

CITY OF SELMA
PLANNING COMMISSION MEETING MINUTES

August 24, 2020

VIA TELECONFERENCE PURSUANT TO ECEVUTIVE ORDER N-29-20 ISSUED BY GOVERNOR GAVIN NEWSOM. THE COUNCIL CHAMBER WAS CLOSED TO THE PUBLIC. THE PUBLIC HAD THE OPTION TO CALL +1 646 876 9923 ID: 844 6586 9345 PASSCODE 08242020 TO PROVIDE COMMENTS ON AGENDA ITEMS.

The regular meeting of the City of Selma Planning Commission was called to order by Vice Chairman Garcia at 6:00 p.m. on August 24, 2020 in the Council Chambers. Commission members answering roll call were Juarez, Coury, Sandhu, Sekhon, Singh, Garcia. Planning Commissioner Gonzalez was absent.

Planning Commission Oath of Office: Oath of office was read and administered to two new Planning Commission members Nidya Juarez and Parveen Sandhu. Both affirmed their oaths of office.

Planning Commission Reorganization: Nominations were held for the open positions of Chairman and Vice Chairman.

A motion was made by Commissioner Coury and seconded by Commissioner Sekhon and carried with the following vote to nominate Commissioner Garcia to Chairman.

AYES: Coury, Sekhon, Juarez, Sandhu, Singh, Garcia
NOES: None
ABSTAIN: None
ABSENT: Gonzales

A motion was made by Chairman Garcia and seconded by Commissioner Sekhon and carried with the following vote to nominate Commissioner Coury to Vice-Chair.

AYES: Garcia, Sekhon, Juarez, Sandhu, Singh, Coury
NOES: None
ABSTAIN: None
ABSENT: Gonzales

Workshop: Selma Contract Planner Kira Noguera and Steven Brandt with QK Inc., held a presentation titled “What Every Planning Commissioner Needs To Know”. Discussion was held regarding the three main roles a commissioner holds.

Adjournment: There being no further business, meeting was adjourned at 7:30 p.m.

Minutes submitted by:

Lupe Macias
Building Planning Technician

**SELMA PLANNING COMMISSION
STAFF REPORT**

Meeting Date: May 24, 2021

TO: Selma Planning Commission
FROM: Community Development Department
SUBJECT: AGENDA ITEM NO. 2
Municipal Code Amendment - TITLE VI, Chapter 20

Summary and Purpose

The purpose of this agenda item is to hold a public hearing to consider recommending the approval of an amendment to Title VI, Section 20 of the Selma Municipal Code granting authority to the Community Services Director to approve the possession and consumption of alcoholic beverages on the grounds of the Pioneer Village, or any structure therein.

Application Information

Applicant: City of Selma

Project Location: Southwest corner of the intersection of Highland Ave. and Golden State Boulevard, Selma, CA (APN 348-192-04ST).

Applicant's Proposal: Proposal to revise Title VI, Chapter 20 of the Selma Municipal Code pertaining to alcohol consumption at the Pioneer Village.

Land Use; General Plan; Zoning: City-owned Park and Historical Center; Open Space; OS

Summary and Purpose

The Pioneer Village has historically been used by the community for public and private parties (e.g. weddings, birthday parties, etc.), concerts, special events, and other community-oriented uses. In practice, alcohol is permitted at the discretion of the Selma Police Department and the Community Services Director, subject to a day license from the California Department of Alcoholic Beverage Control. As currently written, the Selma Municipal Code does not permit alcoholic beverage consumption (Title 6, Chapter 20) without the approval of the City Council and is only allowed for non-profit organizations.

The proposed amendment would simply bring the Municipal Code in line with the current practice of the City.

The proposed ordinance amendment was presented to the Pioneer Village Advisory Commission on May 20, 2021, which voted in support of the ordinance amendment.

Environmental (CEQA)

Pursuant to California Environmental Quality Act (CEQA) Guidelines section 15305 - Minor alterations in land use limitations - it has been determined that this project will not have a significant effect on the environment and the project is categorically exempt from additional CEQA processes. The Categorical Exemption is attached.

Notice of Public Hearing

The Public Notice was published one time in The Selma Enterprise on May 12, 2021.

Recommendation

Staff recommends approval of Resolution No. 2021-01, recommending that the City Council of the City of Selma adopt an Ordinance amending Chapter 20 of Title 6 of the Selma Municipal Code.

/s/
Fernando Santillan, Director
Community Development Department

Attachments

1. Resolution 2021-01
2. Exhibit A: Draft Ordinance 2021-XX Amending Chapter 20 of Title 6 of the Selma Municipal Code
3. Public Hearing Notice – Confirmation of Publication

RESOLUTION NO. 2021-01

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SELMA, CALIFORNIA RECOMMENDING THE CITY COUNCIL APPROVE AN AMENDMENT TO THE SELMA MUNICIPAL CODE PERTAINING TO ALCOHOLIC BEVERAGE CONSUMPTION AT PIONEER VILLAGE

WHEREAS, the City of Selma has historically made the Pioneer Village available for public rentals for events such as weddings, birthday parties, concerts, meetings, and other community-oriented uses; and

WHEREAS, the proposed changes to the Municipal Code would bring into alignment the current practice of the City relating to Pioneer Village rentals and approval of alcoholic beverage consumption; and

WHEREAS, the Pioneer Village Advisory Commission considered the proposed ordinance amendment on May 20, 2021, and voted in support of the ordinance amendment; and

WHEREAS, a public hearing notice was published on May 12, 2021, in the Selma Enterprise in accordance with all applicable local and state laws; and

WHEREAS, a duly noticed public hearing of the Selma Planning Commission was held at the regularly scheduled public meeting on May 12, 2021; and

WHEREAS, the Planning Commission, after holding a public hearing, considered Exhibit A, the staff report and recommendations together with all public testimony of interested parties; and

WHEREAS, reflecting independent judgment and analysis, the Planning Commission determined that the project will not have a significant effect on the environment based upon the information received and Staff's review and Assessment, and the project, as proposed, qualifies as a Class 5 Categorical Exemption pursuant to California Environmental Quality Act ("CEQA") Guidelines Section 15305 because it is an action that consists of minor alterations in land use limitations in areas with an average slope of less than 20%, which do not result in any changes to land use or density, meeting the conditions described in Section 15305.

NOW, THEREFORE, BE IT RESOLVED, that the City of Selma Planning Commission hereby takes the following actions:

1. The Planning Commission finds that all of the facts set forth in the Recitals of this Resolution are true and correct and are incorporated herein by reference.
2. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of

the City of Selma.

3. The Planning Commission approves this Resolution and recommends approval of the Categorical Exemption and adoption of the draft Ordinance (attached as Exhibit A)

4. The provisions of this Resolution are severable and if any provision, clause, sentence, word or part thereof is held illegal, invalid, unconstitutional, or inapplicable to any person or circumstances, such illegality, invalidity, unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, sections, words or parts thereof of the Resolution or their applicability to other persons or circumstances.

5. The Secretary of the Planning Commission shall certify to the adoption of this Resolution, and that the same shall be in full force and effect. The Planning Commission hereby directs the Secretary to transmit a copy of this Resolution to the City Clerk of the City of Selma.

PASSED, APPROVED AND ADOPTED by the Planning Commission of the City of Selma at a regular meeting held on May 24, 2021, by the following vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSTENTION: COMMISSIONERS:

ABSENT: COMMISSIONERS:

GREG GARCIA
CHAIRMAN OF THE COMMISSION

Fernando Santillan
Secretary, Selma City Planning Commission

EXHIBIT "A"

ORDINANCE NO. 2021 - ____

AN ORDINANCE OF THE CITY COUNCIL OF THE
CITY OF SELMA AMENDING CHAPTER 20 OF TITLE 6 OF THE
SELMA MUNICIPAL CODE RELATING TO ALCOHOLIC BEVERAGES AT THE
PIONEER VILLAGE

THE CITY COUNCIL OF THE CITY OF SELMA DOES HEREBY ORDAIN as follows:

SECTION 1: Section 4 of Chapter 20 of Title VI (6-20-4) of the Municipal Code of the City of Selma is hereby amended to read as follows:

"6-20-4: Pioneer Village; Alcoholic Beverages

No person shall have in his or her possession, or consume any beer, wine, or other intoxicating beverage on the grounds of Pioneer Village or in any of the structures therein, unless such possession and/or consumption is in conjunction with a public or private event, gathering, or function approved for the consumption of alcohol by the Community Services Director by application and rental or use agreement. Any event, gathering, or function that involves the consumption of alcohol must obtain a day license from the California Department of Alcoholic Beverage Control and shall be subject to all rules and regulations of Pioneer Village. ~~No organization shall sponsor or hold an event, gathering, or public function which permits the consumption of alcoholic beverages in violation of this section. A community organization may apply to the council for permission to sponsor or hold an event, gathering, or function involving the consumption of alcoholic beverages otherwise prohibited by this section.~~ The council Community Services Director and eChief of pPolice may impose conditions on any event, gathering, or function that involves the consumption of alcohol to protect the public health and safety. ~~Any organization requesting an approval under this section must present written evidence that the organization has obtained from the internal revenue service an exemption determination under internal revenue code section 501.~~ This section shall not be deemed to make punishable any act or acts which are prohibited by any law of the state.

* * * * *

I, REYNA RIVERA, City Clerk of the City of Selma, do hereby certify that the foregoing Ordinance was introduced at the _____ regular City Council meeting and duly adopted at a regular meeting held on _____, by the following vote, to wit:

AYES:	COUNCIL MEMBERS:
NOES:	COUNCIL MEMBERS:
ABSENT:	COUNCIL MEMBERS:
ABSTAIN:	COUNCIL MEMBERS:

Scott Robertson
Mayor of the City of Selma

ATTEST:

Reyna Rivera
City Clerk of the City of Selma

APPROVED AS TO FORM:

Mary F. Lerner
City Attorney

THE SENTINEL
P O BOX 9
HANFORD CA 93232
(559)582-0471
Fax (559)582-2431

ORDER CONFIRMATION

Salesperson: JUAN MORALES

Printed at 05/07/21 13:15 by jmora-bk

Acct #: 6843

Ad #: 30004

Status: New

CITY OF SELMA - LEGALS
FINANCE DEPT.
1710 TUCKER ST
SELMA CA 93662

Start: 05/12/2021 Stop: 05/12/2021
Times Ord: 1 Times Run: ***
3STD 2.00 X 5.41 Words: 416
Total 3STD 10.82
Class: H0986 LEGALS
Rate: LD Cost: 174.32
Affidavits: 1

Contact:

Phone: (559)891-2201

Fax#:

Email: inezn@cityofselma.com

Agency:

Ad Descrpt: AD# 30004 CITY OF SELMA P
Given by: *

P.O. #:

Created: jmora 05/07/21 13:11

Last Changed: jmora 05/07/21 13:15

PUB ZONE EDT TP RUN DATES
ENTR A 95 S 05/12
HSO A 95 S 05/12

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Name (print or type)

Name (signature)

(CONTINUED ON NEXT PAGE)

THE SENTINEL
P O BOX 9
HANFORD CA 93232
(559)582-0471
Fax (559)582-2431

ORDER CONFIRMATION (CONTINUED)

Salesperson: JUAN MORALES

Printed at 05/07/21 13:15 by jmora-bk

Acct #: 6843

Ad #: 30004

Status: New

AD# 30004

**CITY OF SELMA
PLANNING COMMISSION
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Selma will hold a public hearing on Monday, May 24, 2021 at 6:00 p.m., or as soon thereafter as the matter may be heard in the Council Chambers of the City Hall, 1710 Tucker Street, Selma, California, to consider the following matters:

1. ANNEXATION, PRE-ZONE, TENTATIVE SUBDIVISION MAP NO. 2021-0002 - Consideration of an Annexation, Pre-Zone, and Tentative Subdivision Map application filed by Lennar Homes for a 55.1 acre property located at the northeast corner of East Floral Avenue and Dockery Avenue (APNs: 358-100-(08-11) & 358-100-37) to allow for the creation of 270 single family lots and a park. The proposed zoning will be ResidentialMedium (R-M SP-AMB). The project is consistent with the Amberwood Specific Plan and the City of Selma General Plan. The Annexation application encompasses 94.53 acres.

2. AMENDMENT TO TITLE VI, SECTION 20 (ALCOHOLIC BEVERAGES) OF THE CITY OF SELMA MUNICIPAL CODE - Consideration of a resolution of the Planning Commission recommending that the Selma City Council approve an amendment to Section 20, 6-20-4: PIONEER VILLAGE; ALCOHOLIC BEVERAGES allowing for alcoholic beverage consumption on the premises for public and private events, gatherings, and functions.

A copy of all relevant materials regarding the proposed actions is on file in the Development Services Department at Selma City Hall, 1710 Tucker Street, Selma, California. Specific questions can be directed to the City's Planning Division at (559) 891-2208. Si necesita información en Español, comuníquese con Lupe Macias al teléfono (559) 891-2208 o por correo electrónico lmacias@cityofselma.com.

Due to the COVID-19 pandemic public health orders, which limit in-person public meetings, the public hearing will be held either in the Selma City Council Chambers, or in another manner specified in the meeting agenda. Please check the May 24, 2021 Planning Commission agenda once it is posted on the City's website for information as to how to participate in the Planning Commission meeting. Written comments may be sent via U.S. Mail or by hand delivery to the City of Selma, at City Hall, at the address listed above.

If you challenge the nature of the proposed items in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Selma at, or prior to, the public hearing.

Reyna Rivera, City Clerk
Publish Date: May 12, 2021

SELMA PLANNING COMMISSION

STAFF REPORT

Meeting Date: May 24, 2021

TO: Selma Planning Commission

FROM: Community Development Department

SUBJECT: AGENDA ITEM NO. 3
Submittal No. 2021-0002: Annexation
Prezone
Vesting Tentative Subdivision Map (Tract 6244)
Notice of Exemption

Summary and Purpose

To consider the approval of Application No. 2021-0002, which consists of, an annexation, pre-zone, Vesting Tentative Subdivision Map (Tract 6244), and accompanied Notice of Exemption, which would annex 94.53-acres into the City limits, and allow for the creation of 270 residential lots and two parks.

Application Information

Applicant: Jeff Callaway/Lennar Homes
8080 North Palm Avenue, #110, Fresno, CA 93711

Project Location: Northeast corner of East Floral and Dockery Avenue (358-100-(08-11), 358-100-37).

Applicant's Proposal: Annexation of 94.53 acres, Pre-Zone, and Vesting Tentative Subdivision Map application for a 55.1-acre property located at the northeast corner of East Floral Avenue and Dockery Avenue (APNs: 358-100-(08-11) & 358-100-37) to allow for the creation of 270 single family lots and two parks.

Land Use; General Plan; Zoning: Vacant; Medium Low Density; no zoning designation (proposed zoning of R-M SP-AMB).

Project Background

The site is currently comprised of five vacant parcels (Attachment 1). Lennar Homes is proposing the annexation of 94.53 acres (Attachment 2), rezoning the property, and subdividing a portion of the property to accommodate a 270-lot single family residential subdivision and 2 outlots on 55.06 gross acres (47.1 net acres) located on the northeast corner of E Floral Avenue and Dockery Avenue (Attachment 3). The site is surrounded by housing development to the west, Abraham Lincoln Middle School to the north, vacant land to the east, and vacant land to the south. The proposed subdivision will be constructed in one phase comprising of three different home products, a centrally located 2-acre park (Outlot A), and an additional 0.11-acre park (Outlot B) along the west entry of the project. The parks would be constructed by the Applicant and maintained by the city through a Landscape and Lighting Maintenance District. A proposed conceptual design of the layout, street sections, and park design is

included as Attachment 4. The proposed subdivision will be consistent with the City of Selma General Plan and the intent of the Amberwood Specific Plan by providing opportunities for different types of housing and will comply with all applicable development standards.

The California State Subdivision Map Act provides that a local agency must make certain findings prior to making recommendations on any tentative parcel map. Staff has prepared a resolution for approval incorporating the required findings and conditions of approval. Vesting Tentative Subdivision Map (Tract No. 6244) is consistent with the provisions of the California State Subdivision Map Act.

Specific Plan Consistencies

The proposed project conforms to the intention of the adopted Amberwood Specific Plan (Specific Plan). The Amberwood Specific Plan and EIR was originally adopted by the Selma City Council on November 2, 2015.

The site is proposed to be rezoned as R-M Residential–Medium (R-M SP-AMB), which allows a density of up to 9 DU/AC. The proposal will create 270 lots for a total of 5.73 DU per net acre. The minimum lot size for the R-M zone is 3,000 SF. The proposed lots range in size from 3,994 SF to 13,154 SF. The proposed density and lot sizes align with those allowed in the Amberwood Specific Plan R-M zoning designation.

Though the Amberwood Specific Plan designates this neighborhood as Low Density Residential, the Specific Plan allows for variations within the plan area. Section 1.6.5 states, “Variations may consist of adjustments to land use and zoning district boundaries, density transfers between designated neighborhood areas so long as the overall unit count is not exceeded, and adjustments to interior roadway alignments and infrastructure as a result of detailed engineering information. Variations may be approved by the Director provided that they are substantially consistent with the overall intent of the Specific Plan and do not result in significant impacts not already addressed by the EIR or by subsequent environmental documents.”

This increase in density and variation in lot sizes complies with the intent of the Specific Plan to provide a variation of housing types to support different housing needs. Staff will require that future developers within the Amberwood Specific Plan provide a running total of the lot count within the Specific Plan area to assure that each additional proposed subdivision map meets the overall intended lot count for the overall Specific Plan area.

Circulation

Floral Avenue is an existing arterial street. A median is planned for Floral Avenue within the limits of the subdivision. A new collector street to the east of the proposed subdivision is also planned (Street L). Street improvements to support area circulation and to alleviate the potential for traffic congestion are planned from Dockery Avenue to Floral Avenue and are listed in the Conditions of Approval. For example, Condition #15 requires that the frontage and access on Floral Avenue, a collector street, to be developed to an ultimate width of a sixty-two (62') foot Floral Avenue public right-of-way on the north side and twenty-five (25') foot Floral avenue ROW on the south side. The street improvements consist of curb, gutter, sidewalk, and streetlights on the north side of Floral Avenue in accordance with the Amberwood Specific plan.

A block wall is proposed to be located along the western perimeter of the proposed Vesting Tentative Subdivision Map 2021-0002 (Tract 6244) (North Dockery Avenue), along the eastern perimeter (Street L), and along the southern perimeter (Floral Avenue).

The Applicant is proposing for Tract 6244 to consist of 3 different lot plans: California Series (80 homesites), Coronet (95 homesites), and Clementine (95 homesites). The elevations, floorplans, and renderings for each of these plans can be seen in Attachment 5.

Utilities and Infrastructure

California Water Service Company (Cal Water) will provide domestic water for Amberwood by water mains located in Floral Avenue. Wastewater will be collected in a community-wide sanitary sewer system for the proposed Project. The Selma-Kingsburg-Fowler (SKF) Sewage Treatment Plant, which is located west of Highway 99 and west of Kingsburg, will be used for the treatment and disposal of the sewage generated by the project.

Though the expectation for storm drainage initially is to drain into the existing system, the developer will have to provide the infrastructure for that activity. Eventually, at full buildout, Amberwood Specific Plan Area storm drain water will be collected and detained on-site through the storm drainage system as described in the Amberwood Specific Plan. The storm drainage system will be designed to collect stormwater runoff in individual neighborhoods and convey it to the linear park via a traditional inlet and pipe system. Best management practices will be used to assure water quality.

Subdivision Map Act Findings

To approve the Vesting Tentative Subdivision Map No. 2021-0002, the City Council is required by the Subdivision Map Act to make findings in accordance with the act (Government Code §66410, *et seq.*). The following findings are recommended for adoption by the City Council.

1. Finding: The proposed division of land is consistent with the objectives, policies, general plan land uses, and programs adopted with the General Plan. (Government Code §66473.5)

Evidence: The site is designated as Medium Low Density in the General Plan. The proposed tentative map at 5.73 DU/AC is in accordance with the density requirements of this General Plan designation.

2. Finding: The proposed division of land complies with requirements as to improvement and design.

Evidence: The site is essentially level, contains no trees, and will, once subdivided, meet the minimum design requirements for subdivisions in the neighborhood. The lots, upon creation, will support development which will meet City of Selma and Amberwood Specific Plan zoning requirements. In addition, the developer will be required to comply with the conditions of approval that secure the adherence to the City's infrastructure design standard requirements for future residential development of the site.

3. Finding: The proposed division of land complies with requirements for flood water drainage control.

Evidence: Conditions of approval will require the subdivision to provide storm drainage infrastructure to drain into existing facilities in accordance with adopted City development standards.

4. Finding: The proposed division of the property is consistent with the General Plan land use designation.

Evidence: The parcels proposed supports the development of single family residential General Plan land use designation of Medium Low Density Residential.

5. Finding: That the design or improvement of the proposed subdivision is consistent with applicable general or specific plans.

Evidence: The proposed project substantially conforms to the adopted Amberwood Specific Plan.

6. Finding: The site is physically suitable for the development proposed.

Evidence: The proposed project is consistent with the design and improvement of a single-family residential project. The site has a generally flat topography and does not contain any unique topographical features.

7. Finding: The site is physically suitable for the proposed density.

Evidence: The lots created by the subdivision have sufficient size, configuration, and access to satisfy the criteria applicable to the site and can physically support single-family residential uses promoted under the General Plan. In addition, as noted in Finding 6, the site has a generally flat topography and does not contain any unique topographical features.

8. Finding: The design of the proposed division and improvements will not cause environmental damage or injure fish, wildlife, or their habitat.

Evidence: The project is located on property where people have altered the land through agricultural type uses.

9. Finding: The design of the proposed division and improvements will not cause serious public health problems.

Evidence: Adequate measures have been applied with the conditions of approval to address potential concerns related to public health, including, but not limited to, provisions for water for domestic use and fire protection, extension of sanitary sewer facilities to ensure proper management of wastewater, installation of necessary storm drainage, construction of proper public streets and sidewalk, flood control measures, and provision for proper and orderly timing for construction of necessary improvements.

10. Finding: The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

Evidence: Based on the proposed design, the type of improvements will not conflict with any easements acquired by the public for access.

11. Finding: The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Government Code §66473.1).

Evidence: The design of the project will meet the 2017 California Green Building Code which ensures that buildings will provide for energy efficiency.

12. Finding: The effects of the proposed subdivision on the housing needs of the region were considered and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (Government Code §66412.3).

Evidence: The Vesting Tentative Subdivision Map and resulting parcels are consistent with the City's Housing Element.

13. Finding: Approval of Vesting Tentative Subdivision Map Tract 6244 is a project subject to the provisions of the California Environmental Quality Act.

Evidence: Findings in support of Article 12. Special Situations - Section 15182 Projects Pursuant to a Specific Plan Exemption are include below (Section 15182 of California Environmental Quality Act ("CEQA") Guidelines, Title 14, Chapter 3 of the California Code of Regulations).

Environmental (CEQA)

Certain residential, commercial, and mixed-use projects that are consistent with a specific plan adopted pursuant to Title 7, Division 1, Chapter 3, Article 8 of the Government Code are exempt from CEQA, as described in section 15182 in the CEQA Guidelines. Where a public agency has prepared an EIR on a specific plan after January 1, 1980, a residential project undertaken pursuant to and in conformity to that specific plan is exempt from CEQA.

The Amberwood Specific Plan was originally adopted on November 2, 2015, by the Selma City Council. An Environmental Impact Report (EIR) for the Amberwood Specific Plan (SCH# 2007051003) was prepared for the Specific Plan pursuant to CEQA Guidelines. This EIR addresses the potential environmental impacts associated with the Specific Plan and is intended to serve as an EIR document for the planning area. The EIR will apply to future development projects, tentative maps, and other development processed in conformance with the Specific Plan.

The proposed annexation, prezone, and Vesting Tentative Subdivision Map are consistent with the Specific Plan. This project was reviewed under that EIR and found to be consistent with no additional environmental evaluation required. There are no substantial changes to the proposed project or circumstances, and no new information that requires additional environmental review pursuant to CEQA Guidelines Section 15162. Therefore, the Project is exempt from CEQA pursuant to Section 15182 of the CEQA Guidelines (Attachment 8).

Notice of Public Hearing

The Public Hearing Notice was published one time in The Selma Enterprise on May 12, 2021. The adjacent property owners within 300 feet were notified of the hearing by the City via letter on May 13, 2021 (Attachment 9).

Comments Received

City staff has not received written comments as of the writing of this staff report. The verbal comments received to date have been with regard to concerns over the potential for traffic congestion on Floral Ave, as well as concerns from neighbors about the potential traffic congestion on North Dockery Ave due to the proposed ingress/egress into the development from Street B/ North Dockery Ave. Pedestrian safety, particularly for students of the adjacent Abraham Lincoln Middle School, was also expressed as a concern.

