

LOCAL UTILITY PROVIDERS

1.

SOUTHINGTON WATER DEPT.  
WEST QUEEN STREET, P.O. BOX 111  
SOUTHINGTON, CT. 06489-0111  
(860) 628-5593  
(860) 621-0491
2.

SOUTHINGTON/PLAINVILLE HEALTH DEPT.  
JOHN WEICHSEL MUNICIPAL CENTER  
196 N. MAIN STREET  
SOUTHINGTON, CT 06489  
(860) 276-6275  
(860) 276-6277
3.

EVERSOURCE ELECTRIC  
(203) 352-5412
4.

EVERSOURCE GAS  
(203) 596-3071
5.

SOUTHERN NEW ENGLAND TELEPHONE  
(860) 725-1010  
(860) 549-1100
6.

SOUTHINGTON FIRE DEPARTMENT  
310 NORTH MAIN STREET  
SOUTHINGTON, CT 06489  
(860) 621-3202  
(860) 628-4049
7.

SOUTHINGTON HIGHWAY DEPT.  
DELLABITTA DRIVE  
SOUTHINGTON, CT. 06489  
(860) 276-9430  
(860) 276-9101
8.

TOWN ENGINEER  
JOHN WEICHSEL MUNICIPAL CENTER  
196 N. MAIN STREET  
SOUTHINGTON, CT 06489  
PHONE: (860) 276-6231  
FAX: (860) 628-8669
9.

TOWN PLANNER  
JOHN WEICHSEL MUNICIPAL CENTER  
196 N. MAIN STREET  
SOUTHINGTON, CT 06489  
PHONE: (860) 276-6248  
FAX: (860) 628-8669
10.

TOWN BUILDING DEPARTMENT  
JOHN WEICHSEL MUNICIPAL CENTER  
196 N. MAIN STREET  
SOUTHINGTON, CT 06489  
PHONE: (860) 276-6242  
FAX: (860) 628-8669
11.

TOWN SEWER DEPARTMENT  
JOHN WEICHSEL MUNICIPAL CENTER  
196 N. MAIN STREET  
SOUTHINGTON, CT 06489  
PHONE: (860) 276-6233  
FAX: (860) 628-8669
12.

POLICE DEPARTMENT  
69 LAZY LANE  
SOUTHINGTON, CT 06489  
PHONE: (860) 621-0103

STATE INFORMATION

1.

CONNECTICUT HIGHWAY DEPT.  
OFFICE OF SPECIAL SERVICES & PERMITS  
1107 CROMWELL AVENUE  
ROCKY HILL, CT 06067  
(860) 258-4541
2.

STATE D.E.P.  
79 ELM STREET  
HARTFORD, CT 06106  
(860) 424-3245

MISCELLANEOUS

1.

