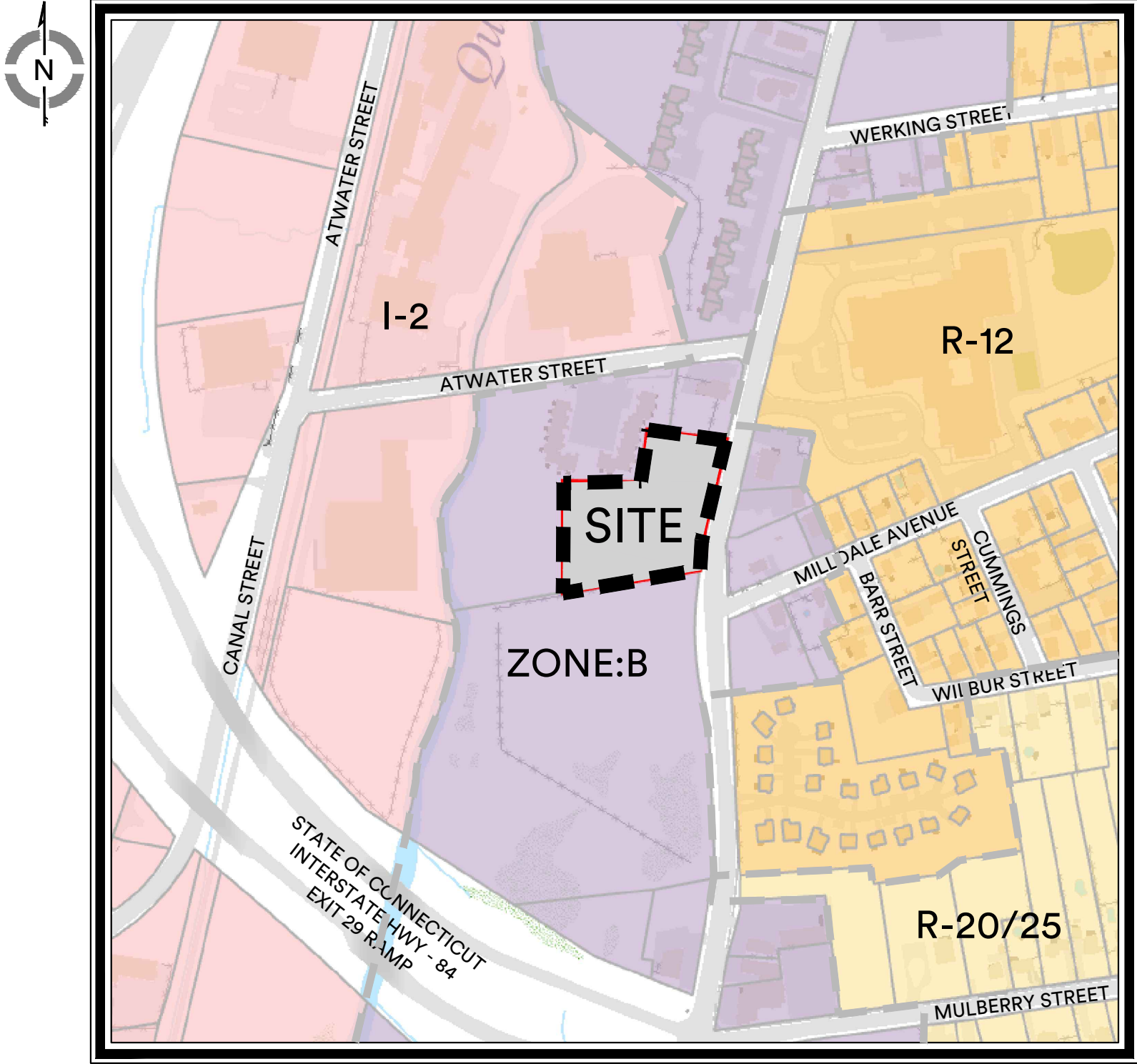


PROPOSED RESIDENTIAL APARTMENT COMMUNITY

1104 South Main Street
Plantsville, CT



KEY MAP

SCALE: 1"=500'

Sheet Index:

S1	Property & Topographic Survey Map
C1	Site Layout & Landscaping Plan
C2	Site Grading & Utility Plan
L1	Lighting Plan
ES1	Soil Erosion & Sedimentation Control Plan
ES2	Soil Erosion & Sediment Control Details
D1	Details
D2	Details
D3	Details
TT1	Fire Truck Turning Maneuver Plan
TT2	Truck Turning Maneuver Plan

Applicant:

3 Squared, LLC
97 Valley View Court
Southington, Connecticut 06489

Property Owner:

1st MDD, LLC
151 Raynor Street
Plantsville, CT 06489

Consultants:

Engineering & Surveying
cole civil + survey
876 South Main Street
Plantsville, Connecticut 06489
Tel. (860) 628-4484
colecivil.com

Soil Scientist
Ian T Cole
Registered Soil Scientist/
Professional Wetland Scientist #2006
P.O. Box 619
Middletown, Connecticut 06457
Tel. (860) 514-5642

PREPARED FOR

3 Squared, LLC
April 29, 2025

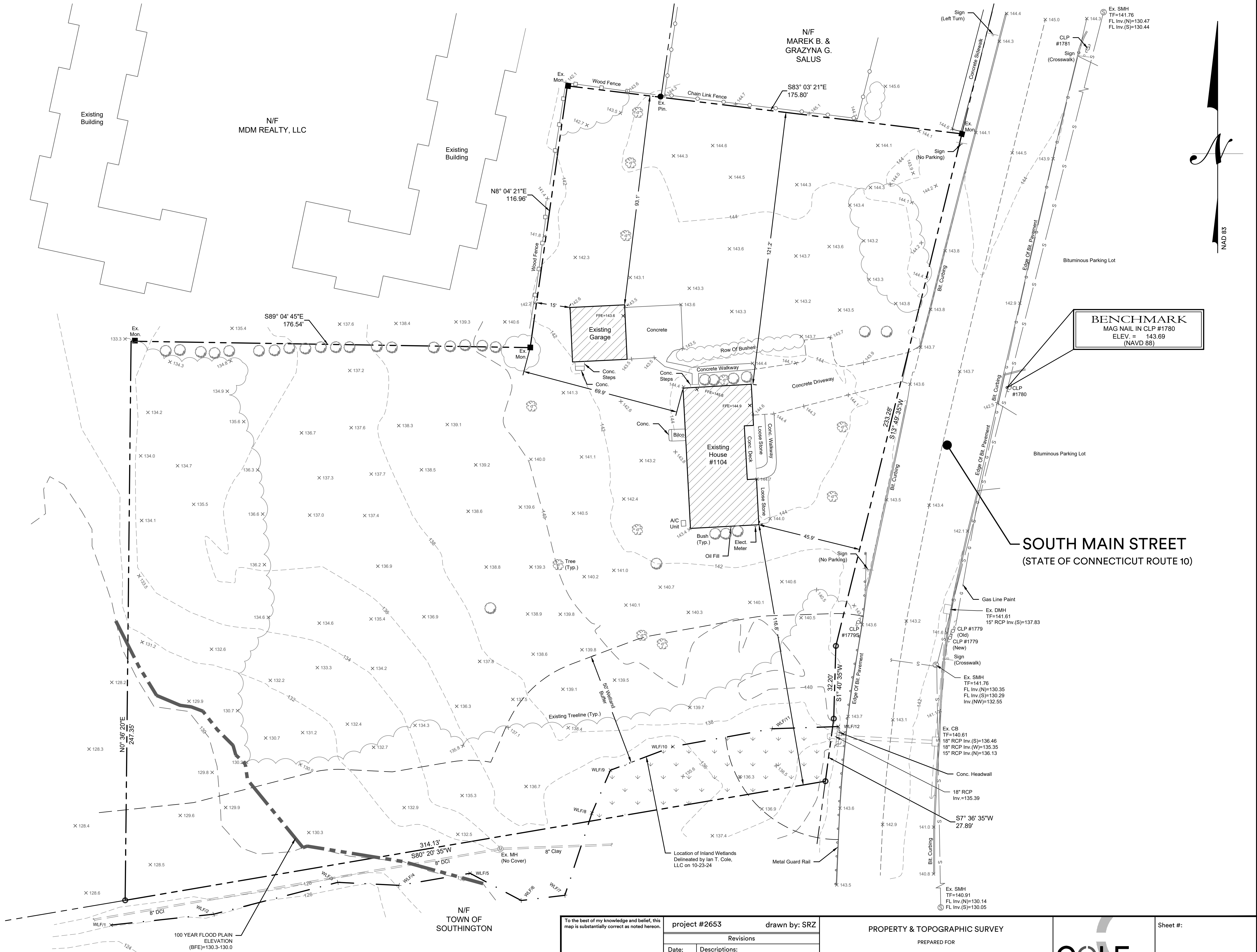
DRAWING NAME: P:\FIELD and Survey\2653 - 3_southmain\2653.dwg, DATE: 11/08/2024, DRAWN BY: SRZ, CHECKED BY: SRZ, PLOTTED BY: SRZ, PLOT DATE: 11/08/2024, PLOT SCALE: 1"=20', PLOT ORIENTATION: NAD 83

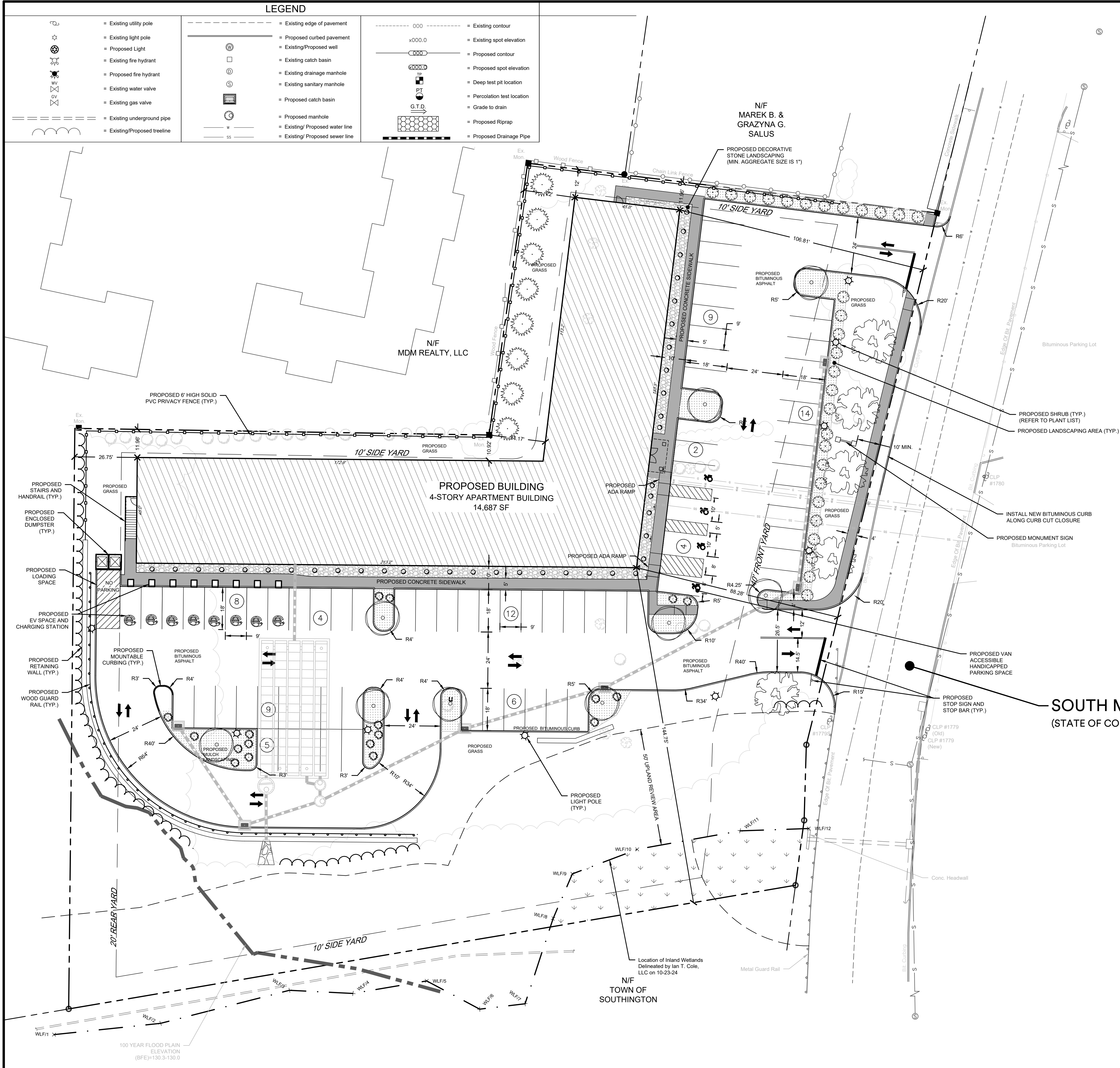
LEGEND

- = Existing utility pole
- = Existing light pole
- = Existing fire hydrant
- = Existing water valve
- = Existing gas valve
- = Existing underground pipe
- = Existing edge of pavement
- = Existing bituminous concrete lip curb
- = Existing well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Existing utility box
- = Existing contour
- = Existing spot elevation
- = Existing iron pin
- = Existing drill hole
- = Existing monument

SURVEY NOTES:

- This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- Type of survey performed: Property Survey
- Boundary determination category: Resurvey
- Class of accuracy:
Horizontal: A-2
Vertical: T-2
- The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
- Map References:
 - "Subdivision Map; Prepared For Milo & Denorfia Construction, Inc.; Southington, Conn.; Scale: 1"=40'; Dated: June 20, 1986; Last Revised: Nov. 4, 1986 By Harry E. Cole & Son." Filed In Map Drawer 16 As Map No. 115 In S.L.R.
 - "Easement Map Depicting Easement Area To Be Acquired Across Property Of Now Or Formerly MDM Realty LLC; 456 Atwater Street; Southington, CT; File No. W20208; Scale: 1"=20'; Dated: 01/28/21 By Shawn A. Southworth." Filed In Map Drawer 999 As Map No. 644 In S.L.R.
- Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
- Zone: B
- Total area: 88,636 88,636 S.F., 2.03 2.03 Acres
- Owner: 1st MDD, LLC
- Town of Southington Assessors Map #52 Lot #77
- Filed in Volume 1231, Page 171 of the Town Clerk's office.
- Contour interval is 2 foot.
- Existing contours generated from field topography.
- This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.





