



**REGULAR CITY COUNCIL MEETING
RICHFIELD MUNICIPAL CENTER, COUNCIL CHAMBERS
NOVEMBER 26, 2019
7:00 PM**

INTRODUCTORY PROCEEDINGS

Call to order

Pledge of Allegiance

Minutes Approval

Approval of the Minutes of: (1) City Council Work Session of November 12, 2019; (2) Regular City Council meeting of November 12, 2019 (3) HRA/City Council/Planning Commission Work Session of November 18, 2019

PRESENTATIONS

1. Arts Commission - Joyce Marrie and Mia Simpson
2. Community Services Commission - Art Felgate
3. Friendship Commission - Marty Kirsch

AGENDA APPROVAL

4. Approval of the Agenda
5. **Consent Calendar contains several separate items, which are acted upon by the City Council in one motion. Once the Consent Calendar has been approved, the individual items and recommended actions have also been approved. No further Council action on these items is necessary. However, any Council Member may request that an item be removed from the Consent Calendar and placed on the regular agenda for Council discussion and action. All items listed on the Consent Calendar are recommended for approval.**
 - A. Consider approval of an update to the City's Capital Asset Policy.
Staff Report No. 145
6. Consideration of items, if any, removed from Consent Calendar

PUBLIC HEARINGS

7. Conduct a truth in taxation (TNT) public hearing regarding the 2020 property tax levy, the 2019 Revised/2020 Proposed budget and proposed 2020 water, wastewater, storm sewer utility, and street light rates.
Staff Report No. 146
8. Consider a resolution approving a subdivision and plat of property at 6812 Emerson Lane, allowing the construction of 5 new homes.
Staff Report No. 147

RESOLUTIONS

9. Consider a resolution granting site plan approval and variances for a proposal to construct a 127-unit apartment building on a portion of the Lunds property at 6200 & 6228 Penn Avenue South.

Staff Report No. 148

10. Consider a resolution:
1. abolishing the Lyndale/Hub/Nicollet (LHN) Maintenance District established in December 1980; and
 2. rescinding the LHN Maintenance District services ordered for the period January 1, 2020 to December 31, 2020.

Staff Report No. 149

11. Consider approval of a resolution approving the contract with the Police Lieutenants Teamsters 320 for the contract period January 1, 2020 through December 31, 2021 and authorize the City Manager to execute the agreement.

Staff Report No. 150

12. Consider the adoption of a resolution approving the contract with the Police Sergeants Teamsters 320 for the contract period January 1, 2020 through December 31, 2021 and authorize the City Manager to execute the agreement.

Staff Report No. 151

CITY MANAGER'S REPORT

13. City Manager's Report

CLAIMS AND PAYROLLS

14. Claims and Payroll

Open forum

Each speaker is to keep their comment period to three minutes to allow sufficient time for others. Comments are to be an opportunity to address the Council on items not on the agenda. Individuals who wish to address the Council must have registered prior to the meeting.

COUNCIL DISCUSSION

15. Hats Off to Hometown Hits

16. Adjournment

Auxiliary aids for individuals with disabilities are available upon request. Requests must be made at least 96 hours in advance to the City Clerk at 612-861-9738.



CITY COUNCIL MEETING MINUTES

Richfield, Minnesota

City Council Work Session

November 12, 2019

CALL TO ORDER

The meeting was called to order by Mayor Regan Gonzalez at 5:45 p.m. in the Bartholomew Room.

Council Members Present: Maria Regan Gonzalez, Mayor; Mary Supple; Simon Trautmann; and Ben Whalen.

Council Members Absent: Edwina Garcia

Staff Present: Katie Rodriguez, City Manager; Chris Link, Operations Superintendent; Pam Dmytrenko, Assistant City Manager; Police Chief Jay Henthorne; Neil Ruhland, Communication and Engagement Manager; Deputy Police Chief Mike Flaherty; Jamie Maiser, Administrative Aide; Blanca Martinez Gavina, Executive Analyst.

Non-Staff Present: Monique Drier-Sutton, Hennepin County Professional Services Supervisor; Donald Ryan, Hennepin County Project Manager; Diana Chaman Salas, former Senior Planning Analyst and Community Liaison.

Item #1

PRESENTATION OF MAINTENANCE DISTRICT REVIEW

Operations Superintendent, Chris Link, reviewed the historical context of the maintenance district and whether it should be continued and provided an alternative to dissolve.

Council Member Supple asked for clarification on the process of dissolving the maintenance district and the associated cost burden. Operations Superintendent Link stated a portion of the costs would fall on to the residents.

