

LOCAL UTILITY PROVIDERS

1.

SOUTHINGTON WATER DEPT.
WEST QUEEN STREET, P.O. BOX 111
SOUTHINGTON, CT. 06489-0111
(860) 628-5593
(860) 621-0491
2.

SOUTHINGTON/PLAINVILLE HEALTH DEPT.
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
(860) 276-6275
(860) 276-6277
3.

EVERSOURCE ELECTRIC
(203) 352-5412
4.

EVERSOURCE GAS
(203) 596-3071
5.

SOUTHERN NEW ENGLAND TELEPHONE
(860) 725-1010
(860) 549-1100
6.

SOUTHINGTON FIRE DEPARTMENT
310 NORTH MAIN STREET
SOUTHINGTON, CT 06489
(860) 621-3202
(860) 628-4049
7.

SOUTHINGTON HIGHWAY DEPT.
DELLABITTA DRIVE
SOUTHINGTON, CT. 06489
(860) 276-9430
(860) 276-9101
8.

TOWN ENGINEER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6231
FAX: (860) 628-8669
9.

TOWN PLANNER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6248
FAX: (860) 628-8669
10.

TOWN BUILDING DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6242
FAX: (860) 628-8669
11.

TOWN SEWER DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6233
FAX: (860) 628-8669
12.

POLICE DEPARTMENT
69 LAZY LANE
SOUTHINGTON, CT 06489
PHONE: (860) 621-0103

STATE INFORMATION

1.

CONNECTICUT HIGHWAY DEPT.
OFFICE OF SPECIAL SERVICES & PERMITS
1107 CROMWELL AVENUE
ROCKY HILL, CT 06067
(860) 258-4541
2.

STATE D.E.P.
79 ELM STREET
HARTFORD, CT 06106
(860) 424-3245

MISCELLANEOUS

1.

CALL BEFORE YOU DIG
(800) 922-4455

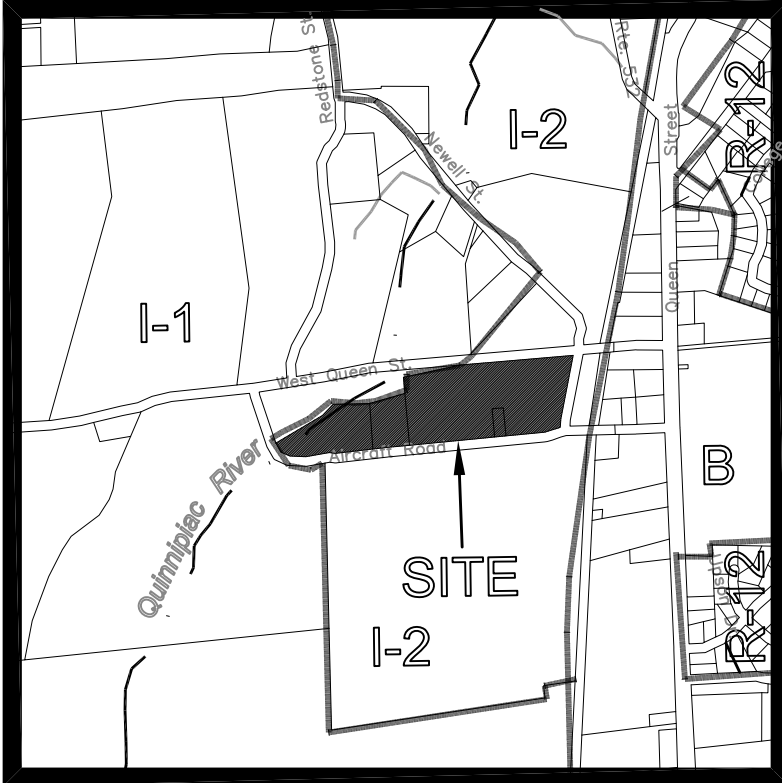
SITE PLANS PREPARED FOR THE PYLE CORPORATION



MAINTENANCE BUILDING

LIST OF DRAWINGS

C-1	COVER SHEET	N.T.S.
E-1	EXISTING CONDITIONS MAP & DEMOLITION PLAN (SHEET 1 OF 2)	40 SCALE
E-2	EXISTING CONDITIONS MAP & DEMOLITION PLAN (SHEET 2 OF 2)	40 SCALE
S-1	OVERALL LAYOUT	60 SCALE
L-1	LAYOUT & LANDSCAPING PLAN (SHEET 1 OF 2)	40 SCALE
L-2	LAYOUT & LANDSCAPING PLAN (SHEET 2 OF 2)	40 SCALE
G-1	GRADING & EROSION CONTROL PLAN (SHEET 1 OF 2)	40 SCALE
G-2	GRADING & EROSION CONTROL PLAN (SHEET 2 OF 2)	40 SCALE
D-1	SITE DETAILS	N.T.S.
D-2	SITE DETAILS	N.T.S.
D-3	WATER DETAILS	N.T.S.



KEYMAP: SCALE: 1"=1000'

Disclaimer:
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REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION:		
PROJECT:		
DB: MPT	SR: ---	DR: ---

kratzer,jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

COVER SHEET

for

THE PYLE CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.
1755 MERIDEN-WATERBURY RD.
P.O. BOX 337
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TEL. (860) 621-3638
FAX (860) 621-9609
EMAIL: info@kratzerjones.com
www.kratzerjones.com

kratzer, jones & associates, inc.
CIVIL ENGINEERS • LAND SURVEYORS • SITE PLANNERS
BUILDING ENGINEERS

SCALE: N.T.S.

DATE: NOVEMBER 10, 2022

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO. :

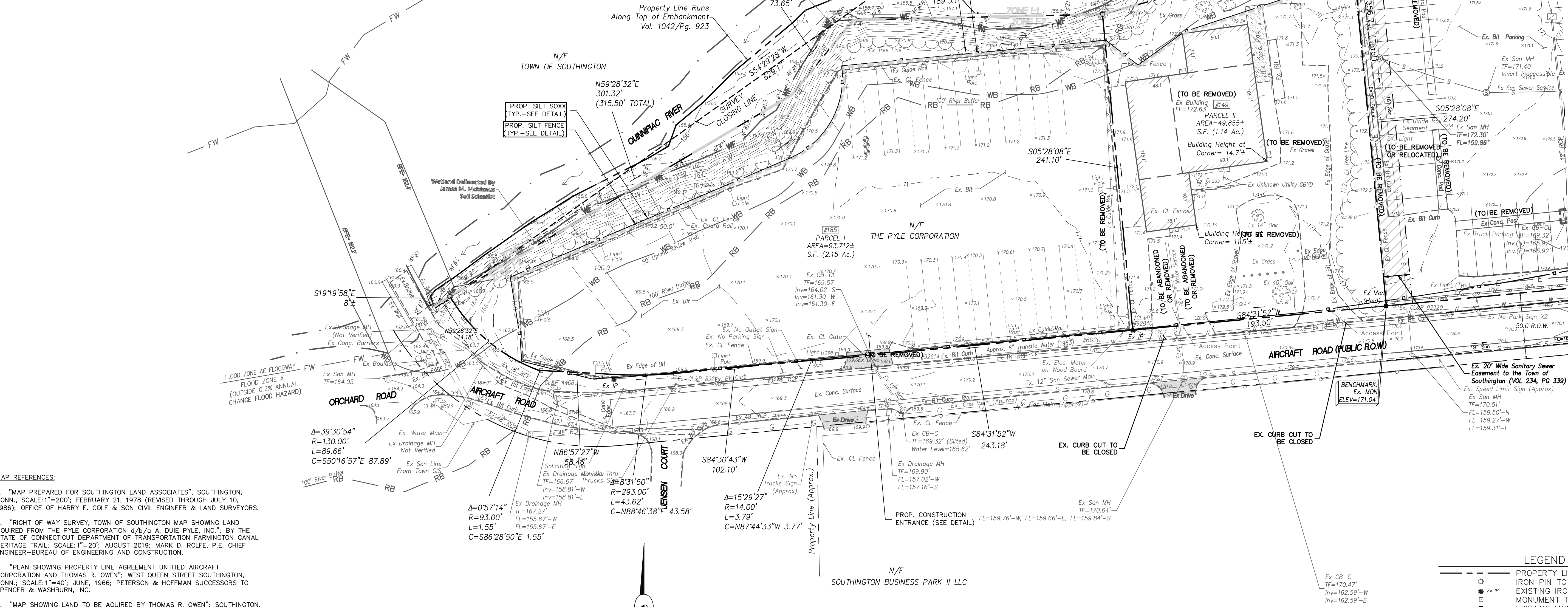
221-122

DRAWING NO. :

C-1

DEMOLITION NOTES:

1. ALL BUILDING, INCLUDING FOUNDATION WALLS AND FOOTINGS SHALL BE REMOVED FROM SITE. SITE CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
2. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE IN PLACE PRIOR TO START OF DEMOLITION OR CLEARING AND GRUBBING OPERATIONS.
3. REMOVE AND DISPOSE ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF-SITE LANDFILL.
4. THE SITE CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND DISPOSAL OF DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE SITE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED ON-SITE AND IN STATE R.O.W. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
5. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONSTRUCTOR.
6. THE SITE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
7. THE SITE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ANY SERVICE PIPING TO BE DEMOLISHED AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE SITE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE SITE CONTRACTOR SHALL PAY ALL UTILITY CO. FEES.
8. THE SITE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
9. THE SITE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF SOUTHTONING BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED MATERIAL AND PAY ALL FEES.
10. BACKFILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED PAVEMENT AREAS WITH APPROVED SOIL MATERIAL AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
11. BUILDING FOUNDATION AREA TO BE BACKFILLED IN 8" LIFTS WITH GRANULAR FILL AND APPROVED BY AN ENGINEER. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557.
12. THE SITE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE ALL WORK TO BE PERFORMED BY UTILITY COMPANIES OR THE TOWN OF SOUTHTONING. THE SITE CONTRACTOR SHALL REPAIR PAVEMENTS AND PAY UTILITY CO. OR CITY FEES FOR DISCONNECTION OR DEMOLITION OF THE AFFECTED UTILITIES.
13. THE SITE CONTRACTORS SHALL ADHERE TO ALL OSHA FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANE BOOMS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF SITE CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFE GUARDS.
14. UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-922-4455 AND VERIFY ALL LOCATIONS.
15. DOMESTIC GAS SERVICES SHALL BE PURGED OF RESIDUAL GAS IN ACCORDANCE WITH EVERSOURCE REQUIREMENTS. WORK TO BE COORDINATED BY AN PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
16. THE SITE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO SOUTHTONING PUBLIC WORKS, EVERSOURCE, SOUTHTONING WATER DEPARTMENT, AND AT&T CABLE AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
17. THE SITE CONTRACTOR SHALL REPAIR PAVEMENTS IN PUBLIC RIGHT OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE STATE DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
18. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF NEW EROSION AND SEDIMENTATION CONTROLS, IF ANY, AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
19. THE SITE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE LOCAL MUNICIPALITIES AND CT DOT.
20. SITE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTION UNTIL AUTHORIZED TO DO SO BY OWNER.
21. DISPOSE OF ALL PAVEMENT IN AN ENVIRONMENTALLY APPROPRIATE WAY.
22. SOIL AND DEBRIS TO BE REMOVED PER D.E.P. STANDARDS.
23. KRATZERT, JONES & ASSOCIATES DOES NOT ADVISE CLIENT IN SAFETY PROTOCOL.



- MAP REFERENCES:
1. "MAP PREPARED FOR SOUTHTONING LAND ASSOCIATES", SOUTHTONING, CONN., SCALE:1"=200'; FEBRUARY 21, 1978 (REVISED THROUGH JULY 10, 1986); OFFICE OF HARRY E. COLE & SON CIVIL ENGINEER & LAND SURVEYORS.
 2. "RIGHT OF WAY SURVEY, TOWN OF SOUTHTONING MAP SHOWING LAND ACQUIRED FROM THE PYLE CORPORATION d/b/a A. DUJE PYLE, INC."; BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FARMINGTON CANAL HERITAGE TRAIL; SCALE:1"=20'; AUGUST 2019; MARK D. ROLFE, P.E. CHIEF ENGINEER-BUREAU OF ENGINEERING AND CONSTRUCTION.
 3. "PLAN SHOWING PROPERTY LINE AGREEMENT UNTIED AIRCRAFT CORPORATION AND THOMAS R. OWEN", WEST QUEEN STREET SOUTHTONING, CONN.; SCALE:1"=40'; JUNE, 1966; PETERSON & HOFFMAN SUCCESSORS TO SPENCER & WASHBURN, INC.
 4. "MAP SHOWING LAND TO BE ACQUIRED BY THOMAS R. OWEN", SOUTHTONING, CONN.; SCALE:1"=40'; DECEMBER 4, 1970; OFFICE OF HARRY E. COLE ENGINEERS AND LAND SURVEYORS, 146 MERIDEN AVE., SOUTHTONING, CONN.
 5. "SKETCH OF A PORTION OF LAND OF PETER ZARELLA", SOUTHTONING, CONN.; SCALE:1"=100'; MARCH 1955; W.C. LEFEWRE, C.E.
 6. "TOWN OF SOUTHTONING WEST QUEEN STREET PUMP STATION SITE", SCALE:1"=20'; DEC. 1977; A.J. TRANQUILLO, P.E.
 7. "EXHIBIT C, DECLARATION OF ENVIRONMENTAL LAND USE RESTRICTION AND GRANT OF EASEMENT, LAND OF SOUTHTONING BUSINESS PARK, LLC, 75 AIRCRAFT ROAD, SOUTHTONING, CONNECTICUT; SCALE:1"=50'; 6/10/11; CONKLIN & SOROKA, INC.
 8. "MAP PREPARED FOR ARTHUR AND JULIA OGONOWSKI, SOUTHTONING, CONN."; SCALE:1"=40'; JULY, 1965; OFFICE OF HARRY E. COLE LAND SURVEYOR.
 9. "MAP SHOWING PROPOSED STREET LINES, WEST QUEEN STREET, SOUTHTONING, CONN."; SCALE:1"=40'; DECEMBER 1968; KRATZERT & JONES, CIVIL ENGINEERS & LAND SURVEYORS.
 10. "PROPERTY MAP FOR FREIGHT TRANSFER SERVICE STATION & MAINTENANCE SHOP FOR A. DUJE PYLE", #87 AIRCRAFT ROAD SOUTHTONING, CT; SCALE:1"=40'; APRIL 8, 2002; KRATZERT & JONES ASSOCIATES, INC.

