

LOCAL UTILITY PROVIDERS

1.

SOUTHINGTON WATER DEPT.
WEST QUEEN STREET, P.O. BOX 111
SOUTHINGTON, CT. 06489-0111
(860) 628-5593
(860) 621-0491
2.

SOUTHINGTON/PLAINVILLE HEALTH DEPT.
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
(860) 276-6275
(860) 276-6277
3.

EVERSOURCE ELECTRIC
(203) 352-5412
4.

EVERSOURCE GAS
(203) 596-3071
5.

SOUTHERN NEW ENGLAND TELEPHONE
(860) 725-1010
(860) 549-1100
6.

SOUTHINGTON FIRE DEPARTMENT
310 NORTH MAIN STREET
SOUTHINGTON, CT 06489
(860) 621-3202
(860) 628-4049
7.

SOUTHINGTON HIGHWAY DEPT.
DELLABITTA DRIVE
SOUTHINGTON, CT. 06489
(860) 276-9430
(860) 276-9101
8.

TOWN ENGINEER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6231
FAX: (860) 628-8669
9.

TOWN PLANNER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6248
FAX: (860) 628-8669
10.

TOWN BUILDING DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6242
FAX: (860) 628-8669
11.

TOWN SEWER DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6233
FAX: (860) 628-8669
12.

POLICE DEPARTMENT
69 LAZY LANE
SOUTHINGTON, CT 06489
PHONE: (860) 621-0103

STATE INFORMATION

1.

CONNECTICUT HIGHWAY DEPT.
OFFICE OF SPECIAL SERVICES & PERMITS
1107 CROMWELL AVENUE
ROCKY HILL, CT 06067
(860) 258-4541
2.

STATE D.E.P.
79 ELM STREET
HARTFORD, CT 06106
(860) 424-3245

MISCELLANEOUS

1.

CALL BEFORE YOU DIG
(800) 922-4455

SITE PLANS PREPARED FOR

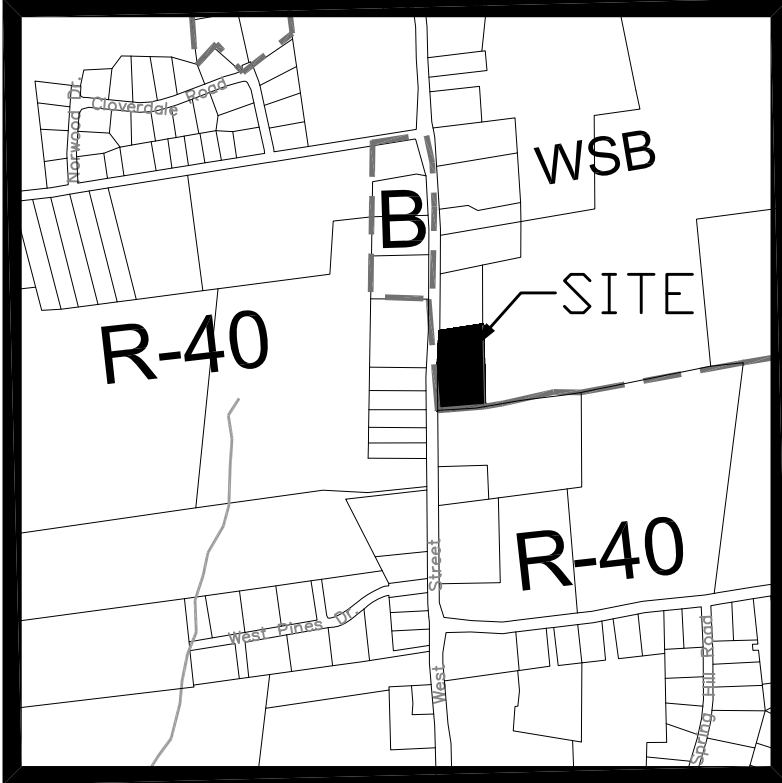
CAVA RESTAURANT

OWNER: ELENI REAL ESTATE LLC



LIST OF DRAWINGS

C-1	- COVER SHEET	N.T.S.
B-1	- EXISTING CONDITIONS MAP	20 SCALE
L-1	- LAYOUT & LANDSCAPING PLAN	20 SCALE
G-1	- GRADING & EROSION CONTROL PLAN	20 SCALE
D-1	- STANDARD SITE DETAILS	N.T.S.
D-2	- EROSION & SEDIMENTATION CONTROL DETAILS	N.T.S.



KEY MAP SCALE: 1"=1000'

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.
1755 MERIDEN-WATERBURY RD.
P.O. BOX 337
MILDDALE, CT 06467
TEL. (860) 621-3638
FAX (860) 621-9609
EMAIL: info@kratzertjones.com
www.kratzertjones.com

kratzert, jones & associates, inc.
CIVIL ENGINEERS • LAND SURVEYORS • SITE PLANNERS
BUILDING ENGINEERS

Disclaimer:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-4:
REVISION-3:
REVISION: 3/14/23 - BUILDING
REVISION: 1/8/21 - TOWN COMMENTS
PROJECT:
DB: MPT SR: --- DR: ---

kratzert, jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILDDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

COVER SHEET

for

ELENI REAL ESTATE LLC

#1615 WEST STREET
SOUTHINGTON, CT

SCALE: N.T.S.
DATE: MARCH 19, 2020

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO. : DRAWING NO. :

43-45

C-1

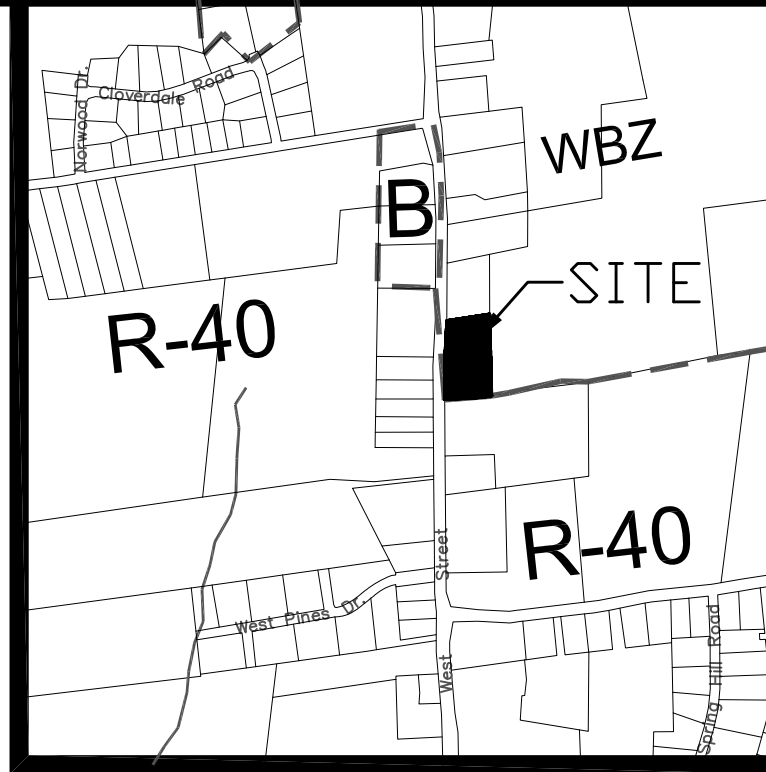
MAXIMUM SHEET SIZE: 24" x 36" (610mm x 914mm) DATE: MAR 20, 2023 4:22pm

NOTES:

1. PARCEL OWNER: ELENi REAL ESTATE LLC
2. AREA: SEE MAP
3. ADDRESS: #1615 WEST STREET
4. ZONE: WSB (SEE ZONING TABLE)
5. SITE IS SERVICED BY PUBLIC WATER & PUBLIC SEWER.
6. CONTOUR INTERVAL = 1'
7. ELEVATIONS BASED ON MAP REFERENCE #3
8. TOPOGRAPHY IS FROM FIELD SURVEY.
9. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

ZONING TABLE		
ZONE	WSB	REQUIRED
LOT AREA	2.5 ACRES	
LOT COVERAGE	40%	
FRONT YARD SETBACK	75'	
SIDE YARD SETBACK	25'	
REAR YARD SETBACK	10'	
LOT FRONTAGE	400'	

Utilities Disclaimer:
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KEY MAP SCALE: 1"=1000'

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LANDSCAPING CHART

STREET TREES
STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.

4-07 STREET TREES
THE DEVELOPER SHALL LEAVE NOT LESS THAN TWO NATURALLY GROWING TREES HAVING 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT OR SHALL PLANT ONE TREE FOR EVERY 50 FEET OF LOT FRONTAGE OR FRACTION THEREOF, BUT NO LESS THAN TWO TREES FROM THE SUGGESTED STREET TREE LIST WITH 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT. THESE SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE STREET LINE TO A MAXIMUM OF 30 FEET FROM THE STREET LINE. STRAIGHT ROWS AND THE USE OF ONLY ONE VARIETY ARE TO BE AVOIDED, THE INTENT BEING TO CREATE A NATURAL MIXTURE OF APPROPRIATE SPECIES.

SUGGESTED STREET TREE LIST

ACER SACHARUM
CERDOPHYLLUM
QUERCUS BLUCA MALE
GLADISIA TR. NERUM THORNLESS
LIQUIDAMBAR STYACIOLIA
*RHODODENDRON TULIPIFERA
*LANTANUS ACERIFOLIA
*PRUNUS SARGENTII
*PYRUS C. BRADFORD
*PYRUS CALLERYANA
QUERCUS BUREAU
QUERCUS PALUSTRIS
TILIA CORDATA
TILIA TOMENTOSA
ZELKOVA SERRATA
FRAXINUS PEN. LANCEOLATA
*CONSPICUOUS FLOWERING

SUGAR MAPLE
JAPONICUM KATSURA TREE
MALE ORN
HONEYLOCUST
SWEETGUM
LONDON PLANE
SARGENT CHERRY
BRADFORD PEAR
CHANTICLEER PEAR
RED OAK
PIN OAK
LITTLE LEAF LINDEN
SILVER LINDEN
JAPANESE ELM
SEEDLESS GREEN ASH

LANDSCAPE NOTES

- ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
- SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT, THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
- INSTALL SHROUDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
- BAKE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNER.
- ALL PLANTINGS INCLUDING SEED MIXES SHALL BE NATIVE.

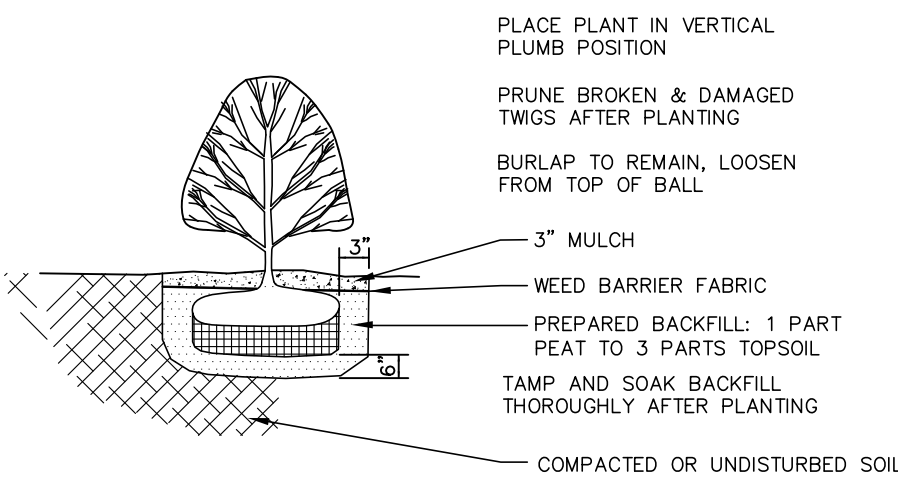
N/F
THE FRAGOLA COMPANY LLC

SLOPE RIGHTS
(VOL. 1480, PG. 750)

20' DRAINAGE EASEMENT IN
FAVOR OF #1615 WEST STREET
(VOL. 1480, PG. 750)

SHRUB PLANTING

N.T.S.



PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
	3	MOUNTAIN LAUREL	15"-18"
	3	RHODODENDRON	3 GALLON
	5	KNOCK OUT ROSES	18"-24"
	3	BLUE SARGENT'S JUNIPER	15"-18"
	3	PURPLE CONE FLOWER	18"-24"

NOTES:

- PARCEL OWNER: ELEN REAL ESTATE LLC
- AREA: SEE MAP
- ADDRESS: #1615 WEST STREET
- ZONE: WBZ (SEE ZONING TABLE)
- SITE IS SERVICED BY PUBLIC WATER & PUBLIC SEWER.
- THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

OPEN SPACE

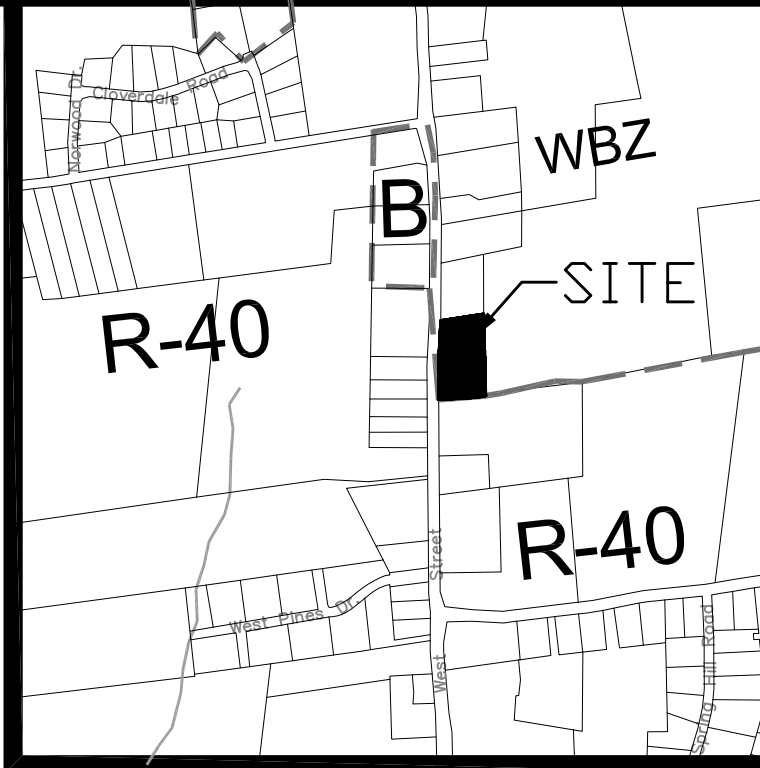
12-02.05: ALL PARKING LOTS SHALL CONTAIN LANDSCAPED AREA IN THE RATIO OF NOT LESS THAN 20 SQUARE FEET FOR EACH PARKING SPACE.

NUMBER OF PARKING SPACES = 72
REQUIRED LANDSCAPED AREA = 1,440 S.F.
LANDSCAPED AREA ON SITE = 1,770 S.F.

ZONING TABLE

ZONE -	WSB	REQUIRED	PROPOSED
LOT AREA		2.5 ACRES	2.13 ACRES
LOT COVERAGE		40%	9.4%
FRONT YARD SETBACK		75'	34.6"
SIDE YARD SETBACK		25'	59.2"
REAR YARD SETBACK		10'	83.4'
LOT FRONTAGE		400'	407.96'
* EXISTING NON-CONFORMITY			

Utilities Disclaimer:
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KEY MAP SCALE: 1"=1000'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION:

REVISION:

REVISION: 3/14/23 - REVISIONS

REVISION:

REVISION: 1/8/21 - TOWN COMMENTS

REVISION:

REVISION: 8/28/20 TOWN COMMENTS

PROJECT:

207105

DB:

SR:

DR:

MPT

SZ/DH

SB

James N. Sokonchick
CT P.E. & L.S. #11302

kratzert, jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609

EMAIL: INFO@KRATZERTJONES.COM

LAYOUT &
LANDSCAPING PLAN

FOR

ELENI REAL
ESTATE LLC

#1615 WEST STREET
SOUTHINGTON, CT

SCALE: 1"=20'

DATE: MARCH 19, 2020

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.:

DRAWING NO.:

43-45

L-1

W:\PROJECTS\1615 WEST STREET\1615 WEST STREET.dwg DATE: MAR 20, 2023 BY: JN

MAP REFERENCES:

- "SITE PLAN FOR ALESSANDRO'S RESTAURANT; #1615 WEST ST. SOUTHINGTON, CT"; SCALE: 1"=20'; DATE: MARCH 13, 1984, LAST REVISED MAY 20, 2003; BY KRATZERT & JONES; KJA MAP NO. 43-45.
- "WEST STREET SANITARY SEWER PROJECT PLAN & PROFILE; WEST STREET SOUTHINGTON, CONNECTICUT"; DATE: DEC. 2005, LAST REVISED 6-01-06; SCALE: HORIZ. 1"=40', VERT. 1"=4'; BY TOWN OF SOUTHINGTON ENGINEERING DEPARTMENT & CONKLIN & SOROKA, INC.; SHEET 3 OF 5.
- "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP: TOWN OF SOUTHINGTON WEST STREET AND MIDDLE STREET FROM THE YANKEE EXPRESSWAY NORTHERLY TO THE BRISTOL TOWN LINE"; DATE: MAY 14, 1991; SCALE: 1"=40'; NUMBER: 131-19; SHEET NO.: 3 OF 5; PREPARED BY JOHN D. CONKLIN.
- "LOT LINE REVISION MAP FOR SEPKO FARM LLC & ELENI REAL ESTATE LLC #1601, #1615 & #1671 WEST STREET SOUTHINGTON, CT"; DATE: FEBRUARY 13, 2020; REVISED TO: 1-29-08; SCALE: 1"=100'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- "SITE PLAN FOR ELENI & STAVROS PAPAHRISTOU #1615 WEST STREET SOUTHINGTON, CT"; DATE: AUGUST 9, 2007; SCALE: 1"=20'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- SITE PLAN FOR ELENI REAL ESTATE LLC, CAVA RESTAURANT; #1671 WEST STREET SOUTHINGTON, CT; SCALE: 1"=20'; DATE: JUNE 13, 2018; BY KRATZERT, JONES & ASSOCIATES, INC.; KJA MAP 206-315 SHEET B-1.