PLANT LIST				
SYM.	QTY.	SCIENTIFIC NAME	COMMON NAME	CONDITION
STREET TREES				
	5	ACER RUBRUM	RED MAPLE	3" CALIPER
		PRUNUS AMERICANA	AMERICAN PLUM	3" CALIPER
		PRUNUS SARGENTII (flowering)	SARGENT CHERRY	3" CALIPER
		TILIA CORDATA	LITTLE LEAF LINDEN	3" CALIPER
SHADE TREES				
	9	QUERCUS RUBRA	RED OAK	B & B, 3" CAL.
		ACER RUBRUM	RED MAPLE	B & B, 3" CAL.
		TILIA TOMENTOSA	SILVER LINDEN	B & B, 3" CAL.
		PRUNUS PENSYLVANICA	WILD RED CHERRY	B & B, 3" CAL.
SHRUBS				
	85	ILEX VERTICILLATA	COMMON WINTERBERRY	B&B, 18-24" HT.
		ARONIA ARBUTIFOLIA	RED CHOKEBERRY	3 GAL, HEAVY, FULL
		RHODODENDRON CANADENSE	RHODODERON	3 GAL, HEAVY, FULL
		VIBURNUM CASSINOIDES	WITHEROD VIBURNUM	3 GAL, HEAVY, FULL
		VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3 FT
		JUNIPERUS COMMUNIS	COMMON JUNIPER	2-3 FT
ARBORVITAE TREES				
	8	JUNIPERUS VIRGINIANA	EASTERN RED-CEDAR	3" CALIPER
		THUJA OCCIDENTALIS	NORTHERN WHITE CEDAR	3" CALIPER
		CUPRESSUS x LEYLANDII	LEYLAND CYPRESS	3" CALIPER

1. THE ABOVE LIST DOES NOT INCLUDE ANY SPECIES LISTED ON THE CONNECTICUT INVASIVE PLANT LIST AND NO PLANT ON THIS LIST SHALL BE PLANTED ON SITE.
2. INTERIOR LANDSCAPED AREAS TO BE INSTALLED WITH LANDSCAPE BED WITH NON-COMBUSTIBLE MULCH, ROCK IS REQUIRED ADJACENT TO BUILDING. MINIMUM AGGREGATE SIZE IS 1" (NO PEA GRAVEL)

LANDSCAPING TABLE			
		REQUIRED	PROVIDED
INTERIOR LANDSCAPING TOTAL	20 S.F. / SPACE	1,460 S.F.	3,250 S.F.
SHADE TREES	1 TREE / 10 PARKING SPACES	8	9
STREET TREES	1 TREE / 50 FT FRONTAGE	6 (265 FT FRONTAGE)	5 + EXISTING VEGETATION

ZONING INFORMATION			
	Requirements	New Affordable Housing Zone (Sec. 4.J)	Provided
ZONE	B	AH	AH
USE			Multi-Family
LOT AREA	20,000 sq.ft.	20,000 sq.ft.	88,636 S.F.
LOT FRONTAGE	100 ft.	100 ft.	265.48 ft.
FRONT YARD SETBACK	40 ft.	40 ft.	88.28 ft.
SIDE YARD SETBACK	10 ft.	10 ft.	10.92 ft.
REAR YARD SETBACK	20 ft.	20 ft.	22.0 ft.
MAX. BUILDING HEIGHT	3 Stories (40 ft)	4 Stories (+48.5 ft)	4 Stories (+46.8 ft)
MAX. BUILDING COVERAGE	25%	25%	16.7% (14,687 sqft)

PARKING INFORMATION			
ITEM	REQUIREMENT	MINIMUM REQUIRED	PROVIDED
PROPOSED BUILDING: MULTI-FAMILY STUDIO / ONE-BEDROOM 54 UNITS	1.0 SPACE / DWELLING UNIT	54 spaces	74
PROPOSED BUILDING: MULTI-FAMILY TWO OR MORE BEDROOM 10 UNITS	1.0 SPACE / DWELLING UNIT	19 spaces	
HANDICAP PARKING		3 spaces	3
TOTAL # OF SPACES		73 spaces	74 (INCLUDING H.C.)

1. PARKING TABLE FOR MULTI-FAMILY USE BASED ON TOWN PLANNING AND ZONING BOARD APPROVAL TO NEW AFFORDABLE HOUSING ZONE, SEC. 4.J.

SOUTH MAIN STREET

(STATE OF CONNECTICUT ROUTE 10)



Know what's **below**.
Call before you dig.

- SITE PLAN NOTES:**

 1. Owner: 1st MOD, LLC
 2. Applicant: 3 Swarded, LLC
 3. Street #: 104 State Main Street
 4. Area of Parcel: 88.636 SF, 2.03 Acres
 5. Parcel is zoned: B
 6. Present use: Single Family
 7. Proposed use: Multi-Family Residential

Wetlands have been located by Ian Cole and field located by surveyors.

All site to be serviced by local water and sewer.

All work in connection with this plan shall be completed within five years of the date of approval, or the approval is no longer valid.

Erosion and Sedimentation control shall conform to the "Connecticut Guidelines for Soil Erosion and Sediment Control" dated March 30, 2024, and amended to date.

All site work shall conform to specifications as outlined in C.D.O.T. Form 819, dated 2024 and amended to date.

Any regulated activity in a designated Inland Wetland not a part of this plan shall require a separate Inland Wetland Permit.

Maximum edge slopes shall be two feet horizontal to one foot vertical.

All areas disturbed by construction to be restored with 4" of loam and seeded.

All exterior light fixtures shall be LED and full cutoff fixtures with recessed lenses.

Roof drains shall tie into the proposed drainage system.

All Catch Basins/Inlets shall be cleaned prior to occupancy.

Underground fuel tanks are prohibited.

Sanitary service connection for domestic/office waste only. No industrial waste shall be discharged.

Water service sizing to be determined by the Local Water Department upon receipt of all pertinent water fixture data.

Local Planning and Engineering Departments to be notified 24 hours before site grading begins.

Notify any excavation contractor to notify "CALL BEFORE YOU DIG", 1-800-992-4455.

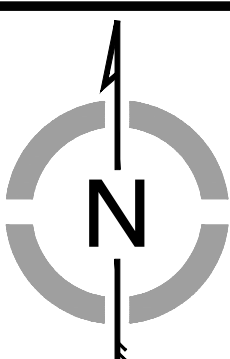
All existing utilities to be from best available information, contractor to verify all locations, dimensions, and elevations prior to construction. Notify Engineer of any discrepancies.

No floor drains are proposed. Floor drains are not allowed without obtaining Connecticut DEP permits.

Building permit required for construction of retaining walls over 3-ft-tall. Design of retaining walls shall be provided by structural/geotechnical engineer prior to construction of walls.

Per State Law (PA 22-25), requires all parking lots greater than 30 spaces to provide LEVEL 2 EV Charging Stations for at least 10% of the approved spaces.

27.1. Proposed Total 74 parking spaces. Proposed 8 EV Charging Stations



NORTH
NAD 83

COLE
civil + survey

876 south main street
plantsville, ct 06479
colecivil.com
860.628.4484

**PROPOSED RESIDENTIAL
APARTMENT COMMUNITY**
1104 South Main Street - Plantsville, CT

1104 South Main Street - Plantsville, CT

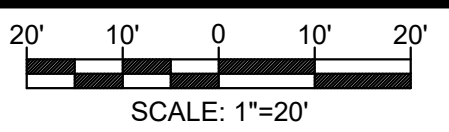
3 SQUARED, LLC

PROJECT:

Drawn By: BTP

Date: April 29, 2025

Date:	April 29, 2025
Revisions:	
Date:	Descriptions:



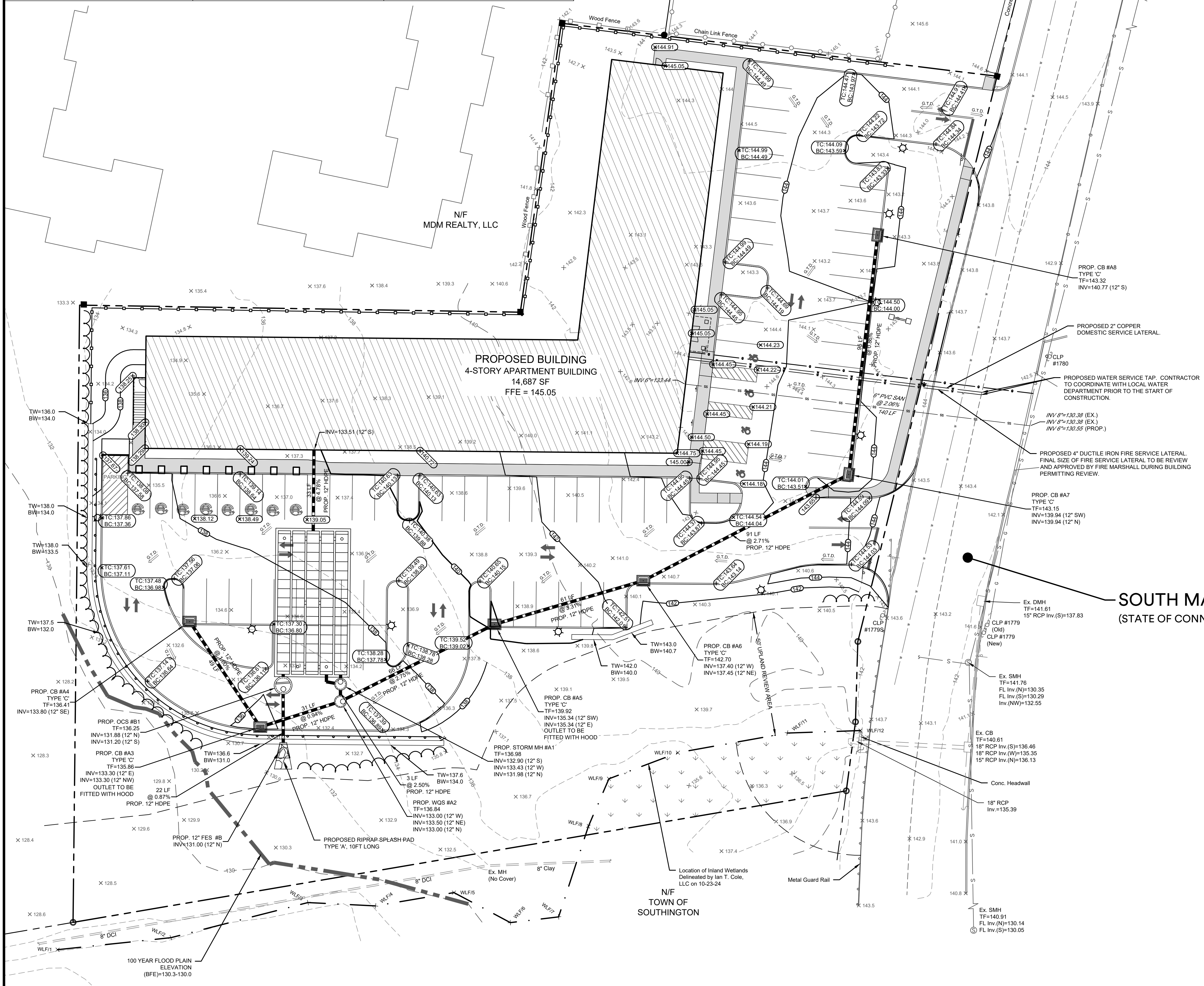
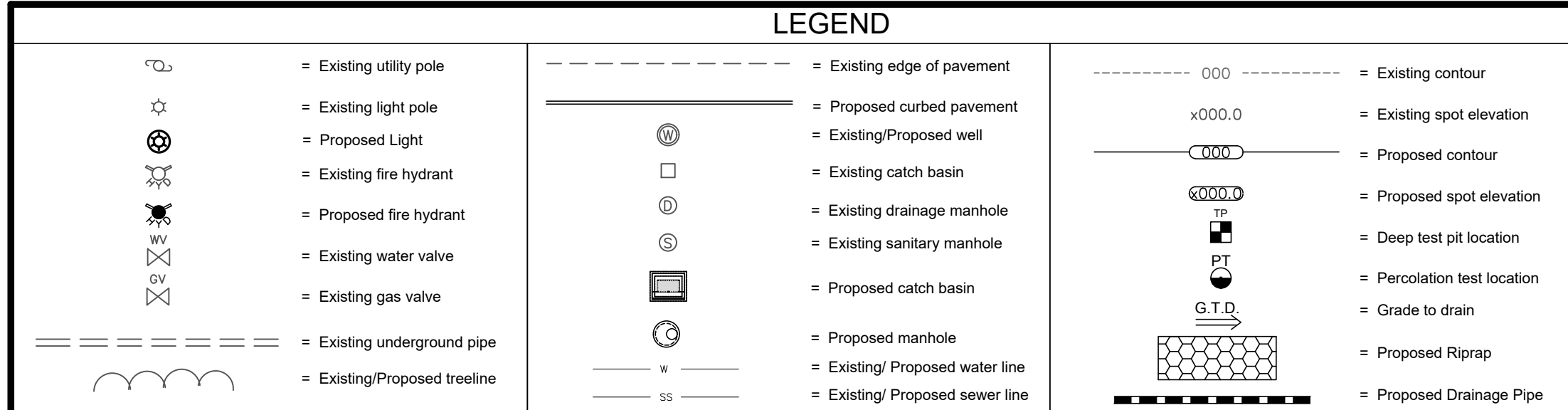
Barton N. Bovee P.E.
Reg. No. 13653
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OR STAMP IS AFFIXED HERETO

Sheet Description:

SITE LAYOUT & LANDSCAPING PLAN

Sheet #:

C1

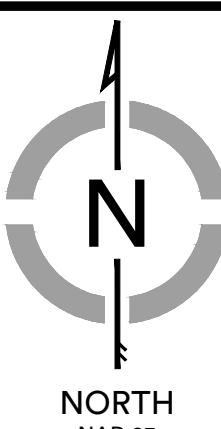


GRADING AND UTILITY PLAN NOTES:

1. See Sheet C1 for additional information.
2. Site to be serviced by town water and private subsurface sewage disposal system.
3. Contractor to coordinate with all local utility companies prior to the start of construction.
4. Roof drains shall tie into the proposed drainage system.
5. All Catch Basins/Inlets shall be cleaned prior to occupancy.
6. Maximum earth slopes shall be two feet horizontal to one foot vertical.
7. Sanitary sewer stopper for domestic/office waste only. No industrial waste shall be discharged.
8. Sanitary sewer system to provide storage tank and grinder pump. Final design and layout to be provided to Town Engineer prior to start of construction for final approval.
9. Water service sizing to be determined by the Architect/MEP and verified by Southington Water Department upon receipt of all pertinent water fixture data.
10. Water Service laterals to enter the building through the floor and terminate upon entrance.
11. All existing utilities are from best available information, contractor to verify all locations, dimensions, and elevations prior to construction. Notify Engineer of any discrepancies.
12. Upon final Architecture and MEP plans for the building, the roof drainage system shall be fitted with a high level overflow outlet if the building is fitted with exterior gutters and downspouts or a back flow prevention valve if the roof leader have an interior system.
13. Proposed Water Quality Structure #A2 to be Contech CDS 2015-4 or approved equal.
14. Building permit required for construction of retaining walls over 3-ft tall. Design of retaining walls shall be provided by structural/geotechnical engineer prior to construction of walls.
 - 14.1. TW = Grade at Top of Wall side
 - 14.2. BW = Grade at Bottom of Wall side



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plantsville, ct 06479
colecivil.com
860.628.4484

**PROPOSED RESIDENTIAL
APARTMENT COMMUNITY**
1104 South Main Street - Plantsville, CT

3 SQUARED, LLC

PROJECT:

Drawn By: BTP

Date: April 29, 2025		
Revisions:		
Date:	Descriptions:	
4/29/25	4/29/25	
4/29/25	4/29/25	
4/29/25	4/29/25	
4/29/25	4/29/25	
4/29/25	4/29/25	



SOUTH MAIN STREET

(STATE OF CONNECTICUT ROUTE 10)

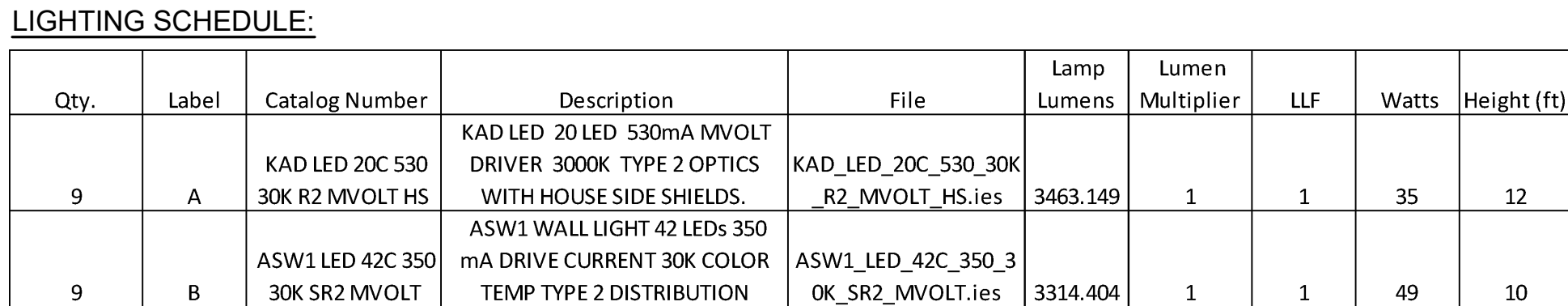
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Reg. No. 13653
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Sheet Description:

**SITE GRADING & UTILITY
PLAN**

Sheet #:

C2



Know what's **below**.
Call before you dig.

