

LOCAL UTILITY PROVIDERS

1.

SOUTHINGTON WATER DEPT.
WEST QUEEN STREET, P.O. BOX 111
SOUTHINGTON, CT. 06489-0111
(860) 628-5593
(860) 621-0491
2.

SOUTHINGTON/PLAINVILLE HEALTH DEPT.
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
(860) 276-6275
(860) 276-6277
3.

EVERSOURCE ELECTRIC
(203) 352-5412
4.

EVERSOURCE GAS
(203) 596-3071
5.

SOUTHERN NEW ENGLAND TELEPHONE
(860) 725-1010
(860) 549-1100
6.

SOUTHINGTON FIRE DEPARTMENT
310 NORTH MAIN STREET
SOUTHINGTON, CT 06489
(860) 621-3202
(860) 628-4049
7.

SOUTHINGTON HIGHWAY DEPT.
DELLABITTA DRIVE
SOUTHINGTON, CT. 06489
(860) 276-9430
(860) 276-9101
8.

TOWN ENGINEER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6231
FAX: (860) 628-8669
9.

TOWN PLANNER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6248
FAX: (860) 628-8669
10.

TOWN BUILDING DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6242
FAX: (860) 628-8669
11.

TOWN SEWER DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6233
FAX: (860) 628-8669
12.

POLICE DEPARTMENT
69 LAZY LANE
SOUTHINGTON, CT 06489
PHONE: (860) 621-0103

STATE INFORMATION

1.

CONNECTICUT HIGHWAY DEPT.
OFFICE OF SPECIAL SERVICES & PERMITS
1107 CROMWELL AVENUE
ROCKY HILL, CT 06067
(860) 258-4541
2.

STATE D.E.P.
79 ELM STREET
HARTFORD, CT 06106
(860) 424-3245

MISCELLANEOUS

1.

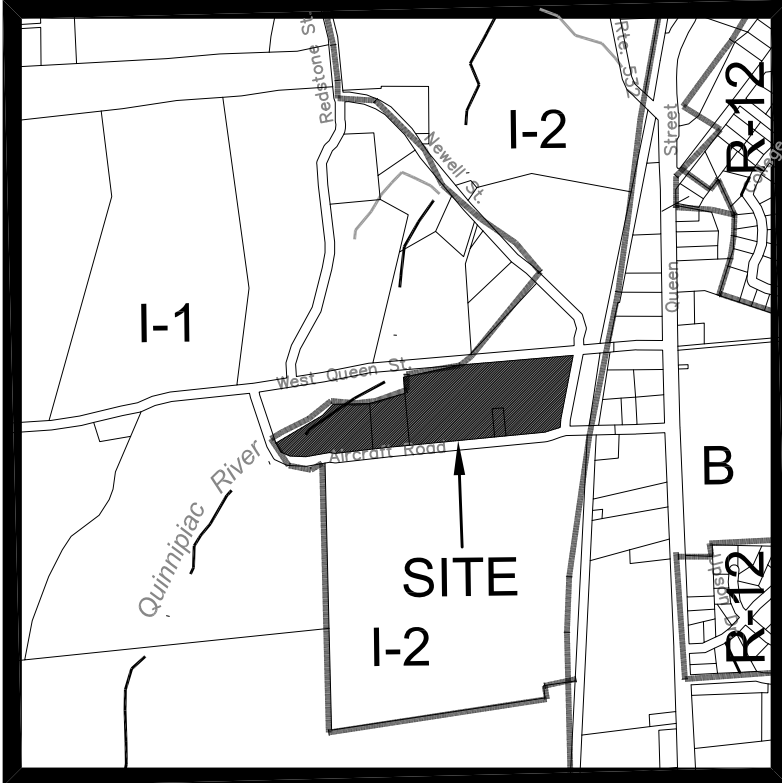
CALL BEFORE YOU DIG
(800) 922-4455

SITE PLANS PREPARED FOR
THE PYLE CORPORATION



LIST OF DRAWINGS

C-1	- COVER SHEET	N.T.S.
E-1	- EXISTING CONDITIONS MAP & DEMOLITION PLAN (SHEET 1 OF 2)	40 SCALE
E-2	- EXISTING CONDITIONS MAP & DEMOLITION PLAN (SHEET 2 OF 2)	40 SCALE
S-1	- OVERALL LAYOUT	60 SCALE
L-1	- LAYOUT & LANDSCAPING PLAN (SHEET 1 OF 2)	40 SCALE
L-2	- LAYOUT & LANDSCAPING PLAN (SHEET 2 OF 2)	40 SCALE
G-1	- GRADING & EROSION CONTROL PLAN (SHEET 1 OF 2)	40 SCALE
G-2	- GRADING & EROSION CONTROL PLAN (SHEET 2 OF 2)	40 SCALE
D-1	- SITE DETAILS	N.T.S.
D-2	- SITE DETAILS	N.T.S.
D-3	- WATER DETAILS	N.T.S.



KEYMAP: SCALE: 1"=1000'

Disclaimer:
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REVISION-4:	
REVISION-3:	
REVISION-2:	
REVISION:	
PROJECT:	
DB: MPT	SR: ---
DR: ---	

kratzerth Jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

COVER
SHEET

for
THE PYLE
CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.
1755 MERIDEN-WATERBURY RD.
P.O. BOX 337
MILDALE, CT 06467
TEL. (860) 621-3638
FAX (860) 621-9609
EMAIL: info@kratzerthjones.com
www.kratzerthjones.com

kratzerth Jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS • SITE PLANNERS
BUILDING ENGINEERS

SCALE: N.T.S.
DATE: NOVEMBER 10, 2022

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

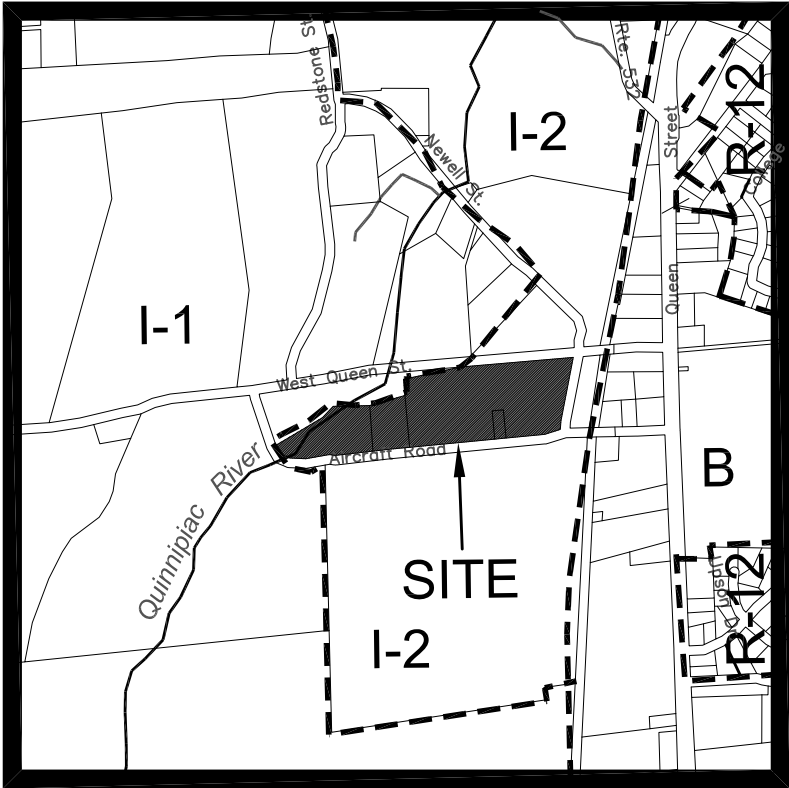
KJA FILE NO. :
221-122
DRAWING NO. :
C-1

DEMOLITION NOTES:

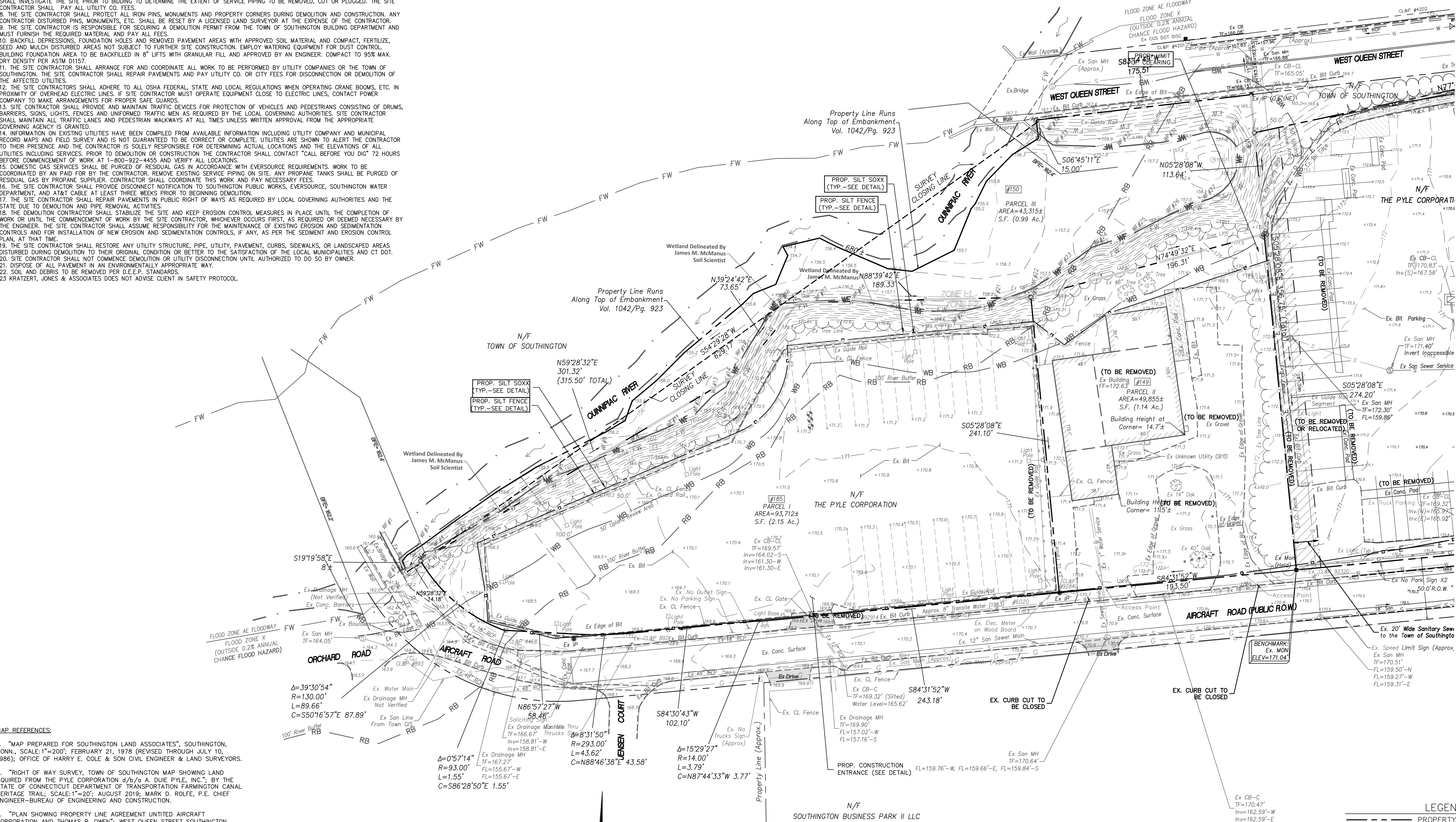
1. ALL BUILDING, INCLUDING FOUNDATION WALLS AND FOOTINGS SHALL BE REMOVED FROM SITE. SITE CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
2. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE IN PLACE PRIOR TO START OF DEMOLITION OR CLEARING AND GRUBBING OPERATIONS.
3. REMOVE AND DISPOSE ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF-SITE LANDFILL.
4. THE SITE CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND DISPOSAL OF DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE SITE CONTRACTOR SHALL PAY PERMIT FEES AS REQUIRED ON-SITE AND IN STATE R.O.W. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
5. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
6. THE SITE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
7. THE SITE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ANY SERVICE PIPING TO BE DEMOLISHED AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE SITE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE SITE CONTRACTOR SHALL PAY ALL UTILITY CO. FEES.
8. THE SITE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
9. THE SITE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF SOUTHTON BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED MATERIAL AND PAY ALL FEES.
10. BACKFILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED PAVEMENT AREAS WITH APPROVED SOIL MATERIAL AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
11. BUILDING FOUNDATION AREA TO BE BACKFILLED IN 8" LIFTS WITH GRANULAR FILL AND APPROVED BY AN ENGINEER. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557.
12. THE SITE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE ALL WORK TO BE PERFORMED BY UTILITY COMPANIES OR THE TOWN OF SOUTHTON. THE SITE CONTRACTOR SHALL REPAIR PAVEMENTS AND PAY UTILITY CO. OR CITY FEES FOR DISCONNECTION OR DEMOLITION OF THE AFFECTED UTILITIES.
13. THE SITE CONTRACTORS SHALL ADHERE TO ALL OSHA FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANE BOOMS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF SITE CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFE GUARDS.
14. SITE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. SITE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
15. INFORMATION ON EXISTING UTILITIES HAVE BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND THE ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-922-4455 AND VERIFY ALL LOCATIONS.
16. DOMESTIC GAS SERVICES SHALL BE PURGED OF RESIDUAL GAS IN ACCORDANCE WITH EVERSOURCE REQUIREMENTS. WORK TO BE COORDINATED BY AN PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
17. THE SITE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO SOUTHTON PUBLIC WORKS, EVERSOURCE, SOUTHTON WATER DEPARTMENT, AND AT&T CABLE AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
18. THE SITE CONTRACTOR SHALL REPAIR PAVEMENTS IN PUBLIC RIGHT OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE STATE DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
19. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF NEW EROSION AND SEDIMENTATION CONTROLS, IF ANY, AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
20. THE SITE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE LOCAL MUNICIPALITIES AND CT DOT.
21. DISPOSE OF ALL PAVEMENT IN AN ENVIRONMENTALLY APPROPRIATE WAY.
22. SOIL AND DEBRIS TO BE REMOVED PER D.E.P. STANDARDS.
23. KRATZERT, JONES & ASSOCIATES DOES NOT ADVISE CLIENT IN SAFETY PROTOCOL.

MAP REFERENCES:

1. "MAP PREPARED FOR SOUTHTON LAND ASSOCIATES", SOUTHTON, CONN., SCALE:1"=200'; FEBRUARY 21, 1978 (REVISED THROUGH JULY 10, 1986); OFFICE OF HARRY E. COLE & SON CIVIL ENGINEER & LAND SURVEYORS.
2. "RIGHT OF WAY SURVEY, TOWN OF SOUTHTON MAP SHOWING LAND ACQUIRED FROM THE PYLE CORPORATION d/b/a A. DUJE PYLE, INC."; BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FARMINGTON CANAL HERITAGE TRAIL; SCALE:1"=20'; AUGUST 2019; MARK D. ROLFE, P.E. CHIEF ENGINEER-BUREAU OF ENGINEERING AND CONSTRUCTION.
3. "PLAN SHOWING PROPERTY LINE AGREEMENT UNTIED AIRCRAFT CORPORATION AND THOMAS R. OWEN", WEST QUEEN STREET SOUTHTON, CONN.; SCALE:1"=40'; JUNE, 1966; PETERSON & HOFFMAN SUCCESSORS TO SPENCER & WASHBURN, INC.
4. "MAP SHOWING LAND TO BE ACQUIRED BY THOMAS R. OWEN", SOUTHTON, CONN.; SCALE:1"=40'; DECEMBER 4, 1970; OFFICE OF HARRY E. COLE ENGINEERS AND LAND SURVEYORS, 146 MERIDEN AVE., SOUTHTON, CONN.
5. "SKETCH OF A PORTION OF LAND OF PETER ZARELLA", SOUTHTON, CONN.; SCALE:1"=100'; MARCH 1955; W.C. LEFEWRE, C.E.
6. "TOWN OF SOUTHTON WEST QUEEN STREET PUMP STATION SITE", SCALE:1"=20'; DEC. 1977; A.J. TRANQUILLO, P.E.
7. "EXHIBIT C, DECLARATION OF ENVIRONMENTAL LAND USE RESTRICTION AND GRANT OF EASEMENT, LAND OF SOUTHTON BUSINESS PARK, LLC, 75 AIRCRAFT ROAD, SOUTHTON, CONNECTICUT; SCALE:1"=50'; 6/10/11; CONKLIN & SOROKA, INC.
8. "MAP PREPARED FOR ARTHUR AND JULIA OGONOWSKI, SOUTHTON, CONN."; SCALE:1"=40'; JULY, 1965; OFFICE OF HARRY E. COLE LAND SURVEYOR.
9. "MAP SHOWING PROPOSED STREET LINES, WEST QUEEN STREET, SOUTHTON, CONN."; SCALE:1"=40'; DECEMBER 1968; KRATZERT & JONES, CIVIL ENGINEERS & LAND SURVEYORS.
10. "PROPERTY MAP FOR FREIGHT TRANSFER SERVICE STATION & MAINTENANCE SHOP FOR A. DUJE PYLE", #87 AIRCRAFT ROAD SOUTHTON, CT; SCALE:1"=40'; APRIL 8, 2022; KRATZERT & JONES ASSOCIATES, INC.



KEYMAP: SCALE: 1"=1000'



NOTES:

1. PARCEL OWNERS: THE PYLE CORPORATION & A DUJE PYLE INC
2. AREA: SEE MAP
3. ADDRESS: 87, 149, & 185 AIRCRAFT RD. & 150 WEST QUEEN ST
4. ZONE: I-2 (SEE ZONING TABLE)
5. CONTOUR INTERVAL = 1'
6. ELEVATIONS BASED ON: NAVD88
7. TOPOGRAPHY IS FROM FIELD SURVEY
8. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
9. PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
10. SITE LOCATED IN "FLOOD ZONE: AE" AND "FLOOD ZONE: X" ACCORDING TO FEMA FLOOD MAP AREA NUMBER: 090030C469G, EFFECTIVE ON 05/16/2017

ZONING TABLE	
ZONE - I-2 (PUBLIC WATER AND SEWER AVAILABLE) SECTION 5-00-13	
	REQUIRED
LOT AREA	20,000 SF
LOT FRONTAGE	100'
LOT COVERAGE	50%
FRONT YARD SETBACK	30'
SIDE YARD SETBACK	15'
REAR YARD SETBACK	20'
BUILDING HEIGHT	65'

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

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LEGEND	
	PROPERTY LINE
	IRON PIN TO BE SET
	EXISTING IRON PIN
	MONUMENT TO BE SET
	EXISTING MONUMENT
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING LIGHT
	EXISTING HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING MONITORING WELL
	EX. EDGE OF ROAD
	EX. EDGE OF ROAD (CURBED)
	EX. EDGE OF DRIVEWAY
	EX. SANITARY SEWER LINE
	EX. WATER LINE
	EX. GUIDE RAIL
	EX. CONTOUR

REVISION-7:
REVISION-6:
REVISION-5:
REVISION-4:
REVISION-3:
REVISION-2:
REVISION-1:
PROJECT: 221122-GEIS
DB: NRA SR: --- DR: ---
SCALE:
SURVEY NOTES:
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES (CT SECTIONS 20-300b-1 TO 20-300b-20).
THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY.
BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
THIS SURVEY CONFORMS TO CLASS A-2/T-2.
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sokolnick
CT P.E. & L.S. #11302

kratzert, KJA
jones &
associates, inc.
CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS
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MILDALE, CT 06467-0337
PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

EXISTING
CONDITIONS MAP
&
DEMOLITION PLAN
(SHEET 1 OF 2)

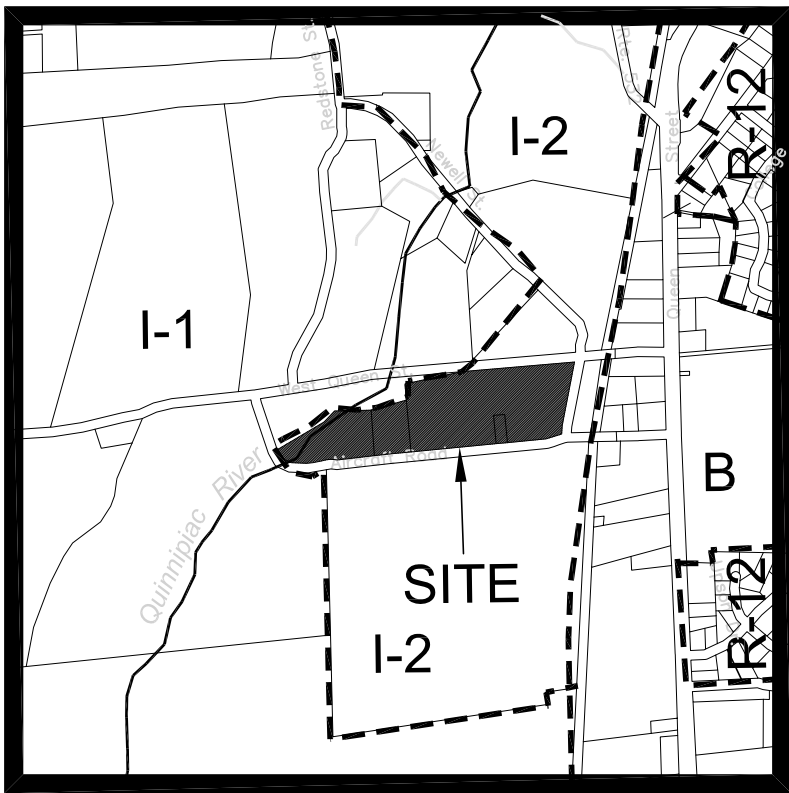
for
THE PYLE
CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHTON, CT

