

NOTES:

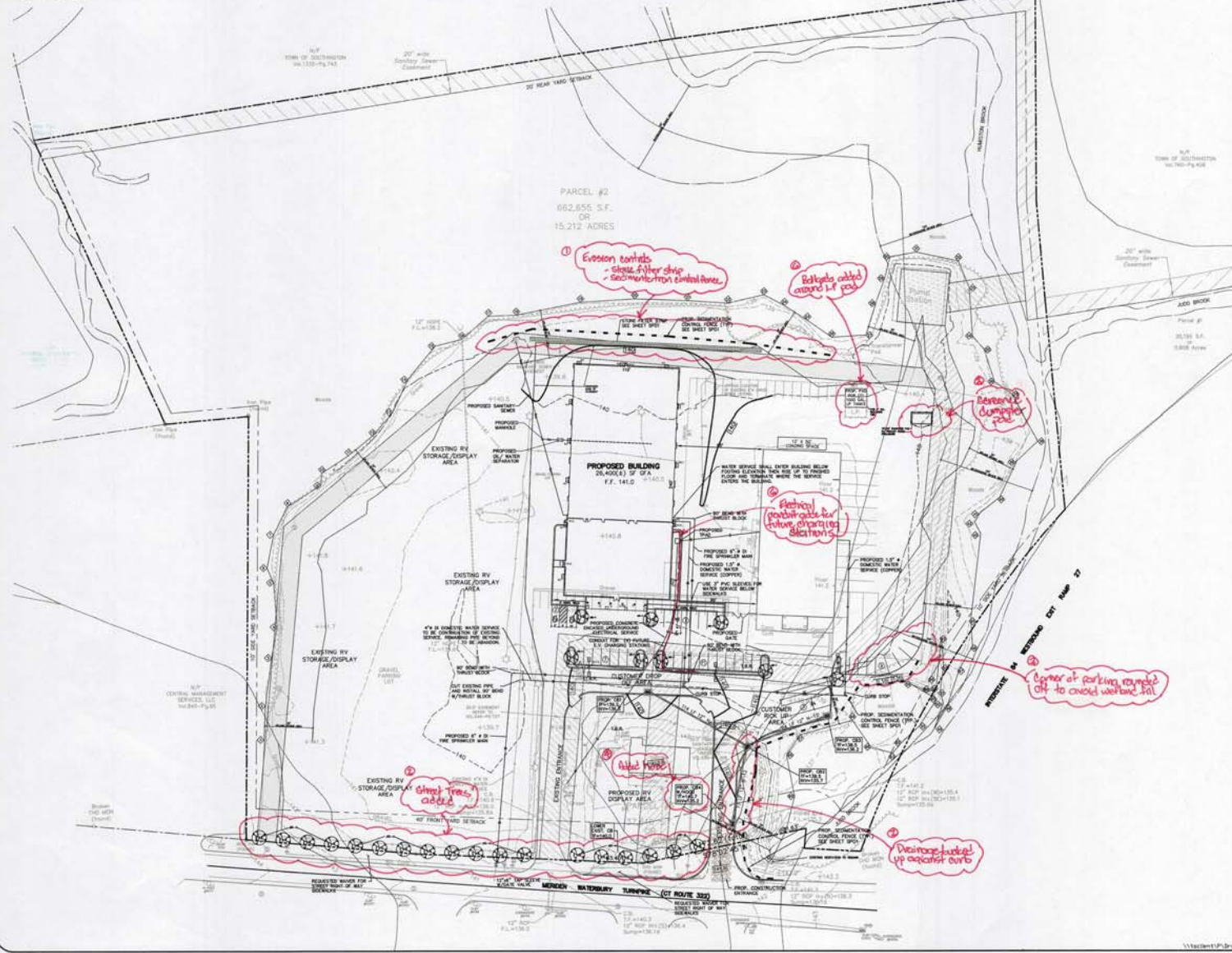
- 1) MAP REFERENCES: DRAWING ENTITLED "TOPOGRAPHICAL SURVEY" OWNED BY CONNECTICUT CAMPING CENTER LLC PREPARED BY TIMOTHY G. WILHELM, LAND SURVEYOR, BARNHARTMAN CONNECTICUT
- 2) OWNER/APPLICANT: CONNECTICUT CAMPING CENTER LLC P.O. BOX 556, WILDALE, CT 06447
- 3) REFER TO THE FOLLOWING DRAWINGS PREPARED BY BORGHESI BUILDING & ENGINEERING CO., INC. FOR OTHER PERTINENT INFORMATION:
 - SP2 1:30 SCALE SITE PLAN
 - SP3 PHOTOGRAPHIC PLAN
 - SP01 EROSION CONTROL NOTES & DETAILS
 - SP02 SITE DETAILS
- 4) ALL EXISTING UTILITY LOCATIONS ARE FROM THE BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD VERIFY ALL LOCATIONS, DIMENSIONS, & ELEVATIONS PRIOR TO CONSTRUCTION. PRIOR TO ANY EXCAVATION CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4450 TO MARK ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS.
- 5) ALL PROPOSED UTILITIES SHOWN ON THESE DRAWINGS ARE PRELIMINARY & THEREFORE SUBJECT TO CHANGE. FINAL LOCATIONS OF UTILITIES SHALL BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES (I.E. ALL, CH2M HILL, OR MUNICIPAL AUTHORITIES), & BASED UPON THEIR REVIEW & APPROVAL.
- 6) ALL CATCH BASINS SHALL BE TYPE "C" WITH 4" SIMPS, UNLESS OTHERWISE NOTED.
- 7) ALL DRAINAGE PIPING TO BE ADS N-12 OR APPROVED EQUAL UNLESS OTHERWISE INDICATED.
- 8) ALL PAVED AREAS SHALL BE CURBED WITH BRICK/MASONRY CONCRETE CURBING, EXCEPT WHERE CURBING ABOVE SIDEWALKS/MANHOLES CONCRETE CURB SHALL BE USED WHERE SIDEWALKS/RAVTS PARKING.
- 9) HANDICAPPED PARKING SPACES SHALL BE DESIGNATED WITH PAINTED PAVEMENT MARKINGS & ABOVE GRADE SIGNS IN ACCORDANCE WITH THE MOST CURRENT MUTCD & ITS ADDENDUMS, & SHALL COMPLY W/ CT STATE BLDG. CODE.