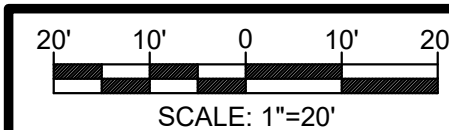


PROPOSED RESIDENTIAL
APARTMENT COMMUNITY
1104 South Main Street - Plantsville, CT

3 SQUARED, LLC

Date: April 29, 2025

Revisions:	Date:	Descriptions:
	2008-01-01	Initial
	2008-01-01	Initial
	2008-01-01	Initial
	2008-01-01	Initial
	2008-01-01	Initial



Barton N. Bovee P.E.
Reg. No. 13653
NOT VALID UNLESS EMBOSSED SEAL
OR STAMP IS AFFIXED HERETO

Sheet Description:

LIGHTING PLAN

Sheet #:

L1

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE:

- A. PROJECT INFORMATION**
- Project Description - The project consist of 2.03 Acres at 1104 South Main Street in Plantsville, CT.
 - Area of Development - 1.5± Acres.
 - Area Proposed Disturbance Due to Construction Activities - 1.5± Acres.
 - Estimated Start of Construction - 2025.
 - Estimated Construction Completion Date - 2027.
- B. SEQUENCE OF CONSTRUCTION**
- The tentative sequence of construction events are as follows and activities noted by a "(Capital Letter)" may occur concurrently.
- Conduct a pre-construction meeting with the OWNER, Contractor, Consultant Team, and Local, County and State agencies having jurisdiction over the project.
 - Field stakeout the limits of all activities and install, at a minimum, a snow fence along construction limit lines along environmentally sensitive and tree protection areas. Silt fencing may be substituted where it coincides with this line, but only as approved by the OWNER. (A)
 - Install silt fence along all sides contiguous to wetlands, watercourses and property owned by others affected by the work. Refer to the Soil Erosion and Sedimentation Control Plan for locations. (A)
 - After each rain storm monitor the sedimentation and erosion control structures, which may include riprap channels, sediment basins, plunge pools, etc. Routinely remove sediment during construction when controls exceed one half (1/2) their capacity, sediment shall be disposed of in an environmentally acceptable manner at an approved location. (A)
 - Clear vegetation within project limits, except trees designated to remain or in question, as shown on the plans. The decision of how questionable trees are to be treated shall rest with the OWNER and coordinated through the local agency having jurisdiction as construction progresses. All trees and shrubs less than 6" in diameter, and not to remain, shall be chipped and stored on site for mulch. (A)
 - Remove stumps and dispose of at a bulky waste site approved by the ENGINEER and local official having jurisdiction. Disposal of stumps within burial pits on-site shall be prohibited. (B)
 - Construct all temporary sedimentation and erosion control structures, including but not limited to: silt fence, stone check dams, water breaks, and sediment traps/basins. All structures and their locations shall be approved by the ENGINEER or the Inland Wetlands Enforcement Officer. Prior to the next phase of construction. (B)
 - Install drainage outfall pipe and temporary sediment basin along with temporary drainage diversions to sediment basin. If the proposed detention basin is to be used as a temporary sediment trap/basin and an outlet control structure is to be installed, all outfalls and weirs are to be plugged water tight during construction. (B)
 - Strip topsoil and subsoil materials as required and stockpile them at locations that will not adversely impact any down gradient wetlands. Stockpiles may be relocated to meet job conditions but are subject to the ENGINEER'S approval. Provide temporary erosion controls on the downslope slopes of all stockpiles. (B)
 - Bring proposed site entrance surface areas to rough subgrade.
 - Conduct all rough cuts and fills for proposed buildings and associated parking. Making sure that all fill material is free of brush, rubbish, large boulders, logs, stumps and other objectionable materials. (C)
 - If blasting is required for any cuts, all proposed work is to be coordinated with all local officials having jurisdiction. The contractor is required to secure all permits for blasting operations in accordance with local and state regulations and conduct a pre-blast survey of surrounding properties. Rock spoil is to be disposed of in an appropriate manner as the site development plan may show or is locally permitted. (C)
 - Provide temporary seeding measures on all exposed soil which were damaged due to construction activities, are outside of construction traffic zones, and are not to be permanently restored or for a period in excess of thirty (30) days. Seeding and seedbed preparation are as specified herein or as indicated on the landscape plan. (C)
 - Excavate for and install storm drainage systems. Install strawbale ring sediment barriers at all catch basins locations. (C)
 - Excavate for and install utilities. (C)
 - Building construction may begin pending building permit and run concurrently with the remaining site activities. (C)
 - Bring proposed roadway areas to pavement subgrade with processed stone and install binder course and curbing. Refer to details. (D)
 - Construct all driveway entrance improvements as indicated on plans. (E)
 - Complete final subgrading for all graded and landscaped areas. Prepare subgrades for placing a minimum of four inches of topsoil. Place topsoil only when permanent seeding and landscaping can follow within a reasonable time frame. (E)
 - Exercise final landscaping plan and permanent seeding to provide long-term stabilization. (E)
 - Complete final paving with top course and paint surfaces with pavement markings. (E)
 - Clean and remove all silt from within drainage structures and dispose of materials in an environmentally acceptable manner. (F)
 - Remove temporary measures once permanent measures have matured as approved by the Municipality's enforcement officer. (F)
 - Conduct final inspection with Municipality to identify deficiencies and establish punch list based on approved plans; complete to the satisfaction of the Municipality.
- Construction Staging:**
- Stage #1 - Rough grade site, stabilize steep slopes. Construct temporary sedimentation control measures, detention and retention basins.
 - Stage #2 - Install subsurface storm water systems, install underground utilities and first coat pavement.
 - Stage #3 - Complete parking areas, finish grade site and loam and seed all disturbed areas.
- C. RESPONSIBILITY**
- The responsibility for implementing and maintaining the Soil Erosion and Sedimentation Control Plan rests with the OWNER OF RECORD where any development of the parcel gives cause to erosion and sedimentation. It is also to be said that the OWNER OF RECORD shall be held responsible for informing all concerned regarding responsibility of the SESO plan, and seeing that the plan becomes a part of the deed in the event the title of the property is transferred. The costs of all drainage erosion and sedimentation control measures will therefore rest with the OWNER OF RECORD.
 - SESC Emergency contact Information**
Emergency Contact Name: 3 Squared, LLC - (Roy Evjen)
Emergency Contact Phone Number: (860)919-7078

GENERAL NOTES:

- Additional notes and details are located on Sheet ES2.
- At all times during construction, the Developer/Contractor shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer/Contractor shall also be responsible for installing and maintaining all erosion control facilities shown herein.
- All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or diskling along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way and future pavement shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. watering, seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Town Engineer.
- All inlets shall be cleaned prior to occupancy.
- All slopes greater than 3:1 shall be protected with Erosion Control Blankets (S150 by North American Green or approved equal)
- All erosion control measures shall remain intact and operational until the site has been stabilized and vegetation is thoroughly established. This may occur after completion of construction, therefore it is critical for the Developer, Contractor and/or Owner to understand the erosion control responsibilities and maintain the erosion control measures.
- To minimize erosion of the sandy soils, vegetation shall be established immediately following completion of grading within each area. Vegetation may consist of temporary seeding or final loam and seed.
- If areas of work are not addressed by this plan or sediment and erosion issues arise in areas not covered by this plan, then the plan shall be revised in the field. Contractor shall be responsible to insure no sediment or erosion problems encroach upon abutting property. This may require additional barriers, swales and bales.
- All erosion and sediment control measures shall conform to the 2024 Connecticut Guidelines for Soil Erosion and Sediment Control manual.
- All Dewatering shall incorporate the use of filter bags on discharge ends.

STORMWATER MANAGEMENT MAINTENANCE SCHEDULE
Plantsville, CT

The following are the required maintenance and monitoring procedures.

- Riprap and Discharge Aprons** - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for rip-rap damage and deterioration. These procedures to be conducted yearly between May 1 and before September 15.
- Outlet Control Structure** - Shall be cleaned of all sediment, trash and debris and is to be inspected for structural integrity. These procedures to be conducted yearly between May 1 and September 15. Structure shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections. Repairs shall be executed immediately.
- Emergency Spillway** - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for riprap damage and deterioration. These procedures to be conducted yearly between May 1 and September 15. Repairs shall be executed immediately.
- Catch Basins** - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures to be conducted yearly anytime after May 1 and before September 15.
- Swales** - all swales be cleared of all sediment deposits, invasive plant species and debris. Any erosion shall be repaired. These procedures to be conducted annually. Swales shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond schedule maintenance, may be required based upon inspections.
- Water Quality Basin** - Basin shall be cleared of all sediment deposits, invasive plant species and debris. These procedures to be conducted yearly between May 1 and September 15. Basin shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.
- Slopes** - Slope erosion control blankets and vegetation shall be inspected twice a year and after significant rainfall events. Additional maintenance, beyond schedule maintenance, may be required based upon inspections. Any rills or channeling shall be repaired immediately.
- Parking Lot Sweeping** - Use mechanical sweeping on paved areas where dust and fine materials accumulate. These procedures to be conducted yearly anytime after May 1 and September 15.
- All sediment deposits, trash and debris shall be removed to a location off-site and disposed of in an environmentally acceptable manner.

EROSION CONTROL
SYMBOL LEGEND

- x — x — ORANGE LIMIT OF CONSTRUCTION FENCE
- — — — — SILT FENCE
- — — — — EROSION CONTROL LOG/WATTLE
- — — — — INLET PROTECTION
- — — — — STAKED BALES
- — — — — CHECK DAM WATTLE/STONE or STONE
- — — — — EROSION CONTROL BLANKET
- — — — — TEMPORARY WATER BAR (WB) or DIVERSION CHANNEL (TD)

*SYMBOLS DEPICTED IN LEGEND AND PLAN ARE NOT DRAWN TO SCALE. SEE DETAILS FOR SPECIFIC INFORMATION

LEGEND

- — — — — Existing utility pole
- — — — — Existing light pole
- — — — — Proposed Light
- — — — — Existing fire hydrant
- — — — — Proposed fire hydrant
- — — — — Existing water valve
- — — — — Existing gas valve
- — — — — Existing underground pipe
- — — — — Existing/Proposed treeline
- — — — — Existing edge of pavement
- — — — — Proposed curbed pavement
- — — — — Existing/Proposed well
- — — — — Existing catch basin
- — — — — Existing drainage manhole
- — — — — Existing sanitary manhole
- — — — — Proposed catch basin
- — — — — Proposed manhole
- — — — — Existing/ Proposed water line
- — — — — Existing/ Proposed sewer line
- — — — — Existing contour
- — — — — Existing spot elevation
- — — — — Proposed contour
- — — — — Proposed spot elevation
- — — — — Deep test pit location
- — — — — Percolation test location
- — — — — Grade to drain
- — — — — Proposed Riprap
- — — — — Proposed Drainage Pipe

TEMPORARY STORMWATER MANAGEMENT MAINTENANCE SCHEDULE
(DURING CONSTRUCTION)

The following are the required maintenance and monitoring procedures

Swales - All swales shall be moved and be cleared of all sediment deposits, invasive plant species and debris. These procedures shall be conducted monthly. Swales shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

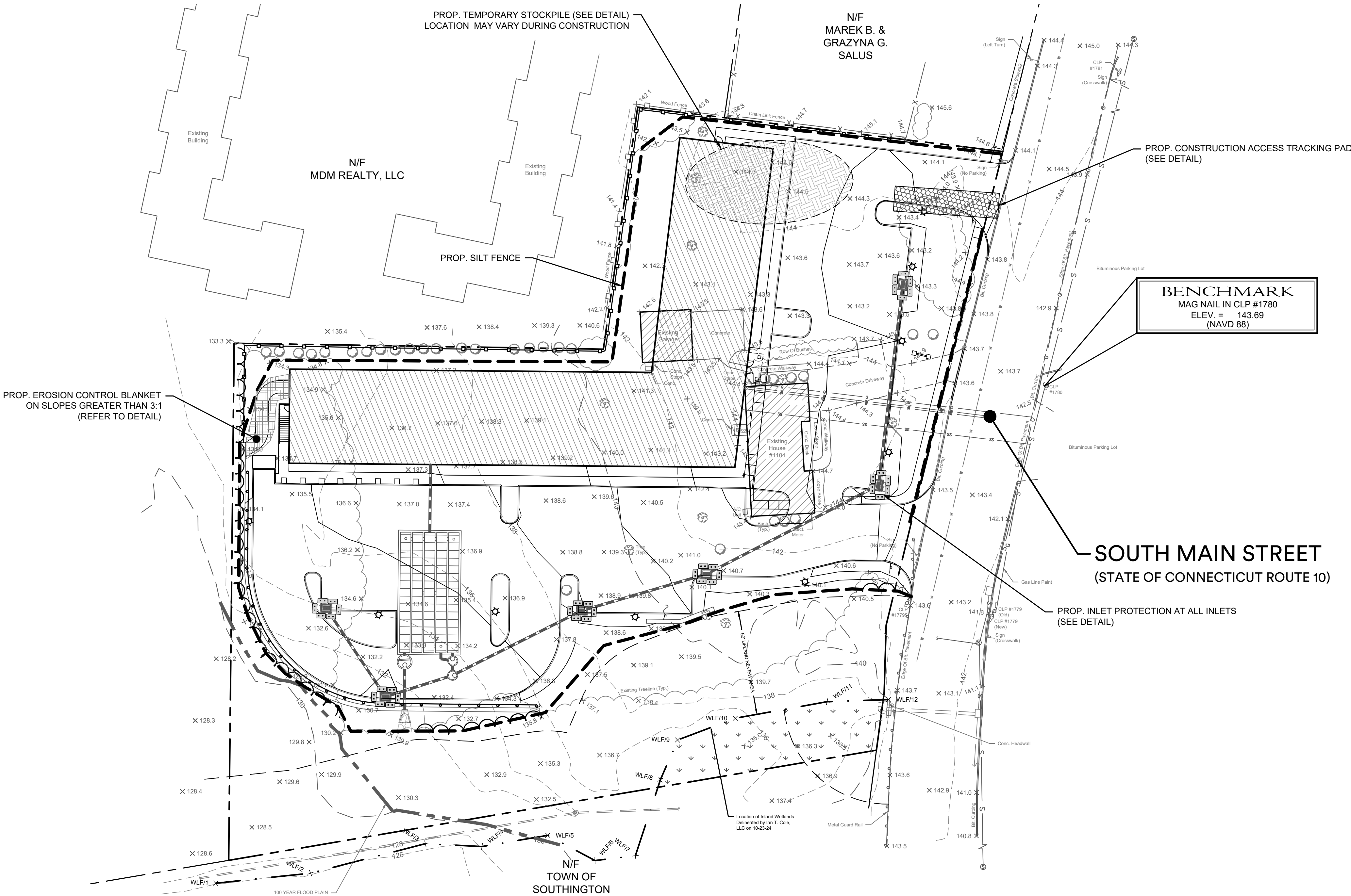
Catch Basins - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures shall be conducted monthly. Basins shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections

Slopes - Stabilized slopes are essential to preventing sediment movement. Any channels of concentrated flow, such as rills, shall be fixed immediately. Additional control measures, such as bales, riprap, sediment fence and erosion fabric may be required. Slopes shall be inspected weekly and after significant rainfall events.

Sediment Barriers & Straw Bales - Shall be inspected weekly and after significant rainfall events. Repairs shall be made immediately. Additional barriers and bales may be required depending upon the area of work. If conditions exist which can not be addressed with this plan, then additional barriers shall be implemented to prevent sediment from leaving the site.

Street Sweeping - Sediment from the construction site, which has accumulated on the existing streets shall be cleaned up immediately. Contractor to inspect daily

Wind Blown Sediment - Shall be minimized. Unpaved travel ways shall be sufficiently watered to minimize wind blown sediment. Other unpaved surfaces shall be watered, temporary vegetated, roughing with disc or other measures in the Connecticut Guidelines for Soil Erosion and Sediment Control manual.