Recommendation

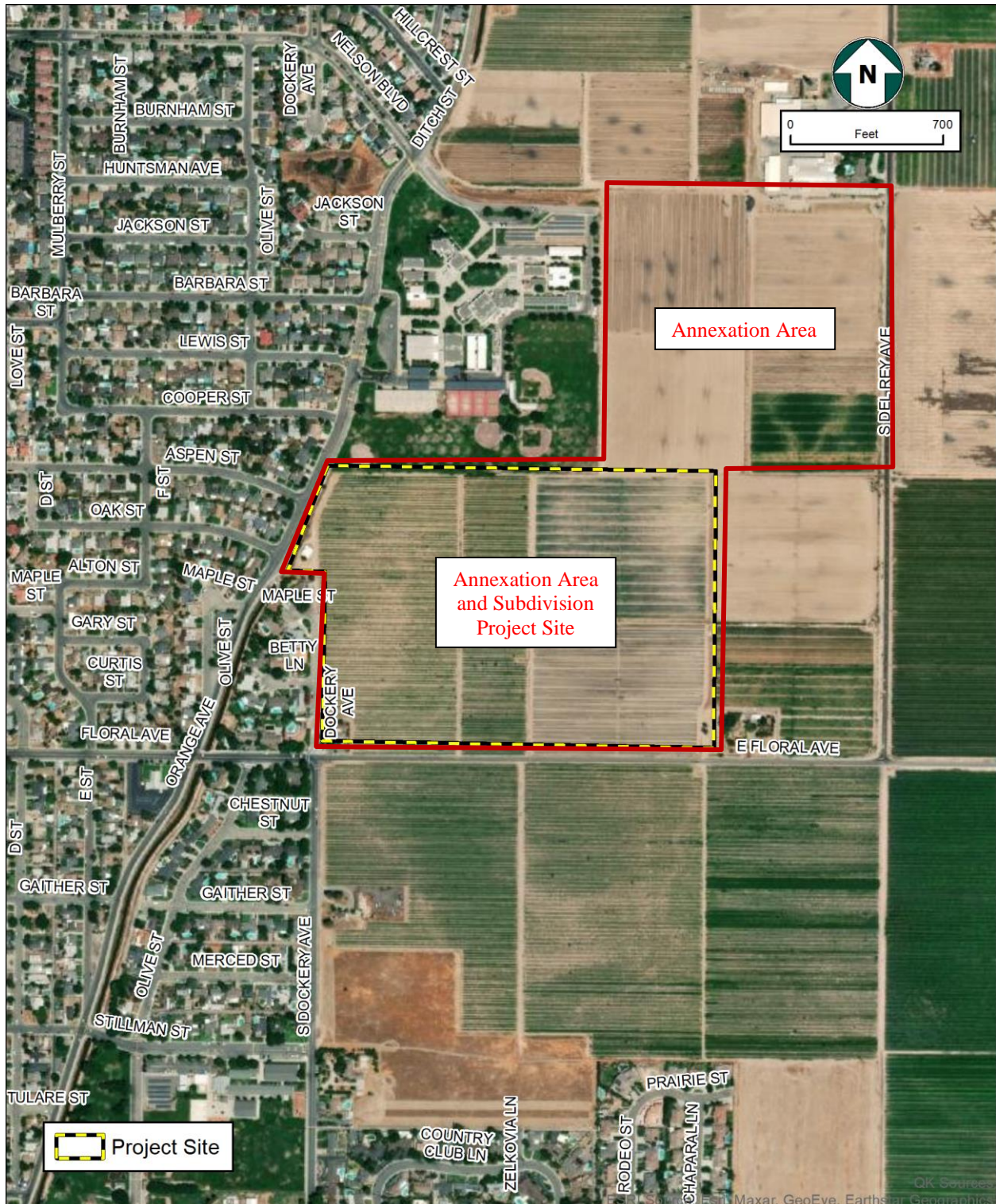
That the Planning Commission recommend to the City Council to approve Application No. 2021-0002, for the proposed Annexation, Prezone, and Vesting Tentative Subdivision Map (Tract 6244), along with the Findings, Conditions of Approval, and Notice of Exemption. The Planning Commission may continue this item, recommend denial of the project to the City Council, or direct staff to amend the documents presented.

_____/s/_____
Fernando Santillan,
Community Development Director

Attachments

1. Location Map
2. Annexation Map
3. Vesting Tentative Subdivision Map
4. Conceptual Layout, Street Sections, and Park Design
5. 3 Home types
6. Resolution No. _____ approving Annexation No. _____ and Prezone
7. Resolution No. _____ approving Vesting Tentative Subdivision Map (Tract 6244)
8. Notice of Exemption
9. Public Hearing Notice

Attachment 1 - Location Map



Attachment 2 - Annexation Map

FLORAL-DOCKERY NORTHEAST REORGANIZATION

Area to be detached from the Fresno County Fire Protection District and the Kings River Conservation District and Annexed to the City of Selma.

All that portion of the Southeast quarter of Section 32, Township 15 South, Range 22 East, Mount Diablo Base and Meridian, according to the Official United States Government Township Plat thereof, in the County of Fresno, State of California, described as follows:

BEGINNING at a point on the existing City limits line of the City of Selma, said point lying on the West line of said Southeast quarter North 0°22'57" East, 160.00 feet from the South quarter corner of said Section 32; thence

Continuing along the existing City limits line of the City of Selma, the following three courses:

- 1) North 0°22'57" West, 1161.66 feet along said West line; thence
- 2) South 89°36'19" East, 1284.50 feet; thence
- 3) North 0°22'57" East, 1321.59 feet to the North line of said Southeast quarter; thence

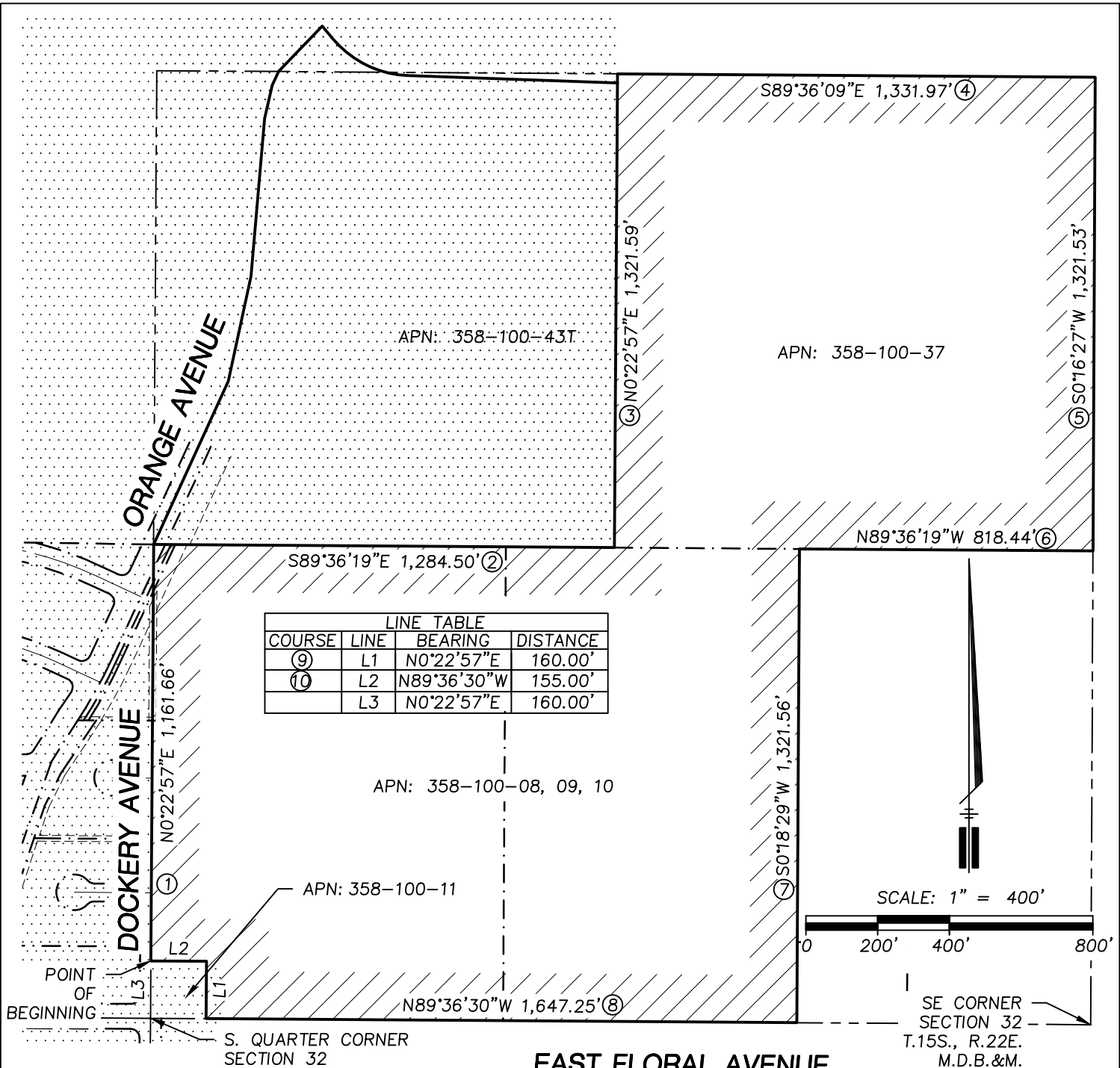
Leaving the existing City limits line of the City of Selma:

- 4) South 89°36'09" East, 1331.97 feet along said North line to the East quarter corner of said Section 32; thence
- 5) South 0°16'27" West, 1321.53 feet along the East line of said Southeast quarter to the Northeast corner of the Southeast quarter of said Southeast quarter; thence
- 6) North 89°36'19" West, 818.44 feet along the North line of said Southeast quarter of the Southeast quarter; thence
- 7) South 0°18'29" West, 1321.56 feet to the South line of said Southeast quarter; thence
- 8) North 89°36'30" West, 1647.25 feet along said South line to the Existing City Limits line of the City of Selma; thence

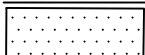
Continuing along the existing City limits line of the City of Selma, the following two courses:

- 9) North 0°22'57" East, 160.00 feet along a line 155.00 feet East of and parallel with said West line of said Southeast quarter to a point on a line 160.00 feet North of and parallel with said South line of said Southeast quarter; thence
- 10) North 89°36'30" West, 155.00 feet along said parallel line to the **POINT of BEGINNING**.

Containing an area of 94.53 acres, more or less.



LEGEND:



EXISTING CITY LIMITS

①

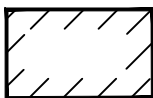
COURSE CALL OF THE LEGAL DESCRIPTION

P.O.B.

POINT OF BEGINNING

F.C.R.

FRESNO COUNTY RECORDS



AREA TO BE DETACHED FROM FRESNO COUNTY FIRE PROTECTION & KINGS RIVER CONSERVATION DISTRICTS AND ANNEXED TO THE CITY OF SELMA.
AREA = 94.53 ACRES

RES. NO. _____

ADOPTED: _____

REF. & REV.
3/16/2021

FLORAL-DOCKERY NORTHEAST REORGANIZATION

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32,
TOWNSHIP 15 SOUTH, RANGE 22 EAST, M.D.B. & M.

TO BE ANNEXED TO THE CITY OF SELMA AND DETACHED FROM THE FRESNO COUNTY FIRE PROTECTION DISTRICT AND THE KINGS RIVER CONSERVATION DISTRICT

PREPARED FOR:

LENNAR CENTRAL VALLEY
8080 N. PALM, SUITE 110
FRESNO, CA 93711

PREPARED BY:



**YAMABE & HORN
ENGINEERING, INC.**

2985 N. BURL AVE., STE.101
FRESNO, CA 93727
PH: (559) 244-3123

FILE NO. _____

ANNEX. NO. _____

ACRES 94.53

COUNCIL DISTRICT NO. 1

DRAWN BY: AA

DATE: 3/25/2021

CHECKED BY: WVT

Annexation Check Report

Date: 3/25/2021 9:42:46 AM

Parcel Name: Floral-Dockery Annexation

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 2,093,572.1164' East: 6,384,969.3777'

Segment# 1: Line

Course: N0° 22' 57"E Length: 1,161.66'
North: 2,094,733.7506' East: 6,384,977.1328'

Segment# 2: Line

Course: S89° 36' 19"E Length: 1,284.50'
North: 2,094,724.9014' East: 6,386,261.6023'

Segment# 3: Line

Course: N0° 22' 57"E Length: 1,321.59'
North: 2,096,046.4620' East: 6,386,270.4250'

Segment# 4: Line

Course: S89° 36' 09"E Length: 1,331.97'
North: 2,096,037.2213' East: 6,387,602.3630'

Segment# 5: Line

Course: S0° 16' 27"W Length: 1,321.53'
North: 2,094,715.7064' East: 6,387,596.0393'

Segment# 6: Line

Course: N89° 36' 19"W Length: 818.44'
North: 2,094,721.3448' East: 6,386,777.6188'

Segment# 7: Line

Course: S0° 18' 29"W Length: 1,321.56'
North: 2,093,399.8039' East: 6,386,770.5133'

Segment# 8: Line

Course: N89° 36' 30"W

North: 2,093,411.0642'

Length: 1,647.25'

East: 6,385,123.3018'

Segment# 9: Line

Course: N0° 22' 57"E

North: 2,093,571.0606'

Length: 160.00'

East: 6,385,124.3699'

Segment# 10: Line

Course: N89° 36' 30"W

North: 2,093,572.1202'

Length: 155.00'

East: 6,384,969.3736'

Perimeter: 10,523.51'

Error Closure: 0.0056

Error North : 0.00372

Area: 4,117,874.22Sq.Ft.

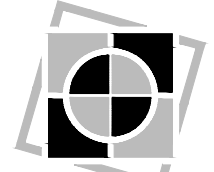
Course: N48° 26' 30"W

East: -0.00419

Precision 1: 1,879,196.43

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6244
A RESIDENTIAL DEVELOPMENT
IN THE CITY OF SELMA
FRESNO COUNTY, CALIFORNIA
SHEET ONE OF ONE

**Yamabe & Horn
Engineering, Inc.**
CIVIL ENGINEERS • LAND SURVEYORS
2985 N. BURL AVENUE SUITE 101 FRESNO, CA 93727
TEL (559) 244-3123 WEBSITE YANDHENG.COM



LENNAR HOMES OF CALIFORNIA INC.
TENTATIVE TRACT MAP
NORTHEAST CORNER EAST FLORAL AND DOCKERY AVENUE
TRACT MAP NO. 6244

PROJECT TITLE
SHEET DESCRIPTION
Dr. By: YH
Ch. By: BB
Date: 10/22/20
Scale: As Noted
YH Job No. 17-406
Sheet No. 1
of 1 Sheets

LEGEND:

- △ PRESCRIPTIVE RIGHT OF WAY EASEMENT
- ▲ 25' RIGHT OF WAY FOR STREET PURPOSES, RECORDED APRIL 9, 1992, AS INSTRUMENT NO. 92045254
- ▲ 30' PUBLIC UTILITY EASEMENT FOR CANAL PURPOSES, RECORDED MAY 7, 1992 AS INSTRUMENT NO. 92060399
- ▲ 20' PUBLIC UTILITY EASEMENT FOR SEWAGE PURPOSES, RECORDED FEBRUARY 13, 1974 AS INSTRUMENT NO. 11182 IN BOOK 6265 AT PAGE 410, OFFICIAL RECORDS FRESNO COUNTY.
- PPUE PLANTING & PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- LE LANDSCAPE EASEMENT NOW OFFERED FOR DEDICATION
- INDICATES DIRECTION OF DRAINAGE FLOW
- PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE.
- INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHT AND PROPOSED BLOCK WALL
- (S) EXISTING SANITARY SEWER
- (SD) EXISTING STORM DRAIN
- (W) EXISTING WATER
- (NPW) EXISTING NON-POTABLE WATER
- (OH) EXISTING OVERHEAD ELECTRICAL
- EXISTING EDGE OF PAVEMENT
- EXISTING DRAIN INLET
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STREETLIGHT
- EXISTING POWER POLE
- EXISTING CMU WALL
- FH FIRE HYDRANT
- GW GUY WIRE
- SCE STORM CHANNEL EASEMENT
- SDI STORM DRAIN INLET
- SPE STORM PIPE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- SP IRRIGATION STANDPIPE
- STL STREETLIGHT
- PP POWER POLE
- UP UTILITY POLE
- TEL TELEPHONE POLE
- TT TRANSMISSION TOWER
- O.R.F.C. OFFICIAL RECORDS FRESNO COUNTY
- F.C.R. FRESNO COUNTY RECORDS
- PROPOSED DRAIN INLET
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED EXISTING STREETLIGHT
- PROPOSED POWER POLE
- PROPOSED CMU WALL
- PROPOSED FIRE HYDRANT

LOT INFO:

MIN. WIDTH # LOTS
50x80 FT. 95
50x100 FT. 95
55x100 FT. 80
270

NET AREA = 47.09 AC
DENSITY = 5.73 DUA

PREPARED BY:

YAMABE & HORN ENGINEERING, INC.
2985 N. BURL AVE, SUITE 101
FRESNO, CALIFORNIA 93727
PH. (559) 244-3123

OWNER:

AGNES SERMIAN & SONS, LLC
10463 S. DEL REY AVENUE
SELMA, CA 93662

SUBDIVIDER:

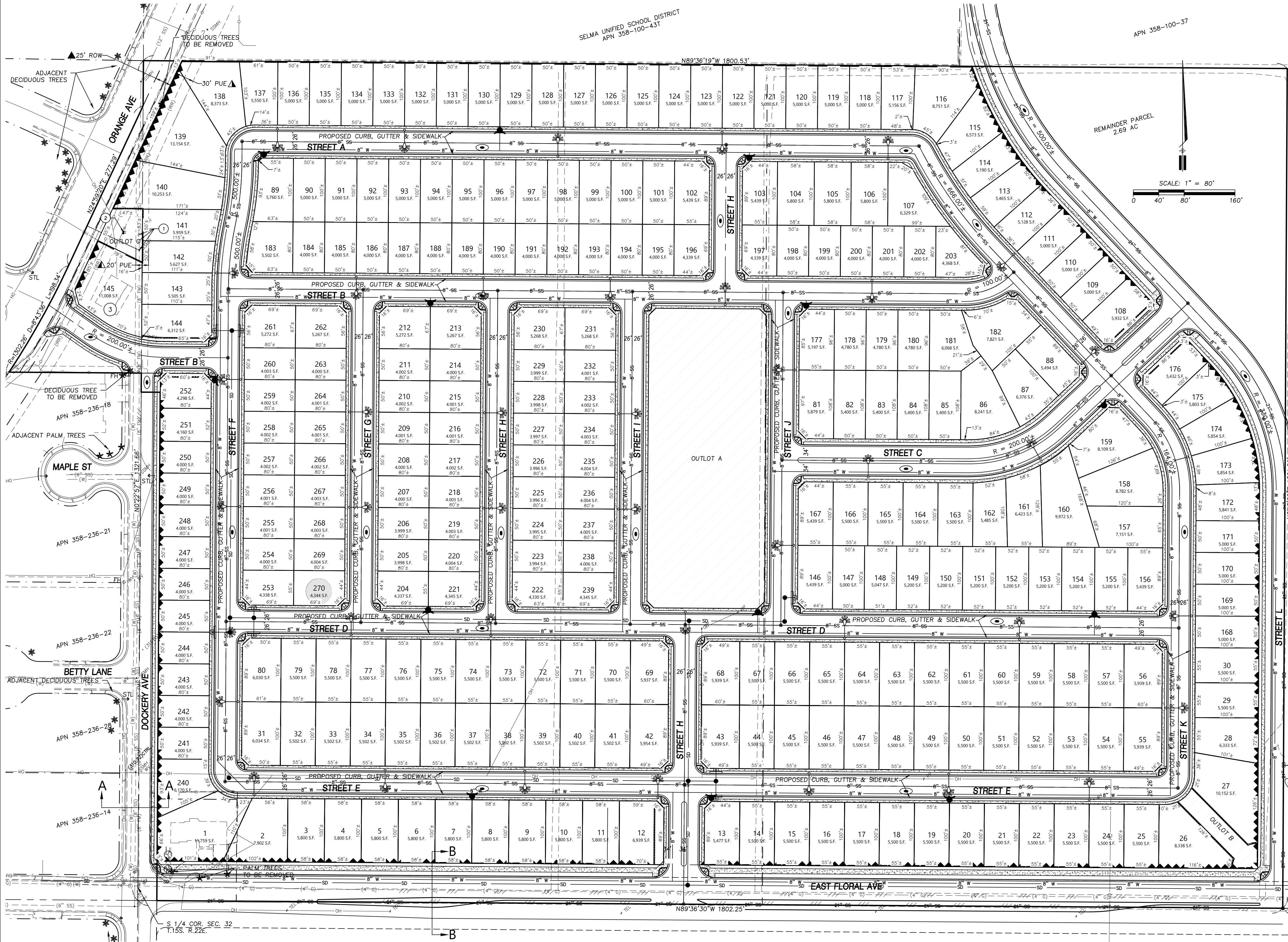
LENNAR HOMES OF CALIFORNIA
8080 N. PALM SUITE 101
FRESNO, CALIFORNIA 93711
PH. (559) 437-4600

SITE INFORMATION

EXISTING TREES
8 TREES TO BE REMOVED
EXISTING BUILDINGS
NONE
EXISTING USE
VACANT LAND
EXISTING ZONING
R-1-9 & R-1-12
PROPOSED USE
SFR
PROPOSED ZONING
R-L, SP-AMB & PF-P
SOURCE OF WATER
CAL WATER
SOURCE OF SEWAGE DISPOSAL
SKF
SOURCE OF ELECTRICITY
PG&E
SOURCE OF GAS
PG&E
SOURCE OF CABLE T.V.
COMCAST
SOURCE OF TELEPHONE
AT&T
ASSESSOR'S PARCEL NUMBER
358-100-10 / 358-100-09 / 358-100-08
358-106-02
SITE AREA
55.06± GROSS ACRES
47.09± NET ACRES

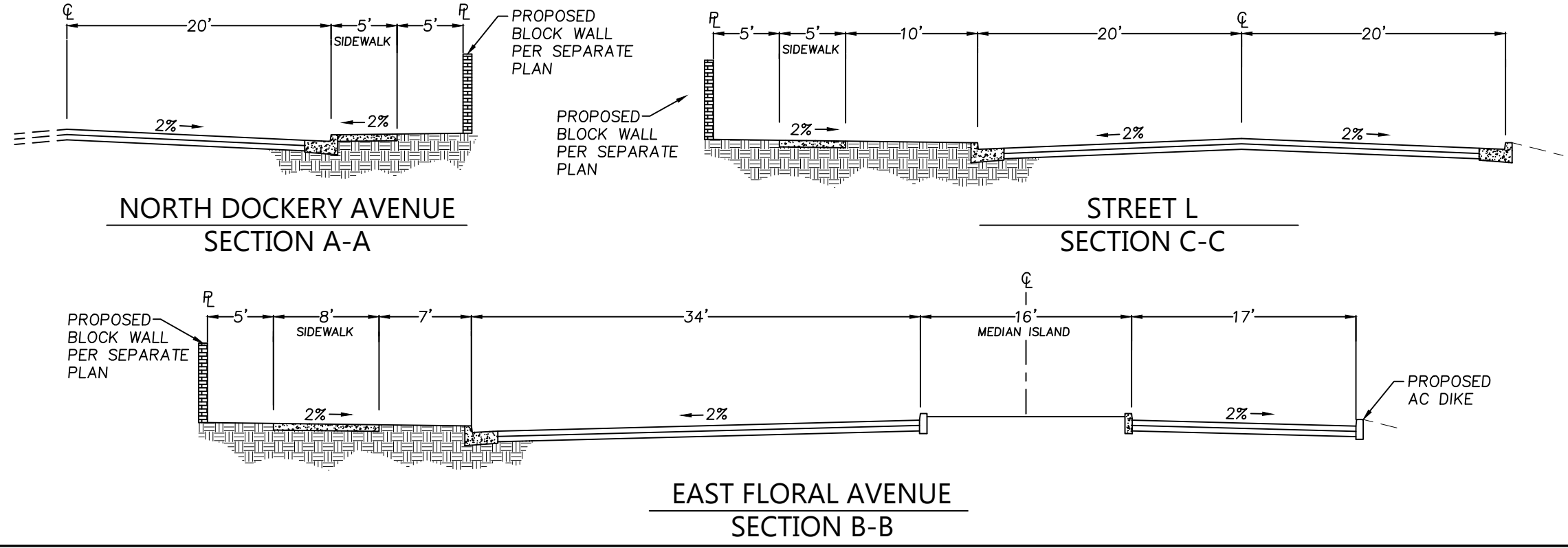
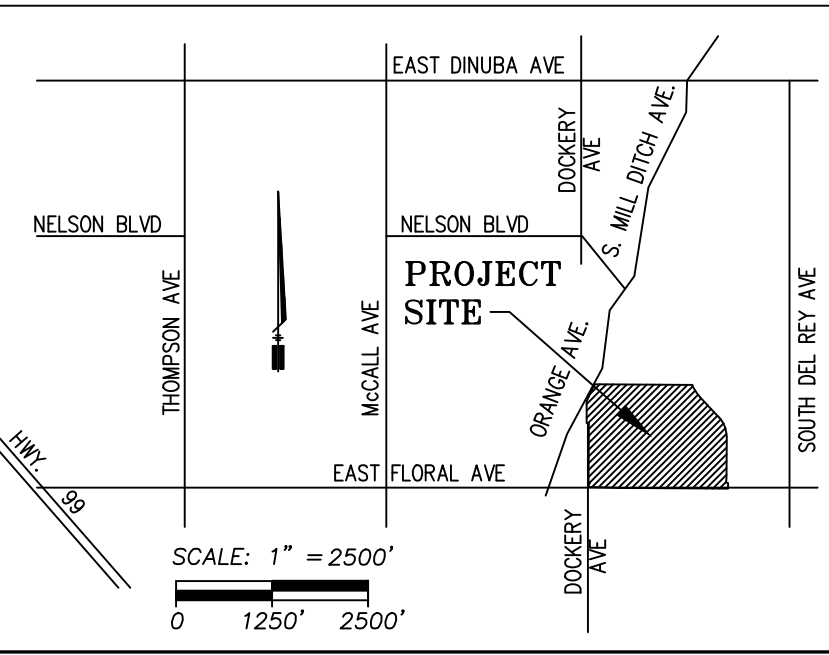
SITE INFORMATION