SCALE: 1"=40'
DATE: NOVEMBER 10, 2022
HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.:
DRAWING NO.:
221-122 E-1

ZONING TABLE		
ZONE - I-2 (PUBLIC WATER AND SEWER AVAILABLE)		
SECTION 5-00.13		
	REQUIRED	PROPOSED
LOT AREA	20,000 S.F.	
LOT FRONTAGE	100'	
LOT COVERAGE	50%	
FRONT YARD SETBACK	30'	
SIDE YARD SETBACK	15'	
REAR YARD SETBACK	20'	
BUILDING HEIGHT	65'	



KEYMAP: SCALE: 1"=1000'



REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	
REVISION-1:	
PROJECT: 221122-GEIS	
DB: NRA	SR: ---
DR: ---	
SCALE:	

James N. Sokanich
CT P.E. & L.S. #11302

kratzert, jones & associates, inc.
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OVERALL LAYOUT

for

THE PYLE CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: 1" = 60'

DATE: NOVEMBER 10, 2022

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.:

221-122

DRAWING NO.:

S-1

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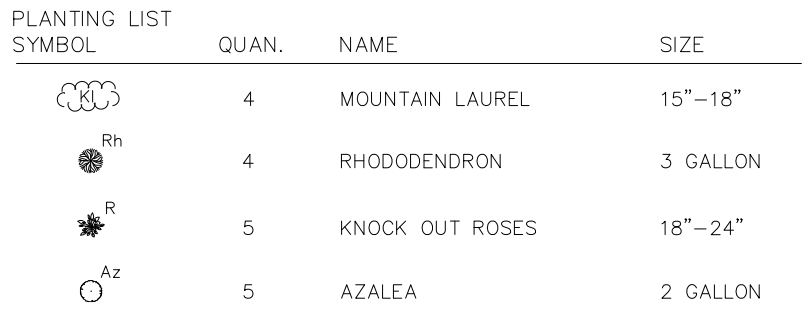
LEGEND

○	PROPERTY LINE	—	EX. STORM DRAINAGE
●	IP TO BE SET	—	PRO. STORM DRAINAGE
■	EXISTING IRON PIN	—	PRO. CATCH BASIN
□	PROPOSED MONUMENT	—	PRO. CATCH BASIN
—	EXIST. EDGE OF ROAD	—	STORM DRAINAGE MANHOLE
—	PRO. EDGE OF ROAD	—	SANITARY SEWER MANHOLE
—	EXISTING EDGE OF CURB	—	UTILITY POLE
—	PROPOSED DRIVEWAY	—	WATER GATE
—	PROPOSED DRIVEWAY	—	HYDRANT
—	GAS SERVICE	—	LIGHT POLE
—	SEWER SERVICE	—	DUMPSTER
—	WATER SERVICE	—	
—	ELECTRIC SERVICE	—	
—	EXISTING GAS VALVE	—	
—	MONITORING WELL	—	

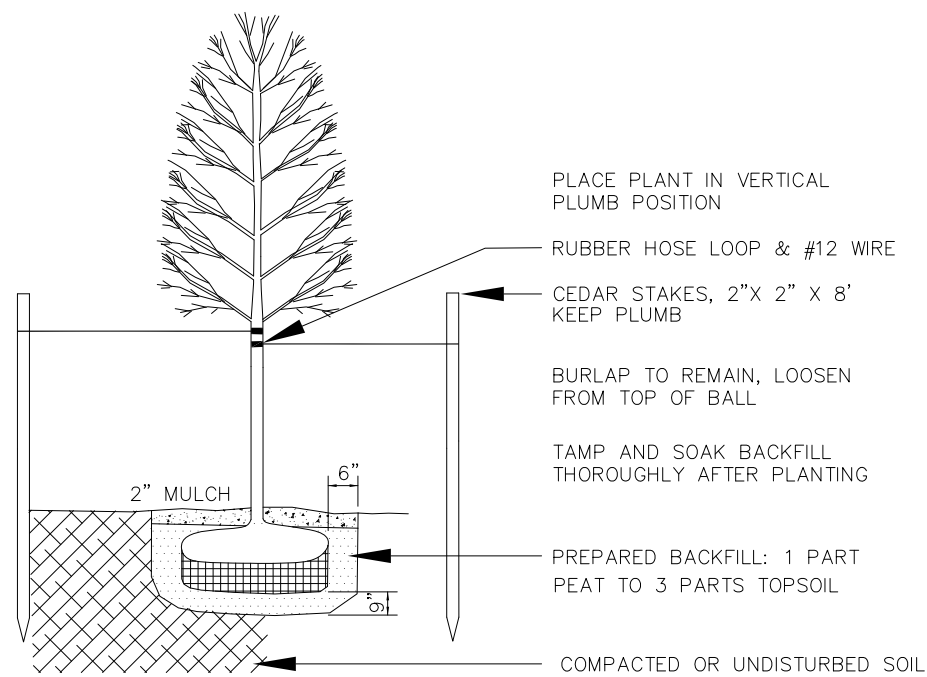
ZONING TABLE		
ZONE - 1-2 (PUBLIC WATER AND SEWER AVAILABLE)		
SECTION 5-00.13		
	<u>REQUIRED</u>	<u>PROPOSED</u>
LOT AREA	20,000 SF	471,723 SF*
LOT FRONTAGE	100'	2,815.57'
LOT COVERAGE	50%	20.5%
FRONT YARD SETBACK	30'	31.0'
SIDE YARD SETBACK	15'	N/A
REAR YARD SETBACK	20'	52.3'
BUILDING HEIGHT	65'	36.0'

* AREA EXCLUDES PARCEL III (150 WEST QUEEN STREET)

SHRUB PLANTING
N.T.S.



DECIDUOUS TREE PLANTING
N.T.S.

































PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
	2	SUGAR MAPLE	2 1/2" MIN. CALIPER
	3	PINK DOGWOOD	2 1/2" MIN. CALIPER
	3	PIN OAK	2 1/2" MIN. CALIPER
	6	BRADFORD PEAR	2 1/2" MIN. CALIPER
	5	FLOWERING CHERRY	2 1/2" MIN. CALIPER
	3	CRABAPPLE	2 1/2" MIN. CALIPER

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LEGEND

	PROPERTY LINE		EX. STORM DRAINAGE
	IP TO BE SET		PROP. STORM DRAINAGE
	EXISTING IRON PIN		EX. CONTOURS
	PROPOSED MONUMENT		PROP. CONTOURS
	EXISTING MONUMENT		SILT FENCE
	EXIST. EDGE OF ROAD		EX. CATCH BASIN
	PROP. EDGE OF ROAD		PROP. CATCH BASIN
	EXISTING EDGE OF CURB		STORM DRAINAGE MANHOLE
	PROPOSED EDGE OF CURB		SANITARY SEWER MANHOLE
	PROP. EDGE OF PAVEMENT		UTILITY POLE
	Gas SERVICE		WATER GATE
	SEWER SERVICE		HYDRANT
	WATER SERVICE		LIGHT POLE
	ELECTRIC SERVICE		DUMPSTER
	EXISTING GAS VALVE		
	MONITORING WELL		

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT: 221122-GEIS		
DB: NRA	SR: ---	DR: ---
SEAL:		

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert,  KJA
jones &
associates, inc.

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BURNS (2002) 264-3032

FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

LAYOUT &
LANDSCAPING
PLAN
(SHEET 1 OF 2)

for

THE PYLE
CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: 1" = 40'

DATE: NOVEMBER 10, 2022

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO. :

DRAWING NO. :

221-122

L-1

LANDSCAPING CHART

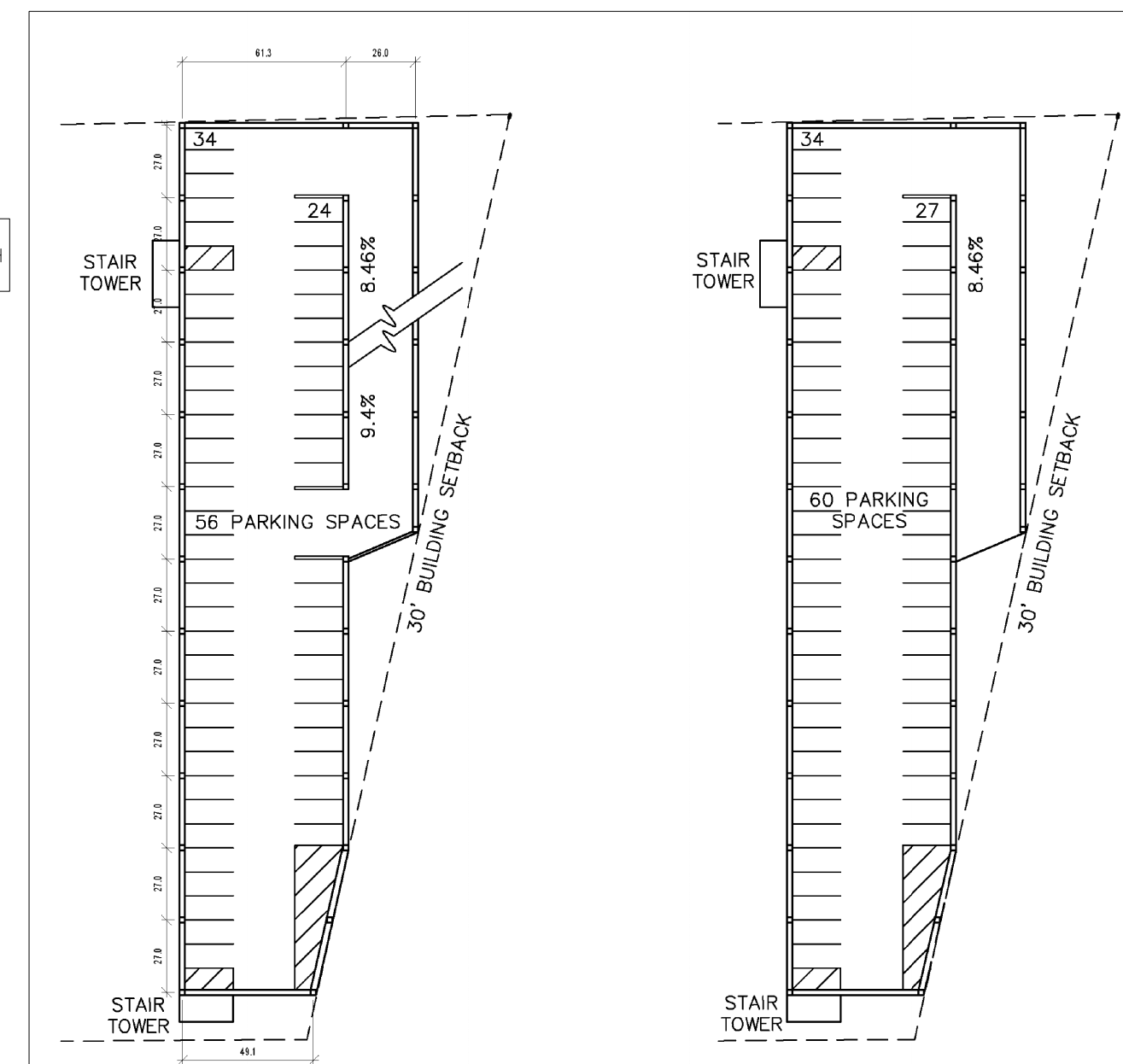
STREET TREES
STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.