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860.628.4484

**PROPOSED RESIDENTIAL
APARTMENT COMMUNITY**

1104 South Main Street - Plantsville, CT

3 SQUARED, LLC

PROJECT: _____
Drawn By: BTP
Date: April 29, 2025
Revisions: _____
Date: _____
Descriptions: _____

Scale: 1"=30'

30' 15' 0 15' 30'

Barton N. Bovee P.E.
Reg. No. 13653
NOT VALID UNLESS EMBOSSED SEAL
OR STAMP IS AFFIXED HERETO

Sheet Description:

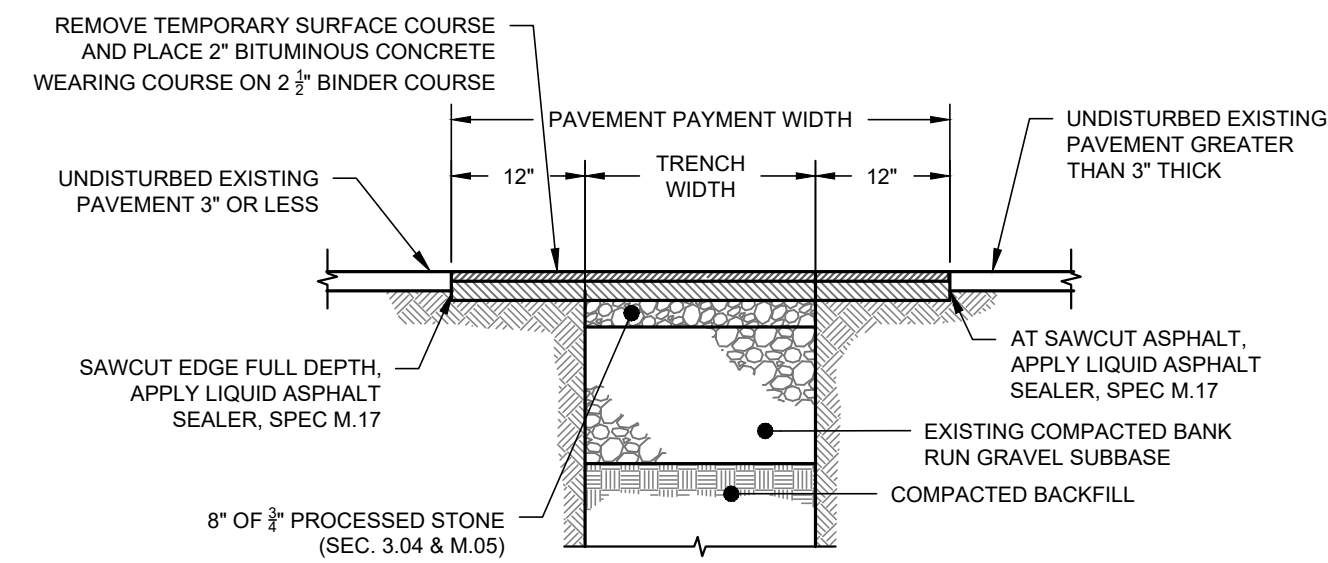
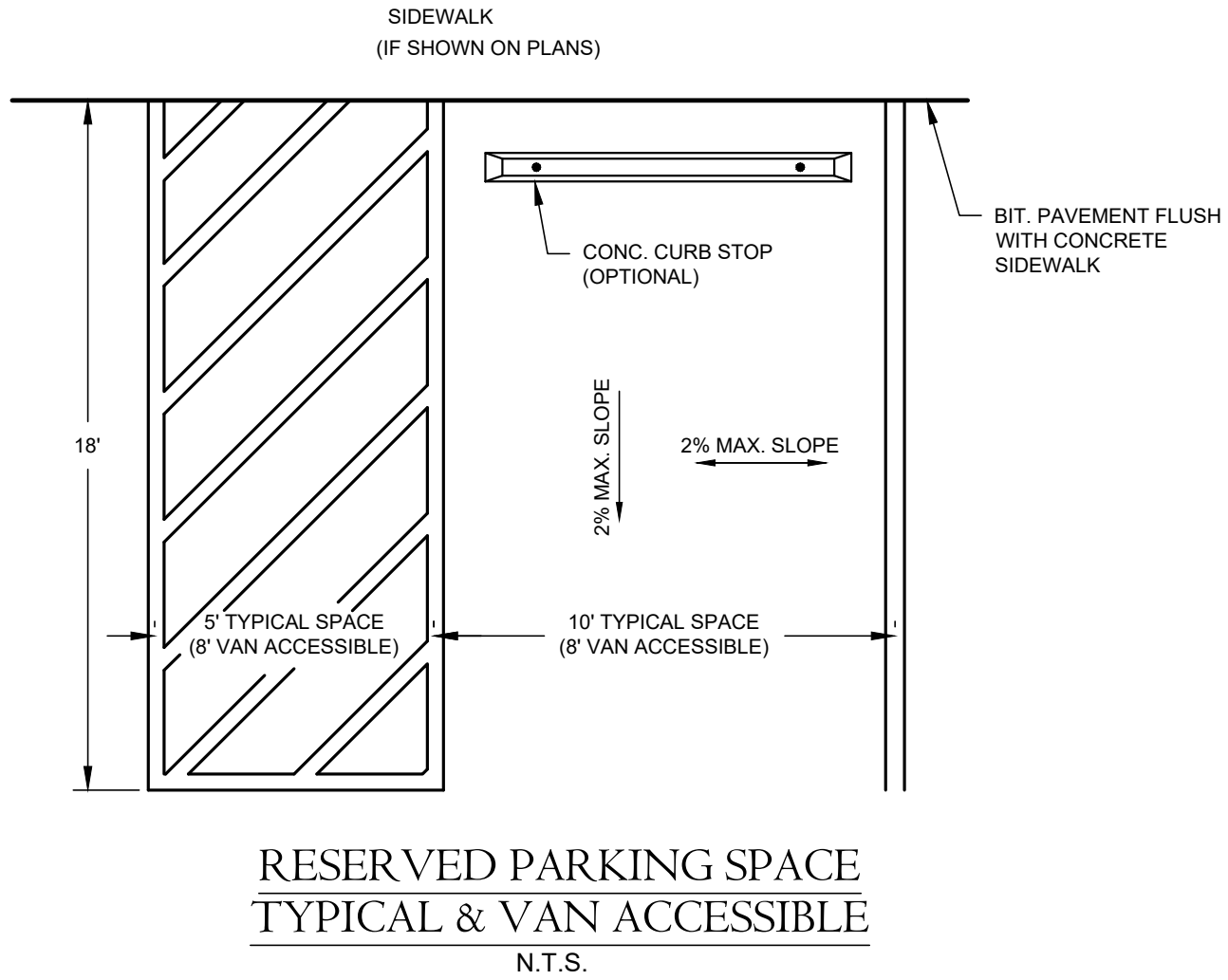
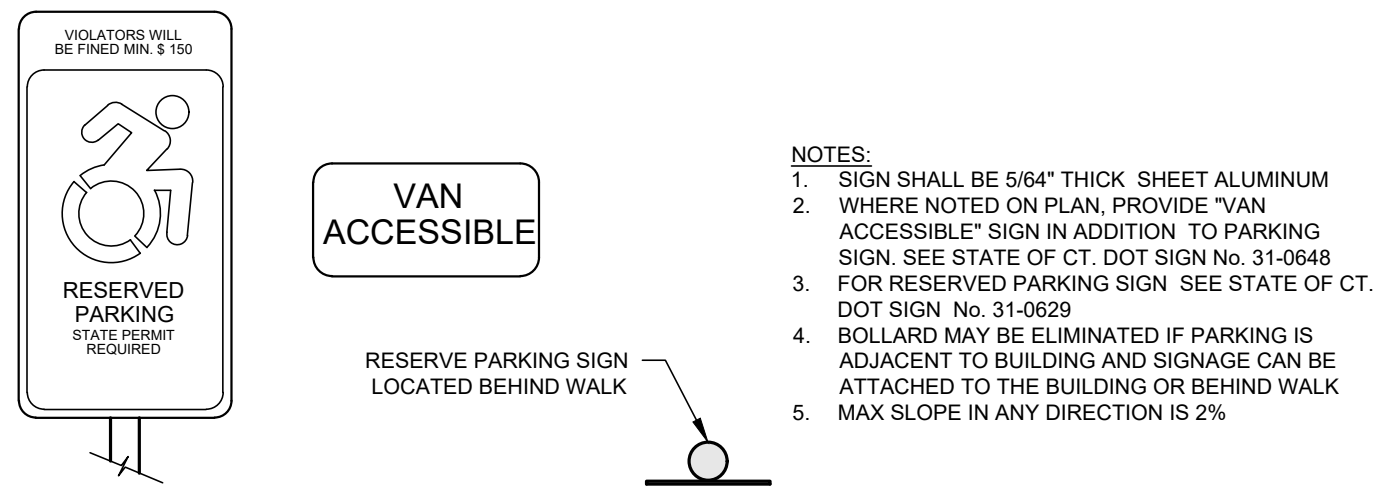
**SOIL EROSION &
SEDIMENTATION
CONTROL PLAN**

Sheet #:

ES1

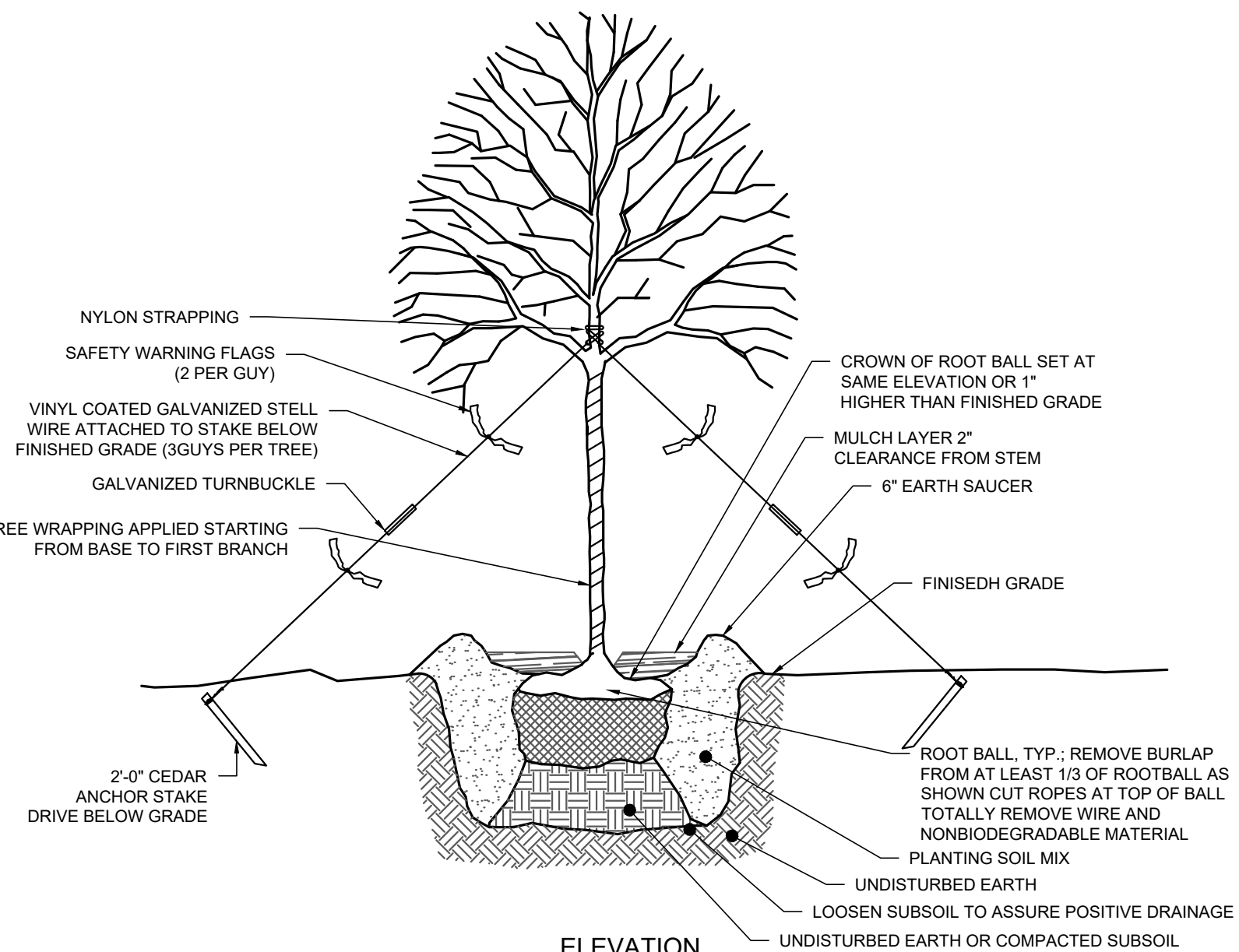


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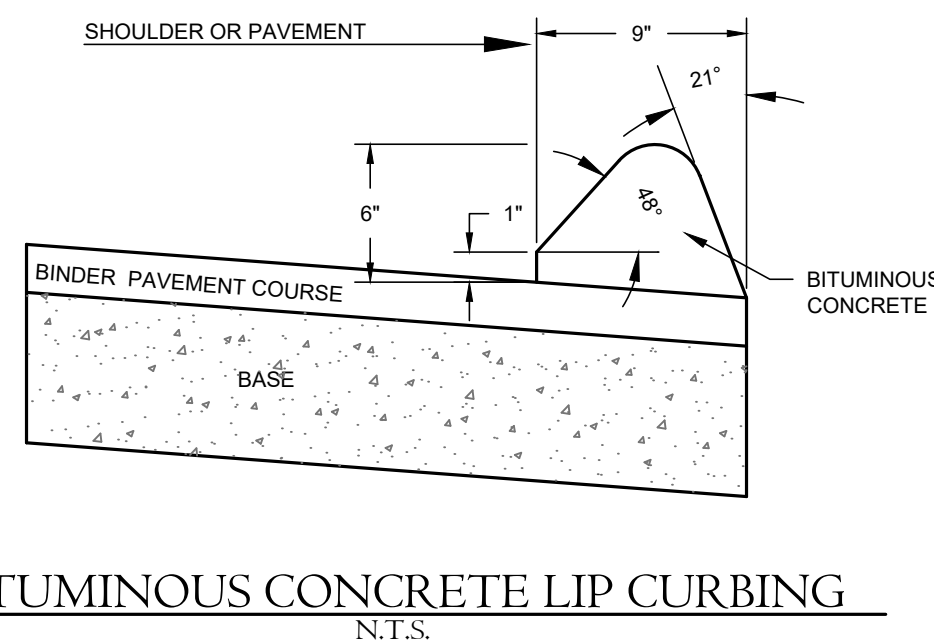
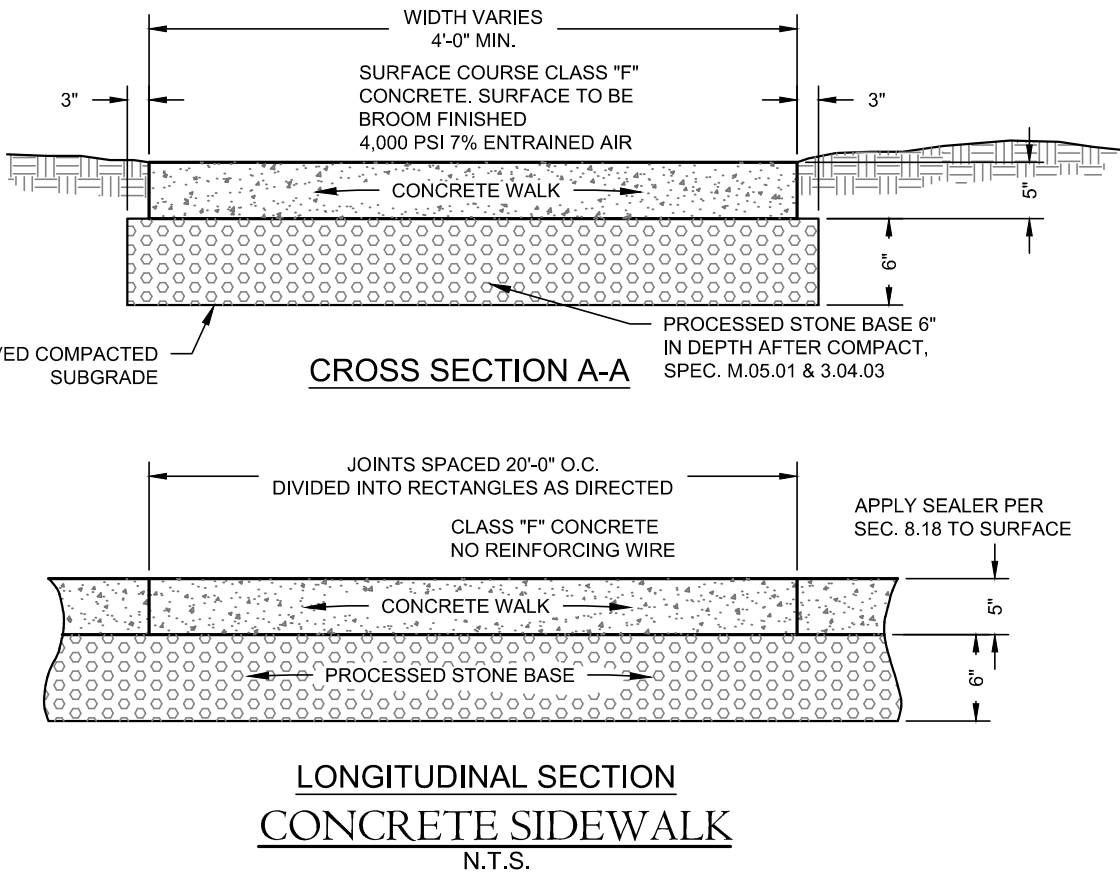
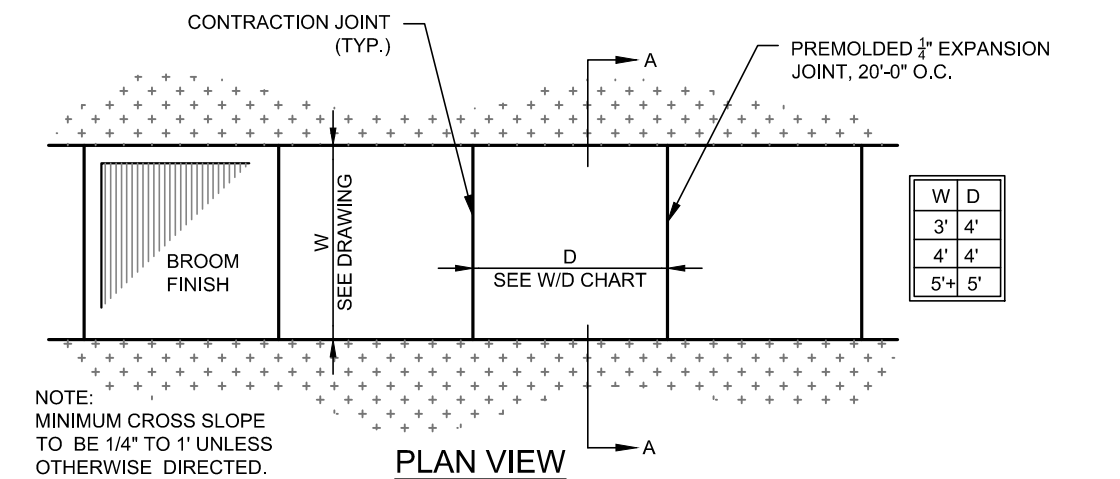


