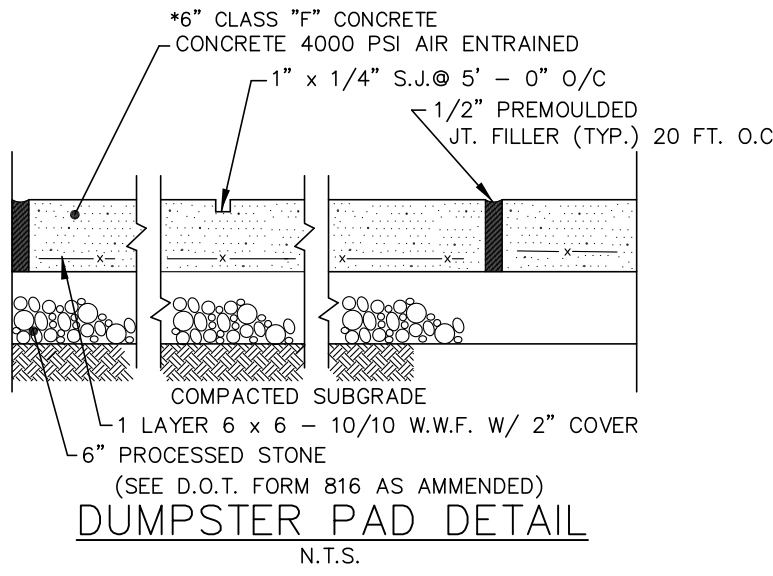
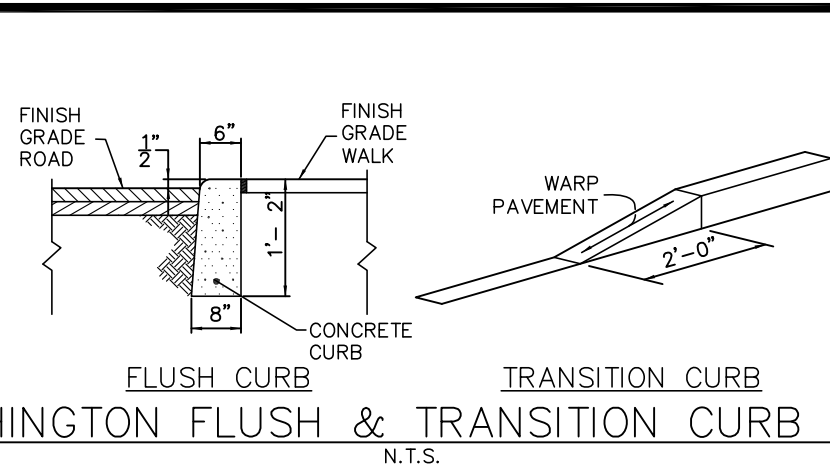
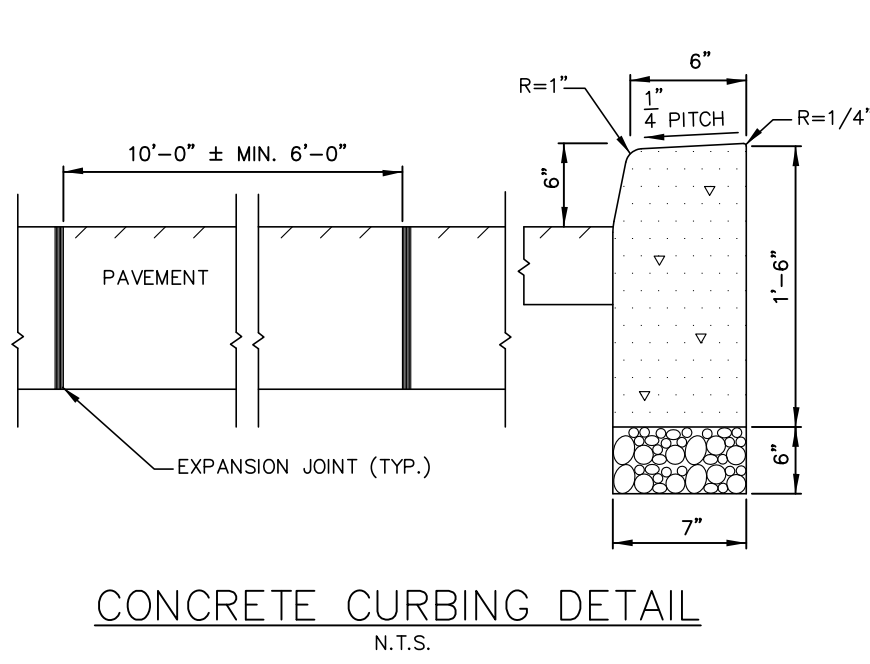
H.D.P.E. PIPE
EMBEDMENT DETAIL
N.T.S.
(SEE ASTM D-2321 FOR COMPLETE REFERENCE)



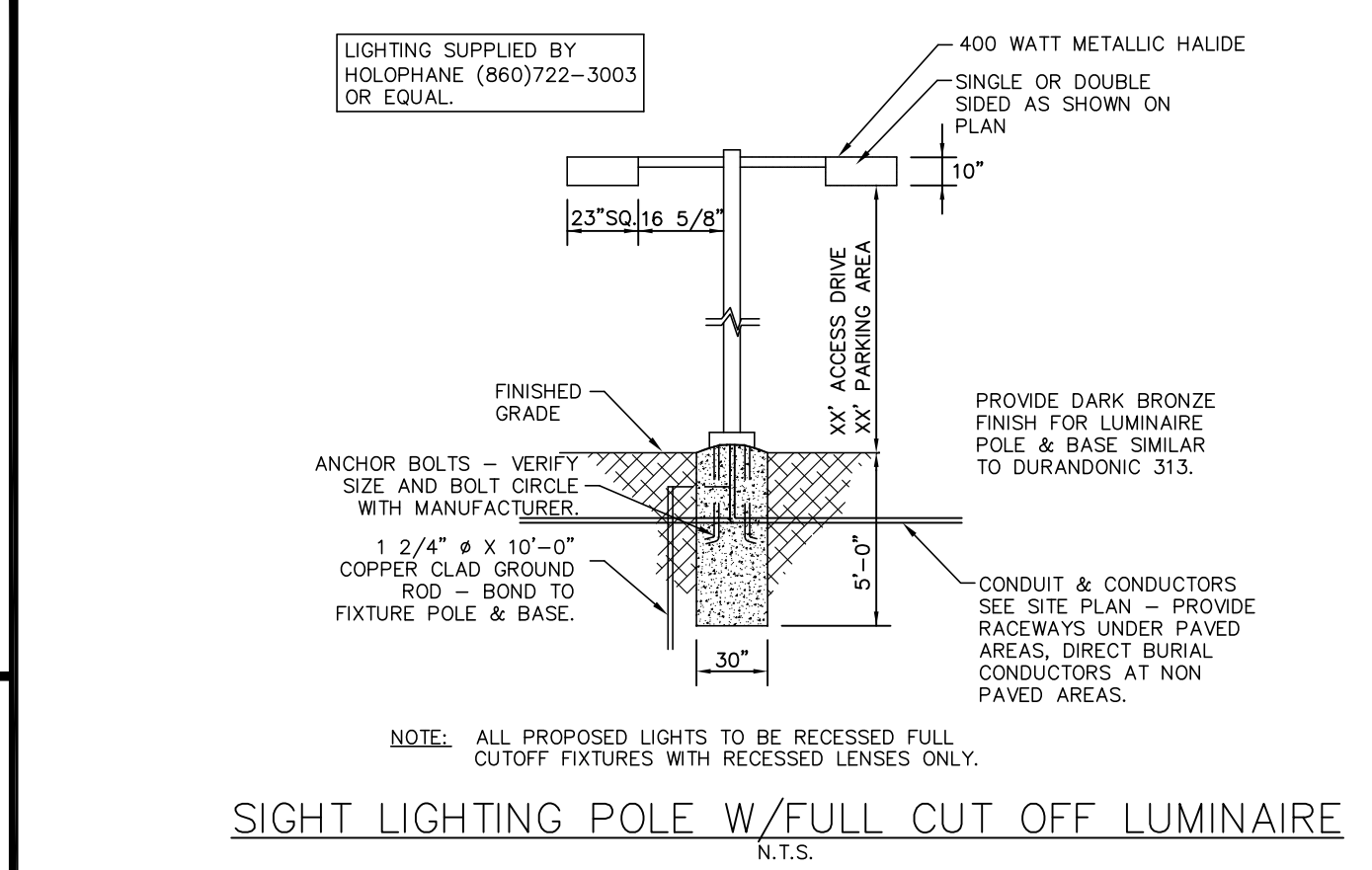
NOTES:
1.) ALL EDGES MUST BE TACK COATED WITH THE SURFACE JOINTS SEALED.
2.) CRUSHED STONE SHALL BE ENTIRELY WRAPPED IN FABRIC IN
TRAVELED WAYS OR AS DIRECTED BY THE W.P.C.A.
3.) SEWER TRENCH WIDTH = I.D. PIPE + 2'



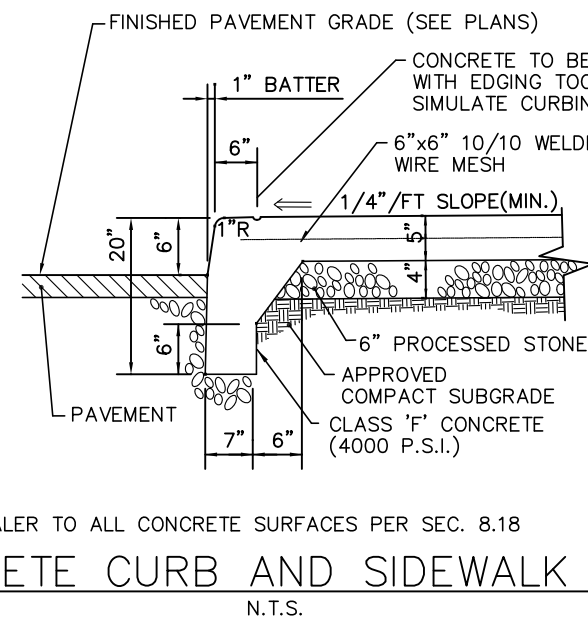
DUMPTER ENCLOSURE DETAIL
N.T.S.