- 1 EXISTING SKF SEWER LIFT STATION
- 2 ELECTRIC PANEL/CONTROLS AND 30'± TALL COMMUNICATIONS ANTENNAE
- 3 EXISTING BUILDING TO BE DEMOLISHED/REMOVED



- NOTES:
- EXISTING ABOVE GROUND USES OR STRUCTURES SUCH AS BUILDING, WATER WELLS, POWER LINES, TOWERS, ETC., WITHIN THE PROPOSED SUBDIVISION TO BE REMOVED.
 - THIS AREA IS NOT SUBJECT TO FLOOD INUNDATION.
 - EXISTING UNDERGROUND FEATURES SUCH AS WELLS, CESSPOOLS, SEWERS, CULVERTS, STORM DRAIN, AND OTHER UNDERGROUND STRUCTURES WITHIN THE PROPOSED SUBDIVISION TO BE REMOVED.
 - THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE TO THE EXTENT FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NONRENEWABLE ENERGY RESOURCES. THIS SUBDIVISION HAS BEEN DESIGNATED WITH 50% OF THE LOTS ORIENTED IN A NORTH TO SOUTH ORIENTATION TO TAKE ADVANTAGE OF NATURAL HEATING AND COOLING OPPORTUNITIES.
 - ALL STREETS ADJACENT TO THE BOUNDARIES OF THIS SUBDIVISION HAVE BEEN PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES AND ALL ARE TO REMAIN.
 - THERE ARE NO EXISTING CANALS OR DITCHES LOCATED WITHIN THE PROPOSED SUBDIVISIONS.
 - THIS SITE IS IN FLOOD ZONE "X" AND IS NOT FLOOD PRONE, PER THE FLOOD INSURANCE RATE MAPS.
 - ALL PROPOSED SEWER, WATER, STORM DRAIN, CURB, GUTTER, SIDEWALK, PAVEMENT, STREET TREES, AND STREET LIGHT IMPROVEMENTS ARE TO BE DONE IN ACCORDANCE WITH CITY OF SELMA STANDARD SPECIFICATIONS.
 - SURROUNDING LAND USES:
NORTH - SCHOOL
EAST - AG
SOUTH - AG
WEST - RESIDENTIAL
 - GRADE DIFFERENTIAL ALONG WEST AND NORTH BOUNDARY WILL BE ADDRESSED BY RETAINING WALL OR SLOPE EASEMENT & MAY EXCEED 6".
 - TO BE DEDICATED FOR OPEN SPACE PURPOSES:
OUTLOT 'A' = 87,020 SF
OUTLOT 'B' = 4,928 SF
TOTAL OUTLOT AREA = 91,948 SF
 - TO BE DEDICATED TO SELMA-KINGSBURG-FOWLER SANITATION DISTRICT FOR EXISTING DOCKERY LIFT STATION FACILITIES
OUTLOT 'C' = 4,098 SF

VICINITY MAP:





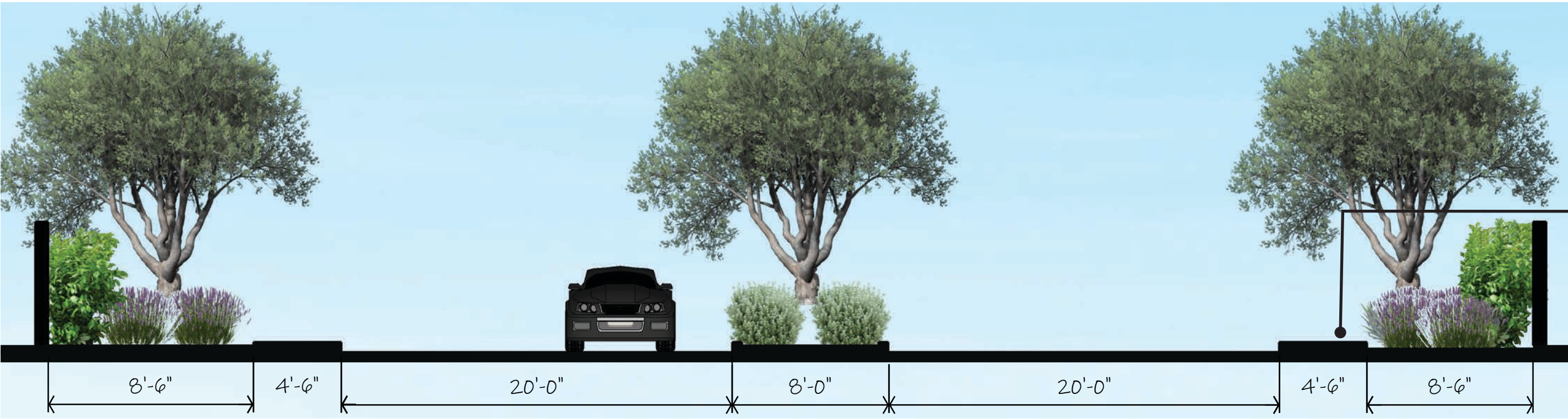
PLAN & PLANT PALETTE



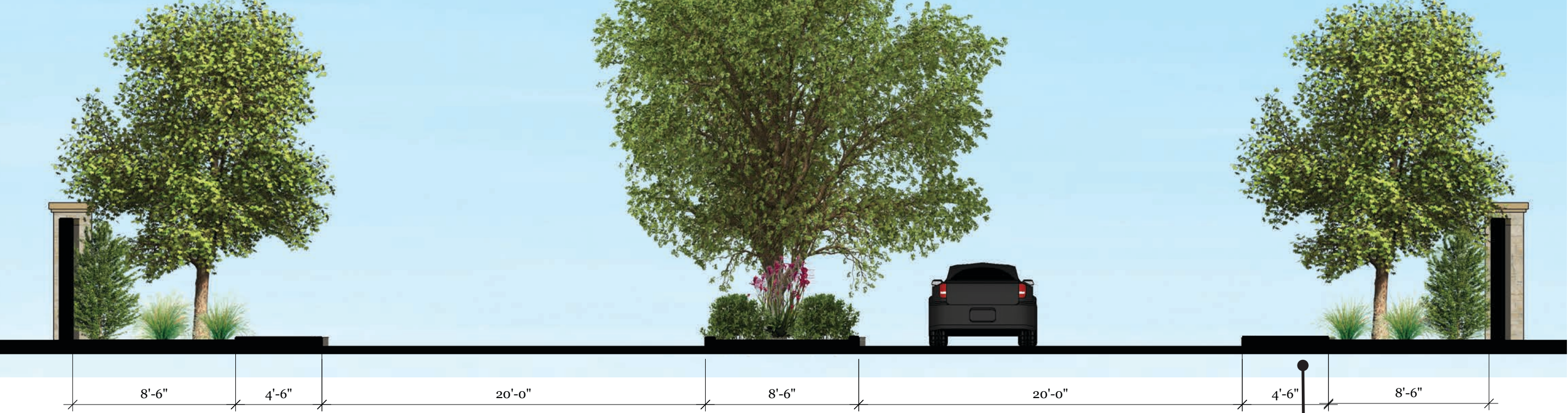
ENTRY AT STREET L & STREET C - ELEVATION



ENTRY AT FLORAL AVE. & STREET H - ELEVATION



STREET C - SECTION (AT ENTRY)



STREET H - SECTION (AT ENTRY)

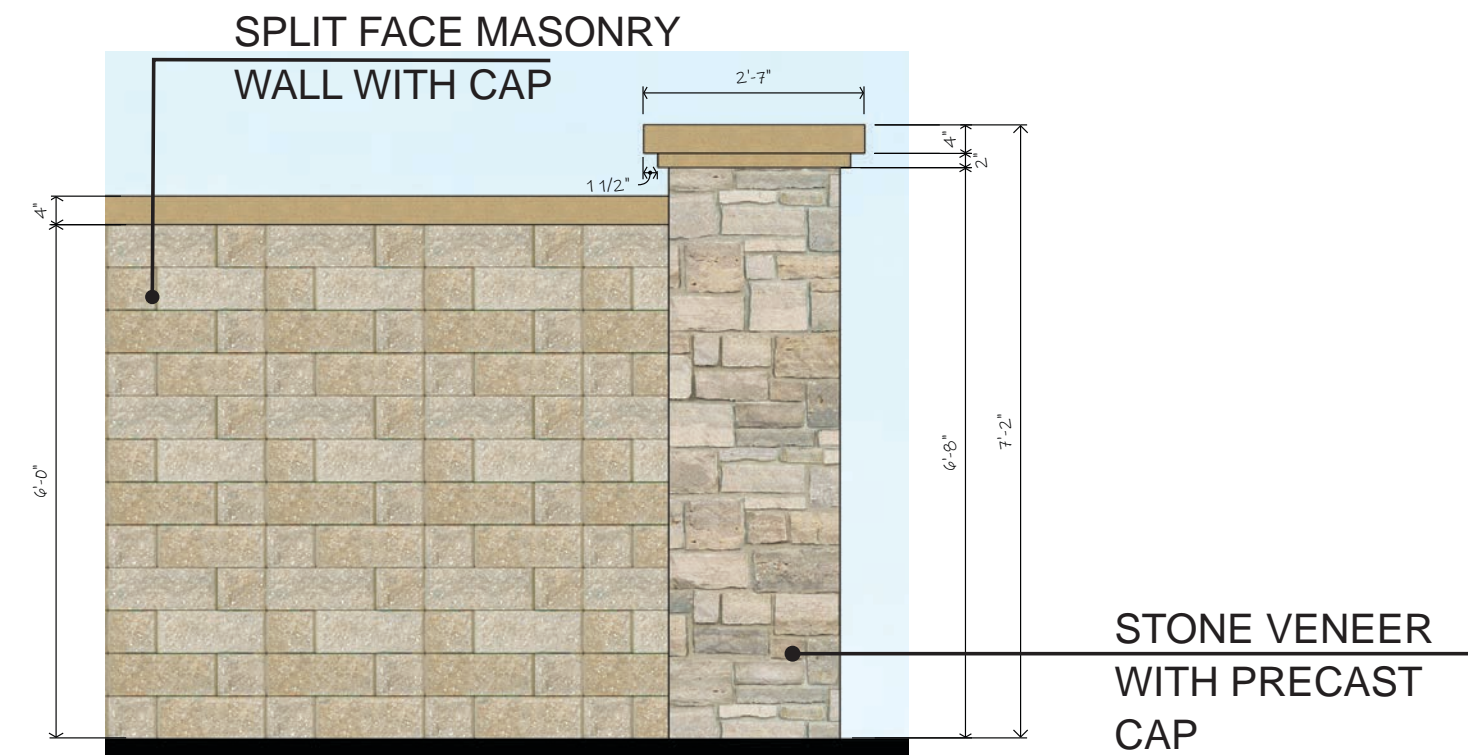
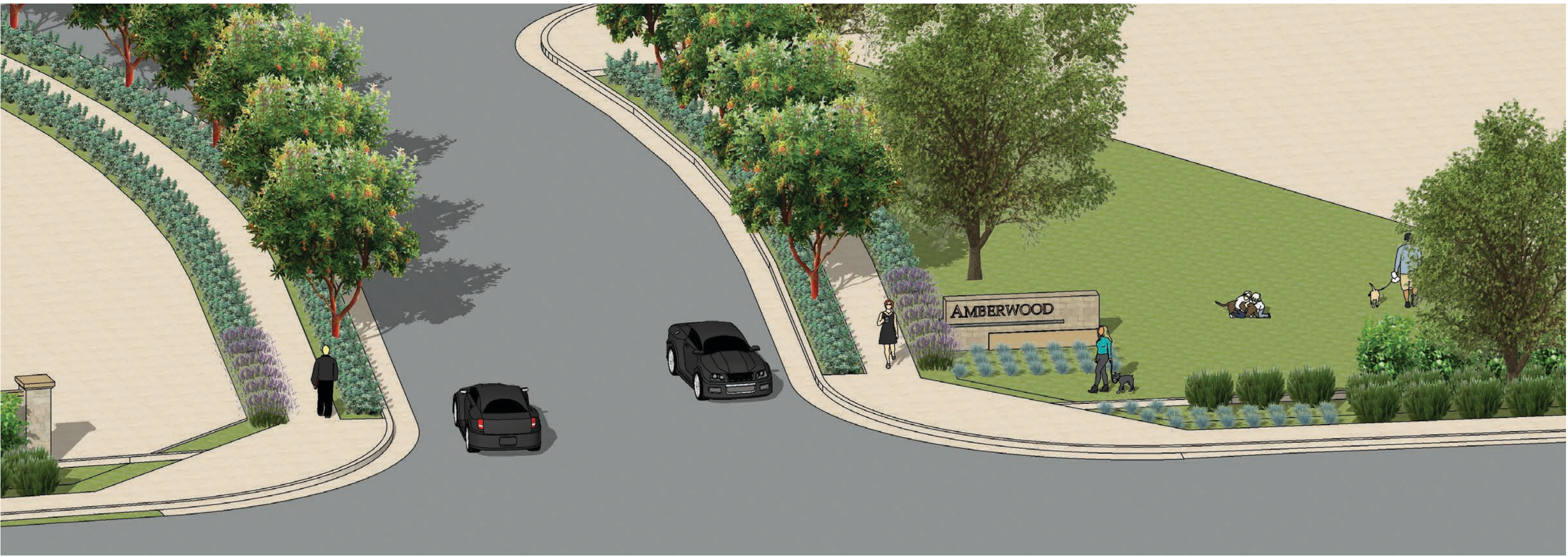
PROPOSED SIDEWALK
LOCATION TO PROVIDE
SPACE FOR STREET
TREE



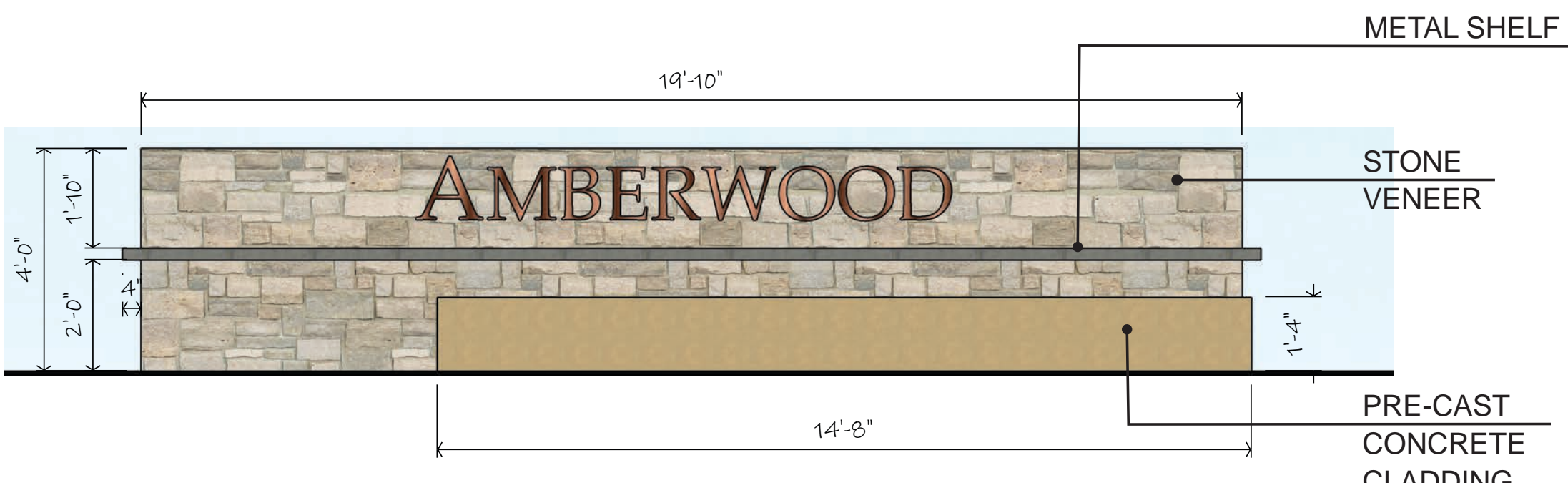
ENTRY AT ORANGE AVE. & STREET B



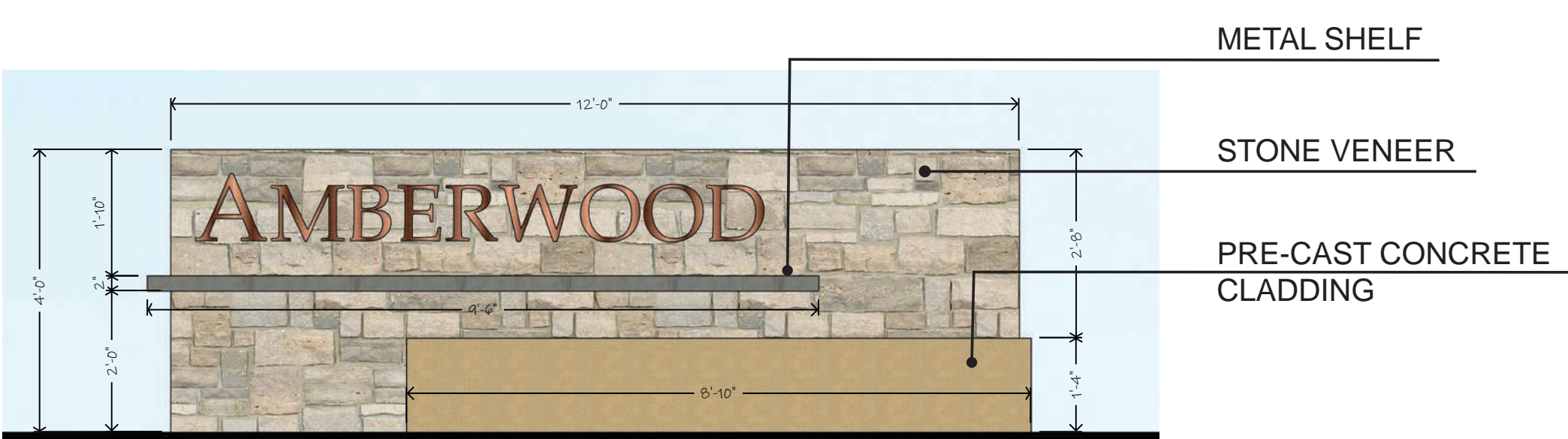
CORNER OF FLORAL AVE. & STREET L @ PASEO



PILASTER

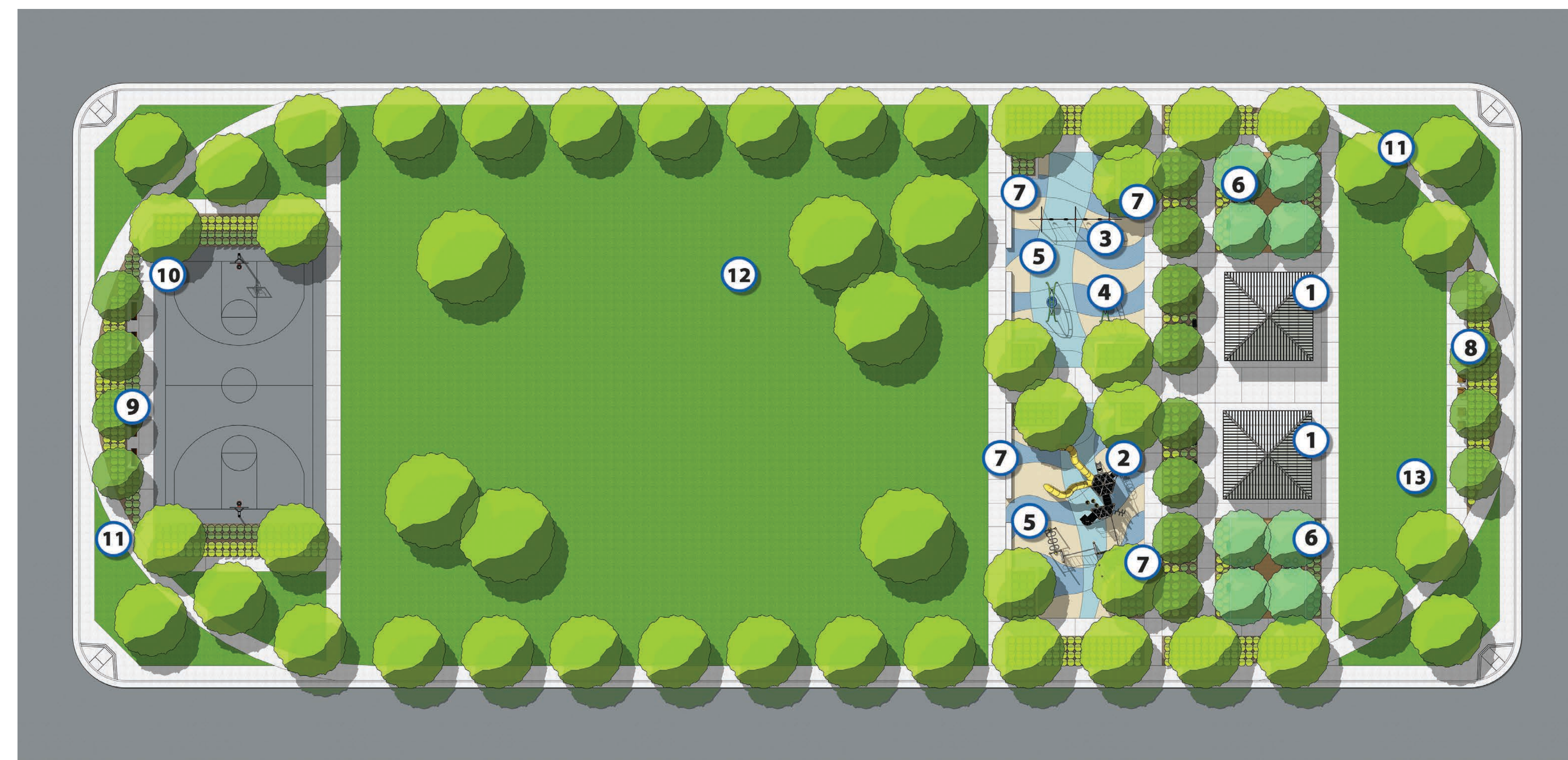


MONUMENT AT PASEO
(CORNER OF FLORAL & STREET L)



MONUMENT SIGN @ ENTRIES

ENTRY CONCEPTS



LENNAR
AMBERWOOD PARK
 SELMA, CA

SITE LEGEND

- | | | |
|--|---|--|
| 1. 30x30 Shade Structure by Polygon w/ Community Tables and Grills | 5. Poured-in-Place Play Surfacing | 10. Full-size Asphalt Basketball Court w / Adjustable Hoop |
| 2. Age 5-12 Play Structure | 6. Dining Groves w/ D.G. and Outdoor Grills | 11. Pedestrian Walking Loop |
| 3. 4-Bay Swings | 7. Poured-in-Place Concrete Seatwalls | 12. Great Lawn |
| 4. Disc/Tire Swing | 8. Mounted Adirondack Chairs by Wishbone | 13. Picnic Green |
| | 9. Park Bench by Wishbone | |

BROUSSARD ASSOCIATES
 landscape architects



NEIGHBORHOOD PARK



TR 6244 - AMBERWOOD CONCEPTUAL LANDSCAPE

LENNAR

BROUSSARD ASSOCIATES
 landscape architects



25

Ref. & Rev.