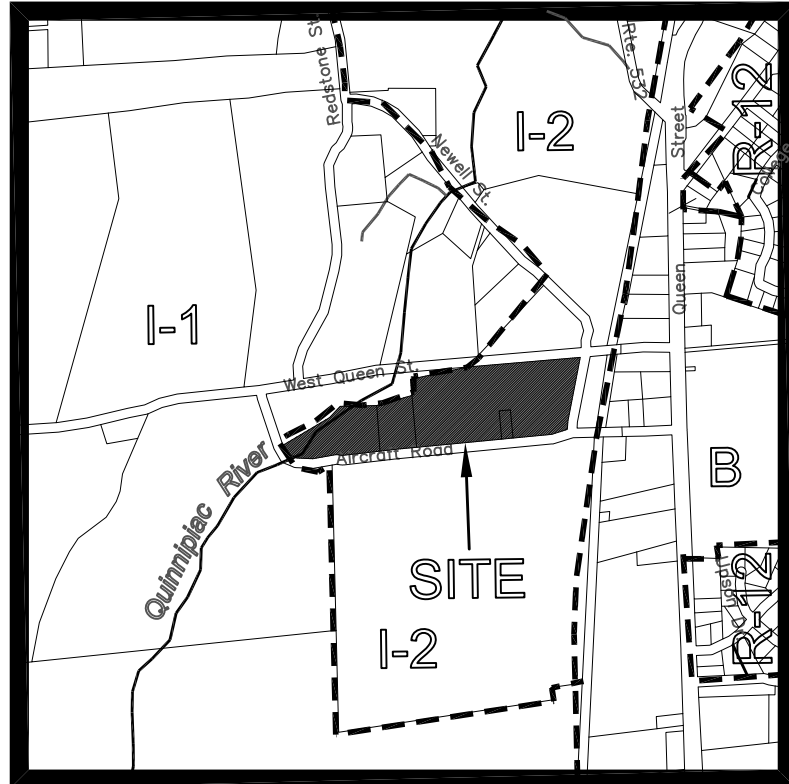
- NOTES:
1. PARCEL OWNERS: THE PYLE CORPORATION & A DUJE PYLE INC
 2. AREA: SEE MAP
 3. ADDRESS: 87, 149, & 185 AIRCRAFT RD. & 150 WEST QUEEN ST
 4. ZONE: I-2 (SEE ZONING TABLE)
 5. CONTOUR INTERVAL = 1'
 6. ELEVATIONS BASED ON: NAVD88
 7. TOPOGRAPHY IS FROM FIELD SURVEY.
 8. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
 9. PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
 10. SITE LOCATED IN "FLOOD ZONE: AE" AND "FLOOD ZONE: X" ACCORDING TO FEMA FLOOD MAP AREA NUMBER: 09003C0469G, EFFECTIVE ON 05/16/2017
 11. PROPERTY AFFECTED BY A DRAINAGE EASEMENT (VOL. 212 PG. 510), SNETCO EASEMENT (VOL. 92, PG. 426) & SANITARY SEWER EASEMENT TO THE TOWN OF SOUTHTONING (VOL. 234, PG. 338)

ZONING TABLE	
ZONE - I-2 (PUBLIC WATER AND SEWER AVAILABLE) SECTION 5-00.13	
	REQUIRED
LOT AREA	20,000 SF
LOT FRONTAGE	100'
LOT COVERAGE	50%
FRONT YARD SETBACK	30'
SIDE YARD SETBACK	15'
REAR YARD SETBACK	20'
BUILDING HEIGHT	65'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

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- LEGEND
- PROPERTY LINE
 - IRON PIN TO BE SET
 - EXISTING IRON PIN
 - MONUMENT TO BE SET
 - EXISTING MONUMENT
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING LIGHT
 - EXISTING HYDRANT
 - EXISTING GAS VALVE
 - EXISTING WATER VALVE
 - EXISTING UTILITY POLE
 - EXISTING MONITORING WELL
 - EX. EDGE OF ROAD
 - EX. EDGE OF ROAD (CURBED)
 - EX. EDGE OF DRIVEWAY
 - EX. SANITARY SEWER LINE
 - EX. WATER LINE
 - EX. GUIDE RAIL
 - EX. CONTOUR



KEYMAP: SCALE: 1"=1000'

- REVISION-7:
- REVISION-6:
- REVISION-5:
- REVISION-4:
- REVISION-3:
- REVISION-2:
- REVISION-1: 4/8/23 - ENGINEERING COMMENTS
- PROJECT: 221122-GEIS
- DB: NRA SR: --- DR: ---
- SCALE:
- SURVEY NOTES:
- THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES (CT SECTIONS 20-300b-1 TO 20-300b-20).
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY.
- BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- THIS SURVEY CONFORMS TO CLASS A-2/T-2.
- TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sokolnick
CT P.E. & L.S. #11302

kratzert, KJA
jones &
associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

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MILDALE, CT 06467-0337

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EMAIL: INFO@KRATZERTJONES.COM

EXISTING
CONDITIONS MAP
&
DEMOLITION PLAN
(SHEET 1 OF 2)

for
THE PYLE
CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHTONING, CT

SCALE: 1" = 40'

DATE: NOVEMBER 10, 2022

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO. : DRAWING NO. :
221-122 E-1

ZONING TABLE	
ZONE - I-2 (PUBLIC WATER AND SEWER AVAILABLE) SECTION 5-00.13	
REQUIRED	
LOT AREA	20,000 S.F.
LOT FRONTAGE	100'
LOT COVERAGE	50%
FRONT YARD SETBACK	30'
SIDE YARD SETBACK	15'
REAR YARD SETBACK	20'
BUILDING HEIGHT	65'



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LEGEND	
○	PROPERTY LINE
●	IP TO BE SET
■	EXISTING IRON PIN
—	PROPOSED MONUMENT
—	EXIST. EDGE OF ROAD
—	PROPOSED EDGE OF CURB
—	PROPOSED DRIVEWAY
—	GAS SERVICE
—	SEWER SERVICE
—	WATER SERVICE
—	ELECTRIC SERVICE
—	EXISTING GAS VALVE
—	MONITORING WELL
—	EX. STORM DRAINAGE
—	PRO. STORM DRAINAGE
—	EX. CONTOURS
—	PRO. CONTOURS
—	SILT FENCE
—	EX. CATCH BASIN
—	PRO. CATCH BASIN
—	STORM DRAINAGE MANHOLE
—	SANITARY SEWER MANHOLE
—	UTILITY POLE
—	WATER GATE
—	HYDRANT
—	LIGHT POLE
—	DUMPSTER

REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	4/6/23 - ENGINEERING COMMENTS
REVISION-1:	3/20/23 - TOWN COMMENTS
PROJECT:	221-122-GEIS
DB:	NRA
SR:	---
DR:	---
SCALE:	

James N. Sokonick
CT P.E. & L.S. #11302

**kratzer, KJA
jones &
associates, inc.**

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MILDALE, CT 06467-0337

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FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

OVERALL LAYOUT

for

**THE PYLE
CORPORATION**

**87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT**

SCALE: 1" = 60'

DATE: NOVEMBER 10, 2022

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO. :

DRAWING NO. :

221-122

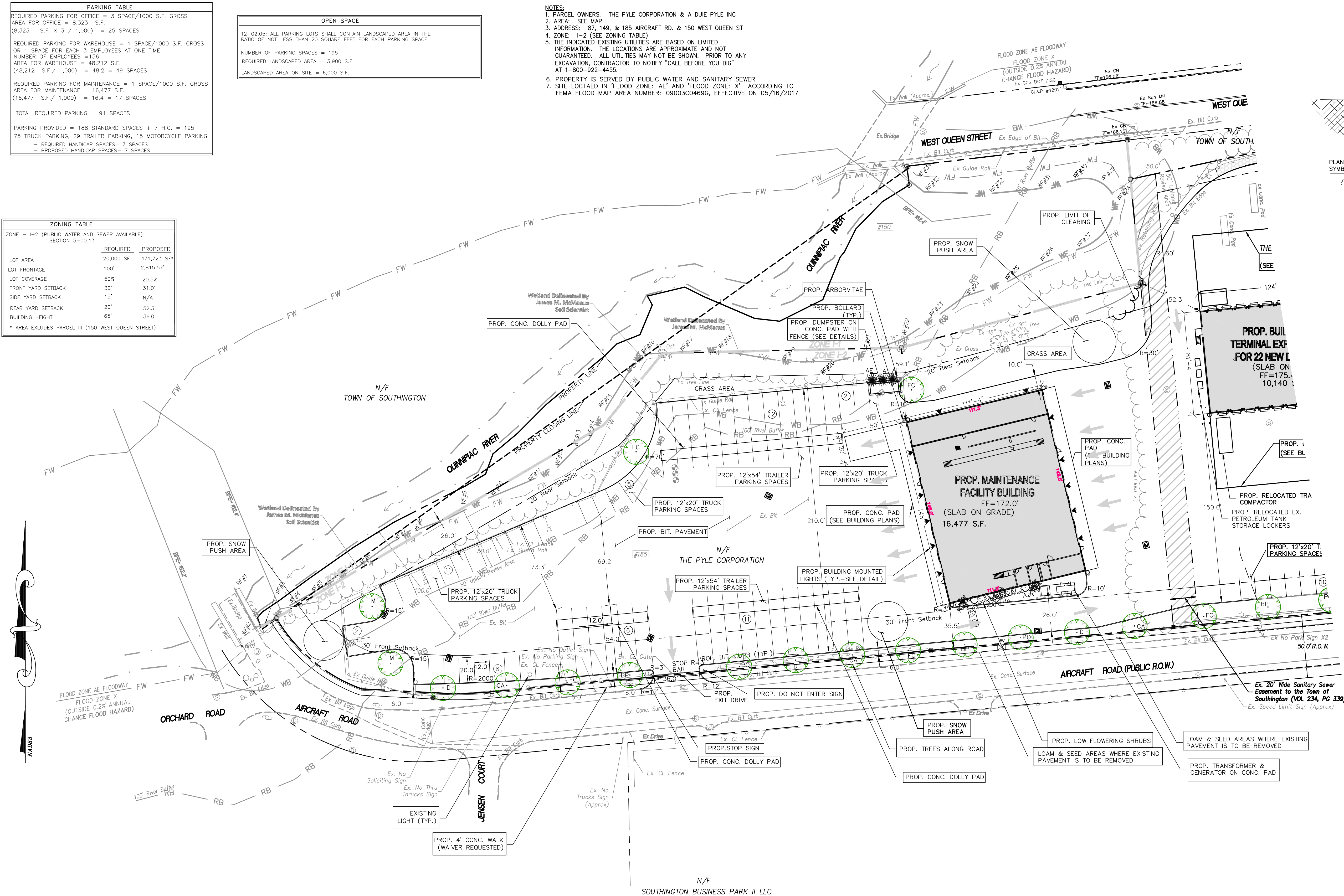
S-1

PARKING TABLE	
REQUIRED PARKING FOR OFFICE = 3 SPACE/1000 S.F. GROSS AREA FOR OFFICE = 8,323 S.F.	(8,323 S.F. X 3 / 1,000) = 25 SPACES
REQUIRED PARKING FOR WAREHOUSE = 1 SPACE/1000 S.F. GROSS OR 1 SPACE FOR EACH 3 EMPLOYEES AT ONE TIME	NUMBER OF EMPLOYEES = 156
AREA FOR WAREHOUSE = 48,212 S.F.	(48,212 S.F. / 1,000) = 48.2 = 49 SPACES
REQUIRED PARKING FOR MAINTENANCE = 1 SPACE/1000 S.F. GROSS AREA FOR MAINTENANCE = 16,477 S.F.	(16,477 S.F. / 1,000) = 16.4 = 17 SPACES
TOTAL REQUIRED PARKING = 91 SPACES	
PARKING PROVIDED = 188 STANDARD SPACES + 7 H.C. = 195	
75 TRUCK PARKING, 29 TRAILER PARKING, 15 MOTORCYCLE PARKING	
- REQUIRED HANDICAP SPACES= 7 SPACES	
- PROPOSED HANDICAP SPACES= 7 SPACES	

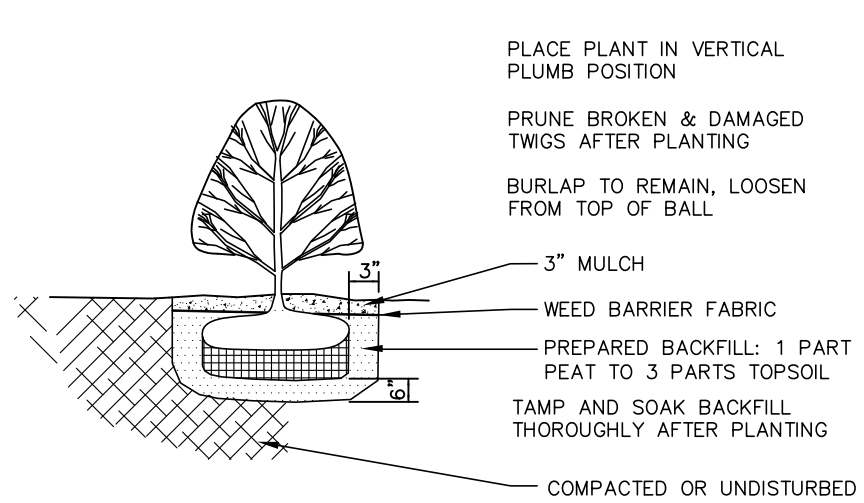
OPEN SPACE	
12-02.05: ALL PARKING LOTS SHALL CONTAIN LANDSCAPED AREA IN THE RATIO OF NOT LESS THAN 20 SQUARE FEET FOR EACH PARKING SPACE.	
NUMBER OF PARKING SPACES = 195	
REQUIRED LANDSCAPED AREA = 3,900 S.F.	
LANDSCAPED AREA ON SITE = 6,000 S.F.	