4-07 STREET TREES

THE DEVELOPER SHALL LEAVE NOT LESS THAN TWO NATURALLY GROWING TREES HAVING 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT OR SHALL PLANT ONE TREE FOR EVERY 50 FEET OF LOT FRONTAGE OR FRACTION THEREOF, BUT NO LESS THAN TWO TREES FROM THE SUGGESTED STREET TREE LIST WITH 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT. THESE SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE STREET LINE TO A MAXIMUM OF 30 FEET FROM THE STREET LINE. STRAIGHT ROWS AND THE USE OF ONLY ONE VARIETY ARE TO BE AVOIDED, THE INTENT BEING TO CREATE A NATURAL MIXTURE OF APPROPRIATE SPECIES.1

LANDSCAPE NOTES

3. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
4. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE SHRUBS ARE SET AT THE SAME DEPTH AS THE SETTLEMENT OF GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN ORDER TO REMOVE AIR. ALLOW WATER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
5. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED ON ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
6. BARE AND DISTURBED AREAS SHALL BE SEEDDED, IF NOT NOTED FOR TURF. SEED TO BE OF THE BEST QUALITY AND SHALL BE APPROVED BEFORE USE.
7. ALL PLANTINGS INCLUDING SEED MIXES SHALL BE NATIVE.



M:\21\221122-GEIS\dwg\87 AIRCRAFT ROAD.dwg
 AUTHOR: J-2 DATE: MAY 08 2021 10:17 AM

EROSION AND SEDIMENTATION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE. FOR THOSE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED. ANNUAL RYEGRASS MAY BE UTILIZED OR AN APPROVED EQUAL.
2. SLOPES SHALL BE RESTRICTED TO 2" HORIZONTAL/1" VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4" MIN.) AND SEEDED OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENTATION CONTROL HANDBOOK.
5. THE APPLICATION AND SPECIFIC DETAILS OF THE EROSION AND SEDIMENTATION CONTROL SHALL FOLLOW THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED JANUARY 1985 AS AMENDED TO DATE.
6. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
7. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE TOWN PLANNER AND/OR THE TOWN ENGINEER.
8. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
9. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION. PLOT PLANS FOR INDIVIDUAL LOTS SHALL CONTAIN DETAILED DELINEATION OF SILTATION BARRIERS INCLUDING ANY ADDITIONAL EROSION CONTROLS AS DEMED NECESSARY FOR EACH LOT.
10. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY UNFORSEEN FIELD CONDITIONS.
11. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
12. KEVIN WATTS OR DULY AUTHORIZED AGENT (440) 454-5195 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
13. KEVIN WATTS OR DULY AUTHORIZED AGENT (440) 454-5195 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
14. SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
15. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE.
16. PURSUANT TO THE REGULATIONS, A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEEDED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.

STANDARD SITE PLAN NOTES:

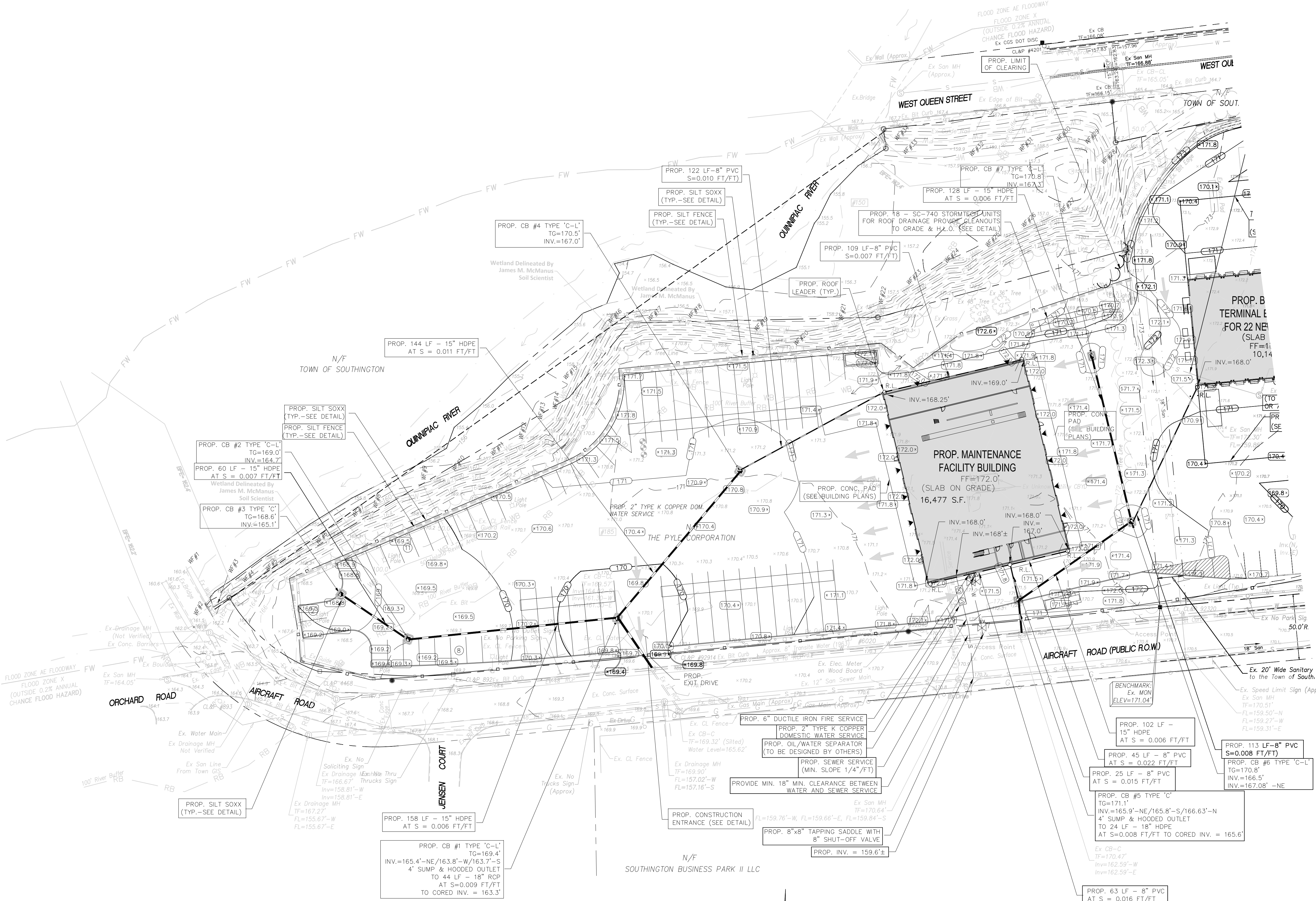
1. PARCEL OWNERS: THE PYLE CORPORATION & A DUE PYLE INC.
2. ADDRESS: 87, 149, & 185 AIRCRAFT RD. & 150 WEST QUEEN ST.
3. CONTOUR INTERVAL = 1'
4. ELEVATIONS BASED ON: NAVD83
5. TOPOGRAPHY IS FROM FIELD SURVEY.
6. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
7. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
8. LOT AREA = SEE MAP
9. PROPERTY IS LOCATED IN ZONE I-2 (SEE ZONING TABLE).
10. ALL CONSTRUCTION SHALL CONFORM TO CONN. DOT 818
11. SEE ZONING TABLE FOR PARKING REQUIREMENTS.
12. LOT COVERAGE = 20.5% (ALLOWED = 50%)
13. PRESENT LAND USE: TRUCKING TERMINAL
14. PROPOSED LAND USE: TRUCKING TERMINAL
15. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT 276-6248 AND 276-6231, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
16. ALL WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
17. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE WORK IS COMPLETED, OR WHEN SPECIFICALLY APPROVED BY THE PLANNING AND ZONING COMMISSION.
18. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS IF ANY.
19. GROUNDWATER ZONE GA
20. ALL PROPOSED LIGHTS TO BE RECESSED FULL CUTOFF FIXTURES WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS. BUILDING LIGHTS TO BE DIRECTED TOWARDS THE GROUND AND ALL FLOOD LAMPS TO BE FULL CUTOFF WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
21. EXISTING BUILDING FOOTPRINT (TO REMAIN) = 46,395 S.F.
22. PROP. BUILDING TERMINAL EXPANSION FOOTPRINT = 10,140 S.F.
23. PROP. MAINTENANCE FACILITY FOOTPRINT = 16,477 S.F.
24. PROP. PARKING STRUCTURE FOOTPRINT = 23,790 S.F.
25. TOTAL BUILDING FOOTPRINTS = 96,810 S.F.
26. STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.
27. WHENEVER CONCRETE SIDEWALKS ADJUT ASPHALT, A CONCRETE CURB IS REQUIRED.
28. EXISTING WATER AND SEWER SERVICE TO BE USED FOR PROPOSED MAINTENANCE BUILDING AND EXISTING TERMINAL BUILDING.
29. PROPOSED PARKING STRUCTURE TO HAVE NO SEWER OR WATER SERVICE.
30. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO BE REPAIRED TO TOWN STANDARDS.
31. ALL DEWATERING SHALL INCORPORATE THE USE OF FILTER BAGS ON DISCHARGE ENDS.
32. ALL CATCH BASINS TO BE INSPECTED AND CLEANED BI-ANNUALLY.
33. ALL PAVED AREAS TO BE SWEEP BI-ANNUALLY.
34. MATERIAL TO BE DISPOSED OF IN AN ENVIRONMENTALLY FRIENDLY MANNER.
35. NO FUEL PUMPS PROPOSED ON SITE.
36. APPLICANT TO ACQUIRE STATE D.E.P. PERMIT FOR BUILDING FLOOR DRAINS.
37. ALL CATCH BASINS SHALL HAVE 2" SUMPS AND MIN. 2" COVER OVER PIPES.
38. HOURS OF OPERATION: SUNDAY 11 P.M. - SATURDAY 2 A.M.
39. WALKS WERE PREVIOUSLY WAIVED BY P.Z.C.