2985 N. BURL AVENUE SUITE 101 FRESNO, CA 93727
TEL (559) 244-3123 WEBSITE YANDHENG.COM

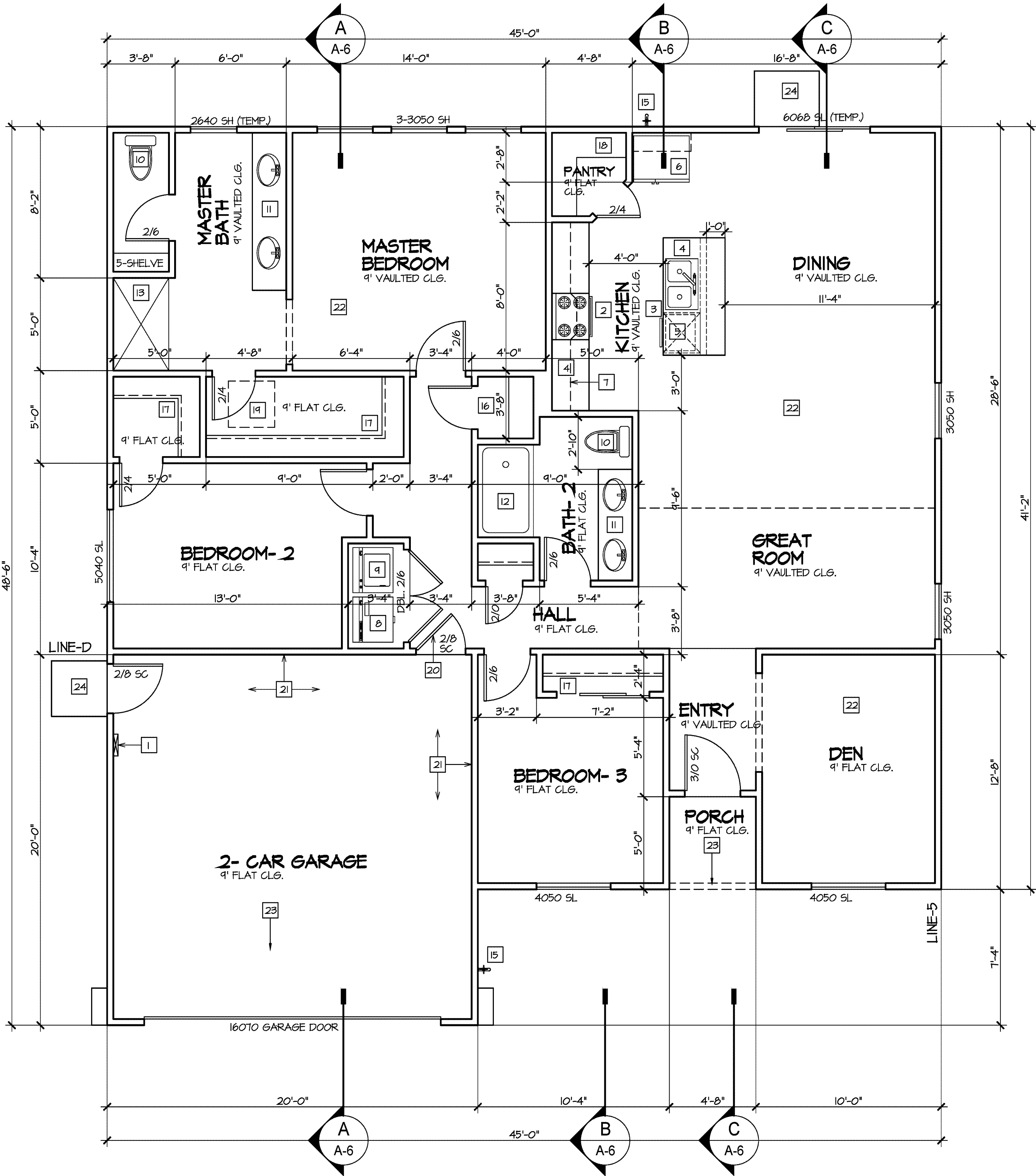
Planning Commission Packet May 24, 2021

Dr By	YH
Ch By	BB
Date	10/22/20
Scale	As Noted
YH Job No.	17-405
Sheet No.	1
of	1 Sheets

F:\2017\17-406.dwg\Mapa\Tentative Map\17-406_TTM.dwg

FLOOR PLAN NOTES

- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF 1 1/8" FOR A MIN. DISTANCE OF 20' FROM THE GARAGE. NO ON-SITE WATER RETENTION, NO DRAINAGE ONTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN EXISTING RETAINING WALL.
- DOORS BETWEEN THE RESIDENCE AND THE PRIVATE GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING WHEN BOTH THE GARAGE AND RESIDENCE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R301.6 & R301.8 (CFC R302.5.1).
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LUMINAIRES IN ACCORDANCE WITH TABLE 150.0-A OF THE CALIFORNIA ENERGY CODE.
- THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.
- COMPLY WITH SECURITY CODE ORDINANCE:
A) PEEP HOLE OR VISION PANEL
B) STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE & BELOW W/ 2-RB x 2" SCREWS
C) WINDOWS TO MEET THE MIN. STANDARDS AS ESTABLISHED BY THE CBC STDS.
D) DEAD BOLT AT ALL EXTERIOR DOORS
- PROVIDE LISTED WATER HAMMER ARRESTORS TO SERVE THE DISHWASHER, ICE MAKER, WASHING MACHINE AND LANDSCAPE IRRIGATION AUTOMATIC VALVE MANIFOLD. DEVICES SHALL BE CONCEALED WITHIN WALLS OR ATTIC (EXCEPT LANDSCAPE IRRIGATION DEVICES)
- AIR CONDITIONING EQUIPMENT DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED.
- GAS VENTS TO TERMINATE NOT LESS THAN 4" FROM OPENINGS OR PROPERTY LINES AND NOT LESS THAN 12" ABOVE A DOOR, OPENABLE WINDOW OR GRAVITY AIR INLET.
- DOOR LANDING NOTES:
A. WIDTH NOT LESS THAN THE WIDTH OF DOOR SERVED AND A LENGTH IN THE DIRECTION OF TRAVEL NOT LESS THAN 36".
B. NO MORE THAN 1/8" LOWER THAN THE TOP OF THE THRESHOLD.
C. NOT MORE THAN 8" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
D. MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 18" MEASURED FROM THE TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.
- ALL TUB-SHOWER OPENINGS SHALL BE RODENT PROOF, W/ 1" CEMENT COVERING IN AN APPROVED MANNER.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. USE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.
- MAXIMUM SILL HEIGHT TO NET WINDOW OPENING OF 44-INCHES ABOVE THE FINISHED FLOOR FOR ALL THE WINDOWS USED FOR EMERGENCY EXIT WITH MIN. 20" H AND 24" H OPENING WITH A MIN. OPEN AREA OF 5.7 SQ. FT.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGE SHALL BE LIMITED FOR THE FOLLOWING:
A. BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO 120°F BY A DEVICE THAT CONFORMS TO ASSE 1010 OR CSA B125.3 (CFC SECTION 404.4) (THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION).
B. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVES TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1 (CFC SECTION 408.3)
- ALL HOSE BIBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
- ALL PLUMBING CONVEYING OR DISPENSING WATER FROM HUMAN CONSUMPTION SHALL COMPLY WITH AB 1853 FOR LEAD CONTENT.
- THE T AND P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAWN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF PIPE NOT MORE THAN 2" OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF EACH ROOM FOR NATURAL LIGHT. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. (CFC R303.1)
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE HALF OF WHICH MUST BE OPENABLE. GLAZED AREAS NOT REQUIRED WHERE ARTIFICIAL LIGHT AND MECHANICAL VENTILATION ARE PROVIDED. (CFC R303.3)
- GARAGE FLOOR USED FOR THE PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOOR. (CFC R304.1)
- WHEN AN OCCUPIABLE SPACE ADJOINS A GARAGE, THE DESIGN MUST PREVENT MIGRATION OF CONTAMINANTS TO THE ADJOINING OCCUPIABLE SPACE. DOORS BETWEEN THE OCCUPIABLE SPACE AND THE GARAGE SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
- MECHANICAL SYSTEMS INCLUDING HEATING AND AIR CONDITIONING SYSTEMS THAT SUPPLY AIR TO HABITABLE SPACES SHALL HAVE MERV 13 FILTERS OR BETTER.



FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES:

- INDOOR TYPE TANK-LESS WATER HEATER WITH ANTI-FREEZING CONTROLS BY RINNAI (RUCB01N) OR ANY APPROVED EQUAL. ISOLATION VALVES AND HOSE BIBBS REQUIRED FOR TANK-LESS WATER HEATER. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.
- FREE STANDING RANGE W/ MICRO & HOOD (VTR)-VERTICAL CLEARANCE ABOVE THE RANGE TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
- KITCHEN SINK- KITCHEN SINK COMPARTMENT W/ GARBAGE DISPOSAL. KITCHEN FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI.
- MAX. 36" HEIGHT COUNTER TOP WITH BUILT IN CABINET BELOW
- DISHWASHER- INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFRIGERATOR SPACE W/ COLD WATER STUB
- DASHED LINE DENOTES CABINET ABOVE
- DRYER SPACE- PROVIDE BACKDRAFT DAMPER @ VENT TERMINATION
- WASHER SPACE- PROVIDE LISTED WATER HAMMER ARRESTOR
- WATER CLOSET- TYP. LOW FLOW 1.28 GALL. MAX. PER FLUSH & MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE FIXTURE, AND SHALL NOT BE SET CLOSER THAN 6" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION
- LAVATORY COUNTER TOP WITH BUILT IN CABINET BELOW. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI, BUT NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- TUB AND SHOWER- PREFAB FIBER GLASS W/ WALLS 1/2" MIN. AND SHOWER CURTAIN OR TEMP. SLIDING GLASS ENCLOSED. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 60 PSI.
- SHOWER- PREFAB FIBER GLASS OR CUSTOM SHOWER W/ SHOWER WALLS 1/2" MIN. AND 24" MIN. TEMP. GLASS DOOR AND SHALL BE SWING OUTWARD. A MIN. AREA OF 1024 SQ. IN. REGARDLESS OF SHAPE WITH A MIN. 30" DIA. CIRCLE. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 60 PSI.
- PREFAB FIBER GLASS TUB WITH PLATFORM. MAX. HOT WATER TEMPERATURE DISCHARGING FROM TUB FILLER SHALL BE LIMITED TO 120°F.
- HOSE BIB- PROVIDE NON-REMOVABLE BACK FLOW PREVENTERS
- LINEN CLOSET W/ 5 SHELVES (12" MIN)
- CLOTHES CLOSET WITH SHELF AND POLE
- PANTRY WITH 5 SHELVES (16" MIN)
- 30"x30" MIN. ATTIC ACCESS FOR FURNACE WITHIN 20' MAX. ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL. THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
- 1-3/8" THICK SOLID CORE DOOR, PROVIDE 3 HINGES OUT OF WHICH 2 MIN. ARE SELF CLOSING AND SELF LATCHING
- PROVIDE 5/8" (TYPE X) GYP. BOARD AT ALL WALLS AND CEILING INCLUDING EXPOSED POSTS AND BEAMS BET. GARAGE AND RESIDENCE. TAPE AND FINISH AS REQUIRED. (MAY USED 1/2" MIN. GYP. BD. AT ALL LOCATIONS THAT IS NOT BETWEEN THE RESIDENCE AND GARAGE)
- CONCRETE SLAB MIN. 3-1/2" THICK 0/ 2" FILL SAND 0/ 10 MILL VAPOR BARRIER 0/ 40% COMPACTED NATIVE SOIL OR PER FOUNDATION PLAN
- PORCH/PATIO/GARAGE SLAB MIN. 3-1/2" THICK W/ TOOLED OR SAW CUT CONTROL JOINT & SLOPE TO DRAIN. REFER TO FOUNDATION PLAN.
- CONCRETE STOOP (MIN. 3'x3') SLOPE TO DRAIN. SEE FOUNDATION PLAN

ENERGY COMPLIANCE SUMMARY

FENESTRATION

GLAZING TYPE	U-VALUE	SHGC
HORIZ. SLIDERS	0.30	0.23
SINGLE HING	0.30	0.23
FIX GLASS	0.21	0.25
GLASS DOORS	0.32	0.22
FRENCH DOOR	0.30	0.23

BUILDING INSULATION

SURFACE:	R-VALUE
EXT. WALL (2X4)	R-15 W/ R5 FOAM
EXT. WALL (2X6)	R-21 W/ R5 FOAM
GARAGE INT. WALL	R-15 W/ NO FOAM
NOTE: NO FOAM AT WOOD SIDING/BRICK VENEER	
ATTIC PONY WALL	R-21
ROOF W/ Radiant Barrier	R-44
ROOF @ FAU W/ Radiant Barrier	R-30

ROOF REFLECTANCE	0.16
ROOF EMITTANCE	0.92

HVAC / WATER HEATING

COMPONENT	EFFICIENCY
HEAT PUMP	9.0 HSPF
AIR CONDITIONER	16.0 SEER
AIR CONDITIONER	13.0 EER
DUCT INSULATION	R- 8.0
WATER HEATER (TANKLESS)	0.93 UEF

REFER TO CFIR FOR MORE DETAILS AND INFORMATION

HERS FEATURE SUMMARY PER TITLE 24 TO BE FIELD-VERIFIED BY A CERTIFIED HERS RATER:

- Building-level Verifications:
 - Quality Insulation Installation (a1)
 - IAQ mechanical ventilation
 - Kitchen range hood
- Cooling System Verifications:
 - Minimum Airflow
 - Verified EER
 - Verified SEER
 - Verified Refrigerant Charge
 - Fan Efficacy Watts/CFM
- Heating System Verifications:
 - Verified HSPF
 - Verified heat pump rated heating capacity
- HVAC Distribution System Verifications:
 - Duct Sealing
 - Low-leakage Air Handling Unit
- Domestic Hot Water System Verifications:
 - None

REQUIRED SPECIAL FEATURES

- PV System: 3.3 kWdc
- Non-standard roof reflectance
- Ceiling has high level of insulation
- Window overhangs and/or fins

STANDARD PLAN
CITY OF FRESNO DEVELOPMENT DEPT.

#20-TEMP - 284
DATE NOV 6 2020 BY EA

REVIEWED
FOR
CODE COMPLIANCE
Oct 16, 2020
INTERWEST CONSULTING GROUP

FLOOR PLAN DIMENSION NOTE:

- FLOOR PLAN WALLS SHOWN ARE NOMINAL IN WIDTH.
- DIMENSION SHOWN ARE PLUS OR MINUS.
- IT IS THE FRAMER'S RESPONSIBILITY TO ADJUST ALL CLEARANCES PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE COMMENCING OF ANY WORK.

The information, arrangements and ideas represented within these drawings are the property of Lennar Homes. No part shall be copied, disclosed to others, or used in connection with any project without the written consent of Lennar Homes.

REV.	DATE	DESCRIPTION OF WORK
1	10-10-19	WINDOW WAS DELETED
2	11-11-19	
3	11-11-19	
4	11-11-19	
5	11-11-19	

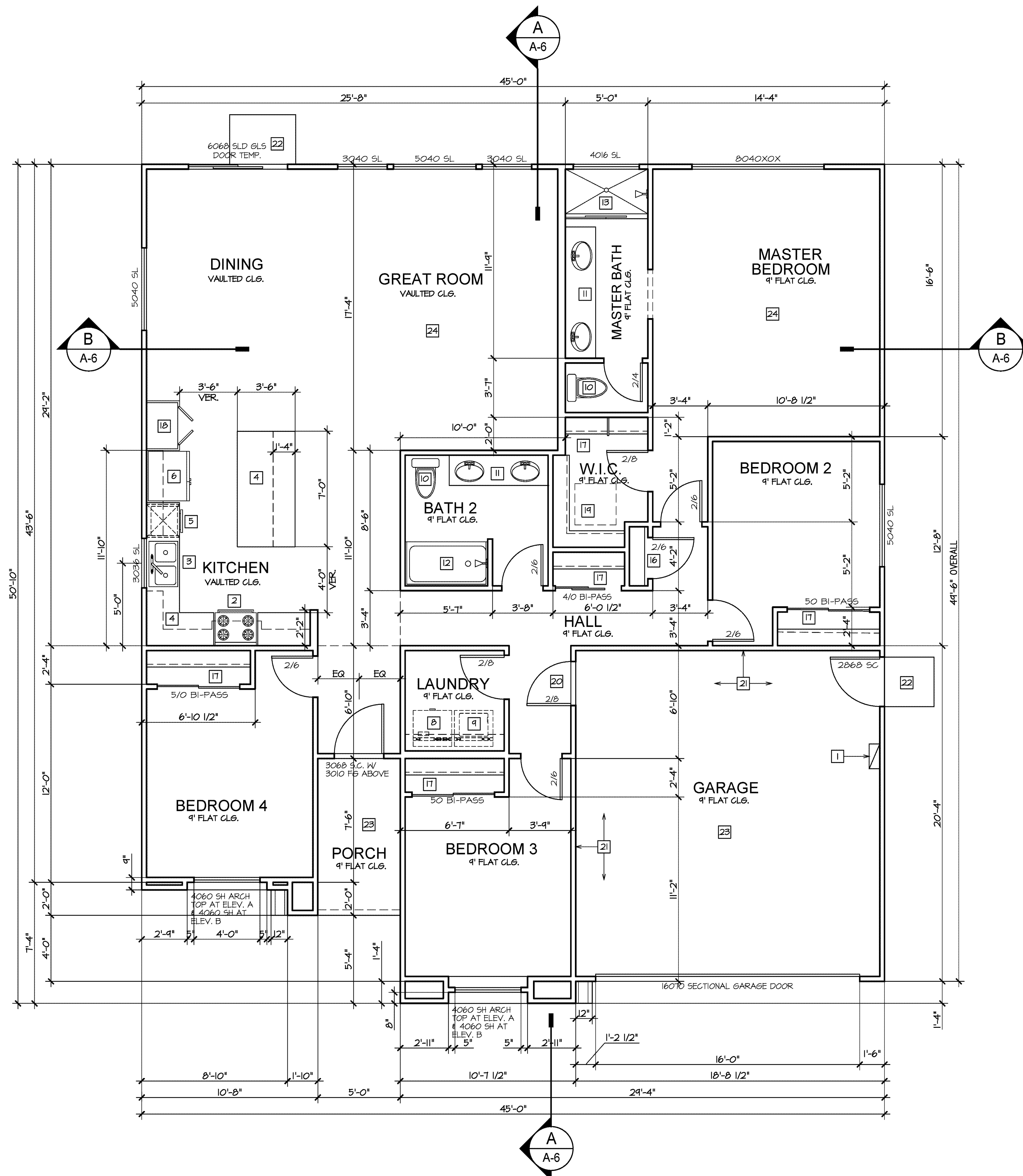
FRESNO
PLAN 2001 (TORREY)

DATE	PROJECT
FEB. 1, 2020	CALIFORNIA SERIES

8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

SHEET NO.

A-1
OF SHEETS



FLOOR PLAN 1,725 SQ. FT.

SCALE: 1/4" = 1'-0"

FLOOR PLAN DIMENSION NOTE:
• FLOOR PLAN WALLS SHOWN ARE NOMINAL IN WIDTH.
• DIMENSION SHOWN ARE PLUS OR MINUS.
• IT IS THE FRAMER'S RESPONSIBILITY TO ADJUST ALL CLEARANCES PRIOR TO CONSTRUCTION.
• ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE COMMENCING OF ANY WORK.

- FLOOR PLAN KEY NOTES:**
- INDOOR TYPE TANK-LESS WATER HEATER WITH ANTI-FREEZING CONTROLS BY RINNAI (RUC80N) OR ANY APPROVED EQUAL. ISOLATION VALVES AND HOSE BIBBS REQUIRED FOR TANK-LESS WATER HEATER. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.
 - FREE STANDING RANGE W/ MICRO & HOOD (VTR)-VERTICAL CLEARANCE ABOVE THE RANGE TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
 - KITCHEN SINK- KITCHEN SINK COMPARTMENT W/ GARBAGE DISPOSAL. KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. MAX. 36" HEIGHT COUNTER TOP WITH BUILT IN CABINET BELOW.
 - DISHWASHER- INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFRIGERATOR SPACE W/ COLD WATER STUB
 - WALL TYPE LAVATORY WITH PEDESTAL. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI, BUT NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
 - DRYER SPACE- PROVIDE BACKDRAFT DAMPER & VENT TERMINATION
 - WASHER SPACE- PROVIDE LISTED WATER HAMMER ARRESTOR
 - WATER CLOSET- TYP. LOW FLOW 1.28 GAL. MAX. PER FLUSH & MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE FIXTURE AND SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION
 - LAVATORY COUNTER TOP WITH BUILT IN CABINET BELOW. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI, BUT NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
 - TUB AND SHOWER- PREFAB FIBER GLASS W/ WALLS *12" MIN. AND SHOWER CURTAIN OR TEMP. SLIDING GLASS ENCLOSED. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.
 - SHOWER- PREFAB FIBER GLASS OR CUSTOM SHOWER W/ SHOWER WALLS *12" MIN. AND 24" MIN. TEMP. GLASS DOOR AND SHALL BE SAVING OUTWARD. A MIN. AREA OF 1024 SQ. IN. REGARDLESS OF SHAPE WITH A MIN. 30" DIA. CIRCLE. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.
 - PREFAB FIBER GLASS TUB WITH PLATFORM. MAX. HOT WATER TEMPERATURE DISCHARGING FROM TUB FILLER SHALL BE LIMITED TO 120°F.
 - HOSE BIBB- PROVIDE NON REMOVABLE BACK FLOW PREVENTERS
 - LINEN CLOSET W/ 5 SHELVES (12" MIN.)
 - CLOTHES CLOSET WITH SHELF AND POLE
 - PANTRY CABINET WITH 5 SHELVES (16" MIN.)
 - 30"x30" MIN. ATTIC ACCESS FOR FURNACE WITHIN 20' MAX. ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL. THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
 - 1-3/8" THICK SOLID CORE DOOR. PROVIDE 3 HINGES OUT OF WHICH 2 MIN. ARE SELF CLOSING AND SELF LATCHING
 - PROVIDE 5/8" (TYPE X) GYP. BOARD AT ALL WALLS AND CEILING INCLUDING EXPOSED POSTS AND BEAMS BET. GARAGE AND RESIDENCE. TAPE AND FINISH AS REQUIRED. (MAY USED 1/2" MIN. GYP. BD. AT ALL LOCATIONS THAT IS NOT BETWEEN THE RESIDENCE AND GARAGE.)
 - CONCRETE STOOOP (MIN. 3"x3") SLOPE TO DRAIN. SEE FOUNDATION PLAN
 - PORCH/PATIO/GARAGE SLAB MIN. 3-1/2" THICK W/ TOOLED OR SAW CUT CONTROL JOINT & SLOPE TO DRAIN. REFER TO FOUNDATION PLAN.
 - CONCRETE SLAB MIN. 3-1/2" THICK 0/ 2" FILL SAND 0/ 10 MILL VAPOR BARRIER 0/ 90% COMPACTED NATIVE SOIL OR PER FOUNDATION PLAN

ENERGY COMPLIANCE SUMMARY

FENESTRATION		
GLAZING TYPE	U-VALUE	SHGC
HORIZ. SLIDERS	0.30	0.23
SINGLE HUNG	0.30	0.23
FIX GLASS	0.27	0.25
GLASS DOORS	0.32	0.22
FRENCH DOOR	0.30	0.23

BUILDING INSULATION	
SURFACE:	R-VALUE
EXT. WALL (2X4)	R-15 W/ RS FOAM
EXT. WALL (2X6)	R-21 W/ RS FOAM
GARAGE INT. WALL	R-15 W/ NO FOAM
NOTE: NO FOAM AT WOOD SIDING/BRICK VENEER	
ATTIC PONY WALL	R-21
ROOF W/ Radiant Barrier	R-44
ROOF @ FAU W/ Radiant Barrier	R-30

ROOF REFLECTANCE	0.16
ROOF EMITTANCE	0.92

HVAC / WATER HEATING	
COMPONENT	EFFICIENCY
HEAT PUMP	9.0 HEFF
AIRCONDITIONER	16.0 SEER
AIR CONDITIONER	15.0 EER
DUCT INSULATION	R- 8.0
WATER HEATER (TANKLESS)	0.83 UEF
REFER TO CDR FOR MORE DETAILS AND INFORMATION	