- NOTES:
1. PARCEL OWNERS: THE PYLE CORPORATION & A DUE PYLE INC
 2. AREA: SEE MAP
 3. ADDRESS: 87, 149, & 185 AIRCRAFT RD. & 150 WEST QUEEN ST
 4. ZONE: I-2 (SEE ZONING TABLE)
 5. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
 6. PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
 7. SITE LOCATED IN "FLOOD ZONE: AE" AND "FLOOD ZONE: X" ACCORDING TO FEMA FLOOD MAP AREA NUMBER: 09003C0469G, EFFECTIVE ON 05/16/2017

ZONING TABLE		
ZONE	REQUIRED	PROPOSED
LOT AREA	20,000 SF	471,723 SF*
LOT FRONTAGE	100'	2,815.57'
LOT COVERAGE	50%	20.5%
FRONT YARD SETBACK	30'	31.0'
SIDE YARD SETBACK	15'	N/A
REAR YARD SETBACK	20'	52.3'
BUILDING HEIGHT	65'	36.0'
* AREA EXCLUDES PARCEL III (150 WEST QUEEN STREET)		

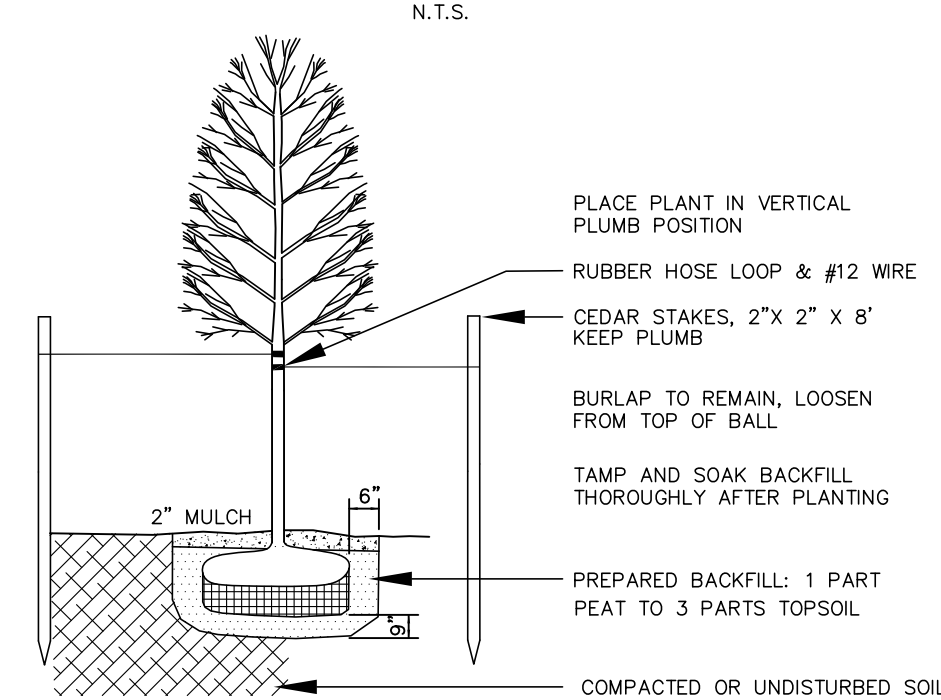


SHRUB PLANTING



PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
●	6	MOUNTAIN LAUREL	15"-18"
●	6	RHODODENDRON	3 GALLON
●	7	KNOCK OUT ROSES	18"-24"
○	7	AZALEA	2 GALLON

DECIDUOUS TREE PLANTING



PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
●	2	SUGAR MAPLE	2 1/2" MIN. CALIPER
●	3	PINK DOGWOOD	2 1/2" MIN. CALIPER
●	3	PIN OAK	2 1/2" MIN. CALIPER
●	6	BRADFORD PEAR	2 1/2" MIN. CALIPER
●	5	FLOWERING CHERRY	2 1/2" MIN. CALIPER
●	3	CRABAPPLE	2 1/2" MIN. CALIPER

LANDSCAPING CHART

STREET TREES
STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.

4-07 STREET TREES
THE DEVELOPER SHALL LEAVE NOT LESS THAN TWO NATURALLY GROWING TREES HAVING 3" INCH CALIPER IN THE FRONT YARD OF EACH LOT OR SHALL PLANT ONE TREE FOR EVERY 50 FEET OF LOT FRONTAGE OR FRACTION THEREOF, BUT NO LESS THAN TWO TREES FROM THE SUGGESTED STREET TREE LIST WITH 3" INCH CALIPER IN THE FRONT YARD OF EACH LOT. THESE SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE STREET LINE TO A MAXIMUM OF 30 FEET FROM THE STREET LINE. STRAIGHT ROWS AND THE USE OF ONLY ONE VARIETY ARE TO BE AVOIDED, THE INTENT BEING TO CREATE A NATURAL MIXTURE OF APPROPRIATE SPECIES.

LANDSCAPE NOTES

1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNER.
5. ALL PLANTINGS INCLUDING SEED MIXES SHALL BE NATIVE.

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LEGEND

—	PROPERTY LINE	—	EX. STORM DRAINAGE
○	IP TO BE SET	—	PROP. STORM DRAINAGE
●	EXISTING IRON PIN	—	EX. CONTOURS
■	PROPOSED MONUMENT	—	PROP. CONTOURS
—	EXISTING MONUMENT	—	SILT FENCE
—	EXIST. EDGE OF ROAD	—	EX. CATCH BASIN
—	PROP. EDGE OF ROAD	—	PROP. CATCH BASIN
—	EXISTING EDGE OF CURB	—	STORM DRAINAGE MANHOLE
—	PROPOSED EDGE OF CURB	—	SANITARY SEWER MANHOLE
—	PROP. EDGE OF PAVEMENT	—	UTILITY POLE
—	GAS SERVICE	—	WATER GATE
—	SEWER SERVICE	—	HYDRANT
—	WATER SERVICE	—	LIGHT POLE
—	ELECTRIC SERVICE	—	DUMPSTER
—	EXISTING GAS VALVE	—	
—	MONITORING WELL	—	

REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	4/6/23 - ENGINEERING COMMENTS
REVISION-1:	3/20/23 - TOWN COMMENTS
PROJECT:	221122-GEIS
DB:	NRA
SR:	---
DR:	---
SEAL:	

James N. Sokonchick
CT P.E. & L.S. #11302

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PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

LAYOUT & LANDSCAPING PLAN (SHEET 1 OF 2)

for

THE PYLE CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: 1" = 40'

DATE: NOVEMBER 10, 2022

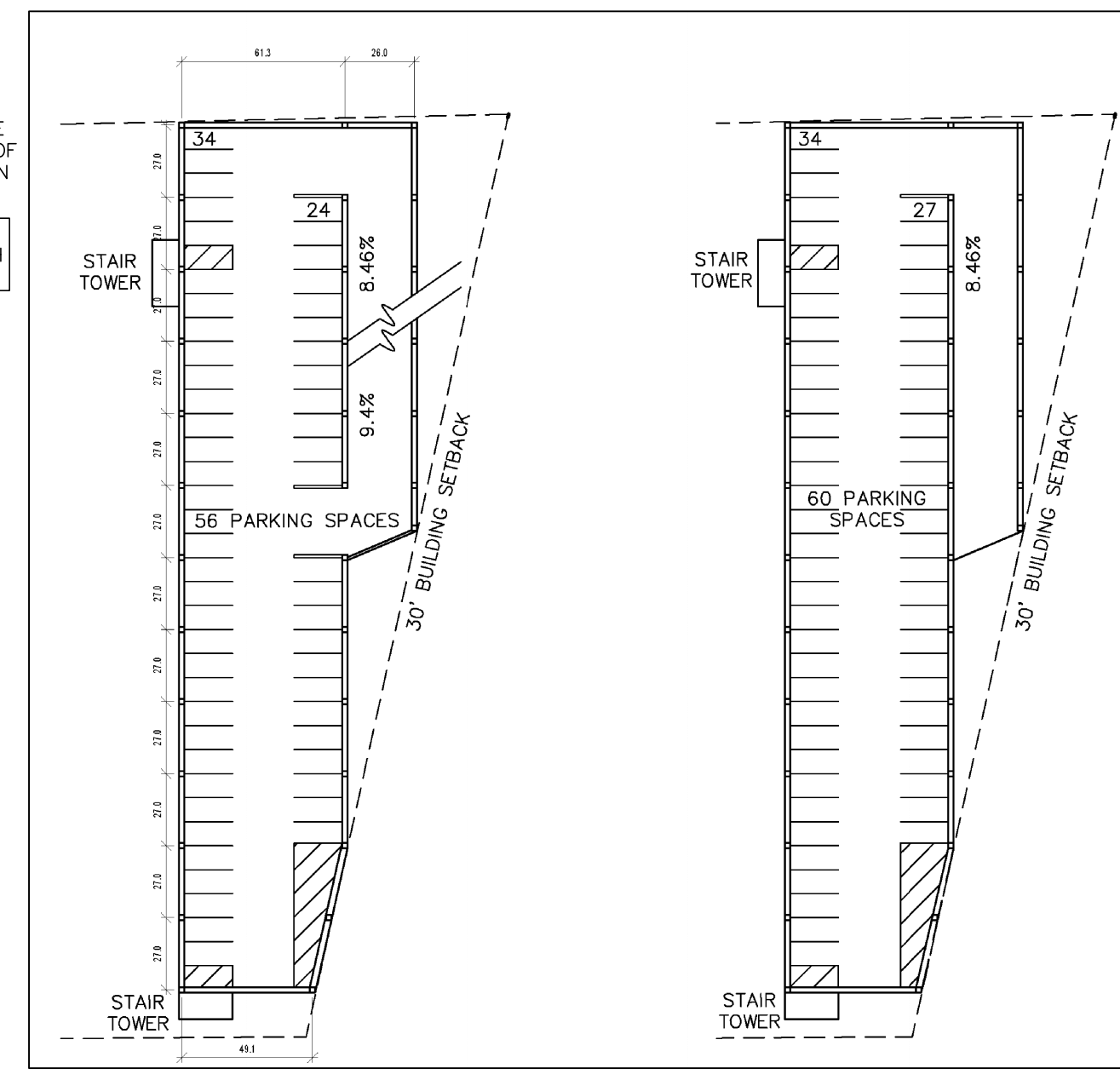
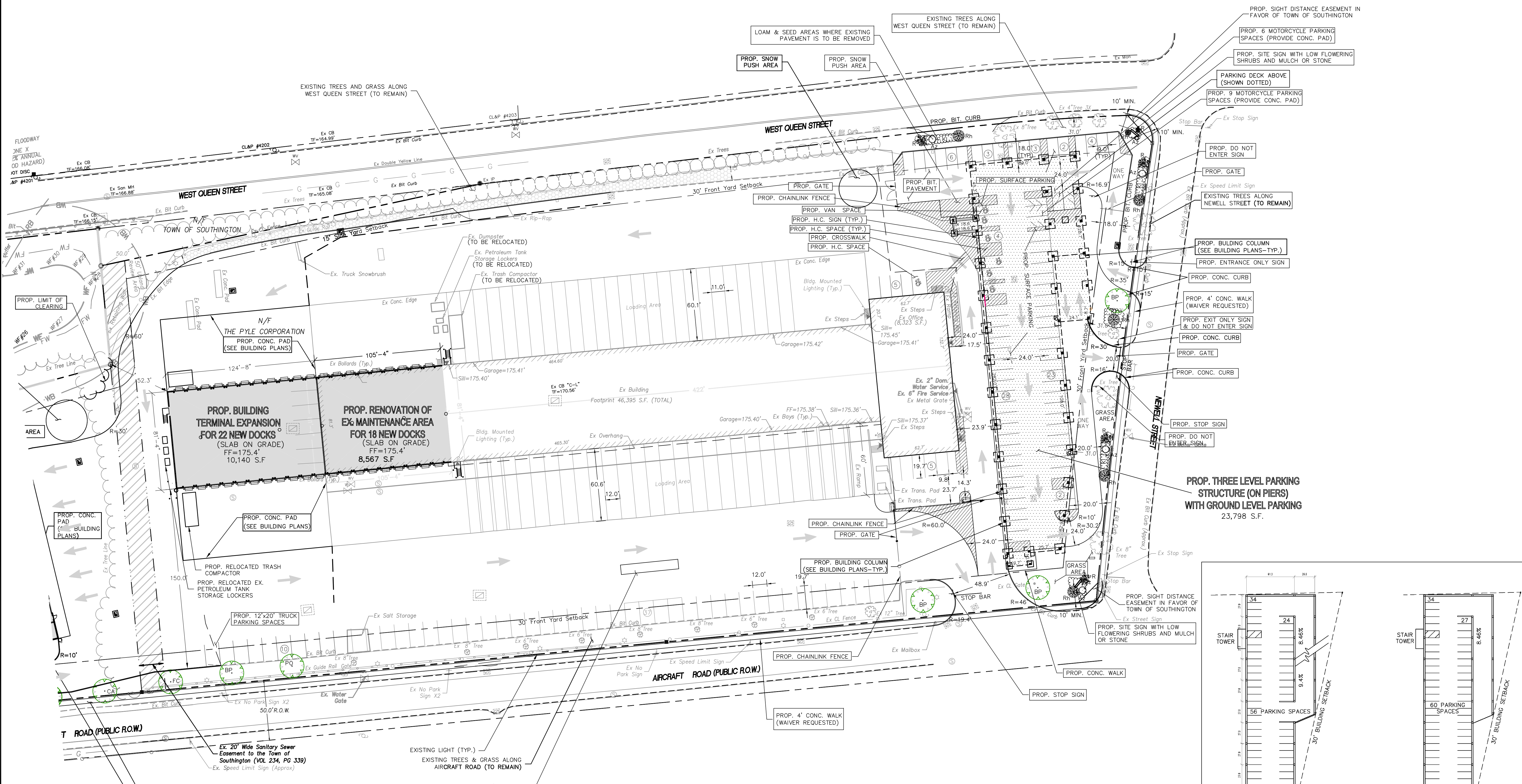
HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.:

DRAWING NO.:

221-122

L-1



LEGEND	
—	PROPERTY LINE
●	IP TO BE SET
○	EXISTING IRON PIN
□	PROPOSED MONUMENT
—	EXIST. EDGE OF ROAD
—	PROPOSED EDGE OF ROAD
—	EXISTING EDGE OF CURB
—	PROPOSED EDGE OF CURB
—	PROPOSED EDGE OF PAVEMENT
—	GAS SERVICE
—	SEWER SERVICE
—	WATER SERVICE
—	ELECTRIC SERVICE
—	EXISTING GAS VALVE
—	MONITORING WELL
—	EX. STORM DRAINAGE
—	PROPOSED STORM DRAINAGE
—	EX. CONTOURS
—	PROPOSED CONTOURS
—	SILT FENCE
—	EX. CATCH BASIN
—	PROPOSED CATCH BASIN
—	STORM DRAINAGE MANHOLE
—	SANITARY SEWER MANHOLE
—	UTILITY POLE
—	WATER GATE
—	HYDRANT
—	LIGHT POLE
—	DUMPSTER

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SEE NOTES ON SHEET L-1

REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	4/6/23 - ENGINEERING COMMENTS
REVISION-1:	3/20/23 - TOWN COMMENTS
PROJECT:	221122-GEIS
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LAYOUT &
LANDSCAPING
PLAN
(SHEET 2 OF 2)

for
THE PYLE CORPORATION
87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: 1" = 40'
DATE: NOVEMBER 10, 2022
KJA FILE NO.:
DRAWING NO.:
221-122 L-2

EROSION AND SEDIMENTATION CONTROL NOTES.

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE. FOR THOSE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED. ANNUAL RYEGRASS MAY BE UTILIZED OR AN APPROVED EQUAL.
2. SLOPES SHALL BE RESTRICTED TO 2" HORIZONTAL/1" VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4" MIN.) AND SEEDED OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENTATION CONTROL HANDBOOK.
5. THE APPLICATION AND SPECIFIC DETAILS OF THE EROSION AND SEDIMENTATION CONTROL SHALL FOLLOW THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED JANUARY 1985 AS AMENDED TO DATE.
6. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
7. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE TOWN PLANNER AND/OR THE TOWN ENGINEER.
8. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
9. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION. PLOT PLANS FOR INDIVIDUAL LOTS SHALL CONTAIN DETAILED DELINEATION OF SILTATION BARRIERS INCLUDING ANY ADDITIONAL EROSION CONTROLS AS DEEMED NECESSARY. FOLLOWING DAMAGE.
10. EROSION CONTROL IS RESPONSIBLE FOR CORRECTING ANY UNFORSEEN FIELD CONDITIONS.
11. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
12. KEVIN WATTS OR DULY AUTHORIZED AGENT (440) 454-5195 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
13. KEVIN WATTS OR DULY AUTHORIZED AGENT (440) 454-5195 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
14. SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
15. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE.
16. PURSUANT TO THE REGULATIONS, A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEEDED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.

STANDARD SITE PLAN NOTES:

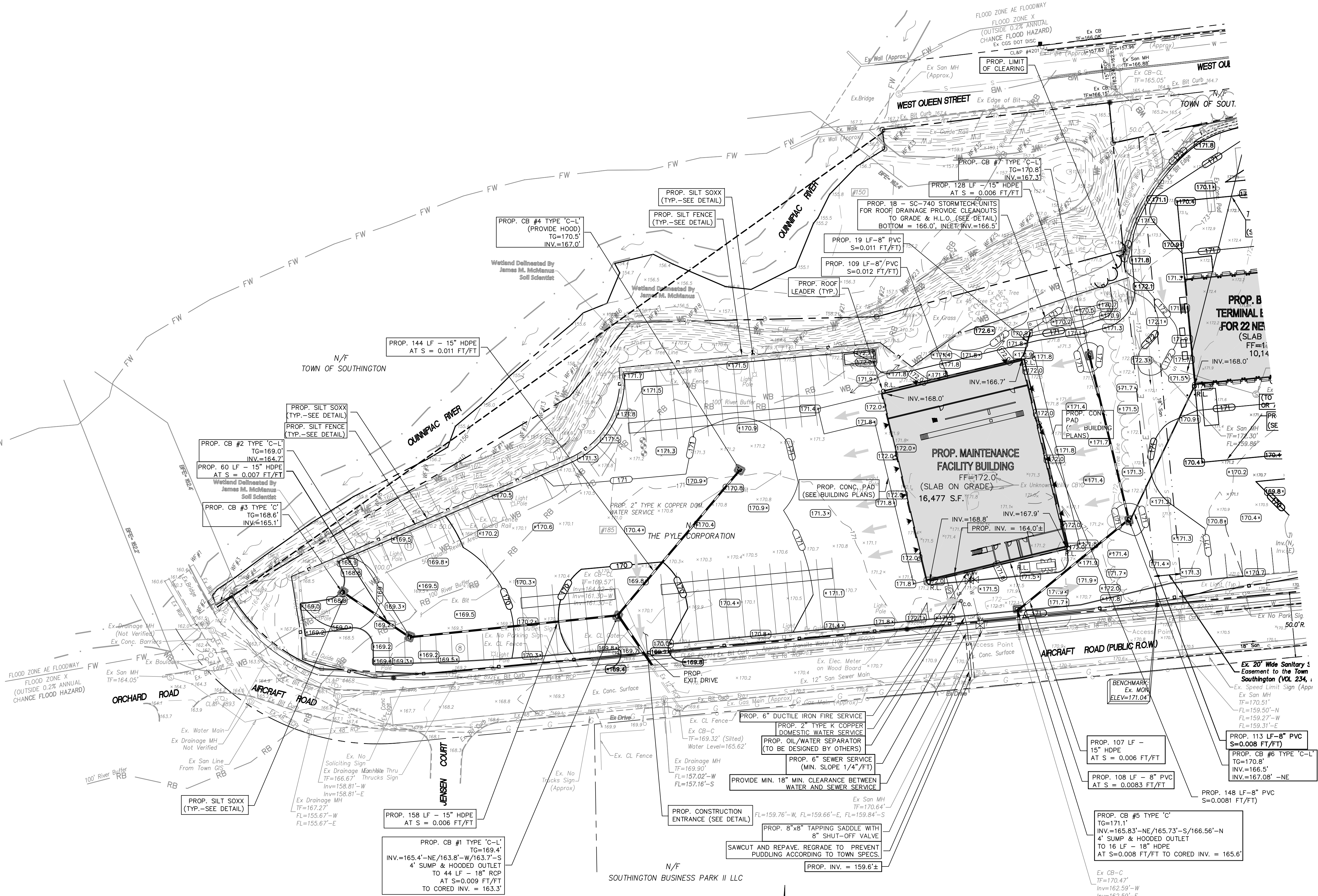
1. PARCEL OWNERS: THE PYLE CORPORATION & A DUE PYLE INC.
2. ADDRESS: 87, 149, & 185 AIRCRAFT RD. & 150 WEST QUEEN ST.
3. CONTOUR INTERVAL = 1'
4. ELEVATIONS BASED ON: NAVD83
5. TOPOGRAPHY IS FROM FIELD SURVEY.
6. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
7. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
8. LOT AREA = SEE MAP
9. PROPERTY IS LOCATED IN ZONE I-2 (SEE ZONING TABLE).
10. ALL CONSTRUCTION SHALL CONFORM TO CONN. DOT 818
11. SEE ZONING TABLE FOR PARKING REQUIREMENTS.
12. LOT COVERAGE = 20.5% (ALLOWED = 50%)
13. PRESENT LAND USE: TRUCKING TERMINAL
14. PROPOSED LAND USE: TRUCKING TERMINAL
15. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT 276-6248 AND 276-6231, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
16. ALL WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
17. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE WORK IS COMPLETED, OR WHEN SPECIFICALLY APPROVED BY THE PLANNING AND ZONING COMMISSION.
18. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS IF ANY.
19. GROUNDWATER ZONE GA
20. ALL PROPOSED LIGHTS TO BE RECESSED FULL CUTOFF FIXTURES WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS. BUILDING LIGHTS TO BE DIRECTED TOWARDS THE GROUND AND ALL FLOOD LAMPS TO BE FULL CUTOFF WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
21. EXISTING BUILDING FOOTPRINT (TO REMAIN) = 46,395 S.F.
22. PROP. BUILDING TERMINAL EXPANSION FOOTPRINT = 10,140 S.F.
23. PROP. MAINTENANCE FACILITY FOOTPRINT = 16,477 S.F.
24. PROP. PARKING STRUCTURE FOOTPRINT = 23,798 S.F.
25. TOTAL BUILDING FOOTPRINTS = 96,810 S.F.
26. STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.
27. WHENEVER CONCRETE SIDEWALKS ADJUT ASPHALT, A CONCRETE CURB IS REQUIRED.
28. EXISTING WATER AND SEWER SERVICE TO BE USED FOR PROPOSED MAINTENANCE BUILDING AND EXISTING TERMINAL BUILDING. PROPOSED PARKING STRUCTURE TO HAVE NO SEWER OR WATER SERVICE. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO BE REPAIRED TO TOWN STANDARDS.
29. ALL DEWATERING SHALL INCORPORATE THE USE OF FILTER BAGS ON DISCHARGE ENDS.
30. ALL CATCH BASINS TO BE INSPECTED AND CLEANED BI-ANNUALLY. ALL PAVED AREAS TO BE SWEEP BI-ANNUALLY. MATERIAL TO BE DISPOSED OF IN AN ENVIRONMENTALLY FRIENDLY MANNER.
31. NO FUEL PUMPS PROPOSED ON SITE.
32. APPLICANT TO ACQUIRE STATE D.E.P. PERMIT FOR BUILDING FLOOR DRAINS.
33. ALL CATCH BASINS SHALL HAVE 2 SUMPS UNLESS A 4" SUMP IS NOTED ON THE PLAN. PROVIDE MIN. 2" COVER OVER ALL PIPES.
34. HOURS OF OPERATION: SUNDAY 11 P.M. - SATURDAY 2 A.M.
35. WALKS WERE PREVIOUSLY WAIVED BY P.Z.
36. MINIMUM SIZE FOR SEWER SERVICE SHALL BE 6".

