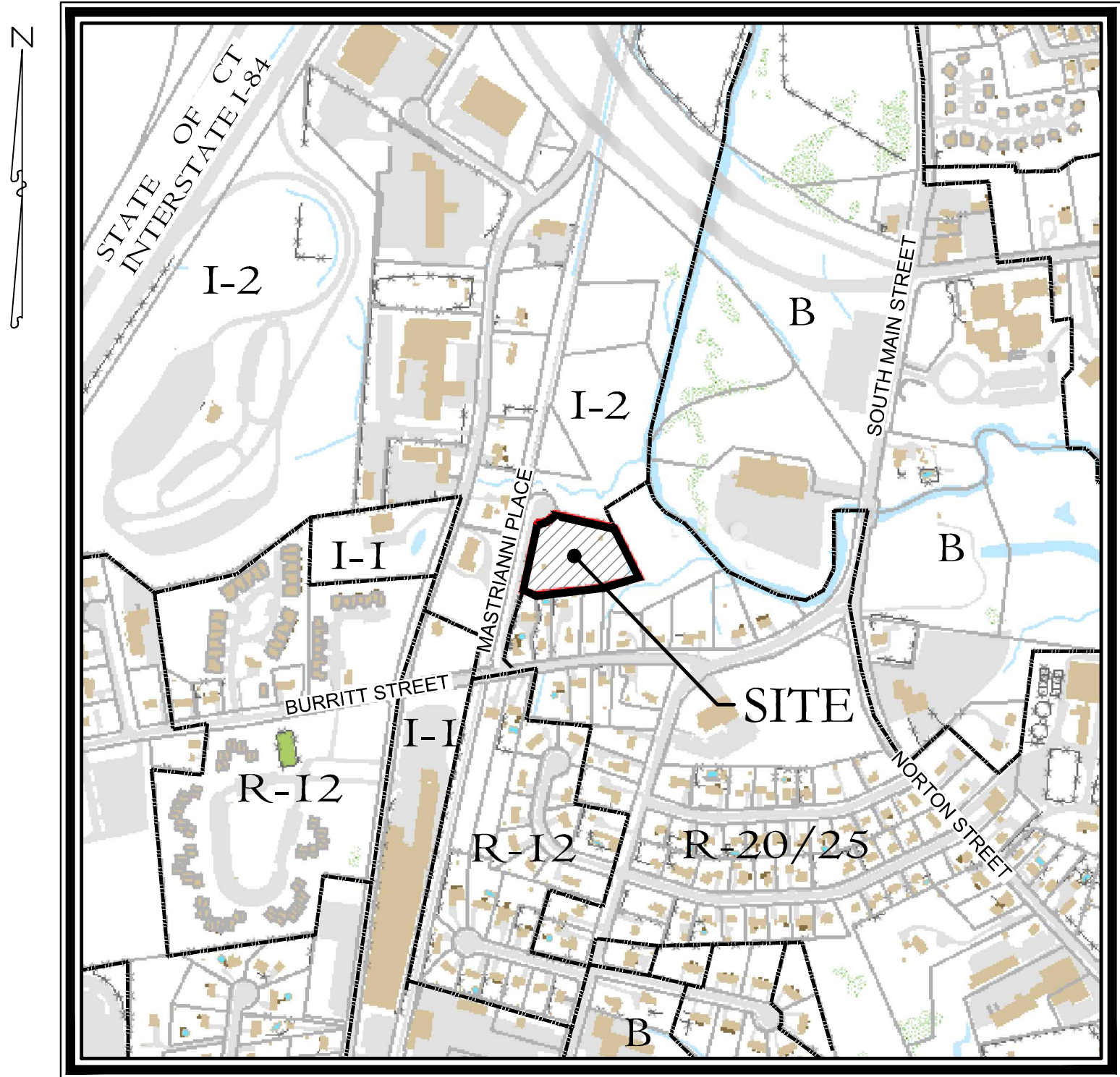


Site Plan

50 Mastrianni Place

Southington, Connecticut



KEY MAP

SCALE: 1"=500'

Sheet Index:

- S1Property & Topographic Survey Map
- C1Site Layout & Landscaping Plan
- C2Site Development Plan
- ES1Soil Erosion & Sedimentation Control Plan
- D1Details
- D2Details

Applicant:

Buck, LLC
512 Mount Vernon Road
Plantsville, CT 06479

Property Owner:

NAMTAB, LLC
512 Mount Vernon Road
Plantsville, CT 06479

Consultants:

Engineering & Surveying
Harry E. Cole & Son
P.O. Box 44 - 876 South Main Street
Plantsville, Connecticut 06489
Tel. (860) 628-4484 Fax (860) 620-0196

PREPARED FOR

Buck, LLC

May 18, 2021

Revision Table			
03	August 2, 2022	Revised Site Layout per Owner	
02	Aug. 18, 2021	Town Stipulations of Approval	
01	July 23, 2021	Revise per town comments	
	May 18, 2021	First Submittal Set	#2078

DRAWING NAME: P:\Land Projects\2078 Buck, LLC\05 Mastrianni Plac, Southington, CT\Map - ME\2078-1-1-rs-01.dwg LAYOUT: SI PLOT DATE: Aug 04, 2022 - 10:41pm OPERATOR: JMS

LEGEND

- = Existing utility pole
- = Existing light pole
- = Existing fire hydrant
- = Existing water valve
- = Existing gas valve
- = Existing underground pipe
- = Existing edge of pavement
- = Existing bituminous concrete lip curb
- = Existing well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Existing utility box
- = Existing contour
- = Existing spot elevation
- = Existing iron pin
- = Existing drill hole
- = Existing monument

BENCHMARK
TOP NUT OF FIRE HYDRANT
ELEV. = 153.27
(ASSUMED DATUM)

SURVEY NOTES:

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

2. Type of survey performed: Property & Topographic Survey

3. Boundary determination category: Resurvey

4. Class of accuracy:
Horizontal: A-2
Vertical: T-2

5. The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.

6. Map References:

a) "Subdivision Map Prepared For Paul Mastrianni, Southington, Conn.; Scale: 1"=40'; Dated: July 3, 1986; Last Revised: July 6, 1987 by Harry E. Cole & Son."

7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.

8. Zone: I-2

9. Total area: 78,695 Sq.Ft. - 1.81 Acres

10. Owner: NAMTAB LLC

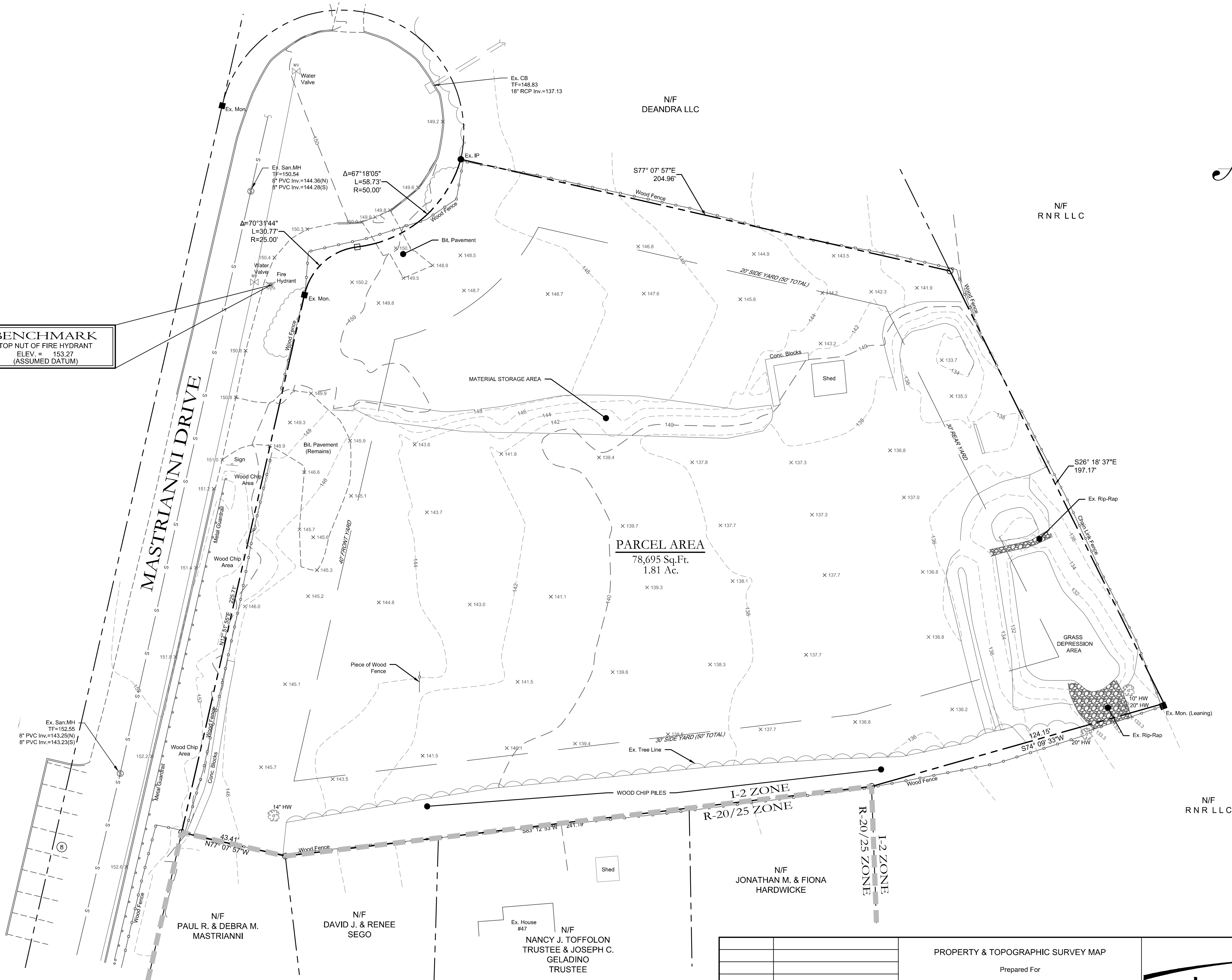
11. Town of Southington Assessors Map #41 Lot #22

12. Filed in Volume 1503, Page 767 of the Town Clerk's office.

13. Contour interval is two(2) foot.

14. Existing contours generated from field topography.

15. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.