1. ALL PAVEMENT PATCH CONSTRUCTION SHALL CONFORM TO CONN.
DOT FORM 816 SPECIFICATIONS AND STANDARDS.

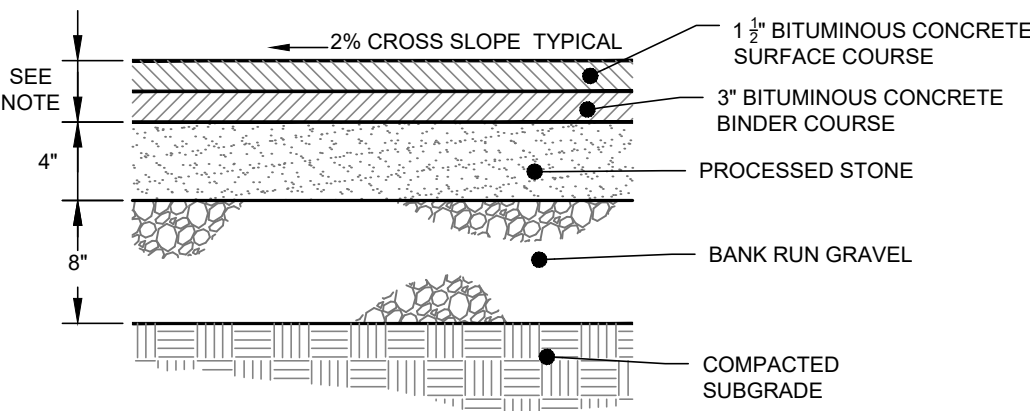
PERMANENT PAVEMENT PATCH DETAIL
N.T.S.



TREE PLANTING AND GUYING DETAIL INSTALLED IN OPEN AREAS
N.T.S.

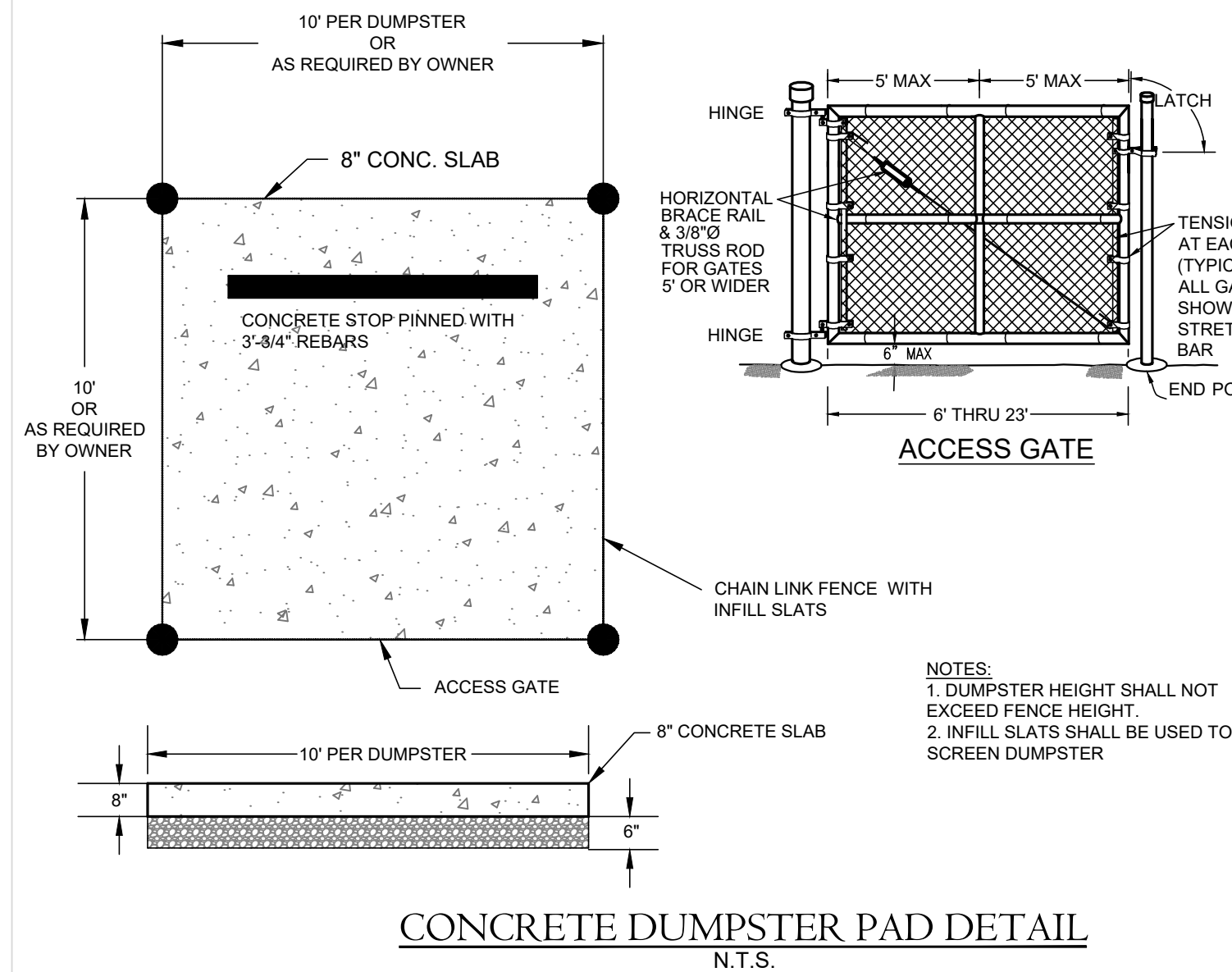
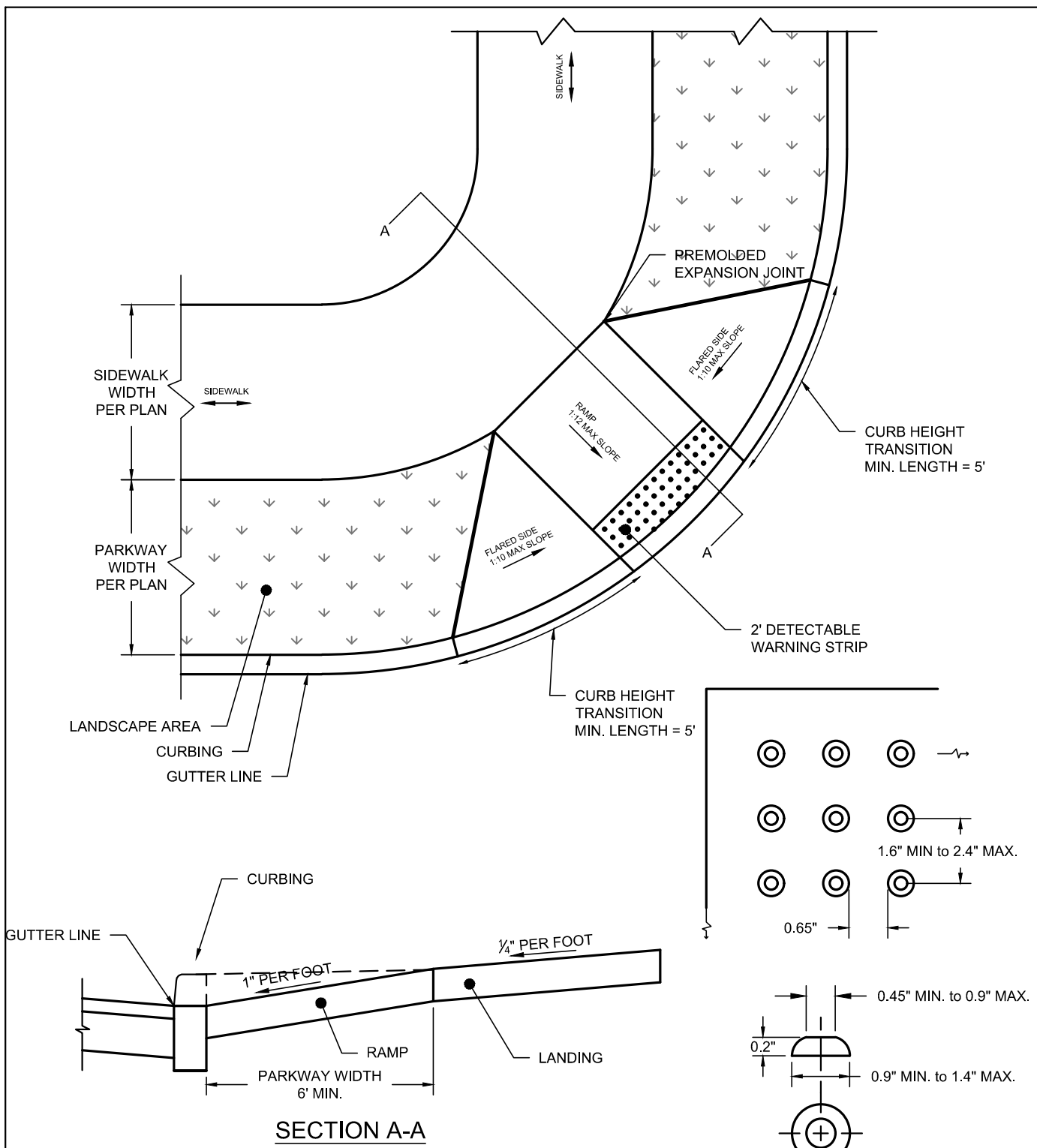
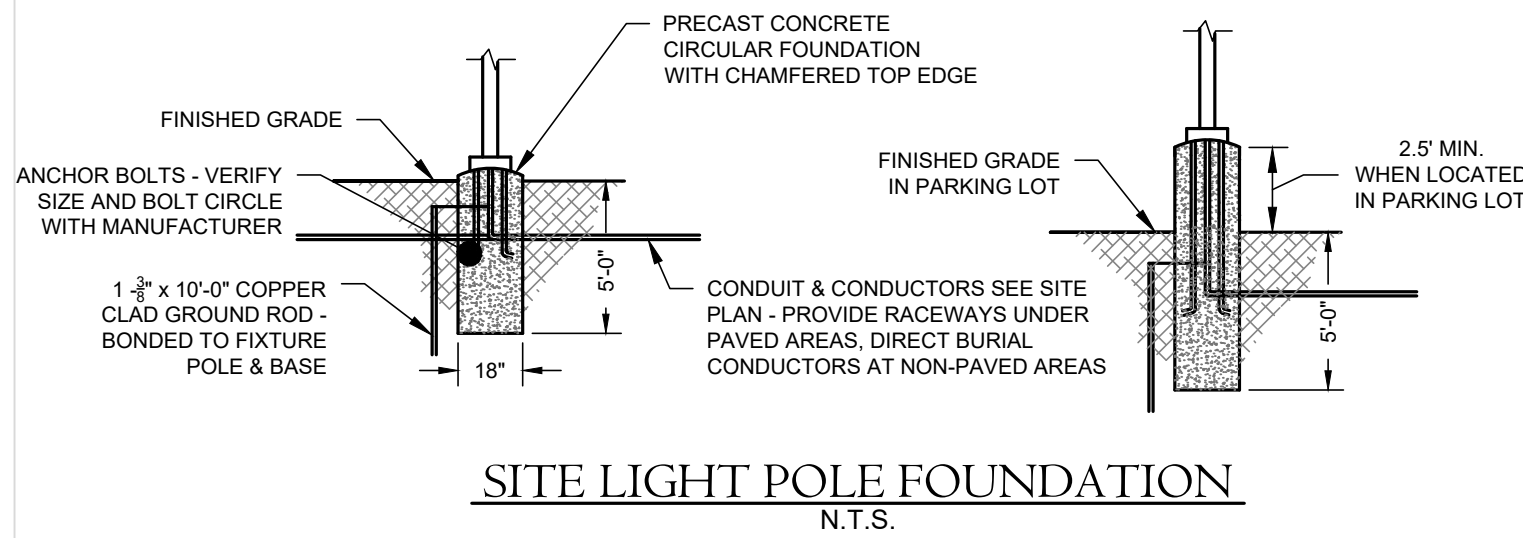
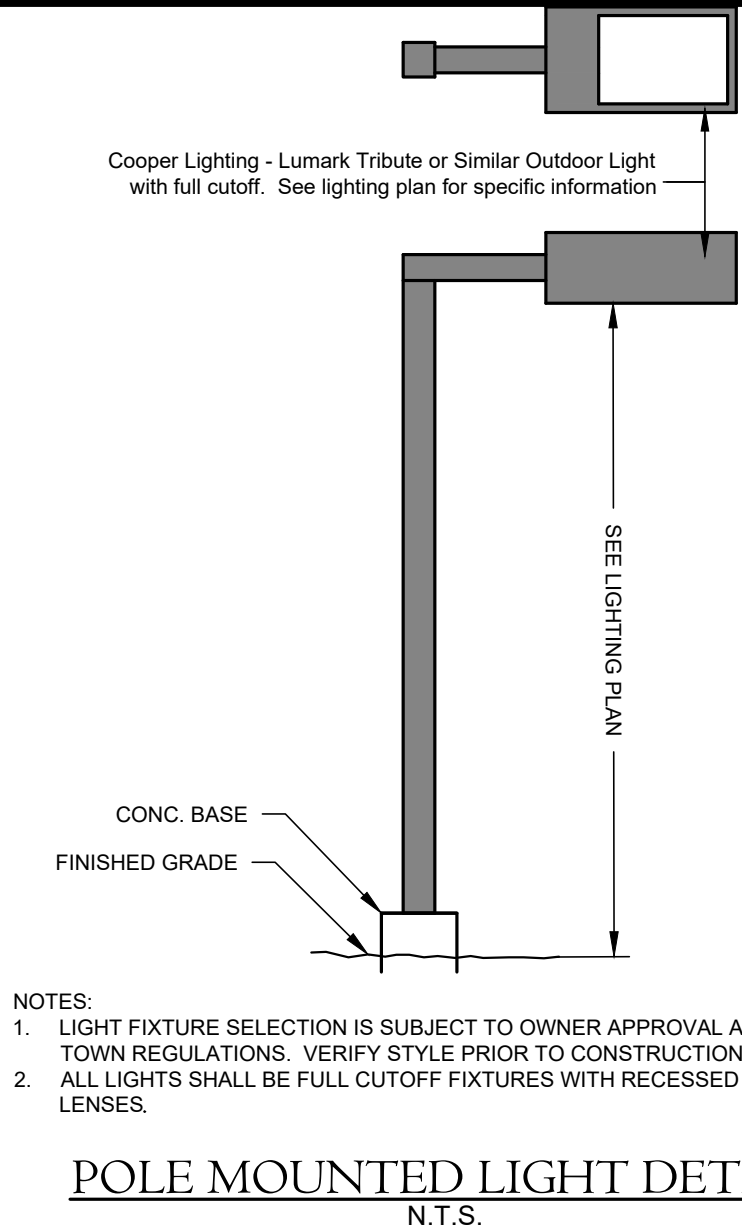
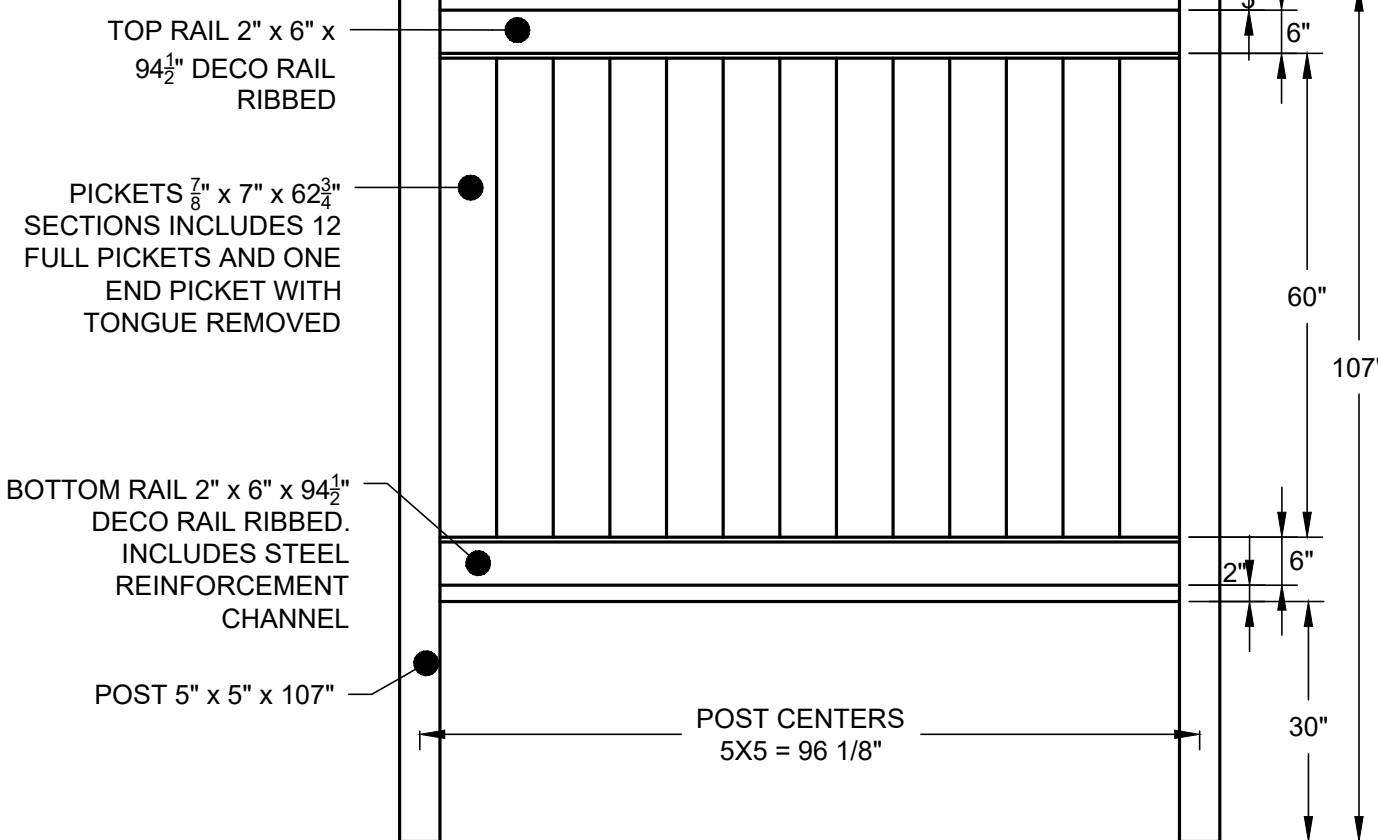
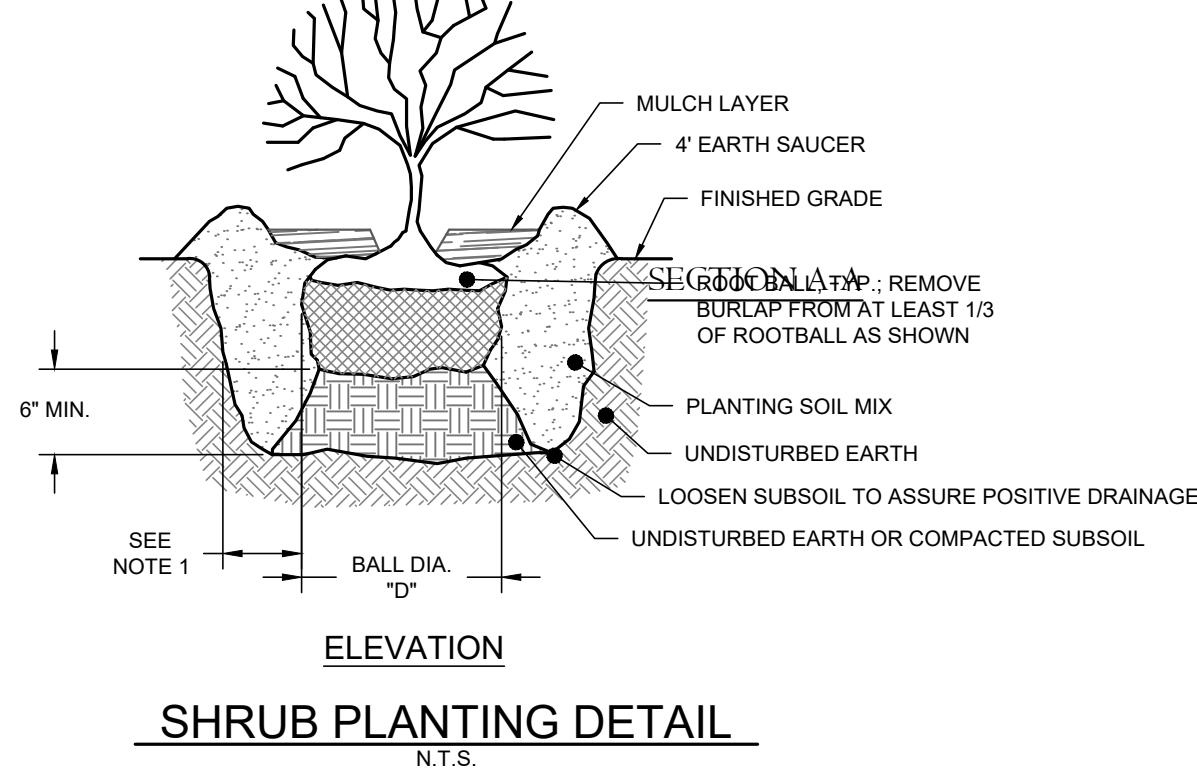