FLOOR PLAN NOTES

- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF A 15% FOR A MIN. DISTANCE OF 20' FROM THE GARAGE. NO ON-SITE WATER RETENTION. NO DRAINAGE ONTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN GREATER THAN 12" SHALL BE DONE BY AN APPROVED RETAINING WALL.
- DOORS BETWEEN THE RESIDENCE AND THE PRIVATE GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING WHEN BOTH THE GARAGE AND RESIDENCE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SFRINKLER SYSTEM IN ACCORDANCE WITH SECTION R304.6 & R313. (CRC R302.5.1)
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LUMINAIRES IN ACCORDANCE WITH TABLE 150.0-A OF THE CALIFORNIA ENERGY CODE.
- THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.
- COMPLY WITH SECURITY CODE ORDINANCE:
A) PEEP HOLE OR VISION PANEL
B) STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE & BELOW W/ 2-#6 x 2" SCREWS
C) WINDOWS TO MEET THE MIN. STANDARDS AS ESTABLISHED BY THE CBC STDS.
D) DEAD BOLT AT ALL EXTERIOR DOORS
- PROVIDE LISTED WATER HAMMER ARRESTORS TO SERVE THE DISHWASHER, ICE MAKER, WASHING MACHINE AND LANDSCAPE IRRIGATION AUTOMATIC VALVE MANIFOLD. BE CONCEALED WITHIN WALLS OR ATTIC (EXCEPT LANDSCAPE IRRIGATION DEVICE)
- AIR CONDITIONING EQUIPMENT DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED.
- GAS VENTS TO TERMINATE NOT LESS THAN 4' FROM OPENINGS OR PROPERTY LINES AND NOT LESS THAN 12" ABOVE A DOOR, OPENABLE WINDOW OR GRAVITY AIR INLET.
- DOOR LANDING NOTES:
A. WIDTH NOT LESS THAN THE WIDTH OF DOOR SERVED AND A LENGTH IN THE DIRECTION OF TRAVEL NOT LESS THAN 36"
B. NO MORE THAN 1/4" LOWER THAN THE TOP OF THE THRESHOLD.
C. NOT MORE THAN 1/8" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
D. MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.
- ALL TUB-SHOWER OPENINGS SHALL BE RODENT PROOF, W/ 1" GEMENT COVERING IN AN APPROVED MANNER.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. USE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT OR GLASS-MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.
- MAXIMUM SILL HEIGHT TO NET WINDOW OPENING OF 44-INCHES ABOVE THE FINISHED FLOOR FOR ALL THE WINDOWS USED FOR EMERGENCY EXIT WITH MIN. 20"W AND 24"H OPENING WITH A MIN. OPEN AREA OF 5.7 SQ. FT.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGE SHALL BE LIMITED FOR THE FOLLOWING:
A. BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO 120°F BY A DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3. (CPC SECTION 409.4) (THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION)
B. SHOWER AND TUB/SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVES TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1 (CPC SECTION 408.3)
- ALL HOSE BIBBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
- ALL PLUMBING CONVEYING OR DISPENSING WATER FROM HUMAN CONSUMPTION SHALL CONFORM WITH ASSE 1016 FOR LEAD CONTENT
- THE T AND P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAIN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF PIPE NOT MORE THA 2' OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS FOR NATURAL LIGHT. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. (CRC R303.1)
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE FIELD-VERIFIED WITH AN AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 8 SQUARE FEET, ONE HALF OF WHICH MUST BE OPENABLE. GLAZED AREAS NOT REQUIRED WHERE ARTIFICIAL LIGHT AND MECHANICAL VENTILATION ARE PROVIDED. (CRC R303.3)
- GARAGE FLOOR USED FOR THE PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOOR. (CRC R304.1)
- WHEN AN OCCUPIABLE SPACE ADJOINS A GARAGE, THE DESIGN MUST PREVENT MIGRATION OF CONTAMINANTS TO THE ADJOINING OCCUPIABLE SPACE. DOORS BETWEEN THE OCCUPIABLE SPACE AND THE GARAGE SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
- MECHANICAL SYSTEMS INCLUDING HEATING AND AIR CONDITIONING SYSTEMS THAT SUPPLY AIR TO HABITABLE SPACES SHALL HAVE MERV 13 FILTERS OR BETTER.

HERS FEATURE SUMMARY PER TITLE 24 TO BE FIELD-VERIFIED BY A CERTIFIED HER'S RATER.

- Building-level Verifications:
- Quality Insulation Installation (a1)
 - IAQ mechanical ventilation
 - Kitchen range hood
 - Cooling System Verifications:
 - Minimum Airflow
 - Verified EER
 - Verified SEER
 - Verified Refrigerant Charge
 - Fan Efficacy Wats/CFM
 - Heating System Verifications:
 - Verified HSPF
 - Verified heat pump rated heating capacity
 - HVAC Distribution System Verifications:
 - Duct Sealing
 - Low-leakage Air Handling Unit
 - Domestic Hot Water System Verifications:
 - None --

- REQUIRED SPECIAL FEATURES
- FV System: 5.75 kWh
 - Non-standard roof reflectance
 - Ceiling has high level of insulation

REVIEWED
FOR
CODE COMPLIANCE
Oct 16, 2020
INTERWEST CONSULTING GROUP

STANDARD PLAN
CITY OF FRESNO DEVELOPMENT DEPT.
#20-TEMP - 285
DATE NOV 6 2020 BY EA

The information, arrangements and ideas represented within these drawings are the property of Lennar Homes. No part shall be copied, disclosed to others, or used in connection with any project without the written consent of Lennar Homes.

DESCRIPTION OF WORK

REV. DATE

FRESNO
PLAN 2002 (FOXTAIL)

PROJECT
CALIFORNIA SERIES

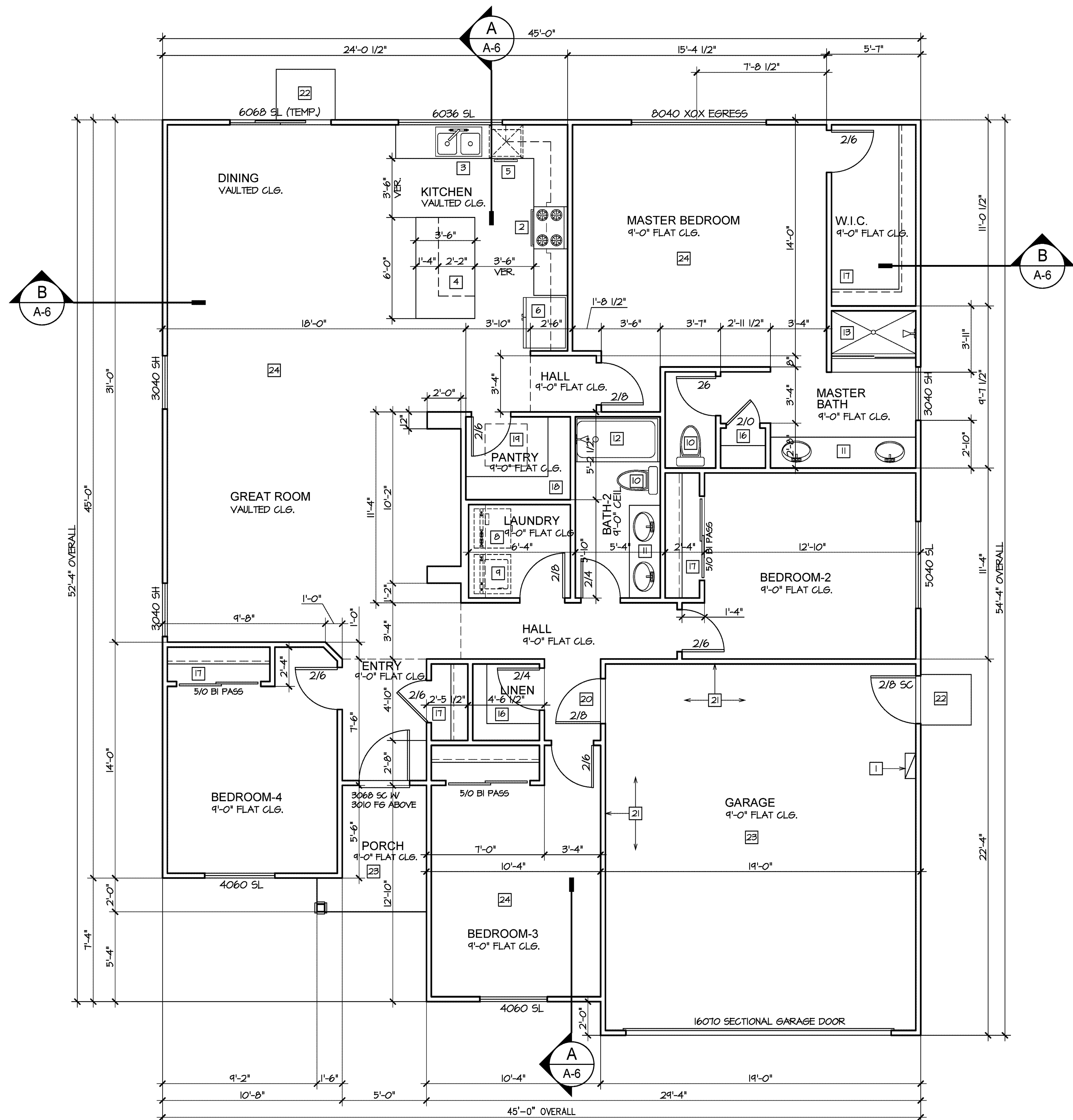
DATE
FEB. 1, 2020

LENNAR
8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

SHEET NO.

A-1

OF SHEETS



FLOOR PLAN 1,838 SQ. FT.

SCALE: 1/4" = 1'-0"

FLOOR PLAN DIMENSION NOTE:

- FLOOR PLAN WALLS SHOWN ARE NOMINAL IN WIDTH.
- DIMENSION SHOWN ARE PLUS OR MINUS.
- IT IS THE FRAMER'S RESPONSIBILITY TO ADJUST ALL CLEARANCES PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE COMMENCING OF ANY WORK.

FLOOR PLAN KEY NOTES:

- INDOOR TYPE TANK-LESS WATER HEATER WITH ANTI-FREEZING CONTROLS FROM THE GARAGE. NO ON-SITE WATER RETENTION. NO DRAINAGE ONTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.
- FREE STANDING RANGE W/ MICRO & HOOD (VTR)-VERTICAL CLEARANCE ABOVE THE RANGE TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
- KITCHEN SINK- KITCHEN SINK COMPARTMENT W/ GARBAGE DISPOSAL. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. MAX. 36" HEIGHT COUNTER TOP WITH BUILT IN CABINET BELOW.
- DISHWASHER- INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFRIGERATOR SPACE W/ COLD WATER STUB
- WALL TYPE LAVATORY WITH PEDESTAL. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI, BUT NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- DRYER SPACE- PROVIDE BACKDRAFT DAMPER & VENT TERMINATION
- WASHER SPACE- PROVIDE LISTED WATER HAMMER ARRESTOR
- WATER CLOSET- TYP. LOW FLOW 1.28 GAL. MAX. PER FLUSH & MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE FIXTURE, AND SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION
- LAVATORY COUNTER TOP WITH BUILT IN CABINET BELOW. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI, BUT NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- TUB AND SHOWER- PREFAB FIBER GLASS W/ WALLS +12" MIN. AND SHOWER CURTAIN OR TEMP. SLIDING GLASS ENCLOSED. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.
- SHOWER- PREFAB FIBER GLASS OR CUSTOM SHOWER W/ SHOWER WALLS +12" MIN. AND 24" MIN. TEMP. GLASS DOOR AND SHALL BE SAVING OUTWARD. A MIN. AREA OF 1024 SQ. IN. REGARDLESS OF SHAPE WITH A MIN. 30" DIA. CIRCLE. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.
- PREFAB FIBER GLASS TUB WITH PLATFORM. MAX. HOT WATER TEMPERATURE DISCHARGING FROM TUB FILLER SHALL BE LIMITED TO 120°F.
- HOSE BIB- PROVIDE NON REMOVABLE BACK FLOW PREVENTERS
- LINEN CLOSET W/ 5 SHELVES (12" MIN)
- CLOTHES CLOSET WITH SHELF AND POLE
- PANTRY WITH 5 SHELVES (16" MIN)
- 30"x30" MIN. ATTIC ACCESS FOR FURNACE WITHIN 20' MAX. ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL. THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
- CONCRETE STOOOP (MIN. 3"x3") SLOPE TO DRAIN. SEE FOUNDATION PLAN
- PORCH/PATIO/GARAGE SLAB MIN. 3-1/2" THICK W/ TOOLED OR SAW CUT CONTROL JOINT & SLOPE TO DRAIN. REFER TO FOUNDATION PLAN.
- CONCRETE SLAB MIN. 3-1/2" THICK 0/ 2" FILL SAND 0/ 10 MILL VAPOR BARRIER 0/ 40% COMPACTED NATIVE SOIL OR PER FOUNDATION PLAN

FLOOR PLAN NOTES

- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF 1/8" FOR A MIN. DISTANCE OF 20' FROM THE GARAGE. NO ON-SITE WATER RETENTION. NO DRAINAGE ONTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.
- DOORS BETWEEN THE RESIDENCE AND THE PRIVATE GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING WHEN BOTH THE GARAGE AND RESIDENCE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R304.6 & R313. (CFC R302.5.1)
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LUMINAIRES IN ACCORDANCE WITH TABLE 150.0-A OF THE CALIFORNIA ENERGY CODE.
- THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.
- COMPLY WITH SECURITY CODE ORDINANCE:
 - PEEP HOLE OR VISION PANEL
 - STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE & BELOW W/ 2-#6 x 2" SCREWS
 - WINDOWS TO MEET THE MIN. STANDARDS AS ESTABLISHED BY THE CBC STDS.
 - DEAD BOLT AT ALL EXTERIOR DOORS
- PROVIDE LISTED WATER HAMMER ARRESTORS TO SERVE THE DISHWASHER, ICE MAKER, WASHING MACHINE AND LANDSCAPE IRRIGATION AUTOMATIC VALVE MANIFOLD. DEVICES SHALL BE CONCEALED WITHIN WALLS OR ATTIC (EXCEPT LANDSCAPE IRRIGATION DEVICE)
- AIR CONDITIONING EQUIPMENT DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED.
- GAS VENTS TO TERMINATE NOT LESS THAN 4' FROM OPENINGS OR PROPERTY LINES AND NOT LESS THAN 12" ABOVE A DOOR, OPENABLE WINDOW OR GRAVITY AIR INLET.
- DOOR LANDING NOTES:
 - WIDTH NOT LESS THAN THE WIDTH OF DOOR SERVED AND A LENGTH IN THE DIRECTION OF TRAVEL NOT LESS THAN 36"
 - NO MORE THAN 1/4" LOWER THAN THE TOP OF THE THRESHOLD.
 - NOT MORE THAN 1/8" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR
 - MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.
- ALL TUB-SHOWER OPENINGS SHALL BE RODENT PROOF, W/ 1" GEMENT COVERING IN AN APPROVED MANNER.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. USE FIBER-CEMENTED GEMENT OR GLASS MATT Gypsum BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.
- MAXIMUM SILL HEIGHT TO NET WINDOW OPENING OF 44-INCHES ABOVE THE FINISHED FLOOR FOR ALL THE WINDOWS USED FOR EMERGENCY EXIT WITH MIN. 20"W AND 24"H OPENING WITH A MIN. OPEN AREA OF 5.7 SQ. FT.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGE SHALL BE LIMITED FOR THE FOLLOWING:
 - BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO 120°F BY A DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3. (CFC SECTION 408.4) (THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION)
 - SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVES TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE 1016 OR ASME A112.8.1/CSA B125.1. (CFC SECTION 408.3)
- ALL HOSE BIBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
- ALL PLUMBING CONVEYING OR DISPENSING WATER FROM HUMAN CONSUMPTION SHALL COMPLY WITH ASSE 1070 FOR LEAD CONTENT.
- THE T AND P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAIN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS FOR NATURAL LIGHT. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. (CFC R303.1)
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 8 SQUARE FEET, ONE HALF OF WHICH MUST BE OPENABLE. GLAZED AREAS NOT REQUIRED WHERE ARTIFICIAL LIGHT AND MECHANICAL VENTILATION ARE PROVIDED. (CFC R303.3)
- GARAGE FLOOR USED FOR THE PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOOR. (CFC R304.1)
- WHEN AN OCCUPIABLE SPACE ADJOINS A GARAGE, THE DESIGN MUST PREVENT MIGRATION OF CONTAMINANTS TO THE ADJOINING OCCUPIABLE SPACE. DOORS BETWEEN THE OCCUPIABLE SPACE AND THE GARAGE SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
- MECHANICAL SYSTEMS INCLUDING HEATING AND AIR CONDITIONING SYSTEMS THAT SUPPLY AIR TO HABITABLE SPACES SHALL HAVE MERV 13 FILTERS OR BETTER.

ENERGY COMPLIANCE SUMMARY

FENESTRATION		
GLAZING TYPE	U-VALUE	SHGC
HORIZ. SLIDERS	0.30	0.23
SINGLE HUNG	0.30	0.23
FIX GLASS	0.21	0.25
GLASS DOORS	0.32	0.22
FRENCH DOOR	0.30	0.23

BUILDING INSULATION

SURFACE:	R-VALUE
EXT. WALL (2X4)	R-15 W/RS FOAM
EXT. WALL (2X6)	R-21 W/RS FOAM
GARAGE INT. WALL	R-5 W/ NO FOAM
NOTE: NO FOAM AT WOOD SIDING/BRICK VENEER	
ATTIC PONY WALL	R-2
ROOF W/ Radiant Barrier	R-41
ROOF @ FAU W/ Radiant Barrier	R-30

ROOF REFLECTANCE	0.16
ROOF EMITTANCE	0.92

HVAC / WATER HEATING

COMPONENT	EFFICIENCY
HEAT PUMP	4.0 SEER
AIR-CONDITIONER	16.0 SEER
AIR-CONDITIONER	15.0 EER
DUCT INSULATION	R-8.0
WATER HEATER (TANKLESS)	0.93 UEF

REFER TO CFR FOR MORE DETAILS AND INFORMATION

HERS FEATURE SUMMARY PER TITLE 24 TO BE FIELD-VERIFIED BY A CERTIFIED HERS RATER:

- Building-level Verifications:
 - Quality Insulation Installation (all)
 - IAQ mechanical ventilation
 - Kitchen range hood
 - Cooling System Verifications:
 - Minimum Airflow
 - Verified EER
 - Verified SEER
 - Verified Refrigerant Charge
 - Fan Efficiency Kwh/CFM
 - Heating System Verifications:
 - Verified HEFF
 - Verified heat pump rated heating capacity
 - HVAC Distribution System Verifications:
 - Duct Sealing
 - Low-leakage Air Handling Unit
 - Domestic Hot Water System Verifications:
 - None

- REQUIRED SPECIAL FEATURES
 - FV System: 3.14 kWh
 - Non-standard roof reflectance
 - Ceiling has high level of insulation

REVIEWED

FOR CODE COMPLIANCE

Oct 19, 2020

INTERVIEW CONSULTING GROUP

STANDARD PLAN
CITY OF FRESNO DEVELOPMENT DEPT.

#20-TEMP - 286

DATE NOV 6 2020 BY EA

The information, arrangements and ideas represented within these drawings are the property of Lennar Homes. No part shall be copied, disclosed to others, or used in connection with any project without the written consent of Lennar Homes.

DESCRIPTION OF WORK

REV. DATE

FRESNO
PLAN 2003 (PONDEROSA)

PROJECT
CALIFORNIA SERIES

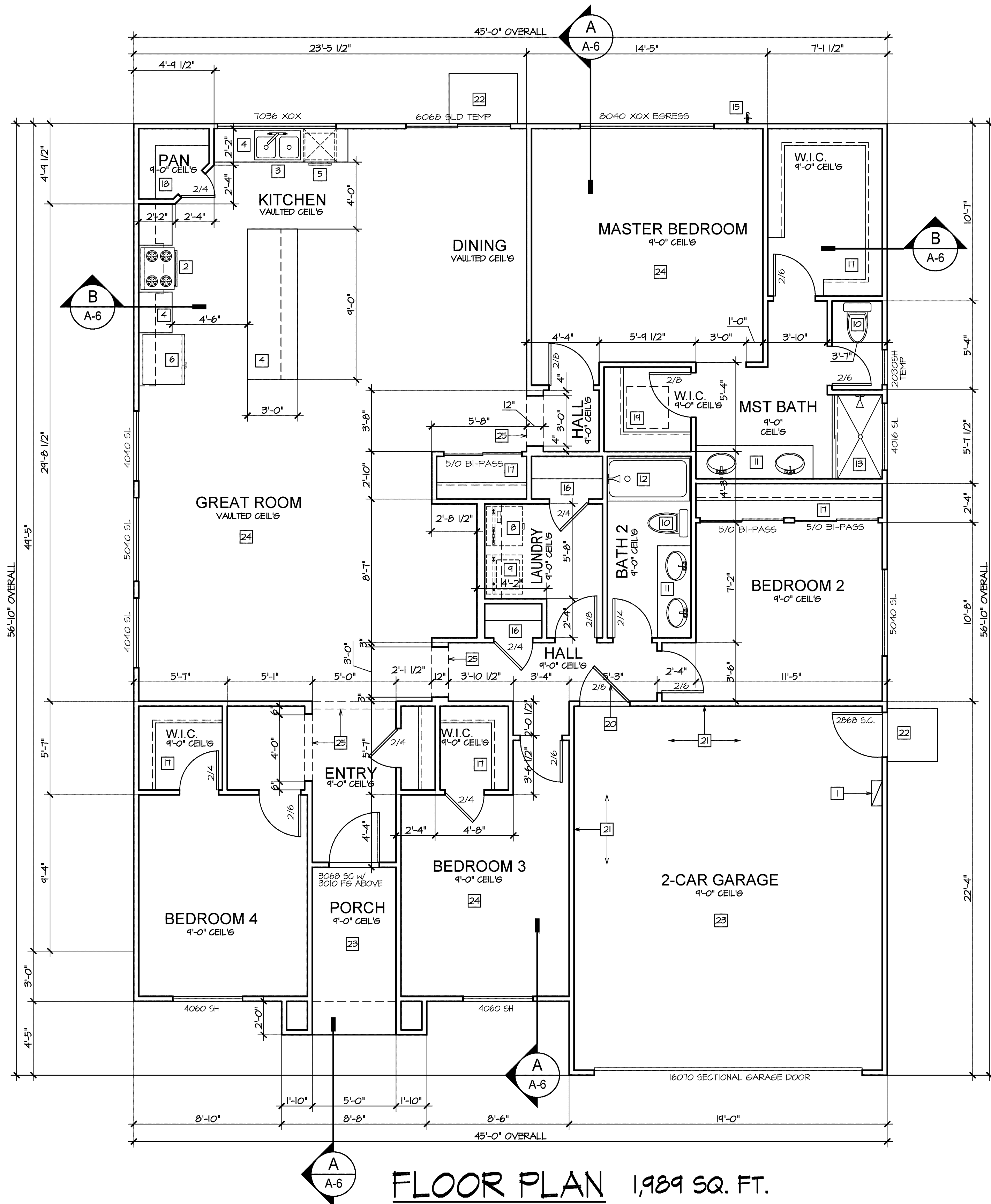
DATE
FEB. 1, 2020

LENNAR
8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

SHEET NO.

A-1

OF SHEETS



FLOOR PLAN 1,989 SQ. FT.

SCALE: 1/4" = 1'-0"

FLOOR PLAN DIMENSION NOTE:

- FLOOR PLAN WALLS SHOWN ARE NOMINAL IN WIDTH.
- DIMENSION SHOWN ARE PLUS OR MINUS.
- IT IS THE FRAMER'S RESPONSIBILITY TO ADJUST ALL CLEARANCES PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE COMMENCING OF ANY WORK.