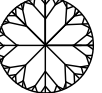
July 23, 2021	Revised Zone Line
DATE	REVISION
To the best of my knowledge and belief, this map is substantially correct as noted hereon.	
Stephen M. Giudice, L.S.	
Reg. No. #70145	
NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO	

PROPERTY & TOPOGRAPHIC SURVEY MAP	
Prepared For	
BUCK, LLC	
50 Mastrianni Place	
Southington, Connecticut	
February 2, 2021	Scale: 1" = 20'
F.B. #:	PROJECT #: 2078

cole
HARRY E. COLE & SON
engineering. surveying. planning.

876 South Main Street
P.O. Box 44
Plainville, CT 06479 - 0044

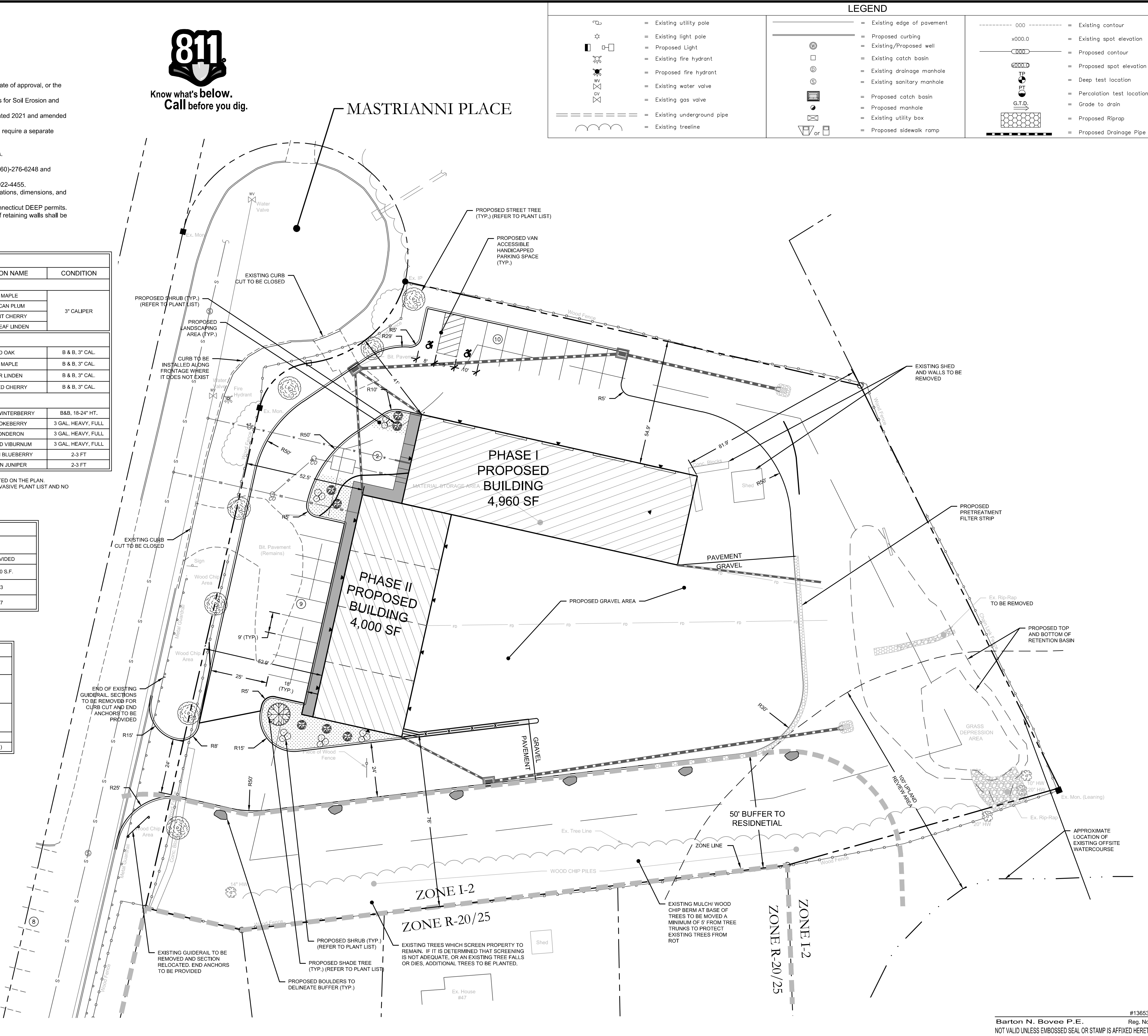
Tel: (860) 628-4484
Fax: (860) 620-0196
www.hcole.com

PLANT LIST				
SYM.	QTY.	SCIENTIFIC NAME	COMMON NAME	CONDITION
STREET TREES				
	7	ACER RUBRUM	RED MAPLE	3" CALIPER
		PRUNUS AMERICANA	AMERICAN PLUM	
		PRUNUS ARGENTII (flowering)	SARGENT CHERRY	
		TILIA CORDATA	LITTLE LEAF LINDEN	
SHADE TREES				
	3	QUERCUS RUBRA	RED OAK	B & B, 3" CAL.
		ACER RUBRUM	RED MAPLE	B & B, 3" CAL.
		TILIA TOMENTOSA	SILVER LINDEN	B & B, 3" CAL.
		PRUNUS PENNSYLVANICA	WILD RED CHERRY	B & B, 3" CAL.
SHRUBS				
	12	ILEX VERTICILLATA	COMMON WINTERBERRY	B&B, 18-24" HT.
		ARONIA ARBUTIFOLIA	RED CHOKEBERRY	3 GAL. HEAVY, FULL
		RHOODODENDRON CANADENSE	RHOODODERON	3 GAL. HEAVY, FULL
		VIBURNUM CASSINOIDES	WITHEROD VIBURNUM	3 GAL. HEAVY, FULL
		VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3 FT
		JUNIPERUS COMMUNIS	COMMON JUNIPER	2-3 FT

- | LANDSCAPING TABLE | | | |
|----------------------------|-------------------------------------|----------|------------|
| PARKING LOT (21 Spaces) | | | |
| | | REQUIRED | PROVIDED |
| INTERIOR LANDSCAPING TOTAL | 20 S.F. / SPACE | 420 S.F. | 1,050 S.F. |
| SHADE TREES | 1 SHADE TREE / 10 SPACES | 3 | 3 |
| STREET TREES | 1 STREET TREE / 50' OF LOT FRONTAGE | 7 | 7 |

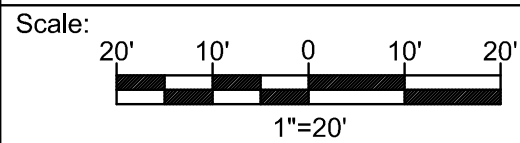
PARKING INFORMATION		
ITEM	REQUIRED	PROVIDED
PROPOSED BUILDING: PHASE I INDUSTRIAL 4,960 S.F. (SUFFICIENT TO ACCOMMODATE PERSONNEL & CUSTOMERS)	11	11
PROPOSED BUILDING: PHASE II INDUSTRIAL 4,000 S.F. (SUFFICIENT TO ACCOMMODATE PERSONNEL & CUSTOMERS)	9	9
HANDICAP PARKING	1	2
TOTAL # OF SPACES	20 (INCLUDING H.C.)	21 (INCLUDING H.C.)