FUTURE 60'x20' ACCESS EASEMENT
IN FAVOR OF N/F CENTRAL
BAPTIST CHURCH

LEGEND

	PROPERTY LINE		EX. STORM DRAINAGE
	IP TO BE SET		PROP. STORM DRAINAGE
	EXISTING IRON PIN		EX. CONTOURS
	EXISTING MONUMENT		PROP. CONTOURS
	EXIST. EDGE OF ROAD		SILT FENCE
	EXISTING EDGE OF CURB		EX. CATCH BASIN
	PROPOSED EDGE OF CURB		STORM DRAINAGE MANHOLE
	PROPOSED DRIVEWAY		SANITARY SEWER MANHOLE
	GAS SERVICE		UTILITY POLE
	SEWER SERVICE		WATER GATE
	WATER SERVICE		HYDRANT
	ELECTRIC SERVICE		LIGHT POLE
	EXISTING GAS VALVE		DUMPSTER

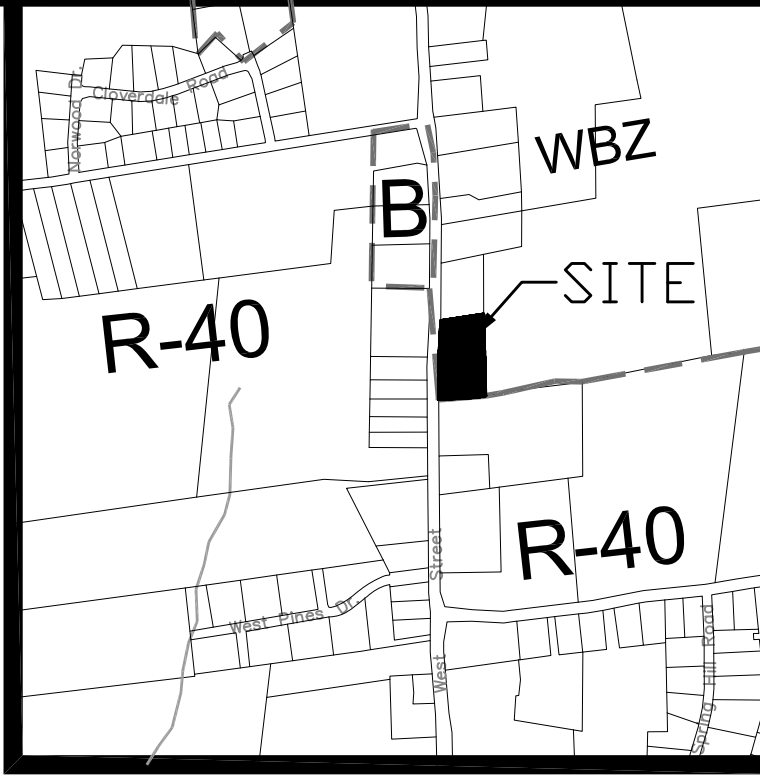
STANDARD SITE PLAN NOTES:

1. PARCEL OWNER: ELEN REAL ESTATE LLC
ADDRESS: #1615 WEST STREET
2. CONTOUR INTERVAL = 1'
3. ELEVATIONS BASED ON MAP REFERENCE #3
4. TOPOGRAPHY IS FROM FIELD SURVEY.
5. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
6. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
7. LOT AREA = SEE MAP
8. PROPERTY IS LOCATED IN ZONE WSB (SEE ZONING TABLE)
9. ALL CONSTRUCTION SHALL CONFORM TO CONN. DOT 818.
10. SEE ZONING TABLE FOR PARKING REQUIREMENTS.
11. LOT COVERAGE = 9.4% (ALLOWED = 40%)
12. PRESENT LAND USE: RESTAURANT
PROPOSED LAND USE: RESTAURANT
13. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT 276-6248 AND 276-6231, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
14. ALL WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
15. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE WORK IS COMPLETED, OR WHEN SPECIFICALLY APPROVED BY THE PLANNING AND ZONING COMMISSION.
16. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS IF ANY.
17. GROUNDWATER ZONE GA
18. ALL PROPOSED LIGHTS TO BE RECESSED FULL CUTOFF FIXTURES WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
BUILDING LIGHTS TO BE DIRECTED TOWARDS THE GROUND AND ALL FLOOD LAMPS TO BE FULL CUTOFF WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
20. PROPOSED BUILDING FOOTPRINT = 3,104 S.F.
TOTAL EXISTING BUILDING FOOTPRINTS = 5,604 S.F.
TOTAL BUILDING FOOTPRINTS = 8,708 S.F.
21. STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.
22. WHENEVER CONCRETE SIDEWALKS ADJUT ASPHALT, A CONCRETE CURB IS REQUIRED.
23. WATER SERVICE SIZING TO BE DETERMINED BY THE SOUTHTONING WATER DEPARTMENT UPON RECEIPT OF ALL PERTINENT WATER UTILITY DATA.
24. PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
25. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO BE REPAIRED TO TOWN STANDARDS.
26. NO FLOOR DRAINS ARE PROPOSED.
27. ALL DEWATERING SHALL INCORPORATE THE USE OF FILTER BAGS ON DISCHARGE ENDS
28. RETAINING WALLS (IF NECESSARY) TO BE DESIGNED BY A CT PE. A BUILDING PERMIT IS REQUIRED FOR THE WALLS.
29. PROVIDE GUIDE RAIL AT RETAINING WALL IF NECESSARY.
30. A CONDITION OF THE APPROVAL IS FINAL APPROVAL OF CT DOT FOR THE ENCROACHMENT PERMIT.

Utilities Disclaimer:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

MAINTENANCE SCHEDULE FOR STORMWATER BASINS

ACTIVITY	SCHEDULE
INSPECT WETLAND COMPONENTS FOR INVASIVE VEGETATION	SEMI-ANNUALLY
INSPECT FOR DAMAGE	ANNUALLY
NOTE SIGNS OF HYDROCARBON BUILD-UP, AND REMOVE IF DETECTED	ANNUALLY
MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY	ANNUALLY
EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL	ANNUALLY
REPAIR UNDERCUT OR ERODED AREAS	AS-NEEDED
CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES	MONTHLY
MOW SIDE SLOPES, HIGH GRASS ALONG POND EDGE WILL DISCOURAGE WATERFOWL FROM TAKING UP RESIDENCE AND SERVE TO FILTER POLLUTANTS	MONTHLY
WETLAND PLANT MANAGEMENT AND HARVESTING	ANNUALLY (IF NEEDED)
DRAIN POND IN FALL AND LET FROST KILL PLANTS, THEN DREDGE IN SPRING	ANNUALLY (IF NEEDED)
REMOVAL OF SEDIMENT FROM FOREBAY	5-YEAR MAINTENANCE
REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BEEN REDUCED SIGNIFICANTLY, OR WHEN SIGNIFICANT ALGAL GROWTH IS OBSERVED	10-YEAR MAINTENANCE (MORE FREQUENT DREDGING IN DEVELOPING WATERSHEDS WITH SIGNIFICANT SEDIMENT LOADS)



KEY MAP SCALE: 1"=1000'

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REVISION:	
REVISION: 3/14/23 - REVISIONS	
REVISION: 1/8/21 - TOWN COMMENTS	
REVISION: 8/26/20 TOWN COMMENTS	
REVISION: 6/26/20 DOT COMMENTS	
PROJECT: 207105	
DB: MPT	SR: SZ/DH
	DR: SB

"I hereby certify that this plan is in compliance with the town of Southington Soil Erosion and Sedimentation control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature _____
(Name) _____ Certification No. _____
"The Planning and Zoning Commission certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Southington Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."
Signature _____
Date of Approval _____

kratzer jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

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• EMAIL: INFO@KRATZERTJONES.COM

GRADING & EROSION CONTROL PLAN

FOR

ELENI REAL ESTATE LLC

#1615 WEST STREET
SOUTHTONING, CT

SCALE: 1"=20'

