

ANTHONY PROPERTIES DEVELOPMENT SOUTHINGTON

TOWN OF SOUTHWICHTON · CONNECTICUT
DECEMBER 7, 2022

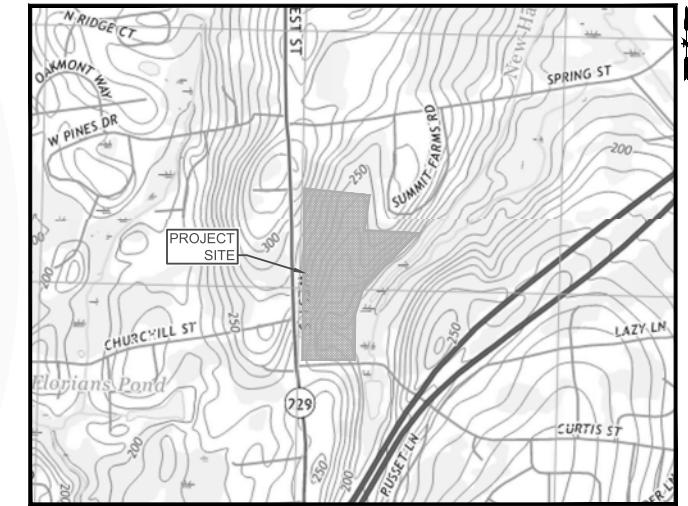
PREPARED FOR
ANTHONY PROPERTIES
12770 COIT ROAD, SUITE 970
DALLAS, TX 75251

PREPARED BY
FUSS&O'NEILL

146 HARTFORD ROAD
MANCHESTER, CONNECTICUT 06040
860.646.2460
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LOCATION MAP
SCALE: 1" = 2000'



PROJ. No. 2021-0063.A10
DATE: 12/07/2022

GI-001

CIVIL GENERAL NOTES

GENERAL

1. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
2. DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
3. PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
4. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDINGS AND ADJACENT SITE ELEMENTS INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY MARTINEZ COUCH & ASSOCIATES LLC TITLED BOUNDARY SURVEY, DATED 07/19/2022. FIELD SURVEY REPORT NUMBER: 2022-0719-0001. THESE LINES ARE BASED ON AN ACTUAL FIELD SURVEY CONDUCTED BY MARTINEZ COUCH & ASSOCIATES LLC, TITLED TOPOGRAPHIC SURVEY, EXISTING CONDITIONS PLAN, DATED 07/19/2022 ON THE GROUND.
6. TOPOGRAPHIC ELEVATIONS ARE BASED ON NAVD 88 DATUM.
7. WETLANDS WERE DELINEATED BY JOSHUA H. WILSON, A CERTIFIED SOIL SCIENTIST FROM FUSS & O'NEILL ON 11/01/2021, IN A REPORT TITLED ANTHONY PROPERTIES - WETLAND & WATERCOURSE APPLICATION WETLAND MAP AMENDMENT.

WORK RESTRICTIONS

1. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
2. WORK IS RESTRICTED TO THE HOURS OF TO THE HOURS 7AM TO 6PM ON MONDAY THROUGH FRIDAY.

REGULATORY REQUIREMENTS

1. WITHIN LOCAL RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS.
2. WITHIN STATE RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS AND ISSUED REVISIONS/SUPPLEMENTS.
3. PROVIDE TRAFFIC SIGNAGE AND PAINTED MARKINGS IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
5. DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
6. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE CONSTRUCTION PERMIT REQUIREMENTS FOR DEMOLITION AND CONSTRUCTION ACTIVITIES. GENERAL PERMIT PROCESS. ANTHONY PROPERTIES WILL SUBMIT INFORMATION TO THE CT DEP TO SATISFY THIS GENERAL PERMIT. THE CONTRACTOR MUST HAVE A COPY OF THIS GENERAL PERMIT ON SITE AT ALL TIMES.

EROSION AND SEDIMENT CONTROL

1. INSTALL EROSION CONTROL MEASURES PRIOR TO STARTING ANY WORK ON THE SITE. REFER TO THE EROSION AND SEDIMENT CONTROL DRAWINGS.
2. IMPLEMENT ALL NECESSARY MEASURES REQUIRED TO CONTROL STORMWATER RUNOFF, DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE. PERFORM CORRECTIVE ACTION AS NEEDED FOR EROSION CLEANUP AND REPAIR TO OFF SITE AREAS, IF ANY, AT NO COST TO OWNER.
3. INSPECT AND MAINTAIN EROSION CONTROL MEASURES PER THE SCHEDULE IN THE EROSION AND SEDIMENT CONTROL DRAWINGS. DISPOSE OF SEDIMENT IN AN UPLAND AREA. DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
4. PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE AREAS THAT EXPOSED MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES. CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.

DEMOLITION

1. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BEHIND AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS, UNLESS OTHERWISE NOTED.
2. THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED. PERFORM A PRE-BID SITE INSPECTION, COORDINATE DEMOLITION UNITS WITH THE CONTRACTOR, AND WORK WITH THE CONTRACTOR, DEMOLITION STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES.

CONSTRUCTION LAYOUT

1. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND DRAINAGE STRUCTURES BEFORE START OF CONSTRUCTION.
2. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
4. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
5. BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

EARTHWORK

1. NOTIFY UTILITY LOCATOR SERVICE AT LEAST 72 HOURS BEFORE STARTING EXCAVATION. CT "CALL BEFORE YOU DIG" AT 1-800-922-4455.
2. STOP WORK IN THE VICINITY OF SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA. IMMEDIATELY NOTIFY THE OWNER SO THAT APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. RESUME WORK IN THE IMMEDIATE VICINITY ONLY UPON DIRECTION BY THE OWNER.
3. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, PERFORM EARTHWORK OPERATIONS TO SUBGRADE ELEVATIONS. SEE DRAWINGS BY OTHERS FOR WORK ABOVE SUBGRADE.

UTILITIES

1. TERMINATE EXISTING UTILITIES IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. COORDINATE UTILITY SERVICE DISCONNECTIONS WITH UTILITY REPRESENTATIVES.
2. THE TYPE, SIZE AND LOCATION OF DEPICTED UNDERGROUND UTILITIES ARE APPROXIMATE REPRESENTATIONS OF INFORMATION OBTAINED FROM FIELD LOCATIONS OF VISIBLE FEATURES, EXISTING MAPS AND PLANS OF RECORD, UTILITY MAPPING, AND OTHER SOURCES OF INFORMATION OBTAINED BY THE ENGINEER. ASSUME NO GUARANTEES AS TO THE CORRECTNESS OF THE INFORMATION. COORDINATE WITH UTILITY OWNERS AND OPERATORS. FIELD VERIFY THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES.
3. PAY ALL FEES AND COSTS ASSOCIATED WITH UTILITY MODIFICATIONS AND CONNECTIONS, REGARDLESS OF THE ENTITY THAT PERFORMS THE WORK.
4. COORDINATE THE WORK AND WORK SCHEDULE WITH UTILITY COMPANIES. PROVIDE ADEQUATE NOTICE TO UTILITIES TO PREVENT DELAYS IN CONSTRUCTION.
5. INTERIOR DIAMETERS OF STORM DRAIN AND SANITARY SEWER STRUCTURES SHALL BE DETERMINED BY THE PRECAST MANUFACTURER, BASED ON THE INDICATED PIPE SYSTEM LAYOUT AND LOCAL MUNICIPAL STANDARDS.

MINIMUM INTERIOR DIAMETERS:
0 TO 20 FEET DEEP; 4 FEET.
20 FEET OR GREATER; 5 FEET.

6. RIM ELEVATIONS FOR MANHOLES, VALVE COVERS, GATE AND PULL BOXES, AND OTHER STRUCTURES ARE APPROXIMATE. SET OR RESET RIM ELEVATIONS AS FOLLOWS:

IN PAVEMENTS AND CONCRETE SURFACES: FLUSH
IN SURFACES ALONG ACCESSIBLE ROUTES, FLUSH
IN OTHER AREAS: 1/2 INCH
1 INCH ABOVE SURFACE AREAS;
1 INCH ABOVE SURROUNDING AREA; TAPER EARTH TO RIM ELEVATION.

7. INSTALL PROPOSED PRIVATE UTILITY SERVICES ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE AUTHORITY HAVING JURISDICTION (WATER, SEWER, GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). COORDINATE FINAL DESIGN LOADS AND LOCATIONS WITH OWNER AND ARCHITECT.

PAVEMENT

1. AT A MINIMUM, CONSTRUCT ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

SITE RESTORATION

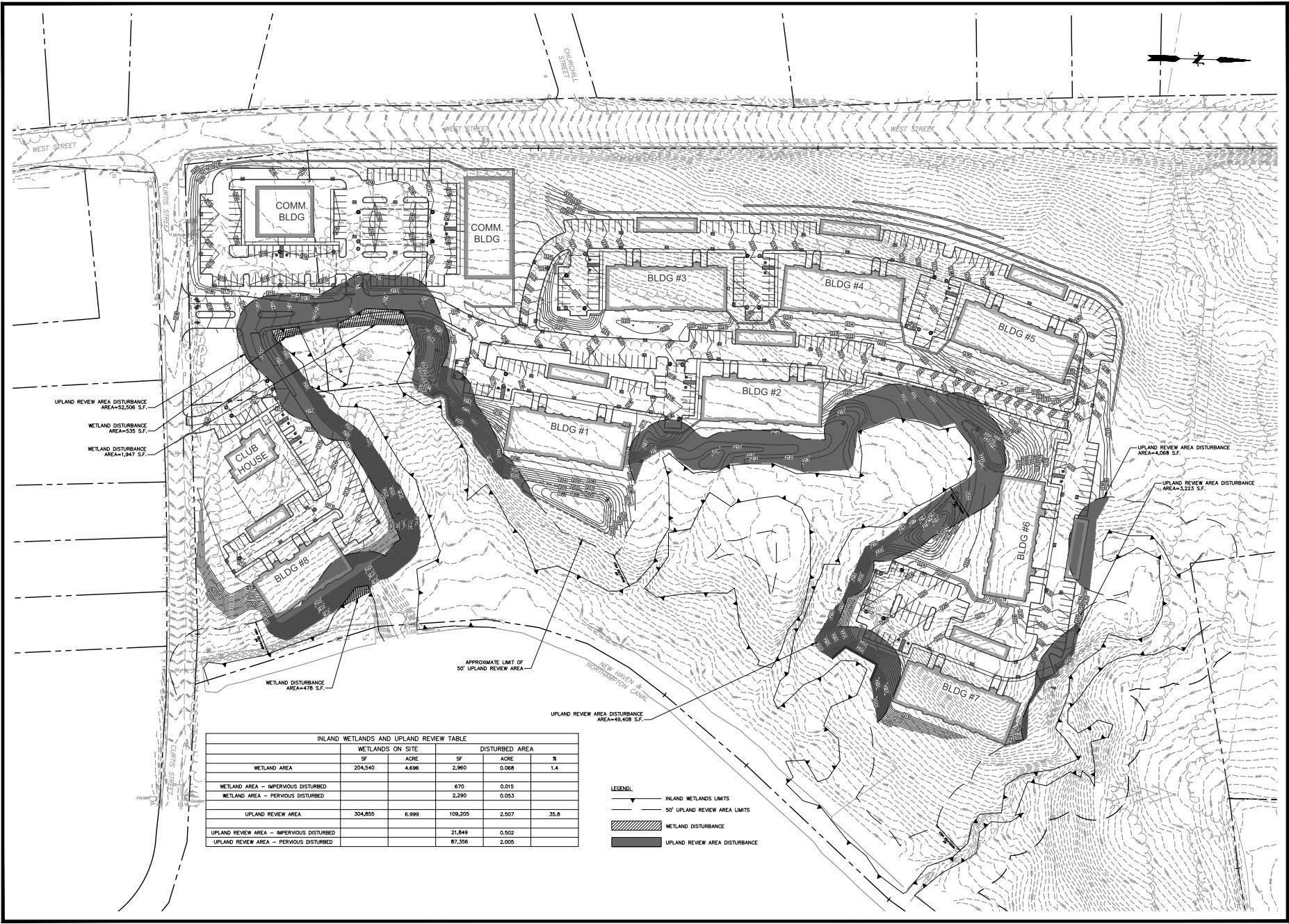
1. PROVIDE 6 INCHES OF TOPSOIL AND SEED TO AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED TO BE RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED.
2. REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
3. RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.

PROJECT NUMBER: GI-002		DESIGNER REVIEWER: [Signature]	
DATE: 12/07/2022			
SCALE:	HORIZ.: N.T.S.	VERT.:	Datum:
GRAPHIC SCALE:	[Scale Bar]		

ANTHONY PROPERTIES		CIVIL GENERAL NOTES	
ANTHONY PROPERTIES DEVELOPMENT - SOUTHBURY, CONNECTICUT			
14 ALBERTON ROAD, MANCHESTER, CONNECTICUT 06040 860/665-2369 www.anthonypro.com			

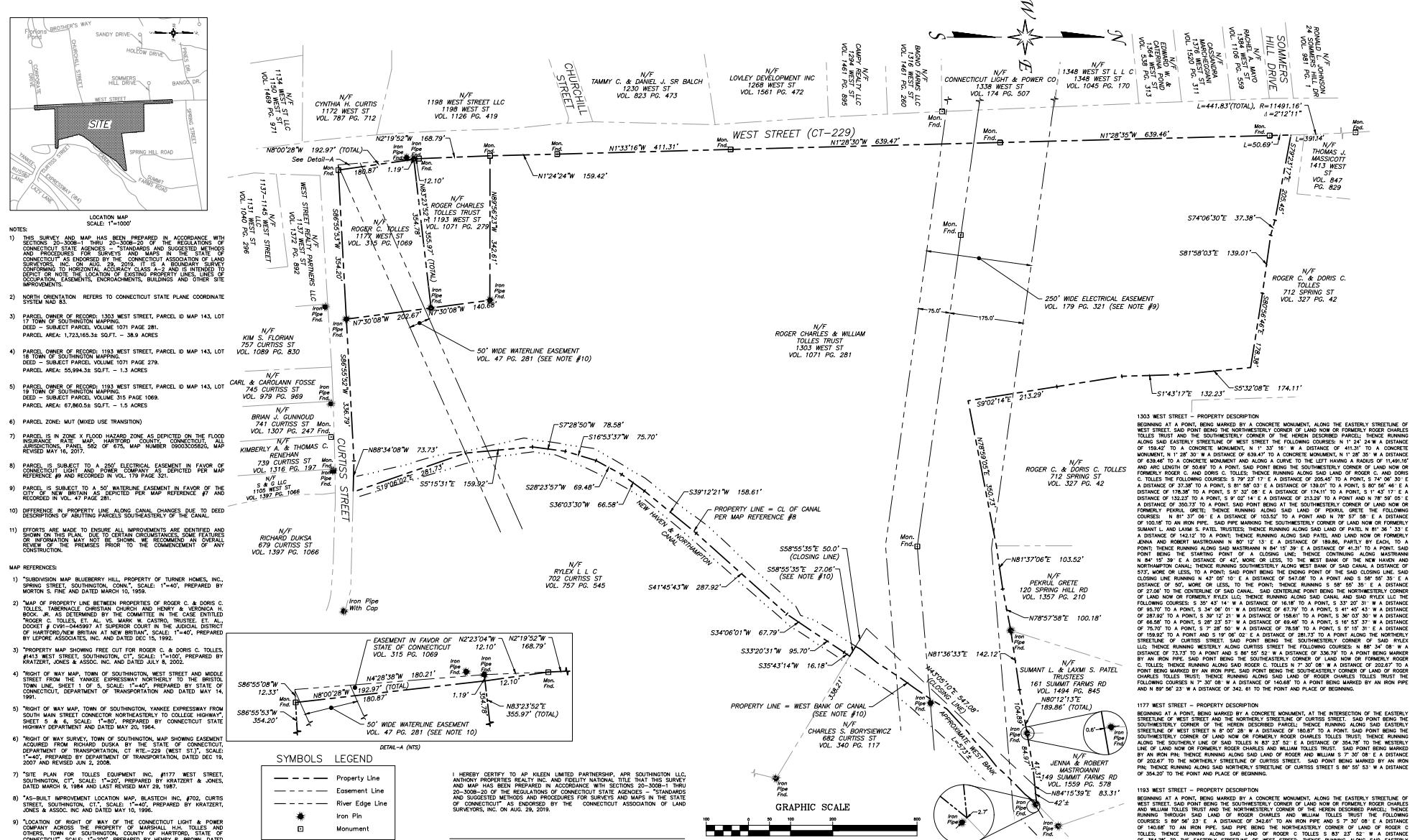
PROJ. No: 20210930A10
DATE: 12/07/2022

GI-002



DESIGNER REVIEWER	
DATE	
No.	
DESCRIPTION	
PROJ. No.: 20210063.A10	
DATE: 12/07/2022	
CW-100	
ANTHONY PROPERTIES	
WETLANDS PLAN	
ANTHONY PROPERTIES DEVELOPMENT -	
SOUTHBURY	
CONNECTICUT	

RUSSELL
14 MURKIN ROAD
MANCHESTER, CONNECTICUT 06040
860/665-2460
www.russell.com



1084 Cromwell Avenue, Suite
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626

WEST STREET AND CURTISS STREET

SOUTHWASHINGTON, CONNECTICUT

PREPARED FOR: FUSS & O'NEILL INC.

