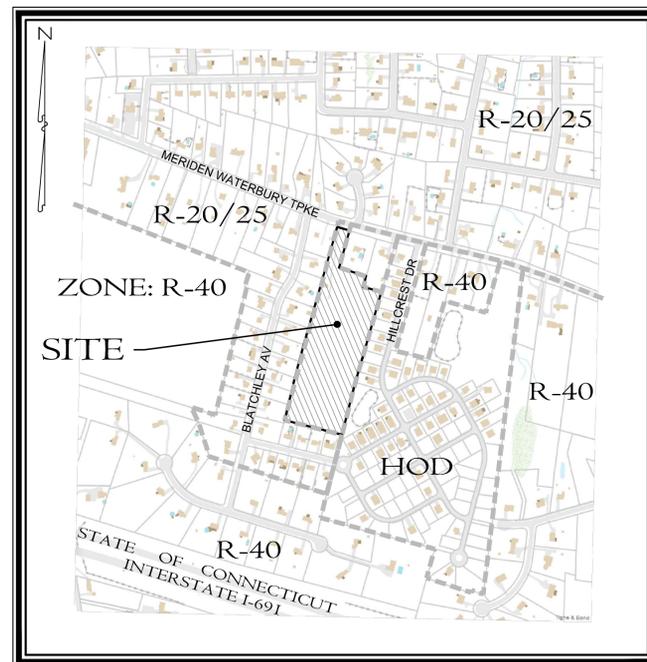


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Highland Ridge Active Adult Community

570 Meriden Waterbury Turnpike
Southington, Connecticut



KEY MAP

SCALE: 1"=500'

Sheet Index:

S1	Property & Topographic Survey Map
C1	Site Layout & Landscaping Plan
C2	Site Grading & Drainage Plan
C3	Site Sewer & Water Plan
P1	Plan and Profile - Highland Ridge Lane (Private)
ES1	Soil Erosion & Sedimentation Control Plan
D1	Details
D2	Details
D3	Details
DB1	Detention Basin Details

Applicant:

AA Denorfia Building & Development
133 Main Street
Southington, Connecticut

Property Owner:

Cecelia Docar
570 Meriden Waterbury Turnpike
Southington, Connecticut

Consultants:

Engineering & Surveying

Harry E. Cole & Son
P.O. Box 44 - 876 South Main Street
Plantsville, Connecticut 06489
Tel. (860) 628-4484 Fax (860) 620-0196

PREPARED FOR

AA Denorfia Building & Development

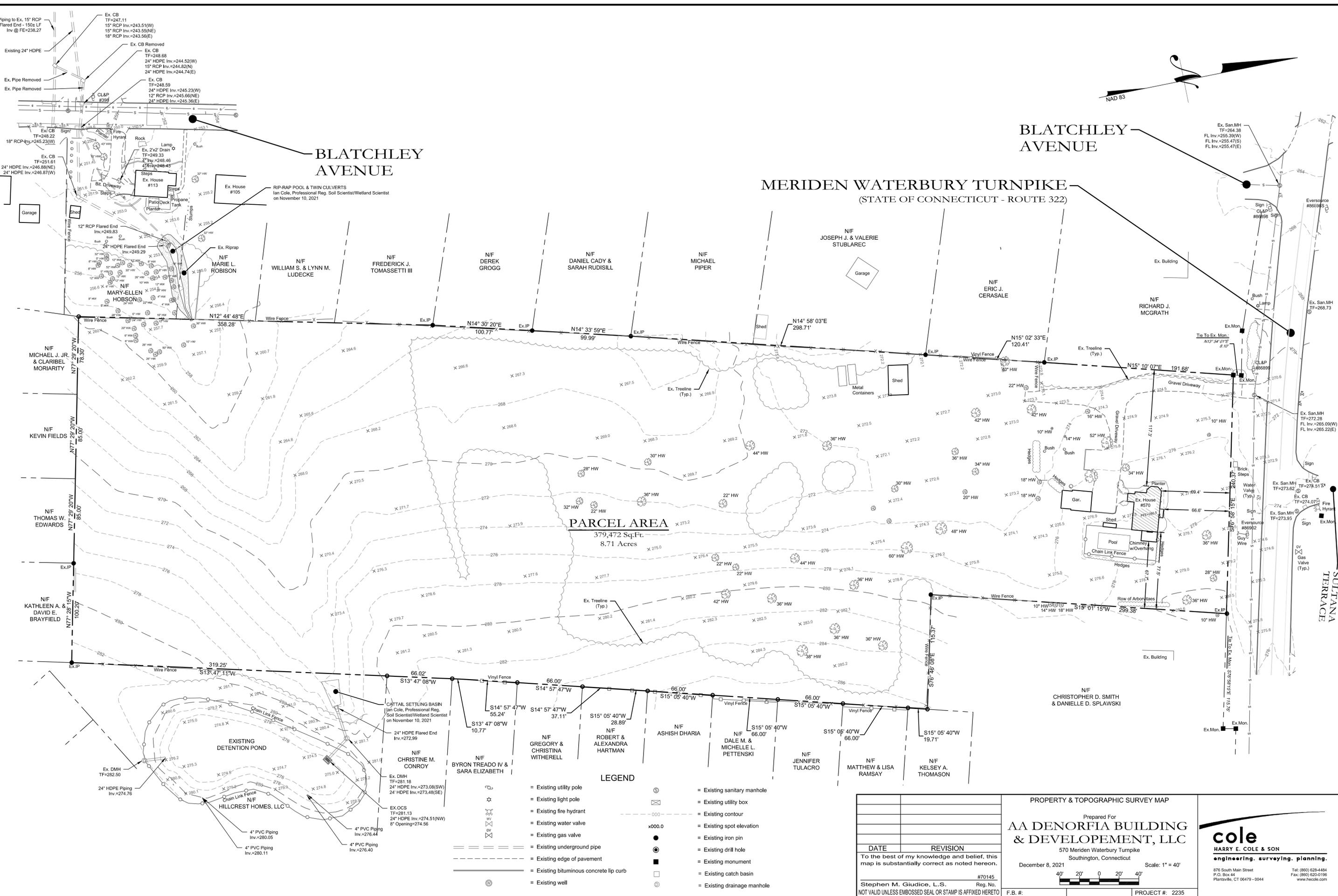
September 1, 2022

Revision Table

01	Sept. 26, 2022	Revised per Town Comments
	September 1, 2022	First Submittal Set

#2235

DRAWING NUMBER: P1 and P2; Project: 2235; AA Denorfia Building & Development, LLC; 570 Meriden Waterbury Turnpike, Southington, CT; Date: 12/08/2021; Scale: 1"=40'; Author: Stephen M. Giudice, L.S.; Title: Surveyor



BLATCHLEY AVENUE

BLATCHLEY AVENUE

MERIDEN WATERBURY TURNPIKE
(STATE OF CONNECTICUT - ROUTE 322)

PARCEL AREA
379,472 Sq.Ft.
8.71 Acres

LEGEND

PROPERTY & TOPOGRAPHIC SURVEY MAP

Prepared For
AA DENORFIA BUILDING & DEVELOPMENT, LLC
570 Meriden Waterbury Turnpike
Southington, Connecticut

December 8, 2021
Scale: 1" = 40'

DATE REVISION
To the best of my knowledge and belief, this map is substantially correct as noted hereon.
Stephen M. Giudice, L.S. #70145
Reg. No. F.B. #:

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HARRY E. COLE & SON
engineering. surveying. planning.

876 South Main Street
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Plainville, CT 06479-0044

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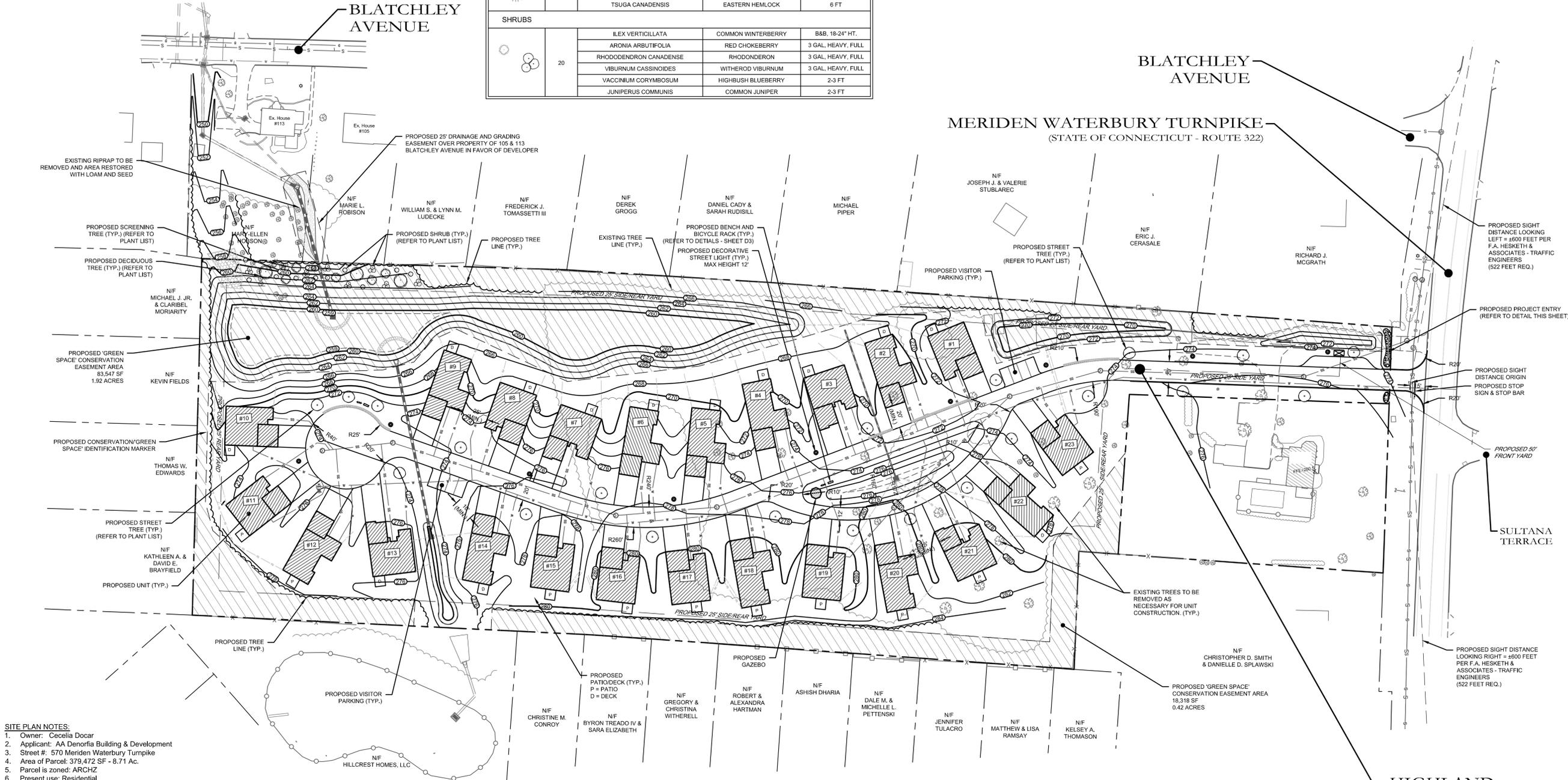
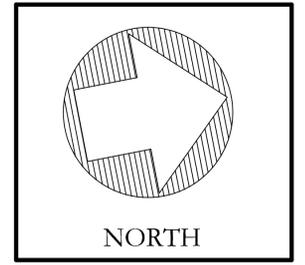
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PLANT LIST				
SYM.	QTY.	SCIENTIFIC NAME	COMMON NAME	CONDITION
STREET TREES				
[Symbol]	22	ACER RUBRUM	RED MAPLE	8 FEET IN HEIGHT & 2.5" CALIPER
		PRUNUS AMERICANA	AMERICAN PLUM	
		PRUNUS SARGENTII (flowering)	SARGENT CHERRY	
		TILIA CORDATA	LITTLE LEAF LINDEN	