CALL BEFORE YOU DIG  
(800) 922-4455

SITE PLANS PREPARED FOR

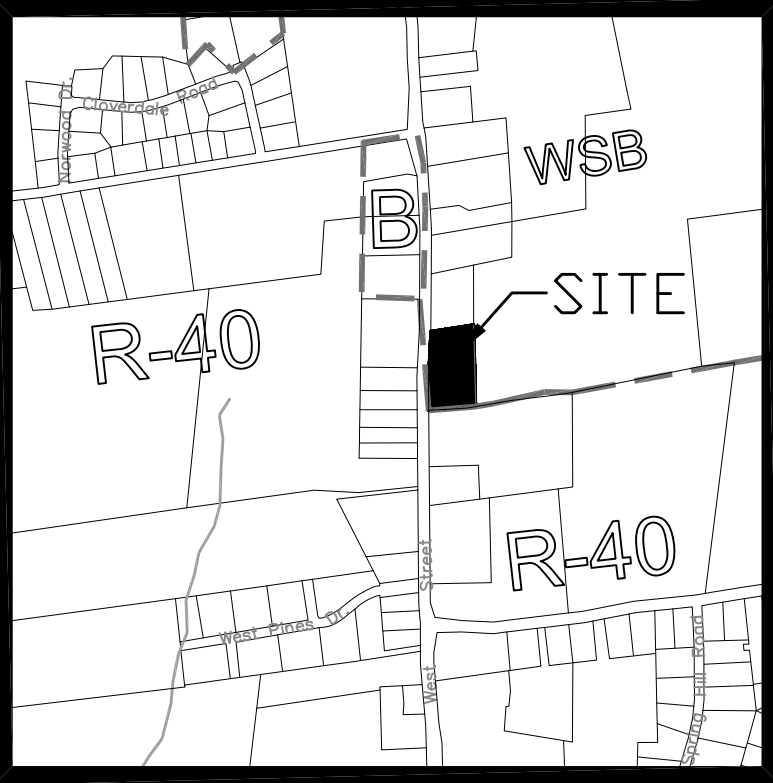
CAVA RESTAURANT

OWNER: ELENI REAL ESTATE LLC



LIST OF DRAWINGS

C-1	- COVER SHEET	N.T.S.
B-1	- EXISTING CONDITIONS MAP	20 SCALE
L-1	- LAYOUT & LANDSCAPING PLAN	20 SCALE
G-1	- GRADING & EROSION CONTROL PLAN	20 SCALE
D-1	- STANDARD SITE DETAILS	N.T.S.
D-2	- EROSION & SEDIMENTATION CONTROL DETAILS	N.T.S.



KEY MAP SCALE: 1"=1000'

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.  
1755 MERIDEN-WATERBURY RD.  
P.O. BOX 337  
MILDDALE, CT 06467  
TEL. (860) 621-3638  
FAX (860) 621-9609  
EMAIL: info@kratzertjones.com  
www.kratzertjones.com

Kratzert, Jones & Associates, Inc.  
CIVIL ENGINEERS • LAND SURVEYORS • SITE PLANNERS  
BUILDING ENGINEERS

Disclaimer:  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-4:
REVISION-3:
REVISION: 3/14/23 - BUILDING
REVISION: 1/8/21 - TOWN COMMENTS
PROJECT:
DB: MPT SR: --- DR: ---

kratzert, jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDDALE, CT 06467-0337

PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

COVER SHEET

for  
ELENI REAL ESTATE LLC

#1615 WEST STREET  
SOUTHINGTON, CT

SCALE: N.T.S.

DATE: MARCH 19, 2020

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO. :

DRAWING NO. :