DATE: MARCH 19, 2020

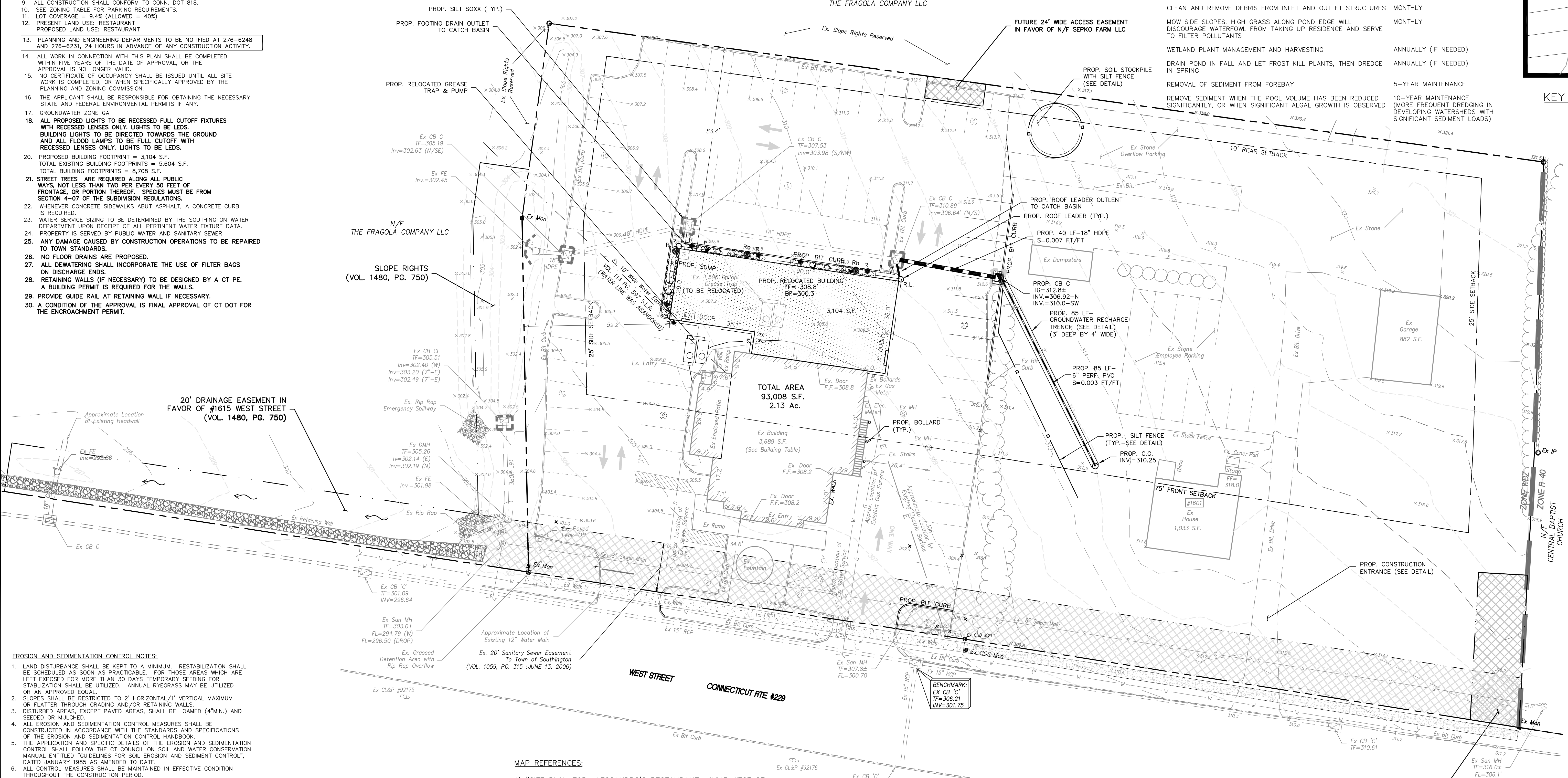
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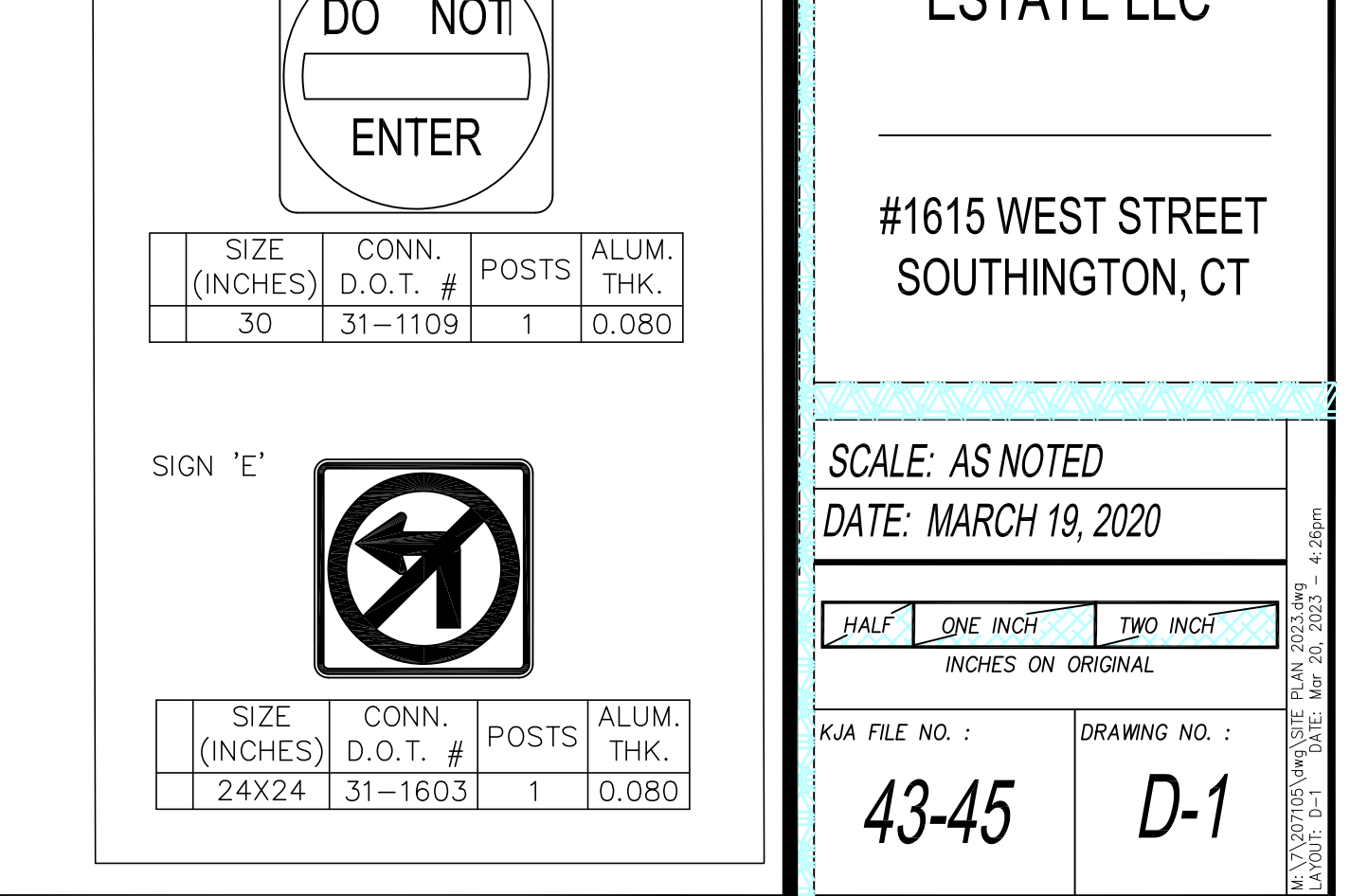
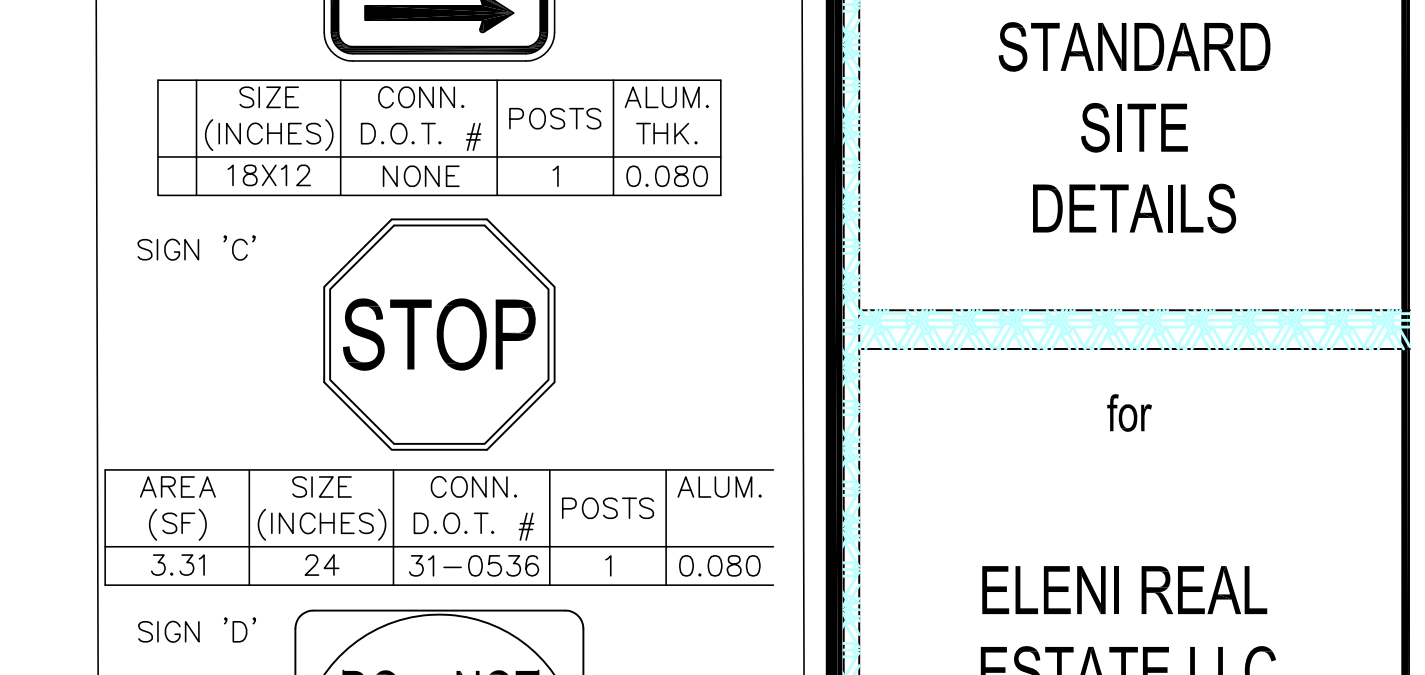
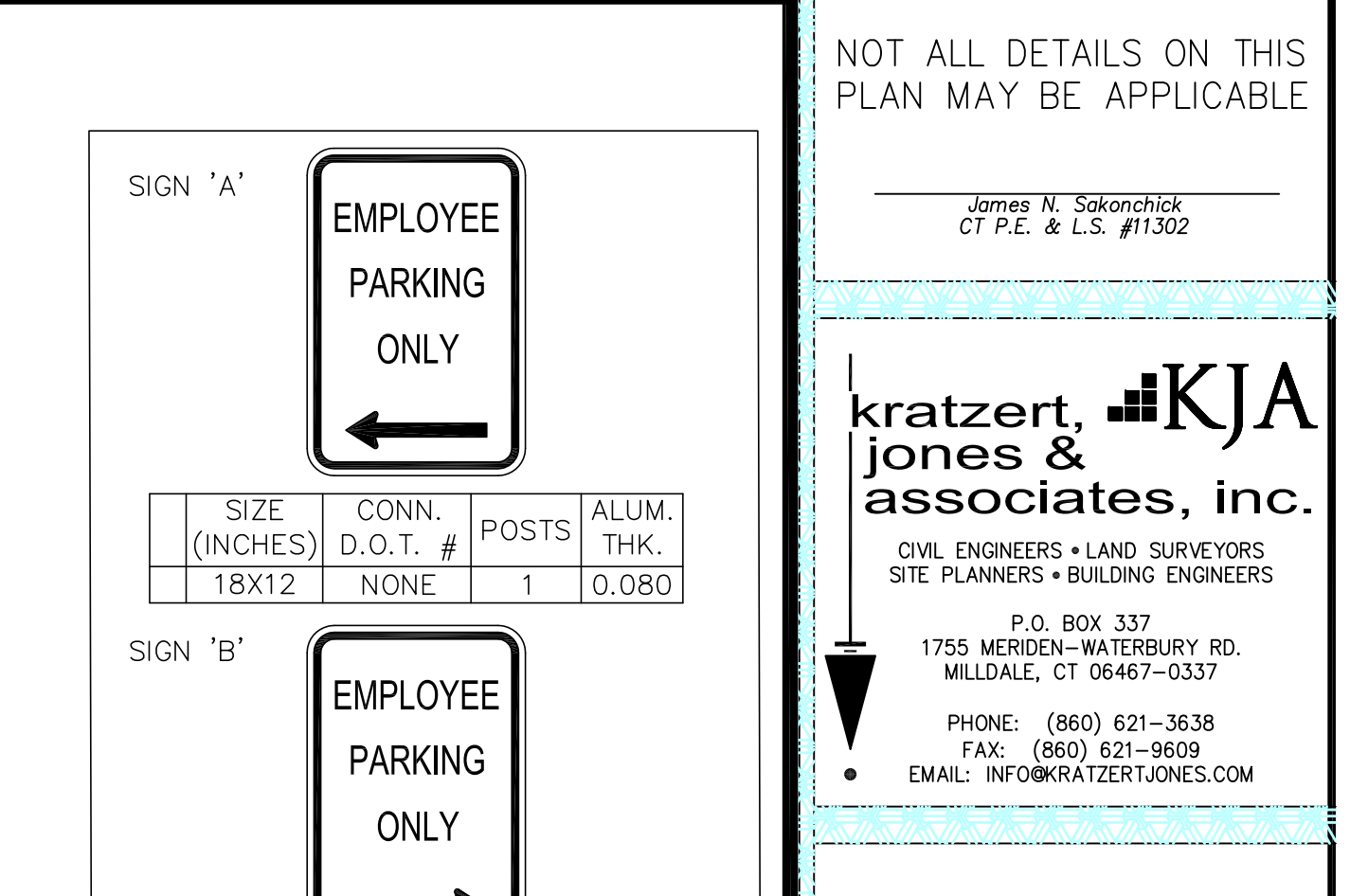
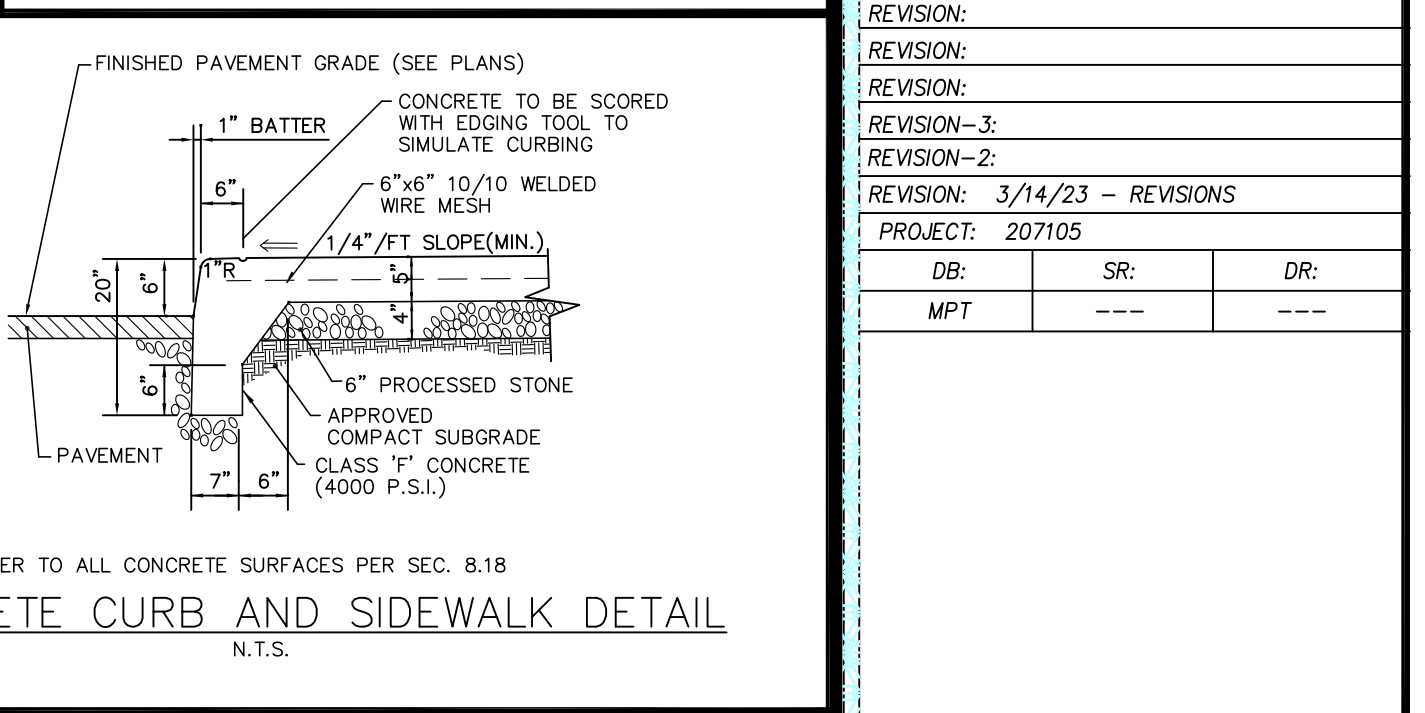