PLANT LIST				
SYM.	QTY.	SCIENTIFIC NAME	COMMON NAME	CONDITION
STREET SHADE TREES				
[Symbol]	3	ACER RUBRUM	RED MAPLE	2" CALIPER
		ACER SACCHARUM	SUGAR MAPLE	
		PRUNUS AMERICANA	AMERICAN PLUM	
		PRUNUS SARGENTII (flowering)	SARGENT CHERRY	
SCREENING TREES				
[Symbol]	5	CUPRESSUS X LEYLANDII	LEYLAND CYPRESS	6 FT
		PICEA RUBENS	RED SPRUCE	6 FT
		TSUGA CANADENSIS	EASTERN HEMLOCK	6 FT
SHRUBS				
[Symbol]	20	ILEX VERTICILLATA	COMMON WINTERBERRY	B&B, 18-24" HT.
		ARONIA ARBUTIFOLIA	RED CHOKEBERRY	3 GAL. HEAVY, FULL
		RHODODENDRON CANADENSE	RHODODERON	3 GAL. HEAVY, FULL
		VIBURNUM CASSINOIDES	WITHERED VIBURNUM	3 GAL. HEAVY, FULL
		VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3 FT
		JUNIPERUS COMMUNIS	COMMON JUNIPER	2-3 FT

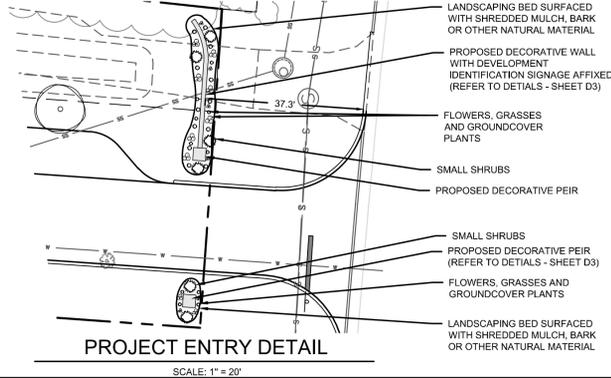
LEGEND

[Symbol]	= Existing utility pole	[Symbol]	= Existing edge of pavement
[Symbol]	= Existing light pole	[Symbol]	= Proposed curbing
[Symbol]	= Proposed Light	[Symbol]	= Existing/Proposed well
[Symbol]	= Existing fire hydrant	[Symbol]	= Existing catch basin
[Symbol]	= Proposed fire hydrant	[Symbol]	= Existing drainage manhole
[Symbol]	= Existing water valve	[Symbol]	= Existing sanitary manhole
[Symbol]	= Existing gas valve	[Symbol]	= Proposed catch basin
[Symbol]	= Existing underground pipe	[Symbol]	= Proposed manhole
[Symbol]	= Existing treeline	[Symbol]	= Existing utility box
[Symbol]		[Symbol]	= Proposed sidewalk ramp



- SITE PLAN NOTES:**
- Owner: Cecelia Docar
 - Applicant: AA Denorfia Building & Development
 - Street #: 570 Meriden Waterbury Turnpike
 - Area of Parcel: 379,472 SF - 8.71 Ac.
 - Parcel is zoned: ARCHZ
 - Present use: Residential
 - Proposed use: Residential - Age Restricted Cluster
 - No Wetlands are present per the Town of Southington Wetland Map.
 - Site to be serviced by town water and sewer.
 - All work in connection with this plan shall be completed within five years of the date of approval, or the approval is no longer valid.
 - Erosion and Sedimentation control shall conform to the "Connecticut Guidelines for Soil Erosion and Sediment Control" dated May 2002, and amended to date.
 - All site work shall conform to specifications as outlined in C.D.O.T. Form 818, dated 2020 and amended to date.
 - Any regulated activity in a designated Inland Wetland not a part of this plan shall require a separate Inland Wetland Permit.
 - All areas disturbed by construction to be restored with 4" of loam and seeded.
 - All exterior light fixtures shall be low intensity LED, Dark Sky Compliant, fully shielded fixtures. Light poles shall have a maximum height of 12 feet.
 - All Catch Basins/Inlets shall be cleaned prior to occupancy.
 - Underground fuel tanks are prohibited.
 - Town of Southington Planning and Engineering Departments to be notified at (860)-276-6248 and (860)-276-6231, 24 hours before site grading begins.
 - Prior to any excavation, contractor to notify "CALL BEFORE YOU DIG," 1-800-922-4455.
 - All existing utilities are from best available information, contractor to verify all locations, dimensions, and elevations prior to construction. Notify Engineer of any discrepancies.
 - No floor drains are proposed. Floor drains are not allowed without obtaining Connecticut DEEP permits.
 - Building permit required for construction of retaining walls over 3-ft tall. Design of retaining walls shall be provided by structural/geotechnical engineer prior to construction of walls.
 - All refuse to be collected by private company and all refuse containers to be store inside of units.

ZONING INFORMATION		
ITEM	REQUIRED	PROVIDED
ZONE	ARCHZ	ARCHZ
PROPOSED USE	Age Restricted Cluster Housing	Age Restricted Cluster Housing
LOT AREA	5 Acres	8.71 Acres
LOT FRONTAGE	75 ft	75 ft
FRONT YARD SETBACK	50 ft	> 100 ft
SIDE & REAR YARD SETBACK	25 ft	25.25 ft
MAX. BUILDING HEIGHT	32 ft	< 32 ft
MAX. IMPERVIOUS COVERAGE	50%	< 50%
MAX. DENSITY	5 Units per Acre	< 3 Units per Acre
GREEN SPACE	20% (1.72 Acres)	27% (2.34 Acres)



#13653
Barton N. Bovee P.E. Reg. No.
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876 South Main Street Tel: (860) 628-4484
P.O. Box 44 Fax: (860) 620-0196
Plainville, CT 06479 - 0044 www.heccole.com

PROJECT NAME:
HIGHLAND RIDGE ACTIVE ADULT COMMUNITY

570 Meriden Waterbury Turnpike
Southington, Connecticut

PREPARED FOR:
AA DENORFIA BUILDING & DEVELOPMENT

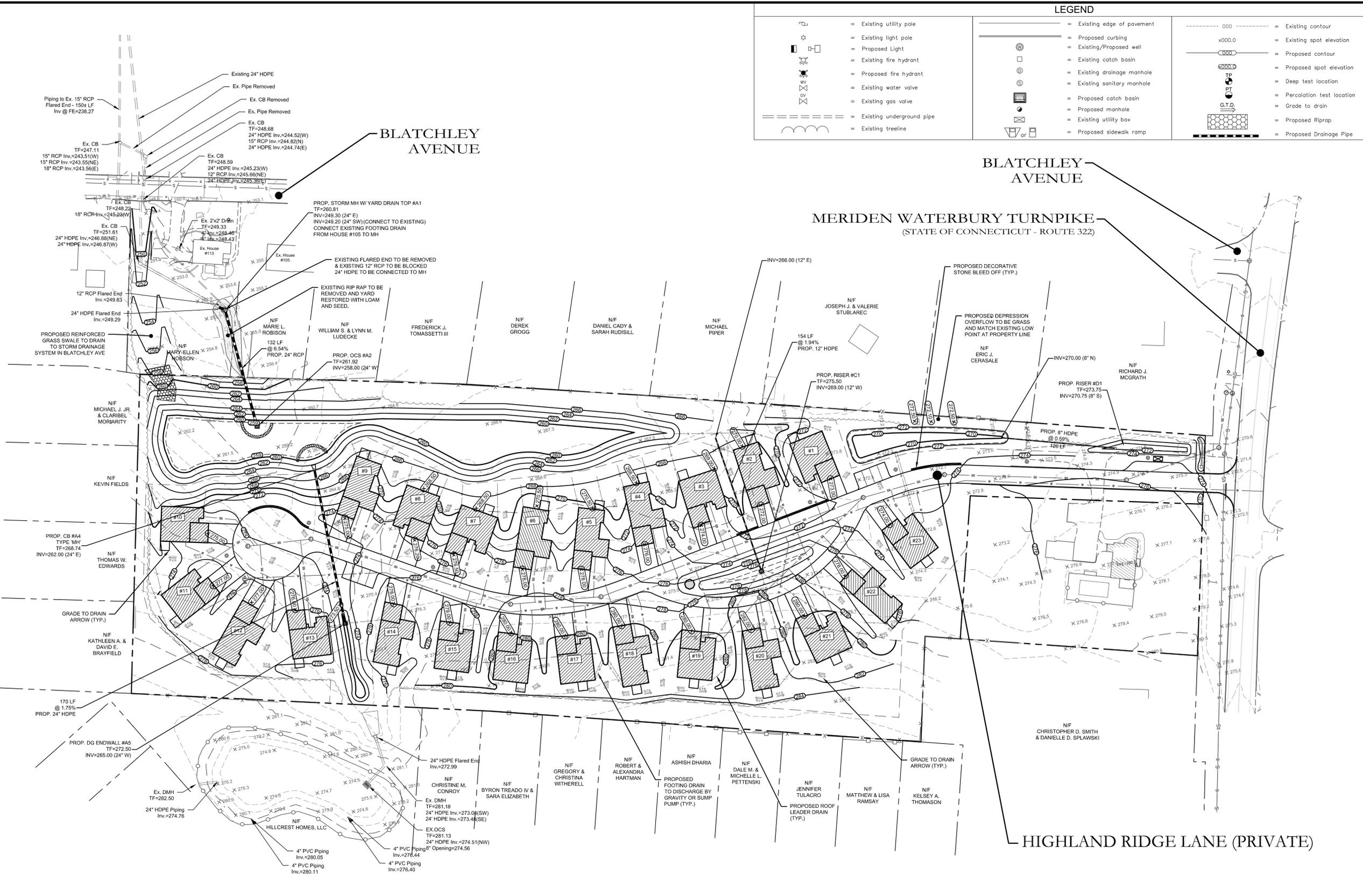
Sheet Description:
SITE LAYOUT & LANDSCAPING

Scale: 1"=50'
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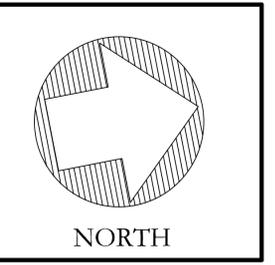
Date: September 1, 2022	F.B. #:
Project #: 2235	Approved By: BNB
Drawn By: BTP	
Revisions:	
Date:	Descriptions:
Sept. 26, 2022	Revised per Town Comments
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Sheet #:
C1

DRAWING NAME: P:\Lead Projects\2235-AA Denorfia Building & Development, LLC\2023\AA Denorfia Building & Development.ctb; DATE: 09/01/2023; TIME: 10:00:00 AM; USER: bnp; PLOT DATE: 09/01/2023; PLOT TIME: 10:00:00 AM; PLOT USER: bnp; PLOT DEVICE: HPGL; PLOT SCALE: 1"=50'; PLOT SHEET: C2



LEGEND	
	= Existing utility pole
	= Existing light pole
	= Proposed Light
	= Existing fire hydrant
	= Proposed fire hydrant
	= Existing water valve
	= Existing gas valve
	= Existing underground pipe
	= Existing treeline
	= Proposed curb
	= Existing/Proposed well
	= Existing catch basin
	= Existing drainage manhole
	= Existing sanitary manhole
	= Proposed catch basin
	= Proposed manhole
	= Existing utility box
	= Proposed sidewalk ramp
	= Existing contour
	= Existing spot elevation
	= Proposed contour
	= Proposed spot elevation
	= Deep test location
	= Percolation test location
	= Grade to drain
	= Proposed Riprap
	= Proposed Drainage Pipe



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PROJECT NAME:
**HIGHLAND RIDGE
ACTIVE ADULT
COMMUNITY**

570 Meriden Waterbury Turnpike
Southington, Connecticut

PREPARED FOR:
**AA DENORFIA
BUILDING &
DEVELOPMENT**

Sheet Description:
**SITE GRADING &
DRAINAGE PLAN**

Scale:
50' 25' 0' 25' 50'
1"=50'

Date: September 1, 2022

Project #: 2235 F.B. #:
Drawn By: BTP Approved By: BNB

Revisions:

Date:	Descriptions:
Sept. 26, 2022	Revised per Town Comments
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- PLAN NOTES:**
- Additional notes located on Sheet C1.
 - All site work shall conform to specifications as outlined in C.D.O.T. Form 818, dated 2020 and amended to date.
 - Maximum earth slopes shall be two feet horizontal to one foot vertical.
 - All areas disturbed by construction to be restored with 4" of loam and seeded.
 - Roof drains shall daylight to grass lawn areas.
 - All Catch Basins/Inlets shall be cleaned prior to occupancy.
 - Town of Southington Planning and Engineering Departments to be notified at (860)-276-6248 and (860)-276-6231, 24 hours before site grading begins.
 - Prior to any excavation, contractor to notify "CALL BEFORE YOU DIG." 1-800-922-4455.
 - All existing utilities are from best available information, contractor to verify all locations, dimensions, and elevations prior to construction. Notify Engineer of any discrepancies.
 - No floor drains are proposed. Floor drains are not allowed without obtaining Connecticut DEEP permits.
 - Building permit required for construction of retaining walls over 3-ft tall. Design of retaining walls shall be provided by structural/geotechnical engineer prior to construction of walls.