CONSTRUCTION SEQUENCE:

1. AN ON-SITE JOB MEETING TO DISCUSS AND PLAN IMPLEMENTATION OF EROSION CONTROLS SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
3. CALL BEFORE YOU DIG 1-800-922-4455.
4. GET APPROPRIATE PERMITS FOR DEMOLITION.
5. DISCONNECT UTILITIES AND REMOVE EXISTING STRUCTURES AND PAVEMENT. DISPOSE OF MATERIAL OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
6. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
7. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLATE FOUNDATION, SLAB AND BUILDING.
8. CONSTRUCT SITE UTILITIES. PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
9. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
10. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
11. FINISH GRADE SITE. SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
12. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
13. REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
14. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SITUATION BARRIERS SHALL BE REMOVED.
15. DEMOLITION ESTIMATED TO BEGIN JUNE 2023. CONSTRUCTION ESTIMATED TO BE FINISHED DECEMBER 2025

ZONING TABLE			
ZONE - I-2 (PUBLIC WATER AND SEWER AVAILABLE)			
REQUIRED		SECTION 5-00.13	
LOT AREA	20,000 SF		
LOT FRONTAGE	100'		
LOT COVERAGE	50%		
FRONT YARD SETBACK	30'		
SIDE YARD SETBACK	15'		
REAR YARD SETBACK	20'		
BUILDING HEIGHT	65'		

SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 SF
KENTUCKY BLUEGRASS	20	0.45
CREeping REED FESCUE	20	0.45
PERENNIAL RYEGRASS	45	1.00



REVISION-7:	
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REVISION-2:	4/6/23 - ENGINEERING COMMENTS
REVISION-1:	3/20/23 - TOWN COMMENTS
PROJECT:	221122-GEIS
DB:	NRA
SR:	---
DR:	---

I hereby certify that this plan is in compliance with the Town of Southington Soil Erosion and Sedimentation control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended.

Signature _____ Certification No. _____

"The Planning and Zoning Commission certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Southington Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature _____

Date of Approval _____

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GRADING & EROSION CONTROL PLAN (SHEET 1 OF 2)

for
THE PYLE CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: 1" = 40'
DATE: NOVEMBER 10, 2022
HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO. : DRAWING NO. :

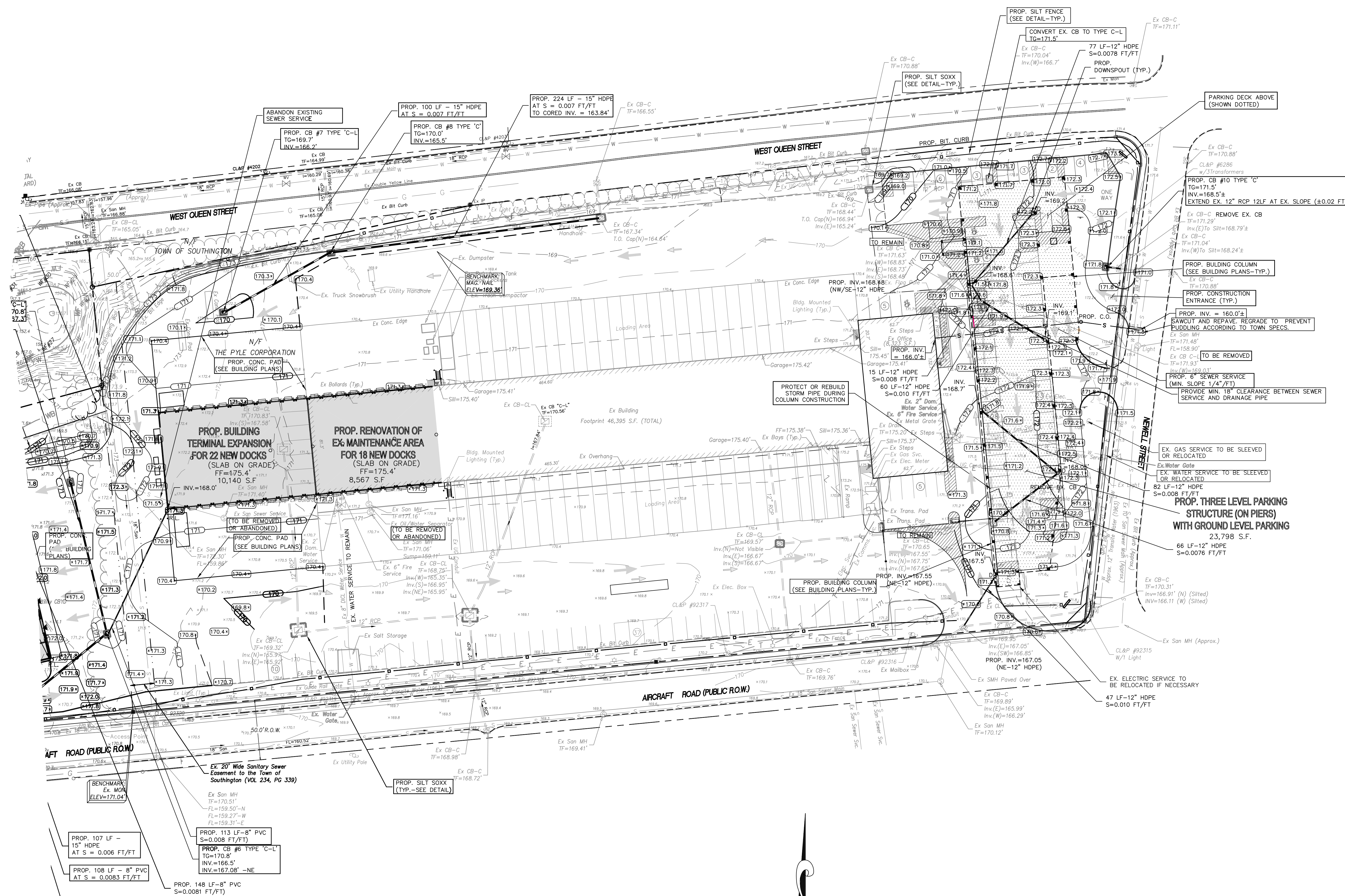
221-122 G-1

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--- S SEWER SERVICE	HYDRANT
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Signature	
(Name)	Certification No.
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Date of Approval	

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GRADING & EROSION CONTROL PLAN (SHEET 2 OF 2)

for
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87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: 1" = 40'
DATE: NOVEMBER 10, 2022
KJA FILE NO.: 221-122
DRAWING NO.: G-2

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PROPOSED EDGE OF CURB	UTILITY POLE
PROPOSED EDGE OF PAVEMENT	WATER GATE
GAS SERVICE	HYDRANT
SEWER SERVICE	WATER SERVICE
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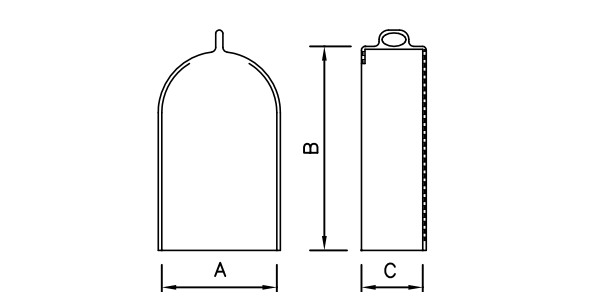
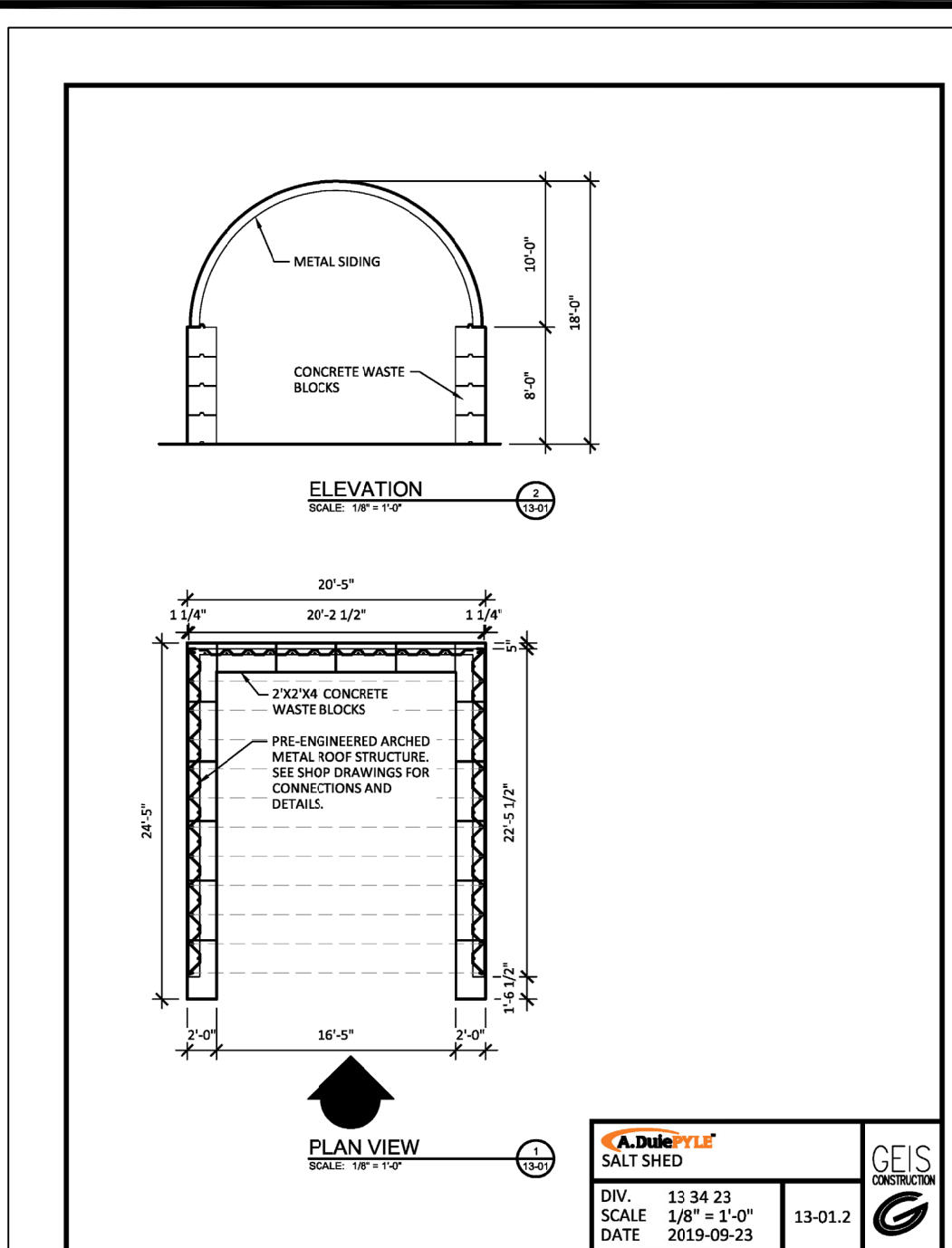
SEE NOTES ON SHEET G-1

NOTE:
EXPPOSED HEIGHT OF BACK OF WALL ABOVE
SLOPE TO BE 7" FOR SLOPES OF 1-1/2:1
& 4:1 AND 9" FOR SLOPE OF 2:1.