THIS SURVEY AND MAP HAS BEEN PREPARED
SECTIONS 20-300B-1 THRU 20-300B-20
CONNECTICUT STATE AGENCIES - "STANDARDS
AND PROCEDURES FOR SURVEYS AND MAPS
OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT
SURVEYORS, INC. ON AUG. 29, 2019. IT IS
CONFORMING TO HORIZONTAL ACCURACY CLASS
DEPICT PROPERTY LINE INFORMATION.

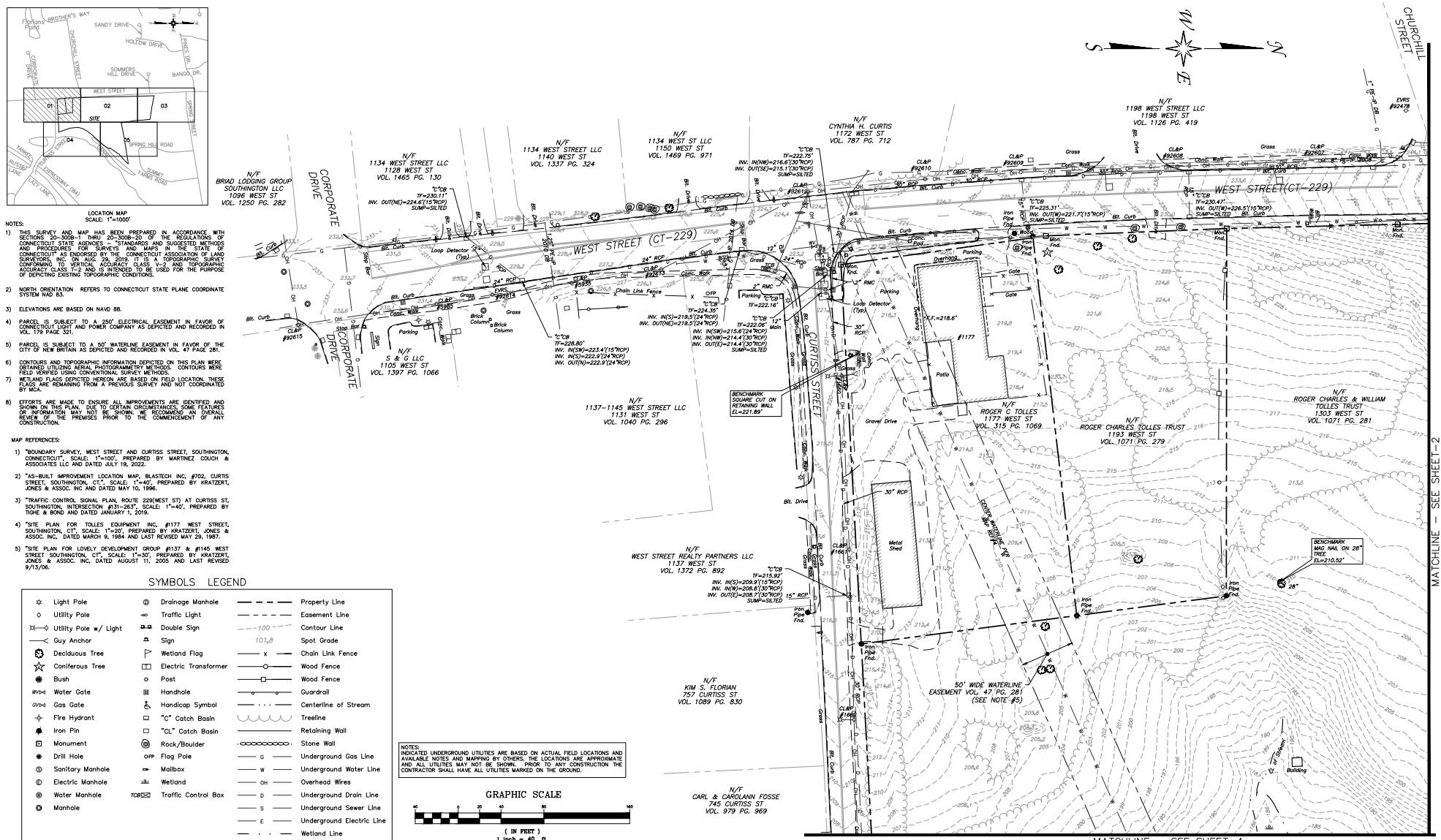
TO BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

JASON D. DEBASI 9-PB- DATE



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SIGNATURE	<input type="checkbox"/>
STAMP	<input type="checkbox"/>
DATE	<input type="checkbox"/>
NO.	<input type="checkbox"/>

BOUNDARY SURVEY



MCA
MARTINEZ COUCH & ASSOCIATES LLC
ENGINEERING • LAND SURVEYING • ENVIRONMENTAL
CONSTRUCTION INSPECTION • GIS • WASTEWATER

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Rocky Hill, CT 06067
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WEST STREET AND CURTISS STREET
SOUTHINGTON, CONNECTICUT

PREPARED FOR: FUSS & O'NEILL INC.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE
WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS
OF CONNECTICUT STATE AGENCIES — STANDARDS AND SUGGESTED METHODS
AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF
CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF
SURVEYORS INC. ON AUG. 29, 2019. IT IS A TOPOGRAPHIC SURVEY
COM普ING WITH CERTIFICATE NUMBER 2019-V-2 AND TOPOGRAPHIC
ACCURACY CLASS T-2 AND IS INTENDED TO BE USED FOR THE PURPOSE
OF DEPICTING EXISTING TOPOGRAPHIC CONDITIONS.

TO BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
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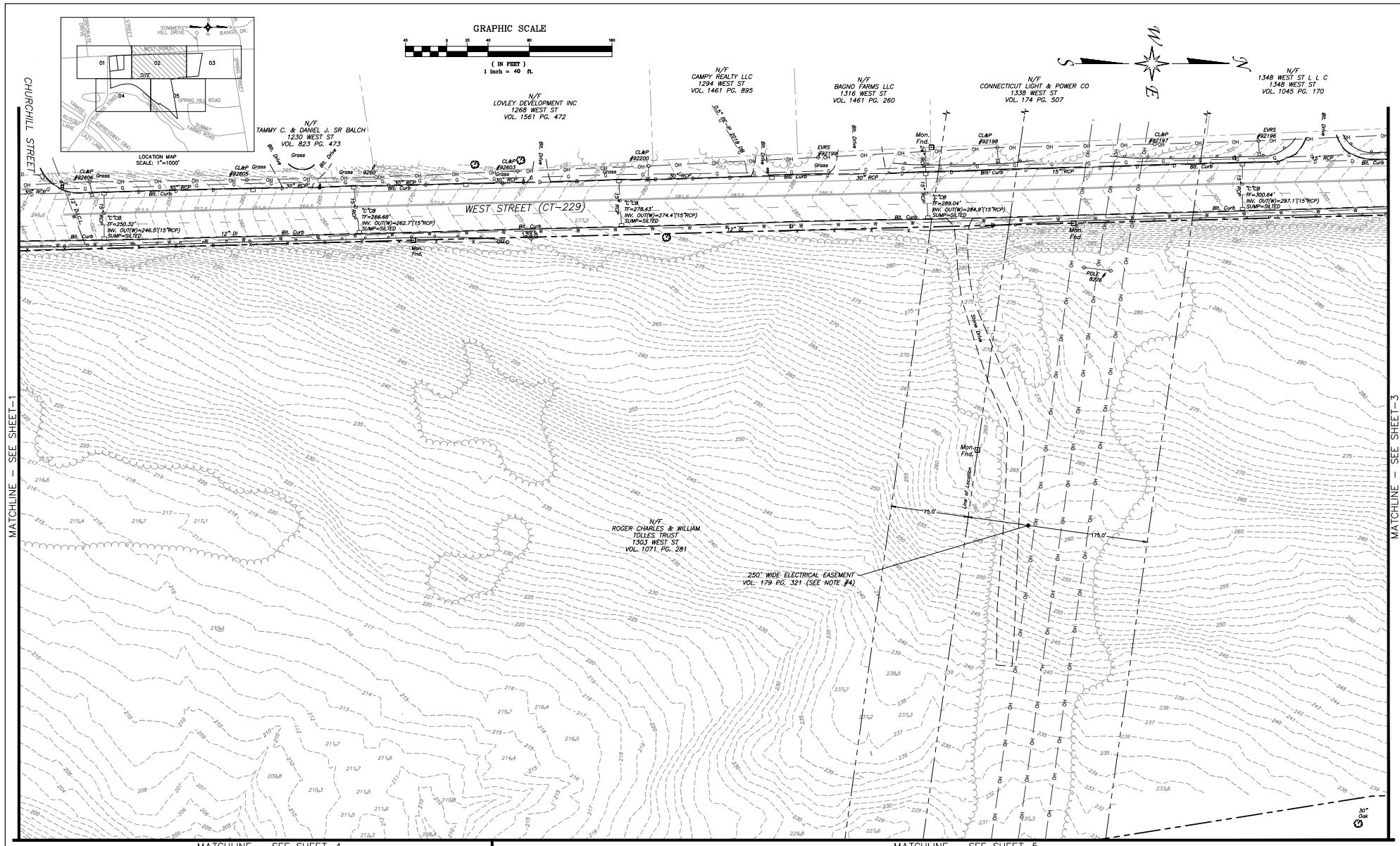
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WITHOUT A LIVE SIGN
AND SEAL

NO.	DATE	REVISIONS				BY	CHK	APL
DRAWN BY: HS	CHECKED BY: JBR	SCALE:	1"=40'	DATE:	07-19-22			

TOPOGRAPHIC SURVEY

EXISTING CONDITION PLAN

JOB NO.	DRAWING NUMBER	SHEET
2021-199.34	2021-199.34 West St - Survey.dwg	1 OF 5



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Fax: (860) 436-4626
www.martinezcouch.com

WEST STREET AND CURTISS STREET
SOUTHBINGTOM, CONNECTICUT

PREPARED FOR: FUSS & O'NEILL INC.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH
THE REQUIREMENTS OF THE STATE OF CONNECTICUT AND THE CONNECTICUT STATE AGENCIES STANDARDS AND SUGGESTED METHODS
AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF
CONNECTICUT. EXCEPT AS PROVIDED IN THE CONTRACT, THE STATE OF
SURVEYORS, INC. ON AUG. 29, 2019, IT IS A TOPOGRAPHIC SURVEY
COMPANY. THIS SURVEY AND MAP IS A TOPOGRAPHIC SURVEY OF TOPOGRAPHIC
ACCURACY CLASS T-2 AND IS INTENDED TO BE USED FOR THE PURPOSE
OF DEPICTING EXISTING TOPOGRAPHIC CONDITIONS.

TO BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

A. RAFAEL MARTINEZ, LICENSED LAND SURVEYOR DATE

A. RAFAEL MARTINEZ LLS

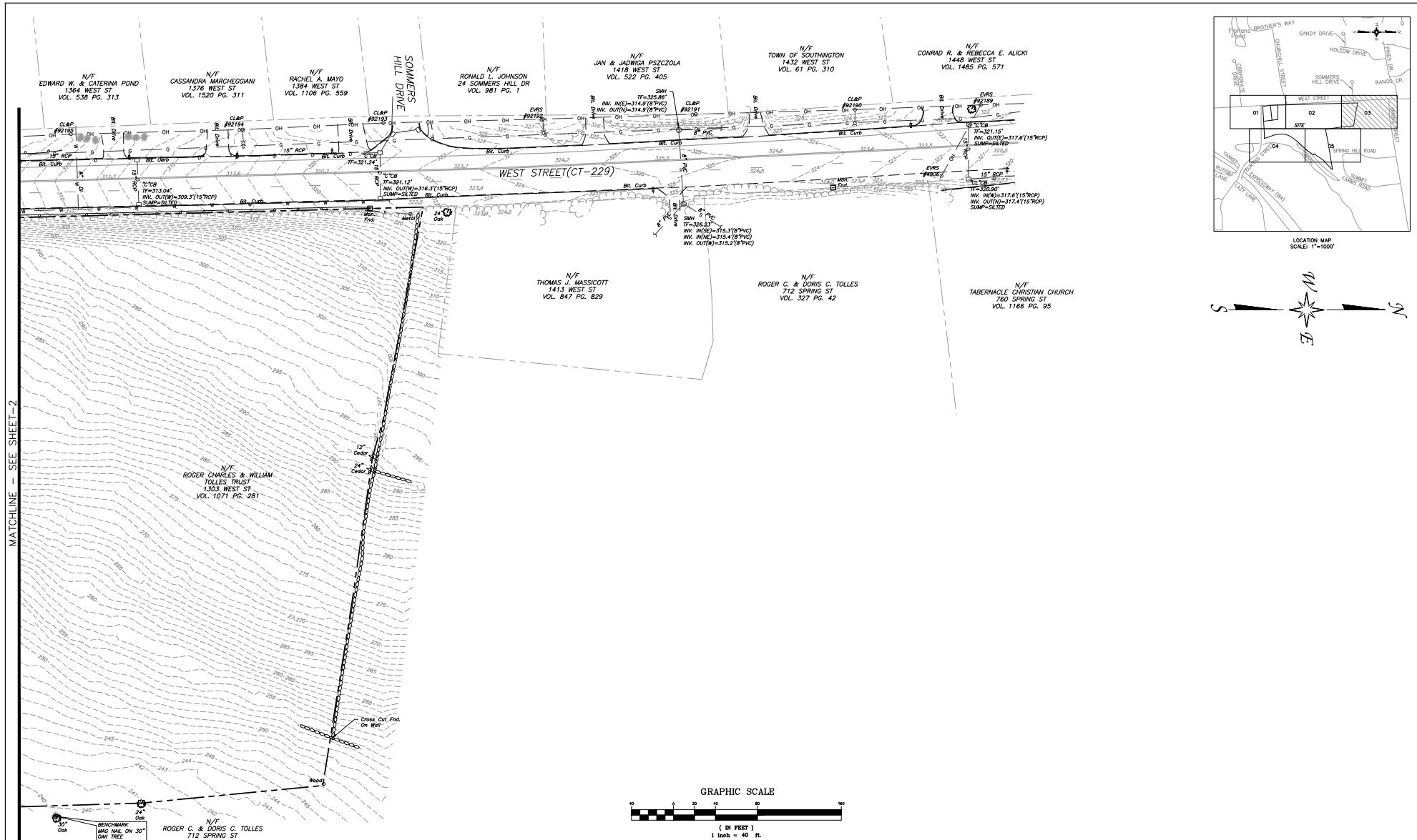
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AND SEAL

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TOPOGRAPHIC SURVEY

EXISTING CONDITION PLAN

JOB NO.	DRAWING NUMBER	sheet
2021-199.34	West St - Survey.dwg	2 OF 5



MCA
Martinez Couch & Associates LLC
Engineering • Land Surveying • Environmental
Construction Inspection • GIS • Water/Wastewater

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WEST STREET AND CURTISS STREET
SOUTHINGTON, CONNECTICUT

PREPARED FOR: FUSS & O'NEILL INC.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH
THE REQUIREMENTS OF THE CONNECTICUT STATE PLANNING DEPARTMENT,
CONNECTICUT STATE AGENCIES, AND THE STATE OF CONNECTICUT
STANDARDS AND SUGGESTED METHODS
AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF
CONNECTICUT. THIS EXISTING CONDITION PLAN WAS DRAWN BY MARTINEZ
SURVEYORS, INC. ON AUG. 29, 2019. IT IS A TOPOGRAPHIC SURVEY
DRAWN TO A PRECISION OF +/- 0.10 FT. AND IS OF GRAPHIC
ACCURACY CLASS T-2 AND IS INTENDED TO BE USED FOR THE PURPOSE
OF DEPICTING EXISTING TOPOGRAPHIC CONDITIONS.