Council Member Trautmann asked about the standard and process for garbage collection within the HUB and the surrounding area. Chris Link agreed the garbage is unsightly but they are looking for alternatives. City Manager Rodriguez stated that there can be a review regarding maintenance of garbage disposal. Council Member Whalen reiterated that there have been complaints about garbage around that area and asked for review of the garbage collection and subsequent preservation. Chris Link spoke to the process for maintenance and garbage disposal.

Mayor Regan Gonzalez asked if the Council Members are in support of dissolving the maintenance district. Council Member Trautmann asked about the process and asked for the clarification on the slide displays. Operations Superintendent Link reiterated the process.

Council Member Supple stated that the maintenance district seemed to be disproportionate and will be supportive of dissolving the district.

City Manager Rodriguez asked for consensus about dissolving the maintenance district and all council members agreed unanimously to dissolve the maintenance district.

Item #2	PRESENTATION OF PMAC DISCUSSION
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City Manager introduced former Community Liaison, Diana Chaman Salas.

Diana Chaman Salas gave a presentation reviewing the PMAC goals and mission, results, capacity development, and JCPP overview.

Council Member Supple thanked Ms. Chaman Salas and restated that direct services are critical for the community to feel safe. Ms. Chaman Salas gave an example of the direct services she has provided.

Council Member Whalen reiterated the need for direct services and asked for clarification of the hiring process. Monique Drier Sutton stated that the process is occurring right now with the hopes of hiring in January.

Council Member Whalen asked for clarification about ways that PMAC members can communicate community concerns about the police department. Ms. Chaman Salas explained community engagement and reviewed the process of her engagement with PMAC. Mr. Ryan stated the need for JCPP to be embraced and tailored to each city.

Council Member Whalen mentioned the need and theme of trust, in addition for spaces where conversations around issues such as the use of force and racial profiling can happen. Monique Drier-Sutton spoke to the resources available for domestic abuse related cases and how a case would travel through the system. Chief Henthorne explained the strategic plan for addressing direct services. Mr. Ryan also commented that they would like to utilize PMAC to address and solve issues in a positive and constructive way.

Mayor Regan Gonzalez thanked Ms. Chaman Salas and asked for the clarification on the CSC & Domestic Violence and the percentages. Ms. Chaman Salas clarified the percentages of direct services.

Mayor Regan Gonzalez asked for any recommendations from Ms. Chaman Salas, to which she responded with the following:

1. Census work engagement with minorities
2. Further communication for direct services
3. Bringing a strategic plan for key issues of the city

Council Member Supple asked about vitals and on boarding. Chief Henthorne spoke to the Vitals App but they have not rolled it out to the JCPP quite yet.

Council Member Trautmann thanked Ms. Chaman Salas and Public Safety and reiterated the need for safe spaces where people can have trust in the process of law enforcement.

Council Member Whalen thanked Ms. Chaman Salas and stated he hopes the trust can be built and stated that he appreciates all the hours and years of the past PMAC members.

Ms. Chaman Salas stated the mission of the PMAC has been redefined and would like to leverage the program to continue developing a relationship with the community.

ADJOURNMENT

The work session was adjourned by unanimous consent at 6:55 p.m.

Date Approved: November 26, 2019

Maria Regan Gonzalez
Mayor

Kelly Wynn
Senior Administrative Assistant

Katie Rodriguez
City Manager



CITY COUNCIL MEETING MINUTES

Richfield, Minnesota

Regular Meeting

November 12, 2019

CALL TO ORDER

The meeting was called to order by Mayor Maria Regan Gonzalez at 7:00 p.m. in the Council Chambers.

Council Members Present: Maria Regan Gonzalez, Mayor; Edwina Garcia; Mary Supple; Simon Trautmann; and Ben Whalen.

Council Members Absent: Edwina Garcia

Staff Present: Katie Rodriguez, City Manager; Mary Tietjen, City Attorney; Neil Ruhland, Communications Manager; Blanca Martinez Gavina, Executive Analyst; Kristin Asher, Public Works Director; John Stark, Community Development Director; Pam Dmytrenko, Assistant City Manager; Jay Henthorne, Police Chief

PLEDGE OF ALLEGIANCE

Mayor Regan Gonzalez led the Pledge of Allegiance.

APPROVAL OF MINUTES

Minutes of the: (1) City Council Work Session for October 22, 2019; and (2) City Council Meeting Minutes for October 22, 2019.

M/Whalen, S/Supple to approve the minutes

Motion carried 4-0.

Item #1

APPROVAL OF THE AGENDA

M/Whalen, S/Trautmann to approve the agenda

Motion carried 4-0.

Item #2	CONSENT CALENDAR
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City Manager Rodriguez presented the consent calendar

- A. Consider a resolution granting a conditional use permit to allow small wireless facilities in the right-of-way near 6920 Penn Avenue South (Staff Report No. 133).