43-45

C-1

MAXIMUM SCALE: 1/8"=1' DATE: MAR 19, 2020 BY: 6/20/20

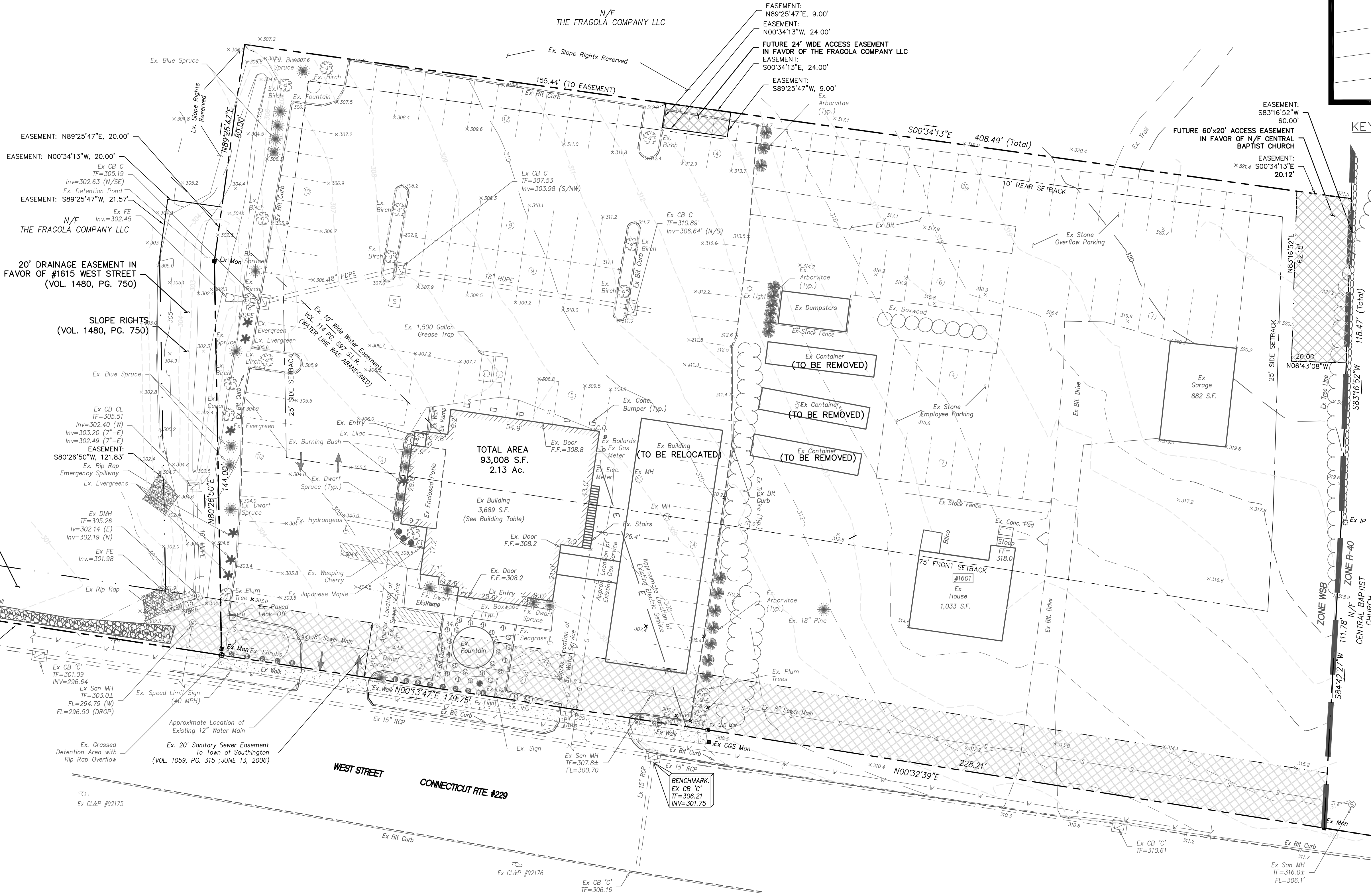


## NOTES:

1. PARCEL OWNER: ELENi REAL ESTATE LLC
2. AREA: SEE MAP
3. ADDRESS: #1615 WEST STREET
4. ZONE: WSB (SEE ZONING TABLE)
5. SITE IS SERVICED BY PUBLIC WATER & PUBLIC SEWER.
6. CONTOUR INTERVAL = 1'
7. ELEVATIONS BASED ON MAP REFERENCE #3
8. TOPOGRAPHY IS FROM FIELD SURVEY.
9. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

Utilities Disclaimer:  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

ZONING TABLE		
ZONE	WSB	REQUIRED
LOT AREA	2.5 ACRES	
LOT COVERAGE	40%	
FRONT YARD SETBACK	75'	
SIDE YARD SETBACK	25'	
REAR YARD SETBACK	10'	
LOT FRONTAGE	400'	



KEY MAP SCALE: 1"=1000'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

## REVISION:

REVISION: 4/13/23 - ENGINEERING COMMENTS

REVISION: 3/28/23 - TOWN COMMENTS

REVISION: 3/14/23 - REVISIONS

REVISION: 1/8/21 - TOWN COMMENTS

PROJECT: 207105

DB:	SR:	DR:
MP	SZ/DH	SB

SURVEY NOTES:  
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION IS BASED UPON: A RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2 & T-2

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sokolchik  
CT P.E. & L.S. #11302

**kratzer, jones & associates, inc.**  
CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337  
PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

EXISTING  
CONDITIONS  
MAP

FOR  
ELENi REAL  
ESTATE LLC

#1615 WEST STREET  
SOUTHINGTON, CT

SCALE: 1"=20'

DATE: MARCH 19, 2020

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO.:

DRAWING NO.:

43-45

E-1

## MAP REFERENCES:

- 1) "SITE PLAN FOR ALESSANDRO'S RESTAURANT; #1615 WEST ST. SOUTHINGTON, CT"; SCALE: 1"=20'; DATE: MARCH 13, 1984, LAST REVISED MAY 20, 2003; BY KRATZERT & JONES; KJA MAP NO. 43-45.
- 2) "WEST STREET SANITARY SEWER PROJECT PLAN & PROFILE; WEST STREET SOUTHINGTON, CONNECTICUT"; DATE: DEC. 2005, LAST REVISED 6-01-06; SCALE: HORIZ. 1"=40', VERT. 1"=4'; BY TOWN OF SOUTHINGTON ENGINEERING DEPARTMENT & CONKLIN & SOROKA, INC.; SHEET 3 OF 5.
- 3) "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF SOUTHINGTON WEST STREET AND MIDDLE STREET FROM THE YANKEE EXPRESSWAY NORTHERLY TO THE BRISTOL TOWN LINE"; DATE: MAY 14, 1991; SCALE: 1"=40'; NUMBER: 131-19; SHEET NO.: 3 OF 5; PREPARED BY JOHN D. CONKLIN.
- 4) "LOT LINE REVISION MAP FOR SEPKO FARM LLC & ELENi REAL ESTATE LLC #1601, #1615 & #1671 WEST STREET SOUTHINGTON, CT"; DATE: FEBRUARY 13, 2020; REVISED TO: 1-29-08; SCALE: 1"=100'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- 5) "SITE PLAN FOR ELENi & STAVROS PAPAHRISTOU #1615 WEST STREET SOUTHINGTON, CT"; DATE: AUGUST 9, 2007; SCALE: 1"=20'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- 6) SITE PLAN FOR ELENi REAL ESTATE LLC, CAVA RESTAURANT; #1671 WEST STREET SOUTHINGTON, CT. SCALE: 1"=20'; DATE: JUNE 13, 2018; BY KRATZERT, JONES & ASSOCIATES, INC.; KJA MAP 206-315 SHEET B-1.