FLOOR PLAN KEY NOTES:

- INDOOR TYPE TANK-LESS WATER HEATER WITH ANTI-FREEZING CONTROLS BY RINNAI (RUC80N) OR ANY APPROVED EQUAL. ISOLATION VALVES AND HOSE BIBBS REQUIRED FOR TANK-LESS WATER HEATER. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.
- FREE STANDING RANGE W/ MICRO & HOOD (VTR)-VERTICAL CLEARANCE ABOVE THE RANGE TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
- KITCHEN SINK- KITCHEN SINK COMPARTMENT W/ GARBAGE DISPOSAL. KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. MAX. 36" HEIGHT COUNTER TOP WITH BUILT IN CABINET BELOW.
- DISHWASHER- INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFRIGERATOR SPACE W/ COLD WATER STUB.
- DASHED LINE DENOTES CABINET ABOVE.
- DRYER SPACE- PROVIDE BACKDRAFT DAMPER & VENT TERMINATION.
- WASHER SPACE- PROVIDE LISTED WATER HAMMER ARRESTOR.
- WATER CLOSET- TYP. LOW FLOW 1.28 GAL. MAX. PER FLUSH & MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE FIXTURE, AND SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION.
- LAVATORY COUNTER TOP WITH BUILT IN CABINET BELOW. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI, BUT NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- TUB AND SHOWER- PREFAB FIBER GLASS W/ WALLS >12" MIN. AND SHOWER CURTAIN OR TEMP. SLIDING GLASS ENCLOSED. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.
- SHOWER- PREFAB FIBER GLASS OR CUSTOM SHOWER W/ SHOWER WALLS >12" MIN. AND 24" MIN. TEMP. GLASS DOOR AND SHALL BE SWING OUTWARD. A MIN. AREA OF 1024 SQ. IN. REGARDLESS OF SHAPE WITH A MIN. 30" DIA. CIRCLE. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.
- PREFAB FIBER GLASS TUB WITH PLATFORM. MAX. HOT WATER TEMPERATURE DISCHARGING FROM TUB FILLER SHALL BE LIMITED TO 120°F.
- HOSE BIBB- PROVIDE NON REMOVABLE BACK FLOW PREVENTERS.
- LINE CLOSET W/ 5 SHELVES (12" MIN).
- CLOTHES CLOSET WITH SHELF AND POLE.
- PANTRY WITH 5 SHELVES (16" MIN).
- 30"x30" MIN. ATTIC ACCESS FOR FURNACE WITHIN 20' MAX. ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL. THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
- 1-3/8" THICK SOLID CORE DOOR. PROVIDE 3 HINGES OUT OF WHICH 2 MIN. ARE SELF CLOSING AND SELF LATCHING.
- PROVIDE 5/8" (TYPE 'X') GYP. BOARD AT ALL WALLS AND CEILING INCLUDING EXPOSED POSTS AND BEAMS BET. GARAGE AND RESIDENCE. TAPE AND FINISH AS REQUIRED. (MAY USED 1/2" MIN. GYP. BD. AT ALL LOCATIONS THAT IS NOT BETWEEN THE RESIDENCE AND GARAGE.)
- CONCRETE STOOP (MIN. 3"x3") SLOPE TO DRAIN. SEE FOUNDATION PLAN.
- PORCH/PATIO/GARAGE SLAB MIN. 3-1/2" THICK W/ TOOLED OR SAW CUT CONTROL JOINT & SLOPE TO DRAIN. REFER TO FOUNDATION PLAN.
- CONCRETE SLAB MIN. 3-1/2" THICK 0/ 2" FILL SAND 0/ 10 MILL VAPOR BARRIER 0/ 90% COMPACTED NATIVE SOIL. OR PER FOUNDATION PLAN.
- 8' HIGH ARCH SLOTT

FLOOR PLAN NOTES

- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF A 5% FOR A MIN. DISTANCE OF 20' FROM THE GARAGE. NO ON-SITE WATER RETENTION. NO DRAINAGE ONTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN. GREATER THAN 12" SHALL BE DONE BY AN APPROVED RETAINING WALL.
- DOORS BETWEEN THE RESIDENCE AND THE PRIVATE GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING WHEN BOTH THE GARAGE AND RESIDENCE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R304.6 & R313. (CFC R302.5.1)
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LUMINAIRES IN ACCORDANCE WITH TABLE 150.0-A OF THE CALIFORNIA ENERGY CODE.
- THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.
- COMPLY WITH SECURITY CODE ORDINANCE:
A) PEEP HOLE OR VISION PANEL
B) STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE & BELOW W/ 2-#6 x 2" SCREWS.
C) WINDOWS TO MEET THE MIN. STANDARDS AS ESTABLISHED BY THE CBC STDS.
D) DEAD BOLT AT ALL EXTERIOR DOORS
- PROVIDE LISTED WATER HAMMER ARRESTORS TO SERVE THE DISHWASHER, ICE MAKER, WASHING MACHINE AND LANDSCAPE IRRIGATION AUTOMATIC VALVE. MANIFOLD DEVICES SHALL BE CONCEALED WITHIN WALLS OR ATTIC (EXCEPT LANDSCAPE IRRIGATION DEVICE)
- AIR CONDITIONING EQUIPMENT DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED.
- GAS VENTS TO TERMINATE NOT LESS THAN 4' FROM OPENINGS OR PROPERTY LINES AND NOT LESS THAN 12" ABOVE A DOOR, OPENABLE WINDOW OR GRAVITY AIR INLET.
- DOOR LANDING NOTES:
A. WIDTH NOT LESS THAN THE WIDTH OF DOOR SERVED AND A LENGTH IN THE DIRECTION OF TRAVEL NOT LESS THAN 36"
B. NO MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD.
C. NOT MORE THAN 18" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
D. MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.
- ALL TUB-SHOWER OPENINGS SHALL BE RODENT PROOF, W/ 1" GEMENT COVERING IN AN APPROVED MANNER.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. USE FIBER-REINFORCED GEMENT OR GLASS MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.
- MAXIMUM SILL HEIGHT TO NET WINDOW OPENINGS OF 44-INCHES ABOVE THE FINISHED FLOOR FOR ALL THE WINDOWS USED FOR EMERGENCY EXIT WITH MIN. 20"W AND 24"H OPENING WITH A MIN. OPEN AREA OF 5.7 SQ. FT.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGE SHALL BE LIMITED FOR THE FOLLOWING:
A. BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO 120°F BY A DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3. (CFC SECTION 409.4) (THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION)
B. SHOWERS AND TUB-SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVES TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1 (CFC SECTION 408.3)
- ALL HOSE BIBBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
- ALL PLUMBING CONVEYING OR DISPENSING WATER FROM HUMAN CONSUMPTION SHALL COMPLY WITH AS 1228 FOR LEAD CONTENT.
- THE T AND P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAWN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS FOR NATURAL LIGHT. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. (CFC R303.1)
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 9 SQUARE FEET, ONE HALF OF WHICH MUST BE OPENABLE. GLAZED AREAS NOT REQUIRED WHERE ARTIFICIAL LIGHT AND MECHANICAL VENTILATION ARE PROVIDED. (CFC R303.3)
- GARAGE FLOOR USED FOR THE PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOOR. (CFC R304.1)
- WHEN AN OCCUPIABLE SPACE ADJOINS A GARAGE, THE DESIGN MUST PREVENT MIGRATION OF CONTAMINANTS TO THE ADJOINING OCCUPIABLE SPACE. DOORS BETWEEN THE OCCUPIABLE SPACE AND THE GARAGE SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
- MECHANICAL SYSTEMS INCLUDING HEATING AND AIR CONDITIONING SYSTEMS THAT SUPPLY AIR TO HABITABLE SPACES SHALL HAVE MERV 13 FILTERS OR BETTER.

ENERGY COMPLIANCE SUMMARY

FENESTRATION

GLAZING TYPE	U-VALUE	SHGC
HORIZ. SLIDERS	0.30	0.23
SINGLE HUNG	0.30	0.23
FIX GLASS	0.21	0.25
GLASS DOORS	0.32	0.22
FRENCH DOOR	0.30	0.23

BUILDING INSULATION

SURFACE:	R-VALUE
EXT. WALL (2X4)	R-15 W/ RS FOAM
EXT. WALL (2X6)	R-21 W/ RS FOAM
GARAGE INT. WALL	R-15 W/ NO FOAM
NOTE: NO FOAM AT WOOD SIDING/BRICK VENEER	
ATTIC PONY WALL	R-21
ROOF w/ Radiant Barrier	R-44
ROOF @ FAU w/ Radiant Barrier	R-30

HVAC / WATER HEATING

COMPONENT	EFFICIENCY
HEAT PUMP	9.0 HSPF
AIR CONDITIONER	16.0 SEER
AIR CONDITIONER	13.0 EER
DUCT INSULATION	R-8.0
WATER HEATER (TANKLESS)	0.93 UEF

REFER TO CFC FOR MORE DETAILS AND INFORMATION

HERS FEATURE SUMMARY PER TITLE 24 TO BE FIELD-VERIFIED BY A CERTIFIED HERS RATER:

- Building-level Verifications:
- Quality Insulation Installation (all)
- IAQ mechanical ventilation
- Kitchen range hood
- Cooling System Verifications:
- Minimum Airflow
- Verified EER
- Verified SEER
- Verified Refrigerant Charge
- Fan Efficacy Wats/CFM
- Heating System Verifications:
- Verified HSPF
- Verified heat pump rated heating capacity
- HVAC Distribution System Verifications:
- Duct Sealing
- Low-leakage Air Handling Unit
- Domestic Hot Water System Verifications:
- None --

REQUIRED SPECIAL FEATURES

- PV System: 3.84 kWhc
- Non-standard roof reflectance
- Ceiling has high level of insulation

STANDARD PLAN
CITY OF FRESNO DEVELOPMENT DEPT.

#20-TEMP - 287

DATE NOV 6 2020 BY EA

REVIEWED

FOR
CODE COMPLIANCE

Oct 19, 2020

INTEREST CONSULTING GROUP

The information, arrangements and ideas represented in these drawings are the property of Lennar Homes. No part shall be copied, disclosed to others, or used in connection with any project without the written consent of Lennar Homes.

DESCRIPTION OF WORK

REV. DATE

FRESNO
PLAN 2004 (BRISTLECOONE)

PROJECT
CALIFORNIA SERIES

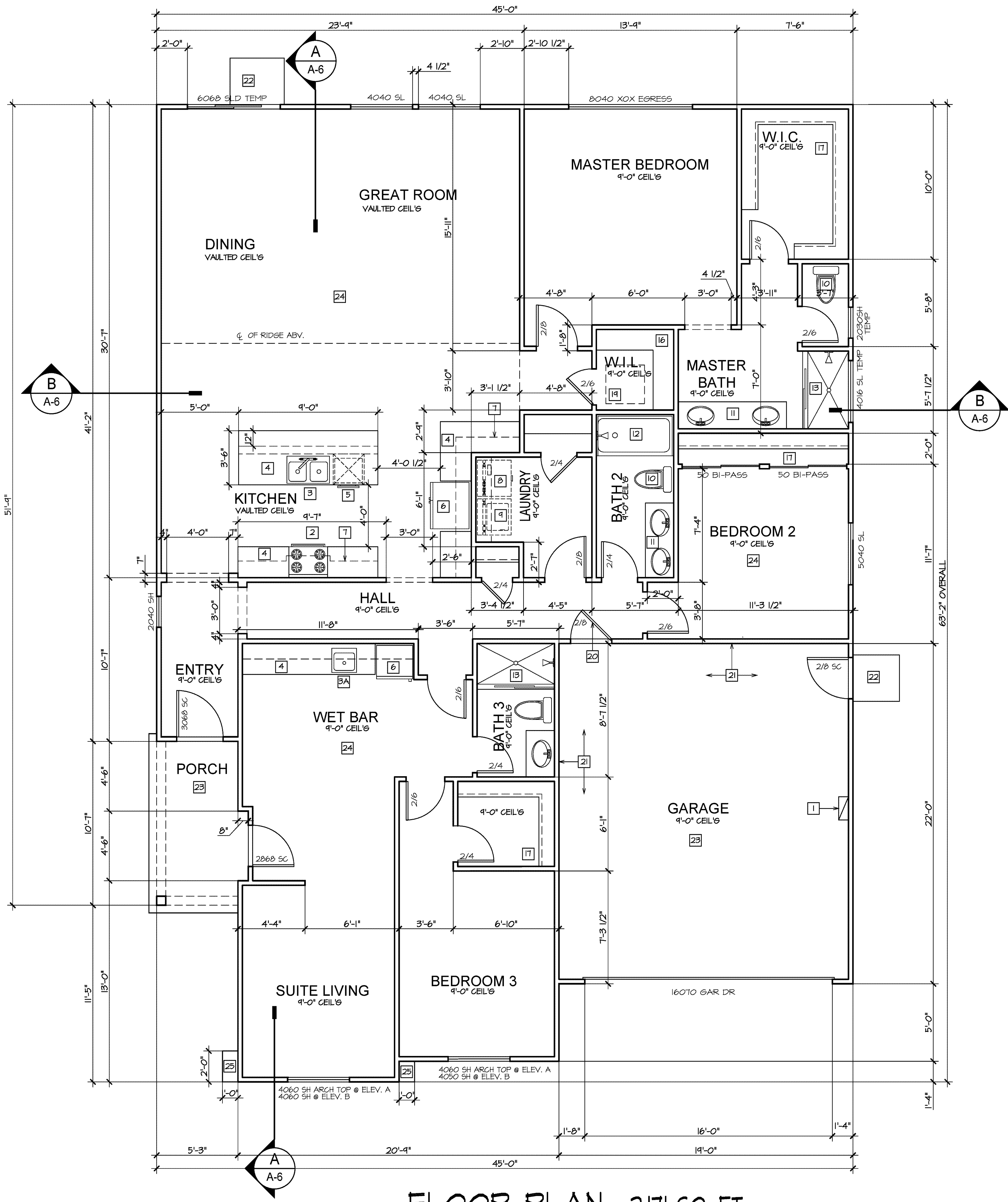
DATE
FEB. 1, 2020

LENNAR
8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

SHEET NO.

A-1

OF SHEETS



FLOOR PLAN 2,171 SQ. FT.

SCALE: 1/4" = 1'-0"

FLOOR PLAN DIMENSION NOTE:

- FLOOR PLAN WALLS SHOWN ARE NOMINAL IN WIDTH.
- DIMENSION SHOWN ARE PLUS OR MINUS.
- IT IS THE FRAMER'S RESPONSIBILITY TO ADJUST ALL CLEARANCES PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE COMMENCING OF ANY WORK.

FLOOR PLAN KEY NOTES:

- INDOOR TYPE TANK-LESS WATER HEATER WITH ANTI-FREEZING CONTROLS FROM THE GARAGE. NO ON-SITE WATER RETENTION. NO DRAINAGE ONTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.
- FREE STANDING RANGE W/ MICRO & HOOD (VTR)-VERTICAL CLEARANCE ABOVE THE RANGE TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
- KITCHEN SINK- KITCHEN SINK COMPARTMENT W/ GARBAGE DISPOSAL. KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. BAR SINK- FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. MAX. 36" HEIGHT COUNTER TOP WITH BUILT IN CABINET BELOW.
- DISHWASHER- INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFRIGERATOR SPACE W/ COLD WATER STUB.
- DASHED LINE DENOTES CABINET ABOVE.
- DRYER SPACE- PROVIDE BACKDRAFT DAMPER @ VENT TERMINATION.
- WASHER SPACE- PROVIDE LISTED WATER HAMMER ARRESTOR.
- WATER CLOSET- TYP. LOW FLOW 1.28 GAL. MAX. PER FLUSH & MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE FIXTURE, AND SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION.
- LAVATORY COUNTER TOP WITH BUILT IN CABINET BELOW. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI, BUT NOT BE LESS THAN 0.5 GALLONS PER MINUTE AT 20 PSI.
- TUB AND SHOWER- PREFAB FIBER GLASS W/ WALLS +12" MIN. AND SHOWER CURTAIN OR TEMP. SLIDING GLASS ENCLOSED. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 60 PSI.
- SHOWER- PREFAB FIBER GLASS OR CUSTOM SHOWER W/ SHOWER WALLS +12" MIN. AND 24" MIN. TEMP. GLASS DOOR AND SHALL BE SKINS OUTWARD. A MIN. AREA OF 1024 SQ. IN. REGARDLESS OF SHAPE WITH A MIN. 30" DIA. CIRCLE. SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 60 PSI.
- PREFAB FIBER GLASS TUB WITH PLATFORM. MAX. HOT WATER TEMPERATURE DISCHARGING FROM TUB FILLER SHALL BE LIMITED TO 120°F.
- HOSE BIB- PROVIDE NON REMOVABLE BACK FLOW PREVENTERS.
- LINEN CLOSET W/ 5 SHELVES (12" MIN.)
- CLOTHES CLOSET WITH SHELF AND POLE.
- PANTRY WITH 5 SHELVES (16" MIN.)
- 30"x30" MIN. ATTIC ACCESS FOR FURNACE WITHIN 20' MAX. ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL. THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
- PROVIDE 5/8" (TYPE 'X') GYP. BOARD AT ALL WALLS AND CEILING INCLUDING EXPOSED POSTS AND BEAMS BET. GARAGE AND RESIDENCE. TAPE AND FINISH AS REQUIRED. (MAY USED 1/2" MIN. GYP. BD. AT ALL LOCATIONS THAT IS NOT BETWEEN THE RESIDENCE AND GARAGE.)
- CONCRETE STOOB (MIN. 3"x3") SLOPE TO DRAIN. SEE FOUNDATION PLAN.
- PORCH/PATIO/GARAGE SLAB MIN. 3-1/2" THICK W/ TOOLED OR SAW CUT CONTROL JOINT & SLOPE TO DRAIN. REFER TO FOUNDATION PLAN.
- CONCRETE SLAB MIN. 3-1/2" THICK 0/ 2" FILL SAND 0/ 10 MILL VAPOR BARRIER 0/ 40% COMPACTED NATIVE SOIL OR PER FOUNDATION PLAN.
- DECORATIVE WING WALL PER ELEVATION FRAMED WITH 2X4 STUDS. PROVIDE CONCRETE FOOTING AS REQUIRED.

ENERGY COMPLIANCE SUMMARY

FENESTRATION

GLAZING TYPE	U-VALUE	SHGC
HORIZ. SLIDERS	0.30	0.23
SINGLE HUNG	0.30	0.23
FIX GLASS	0.21	0.25
GLASS DOORS	0.32	0.22
FRENCH DOOR	0.30	0.23

BUILDING INSULATION

SURFACE:	R-VALUE
EXT. WALL (2X4)	R-15 W/ R5 FOAM
EXT. WALL (2X6)	R-21 W/ R5 FOAM
GARAGE INT. WALL	R-15 W/ NO FOAM
NOTE: NO FOAM AT WOOD SIDINGS/BRICK VENEER	
ATTIC PONY WALL	R-21
ROOF W/ Radiant Barrier	R-44
ROOF @ FAU W/ Radiant Barrier	R-30

ROOF REFLECTANCE	0.16
ROOF EMITTANCE	0.92

HVAC / WATER HEATING

COMPONENT	EFFICIENCY
HEAT PUMP	14.0 SEER
AIR CONDITIONER	16.0 SEER
AIR CONDITIONER	13.0 EER
DUCT INSULATION	R- 8.0
WATER HEATER (TANKLESS)	0.93 UEF

REFER TO GPR FOR MORE DETAILS AND INFORMATION

FLOOR PLAN NOTES

- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF 1" PER 4' FOR A MIN. DISTANCE OF 20' FROM THE GARAGE. NO ON-SITE WATER RETENTION. NO DRAINAGE ONTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.
- DOORS BETWEEN THE RESIDENCE AND THE PRIVATE GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING WHEN BOTH THE GARAGE AND RESIDENCE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R304.6 & R313. (CFC R302.5.1)
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIACY LUMINAIRES IN ACCORDANCE WITH TABLE 150.0-A OF THE CALIFORNIA ENERGY CODE.
- THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.
- COMPLY WITH SECURITY CODE ORDINANCE:
A) PEEP HOLE OR VISION PANEL
B) STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE & BELOW W/ 2-#6 x 2" SCREWS.
C) WINDOWS TO MEET THE MIN. STANDARDS AS ESTABLISHED BY THE CBC STDS.
D) DEAD BOLT AT ALL EXTERIOR DOORS
- PROVIDE LISTED WATER HAMMER ARRESTORS TO SERVE THE DISHWASHER, ICE MAKER, WASHING MACHINE AND LANDSCAPE IRRIGATION AUTOMATIC VALVE MANIFOLD. DEVICES SHALL BE CONCEALED WITHIN WALLS OR ATTIC (EXCEPT LANDSCAPE IRRIGATION DEVICE)
- AIR CONDITIONING EQUIPMENT DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED.
- GAS VENTS TO TERMINATE NOT LESS THAN 4' FROM OPENINGS OR PROPERTY LINES AND NOT LESS THAN 12" ABOVE A DOOR, OPENABLE WINDOW OR GRAVITY AIR INLET.
- DOOR LANDING NOTES:
A. WIDTH NOT LESS THAN THE WIDTH OF DOOR SERVED AND A LENGTH IN THE DIRECTION OF TRAVEL NOT LESS THAN 36"
B. NO MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD.
C. NOT MORE THAN 1/8" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
D. MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.
- ALL TUB-SHOWER OPENINGS SHALL BE RODENT PROOF, W/ 1" GEMENT COVERING IN AN APPROVED MANNER.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. USE FIBER-REINFORCED GYPSUM BOARD OR GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.
- MAXIMUM SILL HEIGHT TO NET WINDOW OPENING OF 44-INCHES ABOVE THE FINISHED FLOOR FOR ALL THE WINDOWS USED FOR EMERGENCY EXIT WITH MIN. 20"W AND 24"H OPENING WITH A MIN. OPEN AREA OF 5.7 SQ. FT.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGE SHALL BE LIMITED FOR THE FOLLOWING:
A. BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO 120°F BY A DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3, (CFC SECTION 409.4) (THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION)
B. SHOWERS AND TUB-SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVES TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1 (CFC SECTION 408.3)
- ALL HOSE BIBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
- ALL PUMPING CONVEYING OR DISPENSING WATER FROM HUMAN CONSUMPTION SHALL COMPLY WITH AS 1001 FOR LEAD CONTENT
- THE T AND P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAIN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS FOR NATURAL LIGHT. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. (CFC R303.1)
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 9 SQUARE FEET, ONE HALF OF WHICH MUST BE OPENABLE. GLAZED AREAS NOT REQUIRED WHERE ARTIFICIAL LIGHT AND MECHANICAL VENTILATION ARE PROVIDED. (CFC R303.3)
- GARAGE FLOOR USED FOR THE PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOOR. (CFC R304.1)
- WHEN AN OCCUPIABLE SPACE ADJOINS A GARAGE, THE DESIGN MUST PREVENT MIGRATION OF CONTAMINANTS TO THE ADJOINING OCCUPIABLE SPACE. DOORS BETWEEN THE OCCUPIABLE SPACE AND THE GARAGE SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
- MECHANICAL SYSTEMS INCLUDING HEATING AND AIR CONDITIONING SYSTEMS THAT SUPPLY AIR TO HABITABLE SPACES SHALL HAVE MERV 13 FILTERS OR BETTER.

HERS FEATURE SUMMARY PER TITLE 24 TO BE FIELD-VERIFIED BY A CERTIFIED HERs RATER:

- Building-level Verifications:
 - Quality Insulation Installation (all)
 - IAQ mechanical ventilation
 - Kitchen range hood
- Cooling System Verifications:
 - Minimum Airflow
 - Verified EER
 - Verified SEER
 - Verified Refrigerant Charge
 - Fan Efficiency Watts/CFM
- Heating System Verifications:
 - Verified HSPF
 - Verified heat pump rated heating capacity
- HVAC Distribution System Verifications:
 - Duct Sealing
 - Low-leakage Air Handling Unit
- Domestic Hot Water System Verifications:
 - None

REQUIRED SPECIAL FEATURES

- PV System, 3.51 kWdc
- Non-standard roof reflectance
- Ceiling has high level of insulation

REVIEWED
FOR
CODE COMPLIANCE

Oct 28, 2020

INTERWEST CONSULTING GROUP

STANDARD PLAN
CITY OF FRESNO DEVELOPMENT DEPT.

#20-TEMP - 272

DATE OCT 30 2020 BY EA

The information, arrangements and ideas represented within these drawings are the property of Lennar Homes. No part shall be copied, disclosed to others, or used in connection with any project without the written consent of Lennar Homes.

DESCRIPTION OF WORK

REV. DATE

FRESNO
PLAN 2005 (SUGAR PINE)

PROJECT
CALIFORNIA SERIES

DATE
FEB. 1, 2020

LENNAR®

8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

SHEET NO.

A-1

OF SHEETS

PLUM

*The Clementine Series
at The Ranch at Heritage Grove*

Approx. 1460 sq. ft.

Single-Story

2 Bedrooms

2 Bathrooms

Flex Room

2-Bay Garage

N. Clovis Ave. & E. Shepherd Ave.
Clovis, CA 93619
559-554-1147 | Lennar.com



— Plum A —



— Plum B —



— Plum C —

OLIVE

*The Clementine Series
at The Ranch at Heritage Grove*

Approx. 1,635 sq. ft.