CONSTRUCTION SEQUENCE:

1. AN ON-SITE JOB MEETING TO DISCUSS AND PLAN IMPLEMENTATION OF EROSION CONTROLS SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
3. CALL BEFORE YOU DIG 1-800-922-4455.
4. GET APPROPRIATE PERMITS FOR DEMOLITION.
5. DISCONNECT UTILITIES AND REMOVE EXISTING STRUCTURES AND PAVEMENT.
6. DISPOSE OF MATERIAL OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
7. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
8. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
9. CONSTRUCT SITE UTILITIES, PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
10. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
11. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
12. FINISH GRADE SITE, SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
13. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
14. REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
15. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.

ZONING TABLE			
ZONE - I-2 (PUBLIC WATER AND SEWER AVAILABLE)			
	REQUIRED		
LOT AREA	20,000 SF		
LOT FRONTAGE	100'		
LOT COVERAGE	50%		
FRONT YARD SETBACK	30'		
SIDE YARD SETBACK	15'		
REAR YARD SETBACK	20'		
BUILDING HEIGHT	65'		

SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 SF
KENTUCKY BLUEGRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYEGRASS	45	1.00



REVISION-7:			
REVISION-6:			
REVISION-5:			
REVISION-4:			
REVISION-3:			
REVISION-2:			
REVISION-1:			
PROJECT:	221122-GEIS		
DB:	NRA	SR:---	DR:---
SCALE:			

"I hereby certify that this plan is in compliance with the Town of Southington Soil Erosion and Sedimentation control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature _____ Certification No. _____

"The Planning and Zoning Commission certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Southington Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature _____

Date of Approval _____

kratzert, KJA jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILLDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

GRADING & EROSION CONTROL PLAN (SHEET 1 OF 2)

for

THE PYLE CORPORATION

87, 149, & 185 AIRCRAFT RD,
& 150 WEST QUEEN ST
SOUTHINGTON, CT

SCALE: 1" = 40'

DATE: NOVEMBER 10, 2022

HALF	ONE INCH	TWO INCH

INCHES ON ORIGINAL

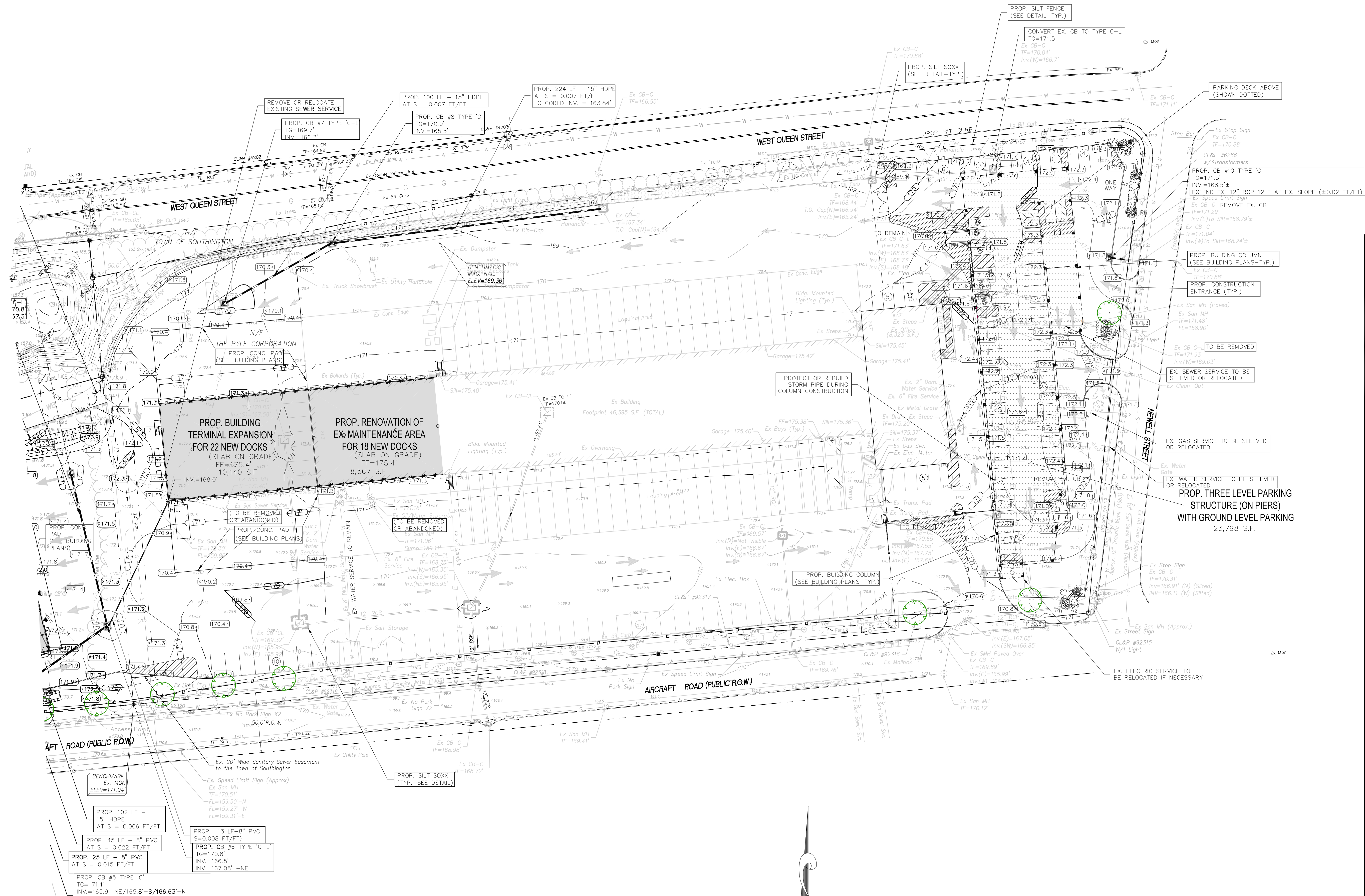
KJA FILE NO. : DRAWING NO. :

221-122 G-1

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

LEGEND			
---	PROPERTY LINE	---	EX. STORM DRAINAGE
•	IP TO BE SET	---	PROP. STORM DRAINAGE
•	EXISTING IRON PIN	---	EX. CONTOURS
•	PROPOSED MONUMENT	---	PROP. CONTOURS
•	EXISTING MONUMENT	---	SILT FENCE
---	EXIST. EDGE OF ROAD	---	EX. CATCH BASIN
---	PROP. EDGE OF ROAD	---	PROP. CATCH BASIN
---	EXISTING EDGE OF CURB	---	STORM DRAINAGE MANHOLE
---	PROPOSED EDGE OF CURB	---	SANITARY SEWER MANHOLE
---	PROP. EDGE OF PAVEMENT	---	UTILITY POLE
---	GAS SERVICE	---	WATER GATE
---	SEWER SERVICE	---	HYDRANT
---	ELECTRIC SERVICE	---	WATER SERVICE
---	EXISTING GAS VALVE	---	ELECTRIC SERVICE
---	MONITORING WELL	---	EXISTING GAS VALVE
---		---	LIGHT POLE
---		---	DUMPSTER



SEE NOTES ON SHEET G-1

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—	EXISTING MONUMENT
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---	PROP. EDGE OF ROAD
---	EXISTING EDGE OF CURB
---	PROPOSED EDGE OF CURB
---	PROP. EDGE OF PAVEMENT
G	GAS SERVICE
S	SEWER SERVICE
W	WATER SERVICE
E	ELECTRIC SERVICE
⊗	EXISTING GAS VALVE
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Signature _____

(Name) _____ Certification No. _____

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Date of Approval _____

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GRADING & EROSION CONTROL PLAN (SHEET 2 OF 2)