## LEGEND

○	PROPERTY LINE
●	IRON PIN TO BE SET
□	EXISTING IRON PIN
■	MONUMENT TO BE SET
⊙	EXISTING MONUMENT
⊗	EXISTING SANITARY MANHOLE
⊕	EXISTING STORM MANHOLE
⊖	EXISTING CATCH BASIN
⊗	EXISTING LIGHT
⊕	EXISTING HYDRANT
⊖	EXISTING GAS VALVE
⊗	EXISTING WATER VALVE
⊕	EXISTING UTILITY POLE
⊖	EXISTING MONITOR WELL
⊗	EX. EDGE OF ROAD
⊕	EX. EDGE OF ROAD (CURBED)
⊖	EX. EDGE OF DRIVEWAY
⊗	EX. SANITARY SEWER LINE
⊕	EX. WATER LINE
⊖	EX. GUIDE RAIL
⊗	EX. CONTOUR







# STANDARD SITE PLAN NOTES:

1. PARCEL OWNER: ELENI REAL ESTATE LLC  
ADDRESS: #1615 WEST STREET
2. CONTOUR INTERVAL = 1'
3. ELEVATIONS BASED ON MAP REFERENCE #3
4. TOPOGRAPHY IS FROM FIELD SURVEY
5. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
6. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
7. LOT AREA = SEE MAP
8. PROPERTY IS LOCATED IN ZONE WSB (SEE ZONING TABLE).
9. ALL CONSTRUCTION SHALL CONFORM TO CONN. DOT §18.
10. SEE ZONING TABLE FOR PARKING REQUIREMENTS.
11. LOT COVERAGE = 9.4% (ALLOWED = 40%)
12. PRESENT LAND USE: RESTAURANT  
PROPOSED LAND USE: RESTAURANT
13. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT 276-6248 AND 276-6231, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
14. ALL WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
15. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE WORK IS COMPLETED, OR WHEN SPECIFICALLY APPROVED BY THE PLANNING AND ZONING COMMISSION.
16. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS IF ANY.
17. GROUNDWATER ZONE GA
18. ALL PROPOSED LIGHTS TO BE RECESSED FULL CUTOFF FIXTURES WITH RECESSED LENSES ONLY. LIGHTS TO BE LEADS.  
BUILDING LIGHTS TO BE DIRECTED TOWARDS THE GROUND AND ALL FLOOD LAMPS TO BE FULL CUTOFF WITH RECESSED LENSES ONLY. LIGHTS TO BE LEADS.
20. PROPOSED BUILDING FOOTPRINT = 3,104 S.F.  
TOTAL EXISTING BUILDING FOOTPRINTS = 5,604 S.F.  
TOTAL BUILDING FOOTPRINTS = 8,708 S.F.
21. STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.
22. WHENEVER CONCRETE SIDEWALKS ADJUT ASPHALT, A CONCRETE CURB IS REQUIRED.
23. WATER SERVICE SIZING TO BE DETERMINED BY THE SOUTHTONING WATER DEPARTMENT UPON RECEIPT OF ALL PERTINENT WATER FIXTURE DATA.
24. PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
25. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO BE REPAIRED TO TOWN STANDARDS.
26. NO FLOOR DRAINS ARE PROPOSED.
27. ALL DEWATERING SHALL INCORPORATE THE USE OF FILTER BAGS ON DISCHARGE ENDS.
28. RETAINING WALLS (IF NECESSARY) TO BE DESIGNED BY A CT PE. A BUILDING PERMIT IS REQUIRED FOR THE WALLS.
29. PROVIDE GUIDE RAIL AT RETAINING WALL IF NECESSARY.
30. A CONDITION OF THE APPROVAL IS FINAL APPROVAL OF CT DOT FOR THE ENCROACHMENT PERMIT.
31. BUILDING AT #1601 WEST STREET CANNOT BE USED A RESIDENCE.
32. NO OUTSIDE STORAGE IS ALLOWED.
33. ALL CATCH BASINS TO BE INSPECTED AND CLEANED BI-ANNUALLY.  
OUTLET AND SWALE TO BE INSPECTED AND MAINTAINED BI-ANNUALLY.  
ALL PAVED AREAS TO BE SWEEP BI-ANNUALLY.  
MATERIAL TO BE DISPOSED OF IN AN ENVIRONMENTALLY FRIENDLY MANNER.