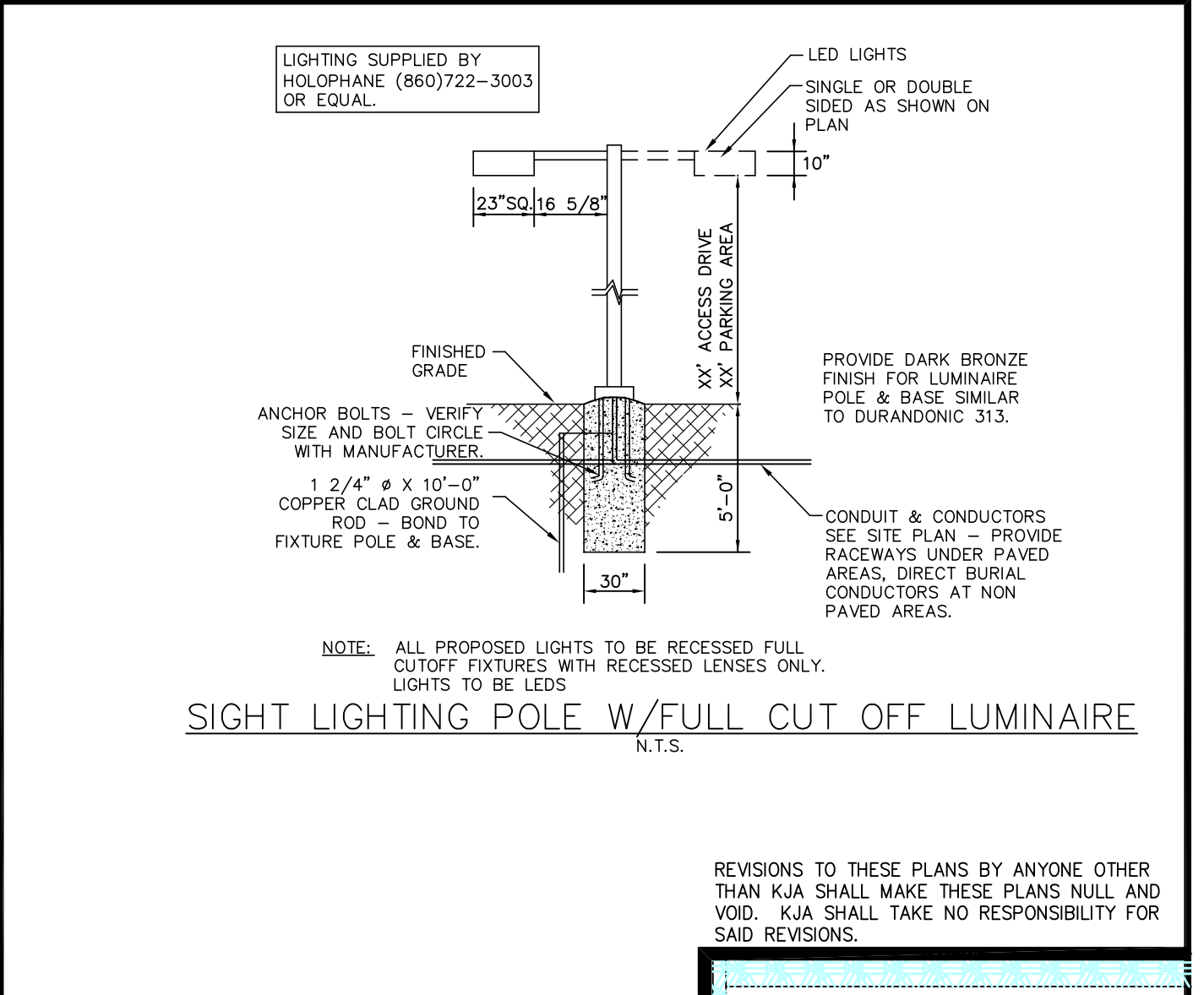
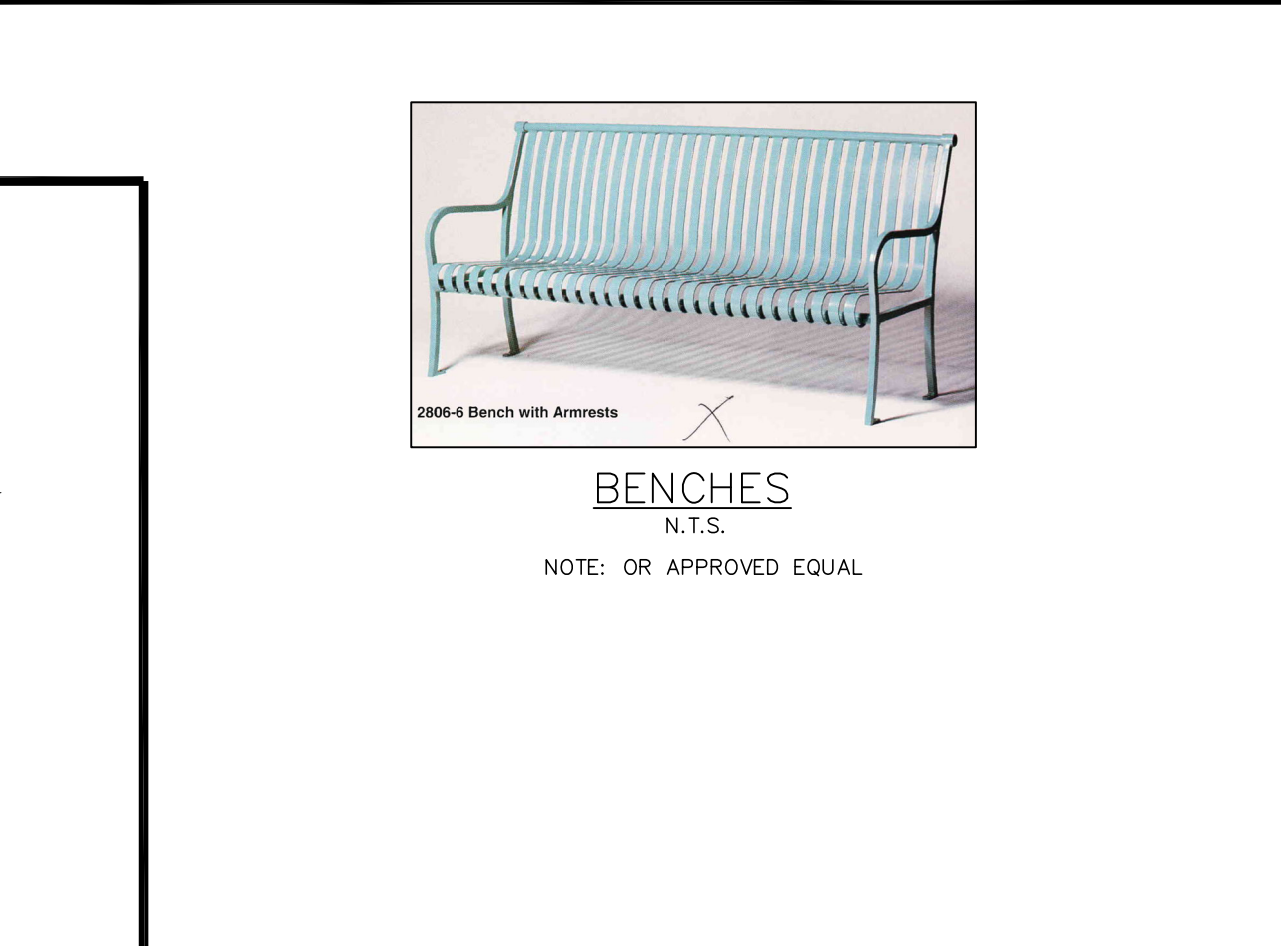
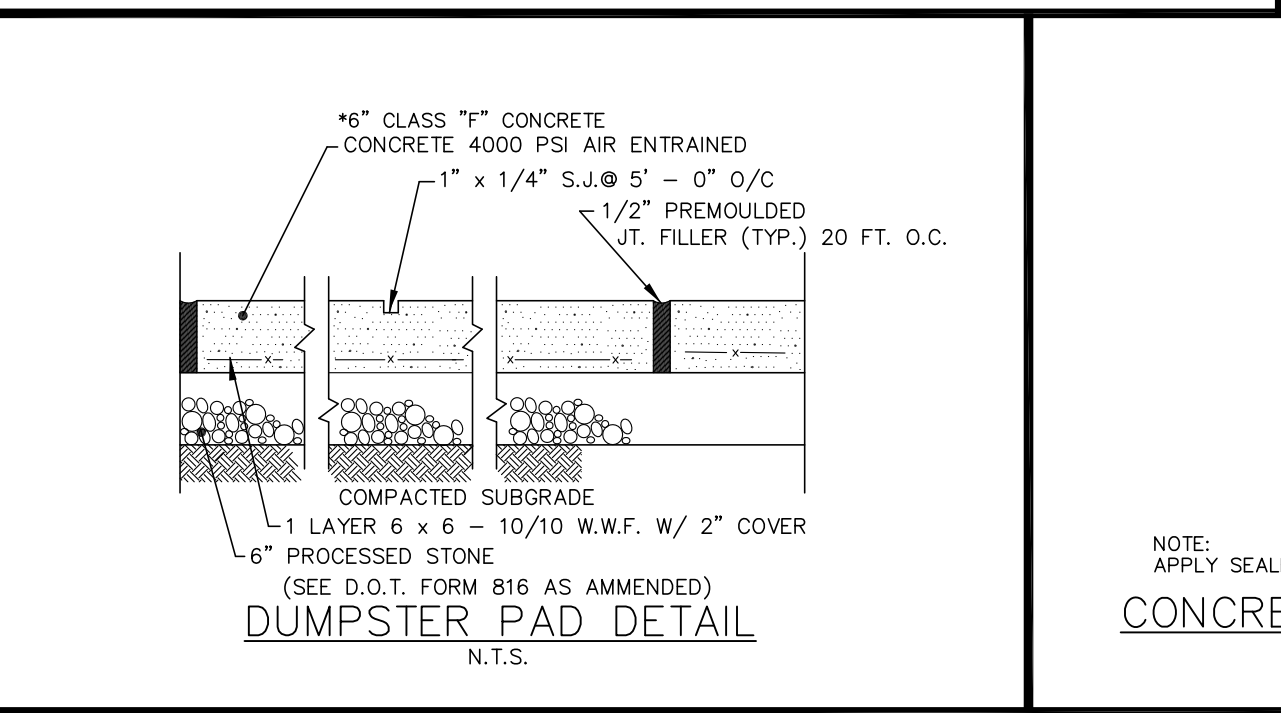
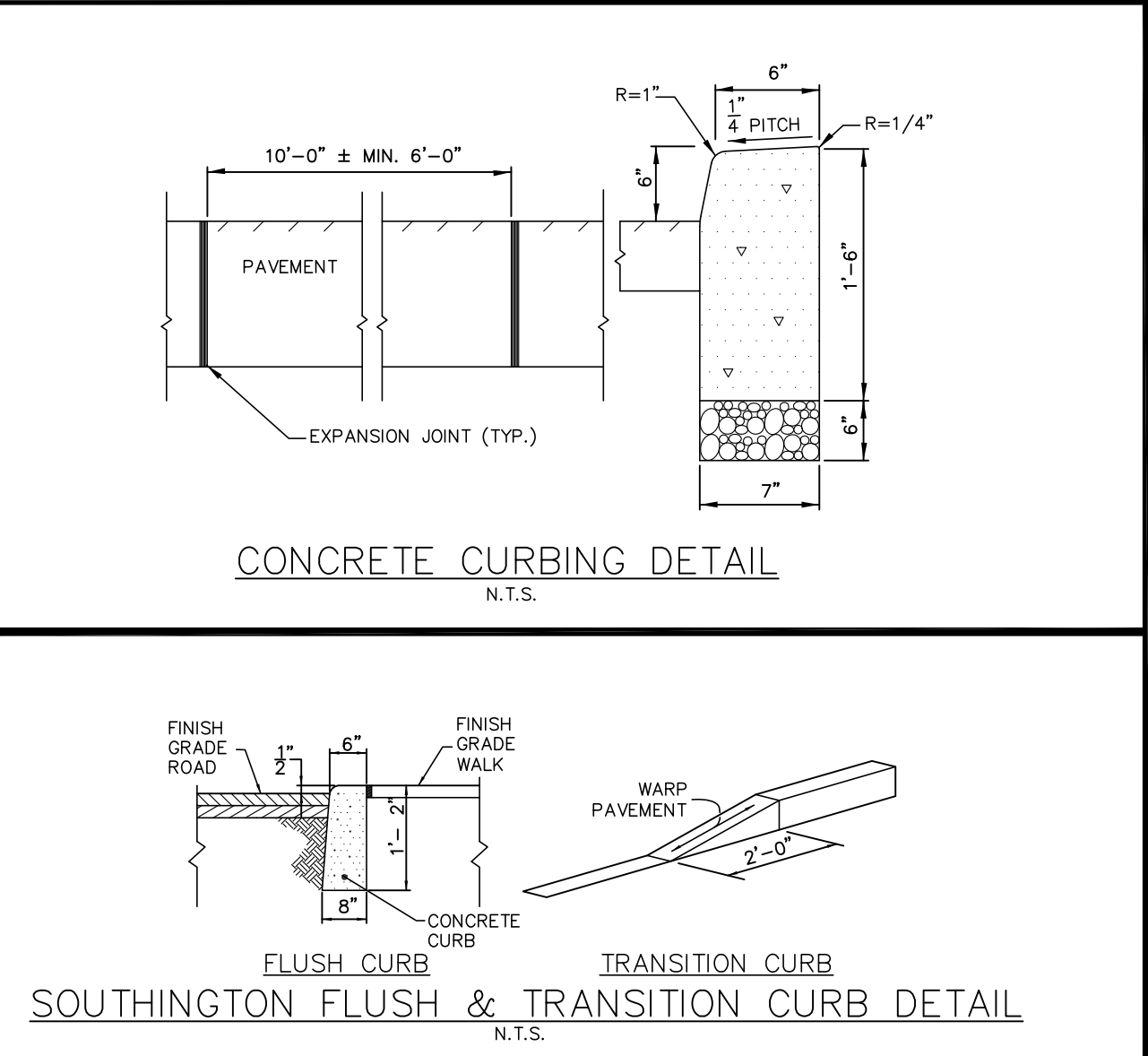
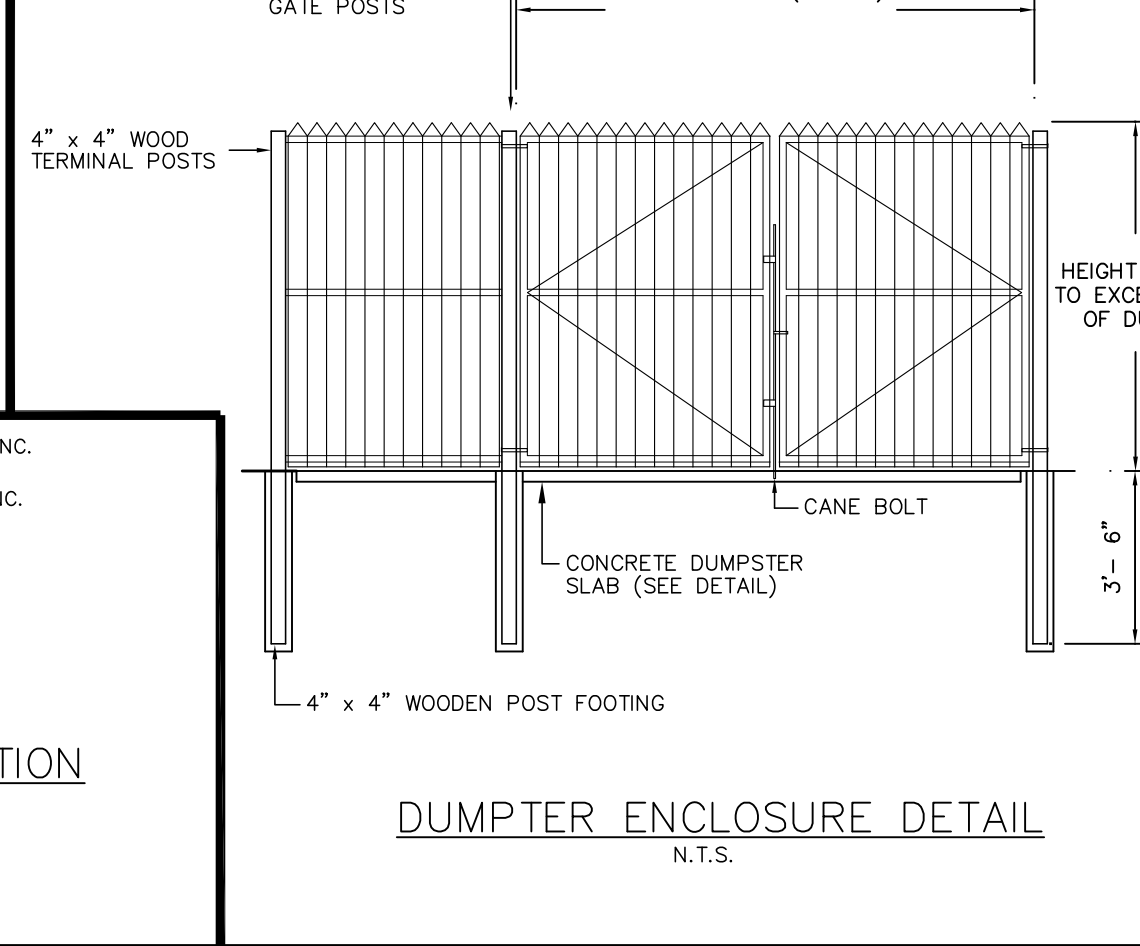
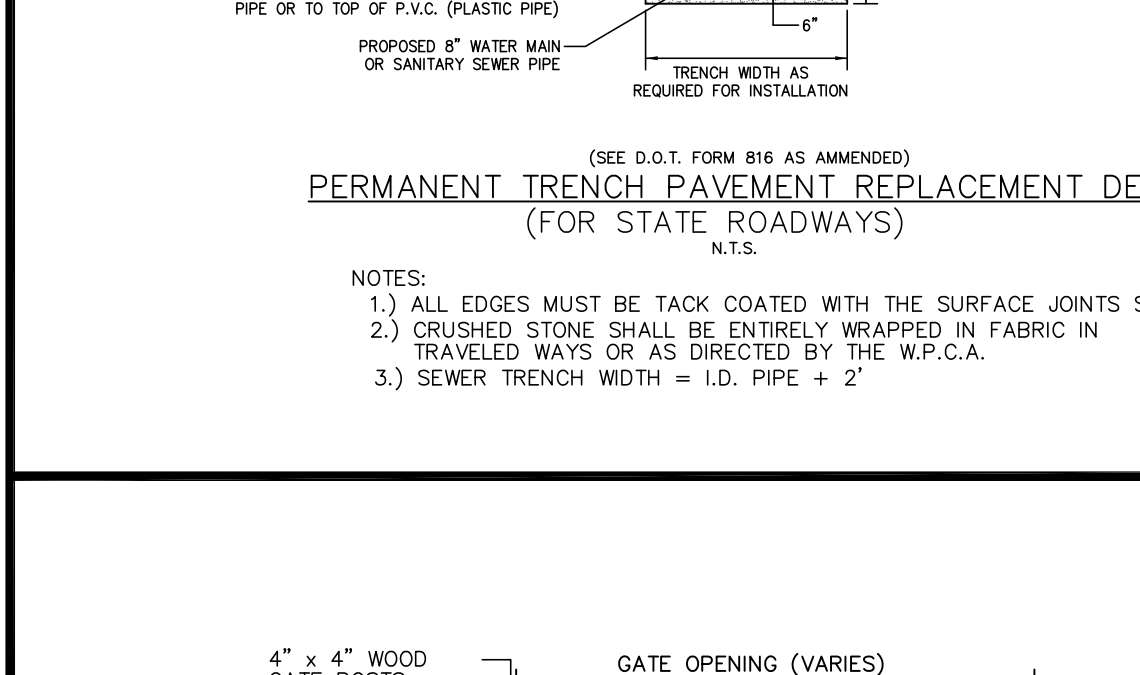