for

THE PYLE CORPORATION

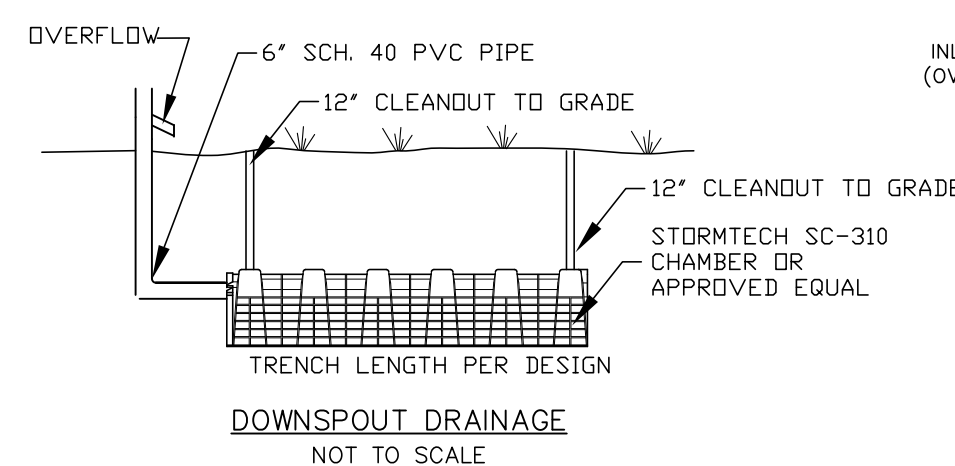
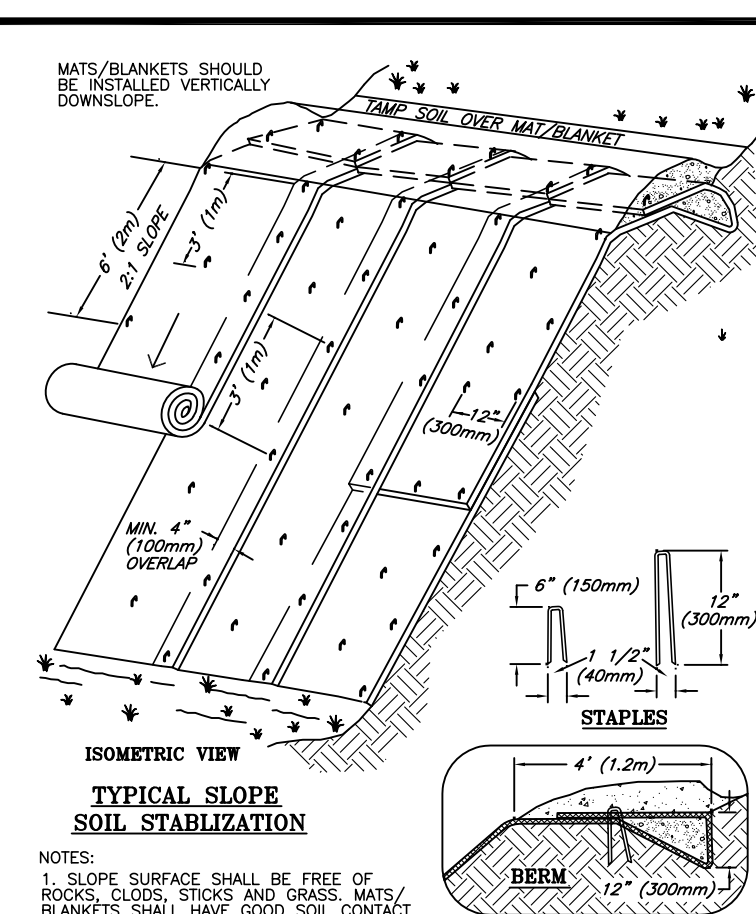
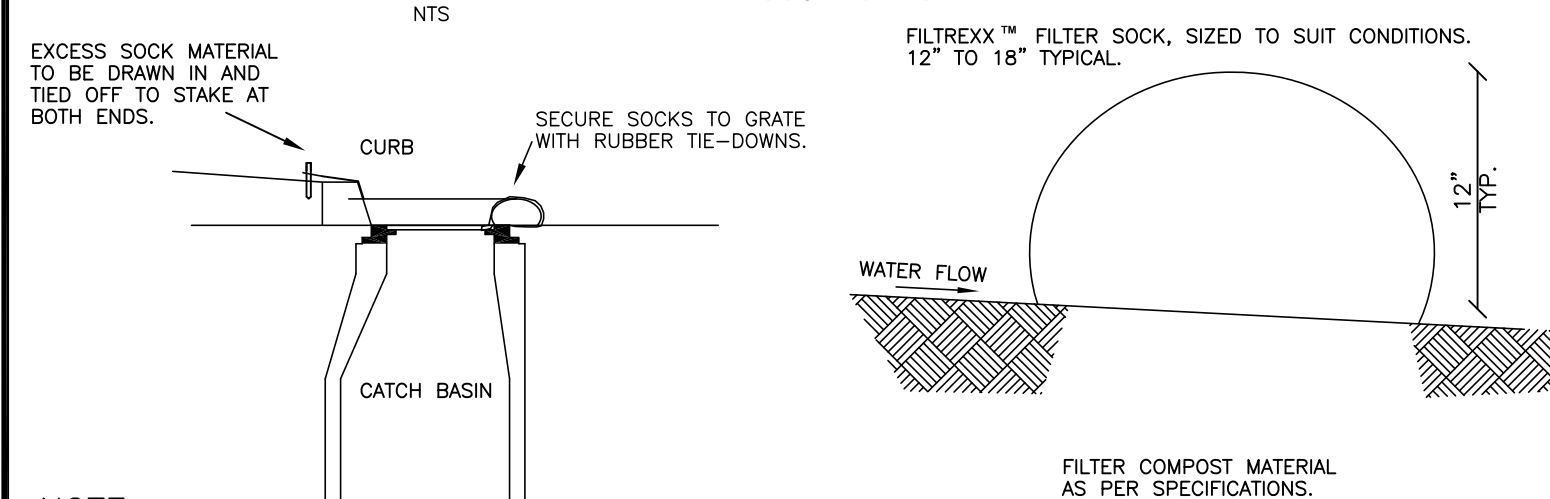
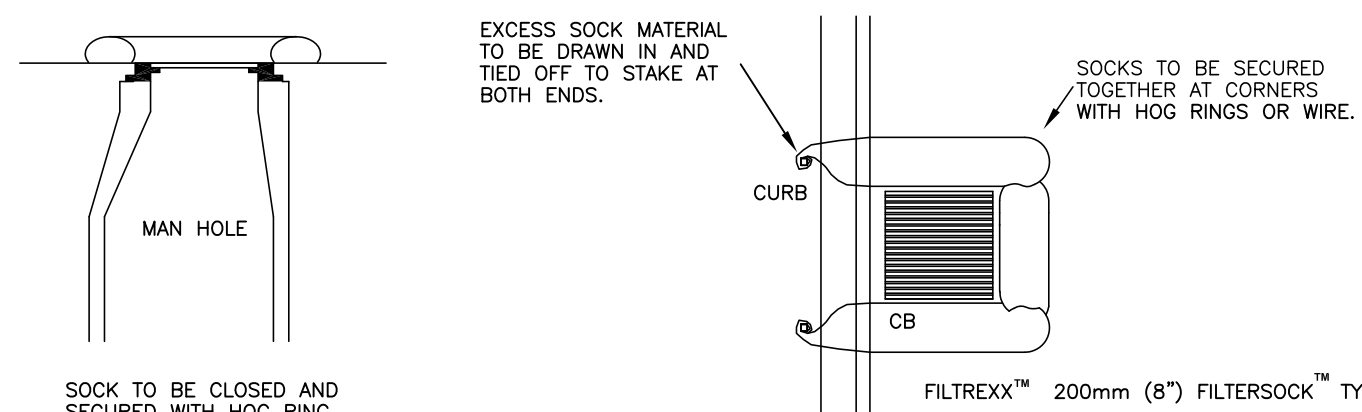
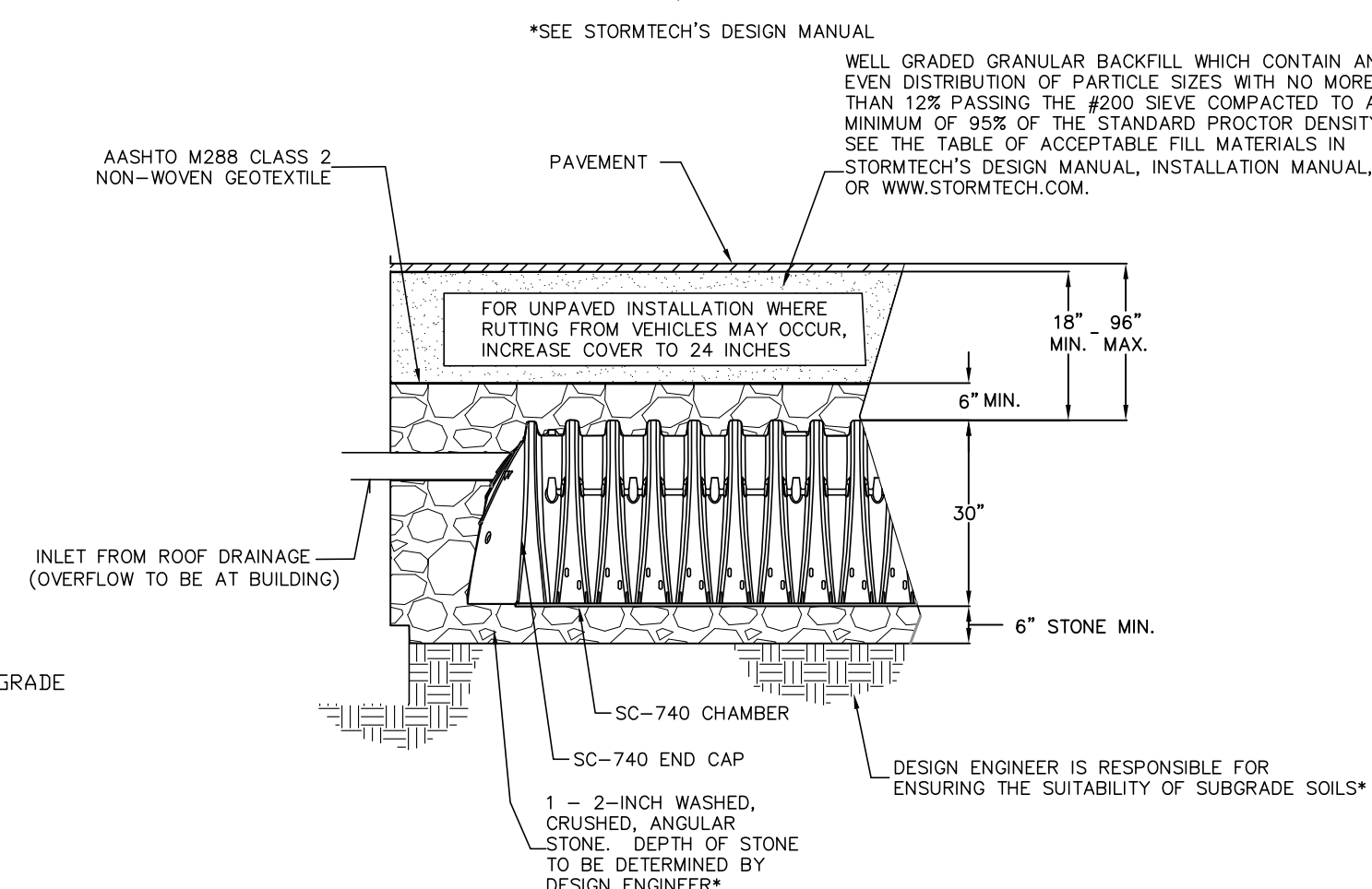
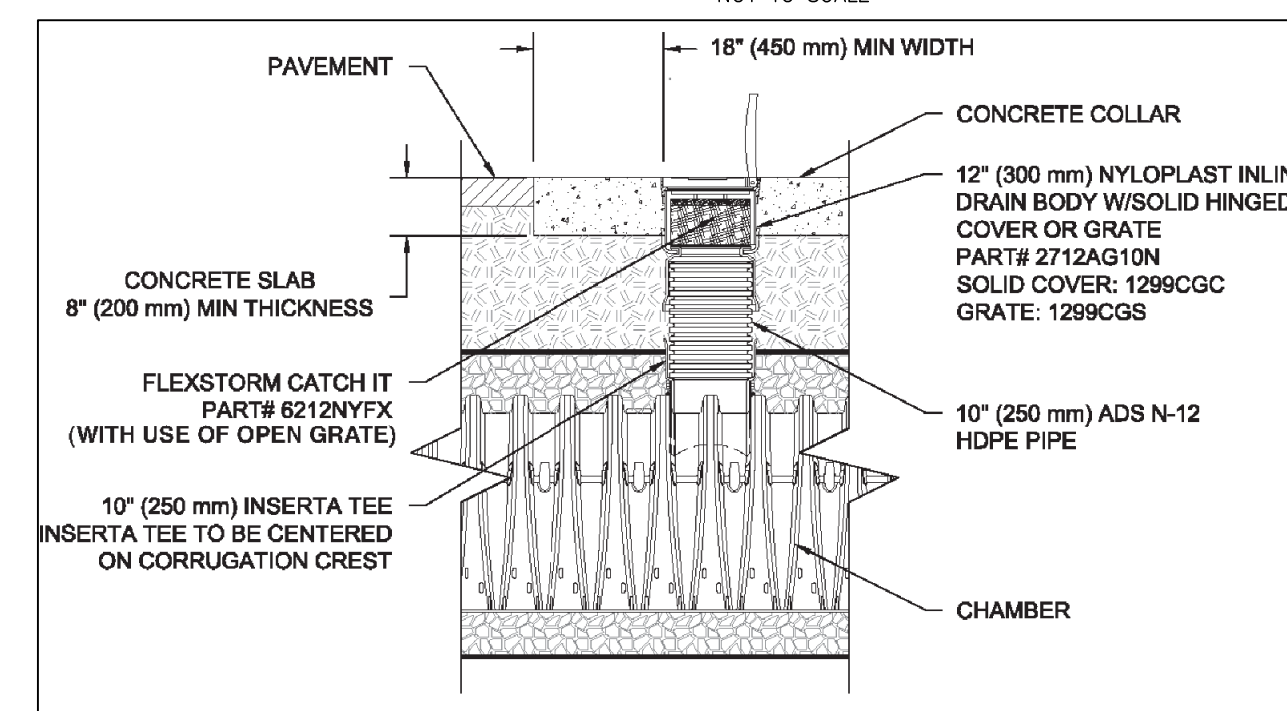
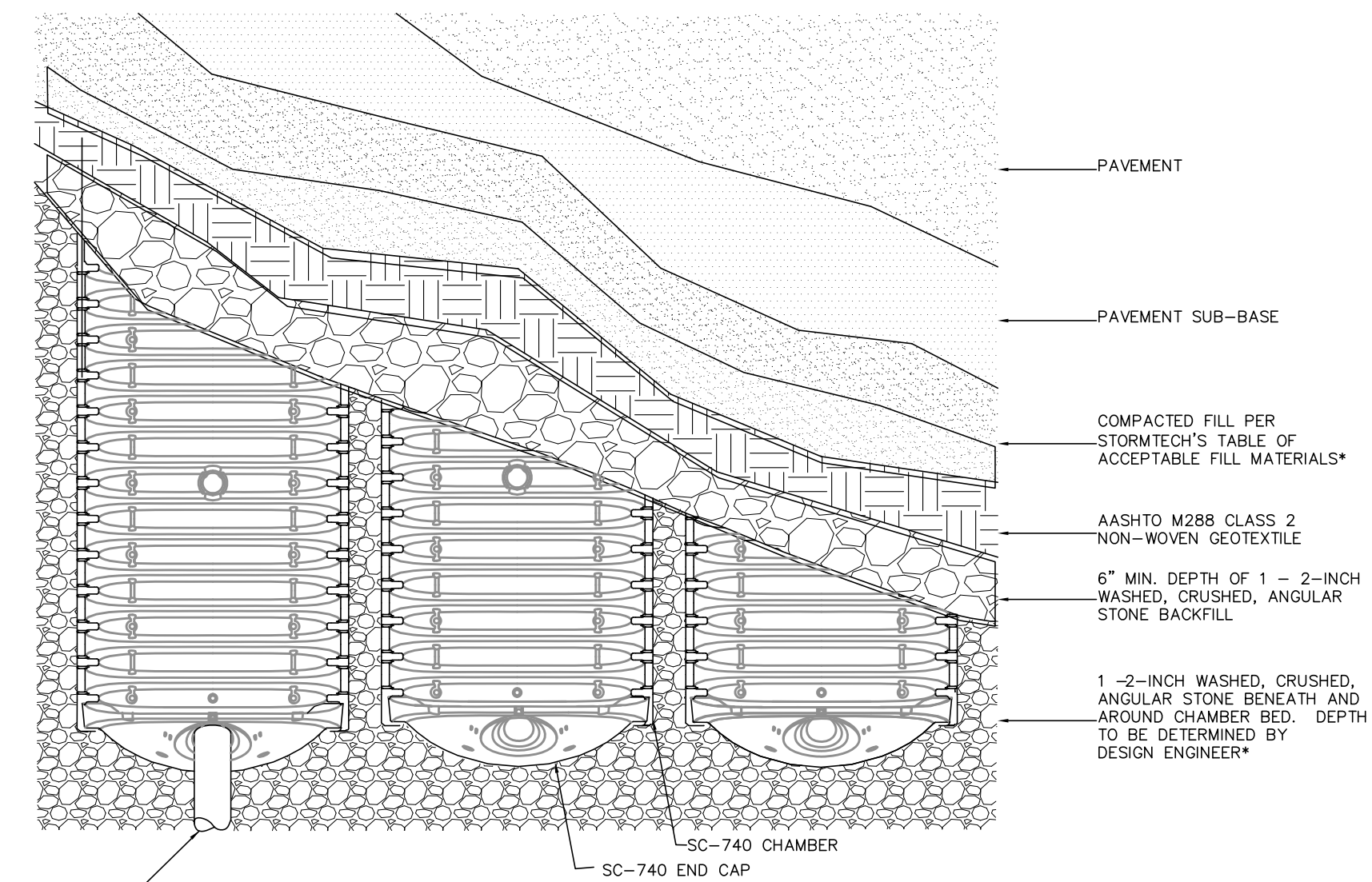
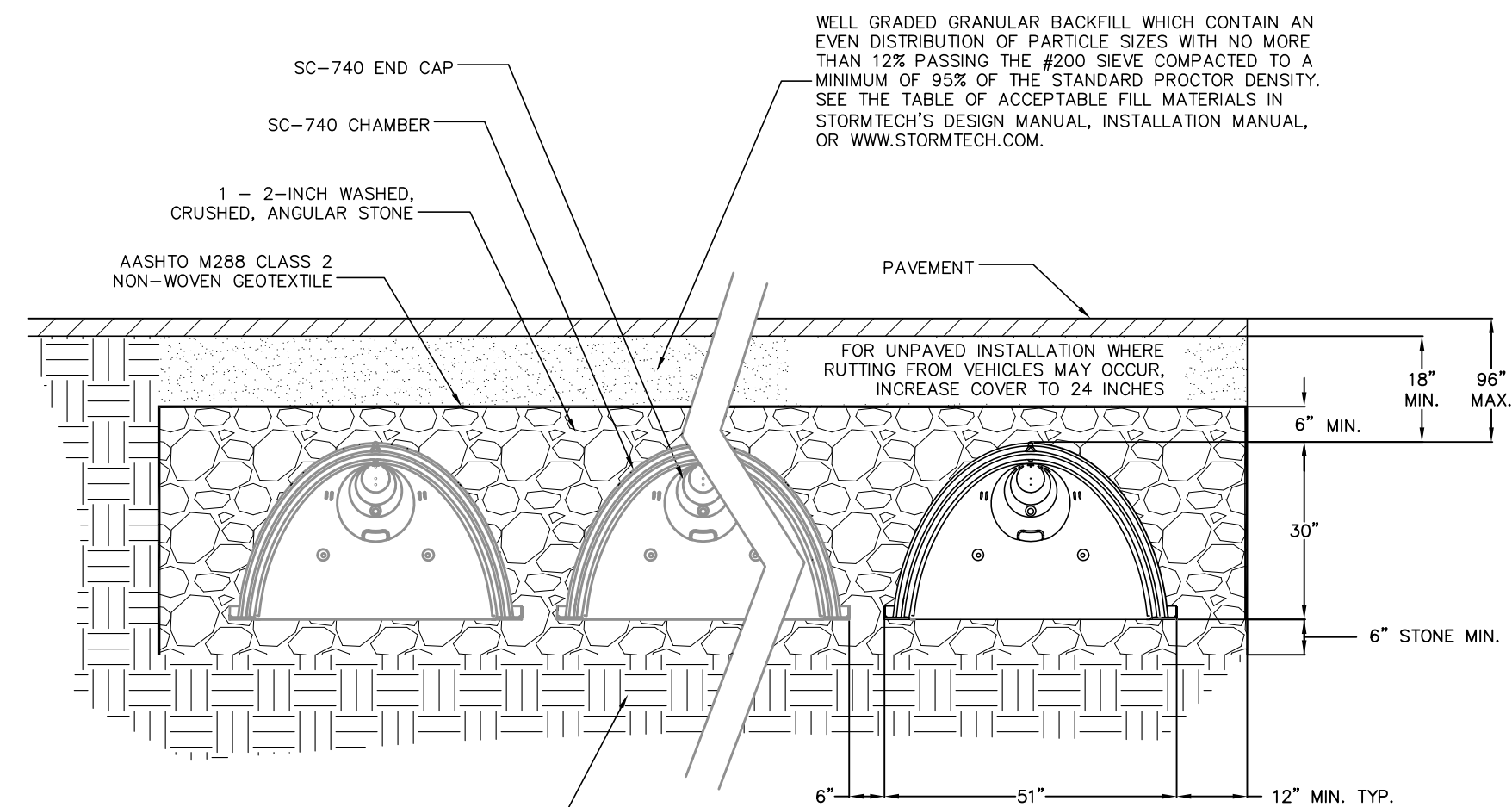
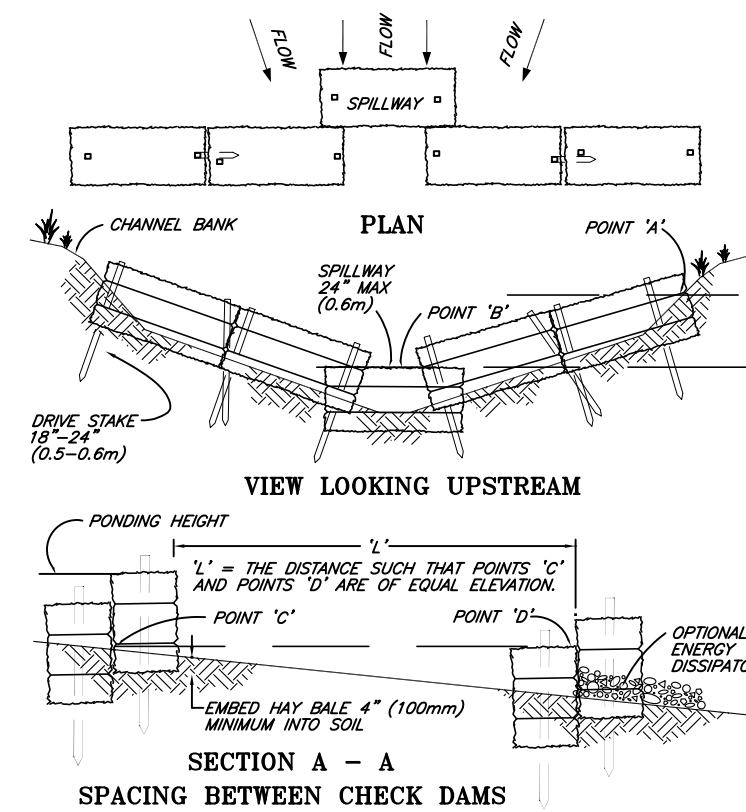
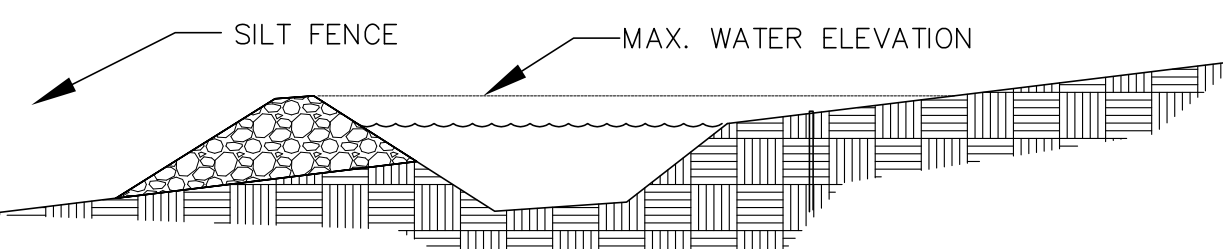