#13653
Barton N. Bovee P.E. Reg. No.
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Sheet #:
C2

DRAWING NAME: P1 Land Project 22335AA Highland Ridge Active Adult Community, Southington, CT; Date: 09/26/2022; 11:11 AM; P1 - Plan and Profile; User: BNP; Scale: 1/8"=1'-0"; Plot Date: 09/26/2022; 11:11 AM; Operator: BNP

MERIDEN WATERBURY TURNPIKE
(STATE OF CONNECTICUT - ROUTE 322)

HIGHLAND RIDGE LANE (PRIVATE)

FOOTING DRAINS TO DISCHARGE BY GRAVITY OR SUMP PUMP TO DAYLIGHT OR STORMWATER COLLECTION SYSTEM THE REQUIREMENT AND DISCHARGE METHOD OF FOOTING DRAINS SHALL BE EVALUATED WITH EACH PLOT PLAN. USE OF BACKFLOW CHECK VALVES AND PUMP CONNECTIONS IS RECOMMENDED TO MINIMIZE THE POTENTIAL OF BACKFLOWS FROM THE DRAINAGE SYSTEM TO FOUNDATION DRAINS.

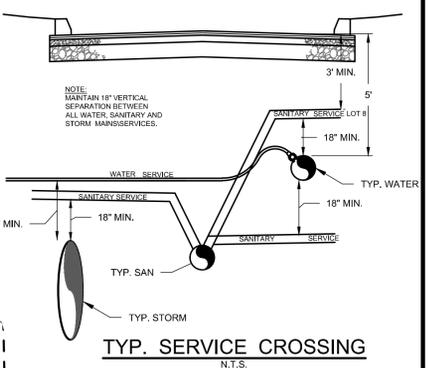
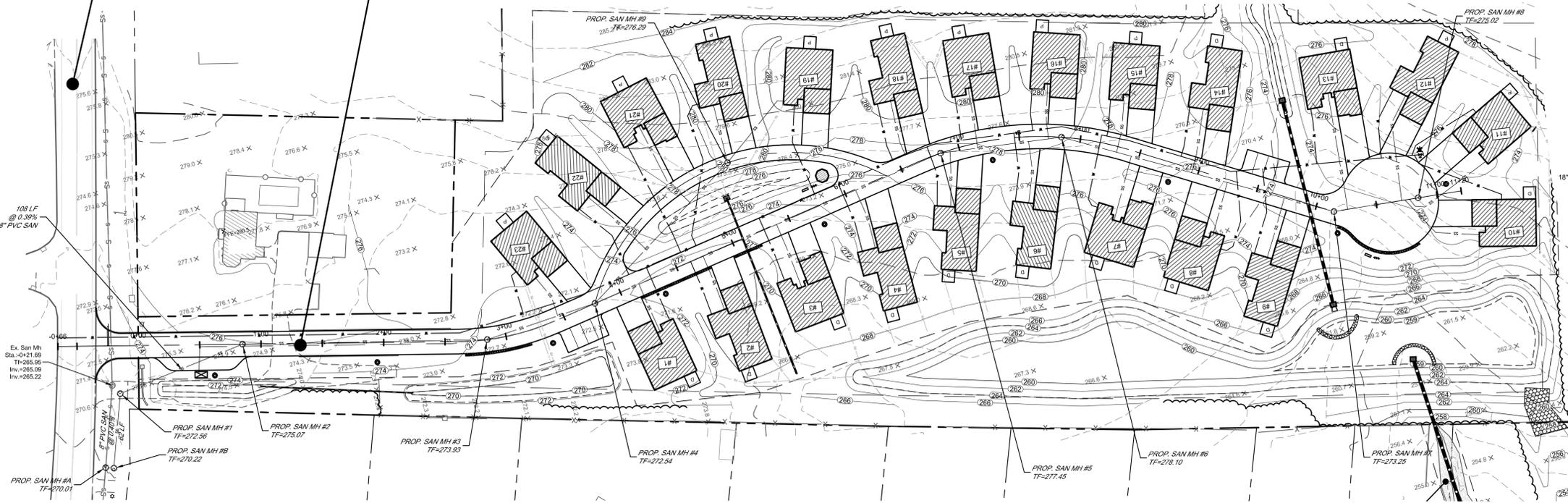
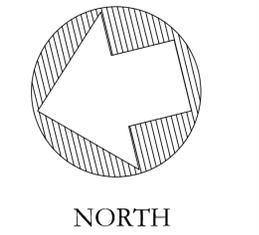
CONSTRUCT DETENTION BASIN, INCLUDING BERMS AND FOREBAYS, PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. BASIN SHALL BE USED AS TEMPORARY SEDIMENTATION BASIN AND DEWATERING BASIN DURING CONSTRUCTION. EXCESS SILT AND MATERIAL SHALL BE REMOVED AFTER ESTABLISHING FINAL GRADES FOR THE SITE.

LEGEND

- = Existing utility pole
- = Existing light pole
- = Proposed Light
- = Existing fire hydrant
- = Proposed fire hydrant
- = Existing water valve
- = Proposed water valve
- = Existing gas valve
- = Proposed gas valve
- = Existing underground pipe
- = Proposed underground pipe
- = Existing treeline
- = Existing edge of pavement
- = Proposed curbing
- = Existing/Proposed well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Proposed catch basin
- = Proposed manhole
- = Existing utility box
- = Proposed sidewalk ramp

LEGEND

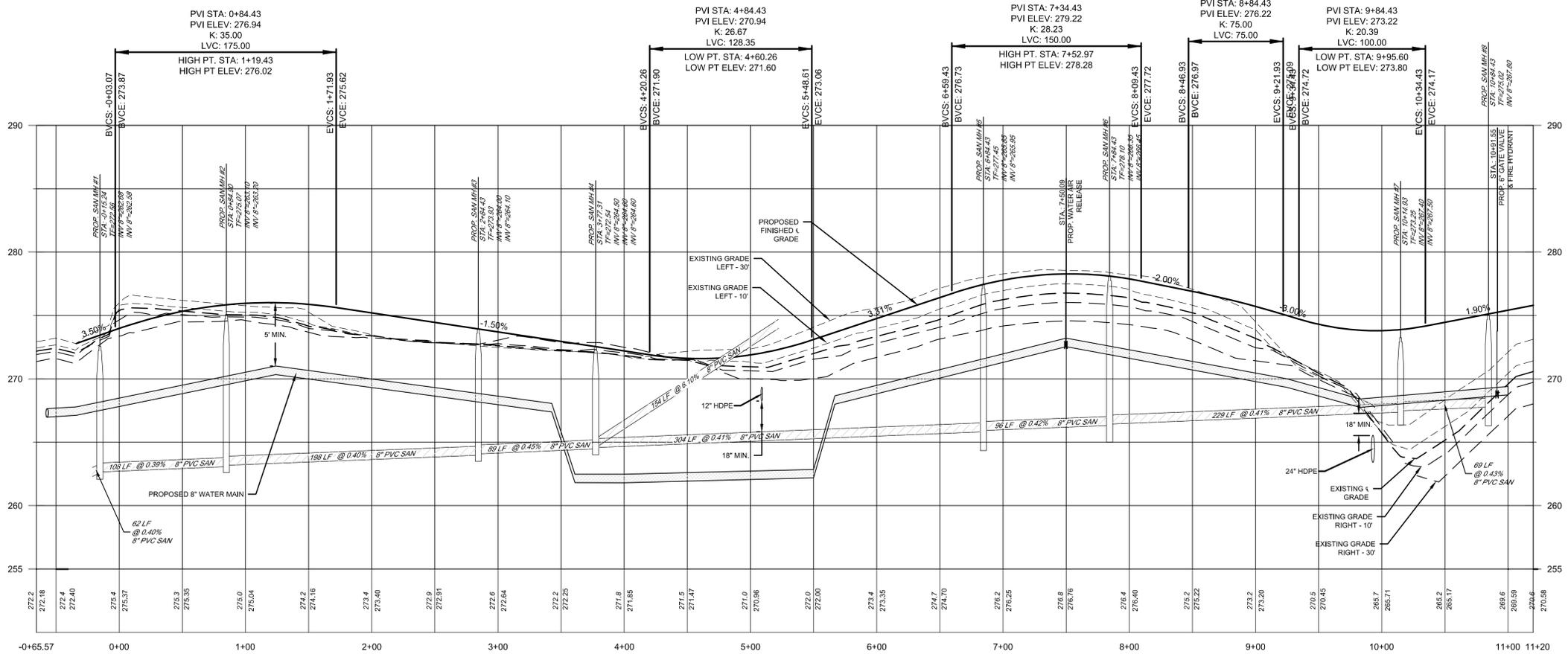
- = Existing contour
- = Existing spot elevation
- = Proposed contour
- = Proposed spot elevation
- = Deep test location
- = Percolation test location
- = Grade to drain
- = Proposed Riprap
- = Proposed Drainage Pipe



PLAN: 1"=50'
PROFILE: H/1"=50'
V/1"=5'

PLAN & PROFILE NOTES:

1. Prior to any excavation, contractor to notify "Call Before You Dig" at 1-800-922-4455.
2. All existing utilities shown are from best available information.
3. Contractor required to field verify all dimensions, elevations, quantities, and details prior to any construction.
4. Elevations are based on NAVD 88 datum.
5. All construction to conform to C.D.O.T. Form 818 as amended to date.
6. All catch basins to be C.H.D. type "C" unless otherwise noted, all catch basins shall have a two foot sump, minimum.
7. All storm drainage pipe to be HDPE, unless otherwise noted.
8. All public work in connection with this plan shall be completed within five years of the date of approval, or the approval is no longer valid.
9. Planning and Engineering Departments to be notified, 24 hours before any construction activity begins.
10. Any regulated activity in a designated inland wetland area not a part of this plan shall require a Special Permit.
11. Under drains to be installed at the time of construction, if deemed necessary by the Town Engineer.
12. Hydrants shall be set plumb with outlets 18" (0.46m) above finished grade.
13. Installation of street lighting shall be the responsibility of the developer.
14. On-site safety and regulatory signage as deemed necessary by the Police Department shall be installed at the expense of developer. The developer shall meet with the Police Department to review signage needs prior to the acceptance of the roadway and release of improvement bonds.
15. The town shall not maintain responsibility or maintenance of the road until the street has been accepted by town. Maintenance, including snowplowing, shall be the responsibility of the developer until such a time as the road is accepted by the town.
16. No Certificate of Occupancy shall be issued until all site work is completed, or when specifically approved by the Planning and Zoning Commission. A temporary C.O. may be issued upon the posting of a bond.
17. Groundwater Barriers may be required at the discretion of the Engineering Department.
18. Footing Drains depicted within ROW shall be 6" PVC with minimum slope of 1/4" per foot. Drains shall be stub to the property line and marked with a 4"x4" post.