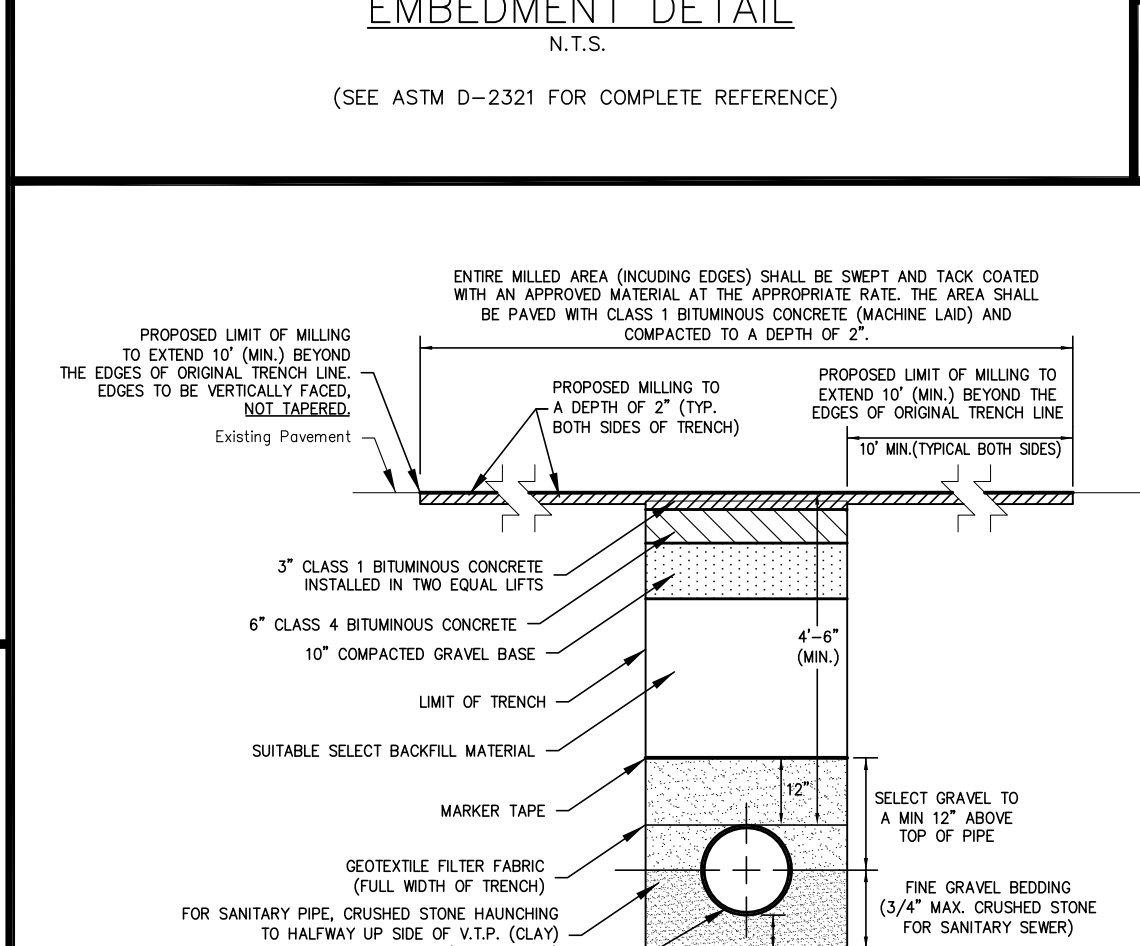
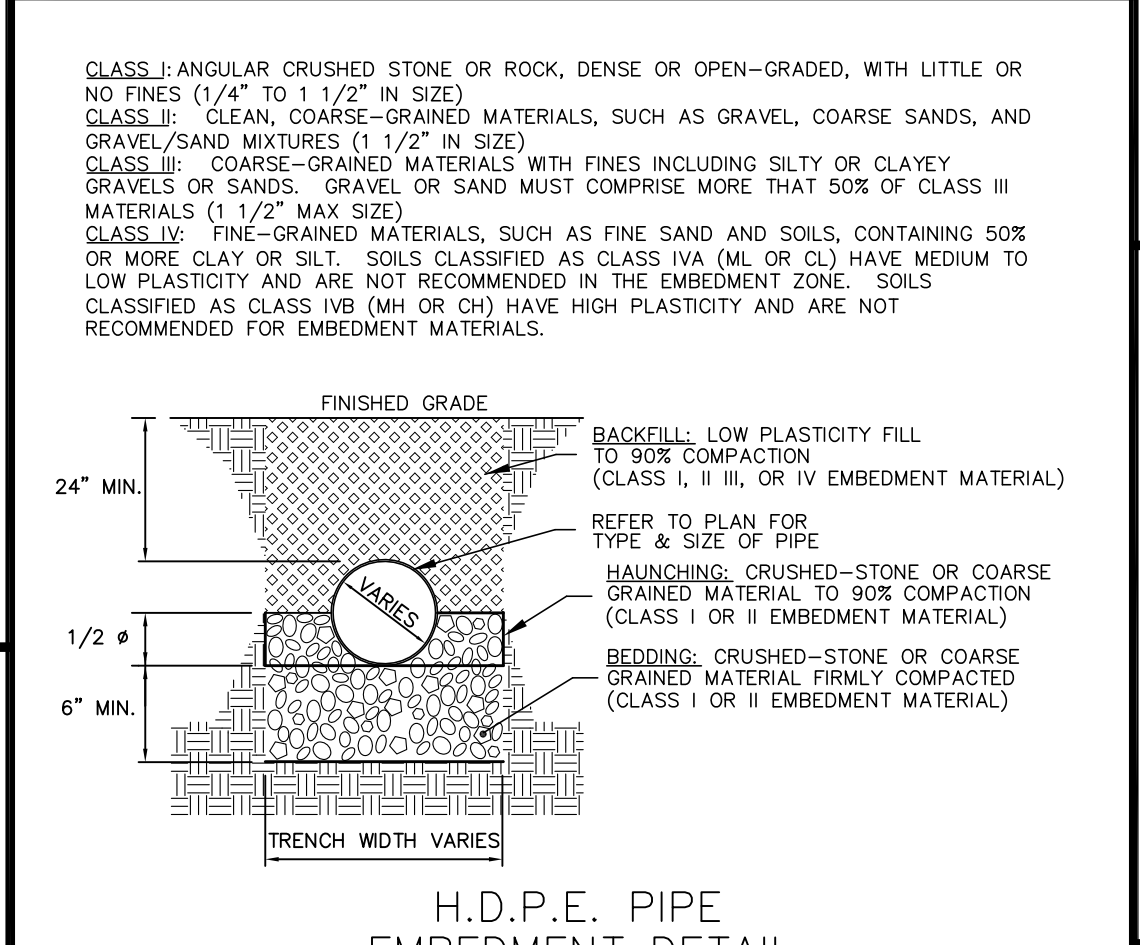
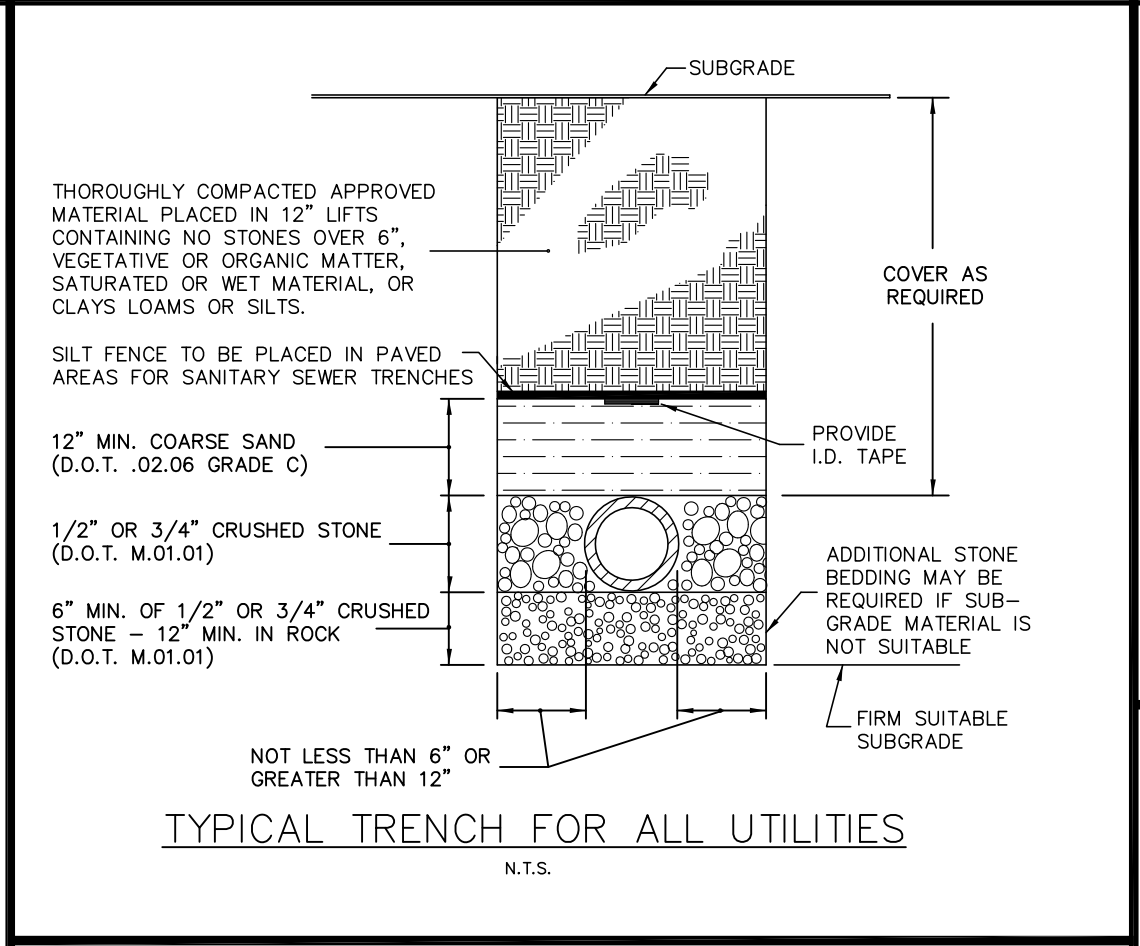
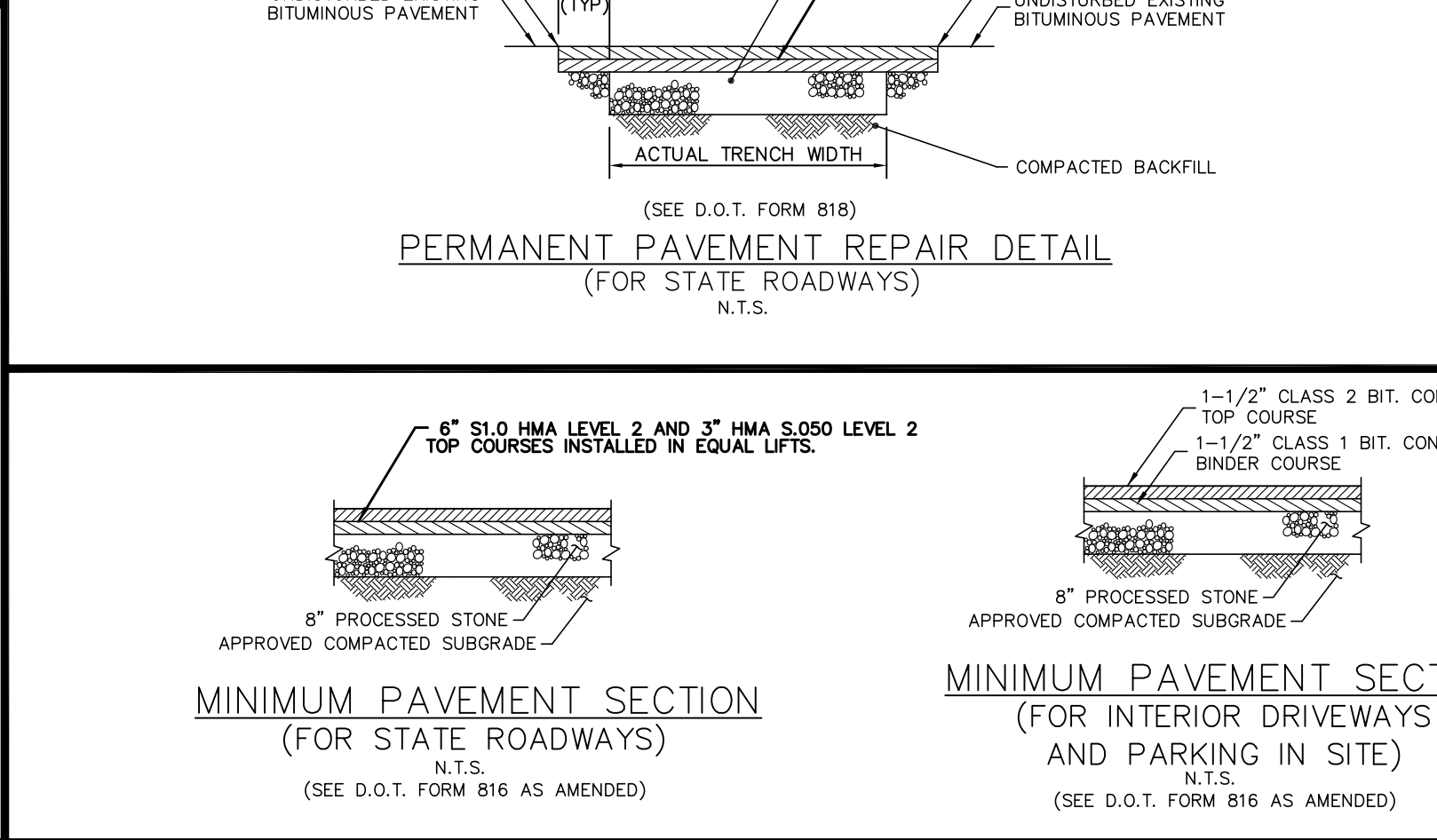
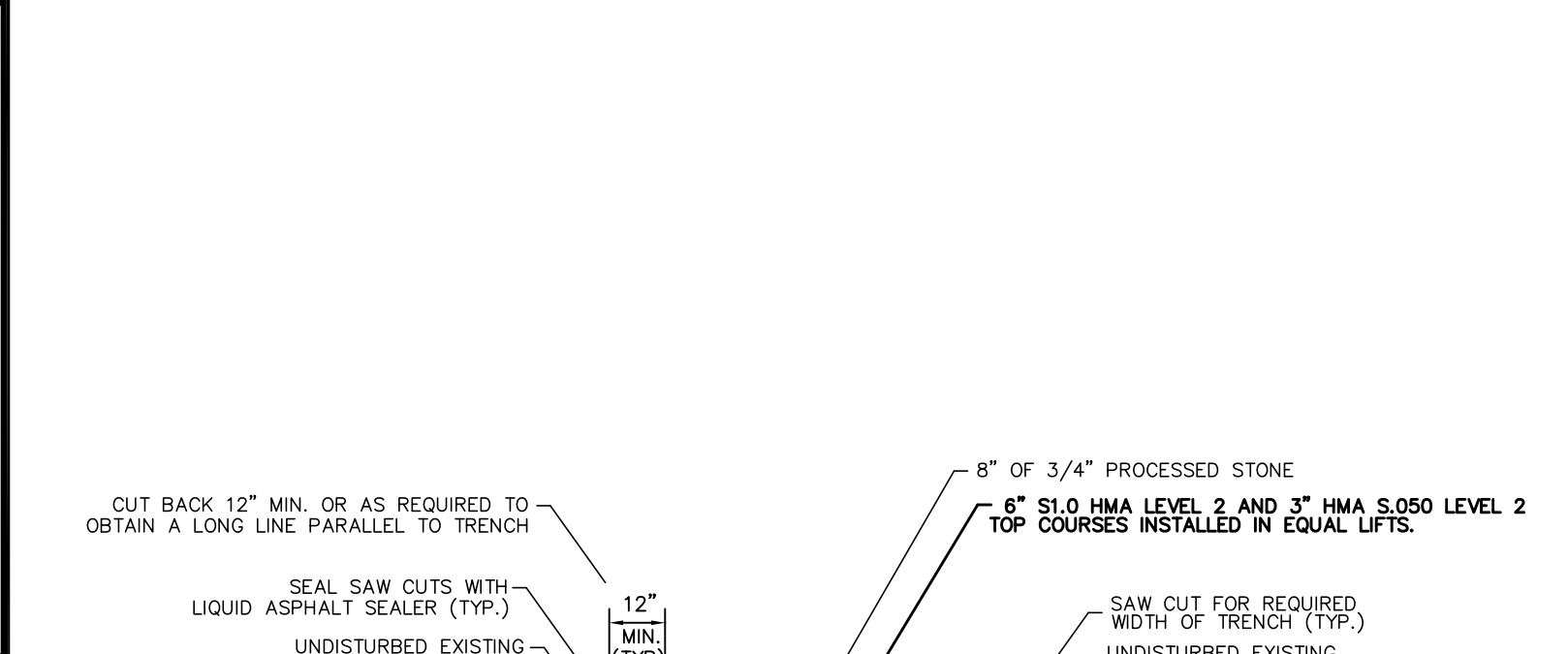
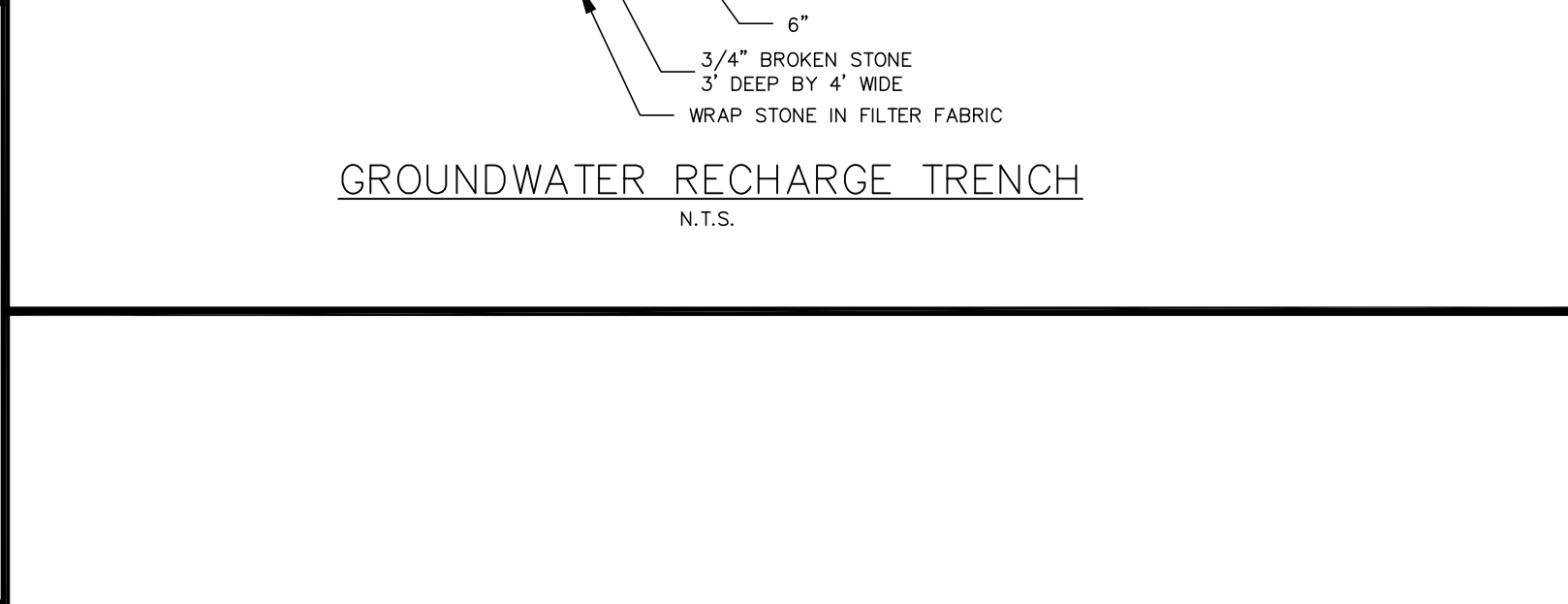
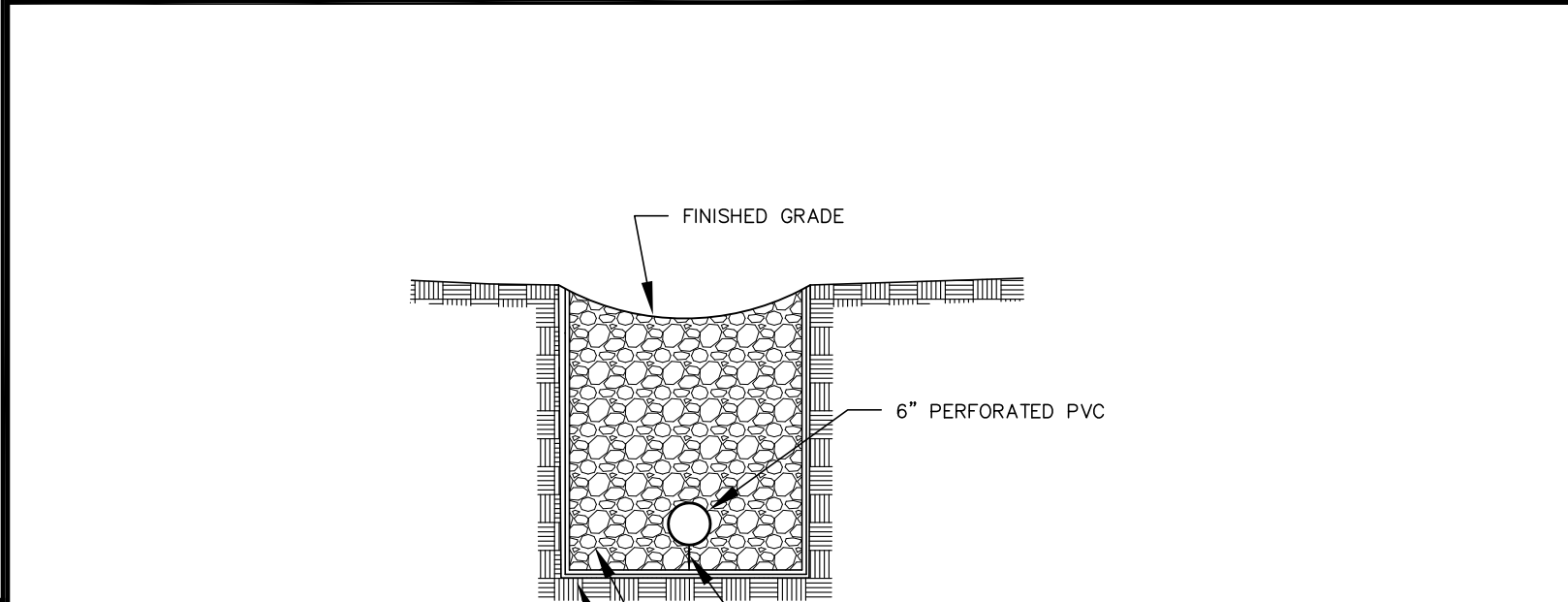