BENCHES
N.T.S.
NOTE: OR APPROVED EQUAL



SIGHT LIGHTING POLE W/ FULL CUT OFF LUMINAIRE
N.T.S.



CONCRETE CURB AND SIDEWALK DETAIL
N.T.S.

REVISIONS TO THESE PLANS BY ANYONE OTHER
THAN KJA SHALL MAKE THESE PLANS NULL AND
VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR
SAID REVISIONS.

REVISION:		
REVISION:		
REVISION:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT: 213707		
DB:	SR:	DR:
MPT	----	----

NOT ALL DETAILS ON THIS
PLAN MAY BE APPLICABLE

James N. Sakonchick
CT P.E. & L.S. #11302

kratzer, jones & associates, inc.
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STANDARD
SITE
DETAILS

for

STARLING
PHYSICIANS

#1908 WEST STREET
SOUTHINGTON, CT

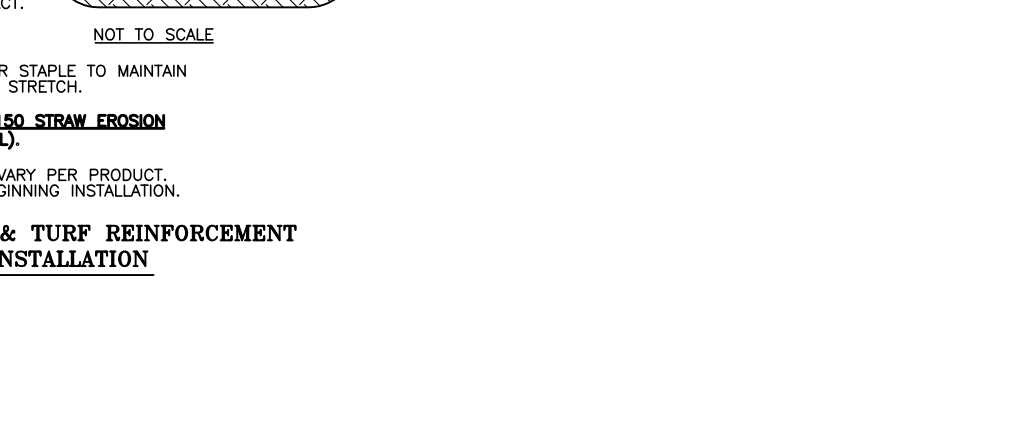
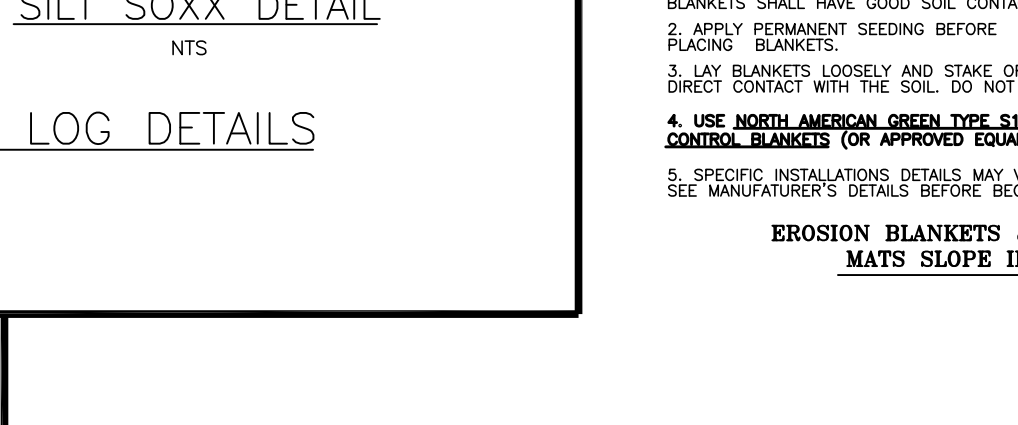
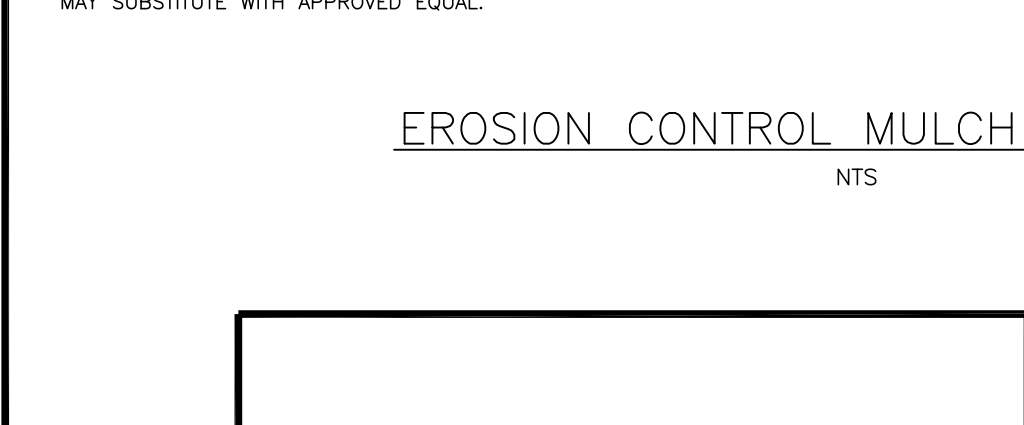
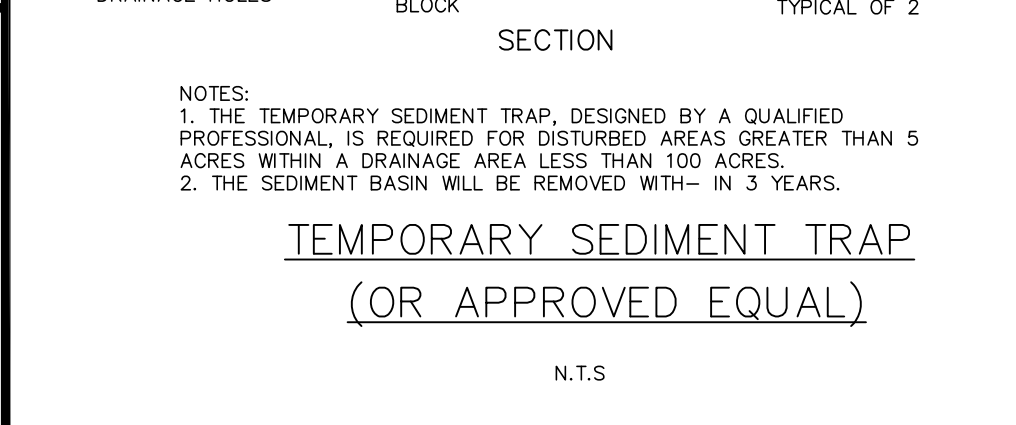
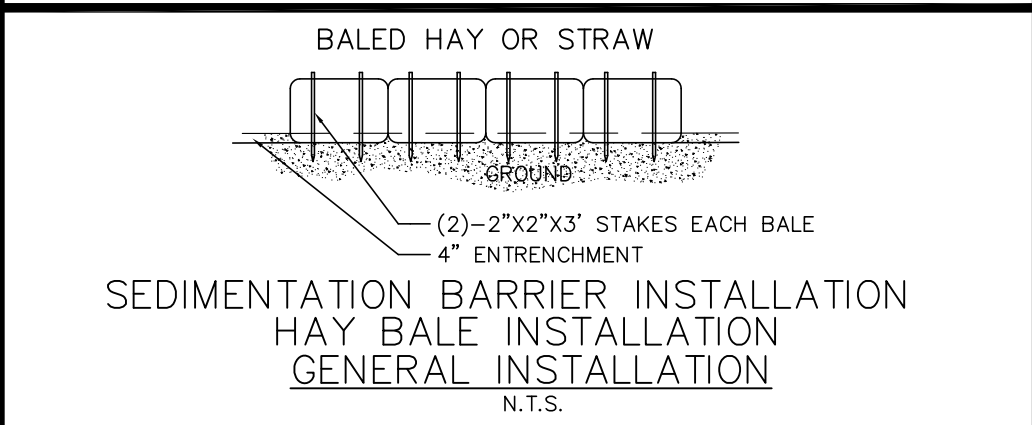
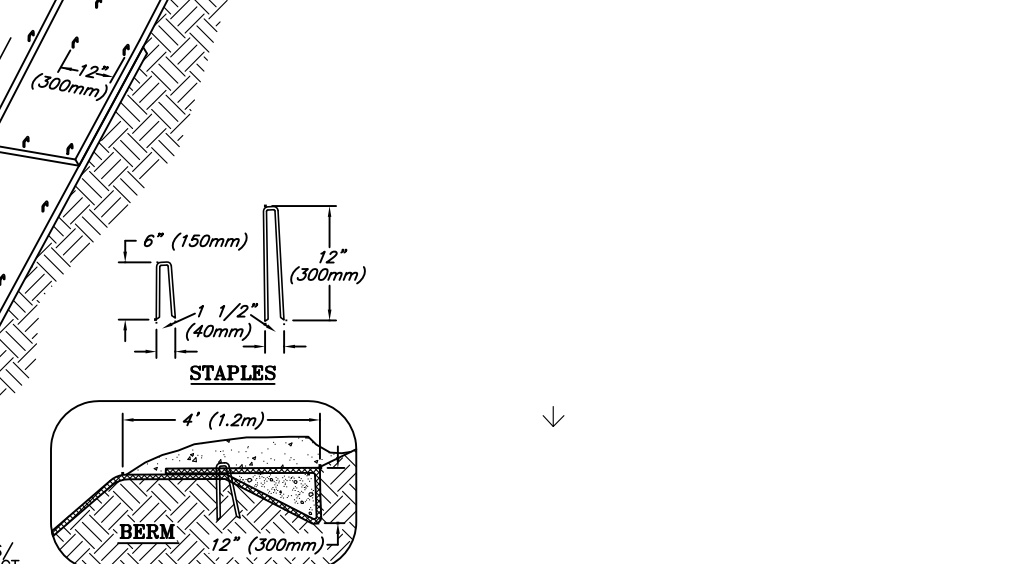
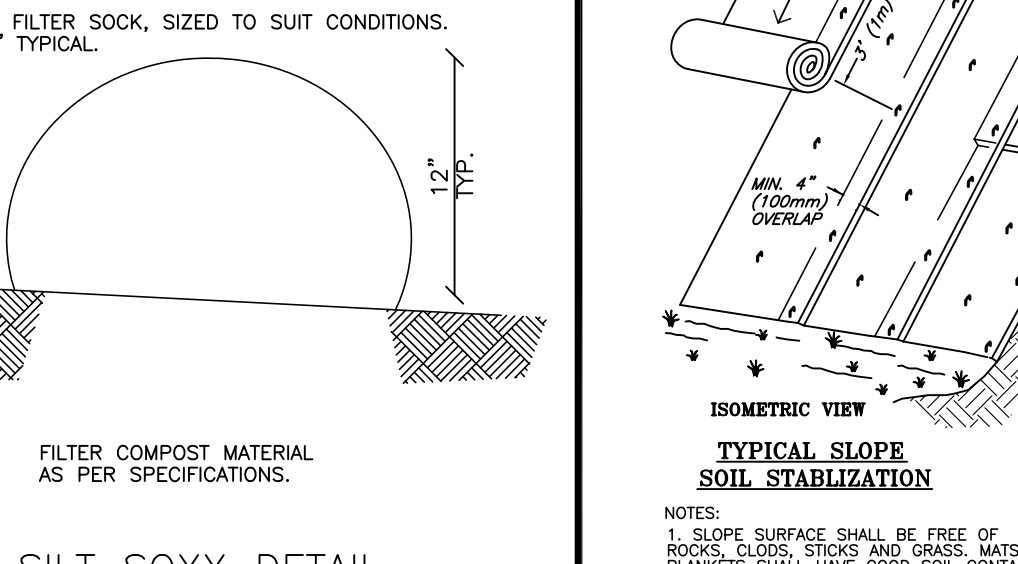
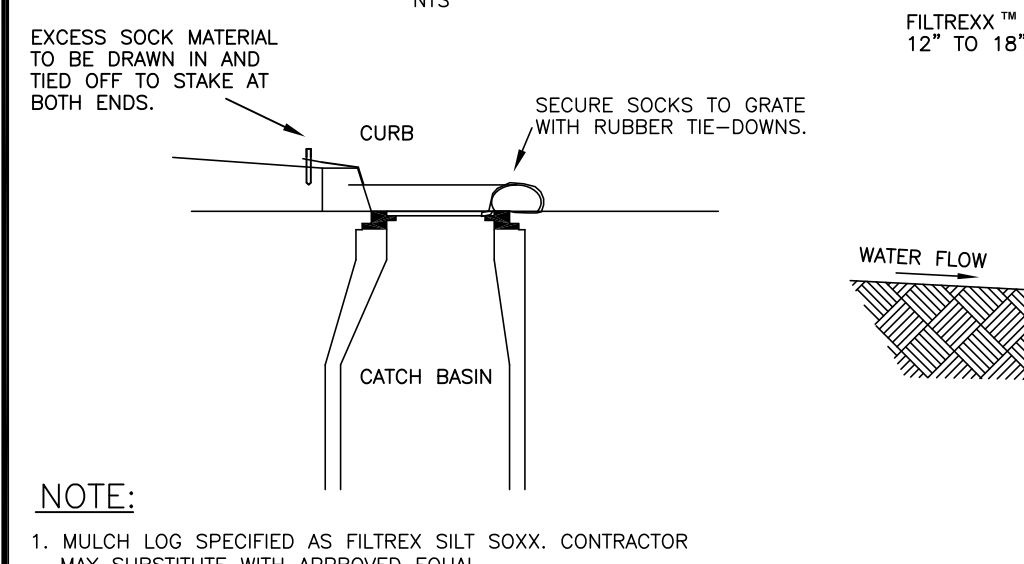