Single-Story

3 Bedrooms

2 Bathrooms

2-Bay Garage

N. Clovis Ave. & E. Shepherd Ave.
Clovis, CA 93619
559-554-1147 | Lennar.com



— Olive A —



— Olive B —



— Olive C —

DEWBERRY

*The Clementine Series
at The Ranch at Heritage Grove*

Approx. 2,088 sq. ft.

Two-Story

4 Bedrooms

2.5 Bathrooms

Flex Room

2-Bay Garage

N. Clovis Ave. & E. Shepherd Ave.
Clovis, CA 93619
559-554-1147 | Lennar.com



— Dewberry A —



— Dewberry B —



— Dewberry C —

PERSIMMON

*The Clementine Series
at The Ranch at Heritage Grove*

Approx. 2,985 sq. ft.

Two-Story

5 Bedrooms

3.5 Bathrooms

Loft

2-Bay Garage

N. Clovis Ave. & E. Shepherd Ave.
Clovis, CA 93619
559-554-1147 | Lennar.com



— Persimmon A —

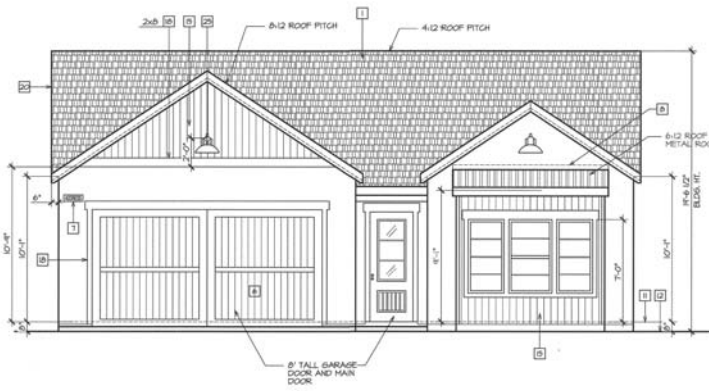


— Persimmon B —



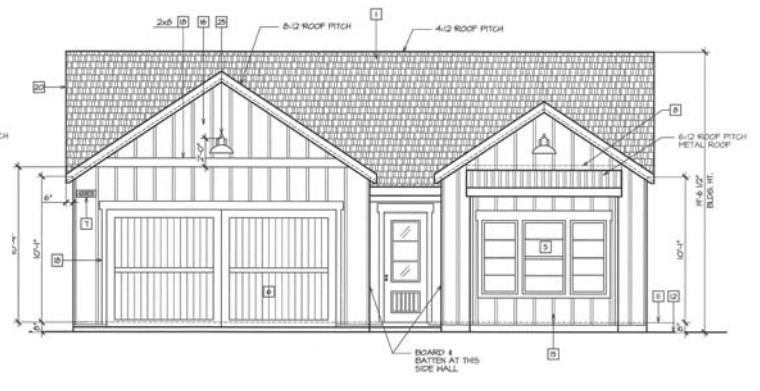
— Persimmon C —

Plan 4021



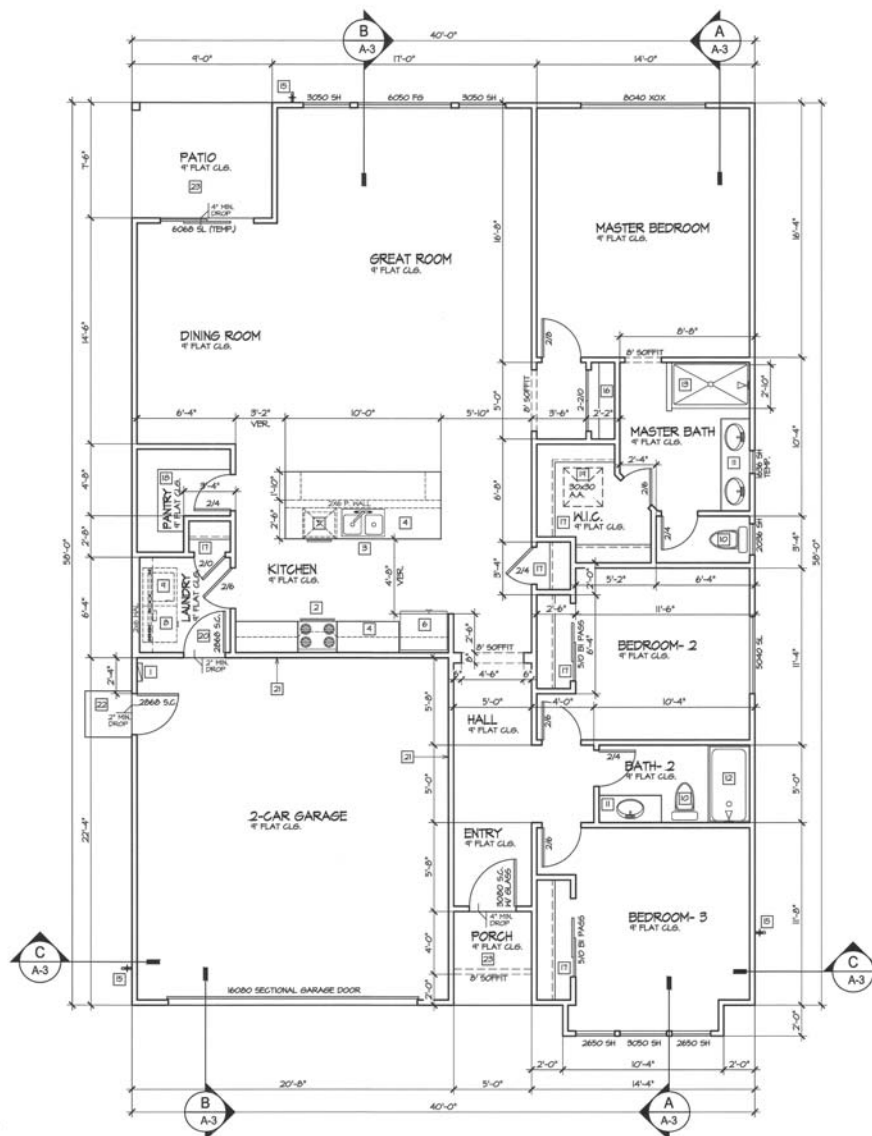
FRONT ELEV.- A

SCALE: 1/4" = 1'-0"



FRONT ELEV.- B

SCALE: 1/4" = 1'-0"



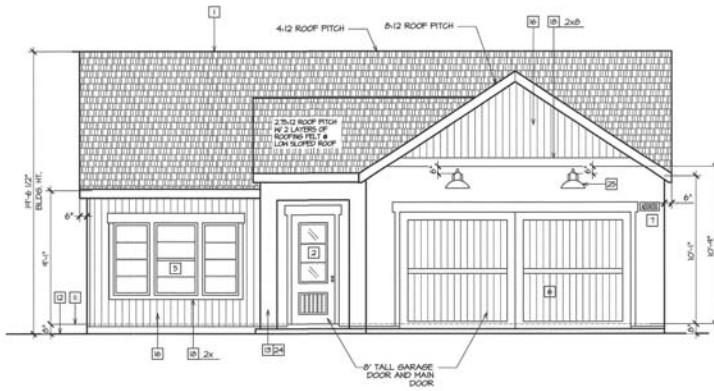
FLOOR PLAN 1,787 SQ. FT.

SCALE: 1/4" = 1'-0"

1,787 Square Feet

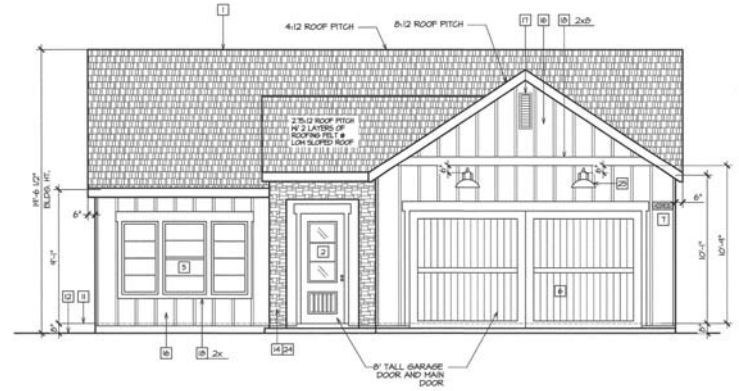
LENNAR®

CORONET SERIES



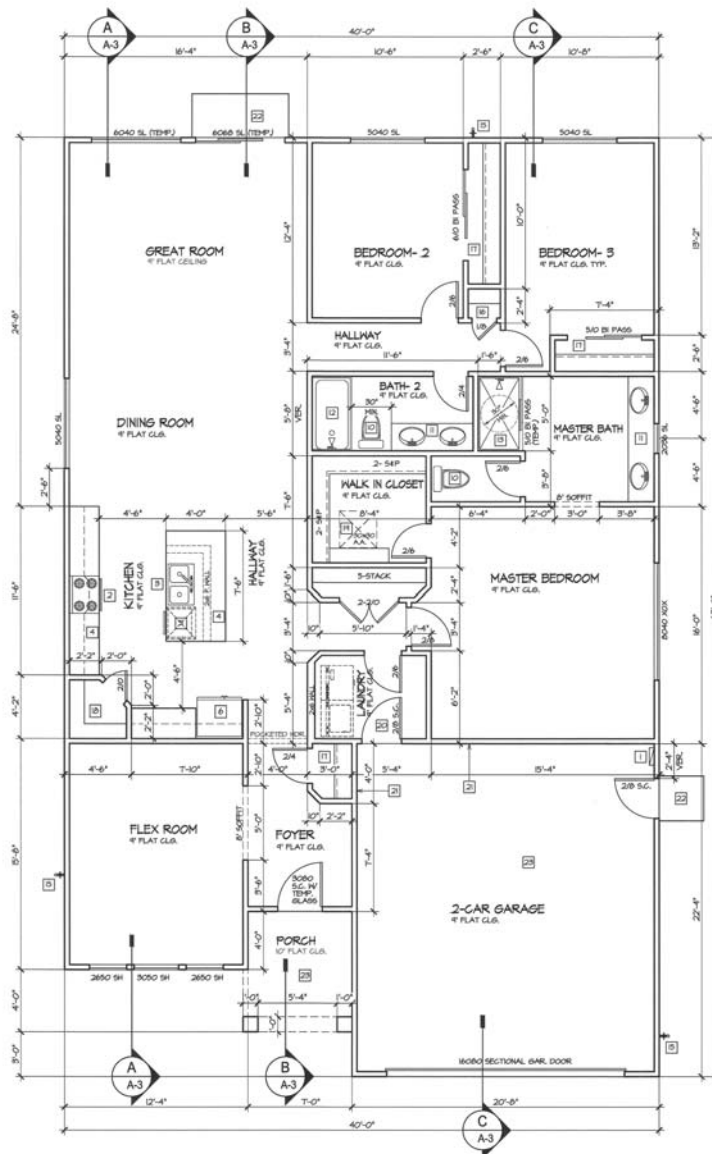
FRONT ELEV.- A

SCALE: 1/4" = 1'-0"



FRONT ELEV.- B

SCALE: 1/4" = 1'-0"



FLOOR PLAN 1,898 SQ. FT.

SCALE: 1/4" = 1'-0"

1,898 Square Feet

LENNAR®

CORONET SERIES



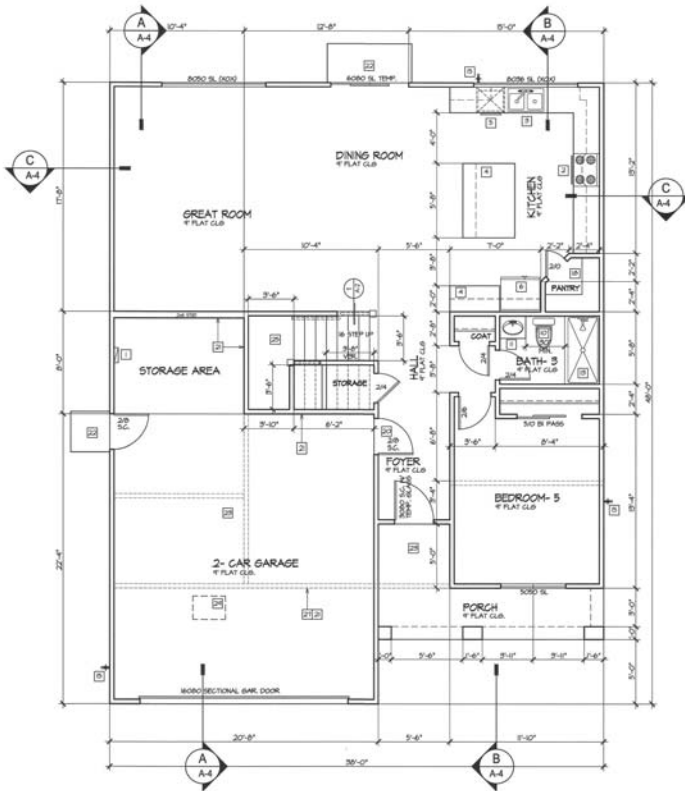
FRONT ELEV.- A

SCALE: 1/4" = 1'-0"



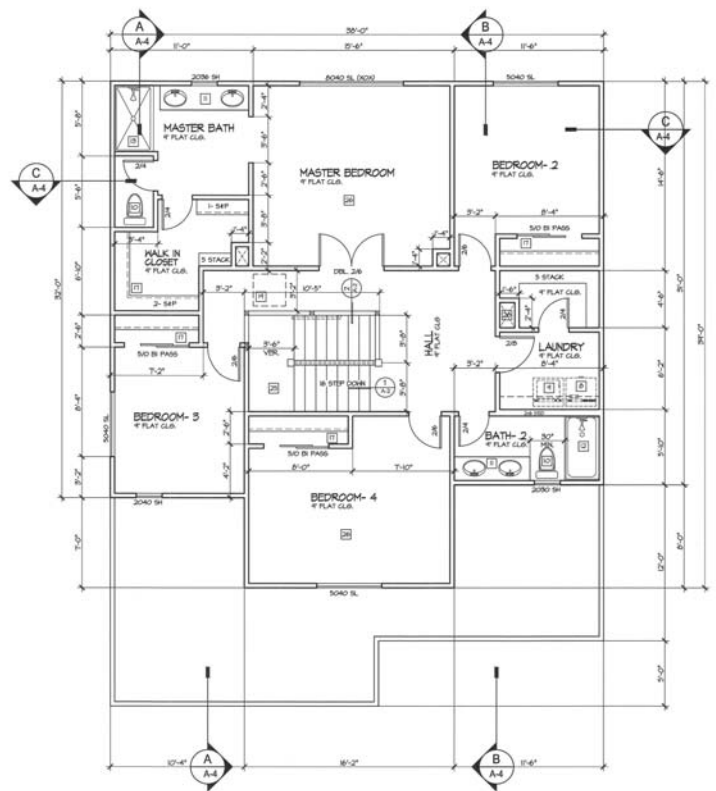
FRONT ELEV.- B

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN 1,103 SQ. FT.

SCALE: 1/4" = 1'-0"



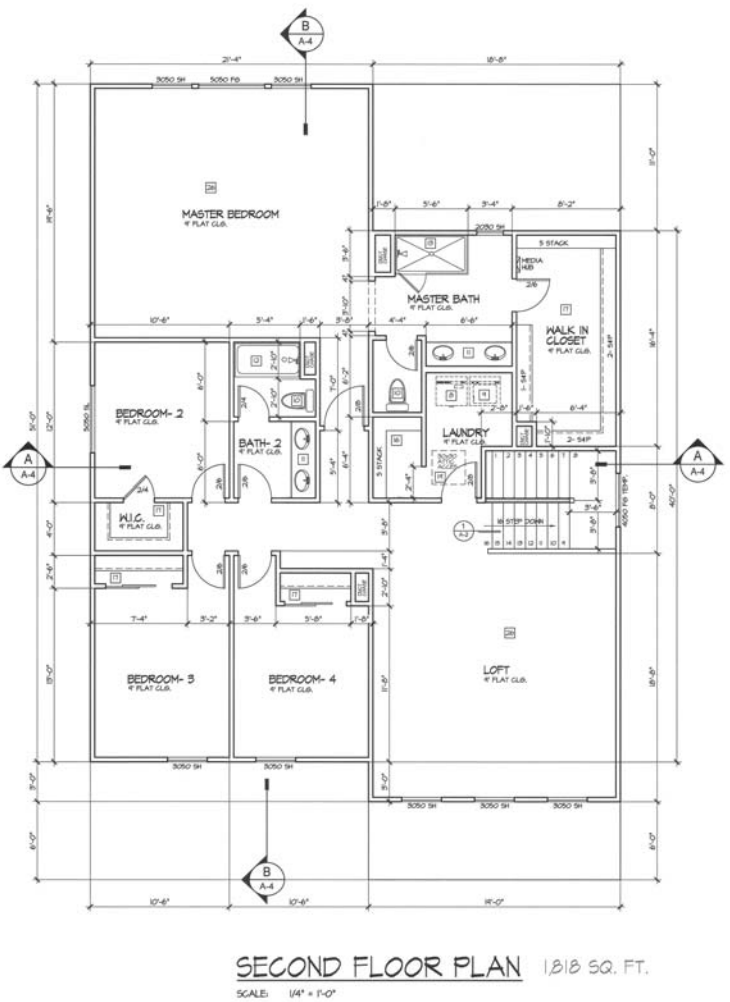
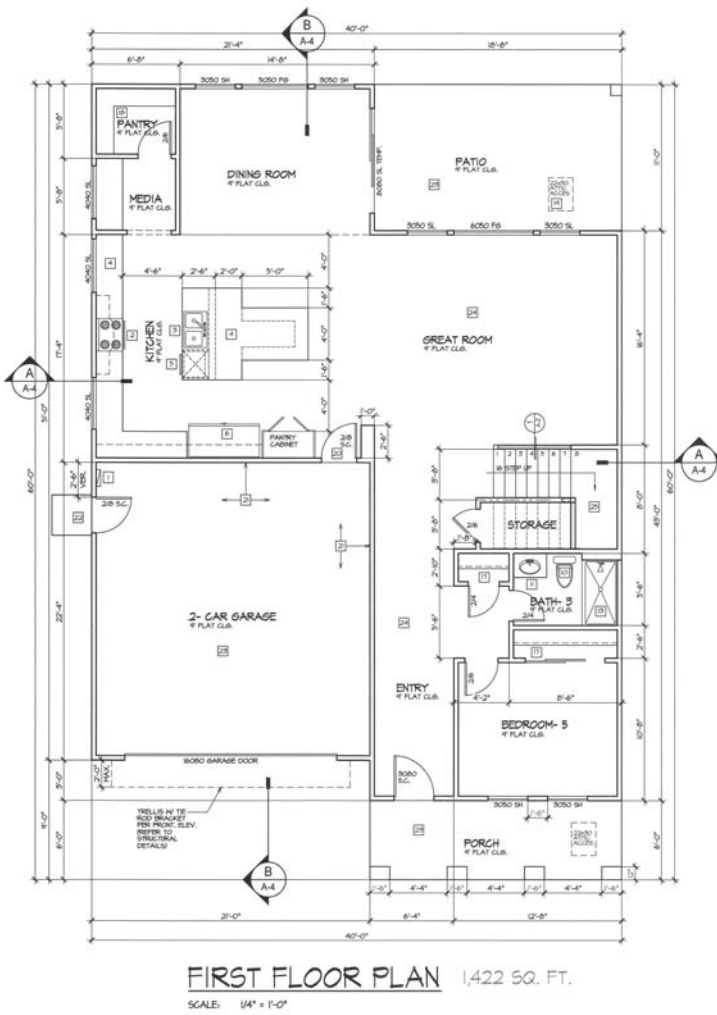
SECOND FLOOR PLAN 1,245 SQ. FT.

SCALE: 1/4" = 1'-0"

2,348 Square Feet

LENNAR®

CORONET SERIES



3,240 Square Feet

LENNAR®

CORONET SERIES

Plan 4027



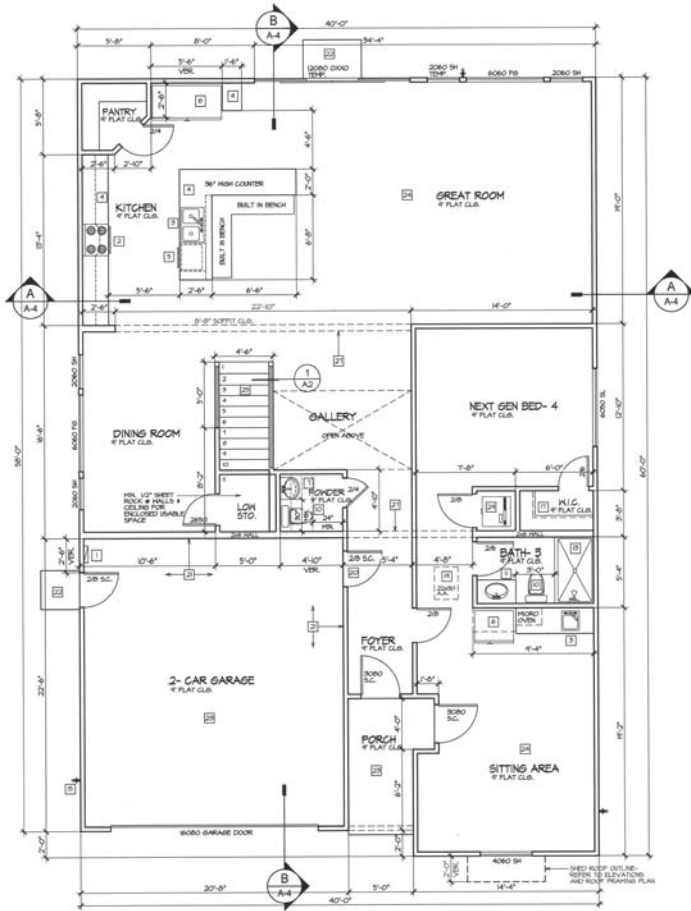
FRONT ELEV.- A

SCALE: 1/4" = 1'-0"



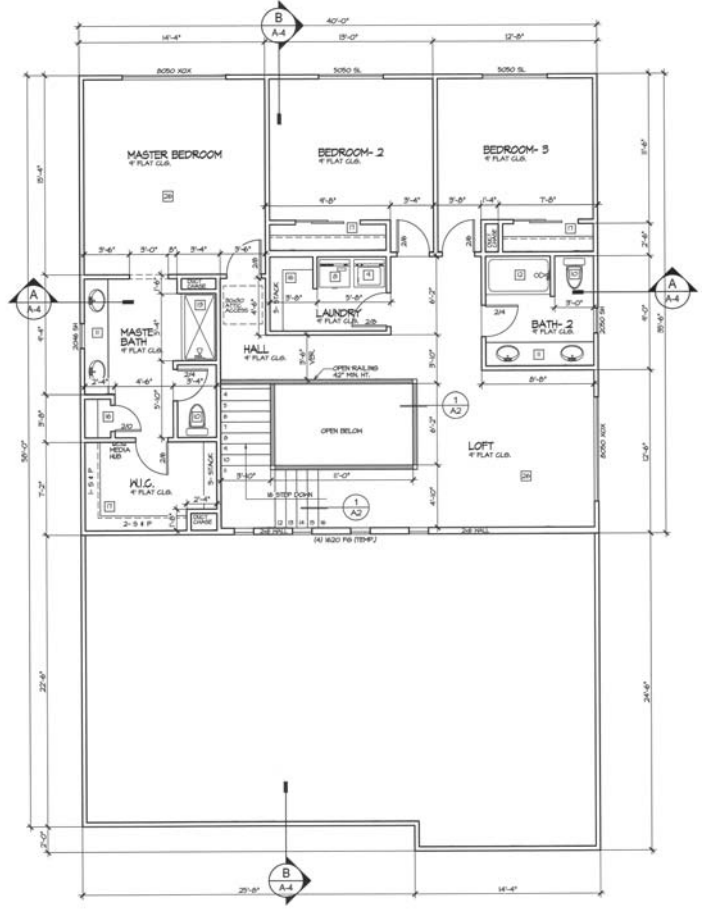
FRONT ELEV.- B

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN 1830 SQ. FT.

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN 1298 SQ. FT.