RESOLUTION NO. 11672

RESOLUTION APPROVING A CONDITIONAL USE PERMIT TO ALLOW A SMALL WIRELESS FACILITY IN THE RIGHT-OF-WAY ADJACENT TO 6920 PENN AVENUE SOUTH

- B. Consider the adoption of a resolution to accept a grant of \$3,114 from the Office of Justice Programs for bullet proof vests (Staff Report No. 134).

RESOLUTION NO. 11673

RESOLUTION APPROVING THE GRANT WITH THE U.S. DEPARTMENT OF JUSTICE, OFFICE OF JUSTICE PROGRAMS AND RICHFIELD POLICE FOR BULLETPROOF VESTS

- C. Consider approval of setting a public hearing to be held on December 10, 2019, to consider issuance of a new On Sale Intoxicating and Sunday Liquor licenses for Los Sanchez Taqueria II, LLC d/b/a Los Sanchez Taqueria, located at 2 West 66th Street (Staff Report No. 135).
- D. Consider approval of the Animal Shelter Agreement with the City of Bloomington (Staff Report No. 136).
- E. Consider approval of setting a public hearing to be held on December 10, 2019, for the consideration of the renewal of On-Sale Intoxicating and Sunday Liquor licenses for 2020 for El Tejaban Mexican Grill, LLC d/b/a El Tejaban Mexican Grill, Thompson's Fireside Pizza, Inc. d/b/a Fireside Foundry, Frenchman's Pub, Inc. d/b/a Frenchman's, VPC Richfield Pizza, LLC d/b/a Giordano's of Richfield, Wiltshire Restaurants, LLC d/b/a Houlihan's Restaurant & Bar, Paisan, Inc. d/b/a Khan's Mongolian Barbeque, Lyn 65, LLC d/b/a Lyn 65 Kitchen & Bar, Lyndale Smokehouse, LLC d/b/a Lyndale Smokehouse, Pizza Luce VII, Inc. d/b/a Pizza Luce, Fred Babcock VFW Post 5555 and American Legion 435 d/b/a Minneapolis-Richfield American Legion Post 435 (Staff Report 137).
- F. Consider the approval of setting a public hearing to be held on December 10, 2019, for the consideration of the renewal of Pawnbroker and Secondhand Goods Dealer licenses for 2020 for Metro Pawn and Gun, Inc (Staff Report 138).
- G. Consider approval of setting a public hearing to be held on December 10, 2019, for the consideration of the renewal of On-Sale Wine and On-Sale 3.2 Percent Malt Liquor licenses for 2020 for Chipotle Mexican Grill of Colorado, LLC d/b/a Chipotle Mexican Grill, Davanni's, Inc. d/b/a Davanni's Pizza & Hot Hoagies, Joy's Pattaya Thai Restaurant, LLC d/b/a Joy's Pattaya Thai Restaurant, LRFC, LLC d/b/a Local Roots Food & Coffee, Minnesota Junior Hockey Group, LLC d/b/a Minnesota Magicians (located in the Richfield Ice Arena), My Burger Operations, LLC d/b/a My Burger, Patrick's French Bakery, Inc. d/b/a Patrick's Bakery & Café, Henry Thou d/b/a Red Pepper Chinese Restaurant (Staff Report 139).

- H. Consider approval of a request for a new Therapeutic Massage Enterprise license for Pearl Services, LLC d/b/a I Love Massages, located at 2934 West 66th Street, Suite 14 (Staff Report 140).
- I. Consider approval of setting a public hearing to be held on December 10, 2019, to consider issuance of a new On-Sale Wine and 3.2 Malt Liquor licenses for O'Reilly Custom 6, LLC d/b/a Sandy's Tavern, located at 6612 Penn Avenue South (Staff Report 141).
- J. Consider the adoption of a resolution approving the undertaking of the Phase 1 Environmental Site Assessment at 7636 Cedar Avenue South as part of the forthcoming 77th Street Underpass project (Staff Report 142).

RESOLUTION NO. 11674
RESOLUTION SUPPORTING THE 7636 CEDAR AVE SOUTH
PHASE 1 ENVIRONMENTAL SITE ASSESSMENT

M/Supple, S/Whalen to approve the consent calendar

Council Member Trautmann spoke of the community concerns around the small cell towers.

Motion carried 4-0.

Item #3	CONSIDERATION OF ITEMS, IF ANY, REMOVED FROM THE CONSENT CALENDAR
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None.

ITEM #4	PUBLIC HEARING AND CONSIDER A RESOLUTION APPROVING A FINAL PLAT OF THE NOVO ADDITION, IN ORDER TO ALLOW CONSTRUCTION OF THE PREVIOUSLY APPROVED NOVO APARTMENTS AT 66TH STREET AND QUEEN AVENUE (STAFF REPORT NO. 143).
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Council Member Trautmann introduced Staff Report 143 and opened the public hearing.