20' DRAINAGE EASEMENT IN FAVOR OF #1615 WEST STREET (VOL. 1480, PG. 750)

## EROSION AND SEDIMENTATION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE. FOR THOSE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED. ANNUAL RYEGRASS MAY BE UTILIZED OR AN APPROVED EQUAL.
2. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM OR FLATTER THROUGH GRADING.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4" MIN.) AND SEEDED OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENTATION CONTROL HANDBOOK.
5. THE APPLICATION AND SPECIFIC DETAILS OF THE EROSION AND SEDIMENTATION CONTROL SHALL FOLLOW THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED JANUARY 1985 AS AMENDED TO DATE.
6. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
7. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE TOWN PLANNER AND/OR THE TOWN ENGINEER.
8. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
9. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION. PLOT PLANS FOR INDIVIDUAL LOTS SHALL CONTAIN DETAILED DELINEATION OF SILTATION BARRIERS INCLUDING ANY ADDITIONAL EROSION CONTROLS AS DEEMED NECESSARY.
10. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY UNFORSEEN FIELD CONDITIONS.
11. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
12. STAVROS PAPAHISTOU OR HIS DULY AUTHORIZED AGENT (860) 342-2298 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
13. STAVROS PAPAHISTOU OR HIS DULY AUTHORIZED AGENT (860) 342-2298 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
14. SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRIFT OFF SITE.
15. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OPERATIONS AND SHALL BE MAINTAINED AND REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE.
16. PURSUANT TO THE REGULATIONS, A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREAS, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.

## CONSTRUCTION SEQUENCE:

1. AN ON-SITE JOB MEETING TO DISCUSS AND PLAN IMPLEMENTATION OF EROSION CONTROLS SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
3. CALL BEFORE YOU DIG 1-800-922-4455.
4. GET APPROPRIATE PERMITS FOR DEMOLITION.
5. DISCONNECT UTILITIES AND REMOVE EXISTING STRUCTURES AND PAVEMENT. DISPOSE OF MATERIAL OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
6. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
7. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
8. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES. TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
9. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
10. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
11. FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.

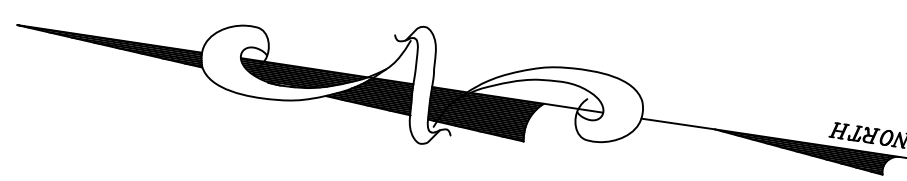
SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 S.F.
KENTUCKY BLUEGRASS	20	0.45
CREEPING RED FESCUE	5	0.10
PERENNIAL RYEGRASS	45	1.00

12. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
13. REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
14. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.