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AND SEAL

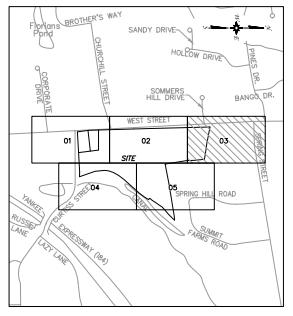
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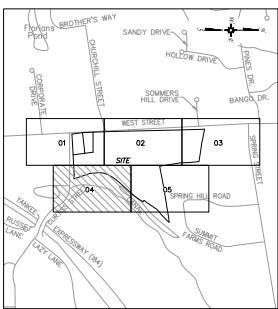
A. RAFAEL MARTINEZ, LICENSED LAND SURVEYOR DATE

A. RAFAEL MARTINEZ, LLS

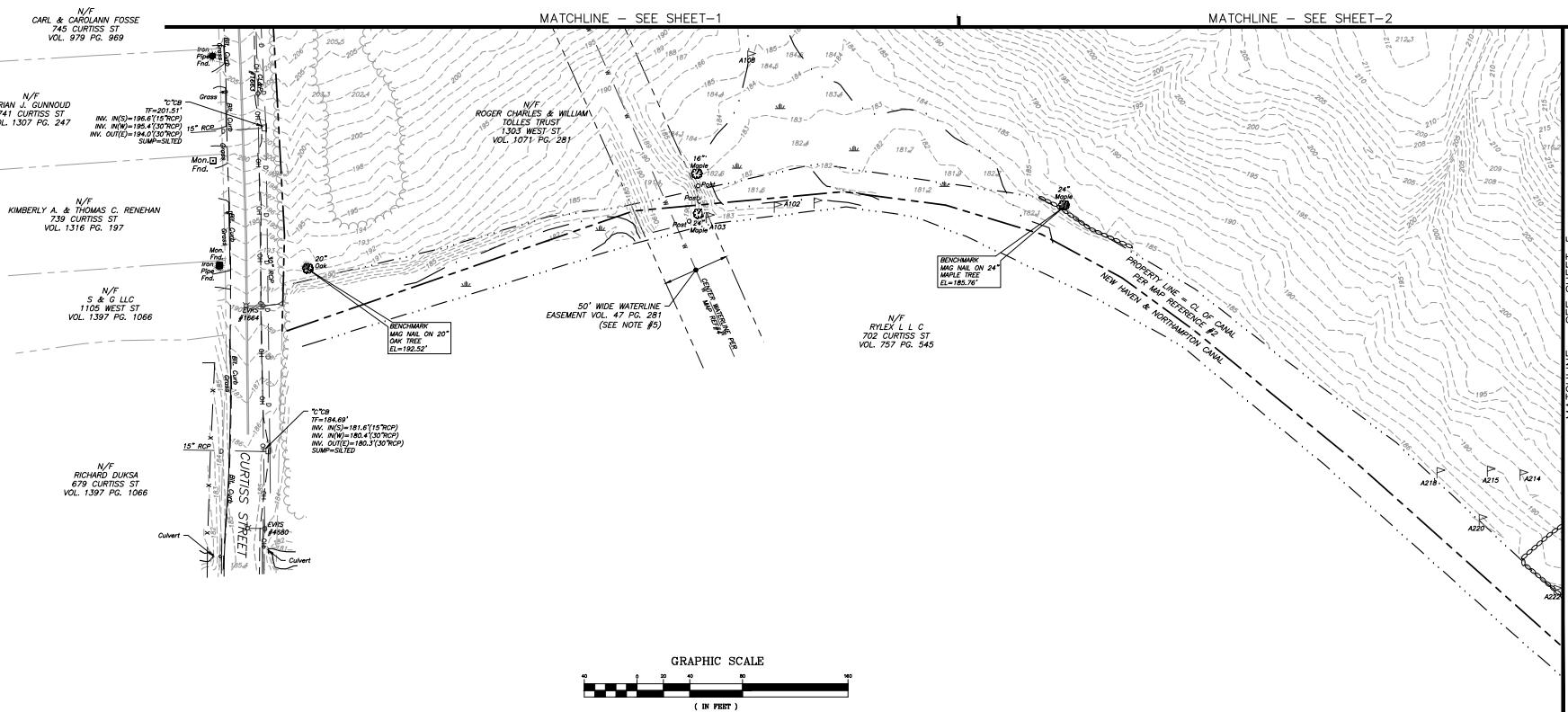
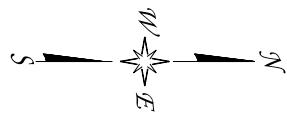
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			DRAWN BY: HS	CHECKED BY: SB	SCALE: 1"=40' DATE: 07-19-22

TOPOGRAPHIC SURVEY					
EXISTING CONDITION PLAN					
JOB NO.	DRAWING NUMBER	SHEET	2021-199.34	West St - Survey.dwg	3 OF 5





LOCATION MAP
SCALE: 1"=100'



MATCHLINE - SEE SHEET-1

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONNECTICUT STATE SURVEYORS BOARD, CONNECTICUT STATE AGENCIES STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT. THIS SURVEY AND MAP WAS MADE BY MARTINEZ COUCH & ASSOCIATES, INC. ON AUG. 29, 2019. IT IS A TOPOGRAPHIC SURVEY CONDUCTED IN ACCORDANCE WITH THE NATIONAL SURVEYING STANDARDS AND IS OF TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED TO BE USED FOR THE PURPOSE OF DEPICTING EXISTING TOPOGRAPHIC CONDITIONS.

TO BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

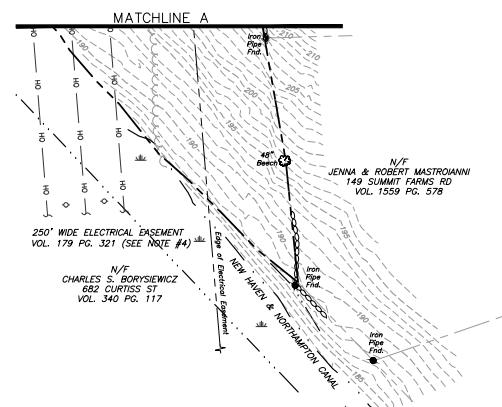
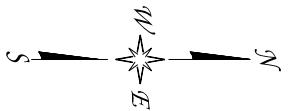
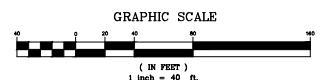
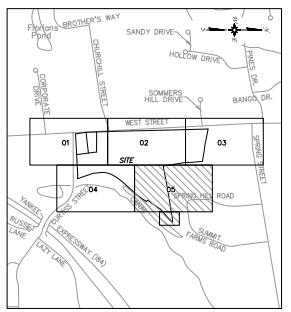
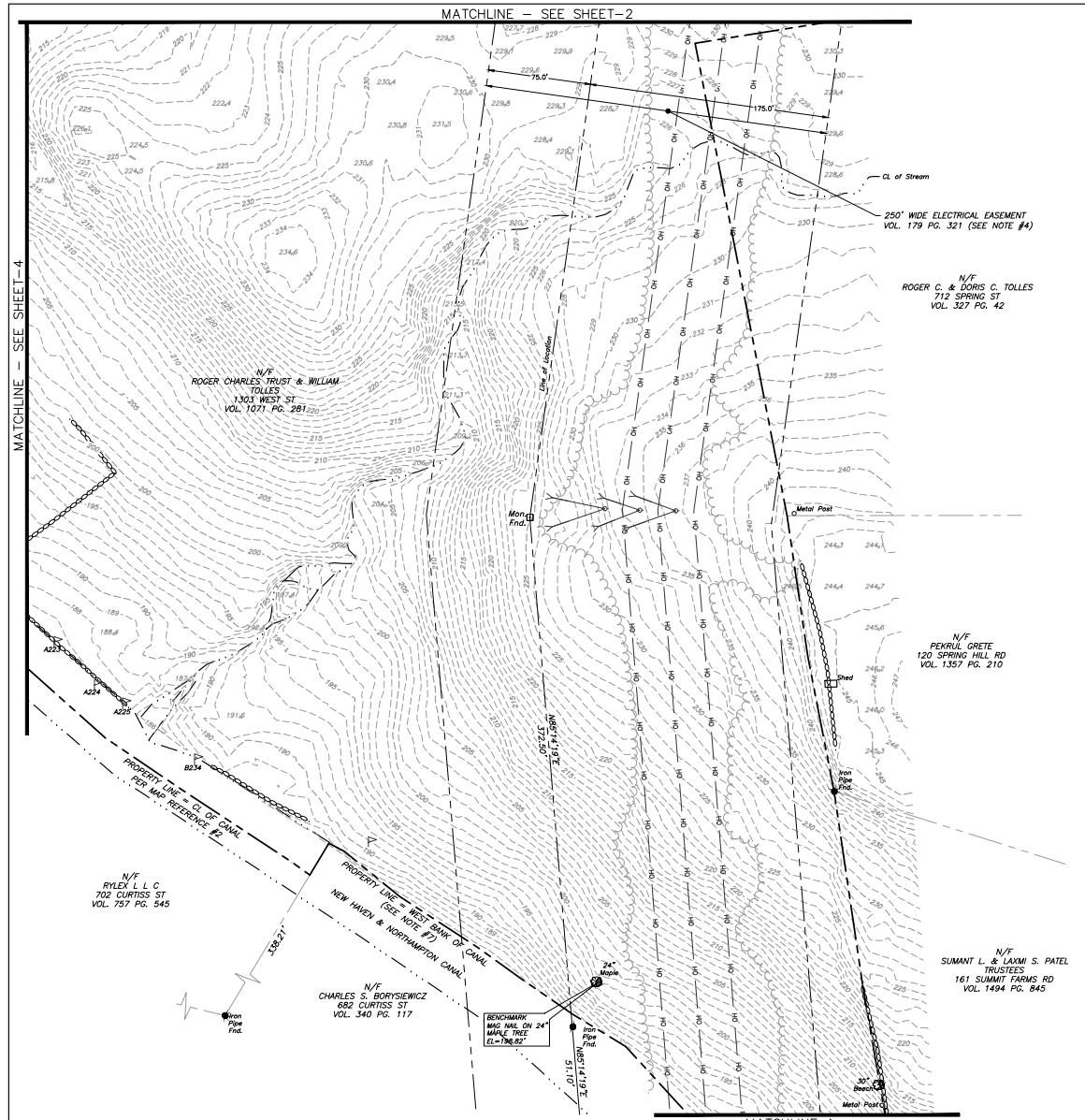
A. RAFAEL MARTINEZ, LICENSED LAND SURVEYOR DATE

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AND SEAL

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NO.	DATE	REVISIONS	BY	CHK	APPV

TOPOGRAPHIC SURVEY	EXISTING CONDITION PLAN				
	JOB NO.	DRAWING NUMBER	SHEET		
2021-199.34	West St - Survey.dwg	4 of 5			



WEST STREET AND CURTISS STREET
SOUTHBURY, CONNECTICUT

PREPARED FOR: FUSS & O'NEILL INC.

MCA
MARTINEZ COUCH & ASSOCIATES LLC
ENGINEERING + LAND SURVEYING + ENVIRONMENTAL

1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE STATE OF CONNECTICUT FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUG. 29, 2019. IT IS A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS V-2 AND TOPOGRAPHIC ACCURACY CLASS T-2. IT MAY NOT BE USED FOR THE PURPOSE OF DESCRIBING EXISTING TOPOGRAPHIC CONDITIONS.

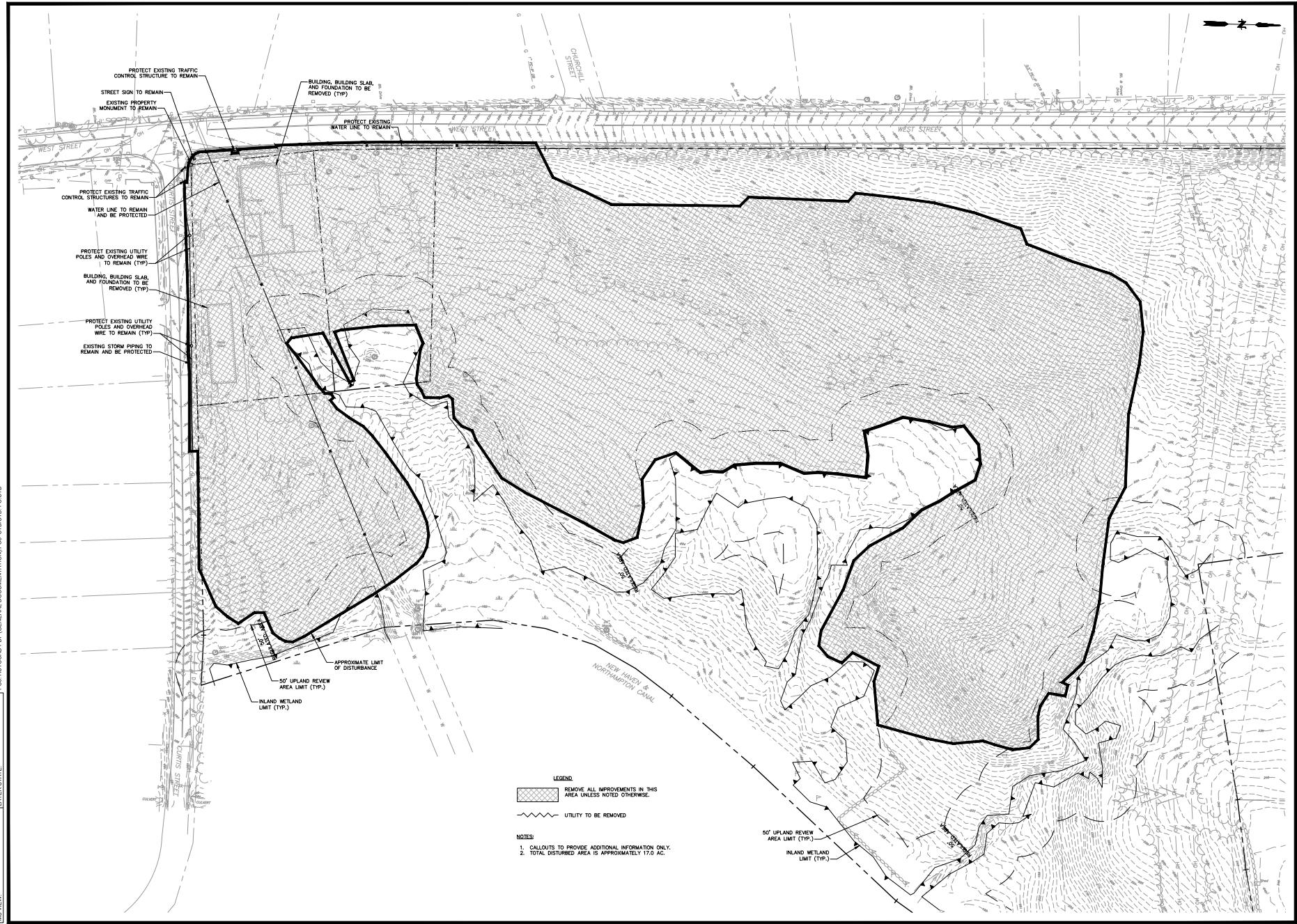
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DRAWN BY:	HS	CHECKED BY:	JPB	SCALE:	1"-40"	DATE:	07-19-22	