SCALE: 1/4" = 1'-0"

3,128 Square Feet

LENNAR®

CORONET SERIES

RESOLUTION NO. 2021-__

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SELMA, CALIFORNIA FINDING ANNEXATION NO. 2021-0002 FOR 94.53 ACRES LOCATED ON THE NORTHEAST CORNER OF EAST FLORAL AVENUE AND DOCKERY AVENUE INTO THE CITY OF SELMA TO BE CONSISTENT WITH THE GENERAL PLAN AND RECOMMENDING PREZONING OF R-M SP-AMB

WHEREAS, on January 6, 2021, Lennar Homes (“Applicant”) filed a complete application requesting annexation of approximately 94.53 acres located on the northeast corner of East Floral Avenue and Dockery Avenue (Assessor’s Parcel Numbers 358-100-08, 358-100-09, 358-100-10, 358-100-11, and a portion of 358-196-02) (“Property”) into the City of Selma, Application No. 2021-0002 and to prezone the Property as R-M SP-AMB (“Application” or “Project”); and,

WHEREAS, the Property is currently predominantly vacant and the Applicant intends to develop a 270-lot single family residential subdivision on 55.06 gross acres (47.1 net acres) as provided in the Amberwood Specific Plan; and,

WHEREAS, the Project is located within the City of Selma’s Sphere of Influence and Urban Development Boundary, is surrounded by existing development, and is contiguous to the existing City limits, and therefore, annexation is appropriate to promote orderly urban development and growth; and,

WHEREAS, the Project is consistent with the General Plan, essential services can be provided, and the Project does not conflict with the established goals and objectives of the Land Use Element; and,

WHEREAS, the Land Use Element of the General Plan designates the Property for Medium-Low Residential, and the corresponding zoning designations, R-M and SP-AMB permits medium density single family residential development, pursuant to the Amberwood Specific Plan; and,

WHEREAS, the development will have vehicular and pedestrian access from Dockery Avenue, Floral Avenue and Orange Avenue; and,

WHEREAS, the project was reviewed under the Environmental Impact Report (EIR) for the Amberwood Specific Plan (SCH 2007051003) and was found to be in substantial conformance with the approved EIR; and,

WHEREAS, notice of the Planning Commission’s May 24, 2021, public hearing for the Project was published in *The Selma Enterprise* on May 13, 2021, in compliance with the City’s Code and Government Code Section 65091; and,

WHEREAS, notice of the Planning Commission’s May 24, 2021 public hearing on the Project was also mailed to property owners within 300 feet of the Property on May 13, 2021; and,

WHEREAS, on May 24, 2021, the Planning Commission of the City of Selma conducted a duly noticed public hearing on the Application, and considered all testimony written and oral presented during the public hearing, as well as the facts detailed in the May 24, 2021, staff report, which is hereby incorporated by reference; and,

WHEREAS, the Planning Commission deliberated and hereby is able to make the required findings and recommendations for this Project.

NOW THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Selma as follows:

SECTION 1. The Planning Commission finds that all of the facts set forth in the Recitals of this Resolution are true and correct and are incorporated herein by reference.

SECTION 2. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Selma.

SECTION 3. That the Project is hereby recommended for approval subject to all statutes, regulations, and ordinances.

SECTION 4. Upon independent review and consideration of all pertinent written information contained in the Staff Report and reflecting independent judgment and analysis, the Planning Commission hereby finds and determines that the proposed project, No. 2021-0002, is exempt from further environmental review required by the California Environmental Quality Act in accordance with CEQA Guidelines Section 15182(c) due to the evaluation conducted under the Amberwood Specific Plan Environmental Impact Report (SCH 2007051003) and that no events described in CEQA Guidelines Section 15162 have occurred related to the project.

SECTION 5. Based upon substantial evidence presented to the Planning Commission during the May 24, 2021 public hearing, including public testimony and written and oral staff reports, the Planning Commission recommends to the City Council that Application No. 2021-0002 consisting of the proposed annexation and prezone of the property be approved, and forward said project to the Fresno Local Agency Formation Commission for consideration.

PASSED, APPROVED AND ADOPTED by the Planning Commission of the City of Selma at a regular meeting held on May 24, 2021, by the following vote:

AYES: COMMISSIONER:

NOES: COMMISSIONER:

ABSTAIN: COMMISSIONER:

ABSENT: COMMISSIONER:

GREG GARCIA
CHAIRMAN OF THE COMMISSION

ATTEST:

Fernando Santillan
Community Development Director

RESOLUTION NO. 2021-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SELMA, CALIFORNIA MAKING FINDINGS AND RECOMMENDING TO THE CITY COUNCIL APPROVAL OF 2021-0002 VESTING TENTATIVE SUBDIVISION MAP (TRACT 6244) WITH CONDITIONS OF APPROVAL AND NOTICE OF EXEMPTION

WHEREAS, Lennar Homes filed a Vesting Tentative Subdivision Map application to subdivide a predominantly vacant 55.1 acre site to allow development of a single-family residential subdivision (“Project”); and,

WHEREAS, the City reviewed the submitted Vesting Tentative Subdivision Map (Tract 6244) and determined that the Project complies with the requirements of the Amberwood Specific Plan, City Code, and the State Subdivision Map Act; and,

WHEREAS, the lots will range in size from 3,994 SF to 13,154 SF; and,

WHEREAS, the Project will create 270 lots and two (2) parks for a total of 5.73 DU per net acre and 4.9 DU per gross acre which will be consistent with the proposed R-M rezoning designation; and,

WHEREAS, notice of the Planning Commission’s May 24, 2021, public hearing for the Project was published in The Selma Enterprise on May 13, 2021, in compliance with the City’s Code and Government Code Section 65091,

WHEREAS, notice of the Planning Commission’s May 24, 2021 public hearing on the Project was also mailed to property owners within 300 feet of the Property on May 13, 2021; and,

WHEREAS, on May 24, 2021, the Planning Commission of the City of Selma conducted a duly noticed public hearing on the Project, and considered all testimony written and oral presented during the public hearing, as well as the facts detailed in the May 24, 2021, staff report, which is hereby incorporated by reference; and,

WHEREAS, the Project was reviewed under the Environmental Impact Report for the Amberwood Specific Plan (SCH 2007051003) and found to be in substantial conformance with the approved EIR; and,

WHEREAS, the Planning Commission conducted a public hearing, as heretofore specified, and deliberated and prepared the following findings of fact for approval listed and included in this Resolution, based on the reports, evidence and verbal presentations:

1. Finding: The proposed division of land is consistent with the objectives, policies, general plan land uses, and programs adopted with the General Plan because the

site is designated as Medium Low Density in the General Plan. The proposed tentative map at 5.73 DU/AC is in accordance with the density requirements of this General Plan designation.

2. Finding: The proposed division of land complies with requirements as to improvements and design because the site is essentially level, contains no trees, and will, once subdivided, meet the minimum design requirements for subdivisions in the neighborhood.
3. Finding: The proposed division of land complies with requirements for flood water drainage control because conditions of approval will require the subdivision to provide storm drainage infrastructure to drain into existing facilities in accordance with adopted City development standards.
4. Finding: The proposed division of the property is consistent with the General Plan land use designation because the parcels proposed supports the development of single family residential that is consistent with the Medium Low Density Residential designation.
5. Finding: That the design or improvement of the proposed subdivision is consistent with applicable general or specific plans because the proposed project substantially conforms to the adopted Amberwood Specific Plan.
6. Finding: The site is physically suitable for the development proposed because the proposed project is consistent with the design and improvement of a single-family residential project.
7. Finding: The site is physically suitable for the proposed density because the lots created by the subdivision have sufficient size, configuration, and access to satisfy the criteria applicable to the site and can physically support single-family residential uses promoted under the General Plan.
8. Finding: The design of the proposed division and improvements will not cause environmental damage or injure fish, wildlife, or their habitat because the project is located on property where people have altered the land through agricultural type uses.
9. Finding: The design of the proposed division and improvements will not cause serious public health problems because adequate measures have been applied with the conditions of approval to address potential concerns related to public health, including, but not limited to, provisions for water for domestic use and fire protection, extension of sanitary sewer facilities to ensure proper management of wastewater, installation of necessary storm drainage, construction of proper public streets and sidewalk, flood control measures, and provision for proper and orderly timing for construction of necessary improvements.

10. Finding: The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision because based on the proposed design, the type of improvements will not conflict any easements acquired by the public for access.
11. Finding: The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities because the design of the project will meet the 2017 California Green Building Code which ensures that buildings will provide for energy efficiency.
12. Finding: The effects of the proposed subdivision on the housing needs of the region were considered and that those needs are balanced against the needs for public services and the available fiscal and environmental resources because the Tentative Subdivision Map and resulting parcels are consistent with the City's Housing Element.
13. Finding: Approval of 2021-0002 Vesting Tentative Subdivision Map (Tract 6244) is exempt from further environmental review required by the California Environmental Quality Act ("CEQA") in accordance with CEQA Guidelines Section 15182(c) due to the evaluation conducted under the Amberwood Specific Plan Environmental Impact Report (SCH 2007051003) and no events described in CEQA Guidelines Section 15162 have occurred related to the project.

WHEREAS, the Planning Commission, having made its Findings for Approval, is of the opinion 2021-0002 Vesting Tentative Subdivision Map (Tract 6244) should be recommended to the City Council for approval subject to certain conditions of approval listed below:

1. The Tract Map and all phases thereof shall include a "Right to Farm" covenant statement acknowledged by separate recorded instrument to ensure that normal farming operations may continue adjacent and nearby agricultural uses and properties for each phase.
2. Each phase of the Tract Map shall be submitted to the City Engineer, and should include, but not be limited to, the current filing fees, closure calculations, current preliminary title report, legal descriptions, and drawings of required dedications.
3. The Subdivider or Successor in Interest shall submit to the City Engineer, a set of construction plans on 24" x 36" sheets with City standard title block for all required improvements (the 'Improvement Plans'). The Improvement Plans shall be prepared by a registered civil engineer, and shall include a site grading and drainage plan and an overall site utility plan showing locations and sizes of sewer, water, irrigation, and storm drain mains, laterals, manholes, meters, valves, hydrants, and other facilities, such as medians and stamped concrete, etc. Plan check and inspection fees per City of Selma shall be paid with the first

submittal of said Improvement Plans. All Improvement Plans for each phase shall be approved by the City and all other involved agencies prior to the release of any development permits, unless otherwise approved by the City.

4. The design and construction of all off-site improvements shall be in accordance with City standards and construction specifications. The design of the roads including number of lanes, median islands and landscape requirements shall conform to the Amberwood Specific Plan. The Subdivider or Successor in Interest shall furnish to the City acceptable security to guarantee the construction of the off-site street improvements in accordance with the Subdivision Map Act.
5. The Subdivider or Successor Interest shall comply with and be responsible for obtaining encroachment permits from the City of Selma for all work performed within the City's right-of-way.
6. The Subdivider or Successor in Interest shall provide a dedication for a ten (10) foot public utility easement along all frontages of all lots as approved by the City Engineer and the public utility companies. No public utility easements (electric, gas, cable, telephone, sewer, water) shall be permitted in rear lot setback areas.
7. The Subdivider or Successor in Interest shall comply with the requirements of Pacific, Gas and Electric Company (PG&E), AT&T, Comcast. The City shall not accept first submittals without proof that the Subdivider has paid the appropriate PG&E engineering fees and provided PG&E with a set of plans showing proposed electrical vaults and proposed sidewalk and curb grades adjacent to the vaults.
8. No above-ground transformer is permitted on the required sidewalk within the public right-of-way. All existing overhead and new utility facilities located on-site, or within the street rights-of-way adjacent to this subdivision shall be undergrounded. The Subdivider or Successor in Interest shall utilize screening techniques recommended pursuant to PG&E design descriptions or additional architectural features as determined by the Community Development Department as approved by the City Engineer.
9. All underground utilities installed under streets shall be backfilled, compacted, tested, and approved by the City Engineer prior to placement of any aggregate base or asphalt concrete surfacing. Easements for utilities, including water, gas, telephone, electricity, sewage, pedestrian access, fire access, storm drainage and irrigation facilities shall be provided, as required.
10. The Subdivider or Successor in Interest shall install streetlights to City standards at the locations designated by the City Engineer. Streetlight locations shall be shown on the utility plans submitted with the final map for approval indicating conveyance of the streetlights to the City of Selma. The design, type of metal poles and tamper proof pull boxes shall be reviewed and approved by the City

Engineer. All lighting fixtures shall have a sharp cut-off feature near the property line. Ambient light and glare outside of the project shall be minimized to residential levels.

11. Drainage, grading, on-site and utility improvements shall be in accordance with plans reviewed and approved by the City Engineer. The Subdivider or Successor in Interest shall be responsible for the preparation of plans. They shall construct storm drainage facilities as deemed necessary by the City Engineer to service the project site. Said facilities must be dedicated to the City of Selma.
12. Grade differentials between lots and adjacent properties shall be adequately shown on the grading plan and shall be treated in a manner in conformance with City of Selma standards (i.e., retaining walls).
13. Individual lot grading shall comply with the current edition of the California Building Code. The Subdivider or Successor in Interest shall submit an updated typical lot grading diagram for review and approval by the City Engineer.
14. Design and construction of all street cross sections and required off-site improvements shall be in accordance with City specifications and as approved by the City Engineer.
15. The frontage and access on Floral Avenue, a collector street, shall be developed to an ultimate width of a sixty-two (62) foot Floral Avenue public right-of-way on the north side and twenty-five (25) foot Floral avenue ROW on the south side. The street improvements consist of curb, gutter, sidewalk, and streetlights on the north side of Floral Avenue in accordance with the Amberwood Specific plan.
16. All other interior streets shall be constructed to the Amberwood Specific Plan and City of Selma standards, including standard curb, gutter, park landscape strips, sidewalk, handicap ramps, street lighting and full width permanent paving (36' permanent), pavement marking and signage, pursuant to review and approval by the City Engineer.
17. All driveway approaches shall be reviewed for line-of-sight distance and approved by the City Engineer.
18. Traffic and road signs shall be installed in conformance to requirements and as approved by the City Engineer and designed to the CA MUTCD.
19. The Subdivider or Successor in Interest shall enter into a Subdivision Agreement in accordance with the City of Selma Municipal Code prior to approval of each phase.
20. The Subdivider or Successor in Interest shall not install any fences, temporary or

permanent, in the public right-of-way.

21. Design and structural details for the type and style of the block walls shall be submitted to the Community Development Department and the City Engineer for review and approval by the City Council prior to the approval of Phase I. Each phase will be reviewed by the Community Development Department for compliance with the original conditions for the construction, decorative construction pilaster columns and placement of the block wall. The wall facing materials shall be of decorative block such as brick or split faced concrete block with textured block accents.
22. All mechanical equipment (air conditioners or dual pack) shall be located in the attic or on the ground on foundations.
23. After all improvements have been constructed and accepted by the City, the Subdivider or Successor in Interest shall submit to the City Engineer, one blue line copy of the approved set of construction plans revised to reflect all field revisions and marked "AS-BUILT" for review and approval.
24. Upon approval of the "AS-BUILTS" by the City, the Subdivider or the Successor in Interest shall provide to the City Engineer, one (1) reproducible and one (1) copy of the "AS-BUILTS", and one (1) copy on diskette, CD or similar digital storage media that is compatible with Auto CAD.
25. The Subdivider or the Successor in Interest shall provide the City Engineer with original Improvement Plans and Auto CAD files of the Final Map, Improvement Plans, and all drawings prepared on Auto CAD.
26. The Subdivider or the Successor in Interest shall contact the Regional Water Quality Board and comply with all requirements, pay all applicable fees required, obtain any required NPDES permit and implement Best Available Technology Economically Achievable and Best Conventional Pollutant Control Technology to reduce or eliminate storm water pollution for each phase.
27. The Subdivider or the Successor in Interest shall provide a covenant for the Landscape and Lighting Maintenance District. The Subdivider or the Successor in Interest acknowledges and agrees that such request serves as a petition pursuant to California State Proposition 218 and no further election will be required for the establishment of the initial assessment. The assessment for each lot must be obtained from the City for the tax year following the recordation of the Final Map. The estimated annual assessment is subject to limited annual adjustments. The Subdivider or Successor in Interest shall notify all potential lot buyers before they actually purchase a lot, that this tract is a part of a Landscape and Lighting Maintenance District and shall inform potential buyers of the assessment amount. Said notification shall be in a manner approved by the City. The Subdivider or the Successor in Interest shall supply all necessary assessment

diagrams and other pertinent materials for the Landscape and Lighting Maintenance District annually until the year subsequent of recording of the Final Tract Map and assignment of new assessor's parcel numbers by the county.

28. Monuments as described in Condition No. 29 shall be set as required by City standards and shall be shown on the Final Map.
29. The Subdivider or the Successor in Interest shall install all major street monumentation and section corner monumentation within the limits of the project work in accordance with City standards prior to final acceptance of the project. Monumentation at the street center line intersections shall conform to City Standards drawing No. 0-21. Any existing section corner or property corner monuments damaged by this development shall be reset to the satisfaction of the City Engineer. A licensed land surveyor or civil engineer licensed to perform land surveying shall certify the placement of all required monumentation prior to final acceptance. Within five (5) days after the final setting of all monuments, the engineer or surveyor shall give written notice to the City Engineer that the final monuments have been set. Upon payment to the engineer or surveyor for setting the final monuments, the applicant shall present to the City Engineer evidence of the payment and receipt thereof by the engineer or surveyor.
30. The Subdivider or the Successor in Interest is to work with the City Engineer to identify the scope of the offsite improvements that will be required with this development, the mitigations that were outlined in the Traffic impact study prepared by RD Engineering dated May 2020 will be the basis of the requirements.
31. The Subdivider or Successor in Interest shall extend the water main east on Floral from Dockery to Street L and north along Street L from Floral to the end of the property.
32. All Development and construction activities shall comply with the San Joaquin Valley Air Pollution Control District's (SJVAPCD) applicable rules and regulations.
33. The Subdivider or the Successor in Interest shall implement SJVAPCD's applicable mitigation requirements as specified in the Guide for Assessing and Mitigating Air Quality Impacts.
34. The Subdivider or the Successor in Interest shall provide fencing for buffers along any edges of Amberwood that border agricultural uses per Figure 4-10, Walls and Fences in the Amberwood Specific Plan.
35. The Developer shall provide outdoor electrical outlets to facilitate use of electrical lawn and garden maintenance equipment, and a natural gas outlet option for outdoor barbecues.

36. All Development shall be built in compliance with current adopted City of Selma Fire Codes and Amendments.
37. All Development shall be built in compliance with current adopted City of Selma Building Codes and Amendments.
38. All Development shall be subject to development impact fees that are applicable.
39. The developer shall be responsible for payment of all applicable City impact fees.
40. The developer shall be responsible for payment of any outstanding invoices prior to issuance of building permits.
41. The developer shall be responsible for coordination and payment of all school impact fees directly to the school districts. The developer shall submit proof of payment prior to issuance of building permits.
42. All landscaping, fences, and walls shall be maintained, and the premises shall be kept free of weeds, trash, and other debris.
43. Except as amended herein, or by reference, all development shall be in accordance with the Amberwood Specific Plan.
44. The Property Owner, Subdivider or the Successor in Interest shall, at their sole expense, defend, with counsel selected by the City, indemnify and hold harmless the City of Selma, its agents, officers, directors and employees, from and against all claims, actions, damages, losses, or expenses of every type and description, including but not limited to payment of attorneys' fees and costs, by reason of, or arising out of, this development approval. The obligation to defend, indemnify and hold harmless shall include but is not limited to any action to arbitrate, attack, review, set aside, void or annul this development approval on any grounds whatsoever. The City of Selma shall promptly notify the developer of any such claim, action, or proceeding.
45. The Tentative Subdivision Map approval shall be valid for a period of two (2) years. If a final map is not filed and approved prior to the end of the two-year life of the Tentative Subdivision Map approval, the approval shall expire and become null and void. A request to extend the Tentative Subdivision Map approval period may be filed with the City Clerk. The request shall be filed at least 30 days prior to the expiration date and shall be processed in accordance with the procedures established by the Selma Municipal Code.

NOW, THEREFORE, BE IT RESOLVED, that the City of Selma Planning Commission hereby takes the following actions:

1. The above findings are supported by the record and presentation to the Planning Commission.
2. The above facts are true and correct.
3. The Planning Commission recommends approval of Application No. 2021-0002 Vesting Tentative Subdivision Map (Tract 6244) subject to Findings for Approval, Conditions of Approval, and Notice of Exemption listed above and made a part of this Resolution to the Selma City Council.

The foregoing Resolution No. 2021-_____ is hereby approved this 24th day of May 2021, by the following vote, to wit:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSTENTION: COMMISSIONERS:

ABSENT: COMMISSIONERS:

GREG GARCIA
CHAIRMAN OF THE COMMISSION

ATTEST:

Fernando Santillan
Community Development Director

Attachment 8 - Notice of Exemption

Notice of Exemption**Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: _____

From: (Public Agency): _____

(Address)

Project Title: _____

Project Applicant: _____

Project Location - Specific:

Project Location - City: _____ Project Location - County: _____

Description of Nature, Purpose and Beneficiaries of Project:

Name of Public Agency Approving Project: _____

Name of Person or Agency Carrying Out Project: _____

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☐ Categorical Exemption. State type and section number: _____
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

Lead Agency _____

Contact Person: _____ Area Code/Telephone/Extension: _____

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Signature: _____ Date: _____ Title: _____

Signed by Lead Agency Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

THE SENTINEL
P O BOX 9
HANFORD CA 93232
(559)582-0471
Fax (559)582-2431

ORDER CONFIRMATION

Salesperson: JUAN MORALES

Printed at 05/07/21 13:15 by jmora-bk

Acct #: 6843

Ad #: 30004

Status: New

CITY OF SELMA - LEGALS
FINANCE DEPT.
1710 TUCKER ST
SELMA CA 93662

Start: 05/12/2021 Stop: 05/12/2021
Times Ord: 1 Times Run: ***
3STD 2.00 X 5.41 Words: 416
Total 3STD 10.82
Class: H0986 LEGALS
Rate: LD Cost: 174.32
Affidavits: 1

Contact:

Phone: (559)891-2201

Fax#:

Email: inezn@cityofselma.com

Agency:

Ad Descrpt: AD# 30004 CITY OF SELMA P
Given by: *

P.O. #:

Created: jmora 05/07/21 13:11

Last Changed: jmora 05/07/21 13:15

PUB ZONE EDT TP RUN DATES
ENTR A 95 S 05/12
HSO A 95 S 05/12

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Name (print or type)_____
Name (signature)

(CONTINUED ON NEXT PAGE)

THE SENTINEL
P O BOX 9
HANFORD CA 93232
(559)582-0471
Fax (559)582-2431

ORDER CONFIRMATION (CONTINUED)

Salesperson: JUAN MORALES

Printed at 05/07/21 13:15 by jmora-bk

Acct #: 6843

Ad #: 30004

Status: New

AD# 30004

**CITY OF SELMA
PLANNING COMMISSION
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Selma will hold a public hearing on Monday, May 24, 2021 at 6:00 p.m., or as soon thereafter as the matter may be heard in the Council Chambers of the City Hall, 1710 Tucker Street, Selma, California, to consider the following matters:

1. ANNEXATION, PRE-ZONE, TENTATIVE SUBDIVISION MAP NO. 2021-0002 - Consideration of an Annexation, Pre-Zone, and Tentative Subdivision Map application filed by Lennar Homes for a 55.1 acre property located at the northeast corner of East Floral Avenue and Dockery Avenue (APNs: 358-100-(08-11) & 358-100-37) to allow for the creation of 270 single family lots and a park. The proposed zoning will be ResidentialMedium (R-M SP-AMB). The project is consistent with the Amberwood Specific Plan and the City of Selma General Plan. The Annexation application encompasses 94.53 acres.

2. AMENDMENT TO TITLE VI, SECTION 20 (ALCOHOLIC BEVERAGES) OF THE CITY OF SELMA MUNICIPAL CODE - Consideration of a resolution of the Planning Commission recommending that the Selma City Council approve an amendment to Section 20, 6-20-4: PIONEER VILLAGE; ALCOHOLIC BEVERAGES allowing for alcoholic beverage consumption on the premises for public and private events, gatherings, and functions.

A copy of all relevant materials regarding the proposed actions is on file in the Development Services Department at Selma City Hall, 1710 Tucker Street, Selma, California. Specific questions can be directed to the City's Planning Division at (559) 891-2208. Si necesita información en Español, comuníquese con Lupe Macias al teléfono (559) 891-2208 o por correo electrónico lmacias@cityofselma.com.

Due to the COVID-19 pandemic public health orders, which limit in-person public meetings, the public hearing will be held either in the Selma City Council Chambers, or in another manner specified in the meeting agenda. Please check the May 24, 2021 Planning Commission agenda once it is posted on the City's website for information as to how to participate in the Planning Commission meeting. Written comments may be sent via U.S. Mail or by hand delivery to the City of Selma, at City Hall, at the address listed above.

If you challenge the nature of the proposed items in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Selma at, or prior to, the public hearing.

Reyna Rivera, City Clerk
Publish Date: May 12, 2021