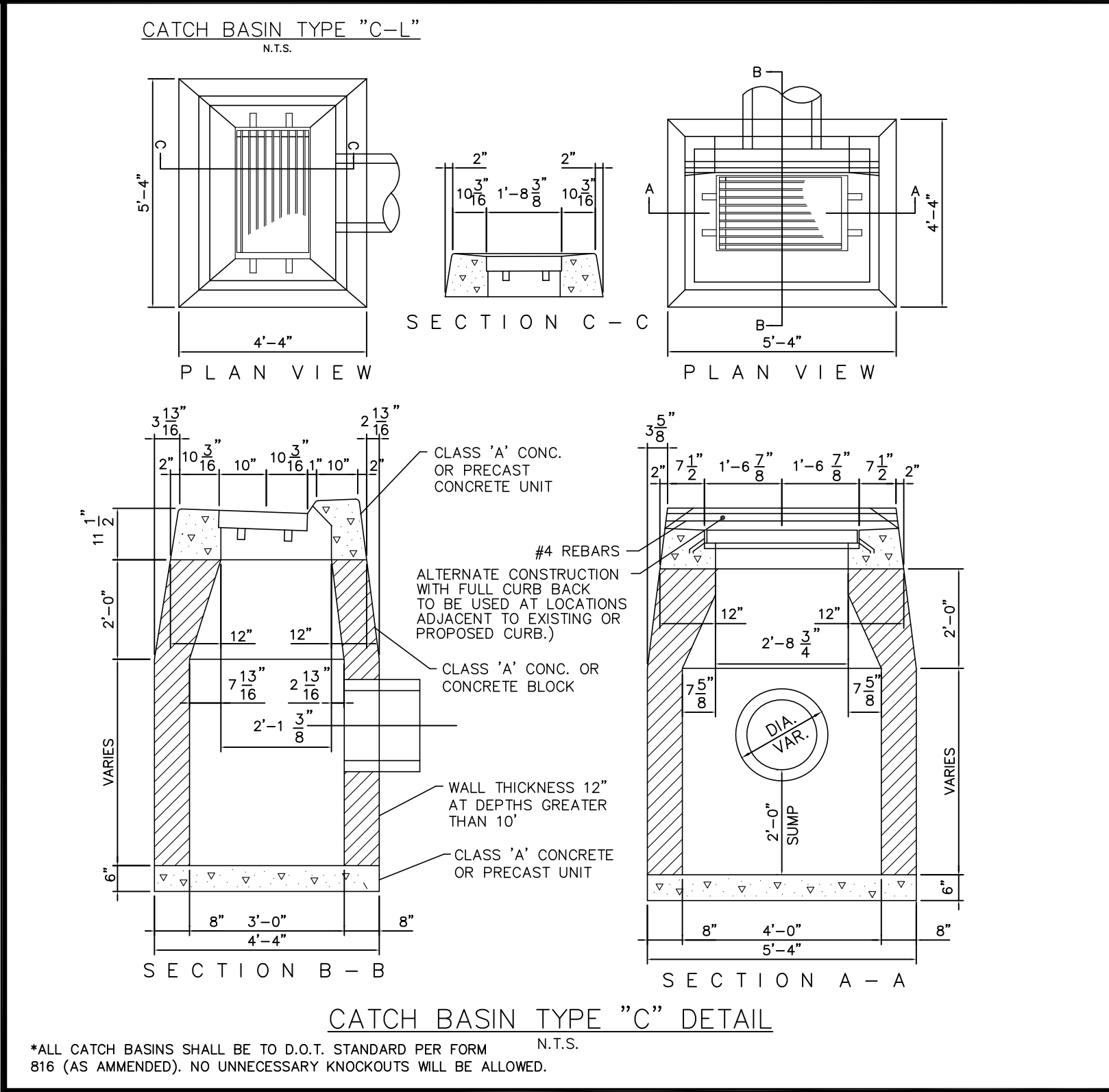
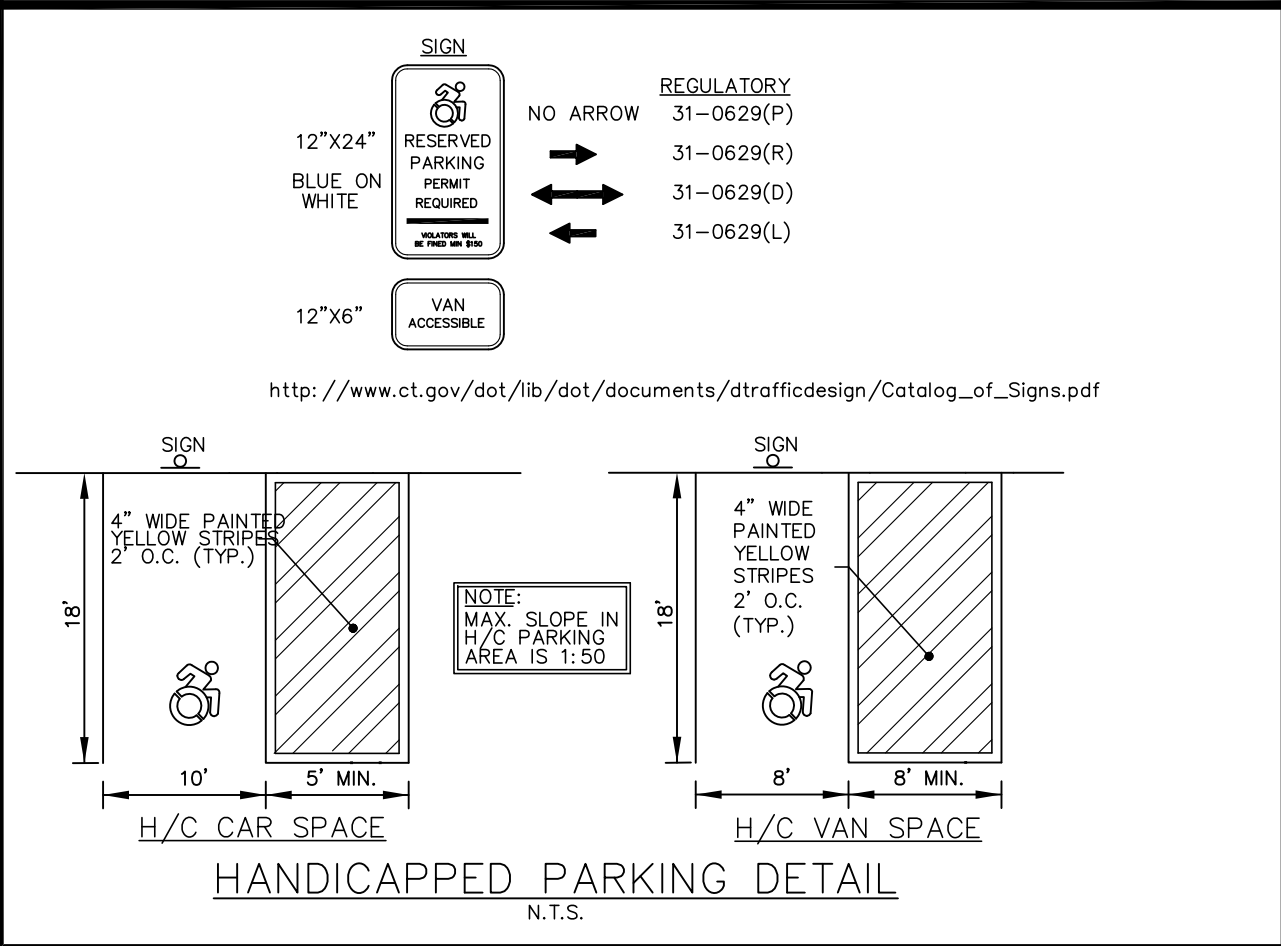
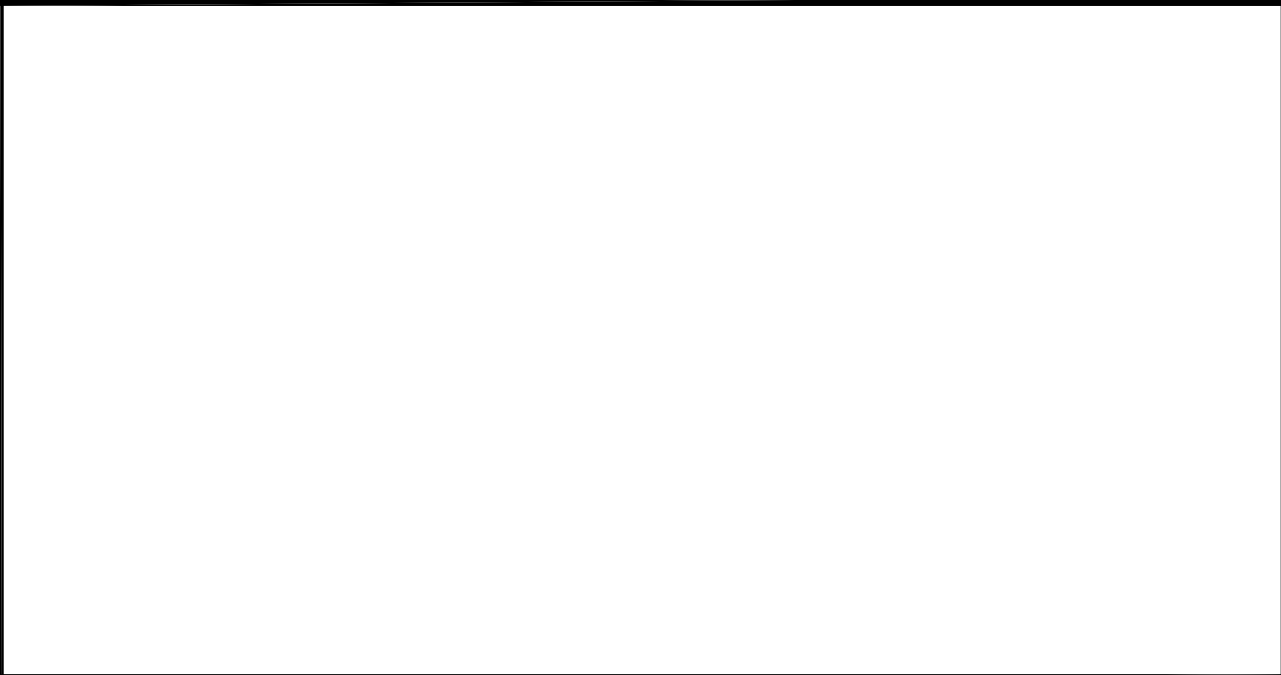
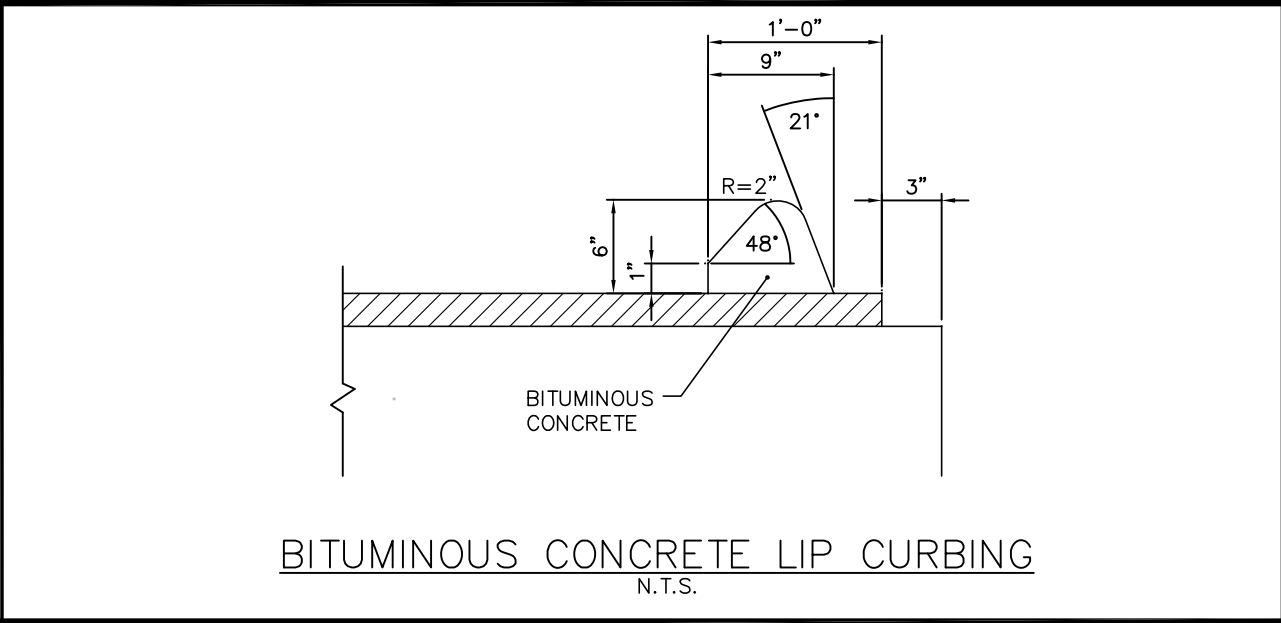
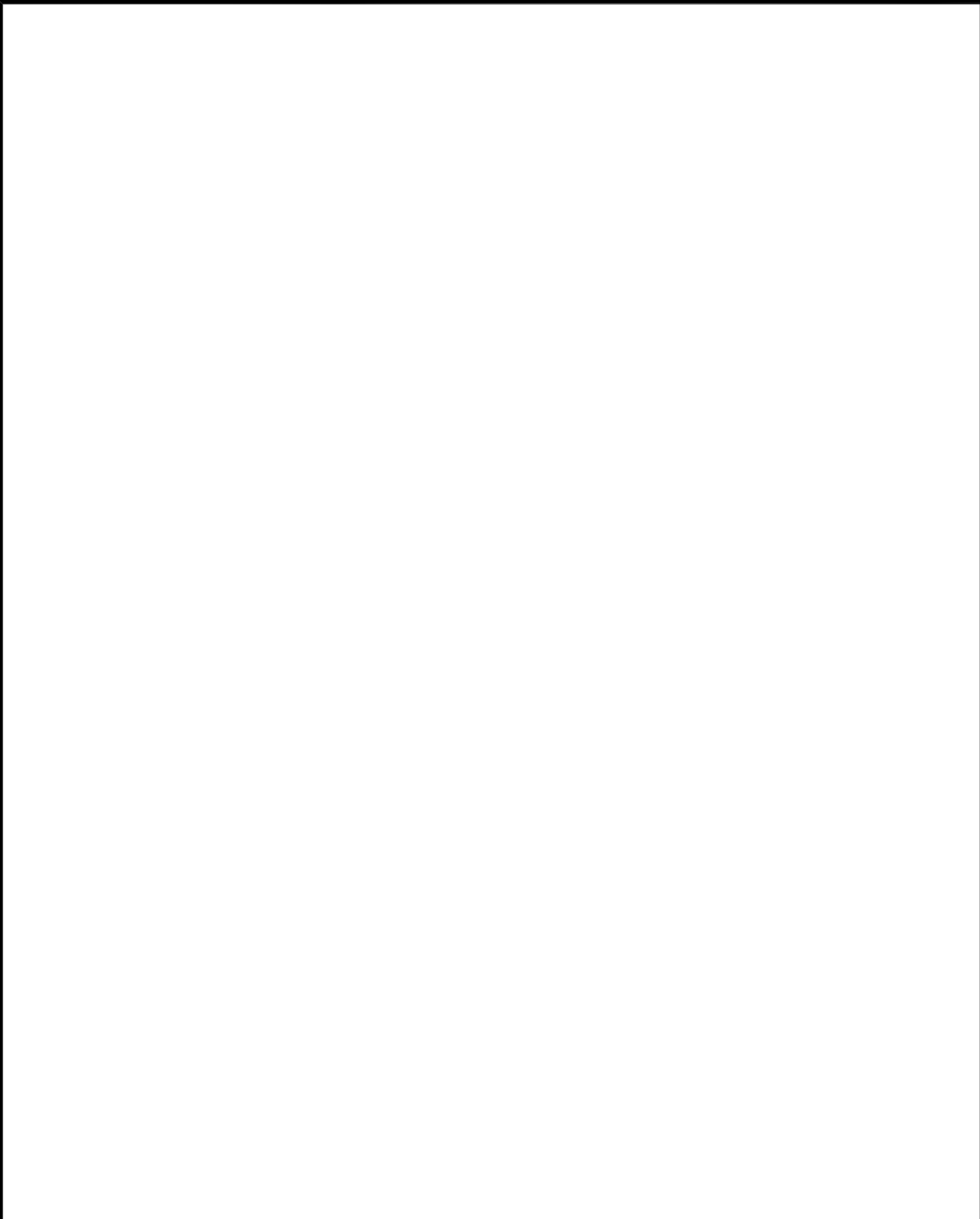
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43-45