RESOLUTION NO. 11675
RESOLUTION GRANTING APPROVAL OF A FINAL PLAT FOR NOVO addition

Ruane Onesirosan, 2421 West 65th Street, listed many concerns she has with the new development including how she believes it will have a negative effect on the community and its residents. Ruane also supplied the Council with copies of her written statement.

M/Trautmann, S/Supple to close the public hearing.

Motion carried 4-0

Director of Community Development, John Stark, clarified the use of the plat and combining multiple pieces of property to one. He also spoke to Trident signing on with Broadway as an investor.

Council Member Trautmann asked about the upkeep of the currently vacant properties until construction begins and lack of maintenance that was brought up by a concerned citizen. Director Stark stated they would look into the matter as soon as possible.

Mayor Regan Gonzalez reiterated the need to review the document, given to council by Ruane Onesirosan, to identify areas that they can be more proactive.

M/Trautmann, S/Whalen to approve the resolution granting approval of a final plat for the NOVO addition.

Item #5	CONSIDER THE APPROVAL OF (1) THE UPDATED FIVE-YEAR STREET RECONSTRUCTION PLAN (2020-2024) AS DETAILED AT THE OCTOBER 22, 2019 CITY COUNCIL WORK SESSION (2) A RESOLUTION FOR REIMBURSEMENT OF CERTAIN EXPENDITURES FROM THE PROCEEDS OF STREET RECONSTRUCTION BONDS TO BE ISSUED BY THE CITY OF RICHFIELD FOR THE LYNDALE AVENUE STREET RECONSTRUCTION PROJECT (STAFF REPORT NO. 144).
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Council Member Supple read Staff Report 144.

RESOLUTION NO. 11676
DECLARING THE OFFICIAL INTENT OF THE CITY OF RICHFIELD TO REIMBURSE
CERTAIN EXPENDITURES FROM THE PROCEEDS OF BONDS TO BE ISSUED BY THE
CITY WITH RESPECT TO THE LYNDALE AVENUE STREET RECONSTRUCTION
PROJECT

Council Member Supple asked if staff had any other comments. Director Asher stated that the Lyndale paving did get completed and should be open before the weekend.

Council Member Whalen asked for clarification on the \$5.53 million the City bonded and the extra was utility bonds. Director Asher confirmed.

M/Supple, S/Whalen to approve (1) the updated reconstruction plan of 2020-2024 as detailed at the October 22, 2019 City Council Work Session (2) a resolution for the reimbursement of certain expenditures from the proceeds of bonds to be issued by the City with respect to the Lyndale Ave Street reconstruction project.

Council Member Trautmann explained that the resolution is not a commitment as it is only a plan. Director Asher further clarified that it is only a plan.

Council Member Whalen further directed residents to listen to the work session surrounding the discussions that occurred and the decisions made. Council Member Supple attested to the lengthy conversations surrounding this item and keeping the tax payers in mind.

Motion carried 4-0.

Item #6	CITY MANAGER'S REPORT
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City Manager Rodriguez had nothing to report.

Item #7	CLAIMS AND PAYROLLS
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M/Supple, S/Trautmann that the following claims and payrolls be approved:

U.S. Bank	11/12/19
A/P Checks: 282053 - 282513	\$ 3,862,752.13
Payroll: 149812 - 15016 43069 - 43070	<u>650,030.58</u>
TOTAL	\$ 4,512,782.71

Motion carried 4-0.

OPEN FORUM

Scott Dahlquist, 6913 11th Ave S, discussed his past experiences as a Minneapolis Police Officer and the choices officers have to make every day.

Item #8	COUNCIL DISCUSSION <ul style="list-style-type: none"> Hats Off to Hometown Hits
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Council Member Trautmann encouraged residents to get out and enjoy the parks and take part in the outdoor survival skills happening Sunday, November 24 at 3:00pm.

Council Member Supple recognized the Richfield Arts Commission and their participation in the Trunk or Treat event. Believed they represented the City very well and the event had a wonderful turnout.

Council Member Whalen wanted to inspire people to volunteer whenever possible with after school programs. He also wanted to commend everyone who ran for the school board and congratulate all of those who won.

Mayor Regan Gonzalez sent well wishes to Council Member Garcia who fell ill and was unable to attend the meeting. She also wanted to honor and thank all of our Veterans.

Item #9	ADJOURNMENT
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The meeting was adjourned by unanimous consent at 7:41 p.m.