## MAP REFERENCES:

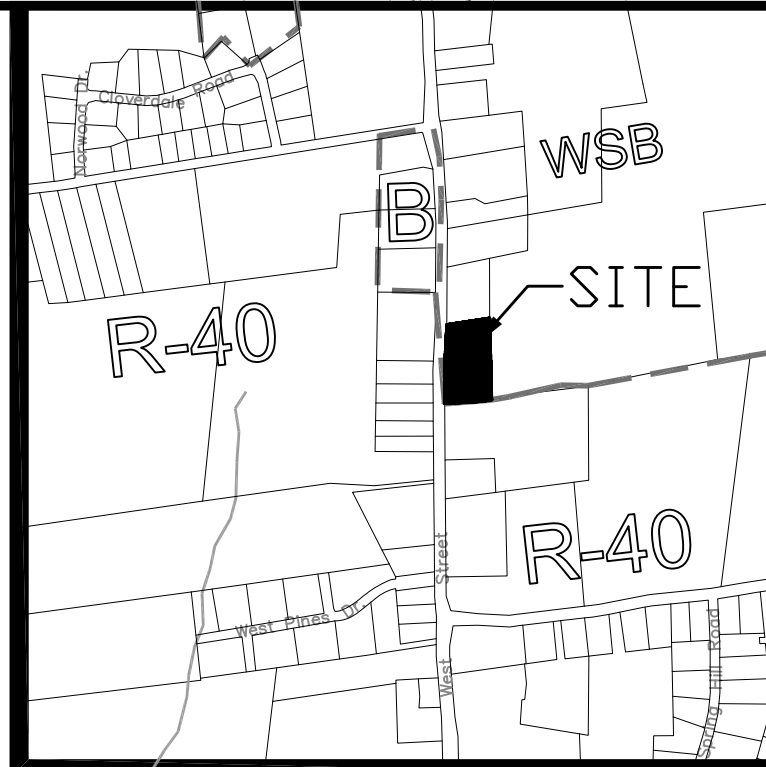
- 1) "SITE PLAN FOR ALESSANDRO'S RESTAURANT, #1615 WEST ST. SOUTHTONING, CT"; SCALE: 1"=20'; DATE: MARCH 13, 1984, LAST REVISED MAY 20, 2003; BY KRATZERT & JONES; KJA MAP NO. 43-45.
- 2) "WEST STREET SANITARY SEWER PROJECT PLAN & PROFILE; WEST STREET SOUTHTONING, CONNECTICUT"; DATE: DEC. 2005, LAST REVISED 6-01-06; SCALE: HORIZ. 1"=40', VERT. 1"=4'; BY TOWN OF SOUTHTONING ENGINEERING DEPARTMENT & CONKLIN & SOROKA, INC.; SHEET 3 OF 5.
- 3) "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF SOUTHTONING WEST STREET AND MIDDLE STREET FROM THE YANKEE EXPRESSWAY NORTHERLY TO THE BRISTOL TOWN LINE"; DATE: MAY 14, 1991; SCALE: 1"=40'; NUMBER: 131-19; SHEET NO.: 3 OF 5; PREPARED BY JOHN D. CONKLIN.
- 4) "LOT LINE REVISION MAP FOR SEPKO FARM LLC & ELENI REAL ESTATE LLC #1601, #1615 & #1671 WEST STREET SOUTHTONING, CT"; DATE: FEBRUARY 13, 2020; REVISED TO: 1-29-08; SCALE: 1"=100'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- 5) "SITE PLAN FOR ELENI & STAVROS PAPAHISTOU #1615 WEST STREET SOUTHTONING, CT"; DATE: AUGUST 9, 2007; SCALE: 1"=20'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- 6) SITE PLAN FOR ELENI REAL ESTATE LLC, CAVA RESTAURANT; #1671 WEST STREET SOUTHTONING, CT; SCALE: 1"=20'; DATE: JUNE 13, 2018; BY KRATZERT, JONES & ASSOCIATES, INC.; KJA MAP 206-315 SHEET B-1.

Utilities Disclaimer:  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.



## MAINTENANCE SCHEDULE FOR STORMWATER BASINS

ACTIVITY	SCHEDULE
INSPECT WETLAND COMPONENTS FOR INVASIVE VEGETATION	SEMI-ANNUALLY
INSPECT FOR DAMAGE	ANNUALLY
NOTE SIGNS OF HYDROCARBON BUILD-UP, AND REMOVE IF DETECTED	ANNUALLY
MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY	ANNUALLY
EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL	ANNUALLY
REPAIR UNDERCUT OR ERODED AREAS	AS-NEEDED
CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES	MONTHLY
MOW SIDE SLOPES. HIGH GRASS ALONG POND EDGE WILL DISCOURAGE WATERFOWL FROM TAKING UP RESIDENCE AND SERVE TO FILTER POLLUTANTS	MONTHLY
WETLAND PLANT MANAGEMENT AND HARVESTING	ANNUALLY (IF NEEDED)
DRAIN POND IN FALL AND LET FROST KILL PLANTS, THEN DREDGE IN SPRING	ANNUALLY (IF NEEDED)
REMOVAL OF SEDIMENT FROM FOREBAY	5-YEAR MAINTENANCE
REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BEEN REDUCED SIGNIFICANTLY, OR WHEN SIGNIFICANT ALGAL GROWTH IS OBSERVED	10-YEAR MAINTENANCE (MORE FREQUENT DREDGING IN DEVELOPING WATERSHEDS WITH SIGNIFICANT SEDIMENT LOADS)