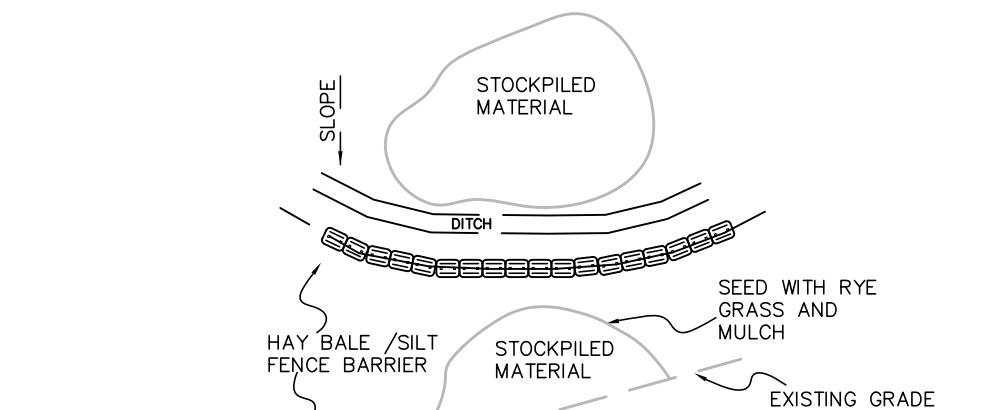
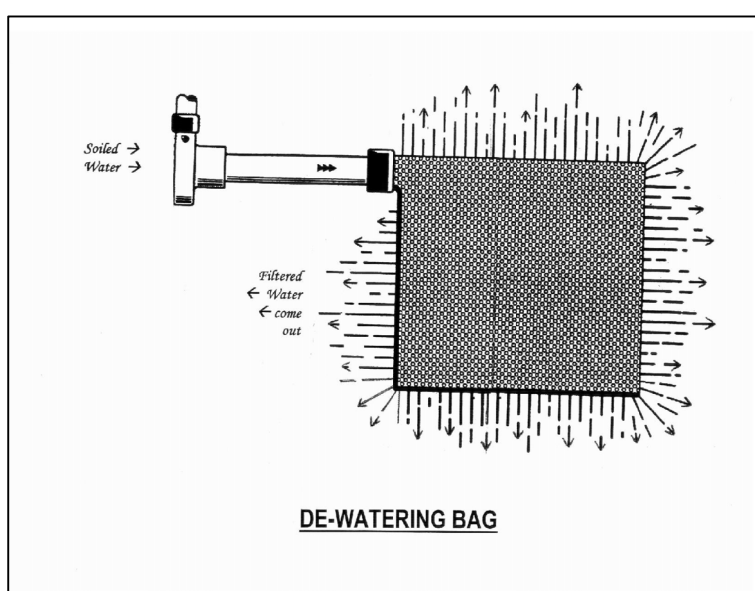
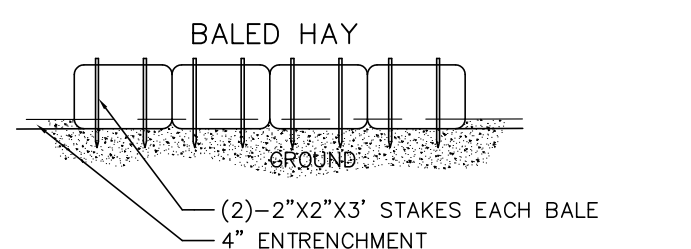
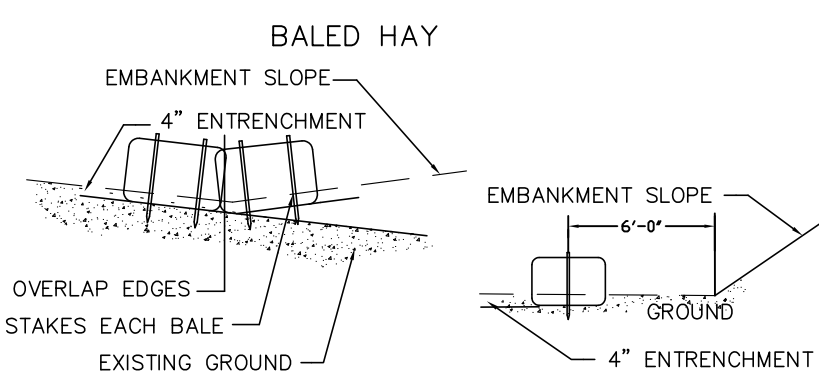
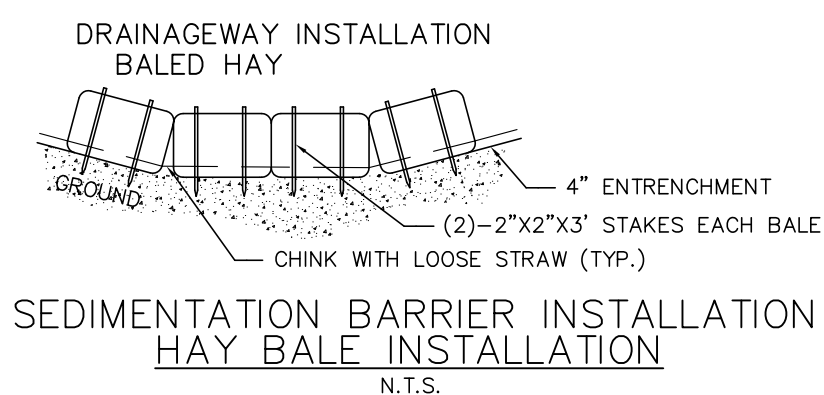
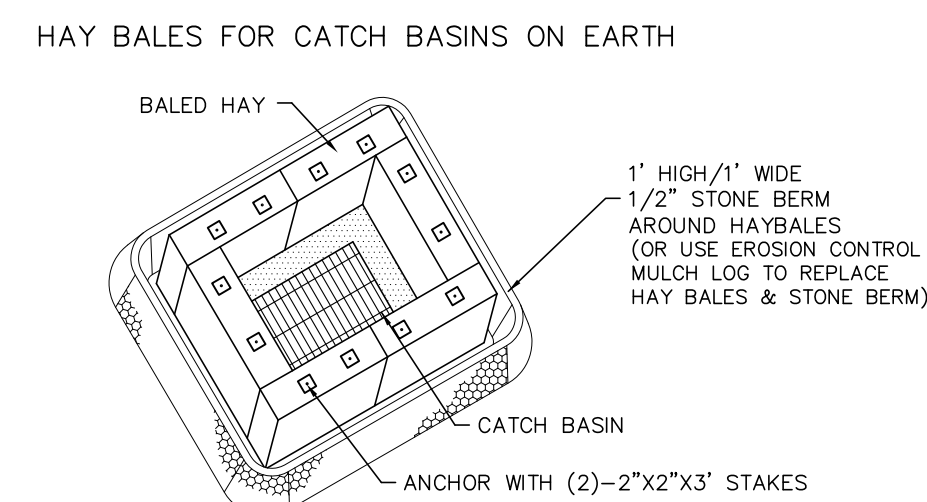
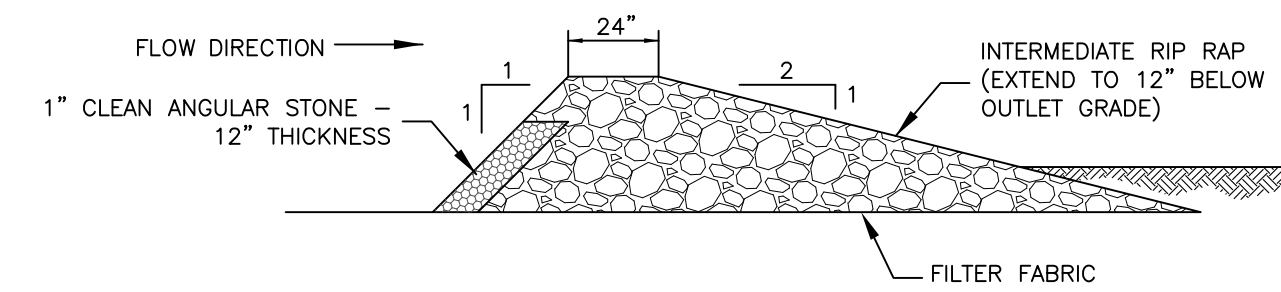
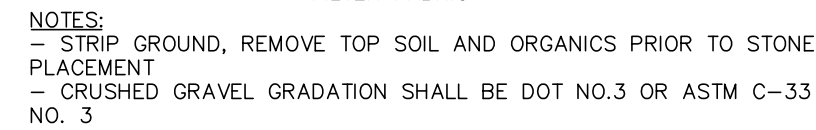
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REVISION:		
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REVISION-1:		
PROJECT: 221122		
DB:	SR:	DR:
MPT	---	---

NOT ALL DETAILS ON THIS
PLAN MAY BE APPLICABLE

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert,  KJA
jones &
associates, inc.

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SITE DETAILS

for

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CORPORATION

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