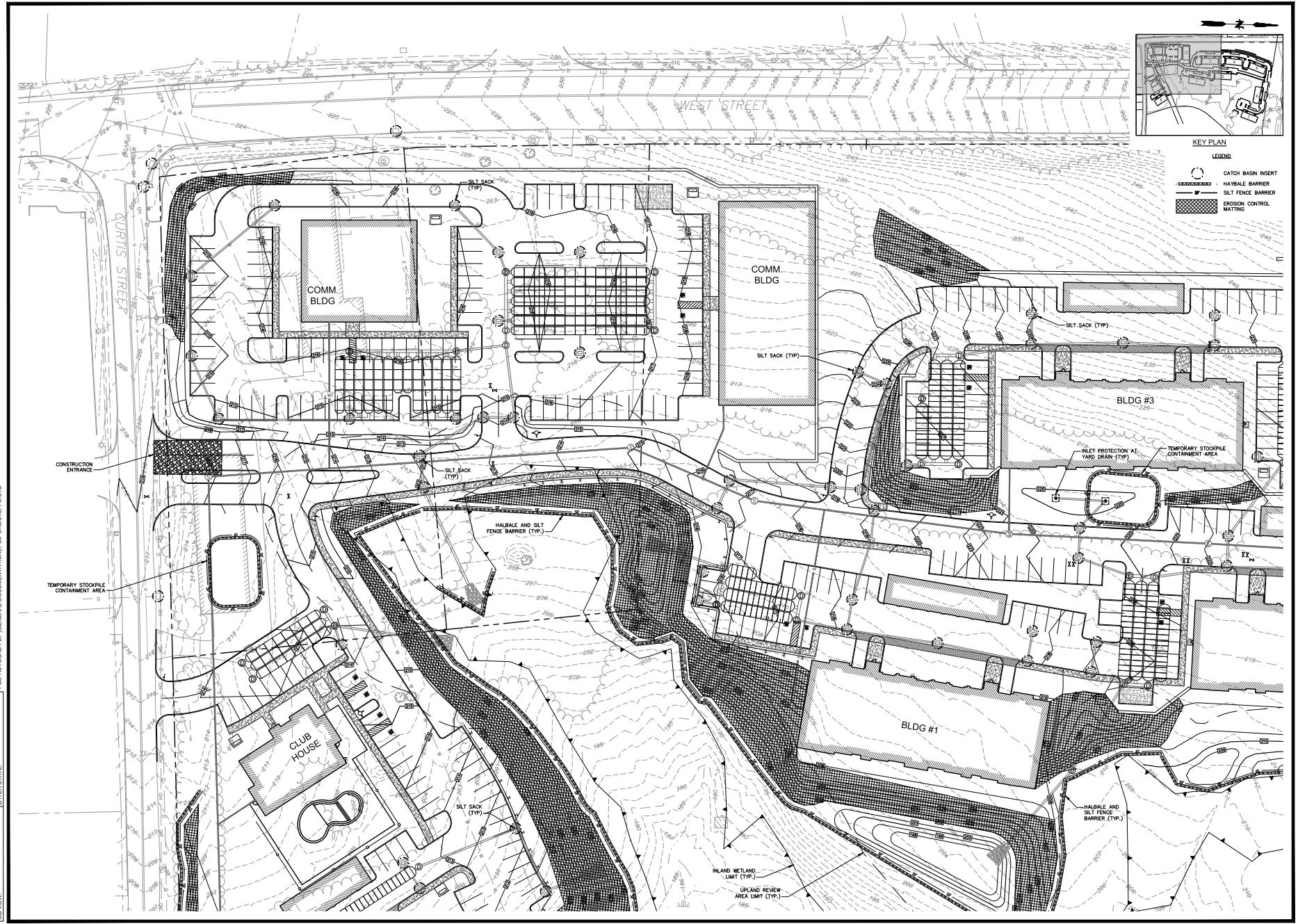
TOPOGRAPHIC SURVEY

EXISTING CONDITION PLAN

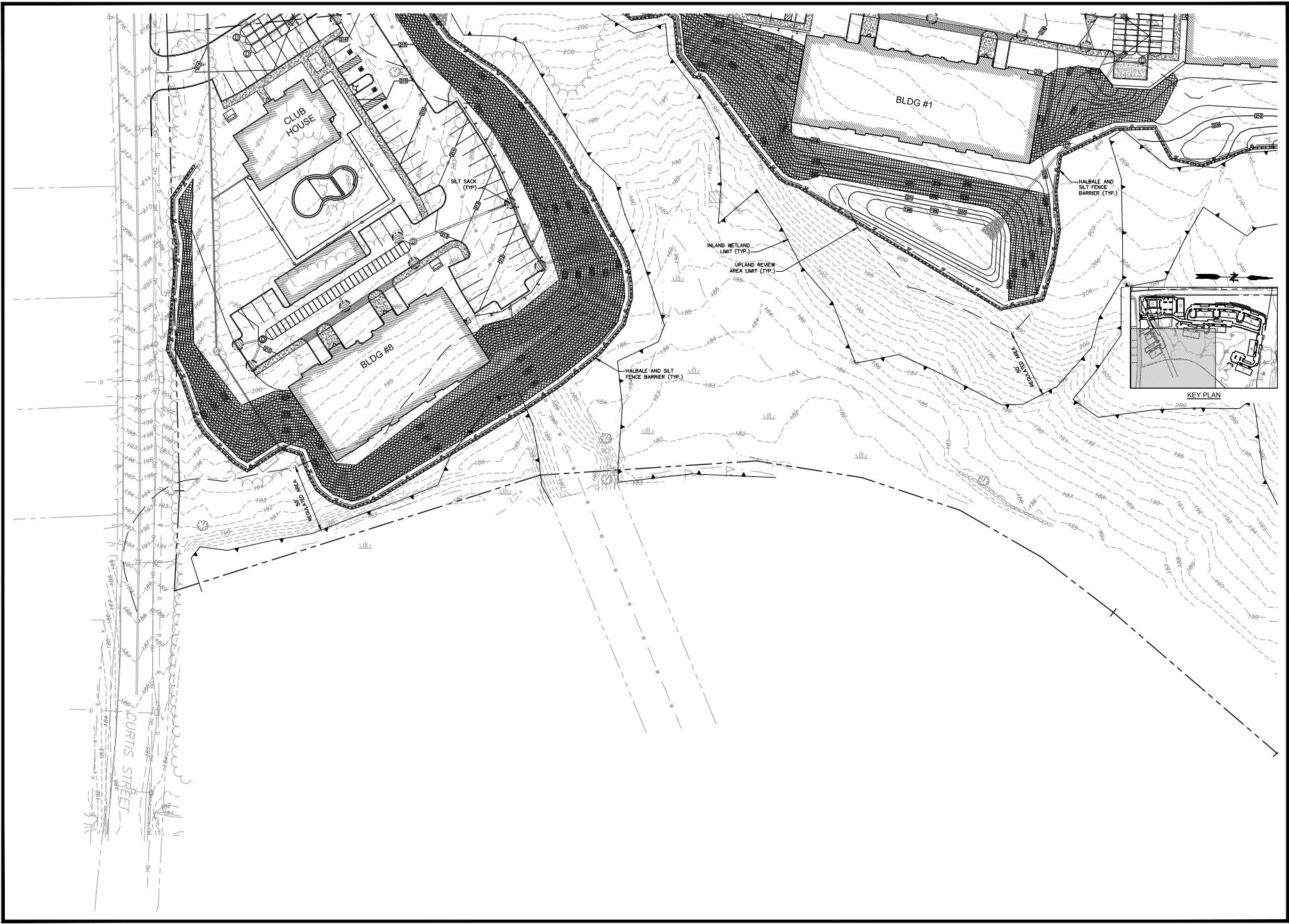
JOB NO.	DRAWING NUMBER	SHEET
2021-199.34	2021-199.34 West St - Survey.dwg	5 OF 5



DESIGNER REVIEWER	
NAME	DATE
ANTHONY PROPERTIES	
SITE PREPARATION PLAN	
ANTHONY PROPERTIES DEVELOPMENT -	
SOUTHTON, CONNECTICUT	
14 MURKIN ROAD MANCHESTER, CONNECTICUT 06040 860.665.2460 www.russoniell.com	
SCALE	HORZ: 1" = 20' VERT: 1" = 20'
DAUM:	15 0
GRAPHIC SCALE	



PROJ. No.	20210663.A10
DATE:	12/07/2022
ANTHONY PROPERTIES SITE EROSION & SEDIMENT CONTROL PLAN ANTHONY PROPERTIES DEVELOPMENT - SOUTHTON CONNECTICUT	
RUSSELL & SONS LTD.	
STATE:	CONNECTICUT
DAUM:	30
VERT.:	0
SCALE:	HORZ.: 1" = 30' VERT.: 1" = 30'
GRAPHIC SCALE	
DESIGNER:	REVIEWER:



PROJ. No: 20210063.A10
DATE: 12/07/2022

CE-102

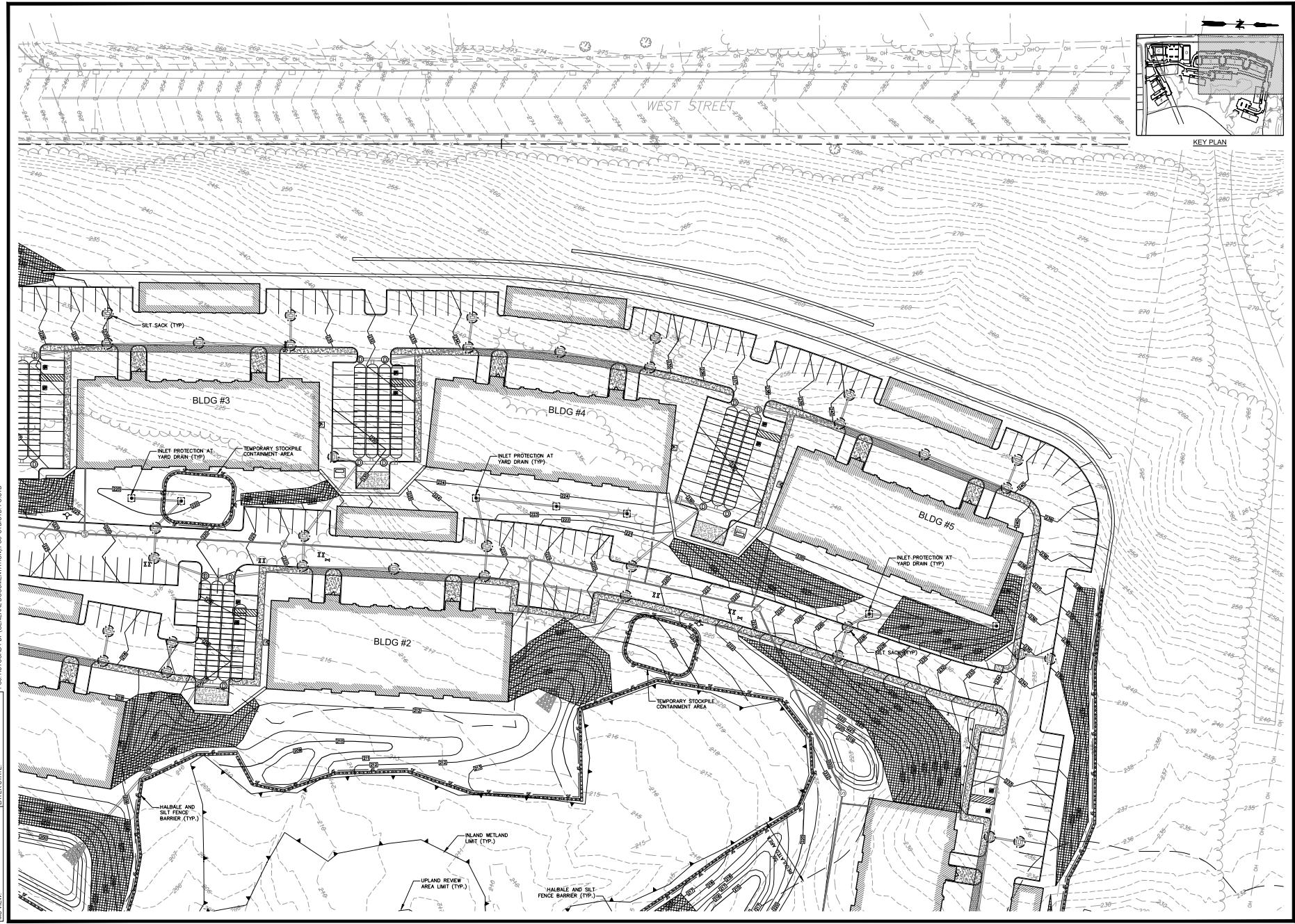


Russ & Son
ANTHONY PROPERTIES
SITE EROSION & SEDIMENT CONTROL
PLAN
ANTHONY PROPERTIES DEVELOPMENT -
SOUTHBURY, CONNECTICUT
SOUTHBURY, CONNECTICUT

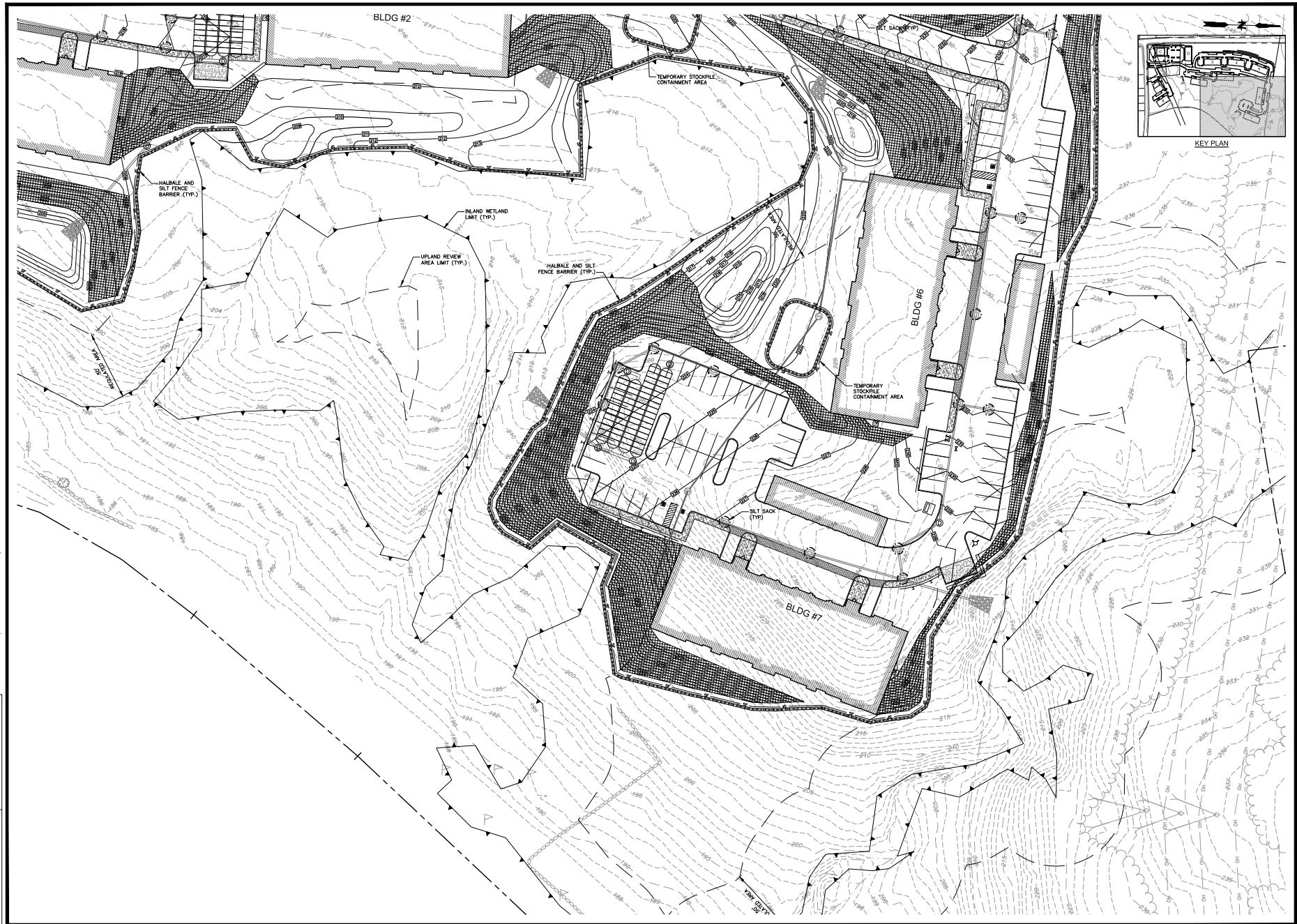
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VERT: 1"-0'
DAUM: HORIZ: 1'-0"
VERT: 1'-0"
GRAPHIC SCALE: 30'-0"

DESCRIPTION	DATE	REVIEWER





PROJ. No.	20210663.A10
DATE:	12/07/2022
CE-103	
SCALE:	HORIZ.: 1" = 20'
VERT.:	DAUM: 15'
GRAPHIC SCALE:	15'
ANTHONY PROPERTIES	
SITE EROSION & SEDIMENT CONTROL	
PLAN	
ANTHONY PROPERTIES DEVELOPMENT -	
SOUTHBURY, CONNECTICUT	
www.ttbdc.com	
MANCHESTER, CONNECTICUT 06040	
14 MURKIN ROAD	
STATE OF CONNECTICUT LAW & GOVERNMENT UNIVERSITY SYSTEM	
DESIGNER REVIEWER	



		DESIGNER / ENGRAVER	
		NAME	ADDRESS
		NO.	DATE
		DESCRIPTION	
SCALE:			
VERTICAL:			
HORIZONTAL:			
DATUM:			
HOLES:			
VERT.:			
30	15	0	30
GRAPHIC SCALE			