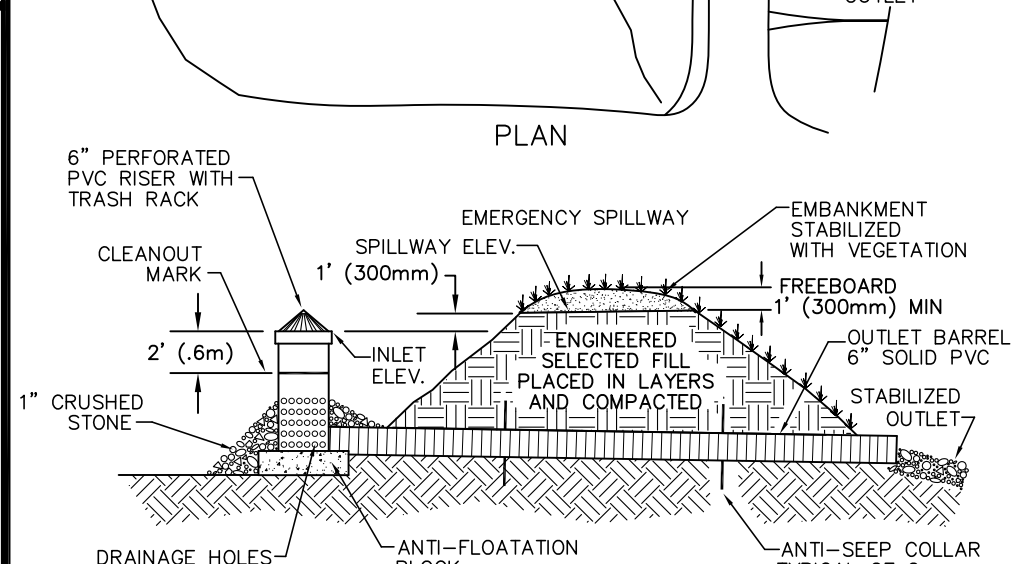
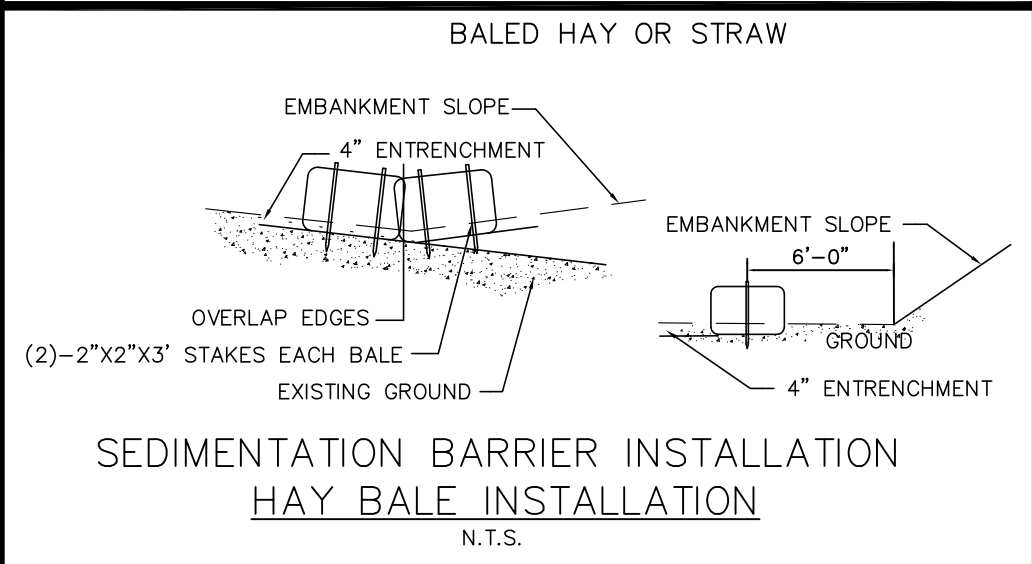
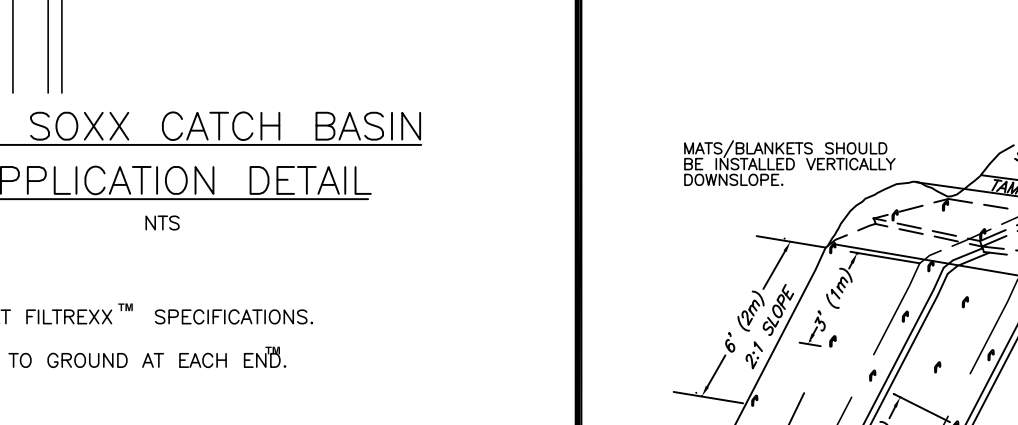
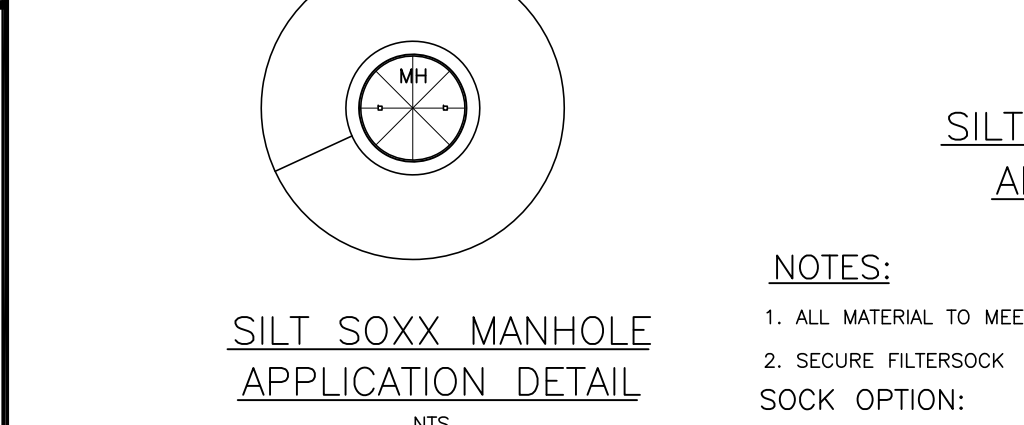
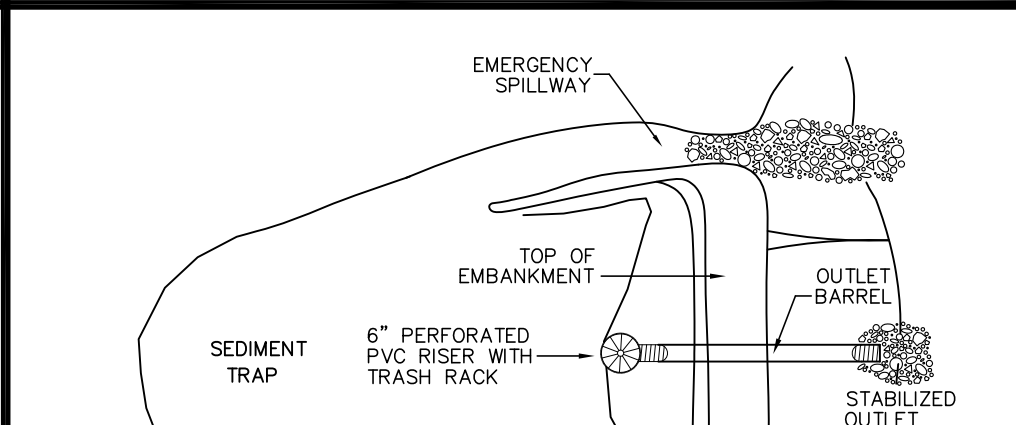
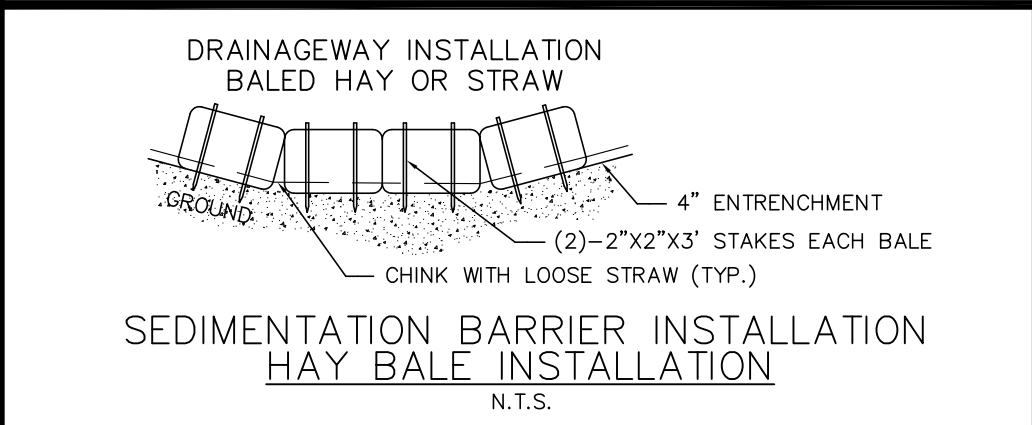
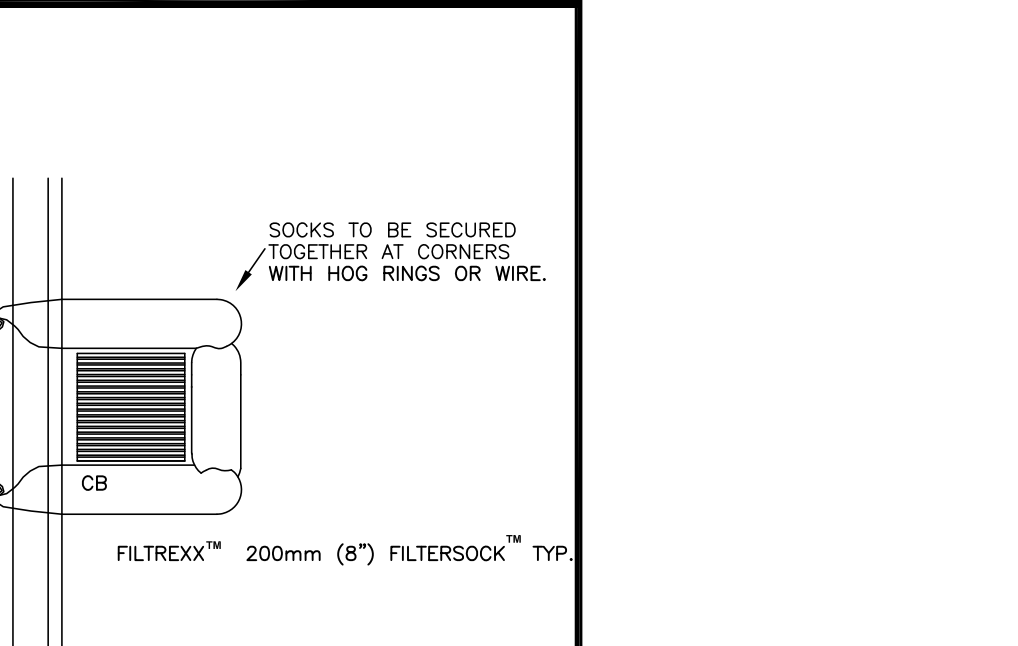
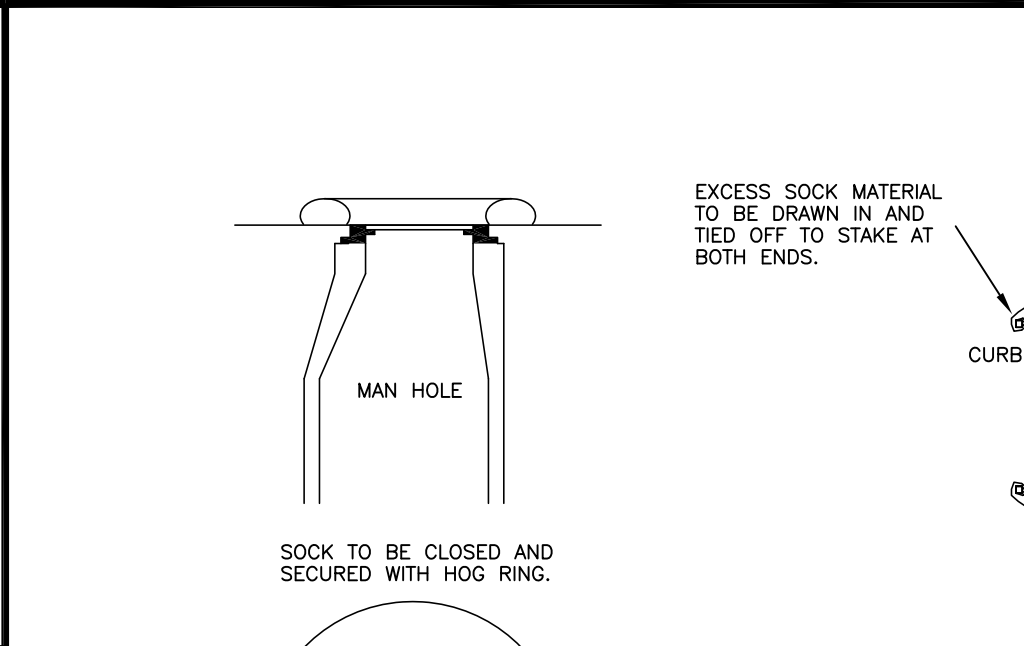