H = TOTAL HEIGHT
B = BASE
D = INSIDE DIAMETER OF PIPE
S = HEIGHT OF SLOPE ABOVE INVERT
L = LENGTH = 3S + D

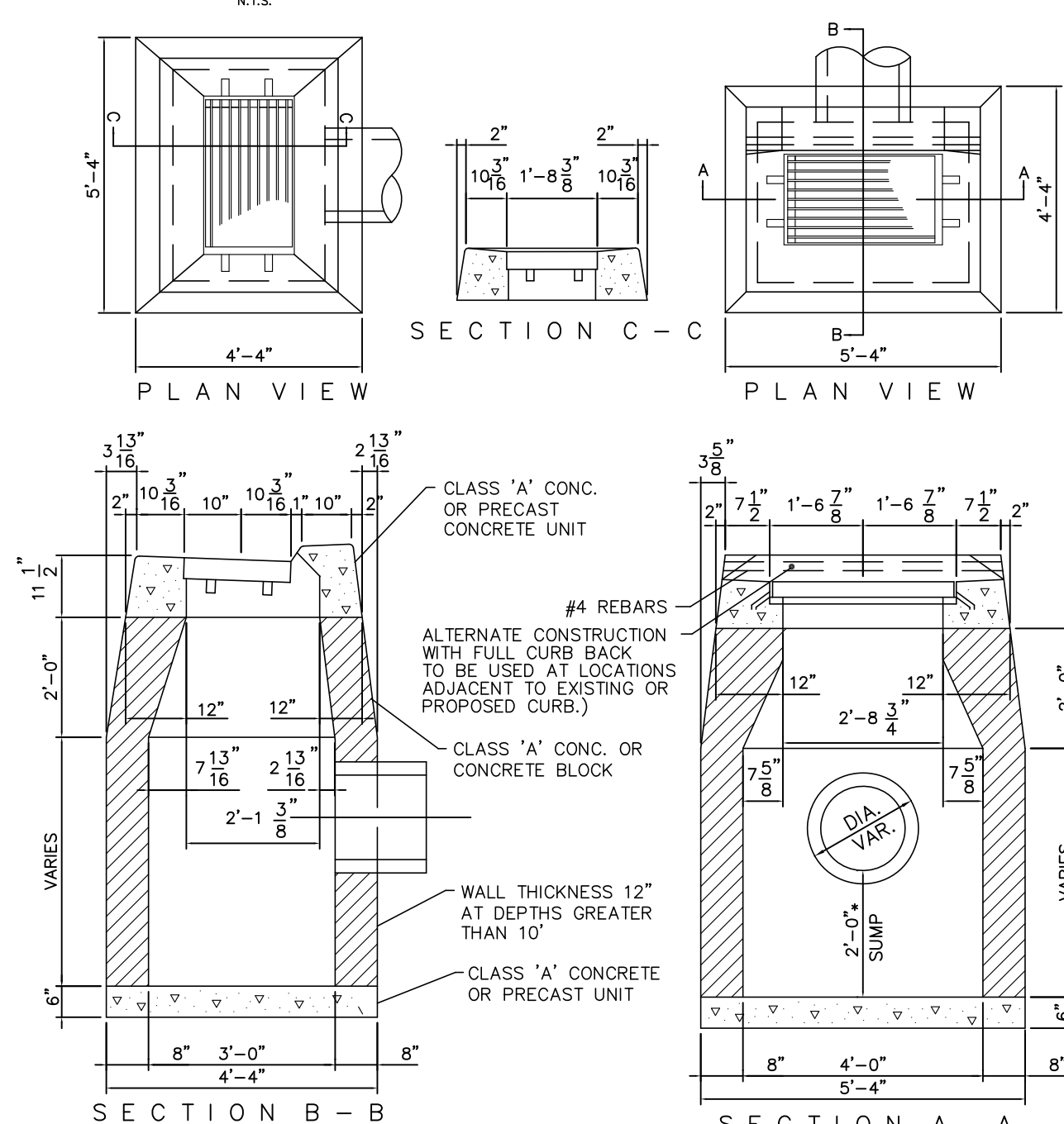
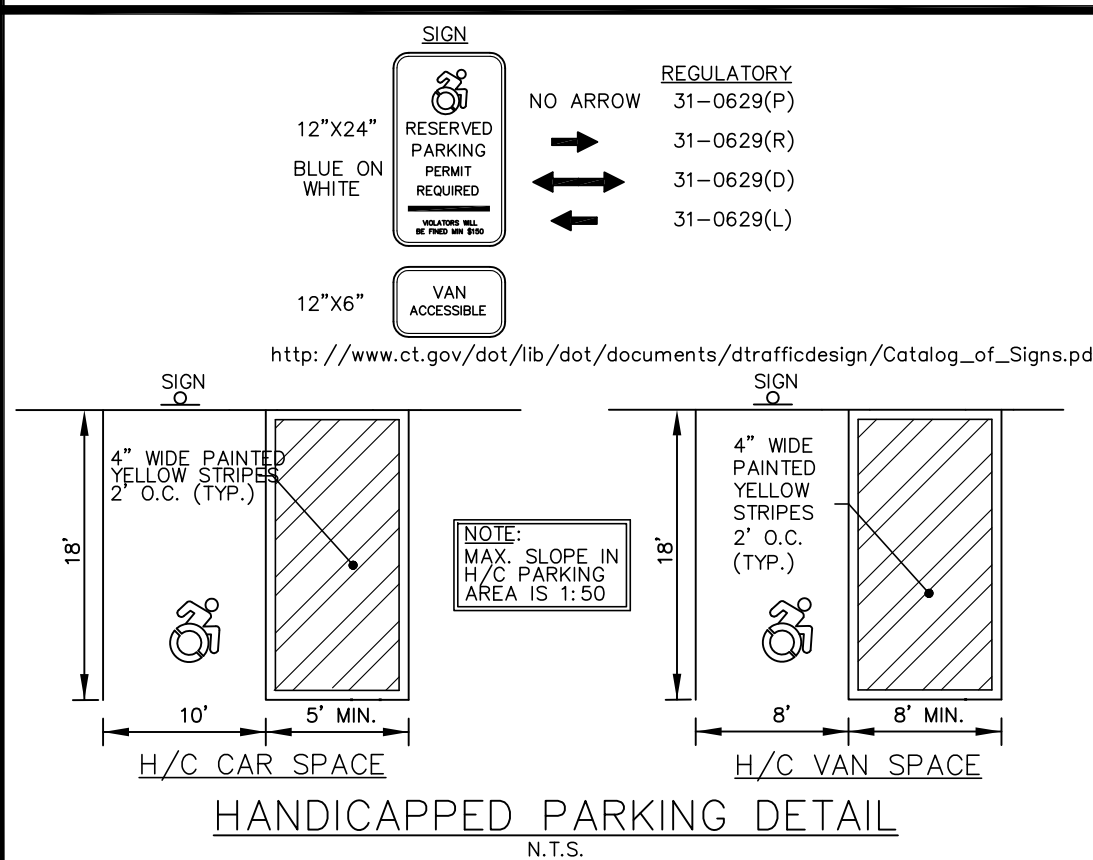
* VOLUME BASED ON "D" AND WALL THICKNESS AT G OF PIPE HAS BEEN DEDUCTED

ENDWALL DIMENSIONS						
D	S	H	B	VOL.		
INS	TRANS	TRANS	TRANS	TRANS	TRANS	CU
12"	1'-2"	4'-6"	4'-6"	2'-0"	11.0	
15"	1'-5"	4'-9"	5'-6"	2'-0"	1.45	
18"	1'-8"	5'-0"	6'-0"	2'-0"	1.83	
24"	2'-2"	5'-6"	6'-6"	2'-0"	2.72	
30"	2'-8"	6'-0"	10'-6"	2'-0"	3.79	
36"	3'-0"	6'-6"	12'-6"	2'-8"	5.45	
42"	3'-6"	7'-0"	14'-6"	3'-0"	7.50	
48"	4'-2"	7'-6"	14'-6"	3'-11"	8.00*	

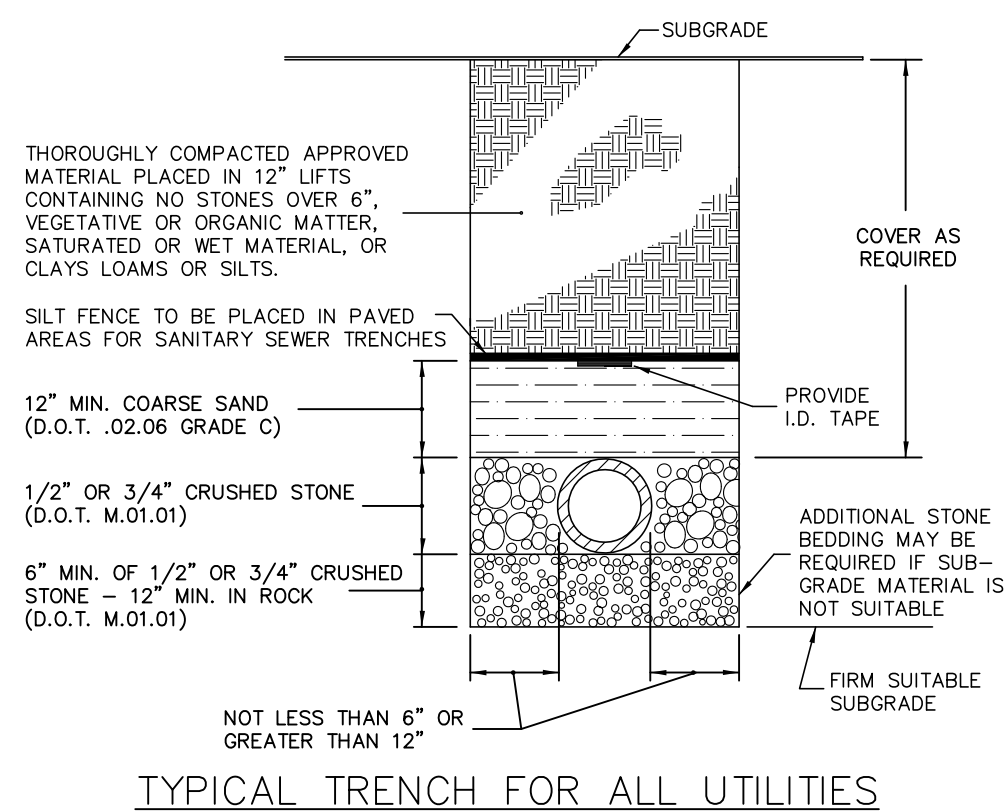


PATTERN NUMBER	DIMENSIONS IN INCHES			PIPE SIZE
	A	B	C	
2560	9 1/2	16	4 3/4	6
2561	11 1/2	20 1/2	5 1/2	8
2562	13 1/4	23 1/2	6 1/2	10
2563	15 3/4	26	7 1/2	12
2564	18	27	9	15
2565	20	27	10	18
2566	25 1/4	30	11 1/4	21

PATTERN NUMBER	DIMENSIONS IN INCHES						PIPE SIZE
	A	B	C	D	E		
2560 210	13	22	8	3 1/2	9 1/2		6
2561 210	13	22	10	3 1/2	8 1/2		8
2562 210	15	23	12 1/2	3 1/2	7 1/4		10
2563 210	22	33	15	6	9		12
2564 210	23	35	19 3/4	5 1/2	9 1/4		15
2565 210	25 1/4	35 3/4	21	5	8 1/2		18
2566 210	30 1/2	42 1/4	24	6	10		21



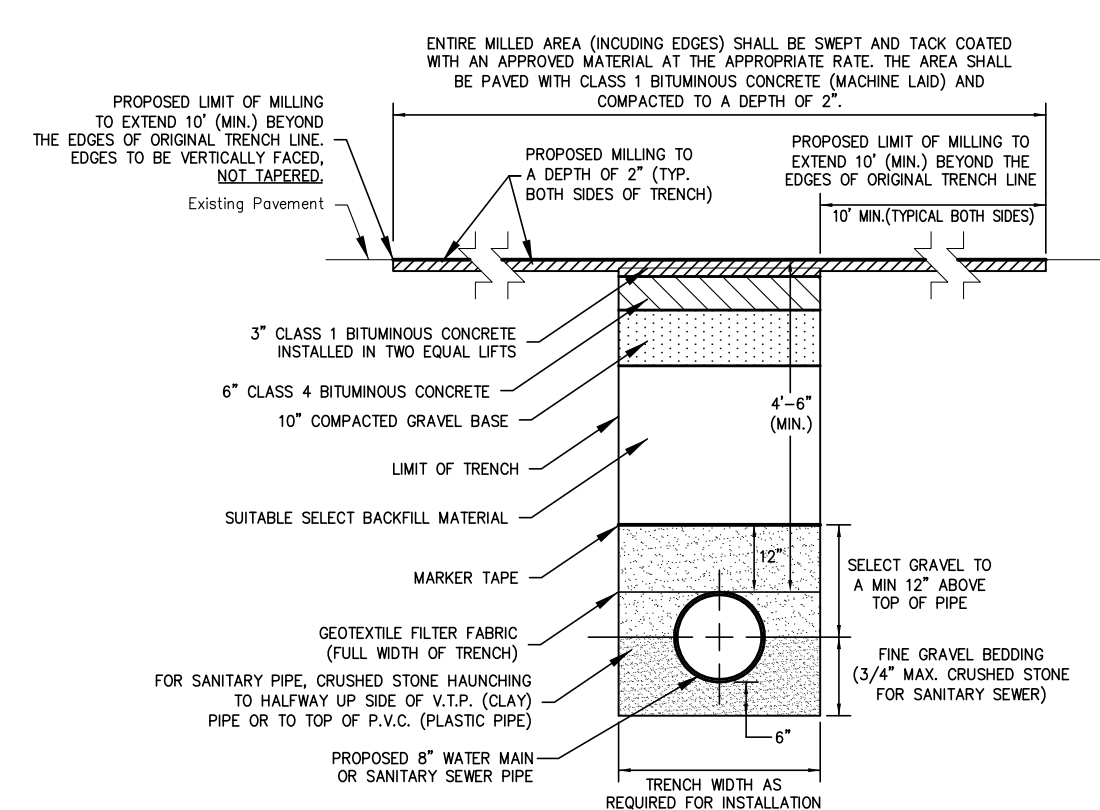
*ALL CATCH BASINS SHALL BE TO D.O.T. STANDARD PER FORM 816 (AS AMENDED). NO UNNECESSARY KNOCKOUTS WILL BE ALLOWED. * PROPOSED CATCH BASIN #1 AND #5 TO HAVE A 4' SUMP