FUSSE & O'NEILL
46 HARTFORD ROAD
MANCHESTER, CONNECTICUT 06040
(800) 662-2469
www.funo.com

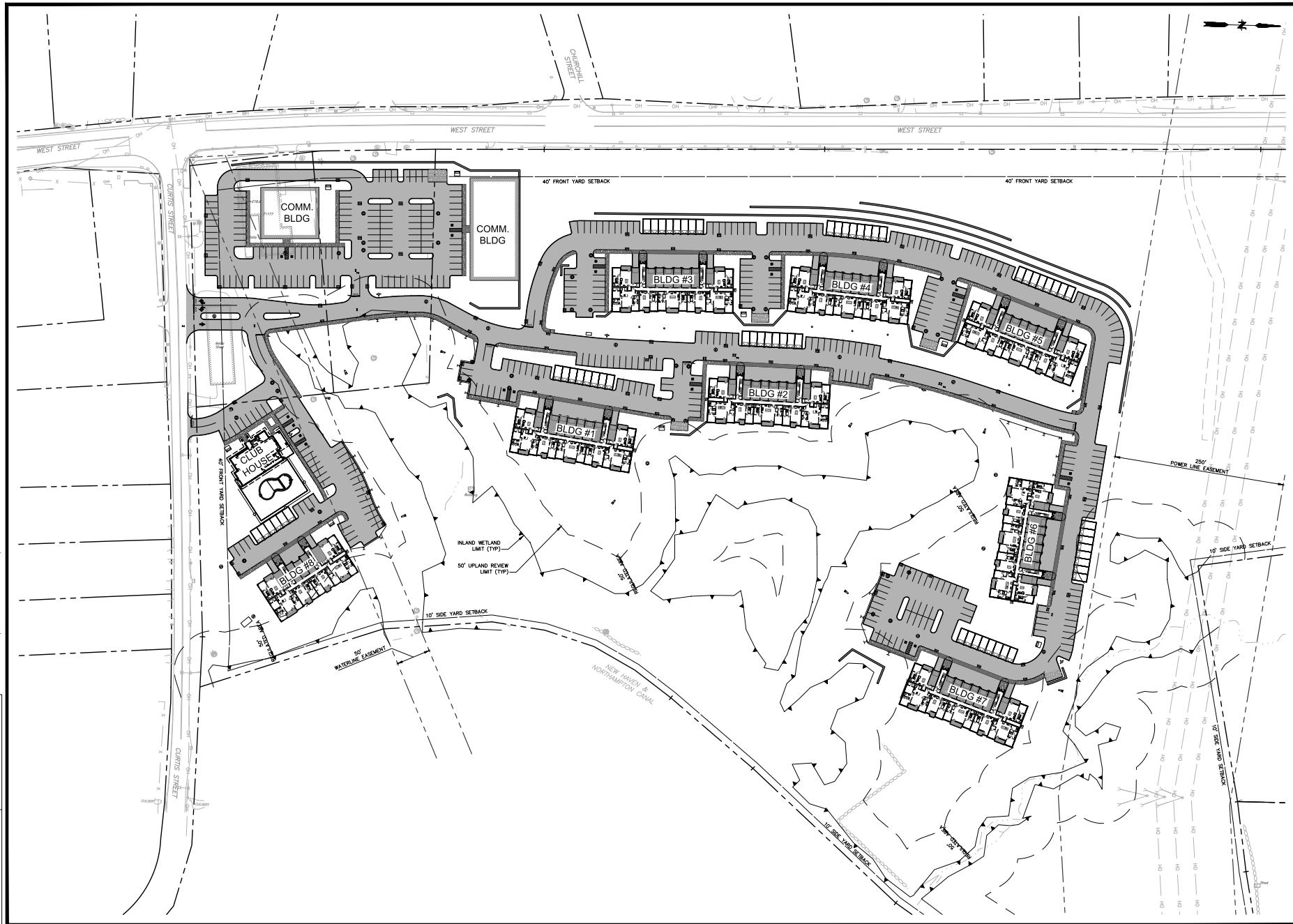
**ANTHONY PROPERTIES
SITE EROSION & SEDIMENT CONTROL PLAN**

**ANTHONY PROPERTIES DEVELOPMENT
SOUTHBURG TOWNSHIP, PENNSYLVANIA**

CONNELLSBURG, PENNSYLVANIA

PROJ. No.: 20210063.A10
DATE: 12/07/2022

CE-104



SCALE:		DATE:		DESCRIPTION	
1'	8'				
VERT.	VERT.				
DAVIN	DAVIN				
HORZ.	HORZ.				
VERT.	VERT.				
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GRAPHIC SCALE					

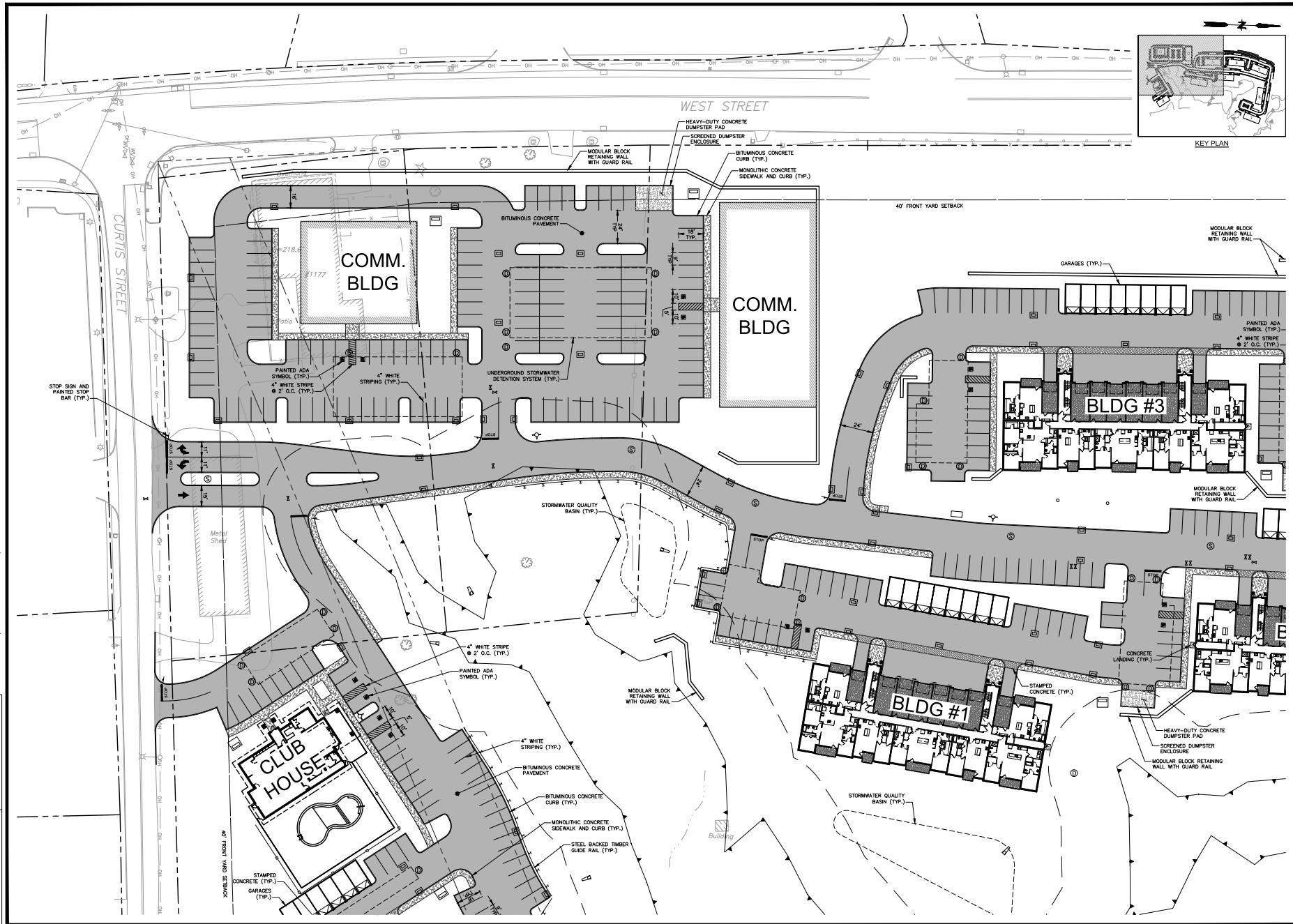


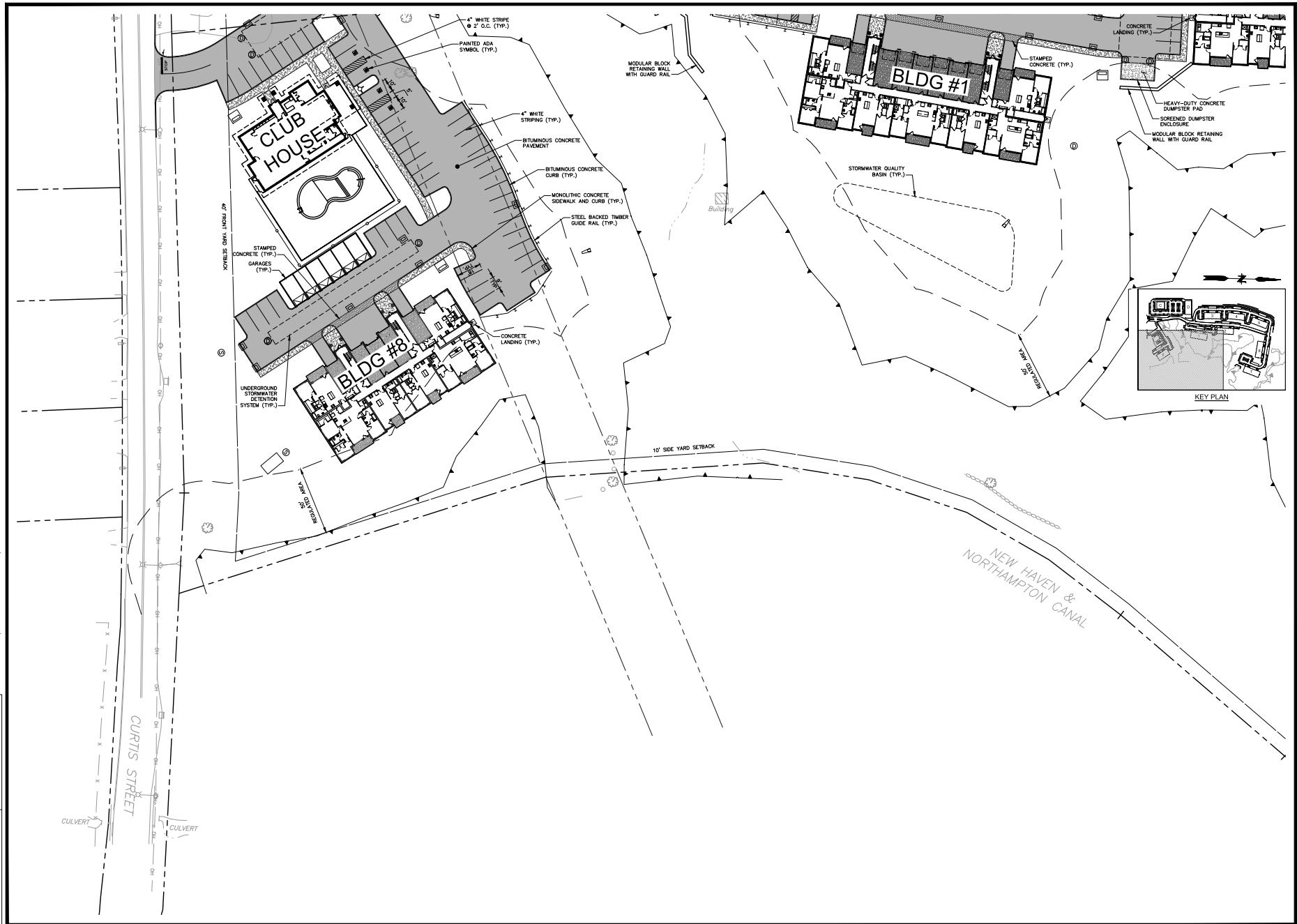
FUSS & O'NEILL
146 HARTFORD ROAD
MANCHESTER, CONNECTICUT 06040
860/646-2469
www.funo.com