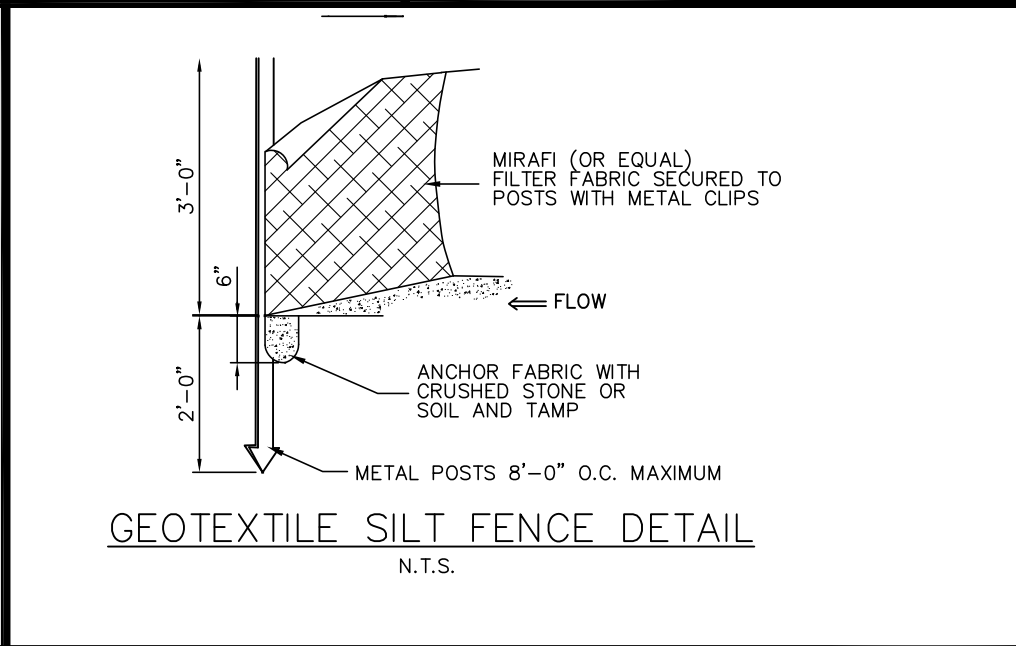
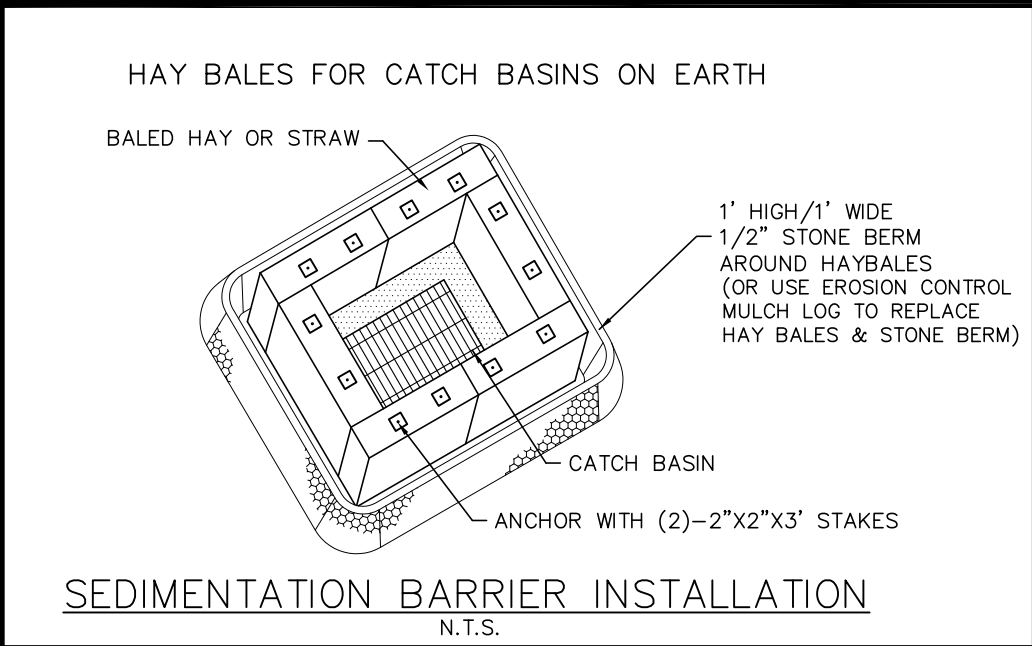
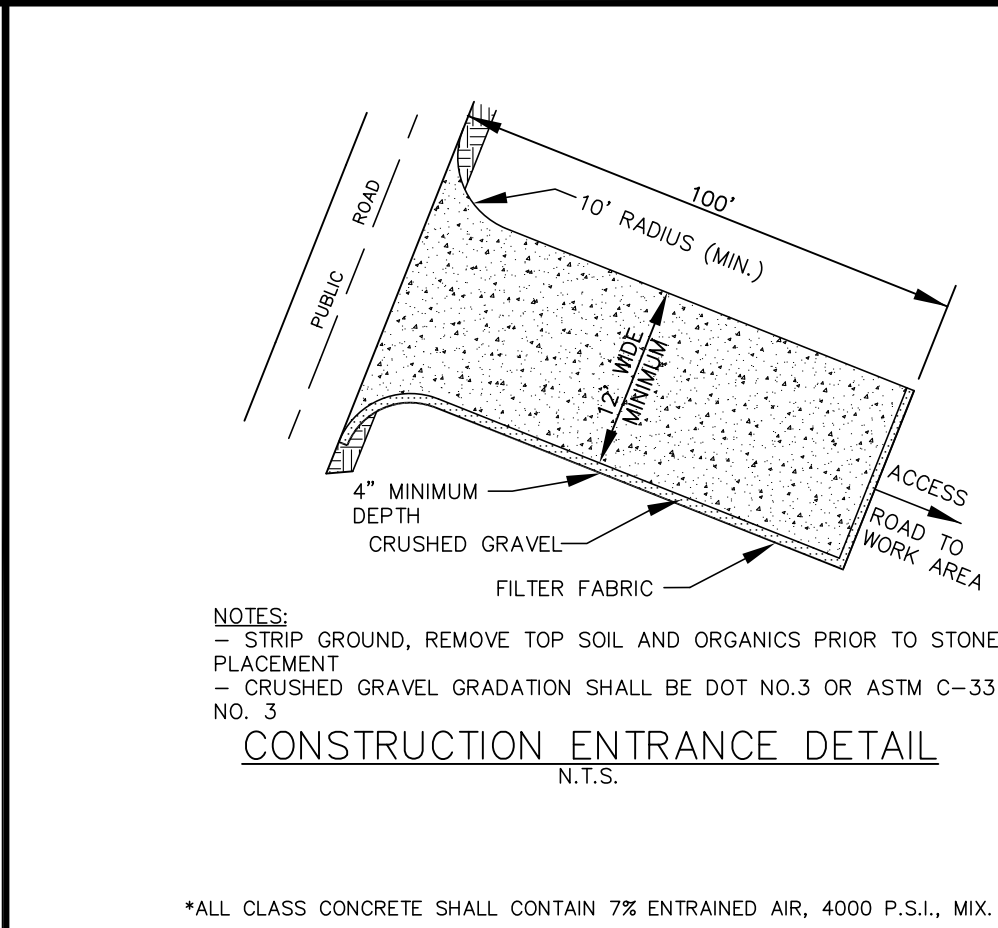
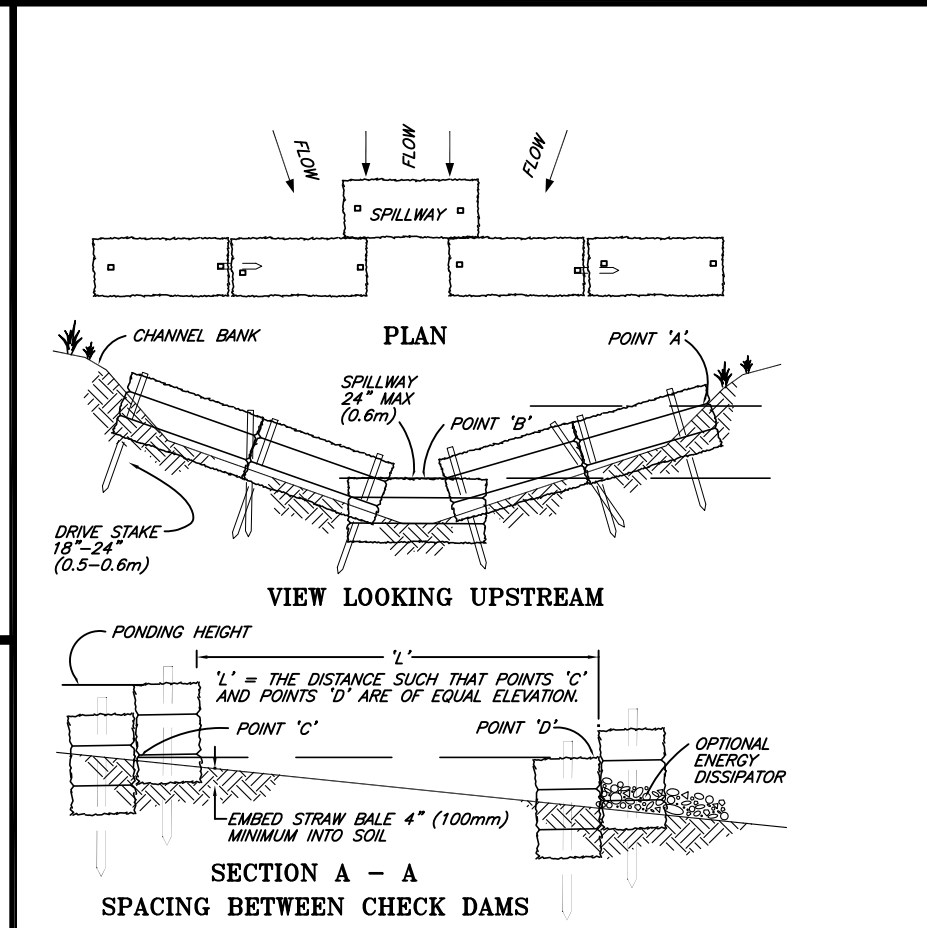
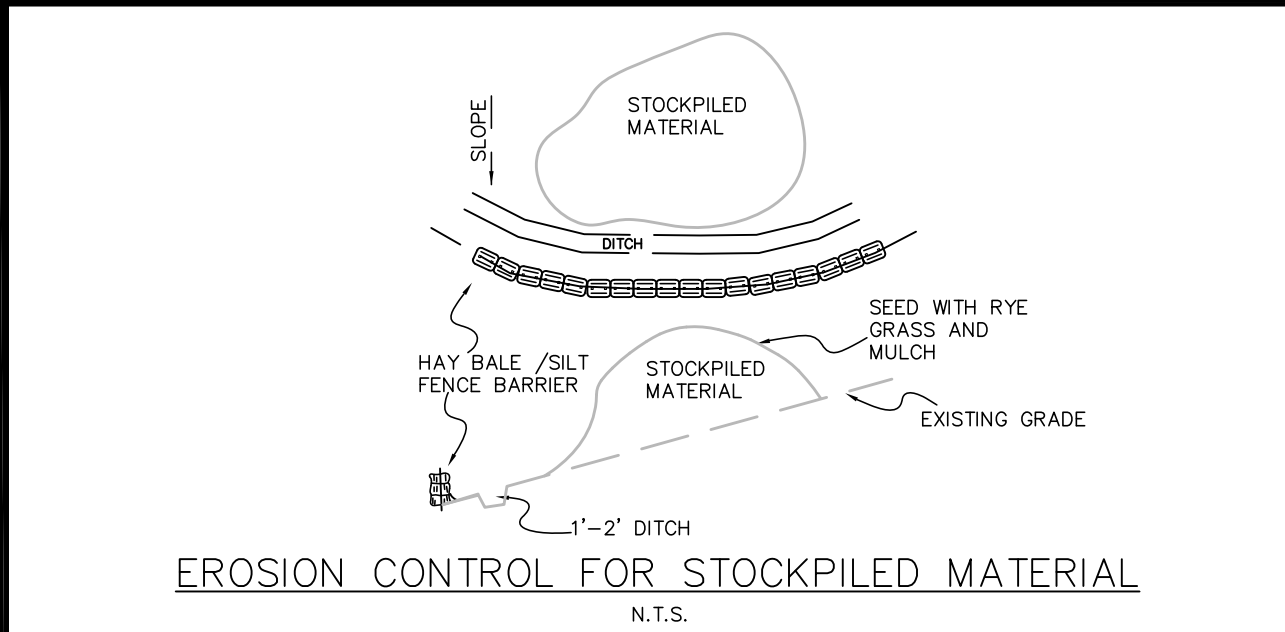
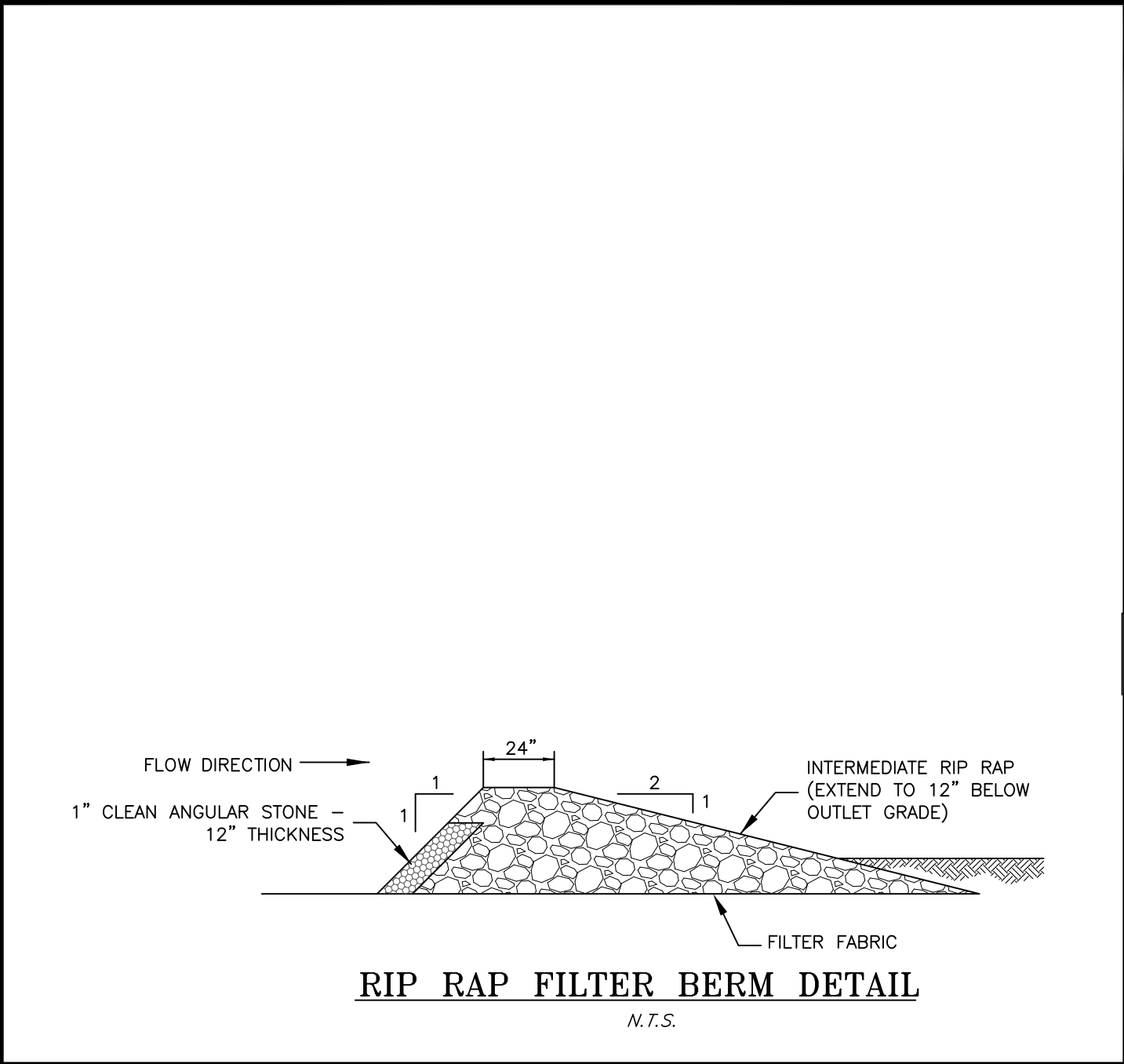
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DATE: AUGUST 2, 2022