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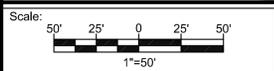
Tel: (860) 628-4484
Fax: (860) 620-0196
www.hecole.com

PROJECT NAME:
HIGHLAND RIDGE ACTIVE ADULT COMMUNITY

570 Meriden Waterbury Turnpike
Southington, Connecticut

PREPARED FOR:
AA DENORFIA BUILDING & DEVELOPMENT

Sheet Description:
**PLAN AND PROFILE
HIGHLAND RIDGE LANE (PRIVATE)**



Date: September 1, 2022

Project #: 2235 F.B. #: ---

Drawn By: BTP Approved By: BNB

Revisions:

Date:	Descriptions:
Sept. 26, 2022	Revised per Town Comments
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Sheet #:
P1

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE:

A. PROJECT INFORMATION

1. **Project Description** - The project site consist of one 8.71 acre site at 570 Meriden Waterbury Turnpike in Southington, Connecticut.
2. **Area of Development** - 7.0± Acres.
3. **Area Proposed Disturbance Due to Construction Activities** - 6.5± Acres.
4. **Estimated Start of Construction** - 2022.
5. **Estimated Construction Completion Date** - 2025.

B. SEQUENCE OF CONSTRUCTION

The tentative sequence of construction events are as follows and activities noted by a "(Capital Letter)" may occur concurrently.

1. Conduct a pre-construction meeting with the OWNER, Contractor, Consultant Team, and Local, County and State agencies having jurisdiction over the project.
2. Field stakeout the limits of all activities and install, at a minimum, a snow fence along construction limit lines along environmentally sensitive and tree protection areas. Silt fencing may be substituted where it coincides with this line, but only as approved by the OWNER. (A)
3. Install silt fence along all sides contiguous to wetlands, watercourses and property owned by others affected by the work. Refer to the Soil Erosion and Sedimentation Control Plan for locations. (A)
4. After each rain storm monitor the sedimentation and erosion control structures, which may include riprap channels, sediment basins, plunge pools, etc. Routinely remove sediment during construction when controls exceed one half (1/2) their capacity, sediment shall be disposed of in an environmentally acceptable manner at an approved location. (A)
5. Clear vegetation within project limits, except trees designated to remain or in question, as shown on the plans. The decision of how questionable trees are to be treated shall rest with the OWNER and coordinated through the local agency having jurisdiction as construction progresses. All trees and shrubs less than 6" in diameter, and not to remain, shall be chipped and stored on site for mulch. (A)
6. Remove stumps and dispose of at a bulky waste site approved by the ENGINEER and local official having jurisdiction. Disposal of stumps within rural pits on-site shall be prohibited. (B)
7. Construct all temporary sedimentation and erosion control structures, including but not limited to: silt fence, stone check dams, water breaks, and sediment traps/basins. All structures and their locations shall be approved by the ENGINEER or the Inland Wetlands Enforcement Officer. Prior to the next phase of construction. (B)
8. Install drainage outfall pipe and temporary sediment basin along with temporary drainage diversions to sediment basin. If the proposed detention basin is to be used as a temporary sediment trap/basin and an outlet control structure is to be installed, all orifices and weirs are to be plugged water tight during construction. (B)
9. Strip topsoil and subsoil materials as required and stockpile them at locations that will not adversely impact any down gradient wetlands. Stockpiles may be relocated to meet job conditions but are subject to the ENGINEER'S approval. Provide temporary erosion controls on the downside slopes of all stockpiles. (B)
10. Bring proposed site entrance surface areas to rough subgrade.
11. Conduct all rough cuts and fills for proposed buildings and associated parking. Making sure that all fill material is free of brush, rubbish, large boulders, logs, stumps and other objectionable materials. (C)
12. If blasting is required for any cuts, all proposed work is to be coordinated with all local officials having jurisdiction. The contractor is required to obtain all permits for blasting operations in accordance with local and state regulations and conduct a pre-blast survey of surrounding properties. Rock spall is to be disposed of in an appropriate manner as the site development plan may show or is locally permitted. (C)
13. Provide temporary seeding measures on all exposed soil which were damaged due to construction activities, are outside of construction traffic zones, and are not to be permanently restored or for a period in excess of thirty (30) days. Seeding and seedbed preparation are as specified herein or as indicated on the landscape plan. (C)
14. Excavate for and install storm drainage systems. Install strawbale ring sediment barriers at all catch basins locations. (C)
15. Excavate for and install utilities. (C)
16. Building construction may begin pending building permit and run concurrently with the remaining site activities. (C)
17. Bring proposed roadway areas to pavement subgrade with processed stone and install binder course and curbing. Refer to details. (D)
18. Construct all driveway entrance improvements as indicated on plans. (E)
19. Complete final subgrading for all grassed and landscaped areas. Prepare subgrades for placing a minimum of four inches of topsoil. Place topsoil only when permanent seeding and landscaping can flow within a reasonable time frame. (E)
20. Exercise final landscaping plan and permanent seeding to provide long-term stabilization. (E)
21. Complete final paving with top course and paint surfaces with pavement markings. (E)
22. Clean and remove all silt from within drainage structures and dispose of materials in an environmentally acceptable manner. (F)
23. Remove temporary measures once permanent measures have matured as approved by the Municipality's enforcement officer. (F)
24. Conduct final inspection with Municipality to identify deficiencies and establish punch list based on approved plans; complete to the satisfaction of the Municipality.
25. Construction Staging:
 - a. Stage #1 - Rough grade site, stabilize steep slopes. Construct temporary sedimentation control measures, detention and retention basins.
 - b. Stage #2 - Install subsurface storm water systems, install underground utilities and first coat pavement.
 - c. Stage #3 - Complete parking areas, finish grade site and loam and seed all disturbed areas.

GENERAL NOTES:

1. Additional notes and details are located on Sheet D1.
2. At all times during construction, the Developer/Contractor shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer/Contractor shall also be responsible for installing and maintaining all erosion control facilities shown herein.
3. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disk along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street right-of-way and future pavement shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. watering, seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Town Engineer.
4. All inlets shall be cleaned prior to occupancy.
5. All slopes greater than 3:1 shall be protected with Erosion Control Blankets (S150 by North American Green or approved equal)
6. All erosion control measures shall remain intact and operational until the site has been stabilized and vegetation is thoroughly established. This may occur after completion of construction, therefore it is critical for the Developer, Contractor and/or Owner to understand the erosion control responsibilities and maintain the erosion control measures.
7. To minimize erosion of the sandy soils, vegetation shall be established immediately following completion of grading within each area. Vegetation may consist of temporary seeding or final loam and seed.
8. If areas of work are not addressed by this plan or sediment and erosion issues arise in areas not covered by this plan, then the plan shall be augmented in the field. Contractor shall be responsible to insure no sediment or erosion problems encroach upon abutting property. This may require additional barriers, swales and bales.
9. All erosion and sediment control measures shall conform to the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control manual.
10. All Dewatering shall incorporate the use of filter bags on discharge ends.

STORMWATER MANAGEMENT MAINTENANCE SCHEDULE
SOUTHINGTON, CONNECTICUT

The following are the required maintenance and monitoring procedures.

Riprap and Discharge Acrons - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for rip-rap damage and deterioration. These procedures to be conducted yearly between May 1 and before September 15.

Outlet Control Structure - Shall be cleaned of all sediment, trash and debris and is to be inspected for structural integrity. These procedures to be conducted yearly between May 1 and September 15. Structure shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections. Repairs shall be executed immediately.

Emergency Spillway - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for riprap damage and deterioration. These procedures to be conducted yearly between May 1 and September 15. Repairs shall be executed immediately.

Catch Basins - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures to be conducted yearly anytime after May 1 and before September 15.

Swales - all swales be cleared of all sediment deposits, invasive plant species and debris. Any erosion shall be repaired. These procedures to be conducted annually. Swales shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

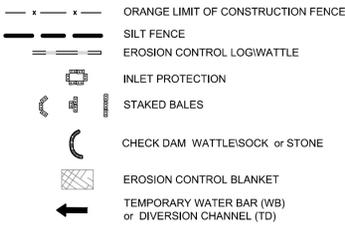
Water Quality Basin - Basin shall be cleared of all sediment deposits, invasive plant species and debris. These procedures to be conducted yearly between May 1 and September 15. Basin shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

Slopes - Slope erosion control blankets and vegetation shall be inspected twice a year and after significant rainfall events. Additional maintenance, beyond schedule maintenance, may be required based upon inspections. Any rills or channeling shall be repaired immediately.

C. RESPONSIBILITY

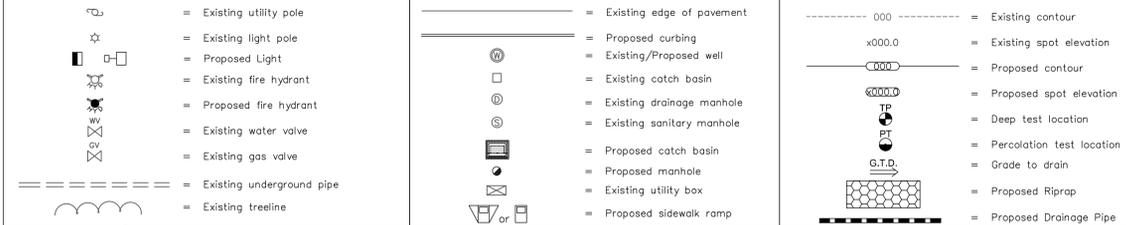
1. The responsibility for implementing and maintaining the Soil Erosion and Sedimentation Control Plan rests with the OWNER OF RECORD where any development of the parcel gives cause to erosion and sedimentation. It is also to be said that the OWNER OF RECORD shall be held responsible for informing all concerned regarding responsibility of the SE&S plan and seeing that the plan becomes a part of the deed in the event the title of the property is transferred. The costs of all drainage erosion and sedimentation control measures will therefore rest with the OWNER OF RECORD.
2. **SESC Emergency Contact Information**
Emergency Contact Name: AA Denorfia Building & Development
Emergency Contact Phone Number: (860) 628-9671

EROSION CONTROL SYMBOL LEGEND



*SYMBOLS DEPICTED IN LEGEND AND PLAN ARE NOT DRAWN TO SCALE. SEE DETAILS FOR SPECIFIC INFORMATION

LEGEND



TEMPORARY STORMWATER MANAGEMENT MAINTENANCE SCHEDULE (DURING CONSTRUCTION)

The following are the required maintenance and monitoring procedures

Swales - All swales shall be moved and be cleared of all sediment deposits, invasive plant species and debris. These procedures shall be conducted monthly. Swales shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

Catch Basins - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures shall be conducted monthly. Basins shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

Slopes - Stabilized slopes are essential to preventing sediment movement. Any channels of concentrated flow, such as rills, shall be fixed immediately. Additional control measures, such as bales, riprap, sediment fence and erosion fabric may be required. Slopes shall be inspected weekly and after significant rainfall events.

Sediment Barriers & Straw Bales - Shall be inspected weekly and after significant rainfall events. Repairs shall be made immediately. Additional barriers and bales may be required depending upon the area of work. If conditions exist which can not be addressed with this plan, then additional barriers shall be implemented to prevent sediment from leaving the site.

Street Sweeping - Sediment from the construction site, which has accumulated on the existing streets shall be cleaned up immediately. Contractor to inspect daily.

Wind Blown Sediment - Shall be minimized. Unpaved travel ways shall be sufficiently watered to minimize wind blown sediment. Other unpaved surfaces shall be watered, temporary vegetated, roughing with disc or other measures in the Connecticut Guidelines for Soil Erosion and Sediment Control manual.



HIGHLAND RIDGE LANE (PRIVATE)



Know what's below.
Call before you dig.

I hereby certify that this plan is in compliance with the Town of Southington Soil Erosion and Sedimentation control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended.

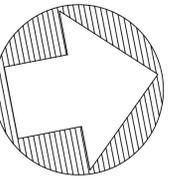
(Signature) _____

(Name) Barton N. Bovee Certificate NO. #13653

Signature _____ #13653

Date of approval _____

Barton N. Bovee P.E. Reg. No. 13653
NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO



NORTH

cole
HARRY E. COLE & SON
engineering. surveying. planning.