ZONING INFORMATION		
ITEM	REQUIRED	PROVIDED
ZONE	I-2	I-2
PROPOSED USE	INDUSTRIAL	INDUSTRIAL
LOT AREA	80,000 SF	78,895 SF
LOT WIDTH	200 SF	315 FT
FRONT YARD SETBACK	40 FT	41 FT
SIDE YARD SETBACK	30 FT FOR ONE TOTAL OF 50 FT	54.9 FT & 76 FT
REAR YARD SETBACK	30 FT	81.9 FT
MAX. BUILDING HEIGHT	3 STORIES (65 FT)	2 STORIES - 35 FT
MAX. BUILDING COVERAGE	50%	11.4%



BUCK, LLC

SITE LAYOUT AND LANDSCAPING PLAN



Date: May 18, 2021

Project #: 2078

Project #: 2078	F.B. #:
-----------------	---------

Drawn By: B

Approved By: BNB

Revisions

Date:	Descriptions:
July 23, 2021	Revise per town comments
Aug. 18, 2021	Town Stipulations of Approval
August 2, 2022	Revised Site Layout per Owner

Sheet #:

C1

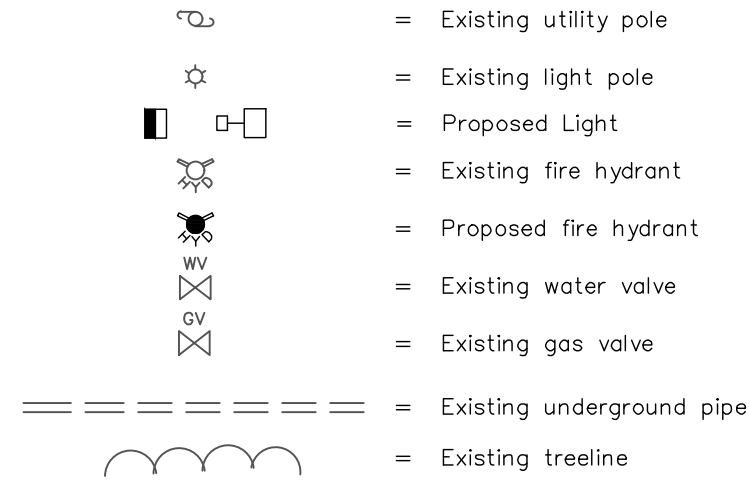
DRAWING NAME: [P] and Project: 2078 Buck, LLC 50 Mastrianni Place, Southington CT 06488 - C2 - Site Development Planning - LAYOUT: C2 - NOT DATE: Aug 04, 2022 - 142gpc, CDR, ACTION: [P] [P]

- SITE PLAN NOTES:**
- See Sheet C1 for additional information.
 - Site to be serviced by town water and sewer.
 - Contractor to coordinate with all local utility companies prior to the start of construction.
 - Roof drains shall tie into the proposed drainage system.
 - All Catch Basins/Inlets shall be cleaned prior to occupancy.
 - Maximum earth slopes shall be two feet horizontal to one foot vertical.
 - Sanitary service connection for domestic/office waste only. No industrial waste shall be discharged.
 - Water service sizing to be determined by the Southington Water Department upon receipt of all pertinent water fixture data.
 - All existing utilities are from best available information, contractor to verify all locations, dimensions, and elevations prior to construction. Notify Engineer of any discrepancies.

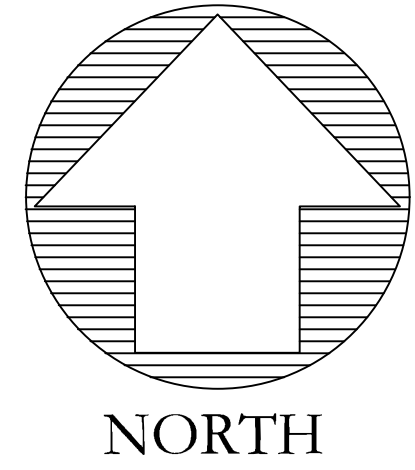
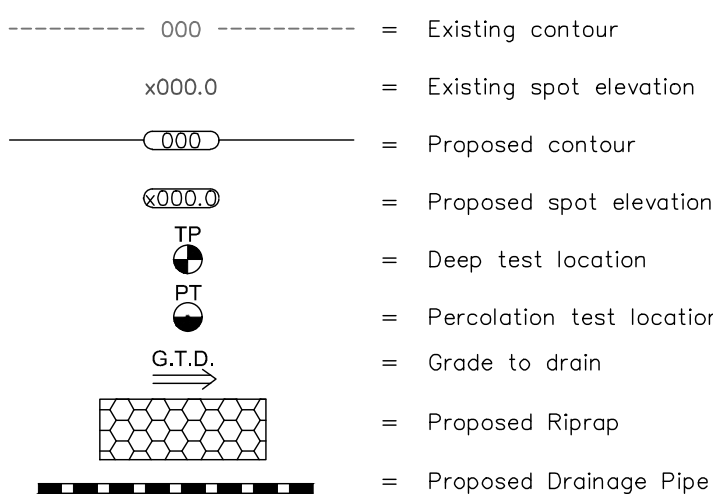
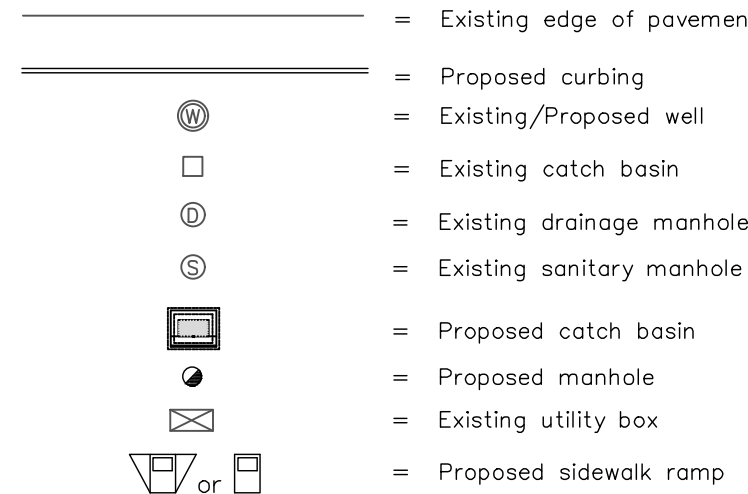
SEED MIX APPLICATION

NEW ENGLAND WET MIX
APPLICATION RATE: 1 POUND/5,000 SQ. FT.
LOCATION: BASIN BOTTOM

NEW ENGLAND EROSION CONTROL/RESTORATION MIX
APPLICATION RATE: 1 LB./1,250 SQ. FT.
LOCATION: BASIN SIDES AND TOP



LEGEND



cole
HARRY E. COLE & SON
engineering. surveying. planning.

876 South Main Street
P.O. Box 44
Plainville, CT 06479 - 0044

Tel: (860) 628-4484
Fax: (860) 620-0196
www.hecole.com

PROJECT NAME:

SITE PLAN

50 Mastrianni Place
Southington, Connecticut

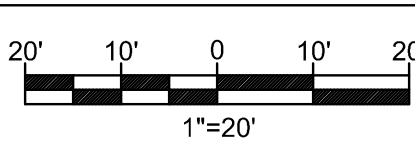
PREPARED FOR:

BUCK, LLC

Sheet Description:

SITE
DEVELOPMENT
PLAN

Scale:



Date: May 18, 2021

Project #: 2078

F.B. #:

Drawn By: BTP

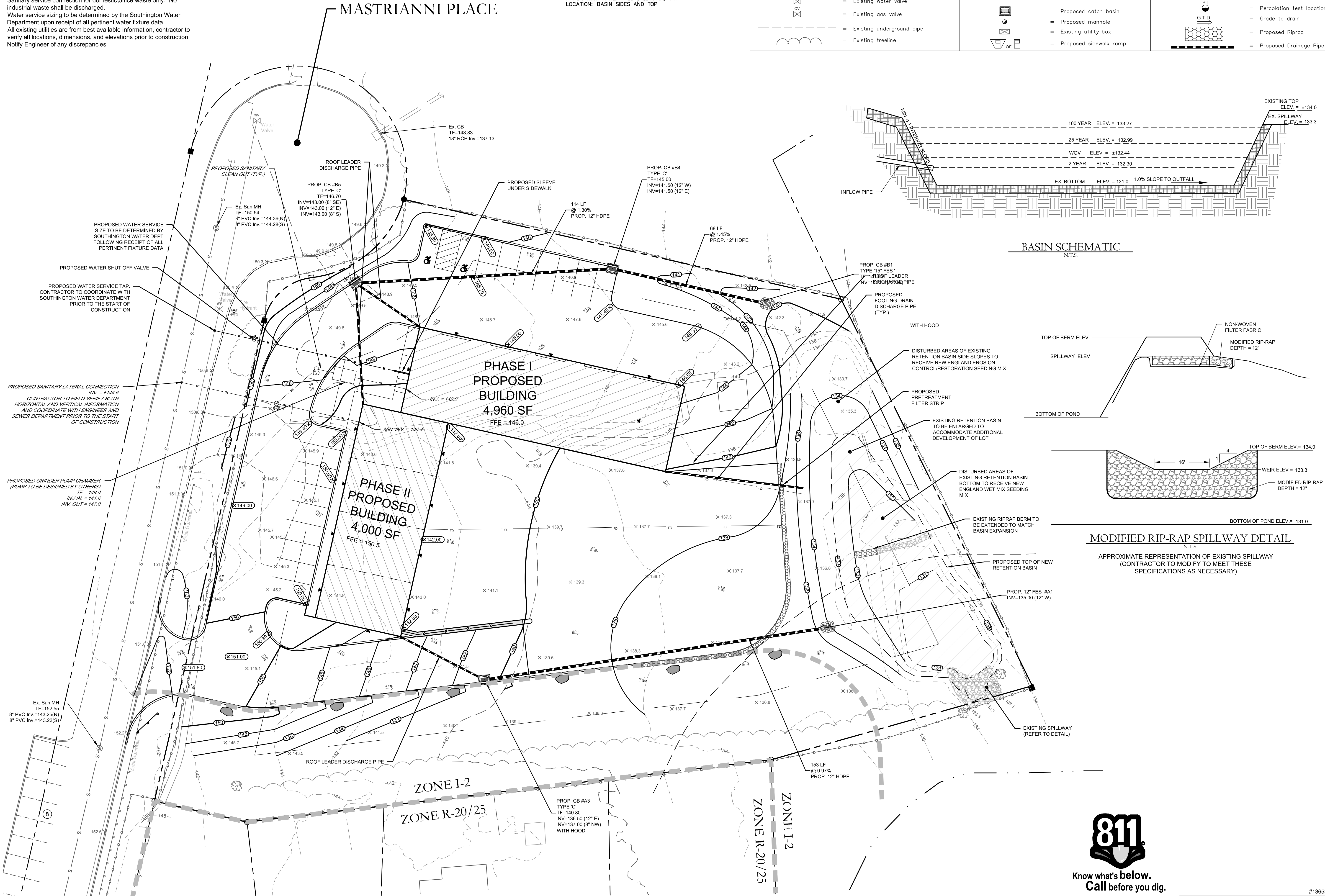
Approved By: BNB

Revisions:

Date:	Descriptions:
July 23, 2021	Revise per town comments
Aug. 18, 2021	Town Stipulations of Approval
August 2, 2022	Revised Site Layout per Owner
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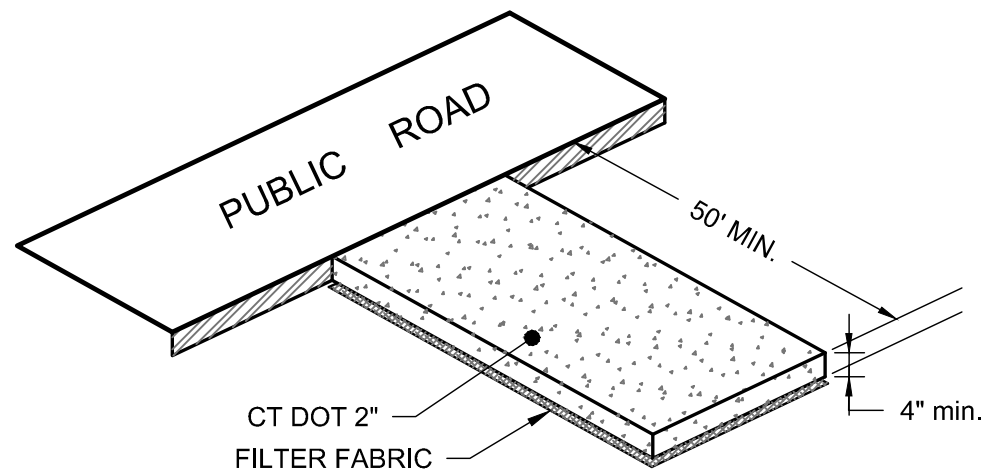
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C2

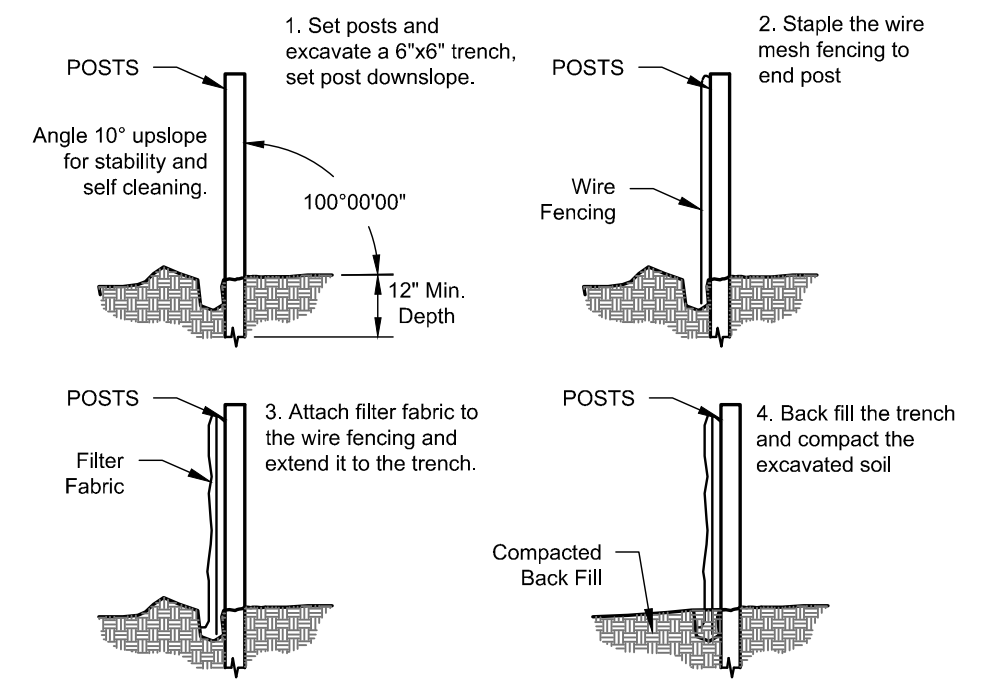


Know what's below.
Call before you dig.

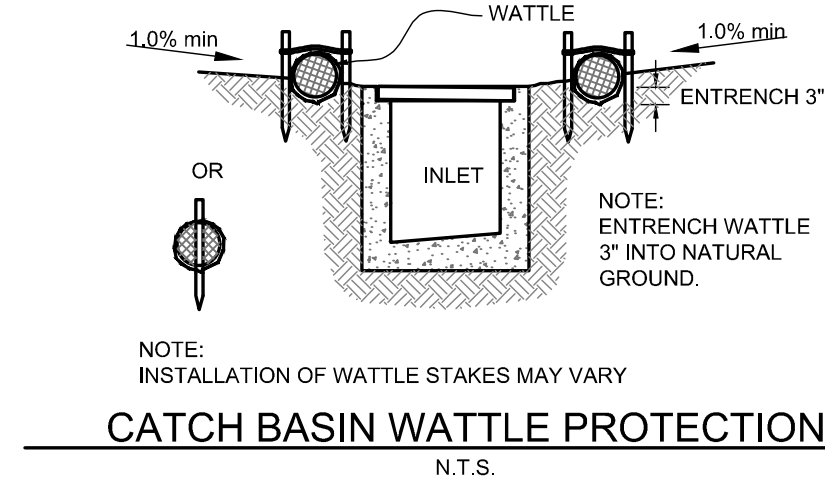
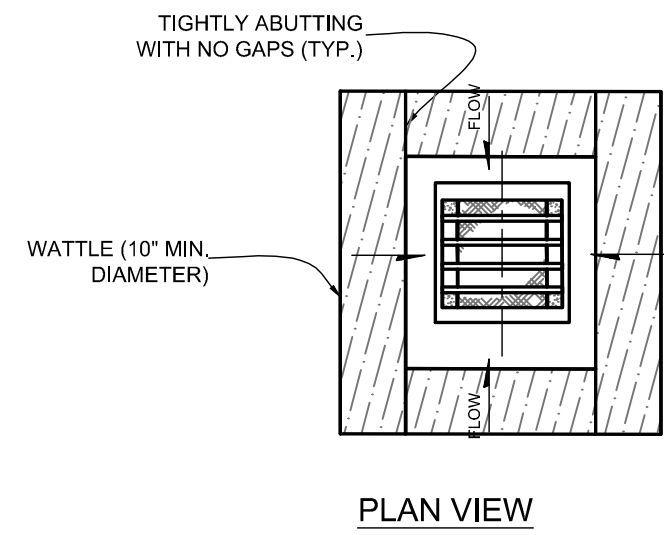
#13653
Barton N. Bovee P.E.
Reg. No.
NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO



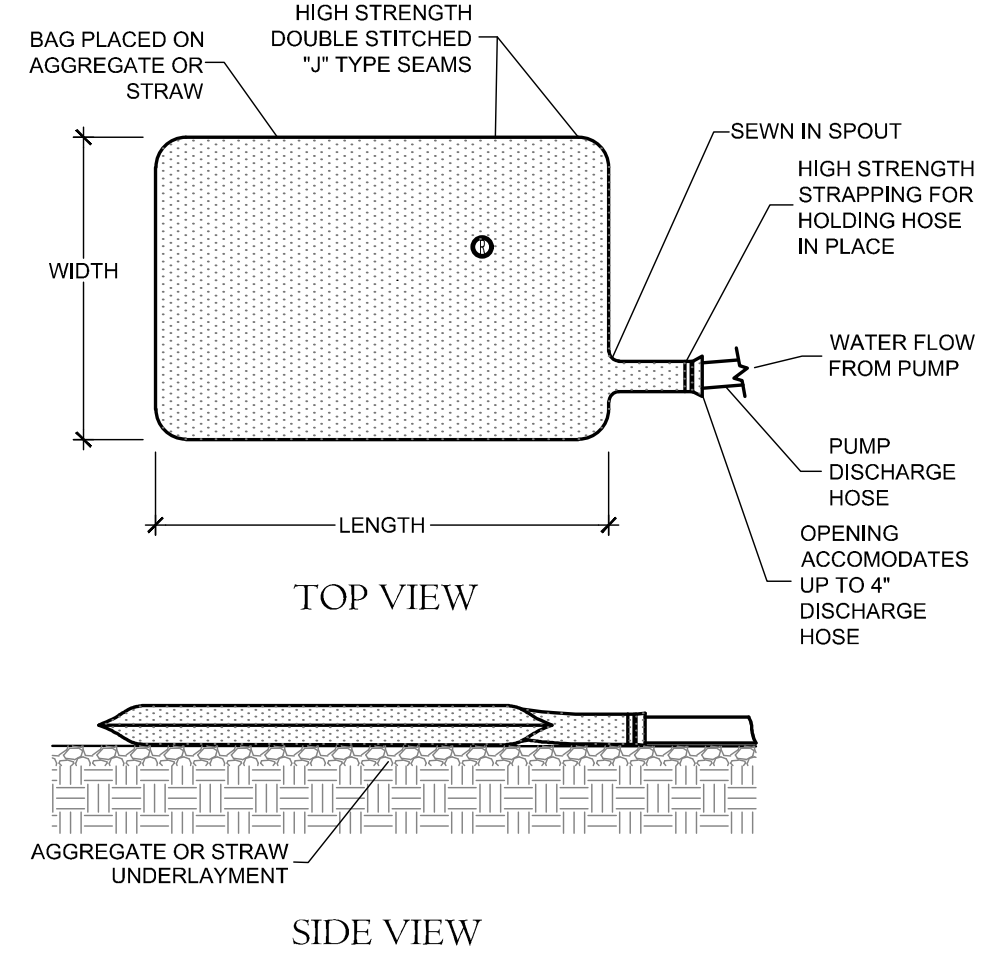
CONSTRUCTION ENTRANCE DETAIL
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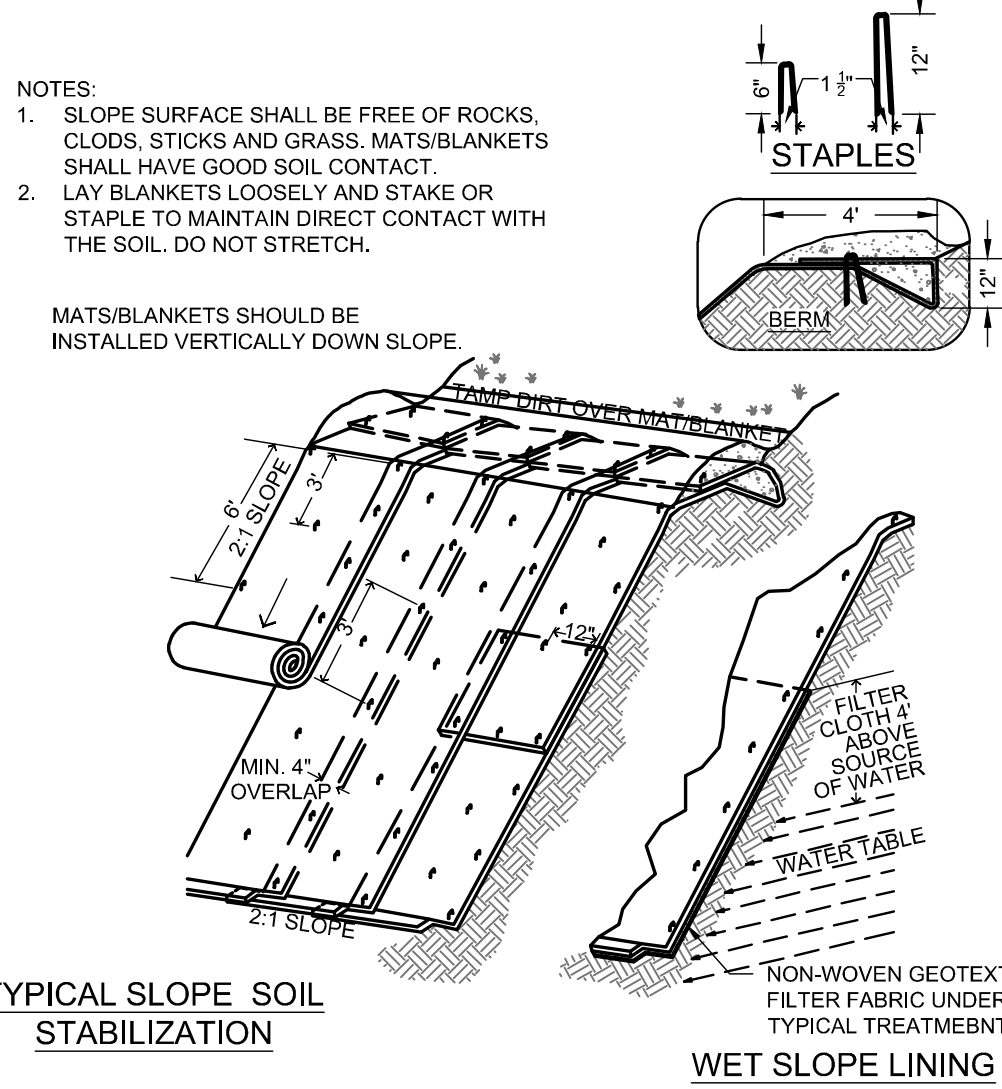
SEDIMENTATION BARRIER DETAIL
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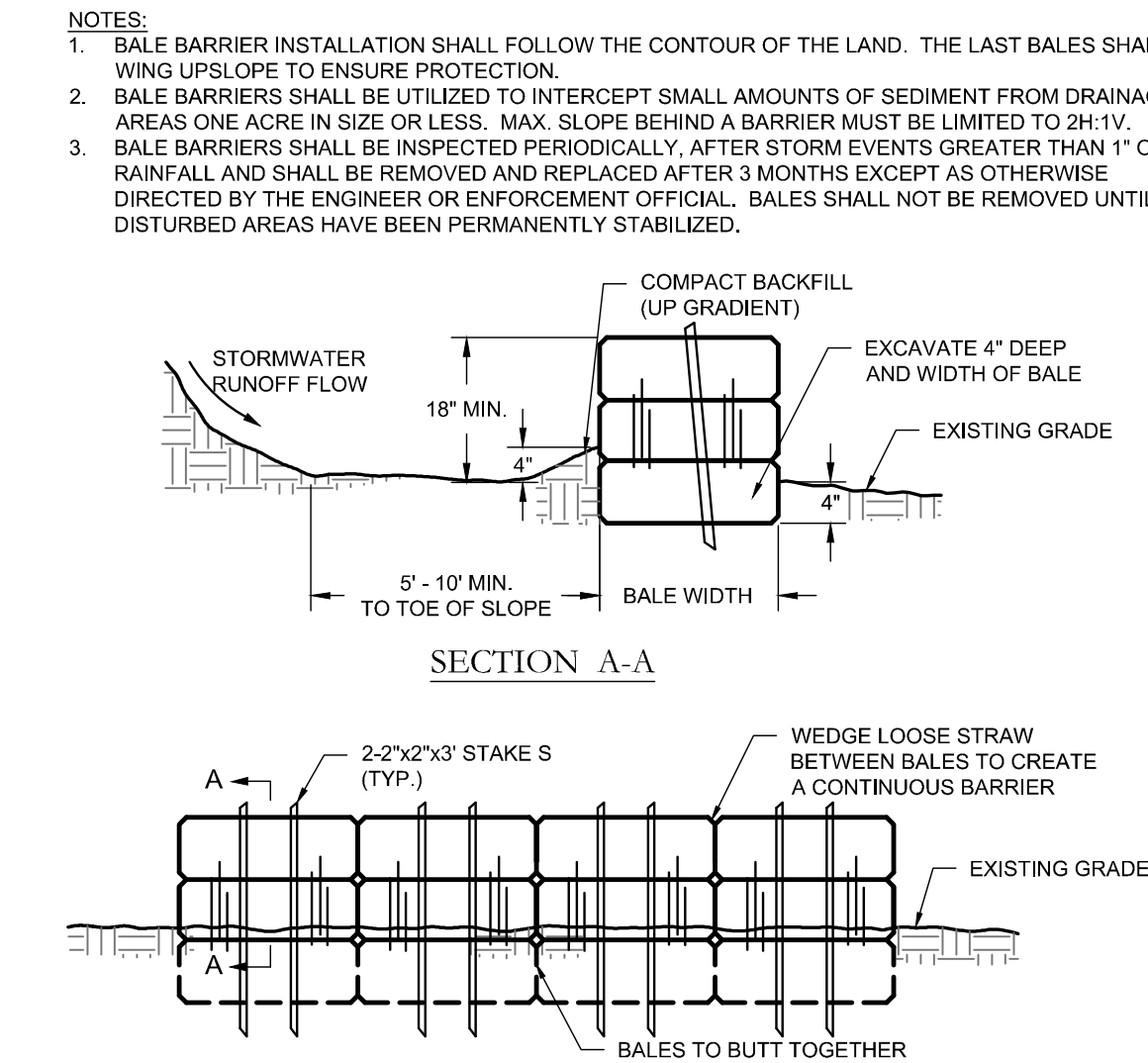
CATCH BASIN WATTLE PROTECTION
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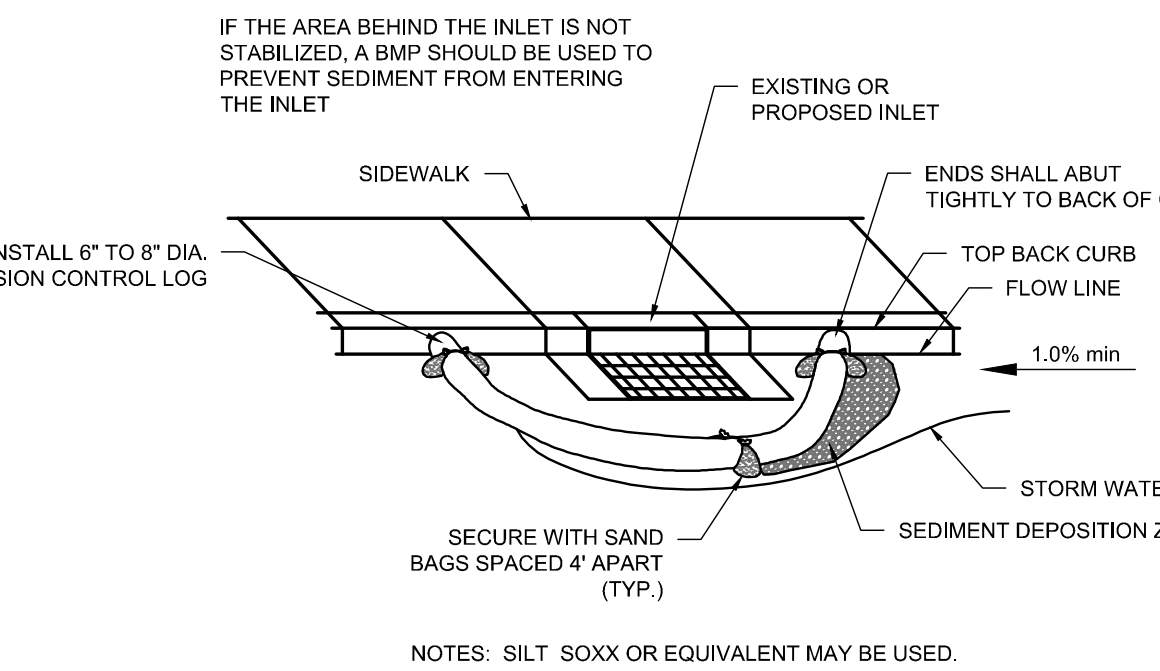
DIRTBAG SILTING CONTROL SYSTEM
N.T.S.