ANTHONY PROPERTIES
OVERALL SITE LAYOUT PLAN

ANTHONY PROPERTIES DEVELOPMENT
SOUTHINGTON CONNECTICUT

PROJ. No.: 20210063.A10
DATE: 12/07/2022

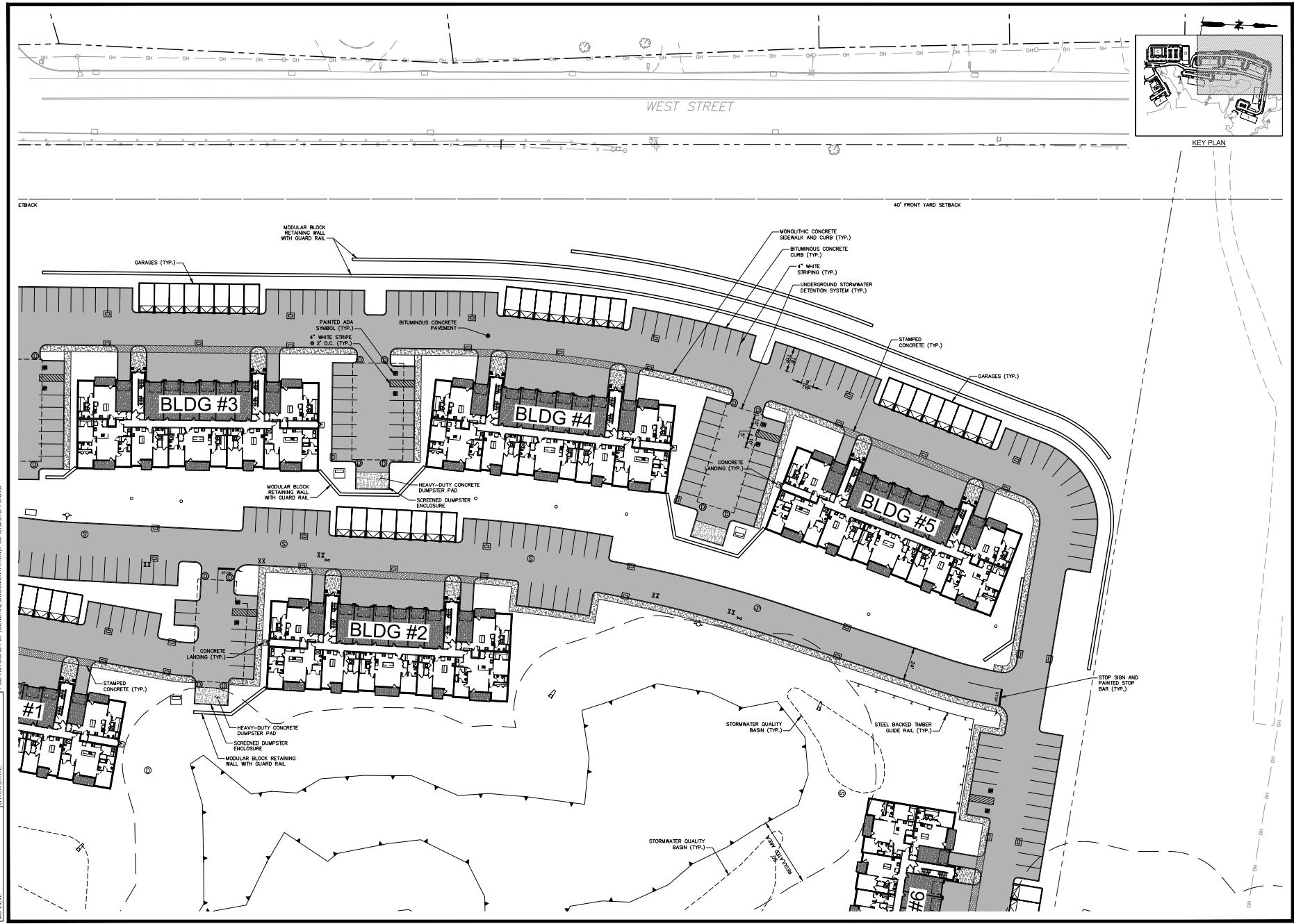




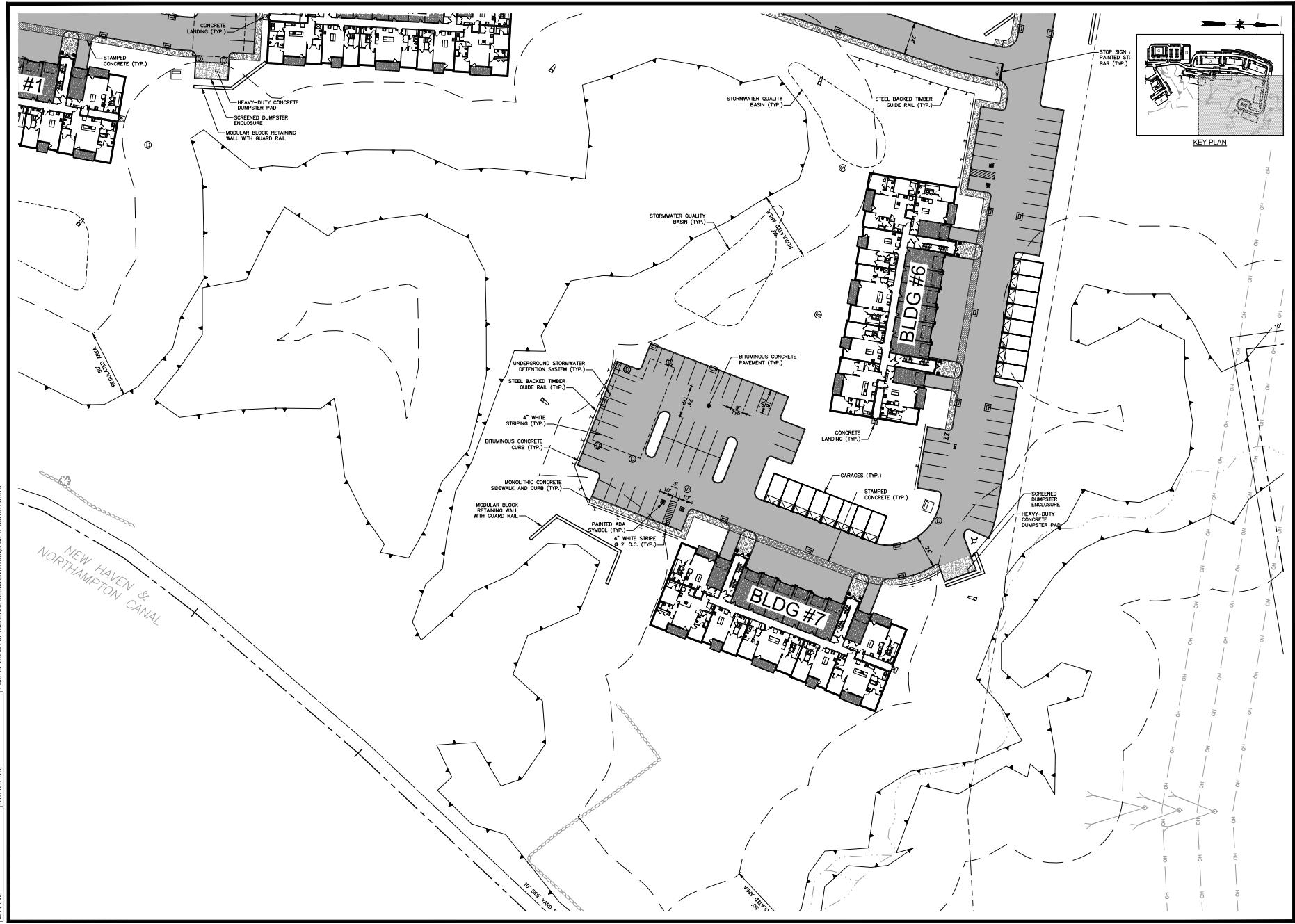
		DESIGNER DRAWER	
		NO.	DATE
		DESCRIPTION	
SCALE:			
HORIZ.	T = 30'		
VERT.			
DATUM:			
HORIZ.			
VERT.			
30	15	0	30
GRAPHIC SCALE			

PROJ. No.: 20210063.A10
DATE: 12/07/2022

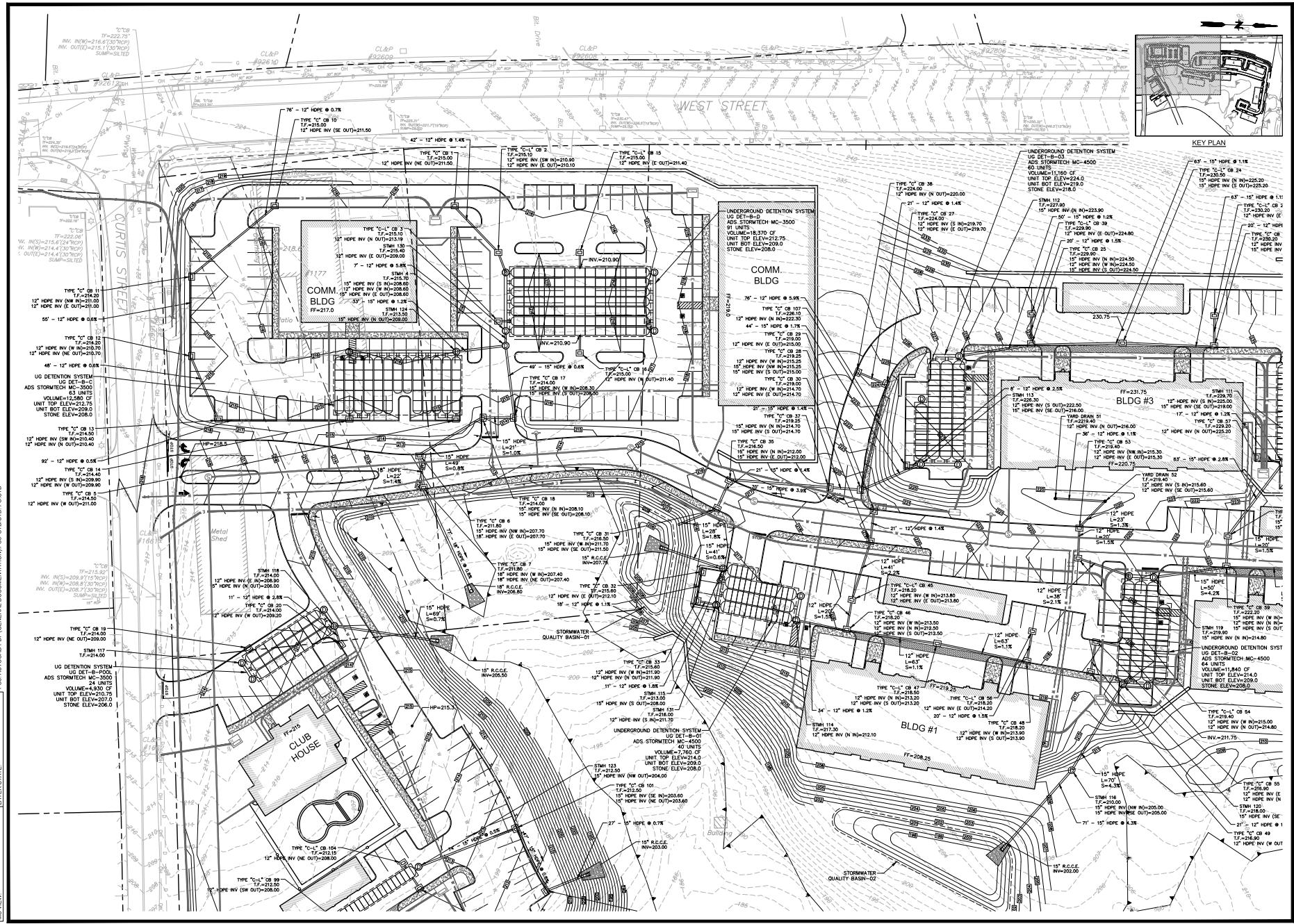
CS-102



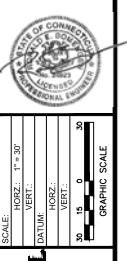
DESIGNER REVIEWER	
STATE OF CONNECTICUT LICENSED PROFESSIONAL ENGINEERS	
SCALE: HORIZ: 1" = 30'	
VERT: 0'	
DAUM: HORIZ: 15'	
VERT: 0'	
GRAPHIC SCALE	
No.	Date
DESCRIPTION	
RUSSELL & SONS LLC	
ANTHONY PROPERTIES SITE LAYOUT PLAN	
ANTHONY PROPERTIES DEVELOPMENT - SOUTHTON, CONNECTICUT	
14 MURKIN ROAD, MANCHESTER, CONNECTICUT 06040 860/665-2460 www.russellsons.com	



DESIGNER REVIEWER	DATE	DESCRIPTION
REVIEWER COMMENTS		
<p>STATE OF CONNECTICUT LICENCED PROFESSIONAL ENGINEERS</p>		
SCALE:	HORZ.: 1" = 30'	VERT.: 1" = 30'
DATUM:	HORZ.: 15' 0"	
GRAPHIC SCALE:		
PROJ. No:	2021063.A10	DATE:
14 MURKIN ROAD MANCHESTER, CONNECTICUT 06040 860/665-2460 www.ttbco.com		



		DESIGNER REVIEWED	
		No.	DATE
		DESCRIPTION	
SCALE:	HORZ.: 1" = 30'		
	VERT.:		
DATUM:	HORZ.:		
	VERT.:		
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GRAPHIC SCALE			

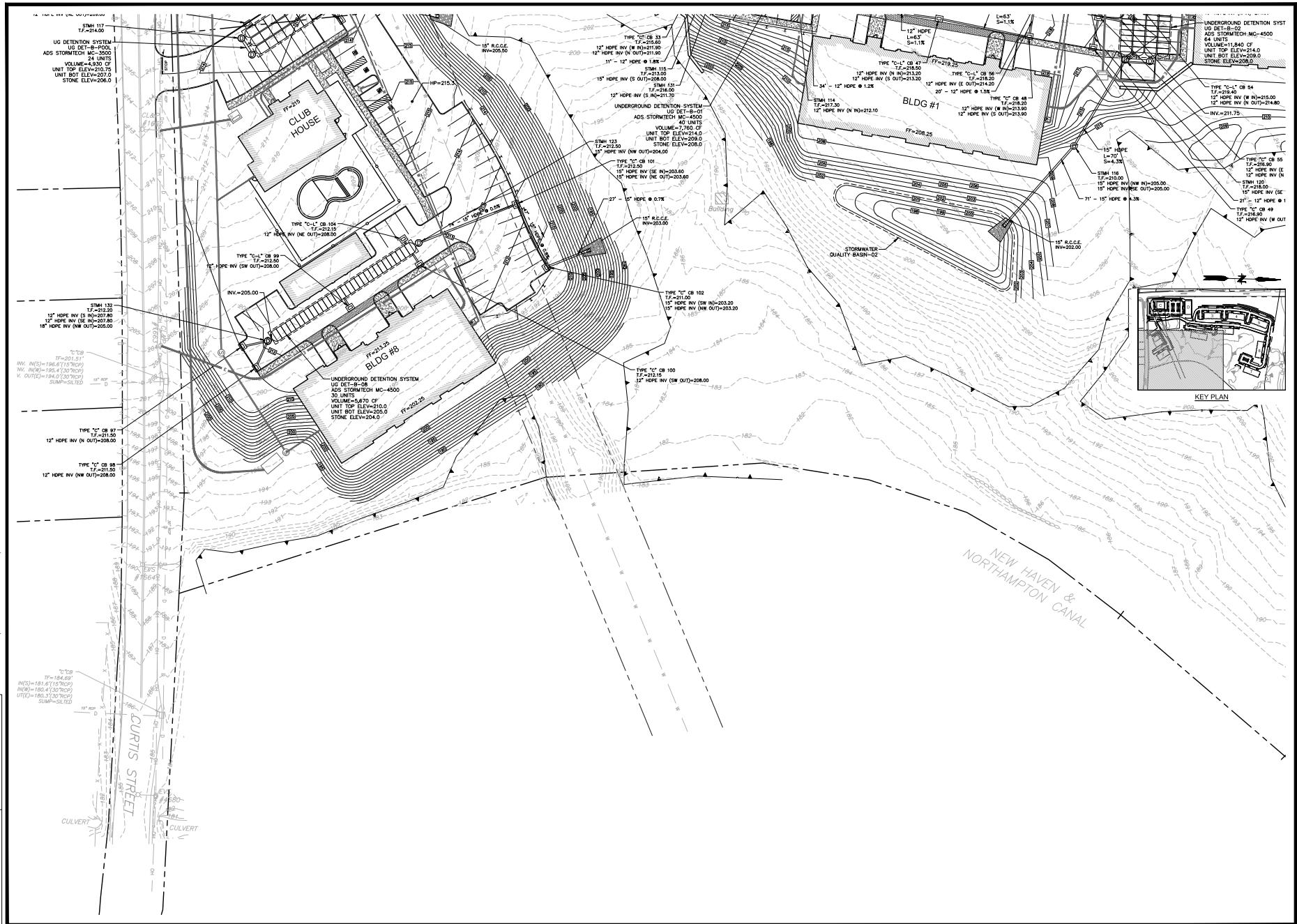


FUSSE & O'NEILL
146 HARTFORD ROAD
MANCHESTER, CONNECTICUT 06040
860.646.2469
www.fando.com

**ANTHONY PROPERTIES
THE GRADING & DRAINAGE PLAN
ANTHONY PROPERTIES DEVELOPMENT -
SOUTHINGTON CONNECTICUT**

PROJ. No.: 20210063.A10
DATE: 12/07/2022

CG-101

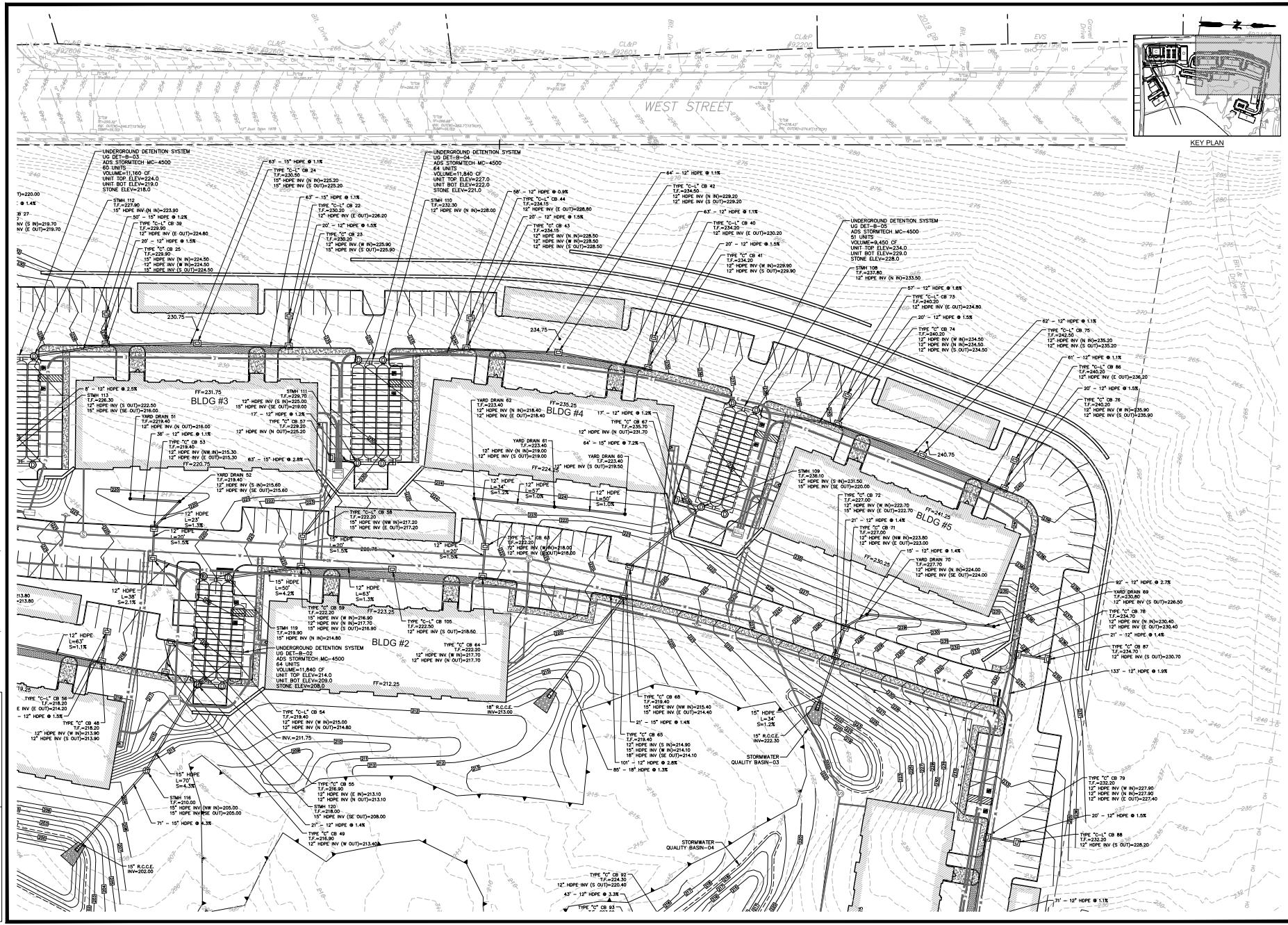


FUSS & O'NEILL
146 HARTFORD ROAD
MANHATTAN, CONNECTICUT 06410
860/644-2469
www.fando.com