NOTES:
1. STANDARD BITUMINOUS CONCRETE SECTION.
* REFER TO SHEET #C1 - SITE LAYOUT PLAN FOR PAVEMENT CONFIGURATION



TYPICAL BITUMINOUS CONCRETE PAVEMENT DETAIL
N.T.S.

NOTE:
1. AT 0' LESS THAN 3 FEET IS EQUAL TO 1/2 0'. 6 INCHES MINIMUM, AT 0' OVER 3
FEET WIDTH IS EQUAL TO 10'



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APARTMENT COMMUNITY
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3 SQUARED, LLC

PROJECT:

Drawn By: BTP

Date: April 29, 2025

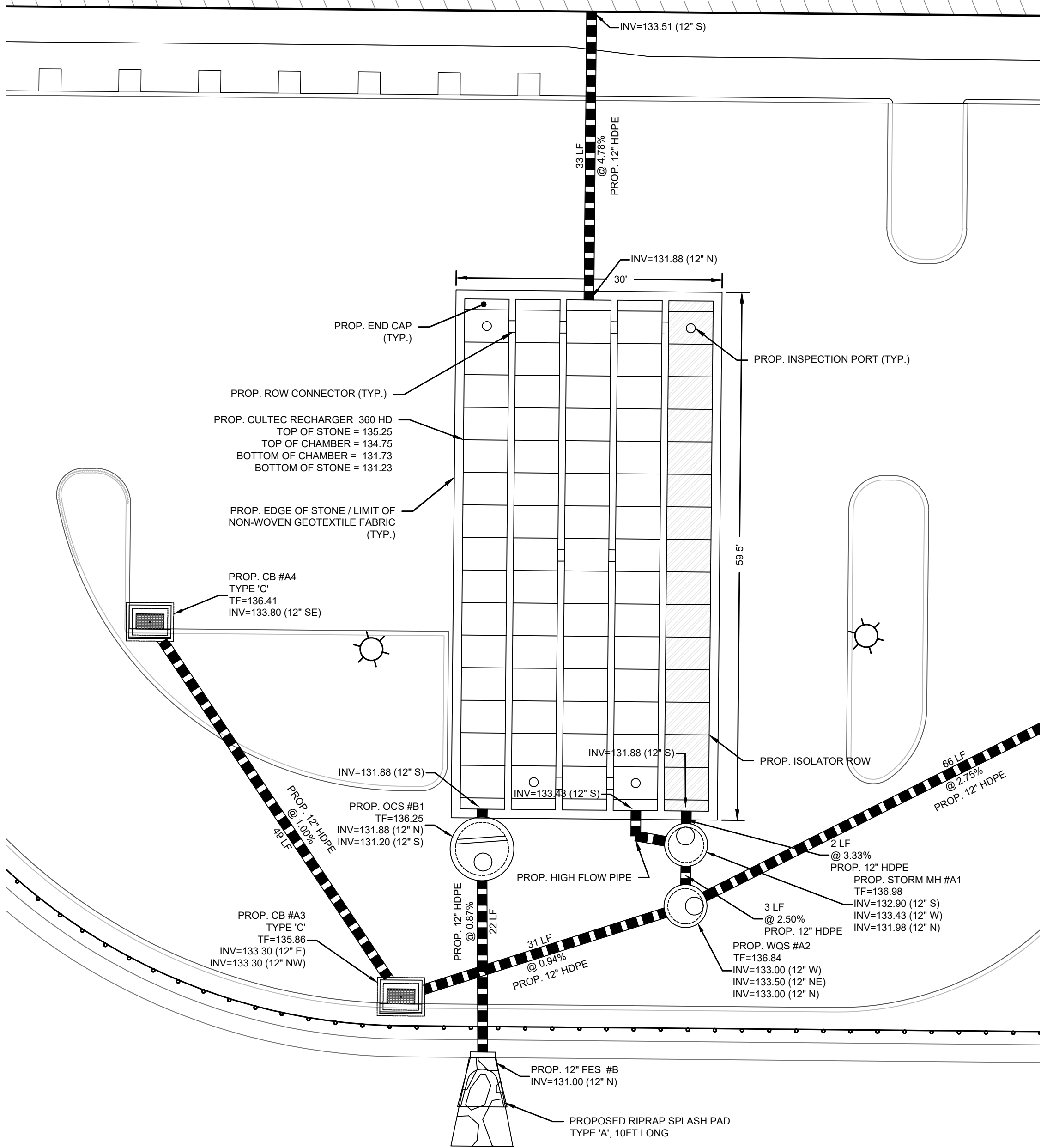
Revisions:

Date:

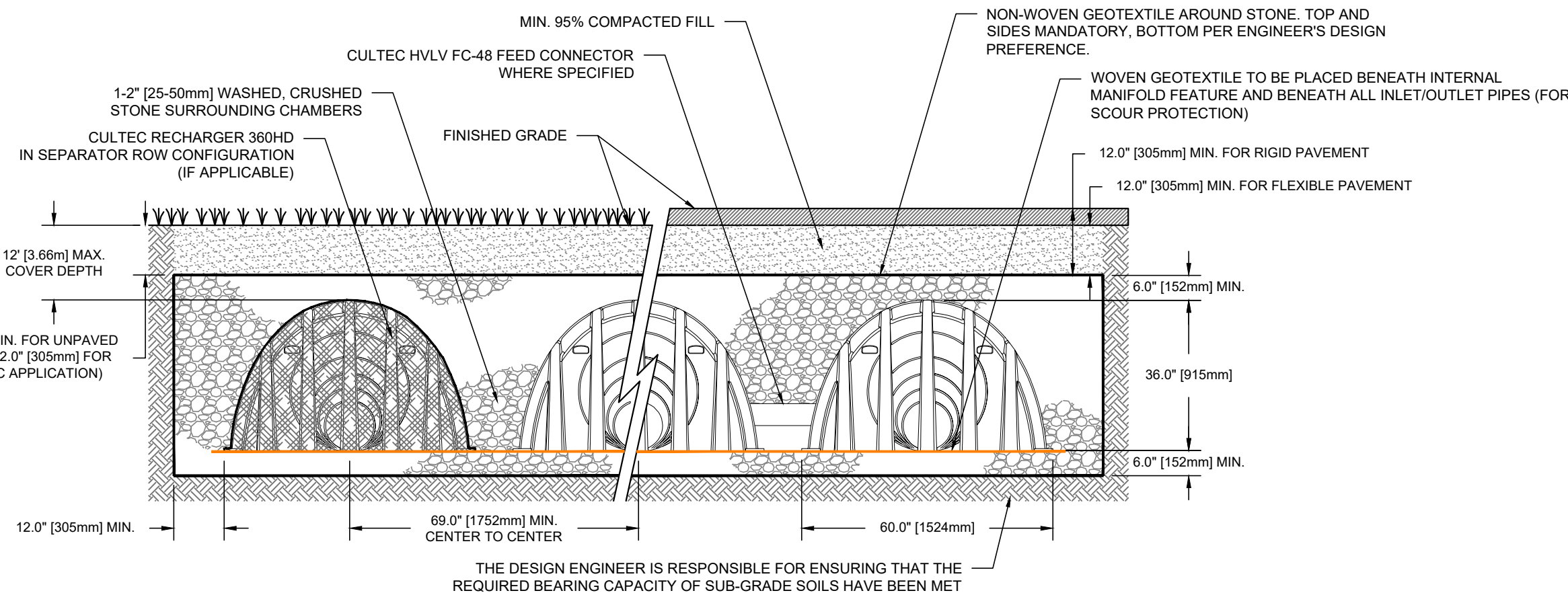
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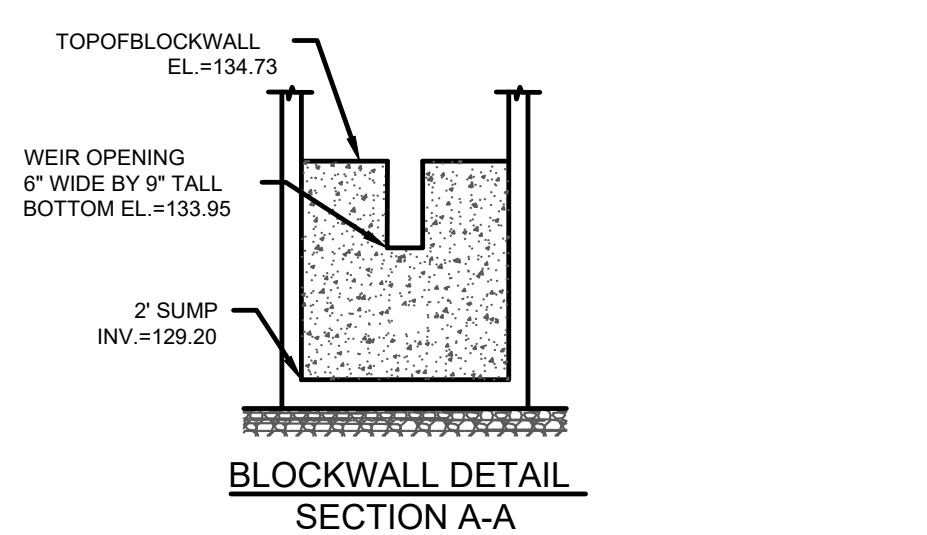