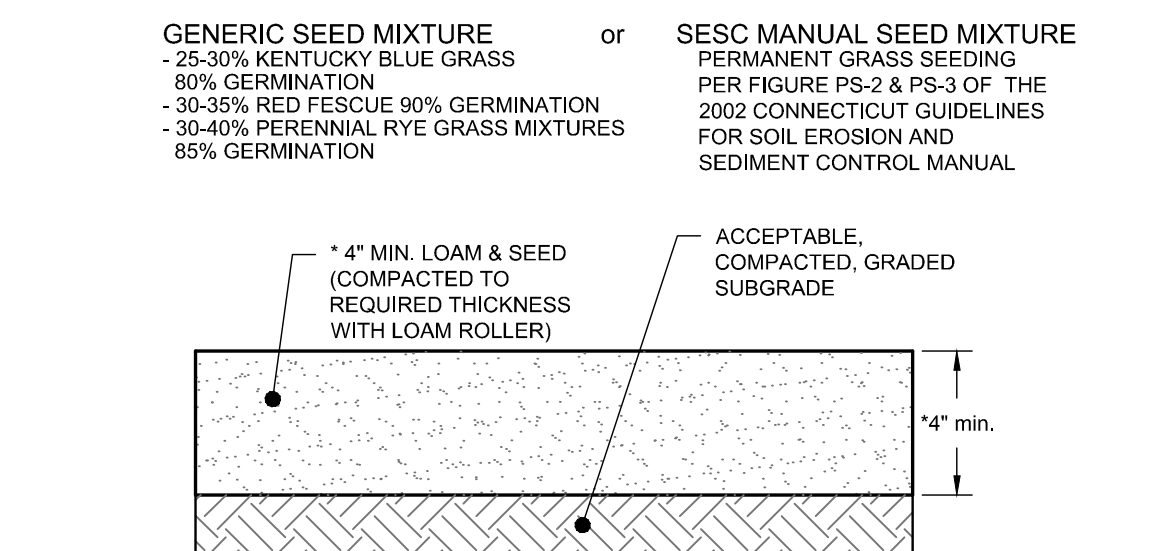
EROSION BLANKET & REINFORCEMENT
MAT SLOPE INSTALLATION
N.T.S.



STRAW BALE BARRIER DETAIL
N.T.S.

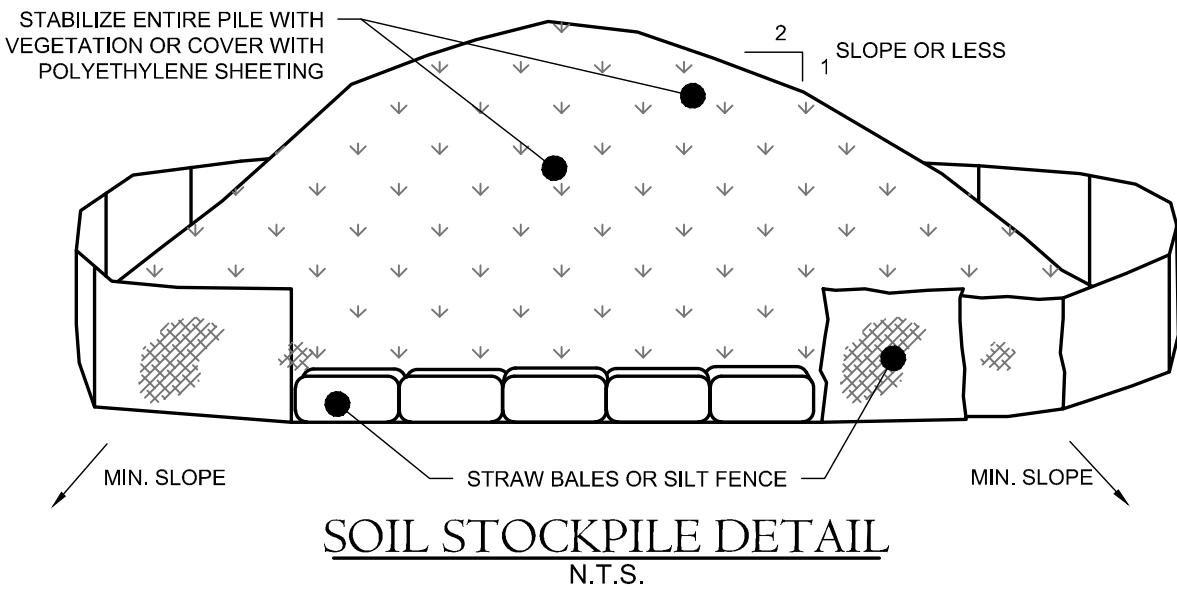


EROSION CONTROL LOG - CURB INLET PROTECTION
N.T.S.