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REVISION:		
REVISION:		
REVISION-3:		
REVISION-2:		
REVISION: 3/14/23 - REVISIONS		
PROJECT: 207105		
DB:	SR:	DR:
MPT	DATE DATE DATE	DATE DATE DATE

NOT ALL DETAILS ON THIS PLAN MAY BE APPLICABLE

James N. Sakonchick
CT P.E. & L.S. #11302

kratzer, jones & associates, inc.

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SITE PLANNERS • BUILDING ENGINEERS

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EMAIL: INFO@KRATZERTJONES.COM

STANDARD
SITE
DETAILS

for
ELENI REAL
ESTATE LLC

#1615 WEST STREET
SOUTHINGTON, CT

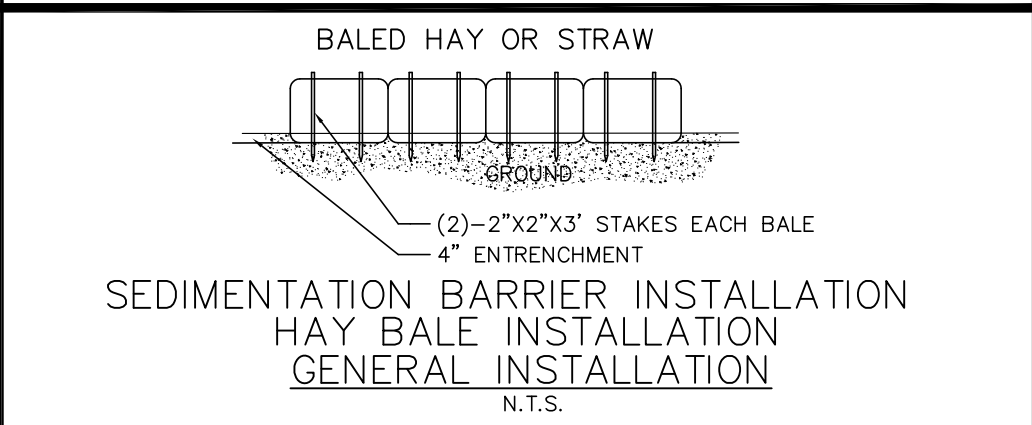
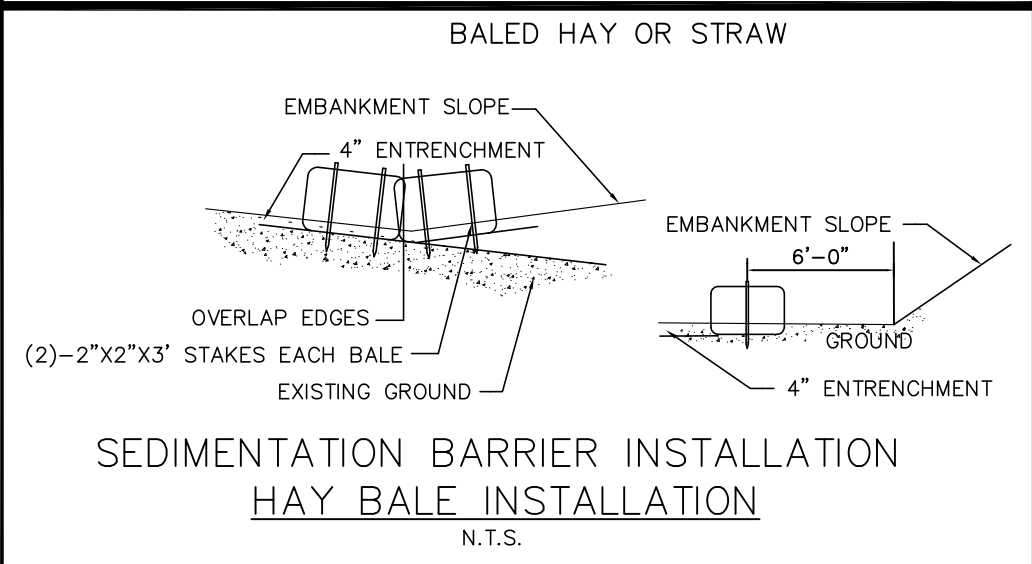
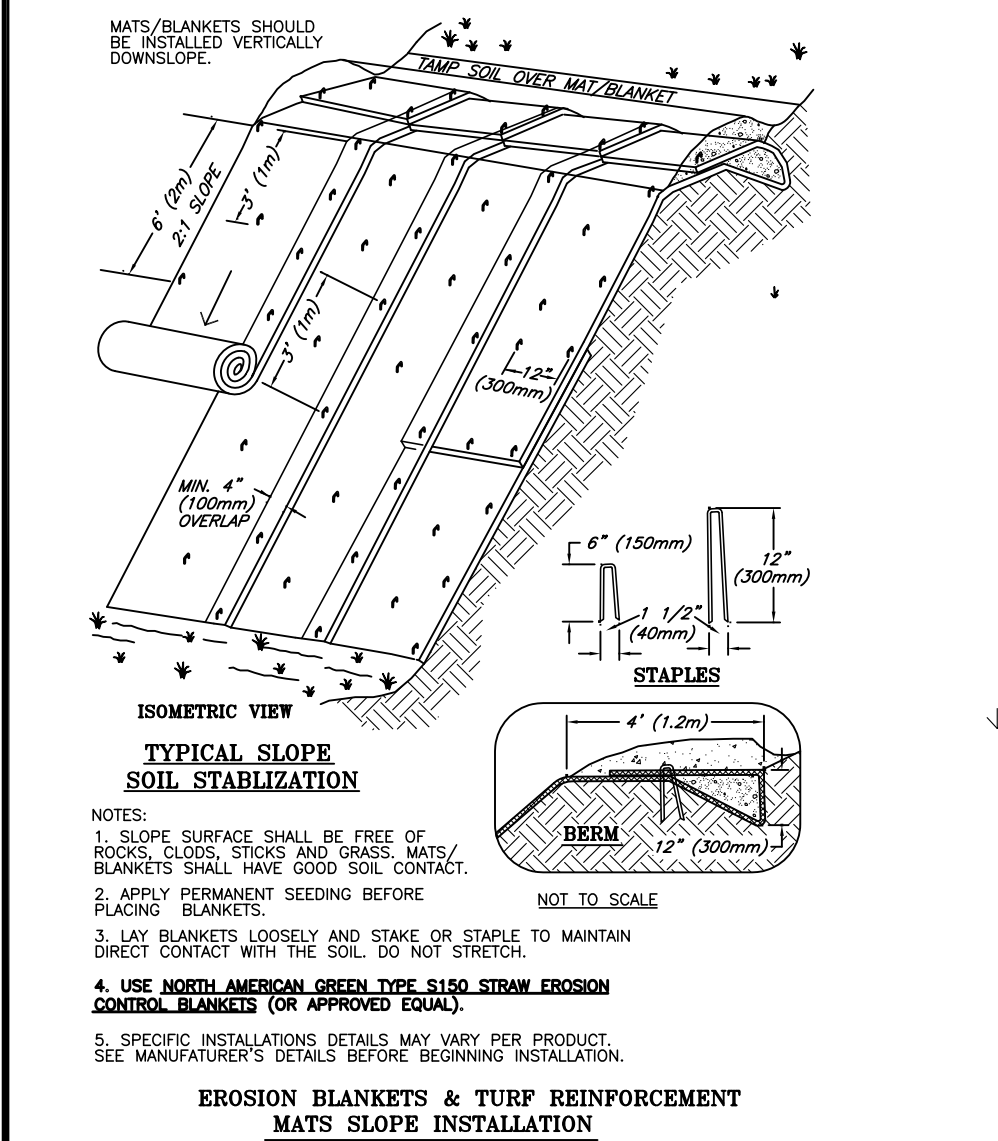
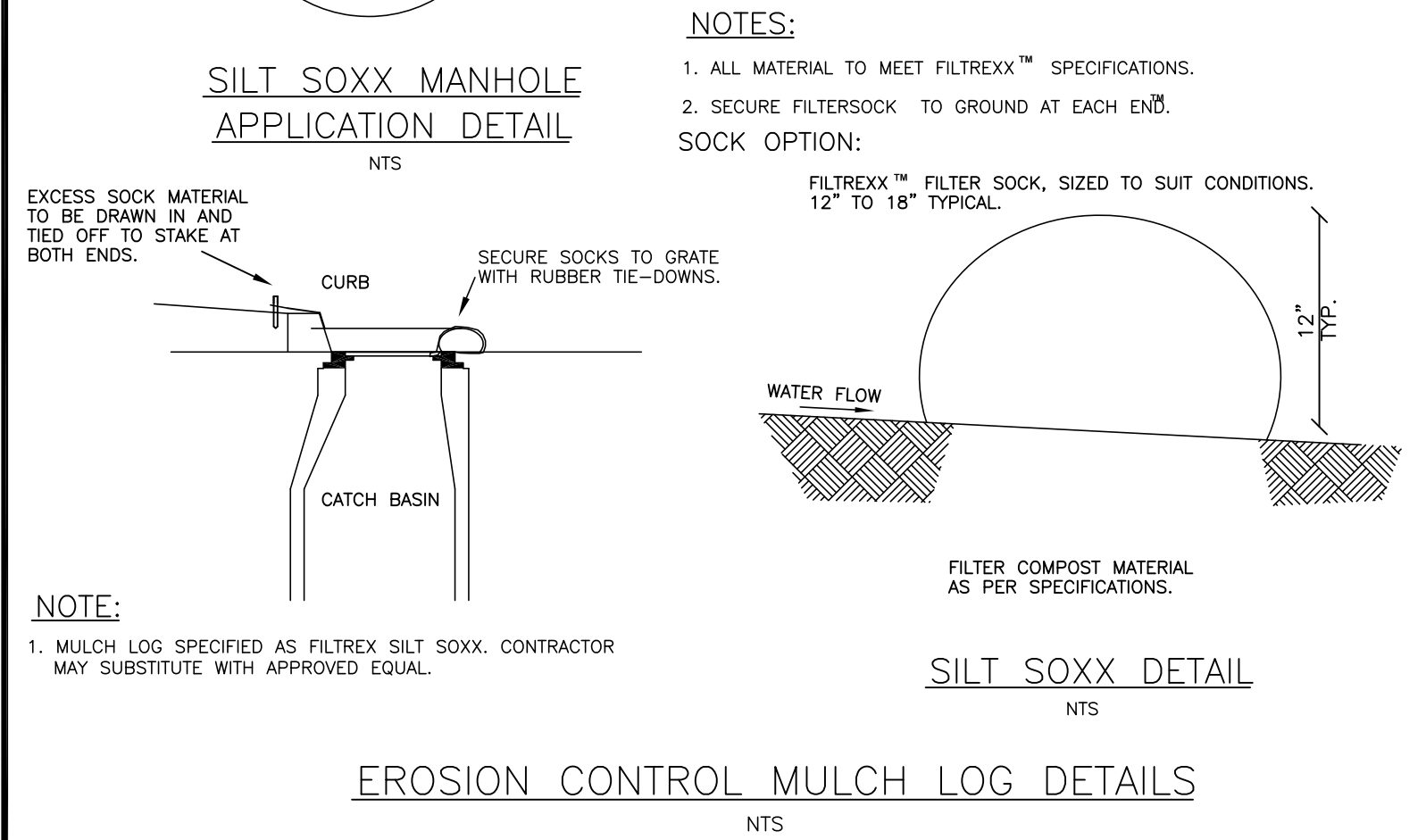
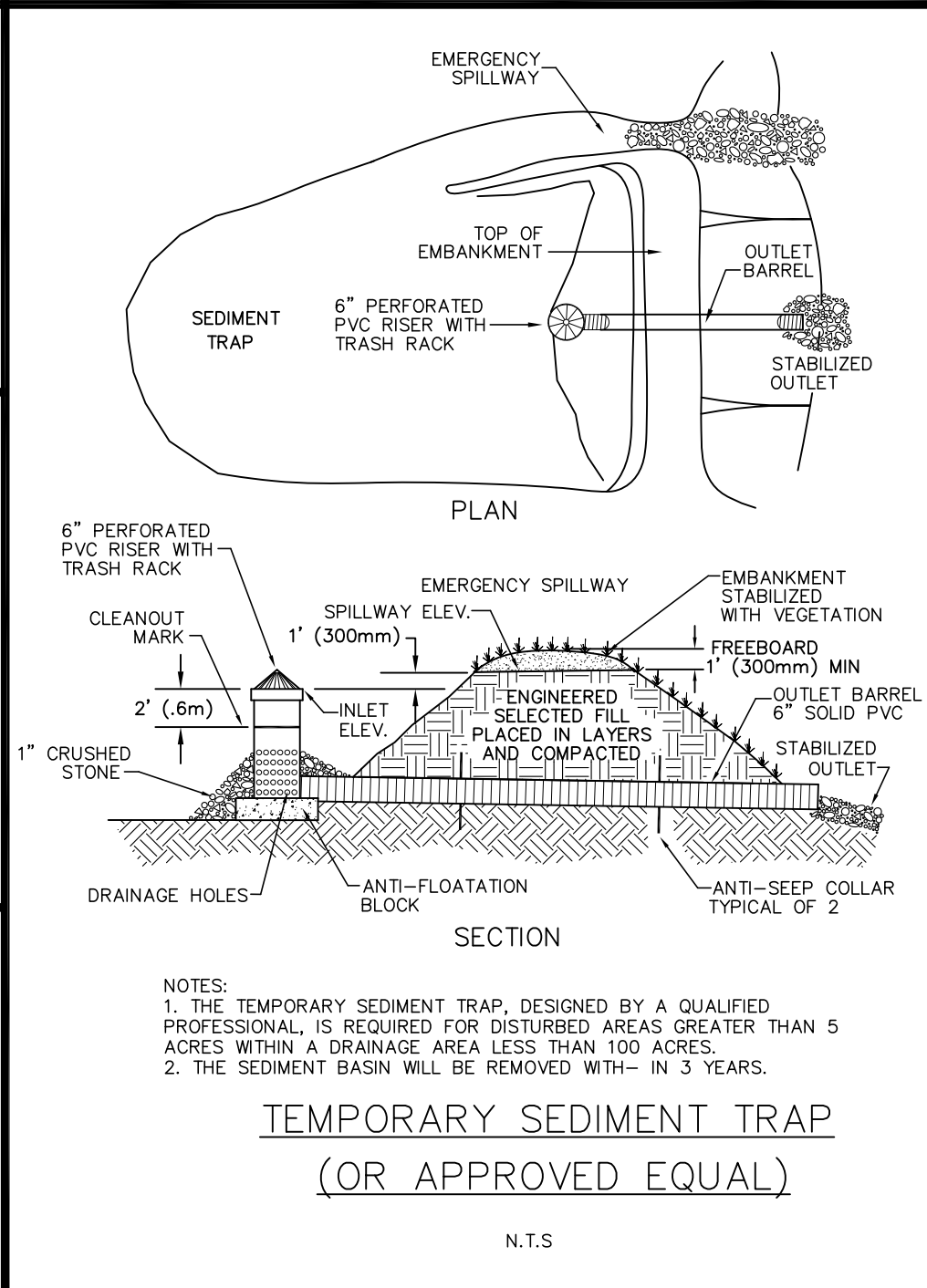
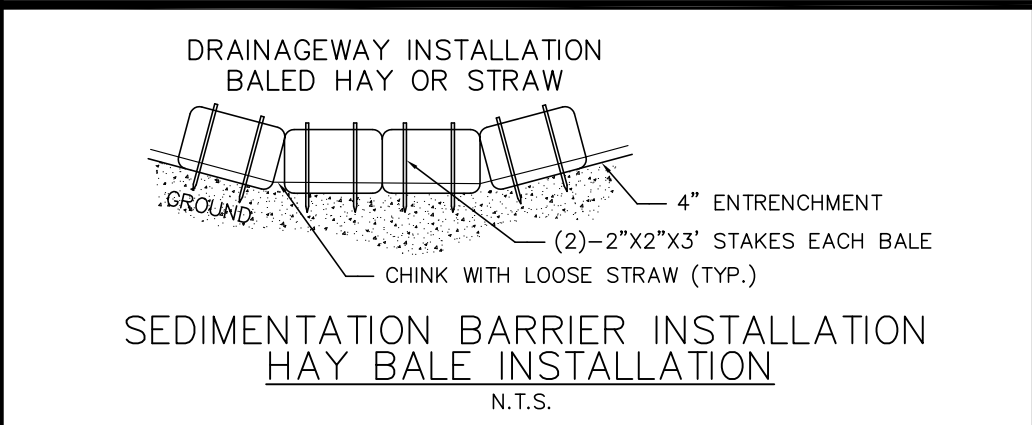