Date Approved: November 26, 2019

Maria Regan Gonzalez
Mayor

Kelly Wynn
Senior Administrative Assistant

Katie Rodriguez
City Manager



HOUSING AND REDEVELOPMENT AUTHORITY MEETING MINUTES

Richfield, Minnesota

Concurrent Housing and Redevelopment Authority, City Council and Planning Commission Work Session

November 18, 2019

CALL TO ORDER

The work session was called to order by Chair Supple at 5:45 p.m. in the Bartholomew Room.

*HRA Members
Present:*

Mary Supple, Chair; Erin Vrieze Daniels; Pat Elliott; Maria Regan Gonzalez; and Sue Sandahl.

*Council Members
Present:*

Maria Regan Gonzalez, Mayor; Edwina Garcia; Mary Supple; Simon Trautmann; and Ben Whalen.

*Planning Commission
Members Present:*

Allysen Hoberg, Chair; James Rudolph; Kathryn Quam; Sean Hayford Oleary; Peter Lavin; Bryan Pynn and Susan Rosenberg.

Staff Present:

Katie Rodriguez, City Manager; John Stark, Director of Community Development/HRA Executive Director; Julie Urban, Housing Manager; and LaTonia DuBois, Administrative Assistant.

Others Present:

Representatives from the Locus Architects, NHH Properties, Boisclair Corporation development team and Representatives from Broadway Investors

Item #1

CONSIDERATION OF TWO POTENTIAL DEVELOPMENT PROPOSALS FOR 6501 PENN AVENUE SOUTH.

Julie Urban, Housing Manager, gave background on this site, a brief recap of the work session in September and outlined the direction needed from policy makers and some key talking points. Housing Manager Urban also mentioned an evaluation form for policy makers to complete to help with guidance.

Housing Manager Urban introduced development team Locus, NHH and Boisclair. The Locus, NHH and Boisclair, the development team presented their vision focused on people, place and possibility. They expressed their desire to focus on affordability and equity using a 3 phase approach to the development, focused on future development and the need to be inclusive. Phase A; increases commercial potential, dwelling unit count up to six stories. Phase B; creates an L shape plan to include townhomes, about 10 units, with a large green space in the center. Phase C; expands to the South offering more commercial on ground floor and bringing more street activity to Penn Avenue.

The Locus, NHH and Boisclair development team presented the intent to offer a variety of subsidy depending on financing, they intend to submit application to the Minnesota Housing requesting either a 9 or 4 percent tax credit, proposing income averaging of 30 – 80 % AMI also proposing S811 units, project based rental assistance administered from Minnesota Housing, with referrals coming from the Department of Human Services. They explained the accessibility of the proposed development, including units for hearing and vision impaired and full accessibility.

Chair Supple read questions submitted by Disability Advocates, to which the development team responded they would be all inclusive and accessibility would be available to the outside sidewalk without using the parking lot.

The development team offered more ideas pertaining to commercial space and open/green space to feed the residents and the neighborhood.

Planning Commissioner Hayford Oleary inquired about Phase B; and how much the three properties are worth versus how much would be required to develop the 10 townhomes and about moving on with Phase A with the assumption that Phase B would work and why they chose townhomes opposed to apartments.

The development team agreed that Commissioner Hayford Oleary's assumption was correct and the land cost would be high, but that they plan to work with different programs through Met Council and the state to make the figures work. Mentioned that site plans change throughout the development process and this is step one.

Council Member Whalen inquired about the competition to receive funding and how the project and affordability would change without the funding.

The development team explained that they are affordable housing developers and they would keep working to get the funding and they have the experience to score high.

Planning Commissioner Lavin was discouraged by language being used regarding the time line and uncertainty about the townhomes and concerns for partial development.

The development team explained the time line is part of the affordability process. Spoke of a HUD pilot program that allows faster underwriting time.

Chair Supple called on the next development team, Broadway Investors.

Broadway Investors presented three different options. First Option; A being a Mixed Use 5 story building located on the current Bumper to Bumper site. Second Option; B would be a Mixed Use building that scrolls over to the East and covers the three residential parcels to the East. Option; C incorporating the first two options as well as the property to the South with a Mixed Use Commercial building lower level units and 4000 square feet of restaurant, co-working office space and a tap house. Levels 2-5 will consist of approximately 160 apartment units with affordability being 20% of units at 50% AMI, explained parking options, green space. Plans to use relationship built with Fraser for accessibility, current plan offers 3-4 ground level accessible units. Broadway Investors explained overall design features and vision with an innovative and active space providing walkability, accessibility and rooftop decks.

Planning Commissioner Lavin inquired about excess parking due to popularity of a tap room.

Broadway Investors explained the current plan falls in line with parking requirements.

HRA Commissioner Vrieze Daniels inquired about mix of unit size and the green wall.