TYPICAL TRENCH FOR ALL UTILITIES

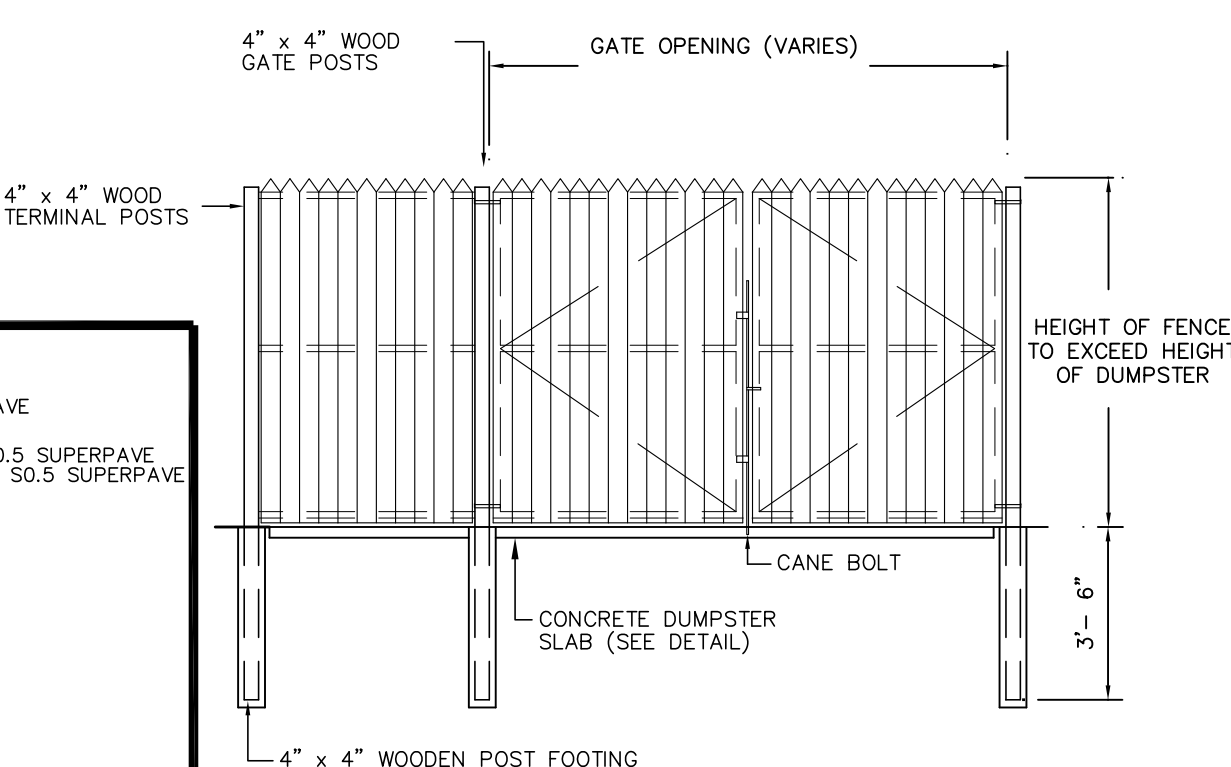
CLASS I: ANGULAR CRUSHED STONE OR ROCK, DENSE OR OPEN-GRADED, WITH LITTLE OR NO FINES (1/4" MAX. SIZE).
CLASS II: CLEAN, COARSE-GRAINED MATERIALS, SUCH AS GRAVEL, COARSE SANDS, AND GRAVEL/SAND MIXTURES (1 1/2" IN SIZE).
CLASS III: COARSE-GRAINED MATERIALS WITH FINES INCLUDING SILTY OR CLAYEY GRAVEL OR SANDS. GRAVEL OR SAND MUST COMPRISE MORE THAN 50% OF CLASS III MATERIALS (1 1/2" MAX. SIZE).
CLASS IV: FINE-GRAINED MATERIALS, SUCH AS FINE SAND AND SILTS, CONTAINING 50% OR MORE CLAY OR SILT. SOILS CLASSIFIED AS CLASS IVa (ML OR CL) HAVE MEDIMUM TO LOW PLASTICITY AND ARE NOT RECOMMENDED IN THE EMBEDMENT ZONE. SOILS CLASSIFIED AS CLASS IVb (MH OR CH) HAVE HIGH PLASTICITY AND ARE NOT RECOMMENDED FOR EMBEDMENT MATERIALS.

(SEE ASTM D-2321 FOR COMPLETE REFERENCE)

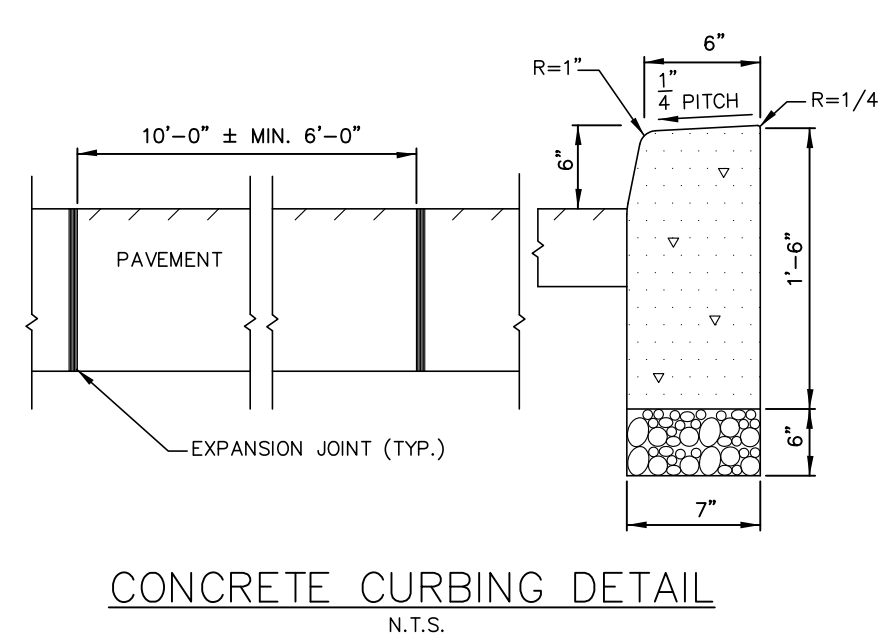


(SEE D.O.T. FORM 816 AS AMENDED)
PERMANENT TRENCH PAVEMENT REPLACEMENT DETAIL
(FOR STATE ROADWAYS)

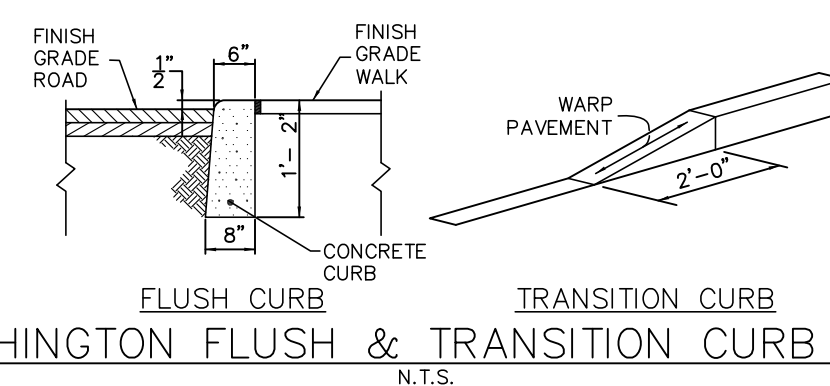
- NOTES:
- 1.) ALL EDGES MUST BE TACK COATED WITH THE SURFACE JOINTS SEALED
 - 2.) CRUSHED STONE SHALL BE ENTIRELY WRAPPED IN FABRIC IN TRAVELED WAYS OR AS DIRECTED BY THE W.P.C.A.
 - 3.) SEWER TRENCH WIDTH = I.D. PIPE + 2'



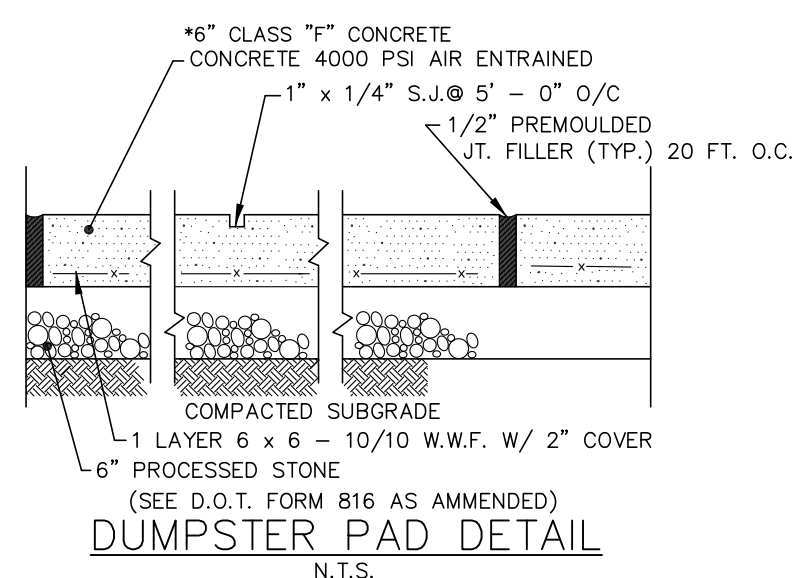
DUMPTER ENCLOSURE DETAIL



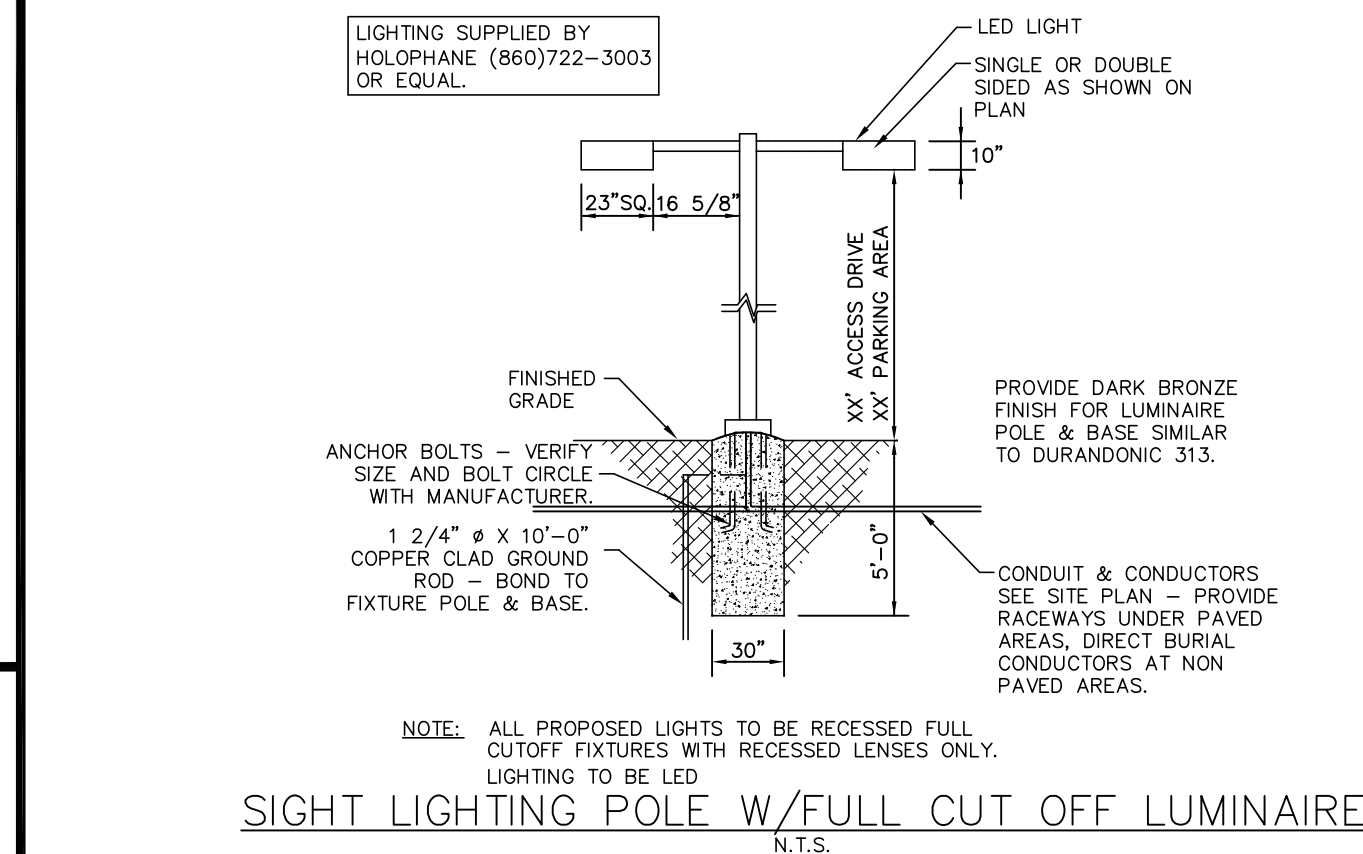
CONCRETE CURBING DETAIL



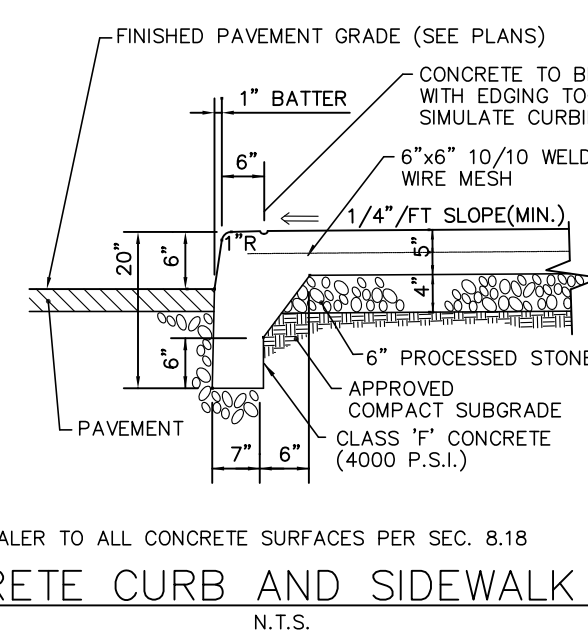
SOUTHINGTON FLUSH & TRANSITION CURB DETAIL



DUMPSTER PAD DETAIL



SIGHT LIGHTING POLE W/FULL CUT OFF LUMINAIRE




CONCRETE CURB AND SIDEWALK DETAIL

REVISION:		
REVISION:		
REVISION:		
REVISION-3:		
REVISION-2:		
REVISION-1: 4/6/23 - ENGINEERING COMMENT:		
PROJECT: 221122		
DB:	SR:	DR:
MPT	SEE SEE SEE	SEE SEE SEE

NOT ALL DETAILS ON THIS
PLAN MAY BE APPLICABLE

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert,  KJA
jones &
associates, inc.