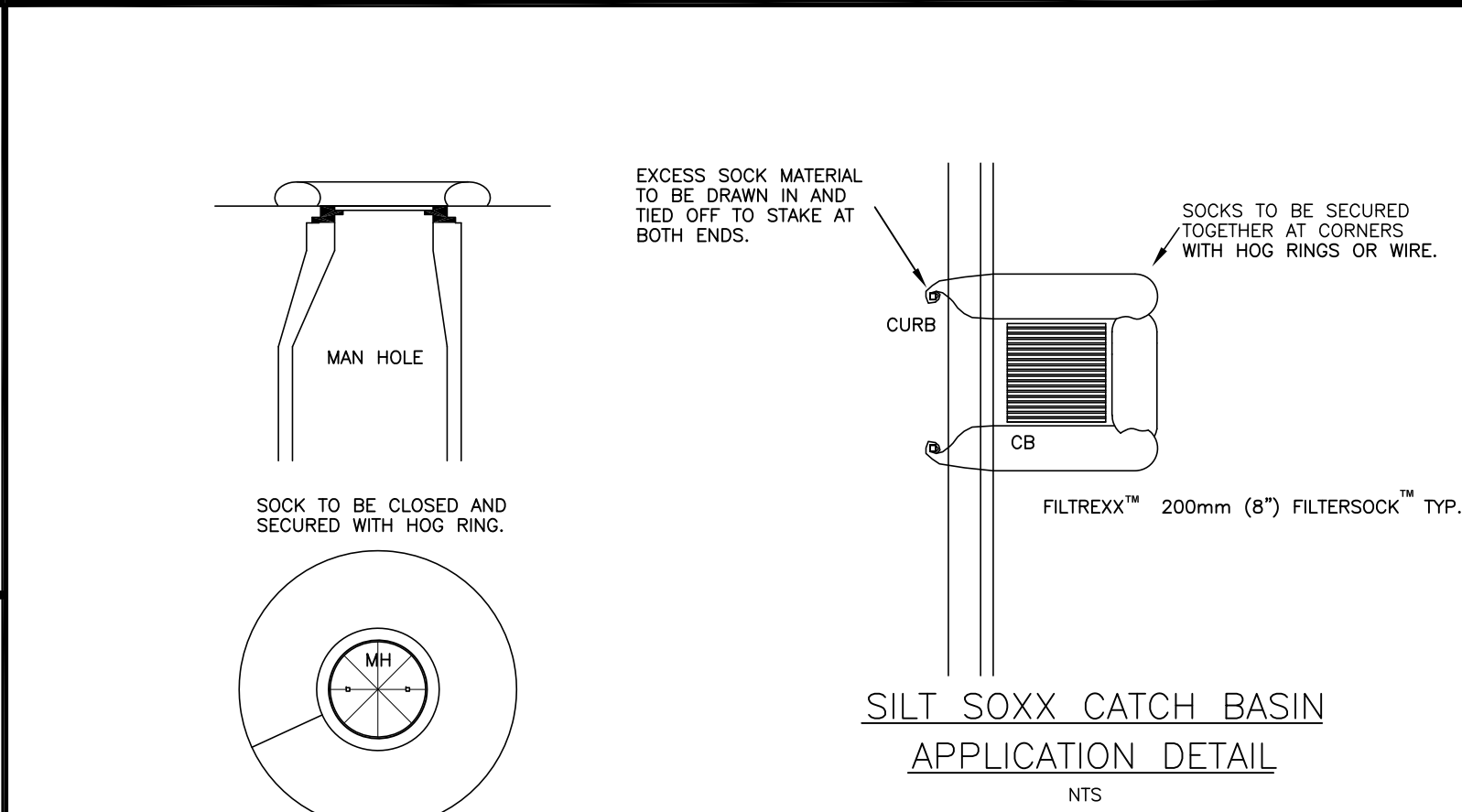
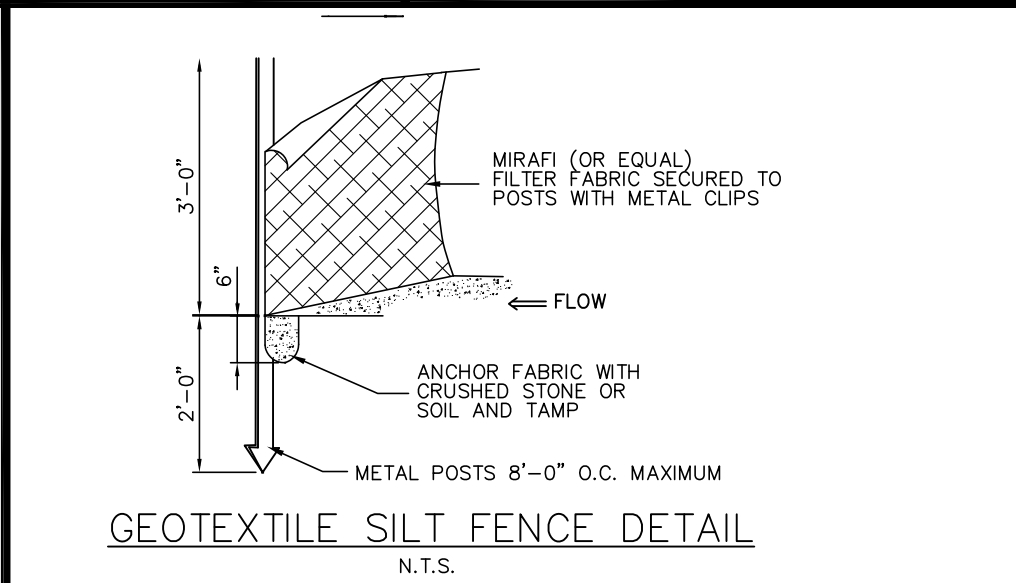
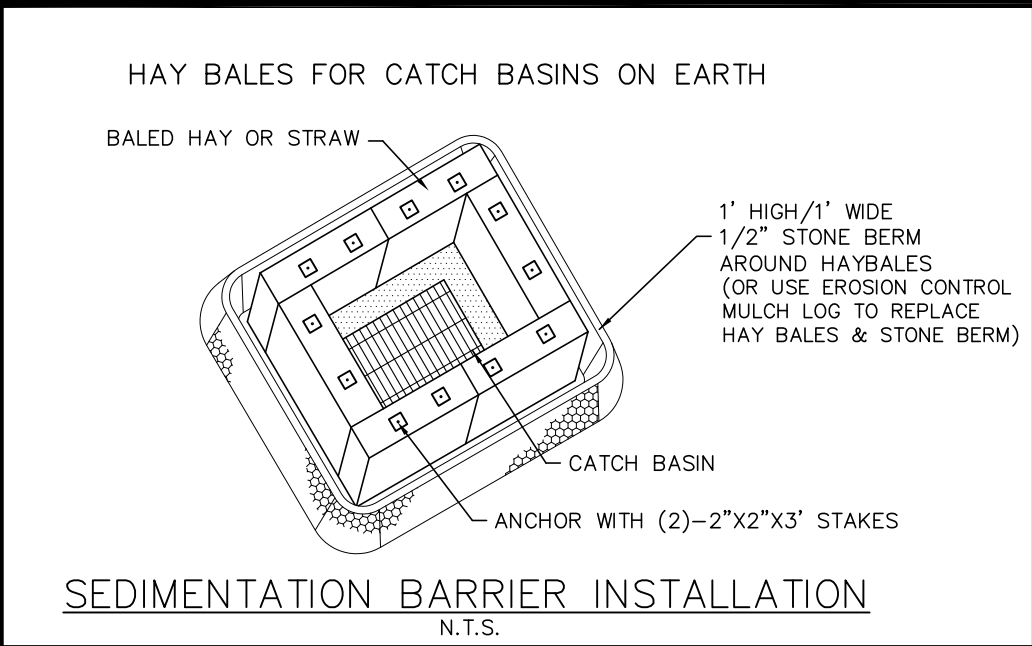
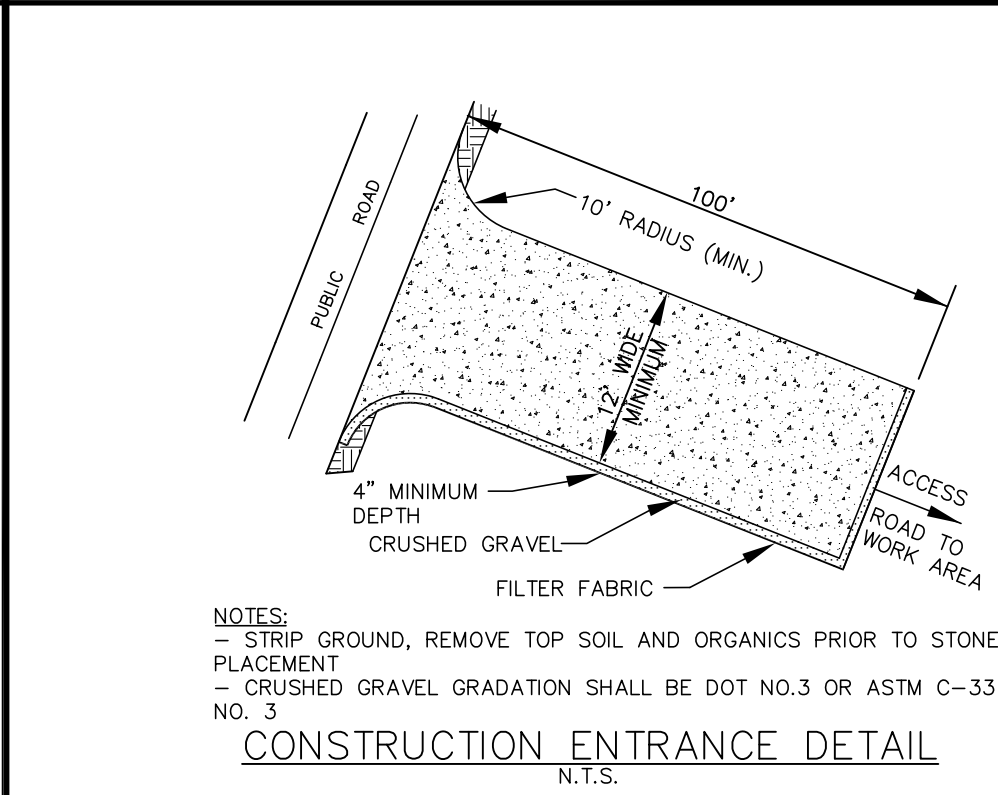
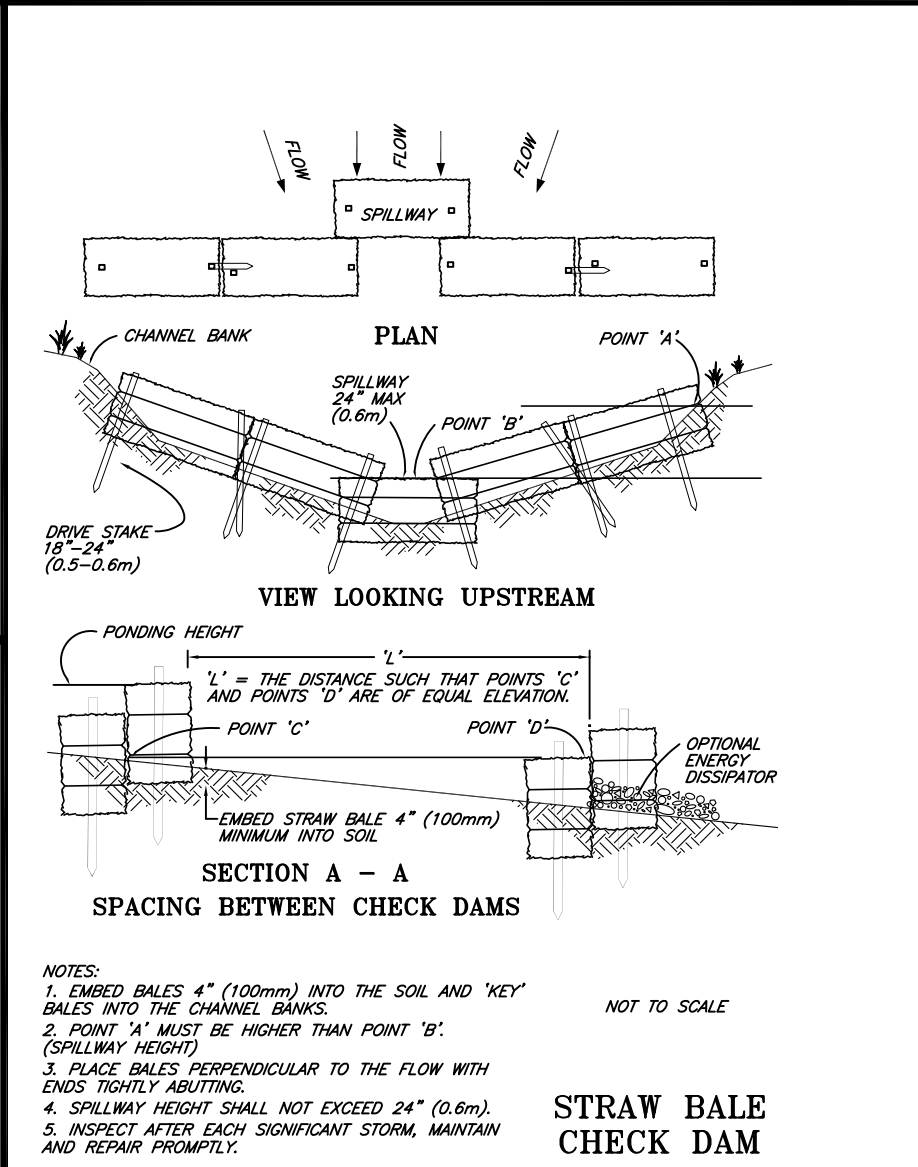
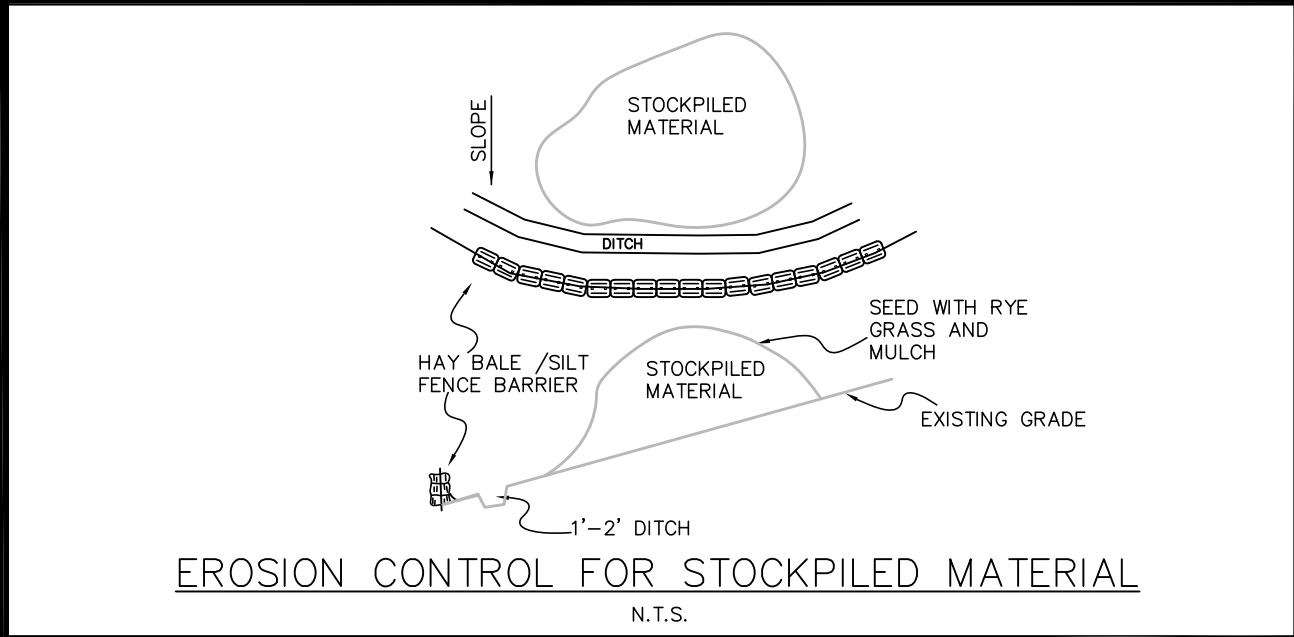
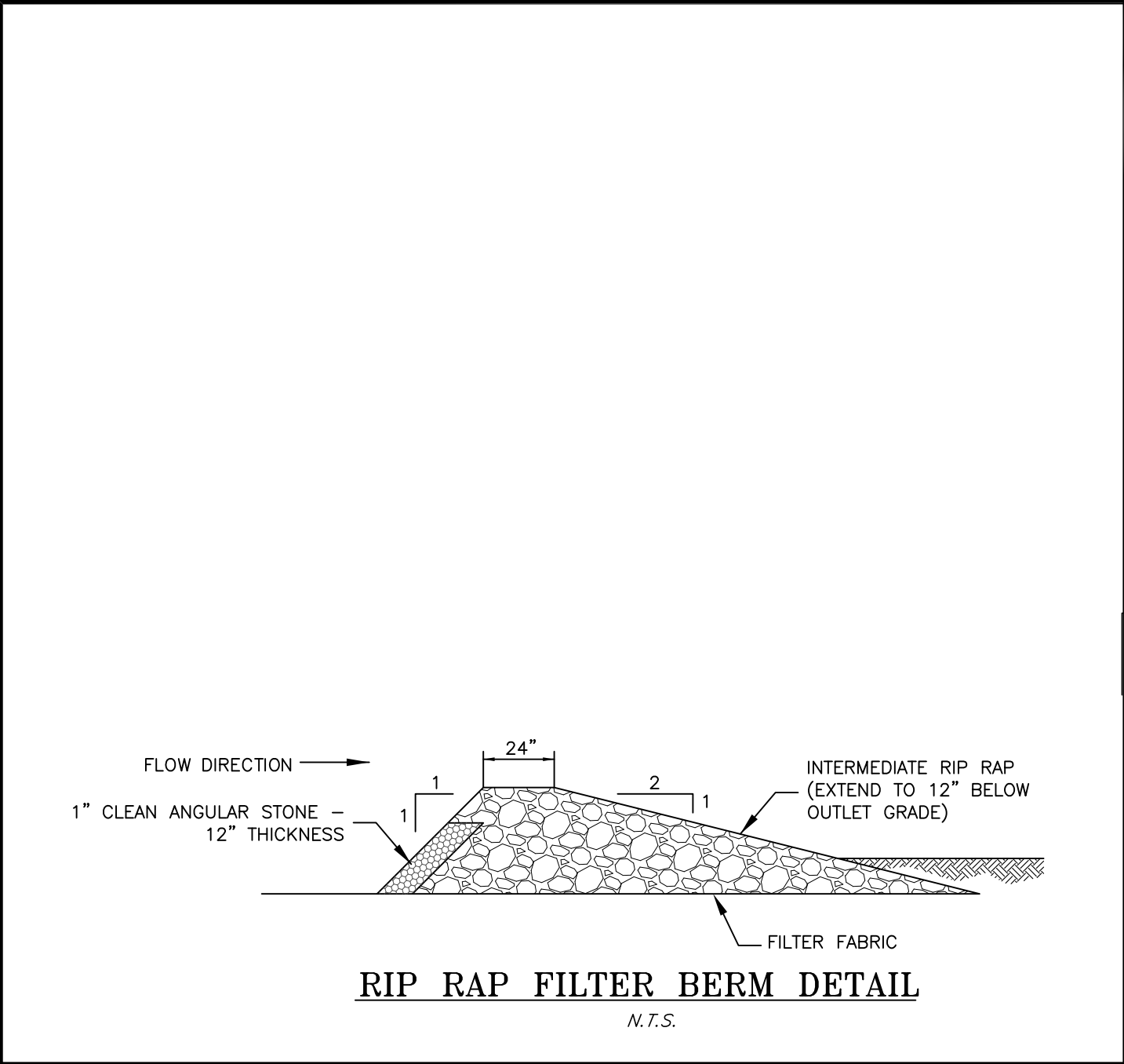
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DATE: MARCH 19, 2020

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43-45 D-1

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REVISION:		
REVISION:		
REVISION:		
REVISION:		
REVISION-2:		
REVISION: 3/14/23 - REVISIONS		
PROJECT: 207105		
DB:	SR:	DR:
MPT	---	---

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EROSION & SEDIMENTATION CONTROL DETAILS

for

ELENI REAL ESTATE LLC

#1615 WEST STREET
SOUTHINGTON, CT

SCALE: AS NOTED
DATE: MARCH 19, 2020

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