Broadway Investors explained the units would be a mix of 1 bedroom, 2 bedrooms, 1.5 bedroom and studio apartments and they are looking into plants that can withstand cold Minnesota winters for the green wall.

Planning Commissioner Lavin inquired about acquiring the lots to the East.

Broadway Investors spoke of already having a contract with one of the single family home and are still under negotiations with others.

Chair Supple asked Broadway Investors to define what they mean by fully accessible.

Zero step into units as well as bathrooms, roll under cooktops, etc. and roll in showers. People would be able to get into the building without accessing the parking lot.

Planning Commissioner Hayford Oleary asked for clarification on eastern parking and green wall and expressed dislike about blank wall on surface lot facing Oliver.

Director Stark went over staff thoughts and offered explanation.

ADJOURNMENT

The work session was adjourned by unanimous consent at 6:55 p.m.

Date Approved: December 16, 2019

Mary B. Supple
HRA Chair

LaTonia DuBois
Administrative Assistant

John Stark
Executive Director



STAFF REPORT NO. 145
CITY COUNCIL MEETING
11/26/2019

REPORT PREPARED BY: Chris Regis, Finance Director

DEPARTMENT DIRECTOR REVIEW: Chris Regis, Finance Director
11/14/2019

OTHER DEPARTMENT REVIEW: N/A.

CITY MANAGER REVIEW: Katie Rodriguez, City Manager
11/19/2019

ITEM FOR COUNCIL CONSIDERATION:

Consider approval of an update to the City's Capital Asset Policy.

EXECUTIVE SUMMARY:

On May 22, 2017 the City Council approved the City's Capital Asset Policy.

Development of a capital asset policy was recommended to staff by the City auditors, BerganKDV, to formalize the accounting and reporting of capital assets.

The existing policy sets forth guidelines for the physical and reporting control of the City's capital assets, including accountability over those assets.

The update to the policy establishes guidelines for capital accounting of a city water meter system and the lining of water, sewer, and storm drainage distribution and collection systems.

RECOMMENDED ACTION:

By Motion: Approve an updated Capital Asset Policy.

BASIS OF RECOMMENDATION:

A. **HISTORICAL CONTEXT**

N/A.

B. **POLICIES (resolutions, ordinances, regulations, statutes, etc):**

It is the practice of the City of Richfield to follow established financial policies governing the City's practices related to fiscal management.

C. **CRITICAL TIMING ISSUES:**

N/A.

D. **FINANCIAL IMPACT:**

N/A.

E. **LEGAL CONSIDERATION:**

N/A.

ALTERNATIVE RECOMMENDATION(S):

N/A.

PRINCIPAL PARTIES EXPECTED AT MEETING:

N/A.

ATTACHMENTS:

Description	Type
□ Capital Asset Policy	Exhibit

CAPITAL ASSET POLICY

City of Richfield

Financial Policy

Date: November 26, 2019

Subject: Capital Asset Policy

Introduction

The City maintains a large investment in its capital assets. It is the responsibility of the City to maintain, preserve and replace these assets when needed as they play an important role in providing basic services to our residents.

I. SCOPE

This fiscal policy provides the framework that will allow overall management of the City's capital assets.

The Finance Department is responsible for the establishment and maintenance of a fixed asset accounting system that allows for the proper presentation of fixed assets in the financial statements and the overall safeguarding of fixed assets.

All City employees are responsible for protecting City property entrusted to them and to help protect all City assets in general. Department Directors, Division Managers, and Supervisors are ultimately responsible for and held accountable for, assuming proprietary control of all equipment and other fixed assets in their custody or assigned to their department or division.

II. PURPOSE

The purpose of this policy is to set forth the guidelines for the physical and reporting control of the City's assets, including accountability over the assets.

III. CAPITAL ASSETS DEFINITION

Capital assets include land, land improvements, buildings, building improvements, construction in progress, machinery and equipment, vehicles, infrastructure, and intangible assets (software and easements) acquired by the City for use in providing services to its citizens. Capital assets are reported and depreciated in the applicable governmental or business-type activities columns in the governmental-wide financial statements.

Infrastructure assets are long-lived capital assets that normally can be preserved for a significantly greater number of years than most capital assets and are normally stationary in nature. Examples include roads, bridges, tunnels, drainage systems, and water and sewer systems.

Capital assets are defined by the City as assets with an initial, individual cost of more than \$5,000 (amount not rounded) and an estimated useful life in excess of one year. Such assets are recorded at historical cost or estimated historical cost if purchased or constructed. Donated capital assets are recorded at estimated fair market value at the date of donation.

An exception to this definition will be the water meter system that the City utilizes. Typically the cost of an entire system meets the capital asset definition; however, individual meters do not meet the \$5,000 threshold of the definition. Accordingly, the City prefers to capitalize the entire new meter system to minimize the cost of the system on operations.