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INCHES ON ORIGINAL

KJA FILE NO. : DRAWING NO. :

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REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION:		
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REVISION-2:		
REVISION-1:		
PROJECT: 213707		
DB:	SR:	DR:
MPT	DATE: 0000-00-00	DATE: 0000-00-00

NOT ALL DETAILS ON THIS PLAN MAY BE APPLICABLE

James N. Sakonchick
CT P.E. & L.S. #11302

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EROSION & SEDIMENTATION CONTROL DETAILS

for
STARLING PHYSICIANS

#1908 WEST STREET
SOUTHINGTON, CT

SCALE: AS NOTED
DATE: AUGUST 2, 2022

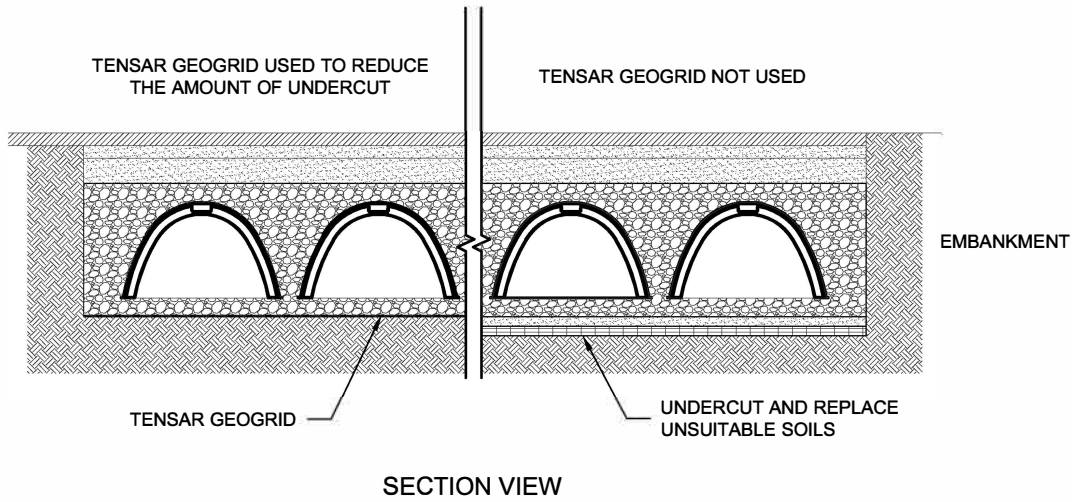
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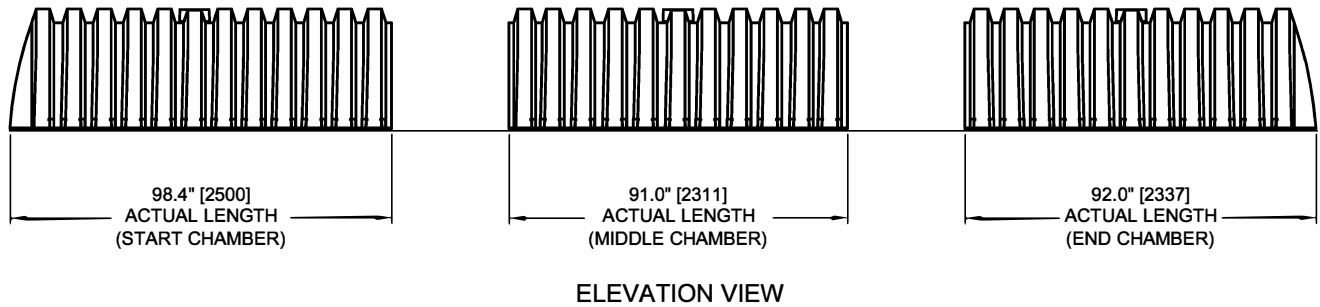
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TYPICAL FOUNDATION DETAIL



TYPICAL CHAMBER ROW DETAIL

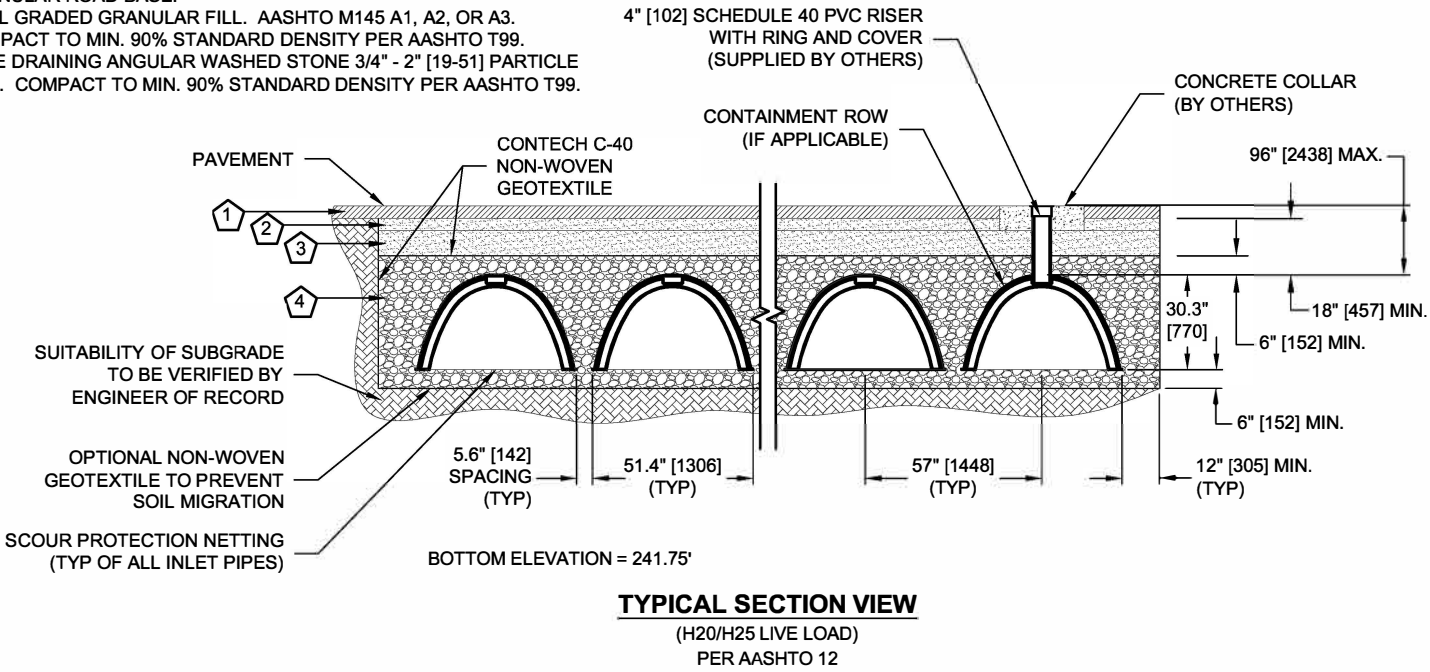
BACKFILL MATERIAL
THE CHAMBER SYSTEM INCORPORATES TWO TYPES OF BACKFILL MATERIAL

FREE DRAINING ANGULAR WASHED STONE 3/4 TO 2-INCH [19 TO 51] PARTICLE SIZE COMPACTED TO 90% AASHTO T99 IS USED AROUND THE CHAMBERS. THIS MATERIAL IS USED AROUND THE CHAMBERS AND WITHIN A MINIMUM OF 6-INCHES (152 MM) BELOW AND 6-INCHES [152] ABOVE THE CHAMBERS. THE REMAINING SPACE SHOULD BE FILLED WITH AN ANGULAR, WELL-GRADED GRANULAR FILL MEETING THE REQUIREMENTS OF AASHTO M145 A1, A2 OR A3, COMPACTED TO 95% AASHTO T99.

CONTECH C-40 NON-WOVEN GEOTEXTILE SHOULD BE USED BETWEEN THE TWO LAYERS OF BACKFILL MATERIAL. SEE DETAIL BELOW.