876 South Main Street Tel: (860) 628-4484
P.O. Box 44 Fax: (860) 620-0196
Plainville, CT 06479 - 0044 www.heccole.com

PROJECT NAME:

HIGHLAND RIDGE
ACTIVE ADULT
COMMUNITY

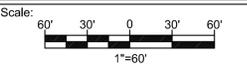
570 Meriden Waterbury Turnpike
Southington, Connecticut

PREPARED FOR:

AA DENORFIA
BUILDING &
DEVELOPMENT

Sheet Description:

SOIL EROSION &
SEDIMENTATION
CONTROL PLAN



Date: September 1, 2022

Project #: 2235

F.B. #: ---

Drawn By: BTP

Approved By: BNB

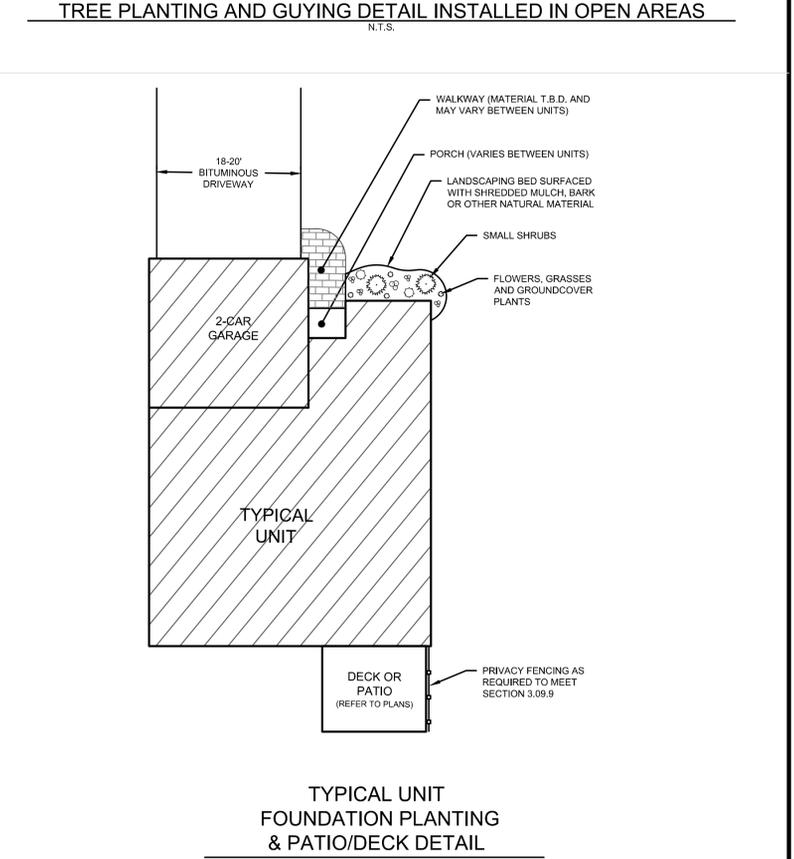
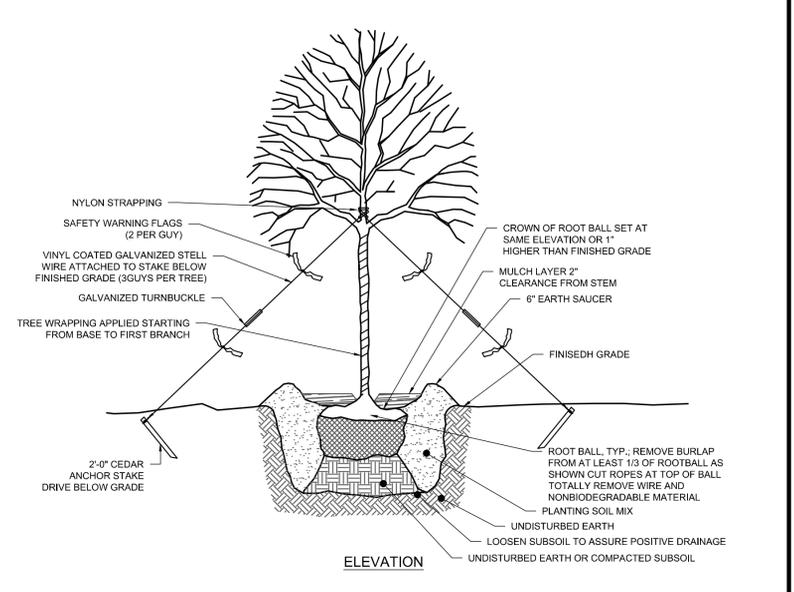
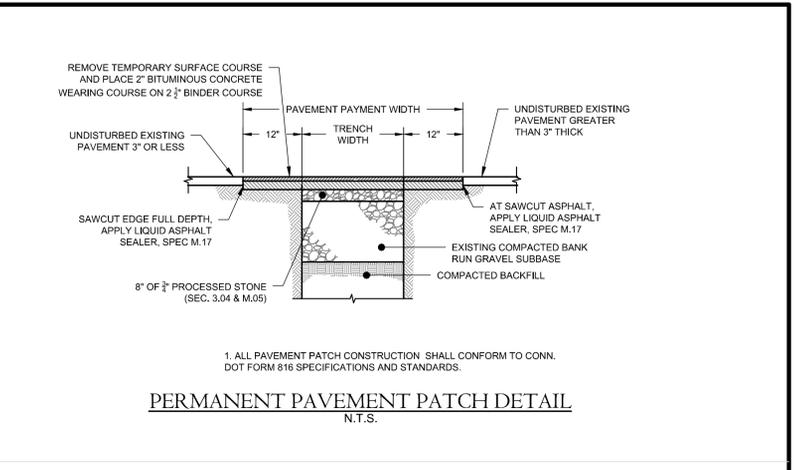
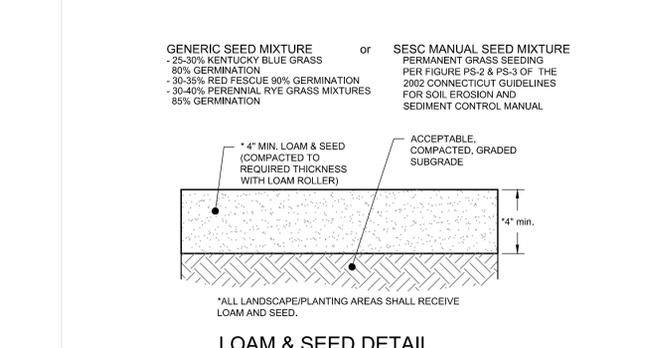
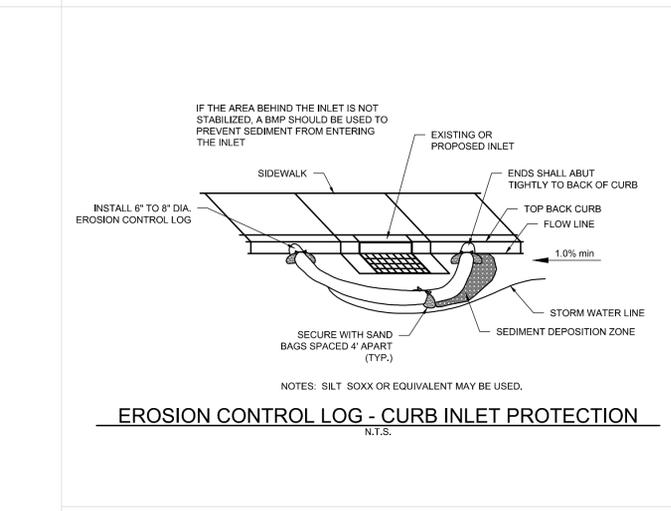
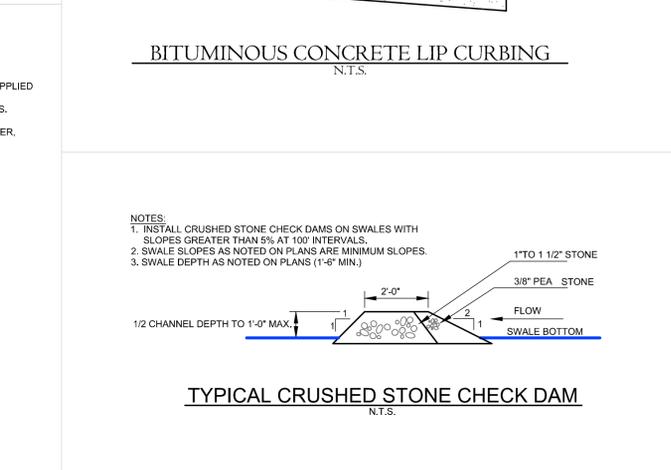
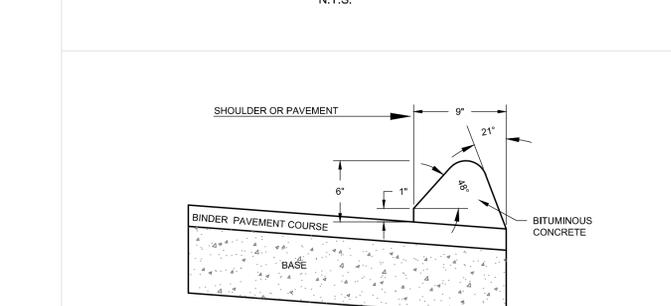
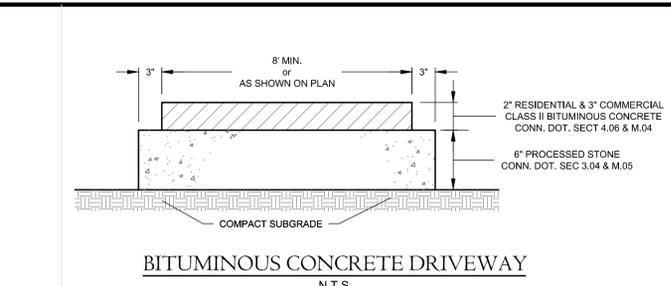
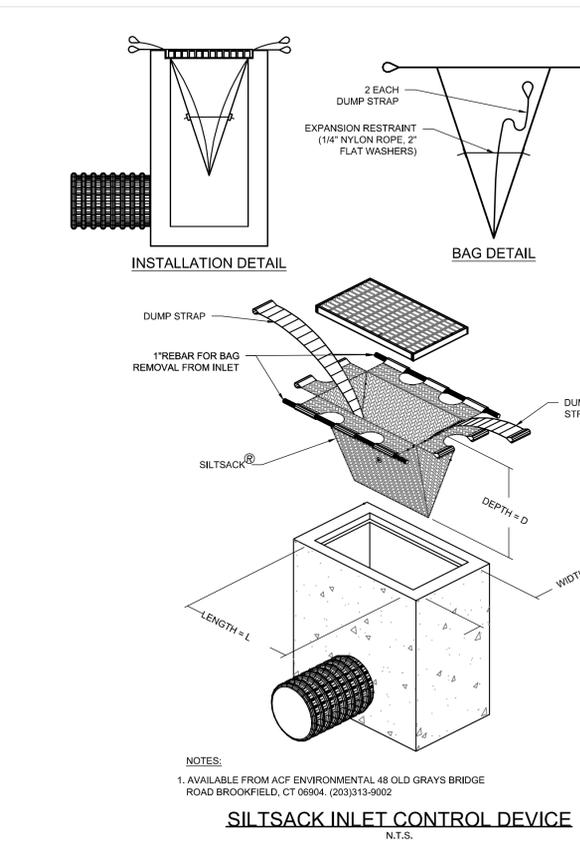
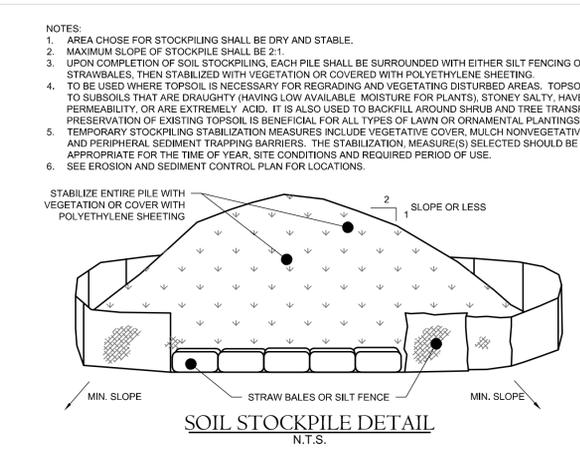
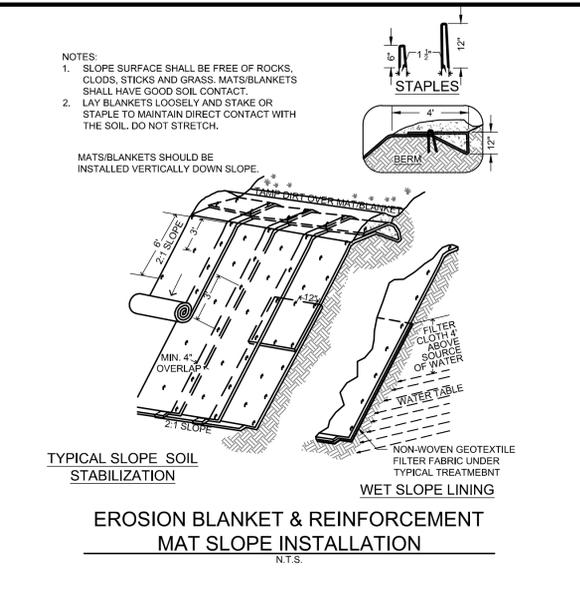
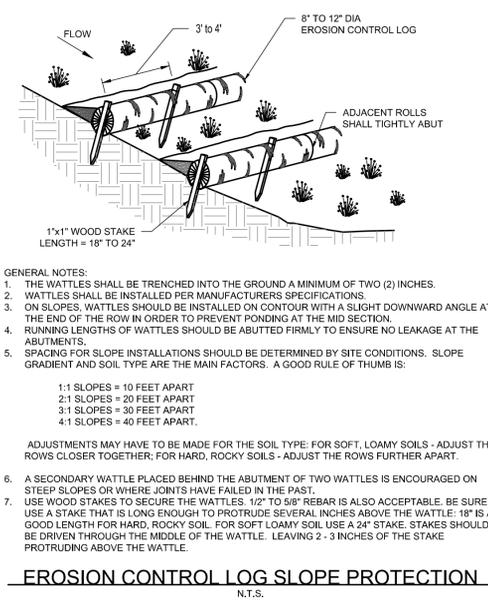
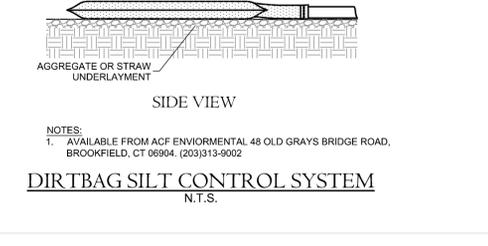
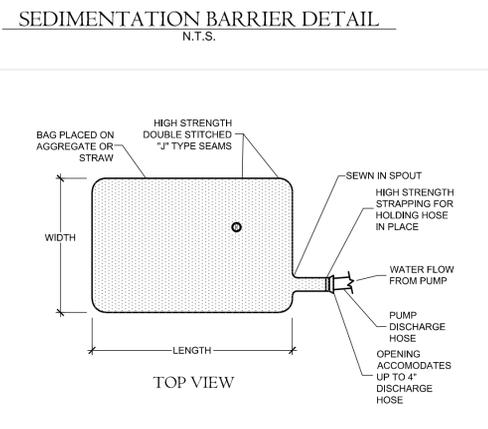
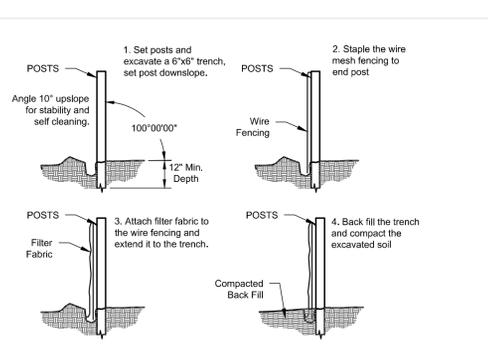
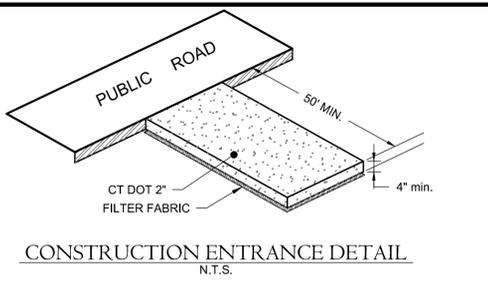
Revisions:

Date:	Descriptions:
Sept. 26, 2022	Revised per Town Comments
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Sheet #:

ES1

DRAWING NAME: PM and Project: 2235-AA Denorfia Development, LLC 570 Meriden Turnpike, Southington, CT 06488 - Drawing: LAYOUT.D1 - EROSION CONTROL PLAN - DATE: 09/26/2022 - 4:00pm OPERATOR: JPM



876 South Main Street
P.O. Box 44
Plainville, CT 06479 - 0044

Tel: (860) 628-4484
Fax: (860) 620-0196
www.heccole.com

PROJECT NAME:
**HIGHLAND RIDGE
ACTIVE ADULT
COMMUNITY**

570 Meriden Waterbury Turnpike
Southington, Connecticut

PREPARED FOR:
**AA DENORFIA
BUILDING &
DEVELOPMENT**

Sheet Description:
DETAILS

Scale: N.T.S.

Date: September 1, 2022

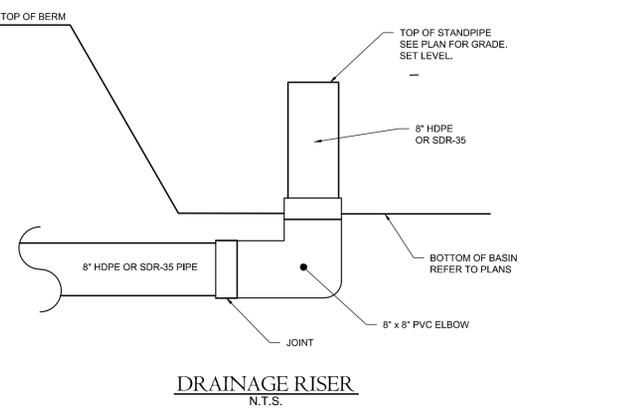
Project #: 2235 F.B. #: ---

Drawn By: BTP Approved By: MSL

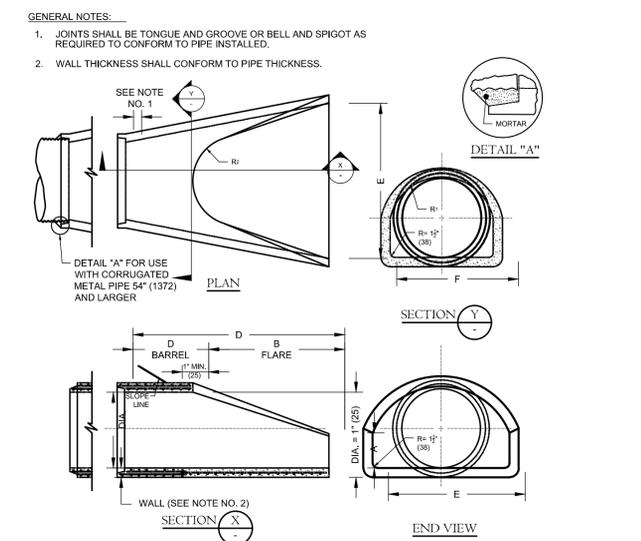
Date	Descriptions
Sept. 26, 2022	Revised per Town Comments
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Sheet #:
D1

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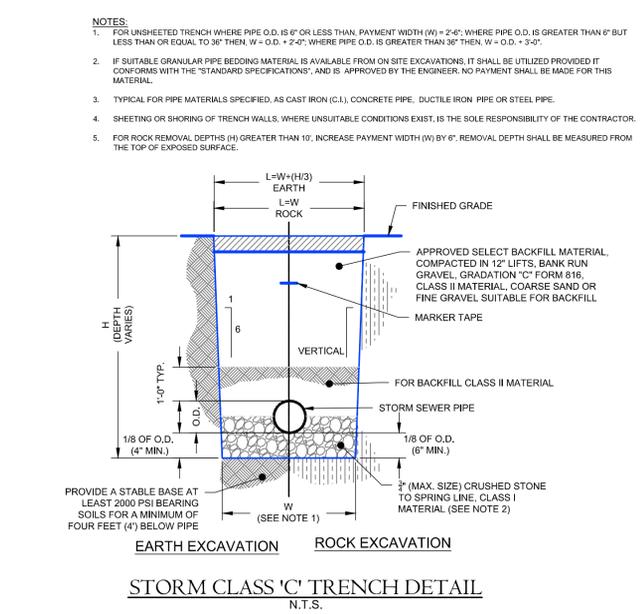


DRAINAGE RISER
N.T.S.

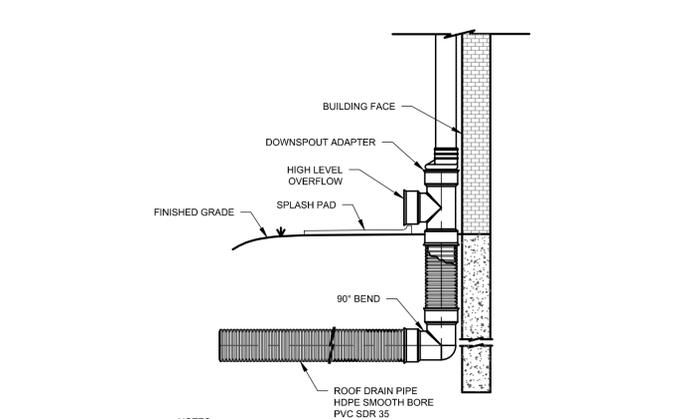


DIMENSIONS FOR REINFORCED CONCRETE CULVERT END										FLARE REINFORCEMENT	
DIA.	A	B	C	D	E	F	R ₁	R ₂	MIN. AREA OF LONGITUDINAL STEEL SQ. IN. PER FT.	MIN. AREA OF TRANSVERSE STEEL SQ. IN. PER FT.	MIN. AREA OF TRANSVERSE STEEL SQ. IN. PER FT.
12(305)	4(102)	2(51)	4(102)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
15(381)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
18(457)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
21(533)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
24(609)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
30(762)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
36(914)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
42(1067)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
48(1219)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
54(1372)	6(152)	2(51)	6(152)	6(152)	2(51)	1(25)	1(25)	1(25)	0.068	0.068	0.068
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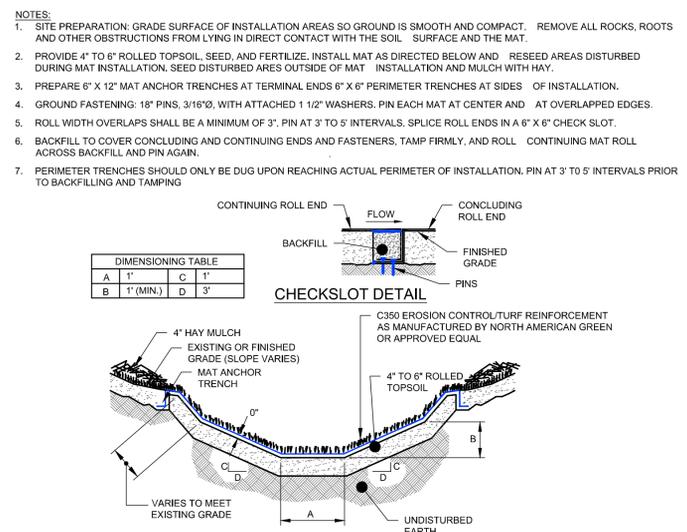
REINFORCED CONCRETE CULVERT END
N.T.S.