CULTEC RECHARGER LAYOUT
SCALE: 1"=10'

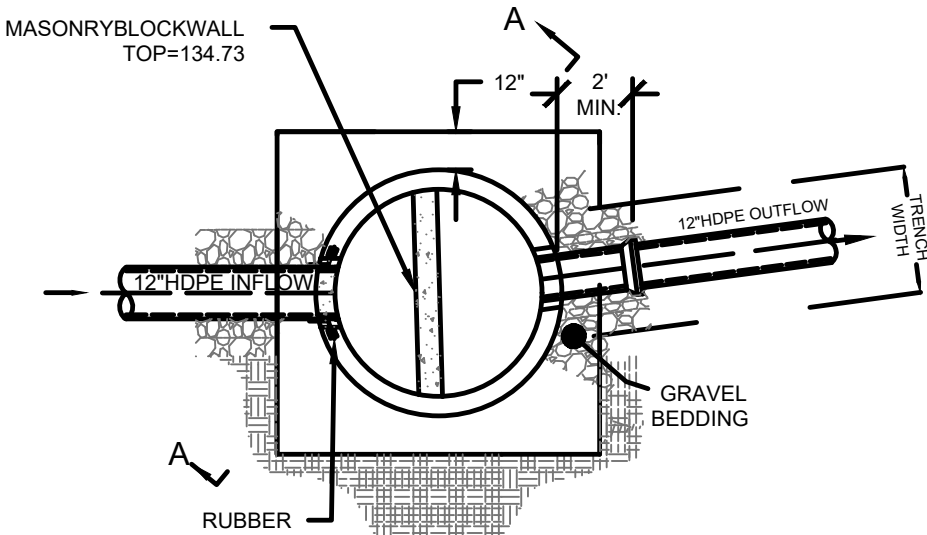


- NOTES:
- THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS." THE LOAD CONFIGURATION SHALL INCLUDE:
 - INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
 - MAXIMUM PERMANENT (50-YEAR) COVER LOAD
 - 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
 - THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
 - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
 - THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
 - THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
 - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95

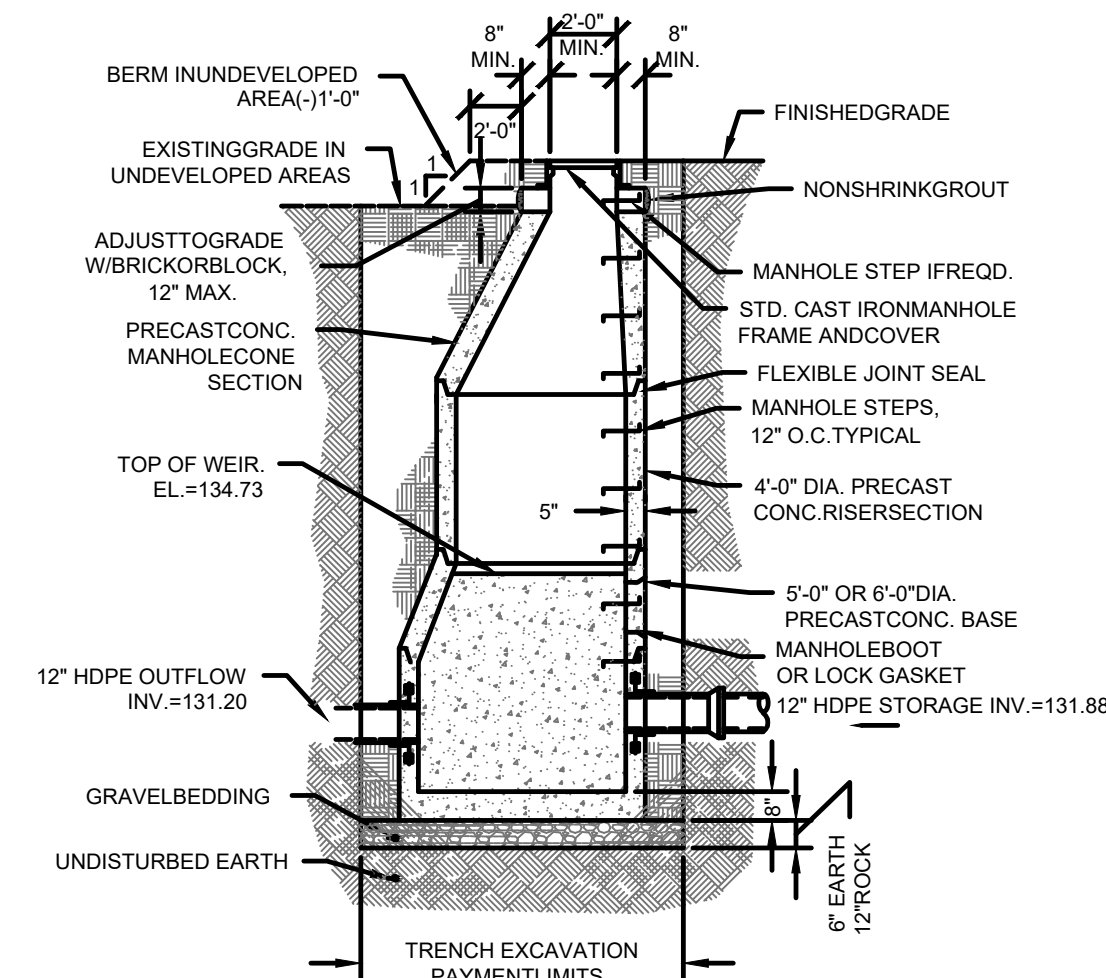
CULTEC RECHARGER 360HD CROSS SECTION



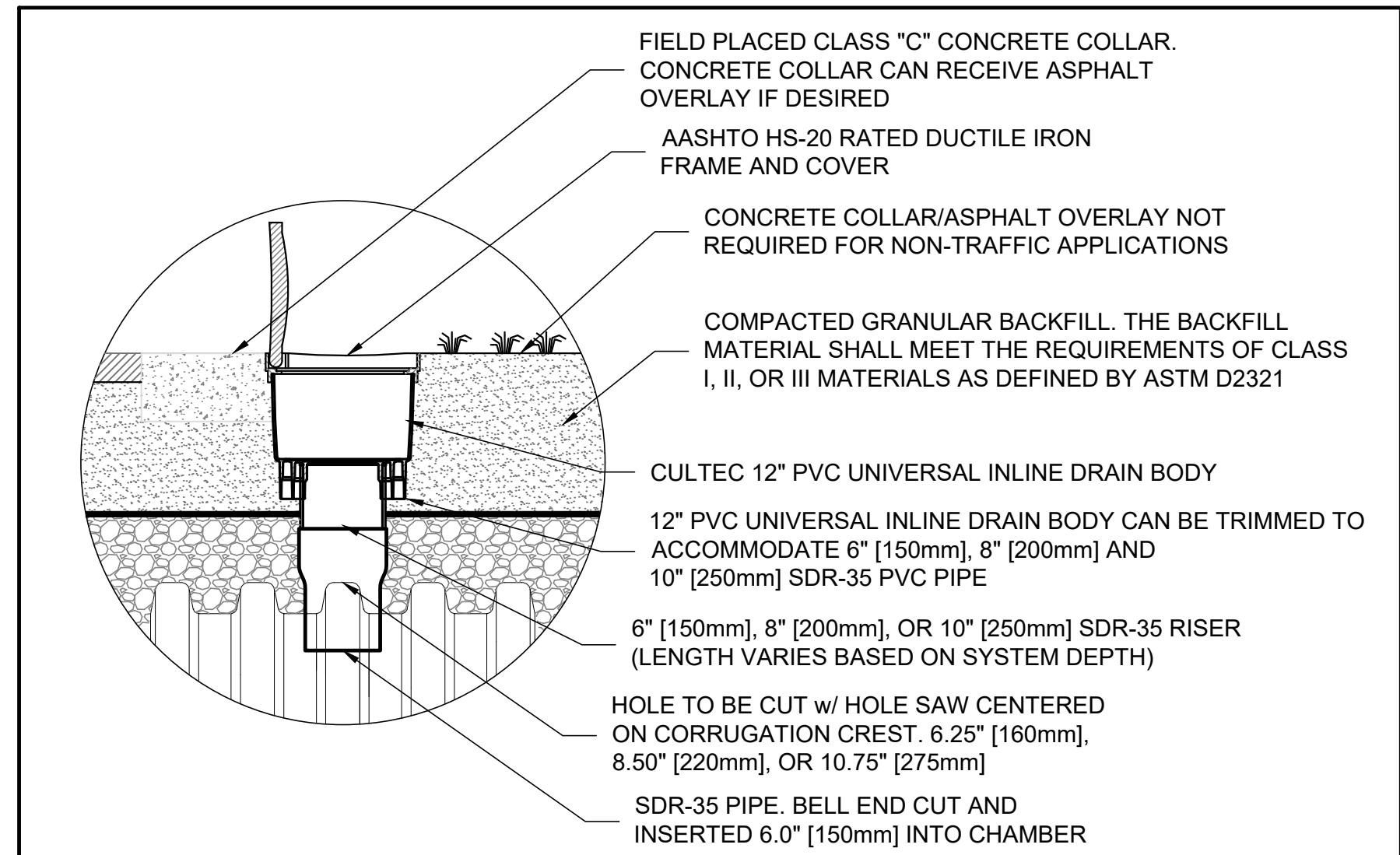
BLOCKWALL DETAIL
SECTION A-A



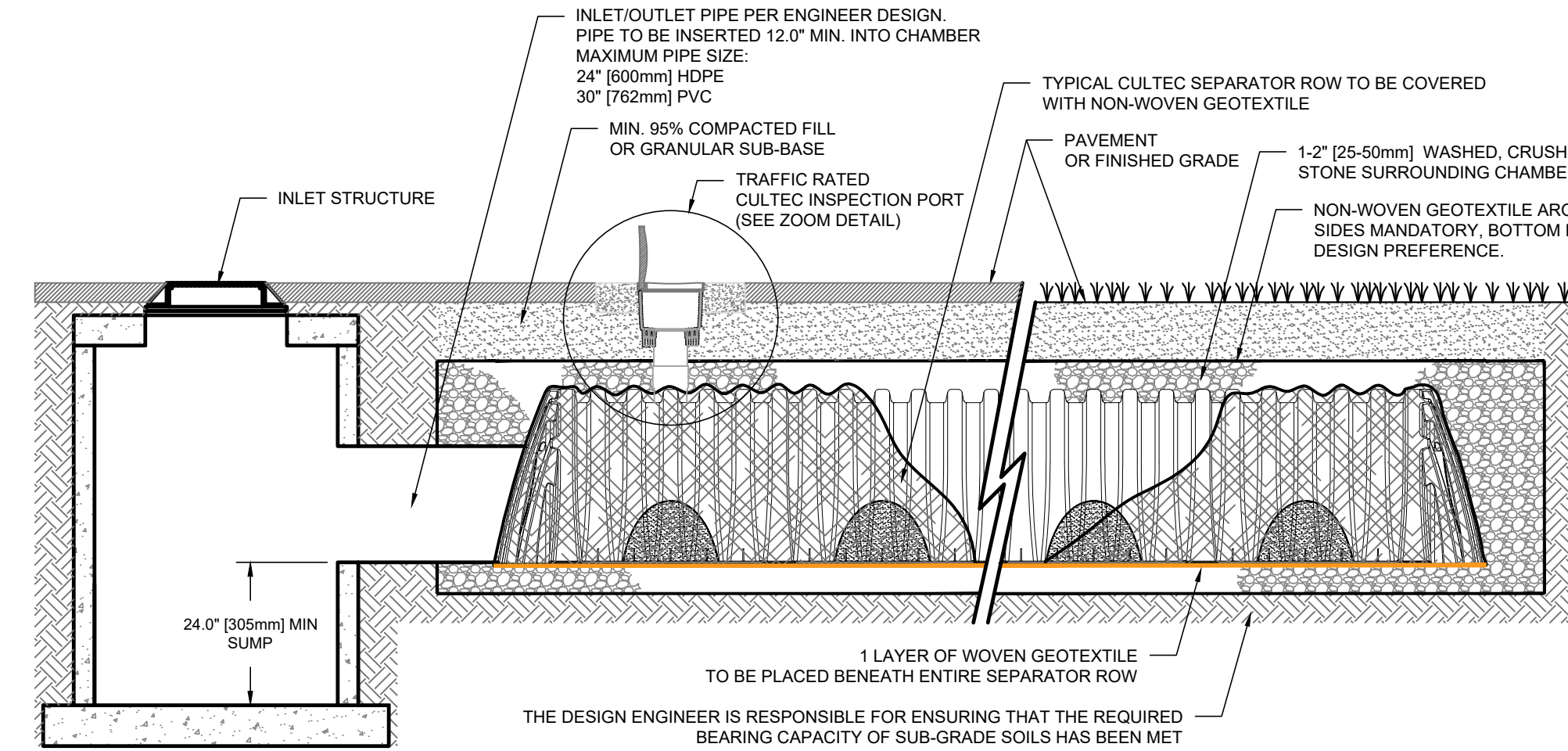
PLAN AT INVERT



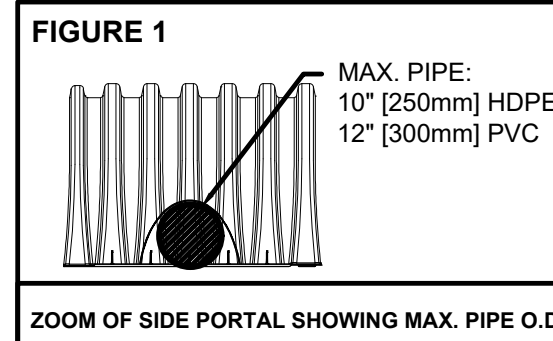
OUTLET CONTROL STRUCTURE MANHOLE #B1
N.T.S.