KEY MAP SCALE: 1"=1000'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION: 4/13/23 - ENGINEERING COMMENTS
REVISION: 3/28/23 - TOWN COMMENTS
REVISION: 3/14/23 - REVISIONS
REVISION: 1/8/21 - TOWN COMMENTS
REVISION: 8/28/20 TOWN COMMENTS
REVISION: 6/26/20 DOT COMMENTS
PROJECT: 207105
DB: SR: DR:
MPT SZ/DH SB

"I hereby certify that this plan is in compliance with the Town of Southington Soil Erosion and Sedimentation control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature  
(Name) Certification No.  
"The Planning and Zoning Commission certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Southington Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."  
Signature  
Date of Approval

**kratzer, jones & associates, inc.**  
CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS  
P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337  
PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

## GRADING & EROSION CONTROL PLAN

FOR  
**ELENI REAL ESTATE LLC**  
#1615 WEST STREET  
SOUTHTONING, CT

SCALE: 1"=20'  
DATE: MARCH 19, 2020

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO. : DRAWING NO. :

43-45 G-1

ZONING TABLE		
ZONE - WSB	REQUIRED	PROPOSED
LOT AREA	2.5 ACRES	2.13 ACRES
LOT COVERAGE	40%	9.4%
FRONT YARD SETBACK	75'	34.6'
SIDE YARD SETBACK	25'	59.2'
REAR YARD SETBACK	10'	83.4'
LOT FRONTAGE	400'	407.96'
• EXISTING NON-CONFORMITY		

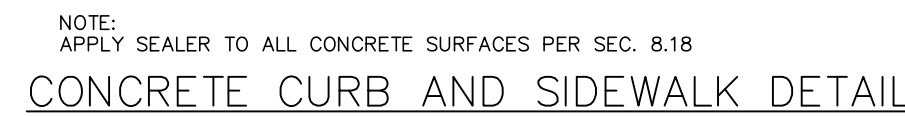
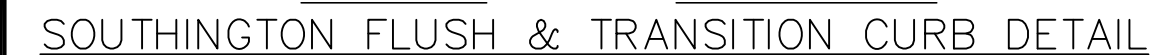
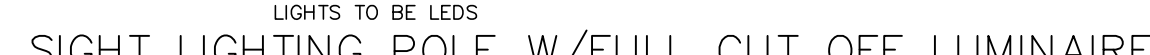
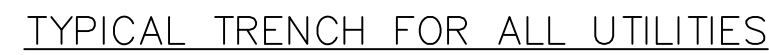
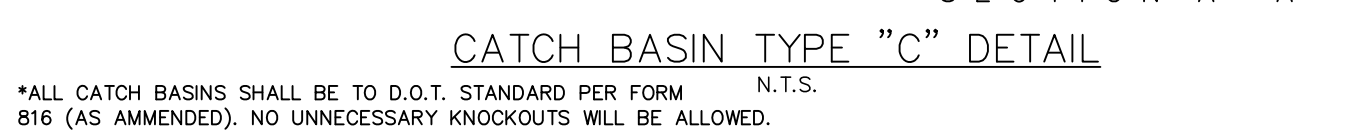
EXISTING BUILDING TABLE	
BREAKDOWN OF AREAS USED FOR CUSTOMER SERVICE	
- FIRST FLOOR	
BAR AREA= 190 S.F. (1 TABLE OF 2, 1 TABLE OF 4, 12 BAR STOOLS)	
PORCH EAST OF BAR= 88 S.F. (4 TABLES OF 4)	
PATIO NORTH OF BAR= 176 S.F. (8 TABLES OF 4)	
PIREPLACE ROOM= 233 S.F. (2 TABLES OF 2, 5 TABLES OF 4)	
DINING ROOM= 354 S.F. (8 TABLES OF 4 AND CORNER SEATING)	
TOTAL = 1,041 S.F.	
- SECOND FLOOR	
ROOFTOP DINING AREA - SERVED BY STAIRS	
TOTAL= 652 S.F. (5 TABLES OF 4, 7 TABLES OF 2, 16 BAR STOOLS)	