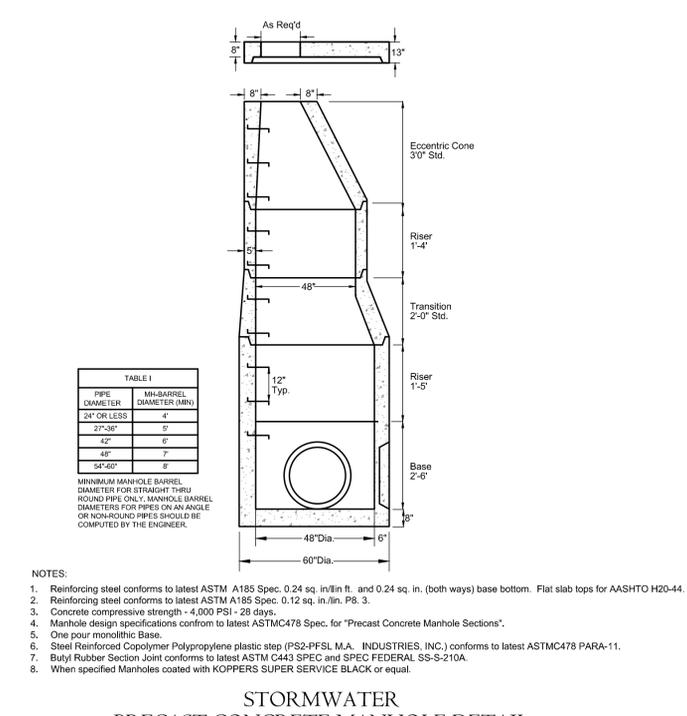
STORM CLASS 'C' TRENCH DETAIL
N.T.S.



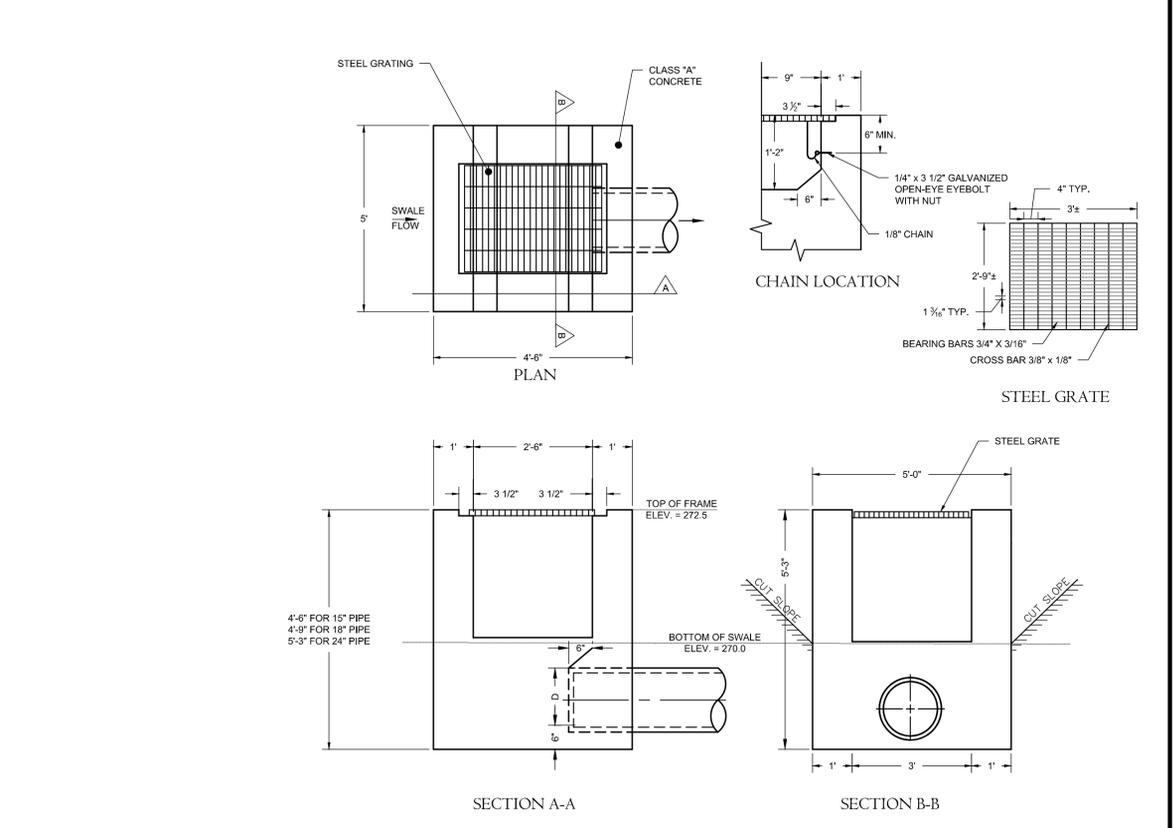
ROOF DRAIN WITH HIGH LEVEL OVERFLOW
N.T.S.



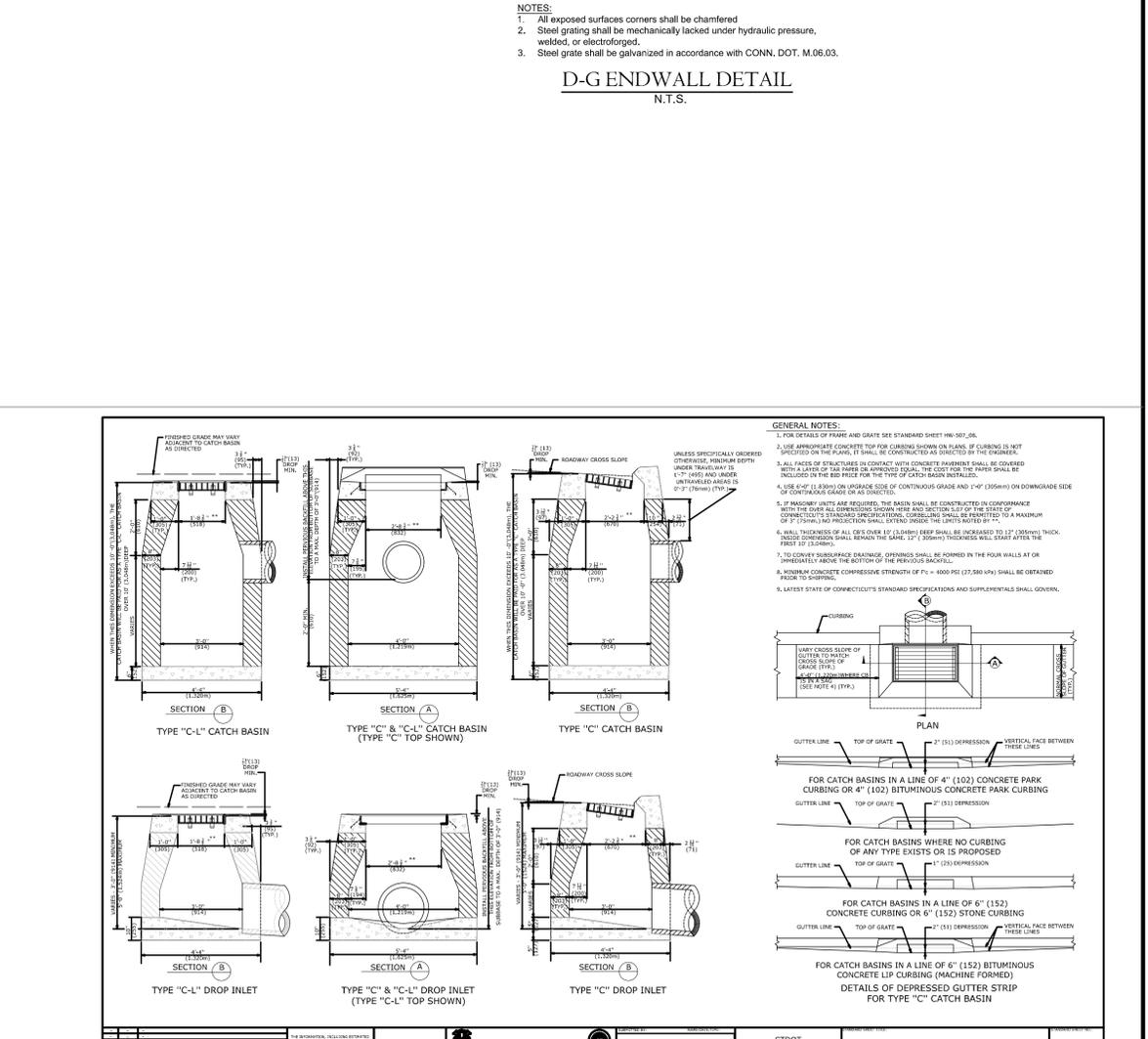
REINFORCED GRASS LINED SWALE DETAIL
N.T.S.



STORMWATER PRECAST CONCRETE MANHOLE DETAIL
N.T.S.



D-G ENDWALL DETAIL
N.T.S.



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engineering, surveying, planning.

876 South Main Street
P.O. Box 44
Plainville, CT 06479 - 0044

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Fax: (860) 620-0196
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PROJECT NAME:
HIGHLAND RIDGE ACTIVE ADULT COMMUNITY

570 Meriden Waterbury Turnpike
Southington, Connecticut

PREPARED FOR:
AA DENORFIA BUILDING & DEVELOPMENT

Sheet Description:
DETAILS

Scale:
N.T.S.

Date: September 1, 2022

Project #: 2235 F.B. #: ---

Drawn By: BTP Approved By: BNB

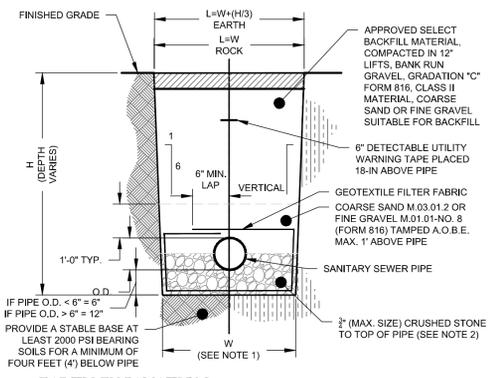
Revisions:

Date:	Descriptions:
Sept. 26, 2022	Revised per Town Comments
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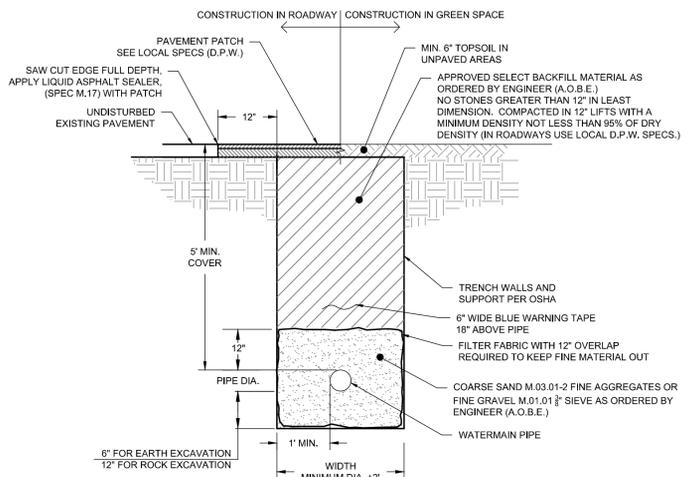
Sheet #:
D2

DRAWING NUMBER: PM and Project: 2218-AVA Densiti Building & Development, LLC 570 Meriden Waterbury Turnpike, Southington, CT 06488 - 0044. LAYOUT: E.D. BOYD DATE: Sep 26, 2022 - 10:46 AM OPERATOR: JCH

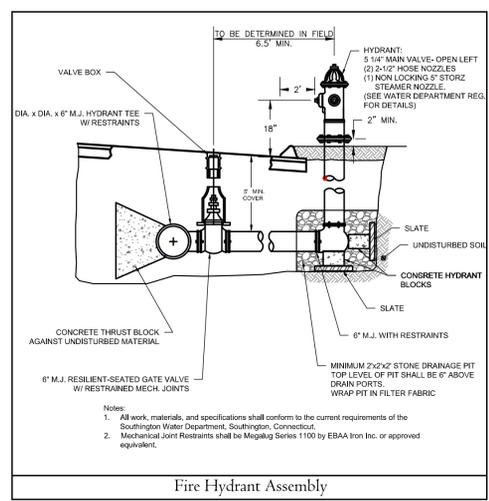
- NOTES:**
- FOR UNSHEEDED TRENCH WHERE PIPE O.D. IS 6" OR LESS THAN, PAYMENT WIDTH (W) = 2'-6"; WHERE PIPE O.D. IS GREATER THAN 6" BUT LESS THAN OR EQUAL TO 36" THEN, W = O.D. + 2'-0"; WHERE PIPE O.D. IS GREATER THAN 36" THEN, W = O.D. + 2'-6".
 - IF SUITABLE GRANULAR PIPE BEDDING MATERIAL IS AVAILABLE FROM ON SITE EXCAVATIONS, IT SHALL BE UTILIZED PROVIDED IT CONFORMS WITH THE "STANDARD SPECIFICATIONS", AND IS APPROVED BY THE ENGINEER. NO PAYMENT SHALL BE MADE FOR THIS MATERIAL.
 - TYPICAL FOR ALL FLEXIBLE PIPE MATERIALS, I.E. PVC, CCP, POLYETHYLENE, FRP, AND ABS TRUSS.
 - SHEETING OR SHORING OF TRENCH WALLS, WHERE UNSUITABLE CONDITIONS EXIST, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - FOR ROCK REMOVAL DEPTHS GREATER THAN 10', INCREASE PAYMENT WIDTH (W) BY 6". REMOVAL DEPTH SHALL BE MEASURED FROM THE TOP OF EXPOSED SURFACE.