The costs of normal maintenance and repairs that do not add to the value of the asset or materially extend assets lives are not capitalized.

Major outlays for capital assets and improvements are capitalized as projects when constructed. Interest incurred during the construction phase of capital assets of business-type activities is included as part of the capitalized value of the assets constructed.

Property, plant and equipment, and infrastructure assets are depreciated using the straight-line method. Capital assets are depreciated over the following estimated useful lives:

<u>Assets</u>	
Buildings and structures	20-50 years
Machinery and equipment	3-15 years
Furniture and fixtures	10 years
Other improvements	10-50 years
Storm sewers	25-30 years
Streets	25 years
Street lights	25 years
Distribution and collection systems	30-50 years

IV. INVENTORY RECORD OF ASSETS

The City's fixed asset system will serve as the inventory record for capital assets. Each asset in the fixed asset system will include: description, year of acquisition, cost or estimated cost, estimated useful life, current net book value and accumulated depreciation. The inventory record will also identify the division that uses the asset.

Land is capitalized (but not depreciated) and tracking is maintained by the City's fixed asset system.

V. DEPRECIATION DEFINITION

Depreciation is the process of allocating the cost of tangible property over a period of time rather than deducting the cost as an expense in the year of acquisition.

It is the City's policy to use the straight-line depreciation method. The basis of the asset is written off evenly over the useful life of the asset. The same amount of depreciation is taken each year. In general, the amount of annual depreciation is determined by dividing an asset's depreciable cost by its estimated life. The total amount depreciated can never exceed the asset's historic cost.

To avoid the complications of depreciating each asset from the specific date on which it is placed in service, the City will utilize a Mid-Month Convention. Under this convention, property placed in service at any time during a given month is treated as if it had been placed in service on the 16th day of the month. For example, if the asset is purchased in January, the calculation of depreciation would start on January 16th. If the property is disposed of before the end of the estimated useful life, depreciation would only be taken for the first 15 days of the month.

To calculate depreciation on a capital asset, the following factors must be known:

- Date the asset was placed in service
- Cost or acquisition value
- Estimated useful life, and
- Depreciation method (straight-line)

VI. Determining Assets Cost

Capital assets are recorded at historical cost and should include the cost of freight, site preparation, architect and engineering fees, etc. If something other than cash is used to pay for the asset, then fair-market value of the non-cash payment or consideration determines the asset's cost or acquisition value. When the value of consideration paid can't be determined, the asset's fair-market value determines its cost. With few exceptions, an asset's cost should also include necessary costs incurred to place the asset in service. These costs would include the invoice price plus incidental costs such as insurance during transit, freight, capitalized interest, duties, title search, registration fees, and installation costs. Exceptions to this rule include interest expenses associated with deferred payments and real estate taxes paid, in any, in the acquisition of property.

VII. CAPITAL ASSET CLASSES

A. Recording of Land

Land is to be capitalized but not depreciated. It is recorded at historical cost and remains at that cost until disposal. If there is a gain or loss on the sale of land, it is reported as a special item in the statement of activities.

B. Recording Land/Other Improvements

Land/Other improvements include items such as excavation, non-infrastructure utility installation, driveways, sidewalks, parking lots, flagpoles, retaining walls, fencing, signs, outdoor lighting, and other non-building improvements intended to make the land ready for its intended purpose.

C. Recording of Infrastructure

These assets are long-lived, stationary in nature, and can be preserved for a significantly greater number of years than most capital assets. Examples include roads, bridges, tunnels, storm drainage systems, and water and sewer distribution and collection systems. Included in this classification is the lining of water, sewer, or storm drainage mains or pipes, that are at or near full depreciation, and the lining extends the useful life 30 to 50 years.

D. Recording Intangible Assets

Intangible assets are to be capitalized and recorded based upon the historical cost. Easements will be capitalized and depreciated with the project to which the easement relates.

E. Recording Buildings

Buildings should be recorded at either their acquisition cost or construction cost. The cost of new construction should be carefully evaluated because projects usually consist of major components such as land, land improvements, building construction (including professional fees and permits), furniture, fixtures and equipment. In addition, buildings include components such as roof, air conditioner system, etc. that should be recorded separately when significant because these building components have different useful lives. The value of each component needs to be determined and placed within its own category.

F. Recording Building Improvements

Building improvements that extend the useful life should be capitalized. Examples of building improvements include re-roofing projects, and major structural building components. Items that are normal upkeep or replacements will be included in the operating budget. Examples of these items are window replacement, carpet replacement, and interior remodeling.