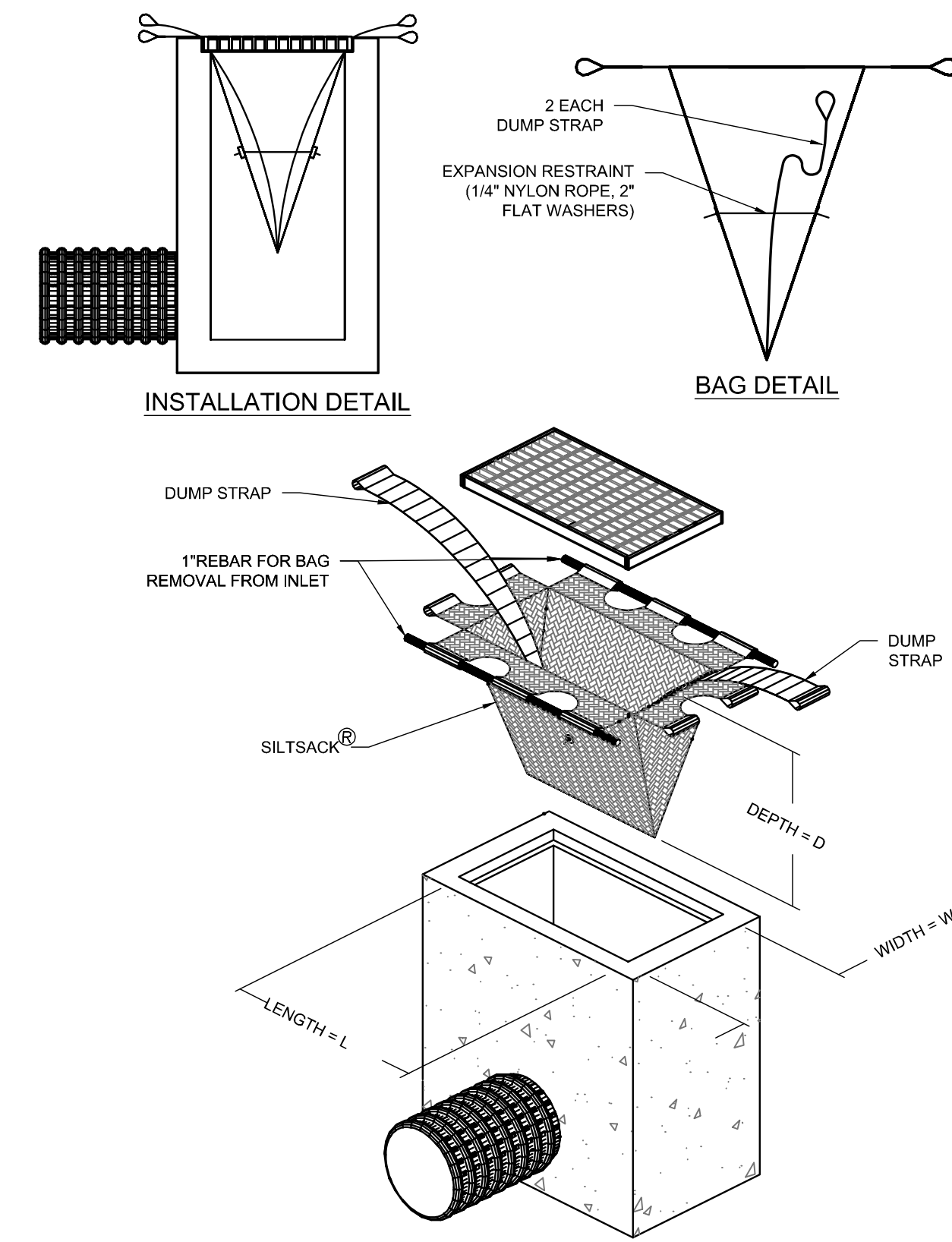


LOAM & SEED DETAIL
N.T.S.

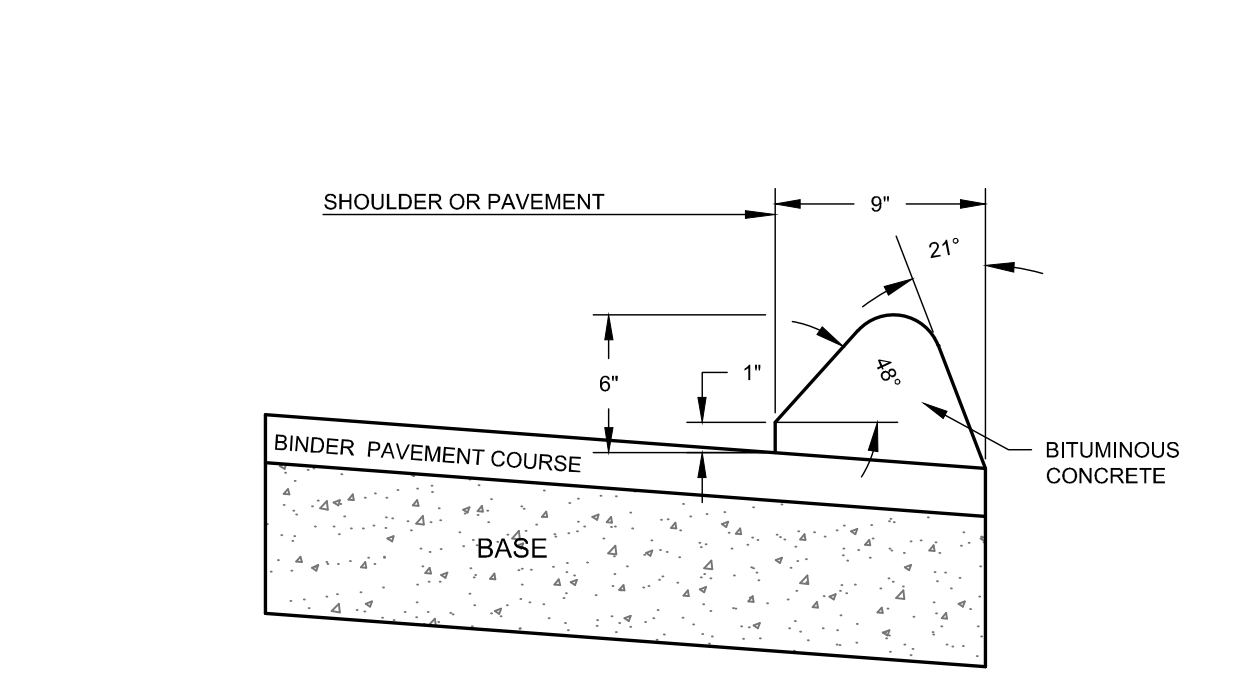
- NOTES:
1. AREA CHOSE FOR STOCKPILING SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED WITH POLYETHYLENE SHEETING.
 4. TO BE USED WHERE TOPSOIL IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DRAUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONEY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.
 5. TEMPORARY STOCKPILING STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH NONVEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION, MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND REQUIRED PERIOD OF USE.
 6. SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATIONS.



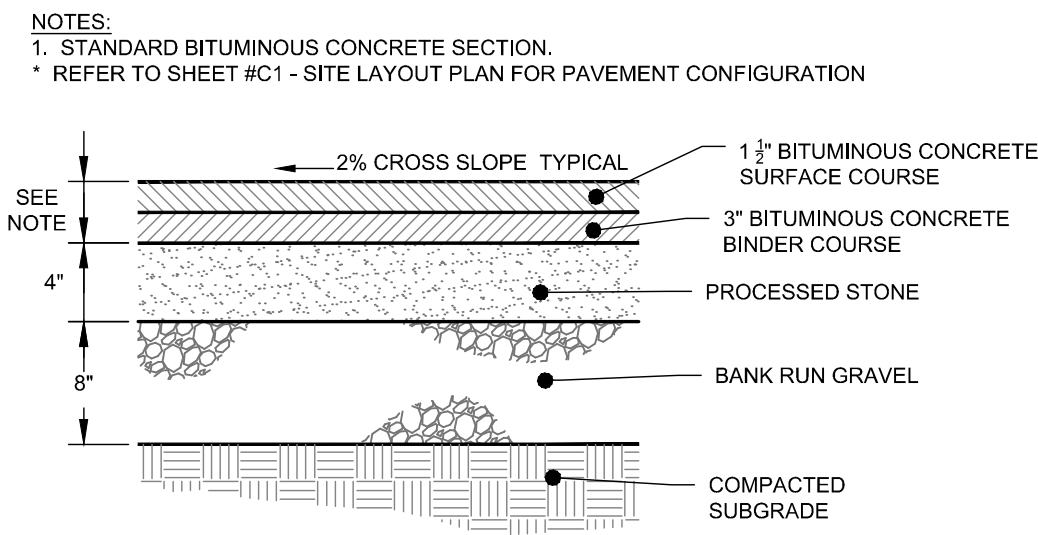
SOIL STOCKPILE DETAIL
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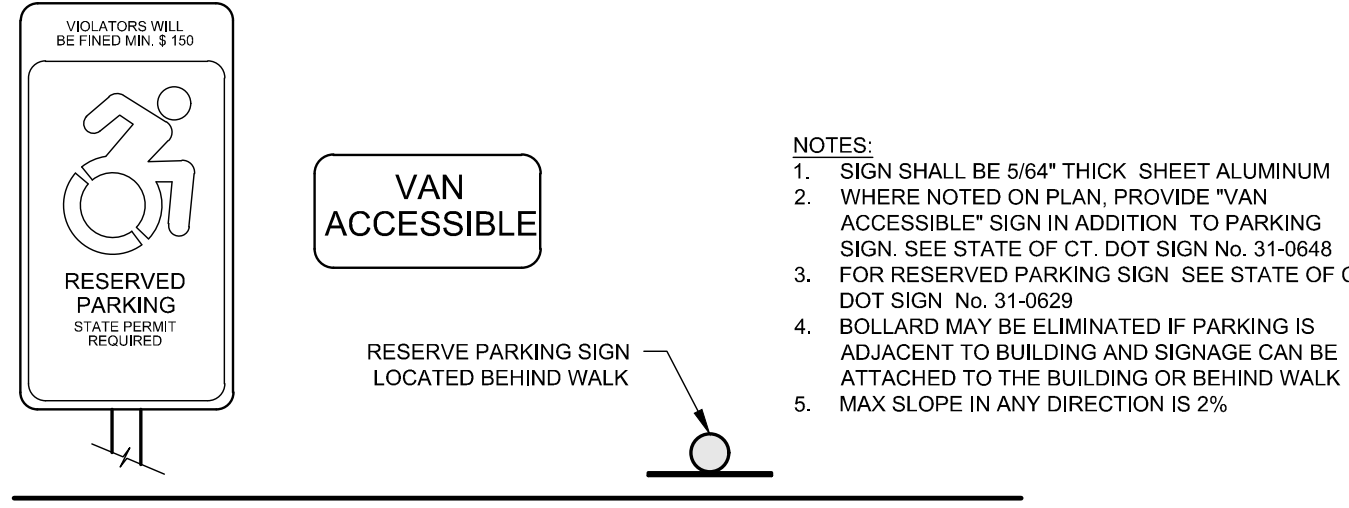
SILTSACK INLET CONTROL DEVICE
N.T.S.