ANTHONY PROPERTIES
SITE GRADING & DRAINAGE PLAN
ANTHONY PROPERTIES DEVELOPMENT
SOUTHWASHINGTON CONNECT
WASHINGTON

PROJ. No.: 20210063.A10
DATE: 12/07/2022

CG-102



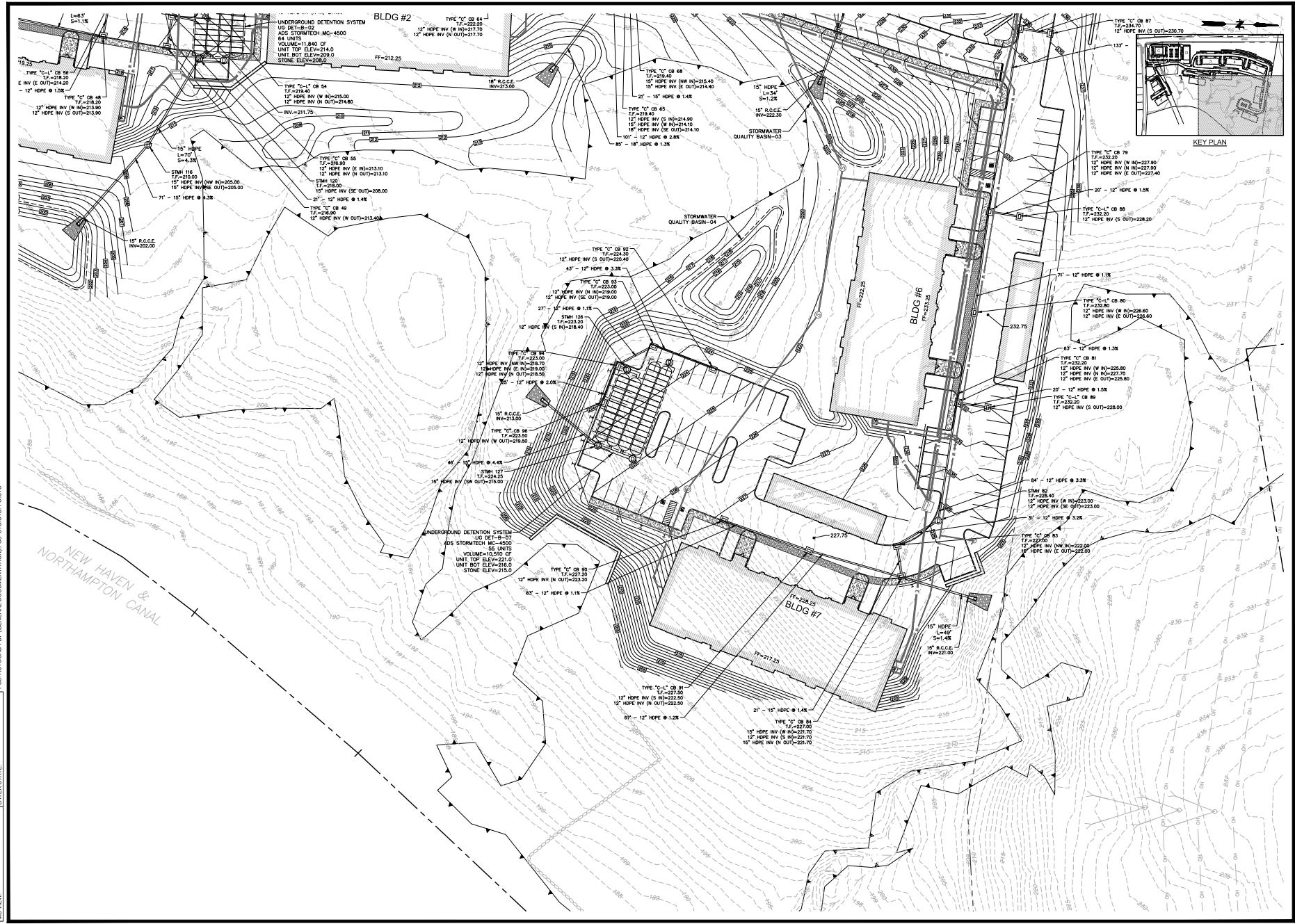
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		NO.	DATE
		DESCRIPTION	
SCALE:	HORIZ. VERT.		
	VERT. = 30'		
DATUM:	HORIZ.		
	VERT.		
30'	15' 0"	30'	
GRAPHIC SCALE			

S&ON III
AFFORD ROAD
ESTER, CONNECTICUT 06040
69
www.s-and-on.com

ANTHONY PROPERTIES
SITE GRADING & DRAINAGE PLAN
ANTHONY PROPERTIES DEVELOPMENT -
SOUTHWATON CONNECTION
WATSON

PROJ. No.: 20210063.A10
DATE: 12/07/2022

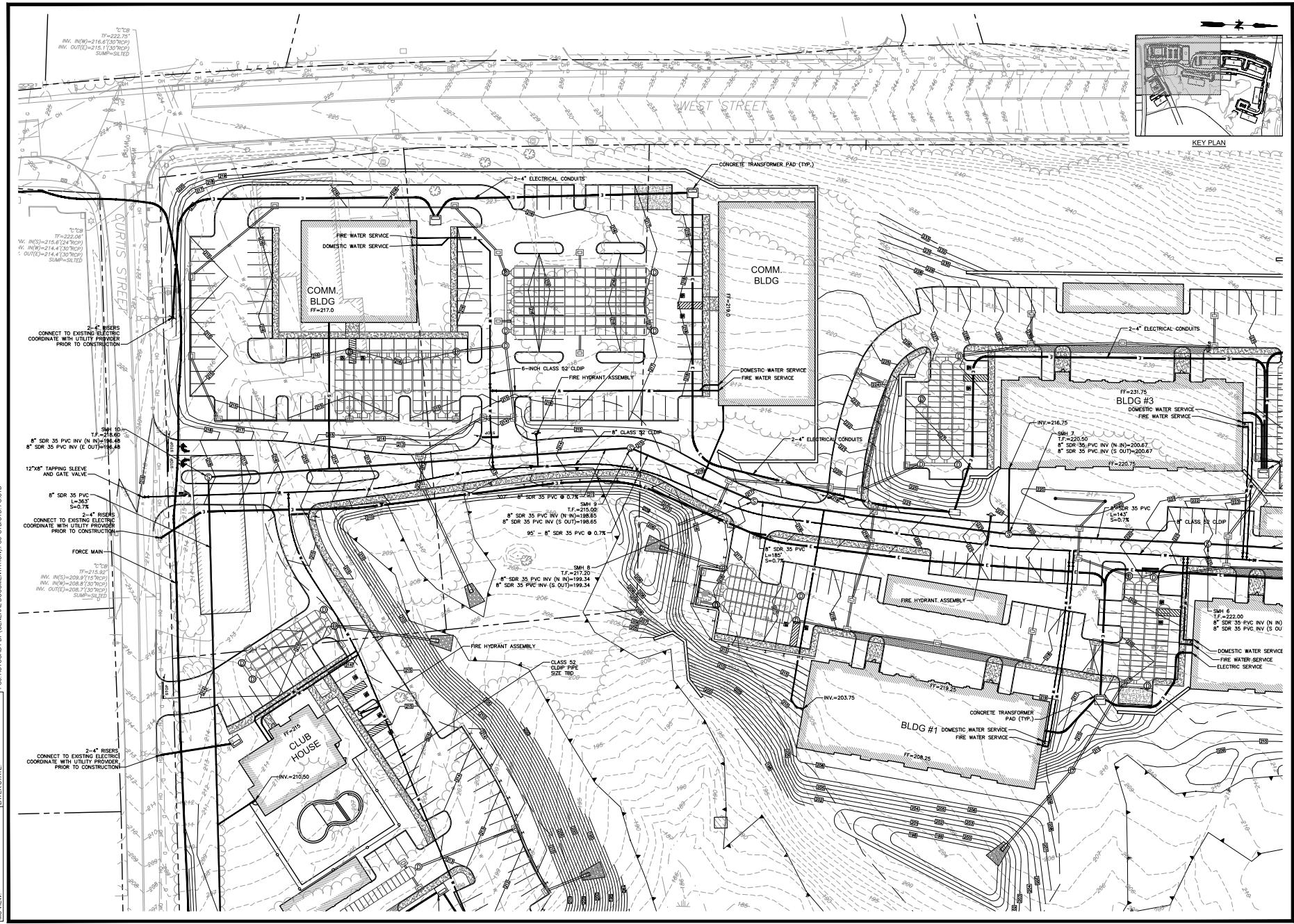
CG-103



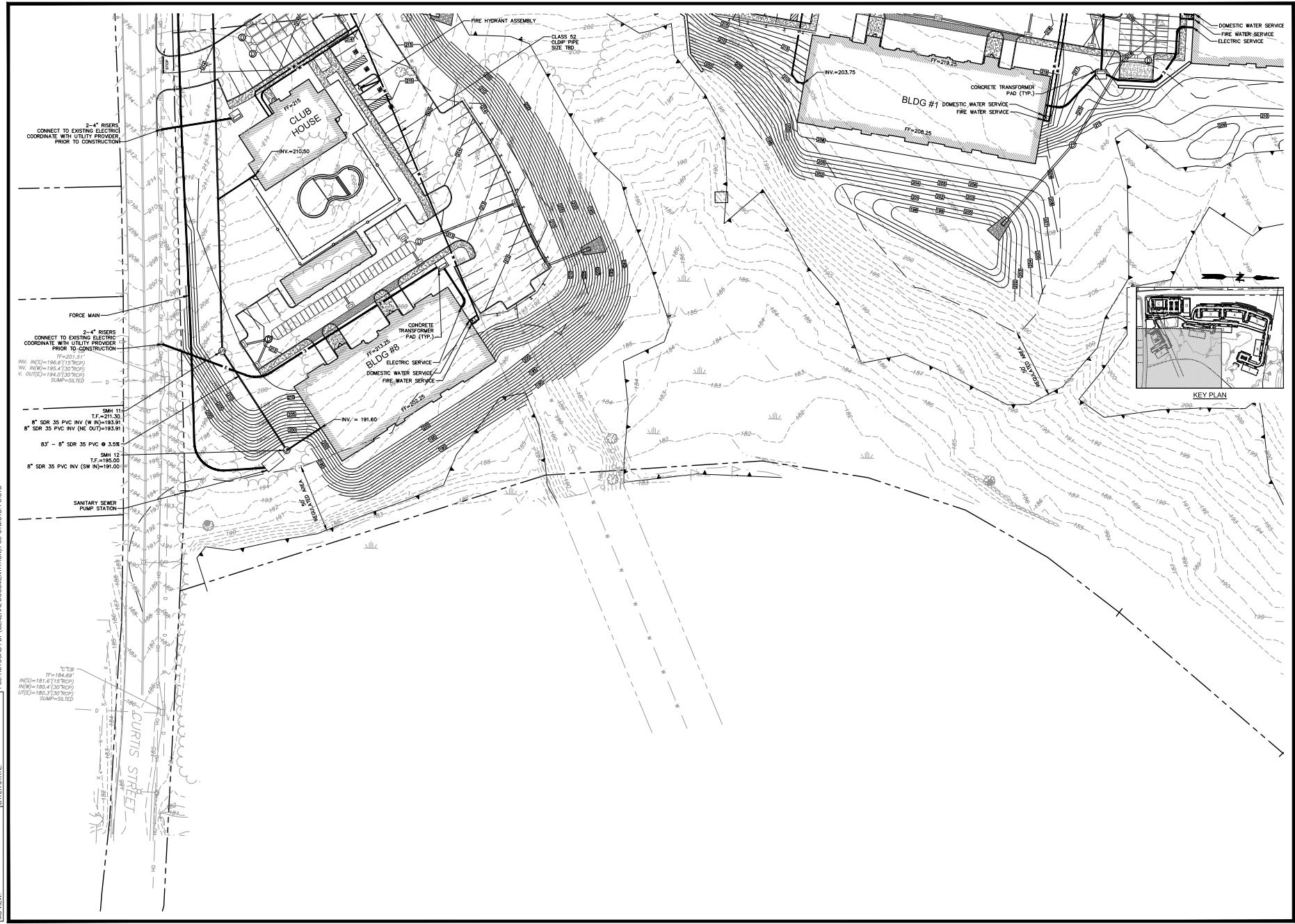
No.	Date	Description

GRAPHIC SCALE

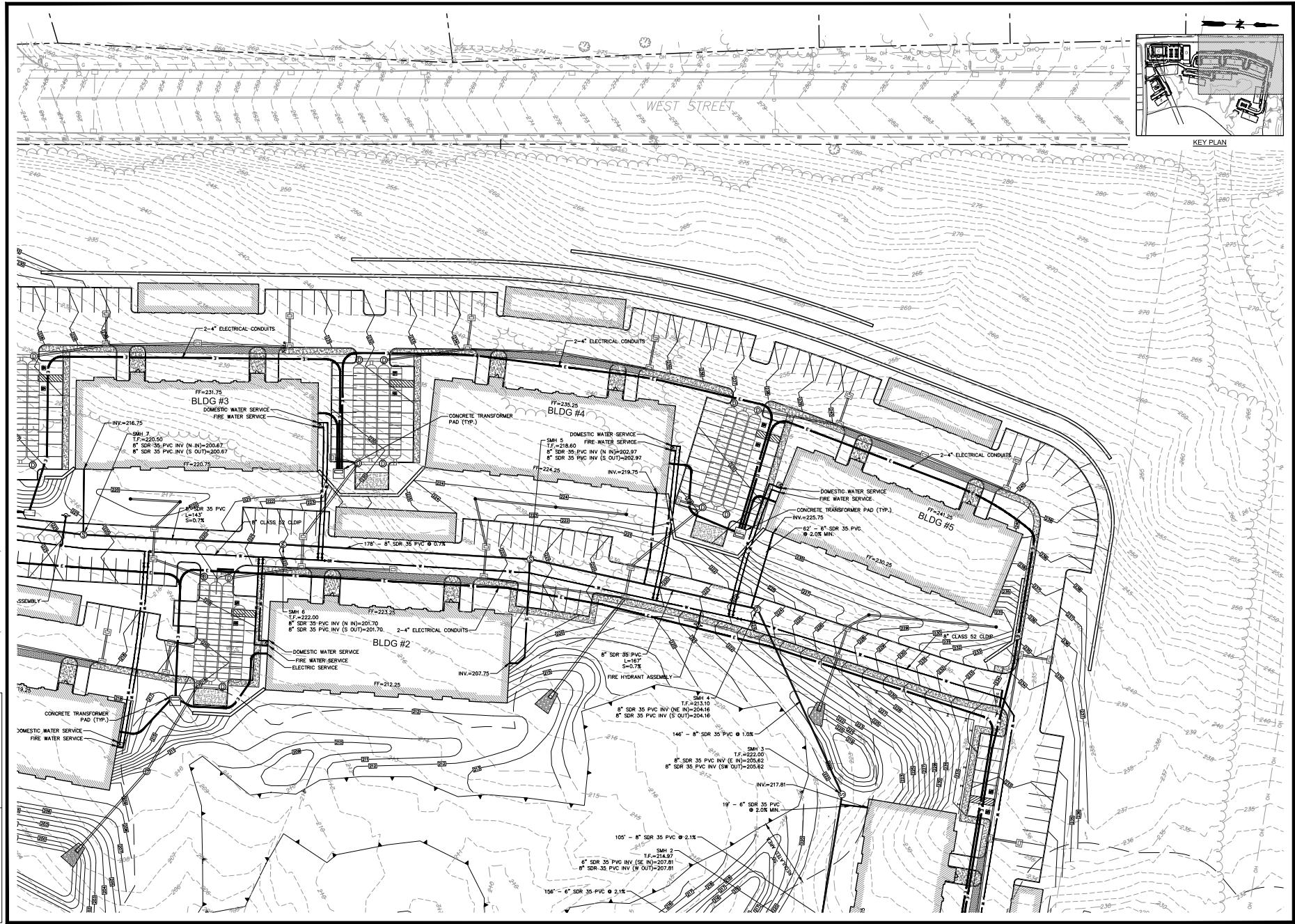




DESIGNER REVIEWER	DESCRIPTION	No.	DATE
PROJ. No. 20210663.A10 DATE: 12/07/2022			
CU-101			
14 MURKIN ROAD MANCHESTER, CONNECTICUT 06040 860.665.3460 www.fuso.com			
FUS & O'NEILL ANTHONY PROPERTIES SITE UTILITY PLAN ANTHONY PROPERTIES DEVELOPMENT - SOUTHINGTON, CONNECTICUT			