OPTIONAL CULTEC INSPECTION PORT - ZOOM DETAIL



- NOTES:
- THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS." THE LOAD CONFIGURATION SHALL INCLUDE:
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 - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95



CULTEC SEPARATOR ROW - CULTEC INSPECTION PORT DETAIL (IF APPLICABLE)

COLE
civil + survey

876 south main street
plantsville, ct 06479
colecivil.com
860.628.4484

**PROPOSED RESIDENTIAL
APARTMENT COMMUNITY**
1104 South Main Street - Plantsville, CT

3 SQUARED, LLC

PROJECT:

Drawn By: BTP

Date: April 29, 2025

| Revisions: | Descriptions: |
|------------|---------------|
| Date: | |
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| | |

NOT TO SCALE

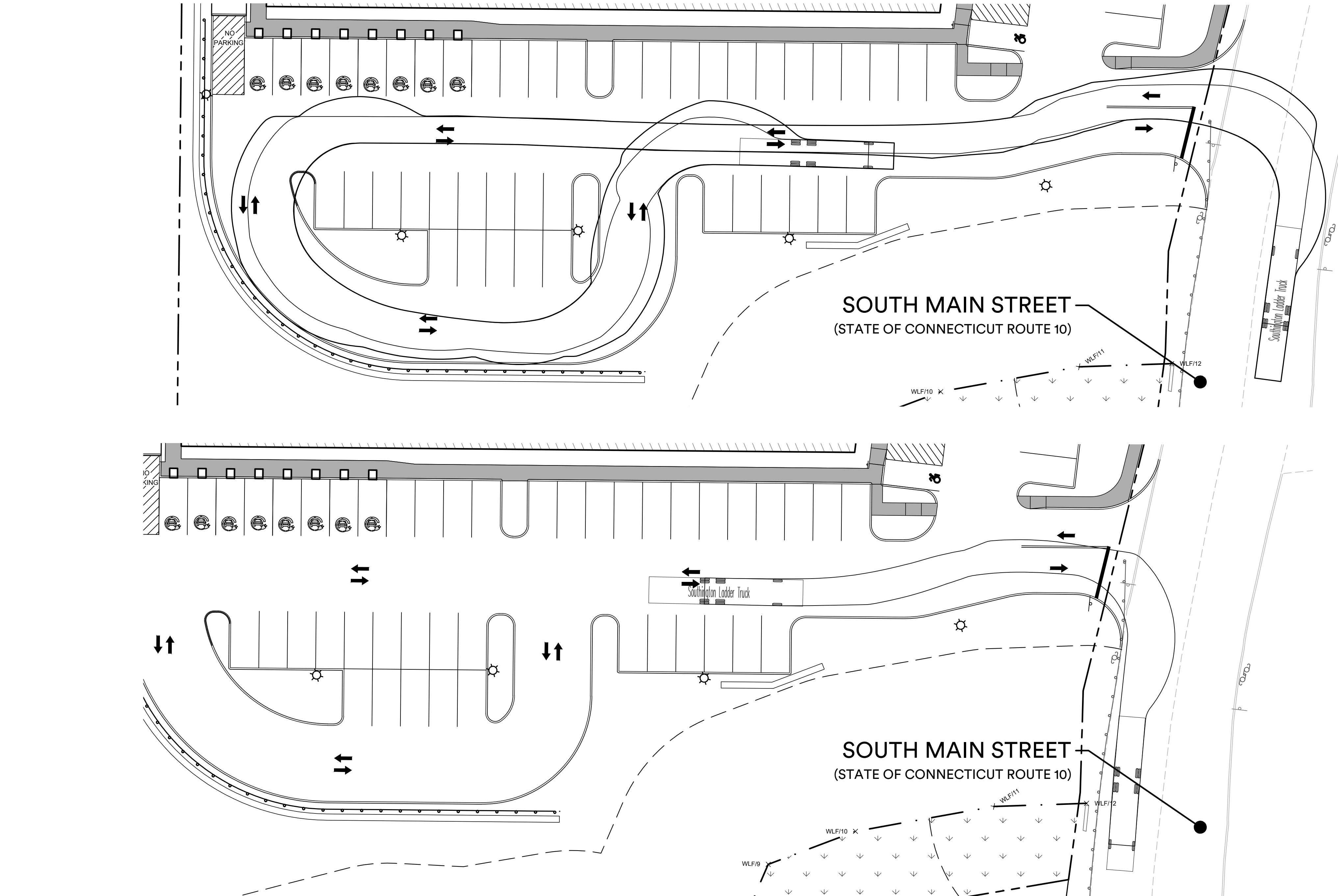
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DETAILS

Sheet #:

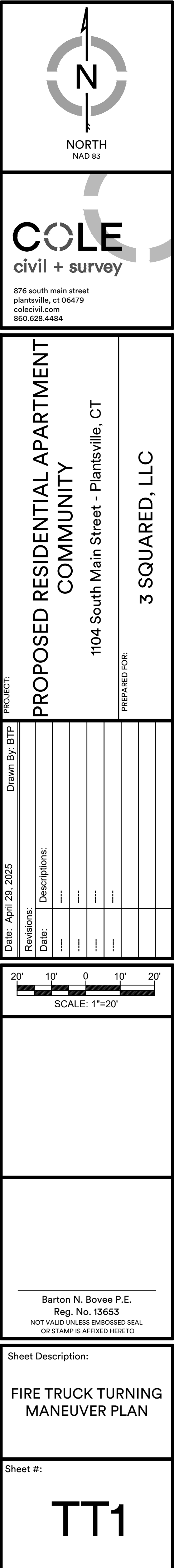
D3

COLE #2653

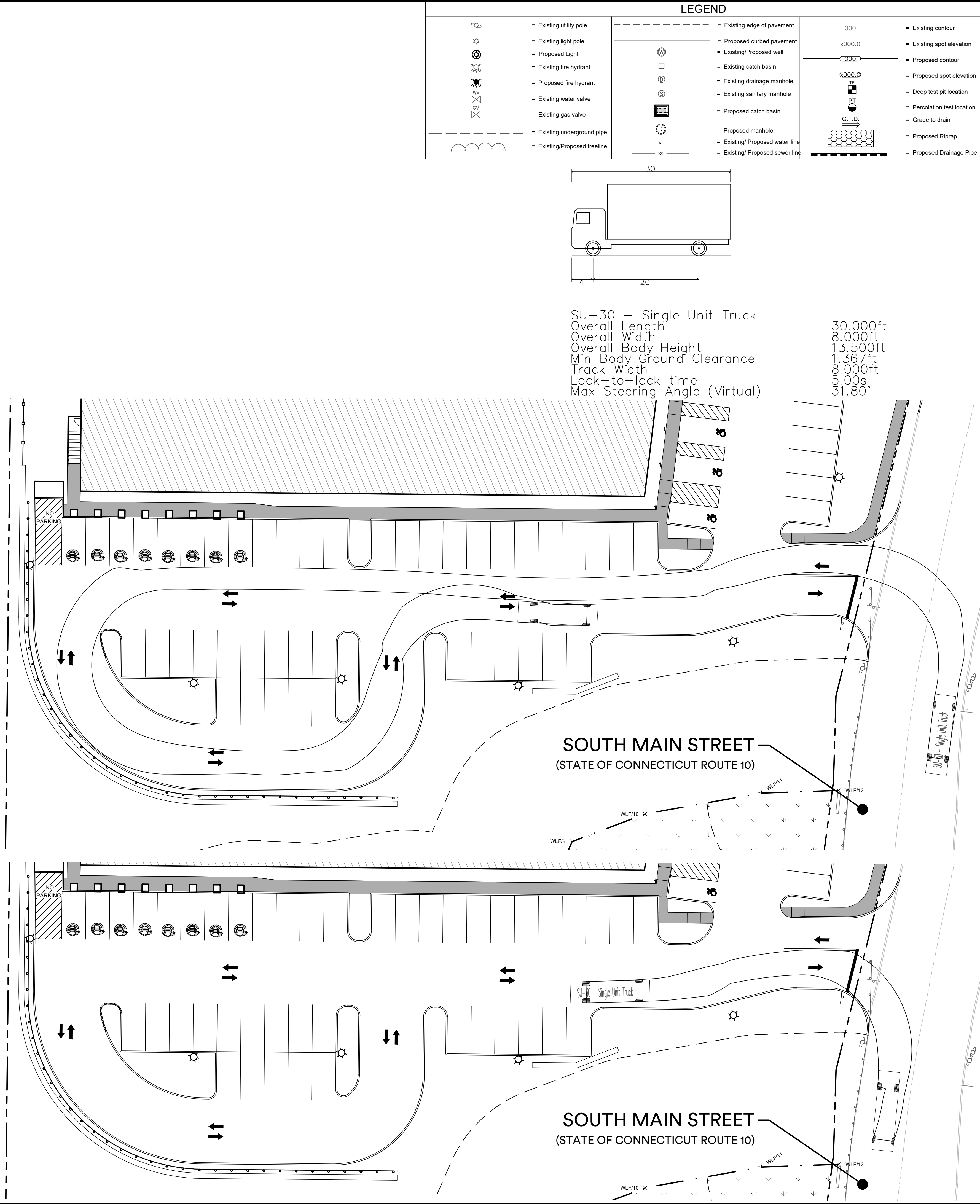
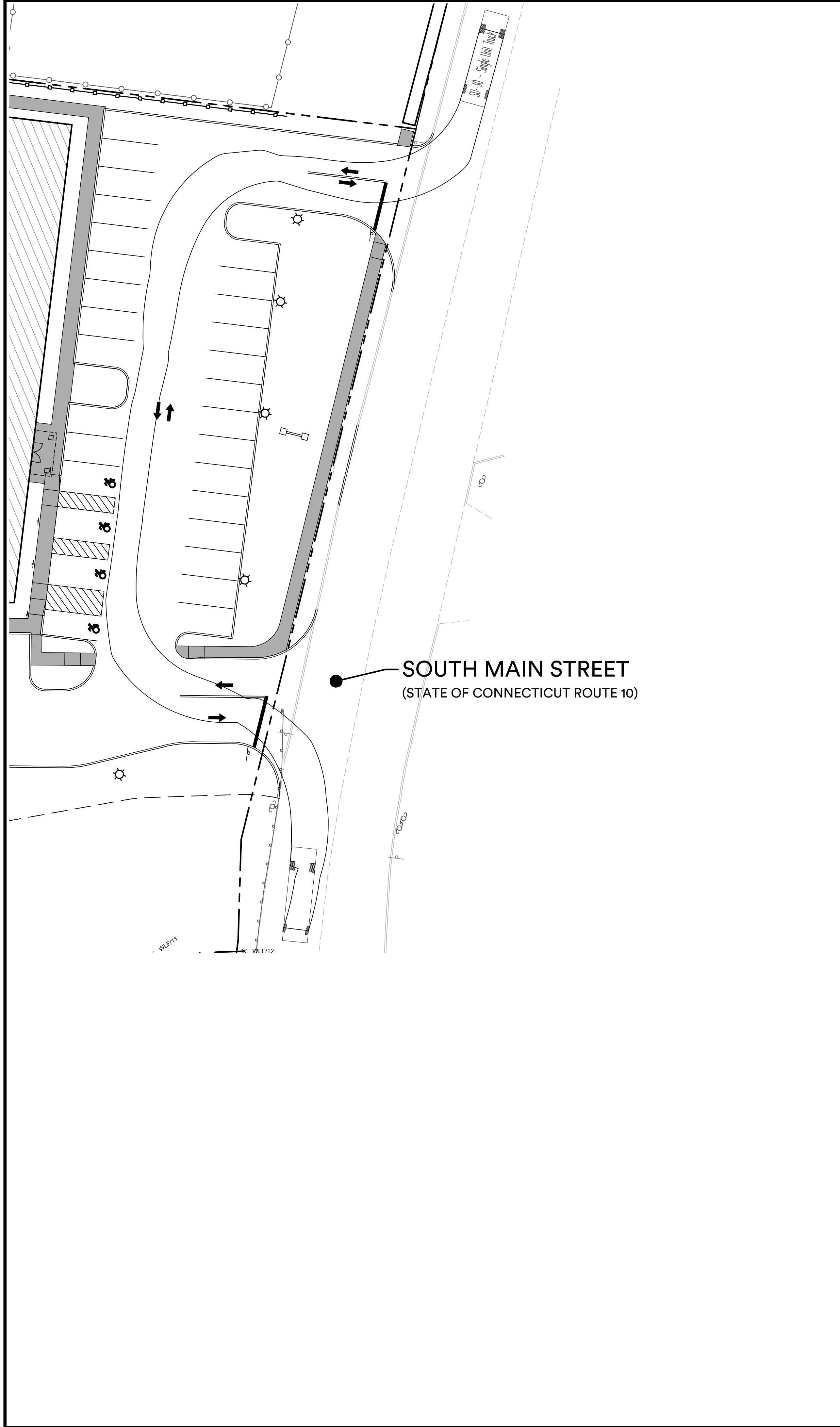


Technical drawing of a truck chassis (side view). The overall length is 48.75. The wheelbase is 20.58. The front overhang is 8.05. The distance between the front and rear axles is 18.08. The rear overhang is 5. The drawing shows the cab, engine compartment, and various mechanical components.

| | |
|---------------------------|----------|
| Southington Ladder Truck | |
| Overall Length | 48.750ft |
| Overall Width | 8.333ft |
| Overall Body Height | 9.851ft |
| Min Body Ground Clearance | 0.920ft |
| Track Width | 8.333ft |
| Lock-to-lock time | 6.00s |
| Max Wheel Angle | 45.00° |

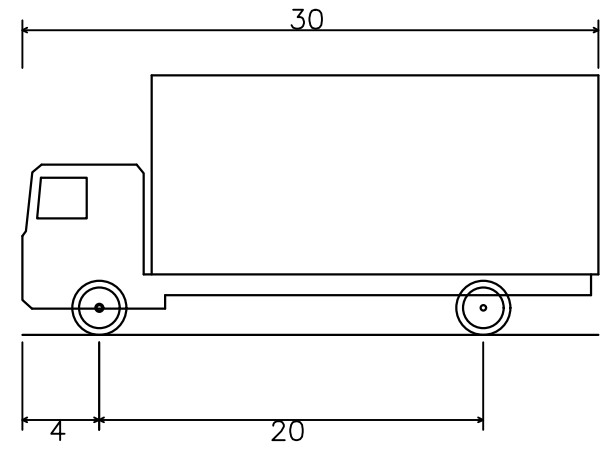


DRAWING NAME: J:\01 Civil and Survey\012653 - Plantsville\dwg\2653 - Truck Manuever.dwg LAYOUT: TT2 PLOT DATE: Apr 29, 2025 - 1:40pm OPERATOR: rmc



LEGEND

| | | | | | |
|--|------------------------------|--|--------------------------------|--|-----------------------------|
| | = Existing utility pole | | = Existing edge of pavement | | = Existing contour |
| | = Existing light pole | | = Proposed curbed pavement | | = Existing spot elevation |
| | = Proposed Light | | = Existing/Proposed well | | = Proposed contour |
| | = Existing fire hydrant | | = Existing catch basin | | = Proposed spot elevation |
| | = Proposed fire hydrant | | = Existing drainage manhole | | = Deep test pit location |
| | = Existing water valve | | = Existing sanitary manhole | | = Percolation test location |
| | = Existing gas valve | | = Proposed catch basin | | = Grade to drain |
| | = Existing underground pipe | | = Proposed manhole | | = Proposed Riprap |
| | = Existing/Proposed treeline | | = Existing/Proposed water line | | = Proposed Drainage Pipe |
| | | | = Existing/Proposed sewer line | | |



SU-30 - Single Unit Truck
Overall Length 30
Overall Width 8
Overall Body Height 13.5
Min Body Ground Clearance 1.367
Track Width 8
Lock-to-lock time 5.00s
Max Steering Angle (Virtual) 31.80°

30.000ft
8.000ft
13.500ft
1.367ft
8.000ft
5.00s
31.80°

COLE
civil + survey
876 south main street
plantsville, ct 06479
colecivil.com
860.626.4484

PROJECT:
PROPOSED RESIDENTIAL APARTMENT
COMMUNITY
1104 South Main Street - Plantsville, CT
PREPARED FOR:
3 SQUARED, LLC

| Revisions: | Date: | Descriptions: |
|------------|-------|---------------|
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Date: April 29, 2025
Drawn By: BTP

Barton N. Bovee P.E.
Reg. No. 13653
NOT VALID UNLESS EMBOSSED SEAL
OR STAMP IS AFFIXED HERETO

Sheet Description:
TRUCK TURNING
MANEUVER PLAN

Sheet #:
TT2

COLE #2653