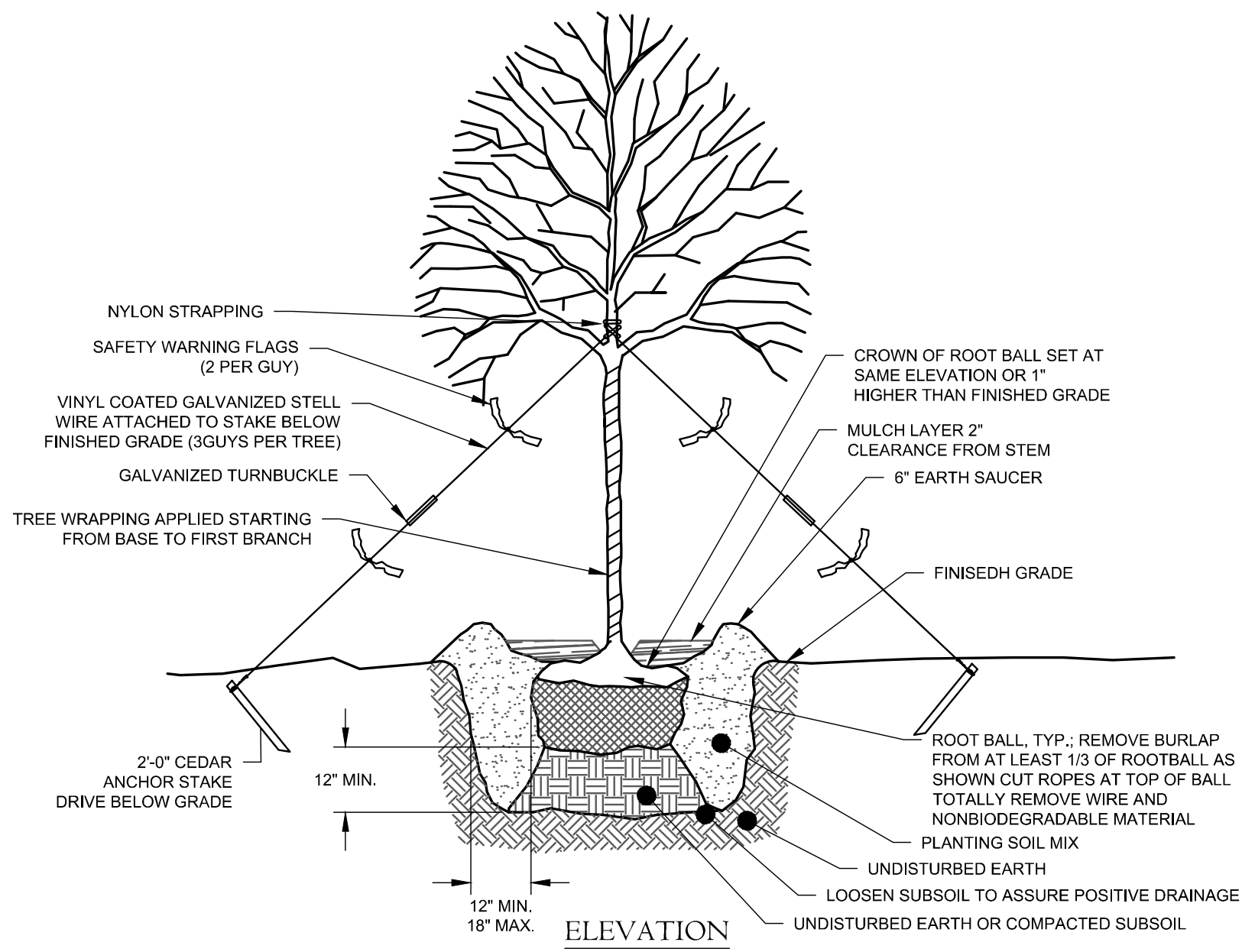
BITUMINOUS CONCRETE LIP CURBING
N.T.S.



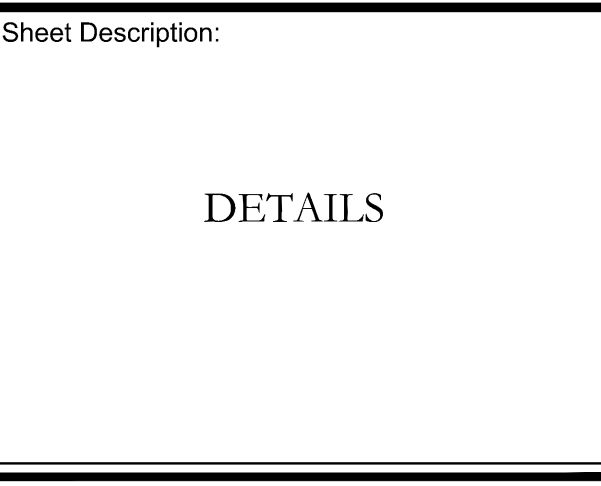
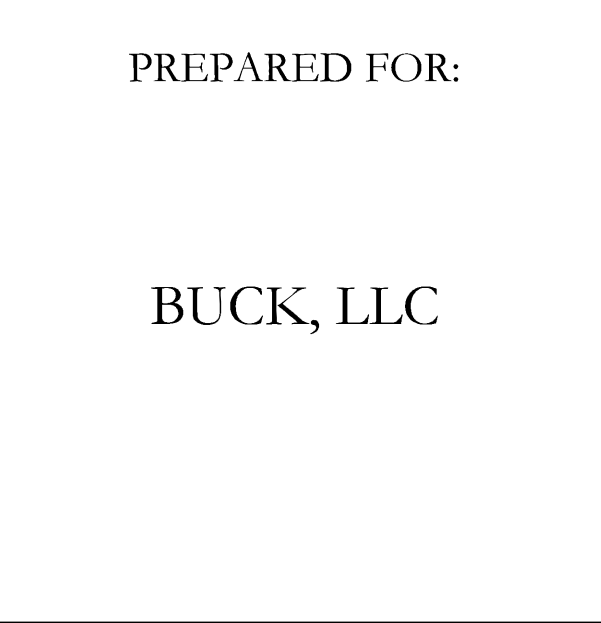
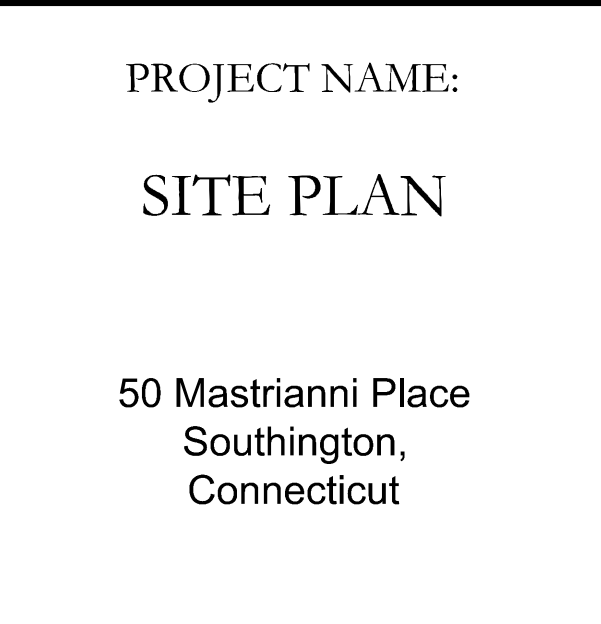
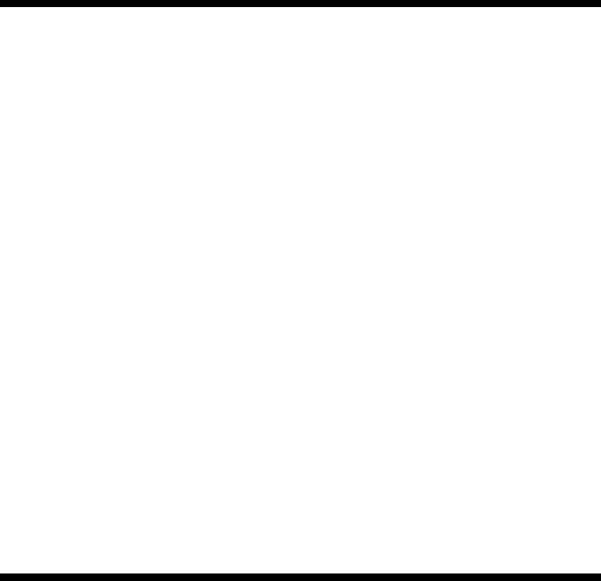
TYPICAL BITUMINOUS CONCRETE PAVEMENT DETAIL
N.T.S.



RESERVED PARKING SPACE
TYPICAL & VAN ACCESSIBLE
N.T.S.



TREE PLANTING AND GUYING DETAIL INSTALLED IN OPEN AREAS
N.T.S.



Scale: N.T.S.	
Date: May 18, 2021	
Project #: 2078	F.B. #: ---
Drawn By: BTP	Approved By: MSL
Revisions:	
Date:	Descriptions:
July 23, 2021	Revise per town comments
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