KEY

1. RIGID OR FLEXIBLE PAVEMENT.
2. GRANULAR ROAD BASE.
3. WELL GRADED GRANULAR FILL. AASHTO M145 A1, A2, OR A3. COMPACT TO MIN. 90% STANDARD DENSITY PER AASHTO T99.
4. FREE DRAINING ANGULAR WASHED STONE 3/4" - 2" [19-51] PARTICLE SIZE. COMPACT TO MIN. 90% STANDARD DENSITY PER AASHTO T99.



CHAMBERMaxx™
PATENT PENDING

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800-338-1122 513-645-7000 513-645-7993 FAX

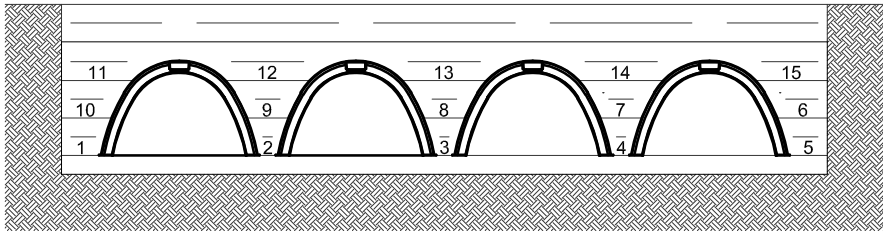
**CHAMBERMAXX STORMWATER RETENTION SYSTEM
STANDARD INSTALLATION DETAIL**

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BACKFILL PLACEMENT

PLACE BACKFILL MATERIAL IN 6 TO 8-INCH [152 TO 203] LOOSE LIFTS AND COMPACT. USE MECHANICAL HAND TAMPERS OR APPROVED COMPACTING EQUIPMENT TO COMPACT ALL BACKFILL AND EMBANKMENT IMMEDIATELY ADJACENT TO EACH SIDE OF THE INSTALLATION AND OVER TOP OF THE INSTALLATION TO A MINIMUM DEPTH OF 18-INCHES [457]. PLACE BACKFILL SO THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANYTIME DURING THE BACKFILLING PROCESS. ADVANCE THE BACKFILL ALONG THE LENGTH OF THE CHAMBER SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE CHAMBERS. BACKFILLING AT DIFFERENTIAL HEIGHTS FROM ONE SIDE OF THE CHAMBER TO THE OTHER IN EXCESS OF 16" [407] CAN CAUSE CHAMBER DISTORTION OR POTENTIAL COLLAPSE. ADVANCE BALANCED LIFTS ACROSS THE WIDTH OF THE SYSTEM EVENLY ALONG THE LENGTH OF THE CHAMBERS AS YOU BACKFILL. SEE TYPICAL BACKFILL SEQUENCE.

USE ONLY LIGHTWEIGHT TRACKED DOZERS (D-4 DOZER OR SMALLER) NOT EXCEEDING 1,100 LBS/SF [0.54 kg/cm²] GROUND PRESSURE TO SPREAD BACKFILL LIFTS OVER TOP OF THE CHAMBER SYSTEM. MAINTAIN A MINIMUM OF 6-INCH [152] COVER ON TOP OF CHAMBERS FOR THE INITIAL LIFTS. FOR LARGE SYSTEMS USE CONVEYOR SYSTEMS, BACKHOES WITH LONG REACHES OR DRAGLINES WITH STONE BUCKETS TO PLACE BACKFILL. ONCE MINIMUM COVER FOR CONSTRUCTION LOADING ACROSS THE ENTIRE WIDTH OF THE SYSTEM IS REACHED, ADVANCE THE EQUIPMENT TO THE END OF THE RECENTLY PLACED FILL, AND BEGIN THE SEQUENCE AGAIN UNTIL THE SYSTEM IS COMPLETELY BACKFILLED. THIS TYPE OF CONSTRUCTION SEQUENCE PROVIDES ROOM FOR STOCKPILED BACKFILL DIRECTLY BEHIND THE BACKHOE, AS WELL AS THE MOVEMENT OF CONSTRUCTION TRAFFIC. MATERIAL STOCKPILES ON TOP OF THE BACKFILLED CHAMBER SYSTEM SHOULD BE LIMITED TO SIX FEET IN TOTAL HEIGHT ABOVE THE STRUCTURE AND MUST PROVIDE BALANCED LOADING ACROSS ALL CHAMBERS. TO DETERMINE THE PROPER COVER OVER THE CHAMBERS TO ALLOW THE MOVEMENT OF CONSTRUCTION EQUIPMENT, CONTACT YOUR LOCAL CONTECH REPRESENTATIVE.



EMBANKMENT

TYPICAL BACKFILL SEQUENCE

CHAMBERMaxx™

PATENT PENDING

EQUIPMENT RESTRICTIONS DURING CHAMBERMAXX INSTALLATION

BACKFILL LEVEL (SEE TYP. SECTION VIEW ON SHEET 1)	ALLOWABLE CONSTRUCTION EQUIPMENT*
4 - BEDDING	NO RESTRICTIONS.
4 - BACKFILL TO TOP OF CHAMBERS	NO EQUIPMENT IS PERMITTED ON OR NEARBY THE CHAMBERS. CONVEYORS OR EXCAVATORS LOCATED SUCH THAT THEIR LOADS DO NOT INFLUENCE THE CHAMBERS SHOULD BE USED TO PLACE THE BACKFILL STONE. STONE SHOULD BE WORKED BETWEEN THE CHAMBERS BY HAND.
4 - BACKFILL OVER THE TOP OF THE CHAMBERS	NO WHEEL LOADS SHOULD BE APPLIED OVER THE SYSTEM. ONCE 6" [152] OF STONE HAS BEEN PLACED OVER THE CROWN OF THE CHAMBERS, LIGHTWEIGHT TRACKED DOZERS WITH A MAXIMUM GROUND PRESSURE OF 1,100 PSF ARE PERMITTED OVER THE STRUCTURE. DOZERS MUST SPREAD STONE WORKING IN A DIRECTION PARALLEL WITH THE CHAMBER ROWS; NOT WORKING ACROSS THE CHAMBER ROWS. ALSO, ONLY SMALL, WALK BEHIND COMPACTION EQUIPMENT CAN BE USED OVER THE CHAMBERS UNTIL A MINIMUM OF 12" [305] OF COVER IS OVER THE CHAMBERS.
2 OR 3 - SELECT FILL OVER THE CHAMBERS	ONCE 18" [457] OF COMPACTED MATERIAL IS OVER THE CHAMBERS, HIGHWAY VEHICLES WITH AXLE LOADS OF 32,000 POUNDS OR LESS CAN BE OPERATED OVER THE STRUCTURES. FRONT END LOADERS CAN BE OPERATED OVER THE STRUCTURES AS LONG AS THE MAXIMUM WHEEL LOAD DOES NOT EXCEED 16,000 POUNDS. COMPACTION EQUIPMENT CAN BE OPERATED OVER THE STRUCTURES AS LONG AS THE DYNAMIC FORCE FROM THE DRUM DOES NOT EXCEED 20,000 POUNDS AND THE GROSS VEHICLE WEIGHT DOES NOT EXCEED 12,000 POUNDS.
*ASK YOUR CONTECH REPRESENTATIVE IF YOU HAVE QUESTIONS ABOUT THE USE OF SPECIFIC PIECES OF CONSTRUCTION EQUIPMENT.	

NOTES

- 36" (900 MM) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR FULL DUMP TRUCK TRAVEL AND DUMPING.
- DURING PAVING OPERATIONS, DUMP TRUCK AXLE LOADS ON 18" (450 MM) OF COVER MAY BE NECESSARY. PRECAUTIONS SHOULD BE TAKEN TO AVOID RUTTING OF THE ROAD BASE LAYER, TO ENSURE THAT COMPACTION REQUIREMENTS HAVE BEEN MET, AND THAT A MINIMUM OF 18" (450 MM) OF COVER EXISTS OVER THE CHAMBERS. CONTACT CONTECH FOR ADDITIONAL GUIDANCE ON ALLOWABLE AXLE LOADS DURING PAVING.
- MINI-EXCAVATORS (<8,000LBS / 3,628KG) CAN BE USED WITH AT LEAST 12" 930MM) OF STONE OVER THE CHAMBERS.
- STORAGE OF MATERIALS SUCH AS CONSTRUCTION MATERIALS, EQUIPMENT, SPOILS, ETC. SHOULD NOT BE LOCATED OVER THE CHAMBERMAXX SYSTEM. PLEASE CONTACT CONTECH FOR MORE INFORMATION.
- ALLOWABLE TRACK LOADS BASED ON VEHICLE TRAVEL ONLY. EXCAVATORS SHALL NOT OPERATE ON CHAMBER BEDS UNTIL THE TOTAL BACKFILL REACHES 3 FEET (900MM) OVER THE ENTIRE BED.

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CHAMBERMAXX STORMWATER RETENTION SYSTEM
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