- 10) ALL SIGNS, SIGN MOUNTINGS, & PAINTED MARKINGS SHALL MEET THE REQUIREMENTS AS SET FORTH IN THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) & ITS ADDENDUMS.
- 11) ALL LIGHT FIXTURES SHALL BE FULL OUT-OF-FIXTURES WITH RECESSED LENSES ONLY.
- 12) WATER LINE FOR SPRINKLER SYSTEM SIZED BY OTHERS.
- 13) SITE IS IN A 100 YEAR FLOODPLAIN, FLOODPLAIN VARIES FROM EL. 142.0 TO 143.7.



LOCATION MAP
APPROX. SCALE: 1"=1000'

ZONING INFORMATION TABLE		
ZONE - B (BUSINESS)		
ASSESSOR'S INFO - PARCEL ID: 547, ADDRESS - 2123 MERIDIAN WATERBURY TRKE		
EXISTING USE OF PROPERTY - AUTO SALES AND SERVICE		
PROPOSED USE OF PROPERTY - SAME		
GROSS FLOOR AREA (GFA) OF PROPOSED BUILDING=28,400(S) SF		
GFA OF EXISTING BUILDING=14,300 (S) SF		
TOTAL=42,700(S) SF		
ITEM	REQUIRED	PROVIDED
MIN. LOT AREA	20,000 SF	700,300(S) SF (74.07(A) AL)
MIN. LOT WIDTH	150'	630'(A)
MIN. YARDS		
FRONT	40'	185'(A)
SIDE	10'	125'(A)
REAR	20'	295'(A)
MAX. HEIGHT	3 STOREY/42' (ALLOWED)	29' B
MAX. LOT COVERAGE	75% (ALLOWED)	40,500/700,300=5.78(A)
PARKING	3 per 1,000 SF GFA (3540=35 SPACES REQUIRED)	22 SPACES 2.8 SPACES SP# 38 SP#
LOADING	1 (10'X20' MIN)	1 (12'X50')
LANDSCAPING	20SF / PARKING SPACE	(38) SPACES X 20 = 760 SF AREA PROVIDED 4,160 SF



⑤ Parking meets landscaping ratio

① Erosion controls - slope filter strip - sedimentation control areas

② Bollards added around L.P. pad

③ Retain wall bump-out

④ Retain wall bump-out for future expansion

⑥ Corner of parking rounded off to avoid wetland fill

⑦ Added trees

⑧ Drainage banded up against curbs

SITE PLAN
SCALE: 1"=50'



SEAL

PROJECT: 2123 MERIDIAN WATERBURY TRKE, MARION, CT 06447
 DATE: 12/17/22
 SCALE: AS NOTED
 SHEET NO.: SP1

DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

SHEET NO.
SP1