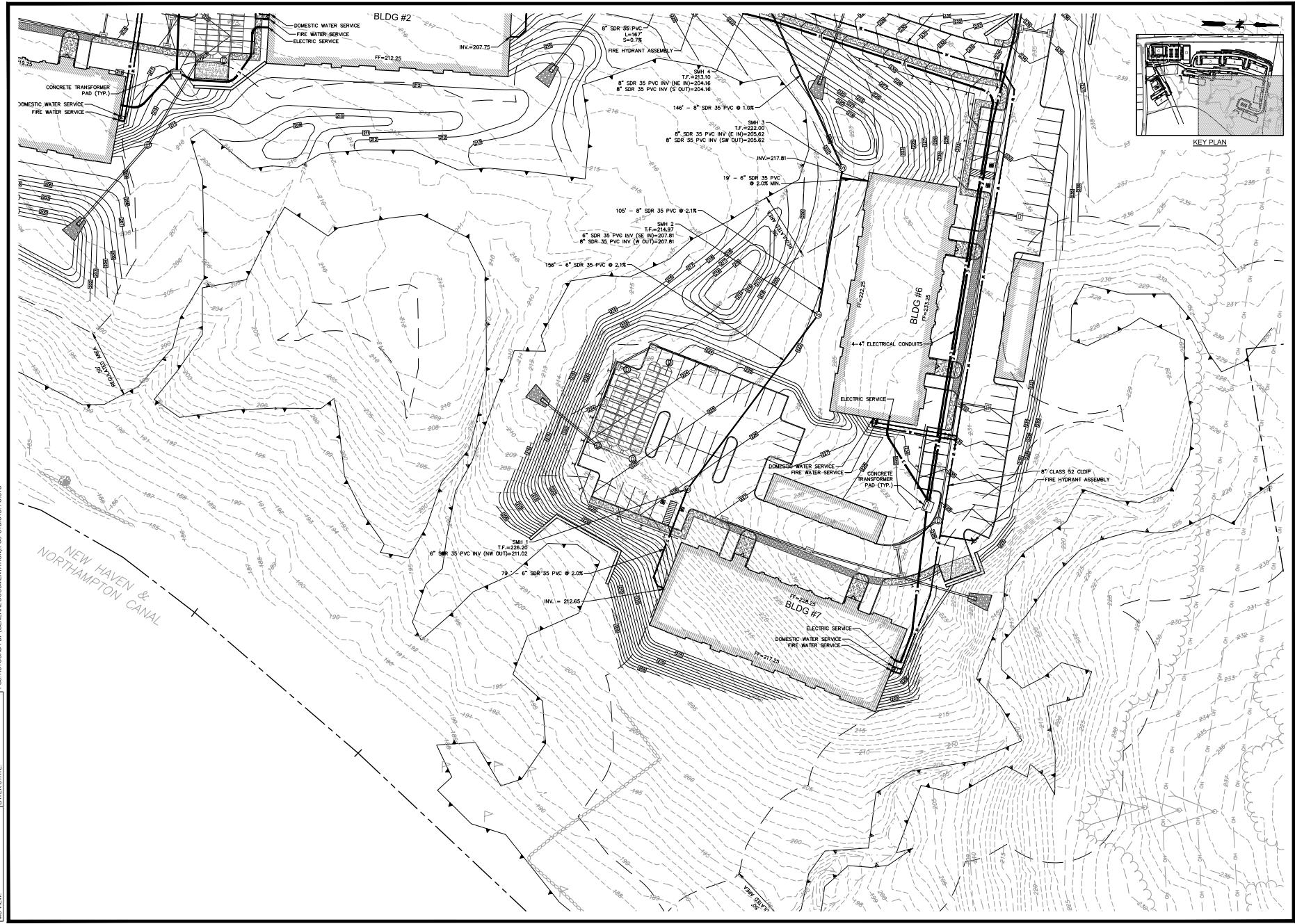


PROJ. No.	20210063.A10
DATE:	12/07/2022
CU-102	
ANTHONY PROPERTIES	SITE UTILITY PLAN
ANTHONY PROPERTIES DEVELOPMENT - SOUTHTON, CONNECTICUT	
14 MURRAY ROAD MANCHESTER, CONNECTICUT 06040 860.665.2460 www.ttbco.com	

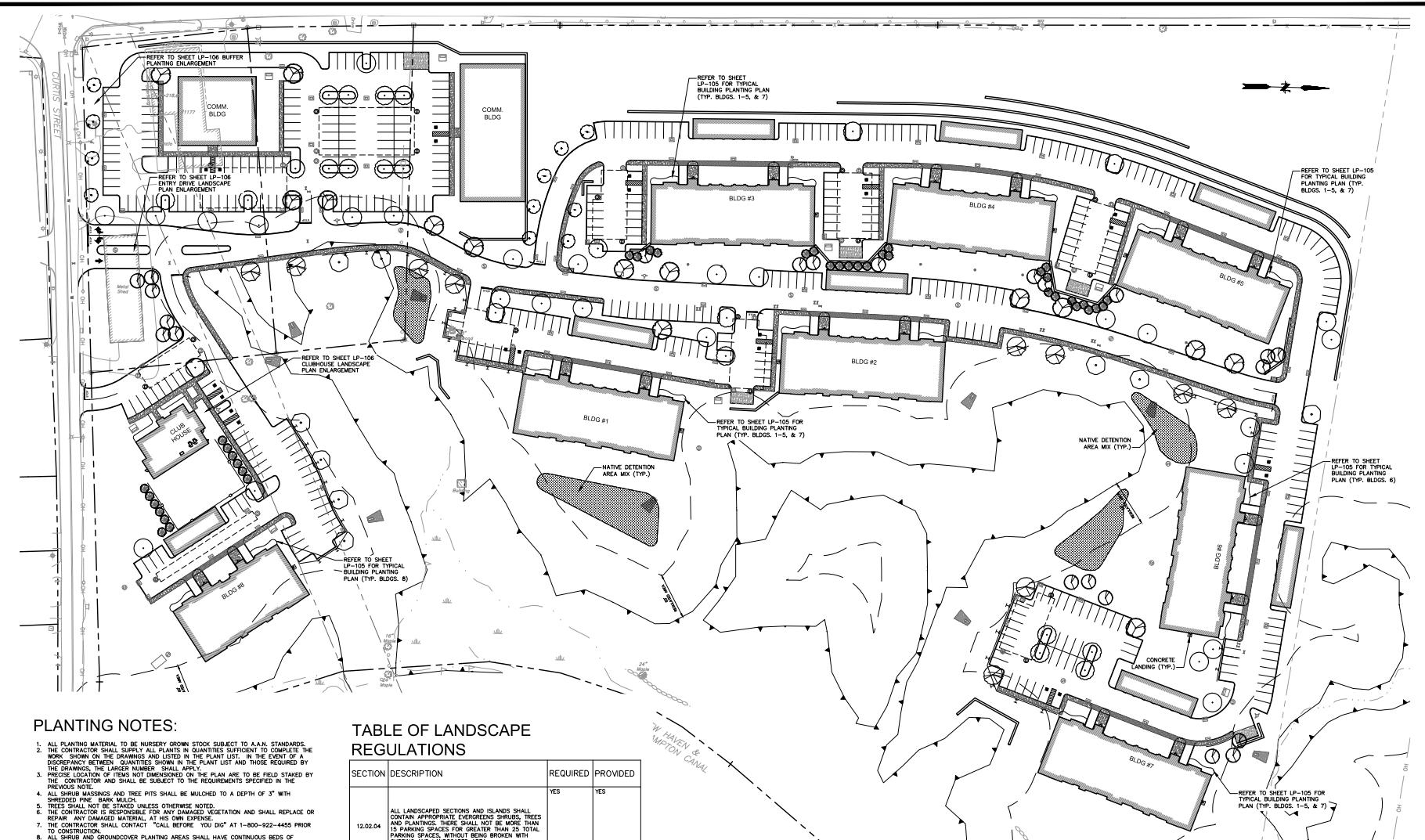


PROJ. No.	20210063.A10
DATE:	12/07/2022
CU-103	
ANTHONY PROPERTIES	SITE UTILITY PLAN
ANTHONY PROPERTIES DEVELOPMENT - SOUTHTON, CONNECTICUT	
STATE OF CONNECTICUT LICENSED PROFESSIONAL ENGINEERS MANUFACTURERS AND CONTRACTORS	GRAPHIC SCALE
14 MURKIN ROAD MANCHESTER, CONNECTICUT 06040 860/665-2460 www.ttbdc.com	SCALE: HORIZ.: 1" = 30' VERT.: 1" = 30'
ANTHONY PROPERTIES	DAUM:
ANTHONY PROPERTIES DEVELOPMENT - SOUTHTON, CONNECTICUT	HORIZ.: 15' 0" VERT.: 15' 0"
DESCRIPTION	
No.	DATE

RUSSELL & SONS, PLLC



No.	Description	Date
PROJ. No: 2021063.A10		
DATE: 12/07/2022		
CU-104		
RUSSELL & O'NEILL		
14 MURKIN ROAD MANCHESTER, CONNECTICUT 06040 860.665.3460 www.rusone.com		
STATE OF CONNECTICUT LICENSURE BOARD MANUFACTURED HOME MANUFACTURED HOME MANUFACTURED HOME MANUFACTURED HOME		
GRAPHIC SCALE		



PLANTING NOTES:

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.M. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST, THE LARGER NUMBER SHALL APPLY.
- PLANTING MATERIAL PROVIDED BY THE CONTRACTOR TO THE PROJECT PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PLANT LIST.
- ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE, PARK MILCH, OR EQUIVALENT.
- ALL PLANTING Holes shall be backfilled unless otherwise noted.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR RESTORE THE SAME AT NO CHARGE TO THE OWNER. THE CONTRACTOR SHALL CALL BEFORE YOU DIG AT 1-800-922-4455 PRIOR TO PLANTING.
- THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 PRIOR TO PLANTING.
- ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOIL AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 6".
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD WHERE PLANT MATERIAL IS TO BE PLANTED. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- FOR PLANTING SOIL, SEE SPECIFICATIONS ON SEPARATE SHEET.
- ALL PLANTING Holes shall be filled with appropriate backfill material, fine raked, scarified and stabilized with appropriate vegetative material. All plantings shall be mulched with shredded pine, park milch, or equivalent.
- ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF DESIGN CHANGES OR TO REMOVE DAMAGE TO EXISTING PLANT MATERIAL BY THE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE, REPAIR, AND RESTOCKING OF PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
- PLANT MATERIAL LEFT IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROVIDED BY THE CONTRACTOR AT NO CHARGE TO THE OWNER.
- UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND PLANTING MATERIAL. CONTRACTOR SHALL OFFER TO RESTORE TO ORIGINAL CONDITION ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
- CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS TECOM IN THE PLANT LIST AND WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
- CONTRACTOR TO RESEED ALL DISTURBED AREAS.

TABLE OF LANDSCAPE REGULATIONS

SECTION	DESCRIPTION	REQUIRED	PROVIDED
12.02.04	ALL LANDSCAPED SECTIONS AND ISLANDS SHALL CONTAIN APPROPRIATE EVERGREENS, SHRUBS, TREES AND PLANTINGS. THERE SHALL NOT BE MORE THAN 20 FEET BETWEEN THE CENTER LINE OF THE 25 TOTAL PARKING SPACES, WITHOUT BEING BROKEN, WITH CURBING AND LANDSCAPED AREA.	YES	YES
12.02.05	ALL PARKINGLOTS SHALL CONTAIN LANDSCAPED AREAS IN THE BATHS OF 20 FEET LESS THAN 20 SQUARE FEET FOR EACH PARKING SPACE. 617 SPACES X 20 = 12,340 SF LANDSCAPE AREA REQUIRED	YES	YES
12.02.08	NO VEHICLE PARKING SHALL BE PROVIDED IN THE TRAFFIC ALIGNMENT. REFER TO THE PUBLIC RIGHT-OF-WAY BY A FULLY BERNED LANDSCAPE BORDER OF NOT LESS THAN FOUR FEET. THIS AREA SHALL BE PLANTED WITH APPROPRIATE TREES, SHRUBS, AND PLANTINGS.	YES	YES

LEGEND:
 NATIVE DETENTION AREA MIX (ERNMX-163)

PLANT LIST

KEY BOTANICAL NAME

TREES

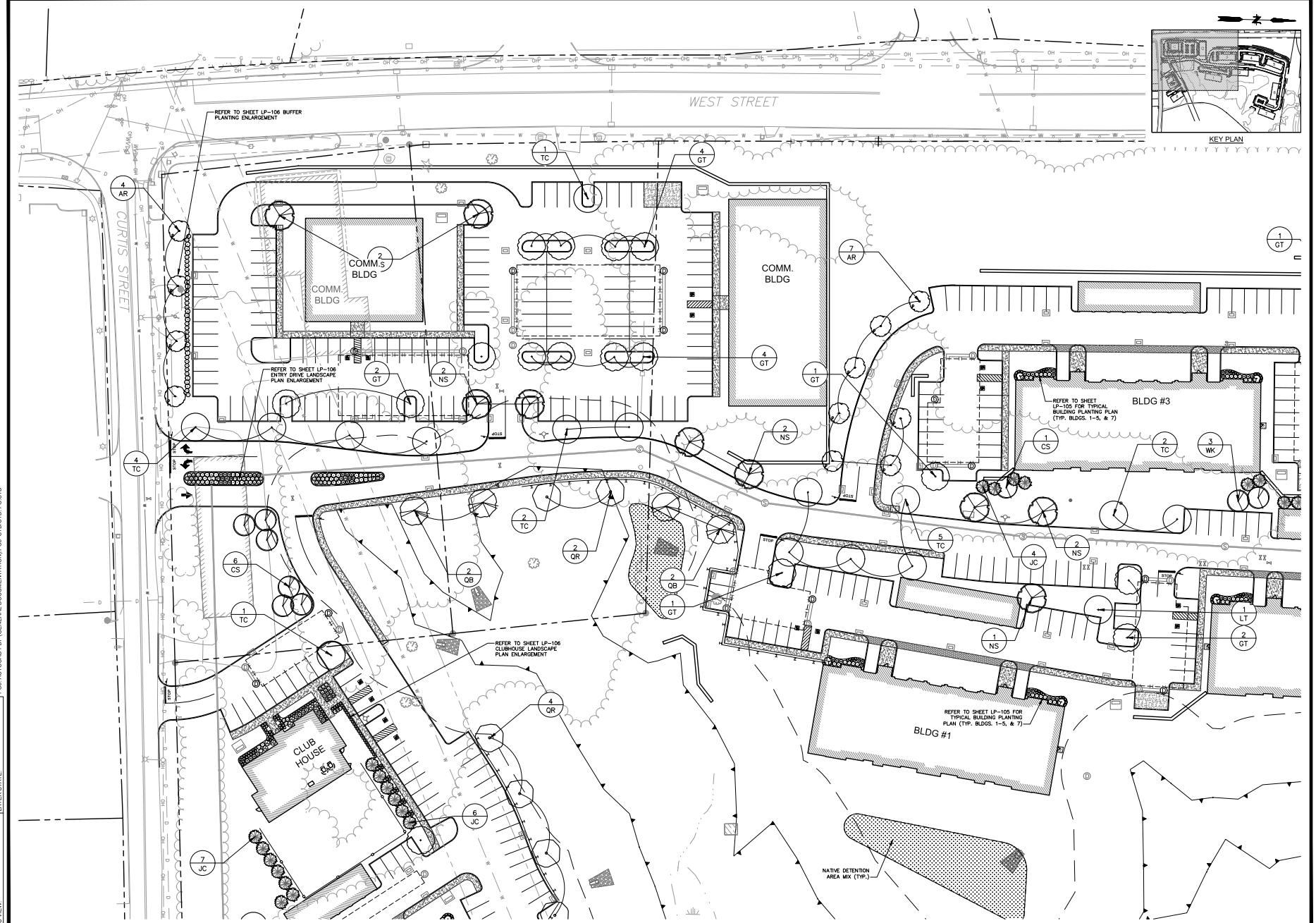
COMMON NAME	QTY.	SIZE
RED MAPLE	11	2'-3" CAL
THORNLESS HONEYLOCUST	20	2-3" CAL
GREENSPRCE LINDEN	17	2'-3" CAL
TULIPTREE	5	2'-3" CAL
SWEET GUM	4	2'-3" CAL
BLACK TUPELO	14	2-2" CAL
SWAMP WHITE OAK	9	2'-3" CAL
RED OAK	9	2-3" CAL
AUTUMN BRILLIANCE SHAD	6	5'-6" HT
STELLAR PINK DOGWOOD	10	6-7" HT
WINTER KING HAWTHORN	6	2'-5" CAL
KETELEERI UPRIGHT JUNIPER	39	7'-8" HT

ANTHONY PROPERTIES
OVERALL SITE LANDSCAPING PLAN
ANTHONY PROPERTIES DEVELOPMENT -
SOUTHBURY, CONNECTICUT

PROJ. No.: 20210063.A10
DATE: 12/07/2022

LP-100

DESIGNER REVIEWER	
NAME	DATE
SCALE	HORIZ: 1"-50' VERT: 1"-50'
DAUM:	HORIZ: 25'-0" VERT: 25'-0"
GRAPHIC SCALE	



PROJ. No.	2021063.A10
DATE:	12/07/2022
LP-101	
SCALE:	HORZ.: 1" = 20' VERT.: 1" = 20'
DAUM:	50 0 0
GRAPHIC SCALE	
DESIGNER REVIEWER	
REVIEWER	
DATE	
DESCRIPTION	
No.	

STATE OF CONNECTICUT
LICENCED PROFESSIONAL ENGINEERS

14 ALBERTON ROAD
MANCHESTER, CONNECTICUT 06040
860/665-2460
www.ttbco.com