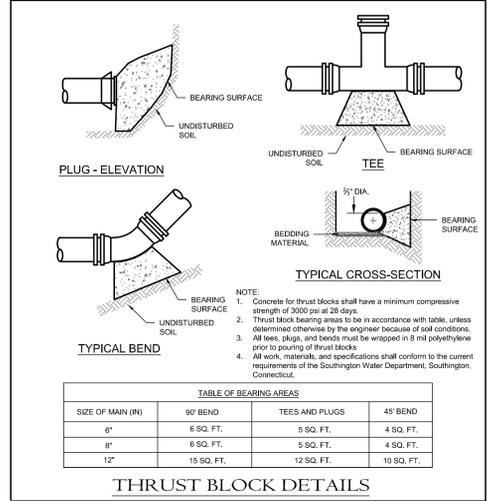
EARTH EXCAVATION **ROCK EXCAVATION**
SANITARY CLASS 'B' TRENCH DETAIL
N.T.S.



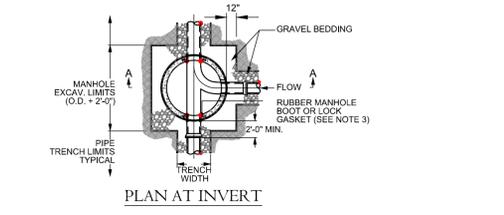
TYPICAL WATERMAIN TRENCH
N.T.S.



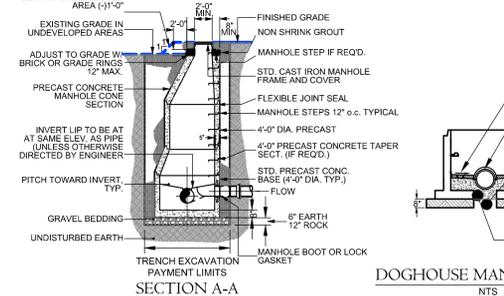
Fire Hydrant Assembly



THRUST BLOCK DETAILS



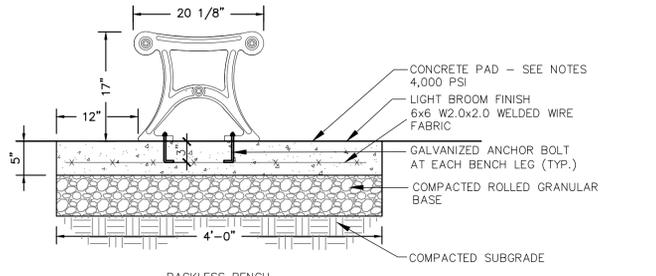
PLAN AT INVERT



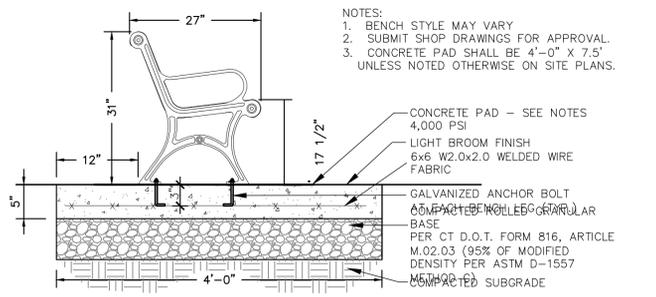
DOGHOUSE MANHOLE BASE
N.T.S.

- NOTES:**
- 4000 PSI CONCRETE SHALL BE USED FOR ALL PRECAST BASES, SUMPS, TRANSITION, RISER AND CORREL SECTIONS. REINFORCING AND SPECIFICATIONS SHALL CONFORM TO ASTM C-476, LATEST REVISED EDITION.
 - UNUSED KNOCKOUTS SHALL BE BRICKED UP.
 - RUBBER BOOTS OR LOCK GASKETS SHALL BE PROVIDED WHERE PIPE ENTRIES OR LEAVES MANHOLE.
 - MANHOLE PIPE STEPS SHALL NOT EXCEED 2'-0" IN LENGTH AND SHALL BE PLUGGED WATER TIGHT. FRAMES AND COVERS SHALL BE CAMPBELL PATTERN NO. 1005. CASTINGS SHALL BE PROVIDED WITH LETTERS DRAWN OR "SWEDY" AS REQUIRED.
 - CONCRETE RISER SECTION COAT THE OUTSIDE WALLS WITH COAL TAR EPOXY (SAS, M.U.S ONLY)
- DOGHOUSE MANHOLE NOTES:**
- DOGHOUSE OPENING MAY ONLY BE USED WHEN PLACING A NEW MANHOLE OVER AN EXISTING LINE. OTHERWISE, THE OPENING MUST BE CAST.
 - OPENINGS IN PRECAST UNITS ARE TO BE 4" MINIMUM TO 8" MAXIMUM LARGER THAN THE OUTSIDE DIAMETER OF THE EXISTING PIPE.
 - TOP HALF OF EXISTING PIPE TO BE REMOVED FOR FULL LENGTH EXPOSED RISER MANHOLE. EXISTING MAIN TO BE NEATLY CUT ALONG THE SPRING LINE OF THE PIPE.

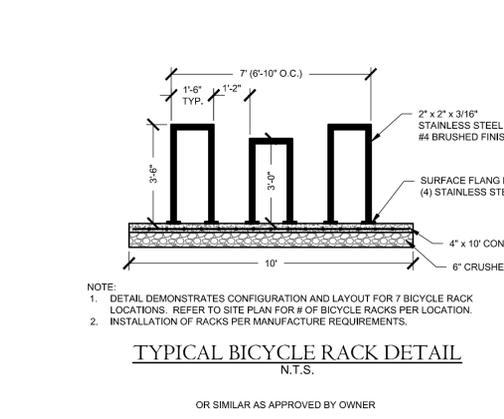
PRECAST CONCRETE SANITARY MANHOLE DETAIL
N.T.S.



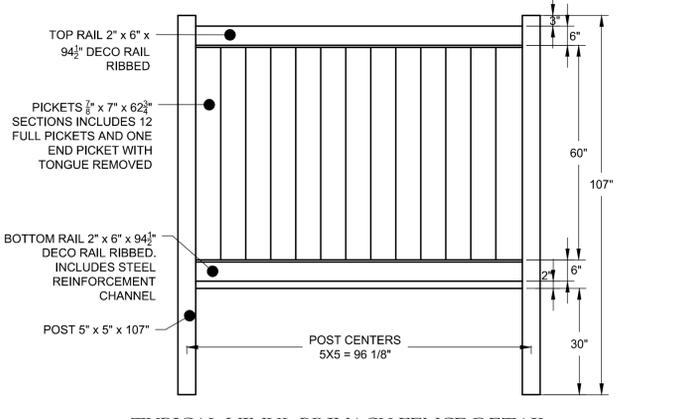
BACKLESS BENCH



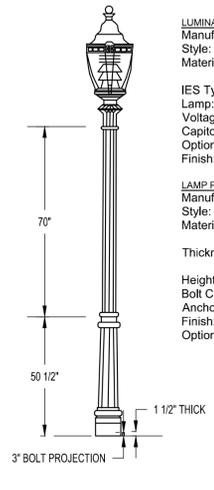
BENCH ON CONCRETE PAD DETAIL
N.T.S.



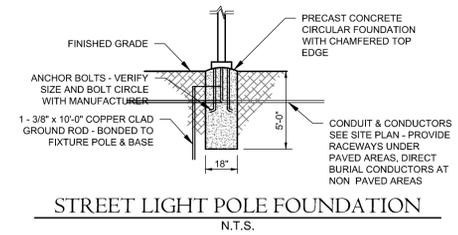
TYPICAL BICYCLE RACK DETAIL
N.T.S.



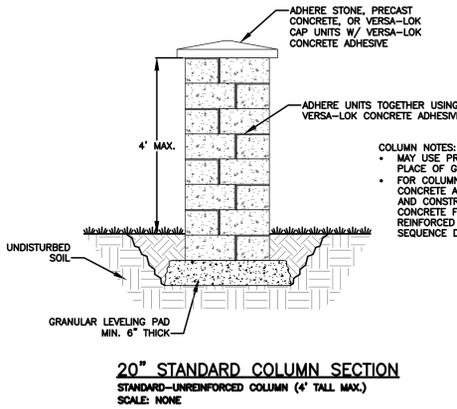
TYPICAL VINYL PRIVACY FENCE DETAIL
N.T.S.



LAMP POST DETAIL
N.T.S.



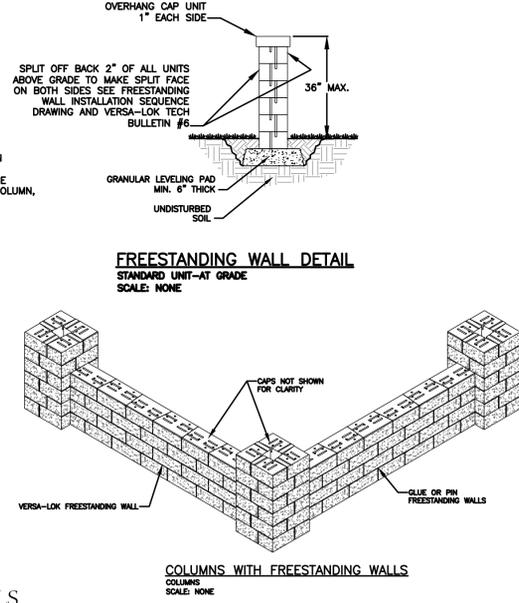
STREET LIGHT POLE FOUNDATION
N.T.S.



20" STANDARD COLUMN SECTION
STANDARD-UNREINFORCED COLUMN (4' TALL MAX.)
SCALE: NONE



DECORATIVE WALL AND COLUMN DETAILS
N.T.S.



FREESTANDING WALL DETAIL
STANDARD UNIT-AT GRADE
SCALE: NONE

COLUMNS WITH FREESTANDING WALLS
SCALE: NONE



PROJECT NAME:
HIGHLAND RIDGE ACTIVE ADULT COMMUNITY
570 Meriden Waterbury Turnpike
Southington, Connecticut

PREPARED FOR:
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Sheet Description:
DETAILS

Scale: N.T.S.

Date: September 1, 2022

Project #: 2235 F.B.#: ---

Drawn By: BTP Approved By: BNB

Revisions:

Date:	Descriptions:
Sept. 26, 2022	Revised per Town Comments
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Sheet #:
D3