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EMAIL: INFO@KRATZERTJONES.COM

SITE DETAILS

for

THE PYLE
CORPORATION

87, 149, & 185 AIRCRAFT RD.
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: AS NOTED
DATE: NOVEMBER 10, 2022

KJA FILE NO. :	DRAWING NO.
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221-122	D-1
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\\21\221122-GEIS\dwg\DETAILS.dwg
 WOUT: 0-1 DATE: Jun 14 2021 10:40am

CONSTRUCTION ENTRANCE DETAIL
N.T.S.

A cross-sectional diagram of a three-layer rip-rap filter system. The layers are labeled 1, 2, and 3 from top to bottom. Layer 1 is the top layer, labeled "1\" CLEAN ANGULAR STONE - 12\" THICKNESS". Layer 2 is the middle layer, labeled "INTERMEDIATE RIP RAP (EXTEND TO 12\" BELOW OUTLET GRADE)". Layer 3 is the bottom layer, labeled "FILTER FABRIC". The diagram shows a "FLOW DIRECTION" arrow pointing to the right. A dimension of "24\"" is shown for the top layer. The filter fabric is shown as a horizontal line at the bottom of the rip-rap layers.

A cross-sectional diagram of a hay bale fence barrier. The barrier is composed of several rectangular hay bales stacked horizontally. Above the barrier is a large, irregular shape labeled "STOCKPILED MATERIAL". To the left of the barrier, a vertical line with arrows at both ends is labeled "10' ±". Below the barrier is another large, irregular shape labeled "STOCKPILED MATERIAL". To the right of the barrier, there is a layer labeled "SEED WITH RYE GRASS AND MULCH" and a line labeled "EXISTING GRADE".

The plan view shows a rectangular spillway structure with flow indicated by arrows labeled 'FLOW' entering from the top. The structure is labeled 'SPILLWAY' and has a 'CHANNEL BANK' on the left side. The spillway is divided into sections, with 'POINT 1' and 'POINT 2' marked on the right side. A 'DRIVE STAKE' is shown at the bottom left, with dimensions '15" x 4" (0.5 x 0.6m)'. The view is labeled 'VIEW LOOKING UPSTREAM'.

Diagram illustrating the dewatering process using a bag. The bag is shown with arrows indicating the flow of material into it and the removal of liquid (effluent) from the bag walls. Labels include "Solid" and "Water" for input, and "Effluent" and "Water" for output.

WELL GRADED GRANULAR BACKFILL WHICH CONTAINS AN EVEN DISTRIBUTION OF PARTICLE SIZES WITH NO MORE THAN 12% PASSING THE #200 SIEVE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM.

SC-740 END CAP

SC-740 CHAMBER

1 - 2-INCH WASHED, CRUSHED, ANGULAR STONE

AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE

PAVEMENT

FOR UNPAVED INSTALLATION WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24 INCHES

18" MIN.

96" MAX.

6" MIN.

30"

6" STONE MIN.

51"

12" MIN. TYP.

MIN.

INLET PIPE
(24" MAX.)

STORMTECH SC-740 CHAMBER SYSTEM
PLAN VIEW DETAIL
NOT TO SCALE

PAVEMENT

16" (450 mm) MIN WIDTH

CONCRETE COLLAR

12" (300 mm) NYLOPLAST IN LINE DRAIN BODY W/SOLID HINGED COVER OR GRATE
PART # 2712AG10N
SOLID COVER: 1299CGC
GRATE: 1299CGS

CONCRETE SLAB
8" (200 mm) MIN THICKNESS

FLEXSTORM CATCH IT
PART # 621NFX
(WITH USE OF OPEN GRATE)

10" (250 mm) ADS N-12 HOPE PIPE

10" (250 mm) INSERTA TEE
INSERTA TEE TO BE CENTERED
ON CORRUGATION CREST

CHAMBER

The image contains two technical drawings of a salt shed structure.

ELEVATION: This drawing shows the side profile of the shed. It features a semi-circular metal siding roof supported by concrete waste blocks. The total height is 18'-0", with the roof height being 10'-0" and the block height being 8'-0". The drawing is labeled "ELEVATION" and "SCALE: 1/8" = 1'-0" with a north arrow pointing right.

PLAN VIEW: This drawing shows the top-down view of the shed. It is a rectangular structure with a pre-engineered arched metal roof. The overall dimensions are 20'-5" wide by 26'-5" deep. The drawing is labeled "PLAN VIEW" and "SCALE: 1/8" = 1'-0" with a north arrow pointing up.

DETAILS: The drawings include several callouts: "METAL SIDING" for the roof, "CONCRETE WASTE BLOCKS" for the supports, "2'X2'X4' CONCRETE WASTE BLOCKS" for the interior floor supports, and "PRE-ENGINEERED ARCHED METAL ROOF STRUCTURE. SEE SHOP DRAWINGS FOR CONNECTIONS AND DETAILS." for the roof structure.


MANUFACTURER INFORMATION: The bottom right corner contains the A.Dulestyle logo, the text "SALT SHED", and a table with the following information:

DIV:	13 34 23	13-01.2
SCALE:	1/8" = 1'-0"	
DATE:	2013-09-23	

The bottom left corner contains the text: "13 STANDARDS LIBRARY JOB SPECIFIC STANDARDS A.DULESTYLE STANDARD DETAILS 13-01.2 SALT SHED Aug 06/23/2019 Rev: 11-18".

Diagram illustrating the installation of the FILTREXx™ 200mm (8") FILTERSOCK™ TYPE 1:

- MAN HOLE:** The sock is placed over the manhole opening.
- EXCESS SOCK MATERIAL TO BE DRAWN IN AND TIED OFF TO STAKE AT BOTH ENDS.** The excess material is secured at the top of the manhole.
- CURB:** The sock is secured to the curb.
- CB:** The sock is secured to the concrete base (CB).
- SOCKS TO BE SECURED TOGETHER AT CORNERS WITH HOG RINGS OR WIRE.** The corners of the sock are secured together.
- SOCK TO BE CLOSED AND SECURED WITH HOG RING** (Label on the left side of the diagram).
- FILTREXx™ 200mm (8") FILTERSOCK™ TYPE 1** (Label at the bottom right).



SECURED WITH RING RINGS.

SILT SOXX CATCH BASIN
APPLICATION DETAIL
 NTS

SILT SOXX MANHOLE
APPLICATION DETAIL

NTS

EXCESS SOCK MATERIAL TO BE DRAWN IN AND TIED OFF TO STAKE AT BOTH ENDS.

CURB

SECURE SOCKS TO GRATE WITH RUBBER TIE-DOWNS.

CATCH BASIN

NOTES:

1. ALL MATERIAL TO MEET FILTREXX™ SPECIFICATIONS.
2. SECURE FILTERSOCK TO GROUND AT EACH END.

SOCK OPTION:

FILTREXX™ FILTER SOCK, SIZED TO SUIT CONDITIONS.
12" TO 18" TYPICAL.

WATER FLOW

FILTER COMPOST MATERIAL AS PER SPECIFICATIONS.

NOTE: 1. MULCH LOG SPECIFIED AS FILTEREX SILT SOXX. CONTRACTOR MAY SUBSTITUTE WITH APPROVED EQUAL.

SILT SOXX DETAIL
NTS

EROSION CONTROL MULCH LOG DETAILS
NTS

A perspective diagram of a rectangular sedimentation barrier. The structure is composed of hay bales forming the walls and a central area. A stone berm runs along the inner edge of the hay bales. A catch basin is located at the bottom center. The structure is anchored with stakes.

HAY BALES FOR CATCH BASINS ON EARTH

BALED HAY

1' HIGH/1" WIDE
1/2" STONE BERM
AROUND HAYBALES
(OR USE EROSION CONTROL
MULCH LOG TO REPLACE
HAY BALES & STONE BERM)

CATCH BASIN

ANCHOR WITH (2)-(2"x2"x3") STAKES

SEDIMENTATION BARRIER INSTALLATION

N.T.S.

The diagram illustrates the installation of a sedimentation barrier using hay bales. It shows a cross-section of the ground with a line of hay bales placed on top. The bales are secured by a chain with loose straw. A 4-inch entrenchment is shown at the base of the bales. The diagram is labeled with the following text:

- DRAINAGEWAY INSTALLATION
- BALED HAY
- GROUND
- 4" ENTRENCHMENT
- (2)-2"x2"x3" STAKES EACH BALE
- CHAIN WITH LOOSE STRAW (TYP.)

SEDIMENTATION BARRIER INSTALLATION
HAY BALE INSTALLATION
N.T.S.

BALED HAY

EMBANKMENT SLOPE

4" ENTRENCHMENT

OVERLAP EDGES

2"x2"x3' STAKES EACH BALE

EXISTING GROUND

EMBANKMENT SLOPE

6'-0"

GROUND

4" ENTRENCHMENT

This diagram illustrates the 'BALED HAY' method for erosion control. It shows two cross-sectional views of an embankment slope. The left view shows a hay bale being secured with '2"x2"x3' STAKES' into a '4" ENTRENCHMENT' cut into the 'EMBANKMENT SLOPE'. The 'EXISTING GROUND' is indicated by a dashed line. The right view shows a completed section with a '6'-0"' wide area of hay bales on the slope, secured by '4" ENTRENCHMENT' cuts. The top of the slope is labeled 'EMBANKMENT SLOPE' and the base is 'GROUND'.

SEDIMENTATION BARRIER INSTALLATION
HAY BALE INSTALLATION
N.T.S.

BALED HAY

A cross-sectional diagram showing a row of hay bales placed on a ground surface. The bales are represented by a series of vertical rectangles. Below the bales, a horizontal line is labeled 'GROUND'. Two lines point from the text '(2)-2"x2"x3" STAKES EACH BALE' to the bales. Another line points from the text '4" ENTRENCHMENT' to the ground surface in front of the bales.

(2)-2"x2"x3" STAKES EACH BALE
4" ENTRENCHMENT

SEDIMENTATION BARRIER INSTALLATION
HAY BALE INSTALLATION
GENERAL INSTALLATION
N.T.S.

WELL GRADED GRANULAR BACKFILL WHICH CONTAIN AN EVEN DISTRIBUTION OF PARTICLE SIZES WITH NO MORE THAN 12% PASSING THE #200 SIEVE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM.

PAVEMENT

AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE

FOR UNPAVED INSTALLATION WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24 INCHES

18" MIN. 96" MAX.

6" MIN.

30"

6" STONE MIN.

INLET FROM ROOF DRAINAGE (OVERFLOW TO BE AT BUILDING)

SC-740 CHAMBER

SC-740 END CAP

1 - 2-INCH WASHED, CRUSHED, ANGULAR STONE. DEPTH OF STONE TO BE DETERMINED BY DESIGN ENGINEER*

DESIGN ENGINEER IS RESPONSIBLE FOR ENSURING THE SUITABILITY OF SUBGRADE SOILS*

OVERFLOW

6" SCH. 40 PVC PIPE

12" CLEANOUT TO GRADE

12" CLEANOUT TO GRADE

STORMTECH SC-310 CHAMBER OR APPROVED EQUAL

TRENCH LENGTH PER DESIGN

DOWNSPOUT DRAINAGE

NOT TO SCALE

STORMTECH SC-740 CHAMBER SYSTEM CATCH BASIN DETAIL

NOT TO SCALE

*SEE STORMTECH'S DESIGN MANUAL

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE.

ISOMETRIC VIEW

TYPICAL SLOPE SOIL STABILIZATION

NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
4. USE NORTH AMERICAN GRADE TYPE S160 STRAW FIBROUS CONTROL BLANKETS (OR APPROVED EQUAL).

SOME SPECIFIC INSTALLATIONS DETAILS MAY VARY PER PRODUCT. SEE MANUFACTURER'S DETAILS BEFORE BEGINNING INSTALLATION.

EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION


REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION:		
REVISION:		
REVISION:		
REVISION:		
REVISION-2:		
REVISION-1:		
PROJECT: 221122		
DB:	SR:	DR:
MPT	---	---

NOT ALL DETAILS ON THIS
PLAN MAY BE APPLICABLE

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert,  KJA
jones &
associates, inc.



CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

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SITE DETAILS

for

THE PYLE
CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: AS NOTED
DATE: NOVEMBER 10, 2022

HALF	ONE INCH	TWO INCH
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INCHES ON ORIGINAL

AGE
Apr[illegible]

KJA FILE NO. : DRAWING NO. :

221-122 D-2