PARKING TABLE FOR EXISTING BUILDING	
PARKING REQUIREMENTS (SEE BUILDING TABLE FOR BREAKDOWN):	
- FIRST FLOOR	
AREA FOR CUSTOMER SERVICE = 1,041 S.F.	
1 space/ 25 S.F.	
1,041 S.F./25 S.F. = 41.6 = 42 SPACES	
- SECOND FLOOR (ROOFTOP)	
AREA FOR CUSTOMER SERVICE = 652 S.F.	
1 space/ 25 S.F.	
652 S.F./25 S.F. = 26.1 = 27 SPACES	
- REQUIRED TOTAL SPACES = 69 SPACES	
- TOTAL EXISTING SPACES = 76 SPACES (AFTER LOSS OF 16)	
- REQUIRED HANDICAP SPACES= 3 SPACES	
- EXISTING HANDICAP SPACES= 3 SPACES	

PARKING TABLE FOR PROPOSED BUILDING	
PARKING REQUIREMENTS FOR PROPOSED BUILDING	
PROPOSED BUILDING: 3,104 S.F. GROSS	
PROPOSED SEATS = 100	
REQUIRED PARKING FOR PROP. BUILDING = 1 SPACE/2 SEATS	
100 SEATS/ 2 = 50 SPACES	
REQUIRED PARKING FOR EX. BUILDING = 69 (SEE TABLE ABOVE)	
TOTAL REQUIRED PARKING = 119 SPACES	
EXISTING PARKING = 76 SPACES (AFTER LOSS OF 16)	
PROPOSED OVERFLOW PARKING ON GRAVEL = 44 SPACES	
TOTAL PARKING = 120 SPACES	

LEGEND	
PROPERTY LINE	EX. STORM DRAINAGE
IP TO BE SET	PROP. STORM DRAINAGE
PROPOSED MONUMENT	PROP. CONTOURS
EXISTING MONUMENT	SILT FENCE
EXIST. EDGE OF ROAD	EX. CATCH BASIN
PROP. EDGE OF ROAD	PROP. CATCH BASIN
EXISTING EDGE OF CURB	STORM DRAINAGE MANHOLE
PROPOSED EDGE OF CURB	SANITARY SEWER MANHOLE
PROPOSED DRIVEWAY	UTILITY POLE
GAS SERVICE	WATER GATE
SEWER SERVICE	HYDRANT
WATER SERVICE	LIGHT POLE
ELECTRIC SERVICE	DUMPSTER
EXISTING GAS VALVE	
MONITORING WELL	





REVISION:		
REVISION:		
REVISION:		
REVISION: 4/13/23 – ENGINEERING COMMENTS		
REVISION: 3/28/23 – TOWN COMMENTS		
REVISION: 3/14/23 – REVISIONS		
PROJECT: 207105		
DB:	SR:	DR:
MPT	NOV 2022 NOV	NOV 2022 NOV

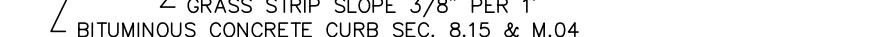
James N. Sakonchick  
CT P.E. & L.S. #11302



NOTE: OR APPROVED EQUAL

NOTE: OR APPROVED EQUAL

\*6" OF CONCRETE THROUGH DRIVEWAY (RESIDENTIAL).  
8" OF CONCRETE THROUGH DRIVEWAYS (INDUSTRIAL/BUSINESS)



\*WIDTH OF WALK SHALL BE WIDENED TO MATCH FIELD CONDITIONS UNLESS MODIFIED BY TOWN ENGINEER BASED ON FIELD CONDITIONS.

SEC. 9.21  
NOT FOR SUBDIVISIONS



	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
	18X12	NONE	1	0.080

	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
	18X12	NONE	1	0.080

AREA (SF)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM.
3.31	24	31-0536	1	0.080

	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
	30	31-1109	1	0.080

	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
	24X24	31-1603	1	0.080

kratzert,  KJA  
jones &  
associates, inc

CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337

PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

## STANDARD SITE DETAILS

for

ELENI REAL  
ESTATE LLC

#1615 WEST STREET  
SOUTHINGTON, CT

SCALE: AS NOTED
DATE: MARCH 19, 2020

HALF	ONE INCH	TWO INCH
------	----------	----------

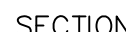
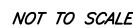
INCHES ON ORIGINAL

KJA FILE NO. :	DRAWING NO. :
----------------	---------------

43-45 D-1

M:\7\207105\dwg\SITE PLAN 2023.dwg  
LAYOUT: 0-1 DATE: Apr 14, 2023 - 9:02am





N.T.S.