G. Recording Construction in Progress

Construction in progress should be capitalized and not depreciated. It should be reported with land and other non-depreciating assets at the government wide level. Unspent debt proceeds from capital assets related debt are reported in the net assets section of the statement of net assets as "restricted for capital projects".

H. Recording Machinery and Equipment (Including Office Equipment)

Assets such as machinery and equipment (that meet threshold levels) should be capitalized and inventoried. Furniture that is purchased in conjunction with new construction or with a purchase of a new building will be added to the full value of the building at the completion of the project.

Assets such as a water meter system will be capitalized based on the total cost of the system and depreciated over ten (10) years.

I. Recording Vehicles

Vehicles should be identified, inventoried, and depreciated.

J. Recording Easements

An easement is an interest in land owned by another that entitles its holder to a specific limited use of the land. Therefore, easements are not required to be reported unless the City paid for the easement (See Intangible Assets above).

VIII. Establishing and Setting the Threshold Levels for Recording Capital Assets

The following elements of useful life and asset costs are established for capitalization of assets:

- Estimated Useful Life.

The first criterion is useful life. An asset must have an estimated useful life greater than one (1) year to be considered for capitalization and depreciation. Assets that are consumed, used-up, habitually lost or worn out in one year or less will not be capitalized.

- Asset Cost

The second criterion for determining depreciable capital assets is cost. The capitalization threshold is established at an individual cost of \$5,000 (amount not rounded).

IX. Disposition/Sale of Capital Assets

The City shall dispose of capital assets if the assets are determined to be no longer needed, obsolete, or in a condition beyond repair. When a capital asset is disposed of the Finance Department must be notified by the responsible department or division that had custody of the disposed asset.

Surplus capital assets in a condition for sale are to be sold either at a public auction or using a sealed bid process. All other assets not in a condition for sale may be disposed of by following are legal requirements for disposal. In all instances, the City shall abide by Minnesota Statutes in regards to disposal/sale of capital assets.

Approved: /s/ Katie Rodriguez

City Manager



STAFF REPORT NO. 146
CITY COUNCIL MEETING
11/26/2019

REPORT PREPARED BY: Chris Regis, Finance Director

DEPARTMENT DIRECTOR REVIEW: Chris Regis, Finance Director
11/6/2019

OTHER DEPARTMENT REVIEW: N/A.

CITY MANAGER REVIEW: Katie Rodriguez, City Manager
11/19/2019

ITEM FOR COUNCIL CONSIDERATION:

Conduct a truth in taxation (TNT) public hearing regarding the 2020 property tax levy, the 2019 Revised/2020 Proposed budget and proposed 2020 water, wastewater, storm sewer utility, and street light rates.

EXECUTIVE SUMMARY:

At the September 10, 2019 City Council meeting, the City Council adopted the 2020 preliminary property tax levy and announced November 26 at 7:00 p.m. as the date and time for the statutory truth in taxation public hearing.

Hennepin County has mailed the proposed 2020 property tax statements to property owners in Richfield, which are based upon the proposed levy and announce the date of the public hearing.

RECOMMENDED ACTION:

Conduct and close the truth in taxation public hearing and by motion: schedule final action on the 2020 property tax levy, the 2019 Revised/2020 Proposed budget and proposed 2020 utility rates for the regular City Council meeting of December 10, 2019.

BASIS OF RECOMMENDATION:

A. HISTORICAL CONTEXT

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

In recent years the legislature has scaled back the TNT process. Counties and cities that are over 500 population, school districts, and metropolitan special taxing districts are still required to hold a single meeting where the public are invited to provide comment on the budget and levy. This meeting may be part of a regularly scheduled meeting but must occur after 6:00 p.m.

Minnesota Statutes mandates that the truth in taxation public hearing must be conducted between November 25 and December 30, 2019. The City has chosen to conduct the truth in taxation hearing as part of the regular City Council meeting on November 26, 2019 at 7:00 p.m.

The requirement to publish a special notice of a TNT hearing and proposed property tax levy is no longer

required.

C. CRITICAL TIMING ISSUES:

Schedule the final adoption action for the 2020 property tax levy, the 2019 Revised/2020 Proposed budget and proposed 2020 utility rates for December 10, 2019.

The City must adopt the final payable 2020 property tax levies and the proposed 2020 budgets not later than December 30, 2019.

D. FINANCIAL IMPACT:

The preliminary gross tax levy for taxes payable 2020 is \$22,687,471.

The gross tax levy represents a 4.90% increase from the 2019 gross levy.

The City's tax capacity rate is anticipated to increase from 53.274% to 53.643%.

Included in the 2020 preliminary gross levy is a levy to fund the purchase of rolling stock and technology equipment of \$815,000, a levy to fund the Economic Development Authority of \$553,985, a debt service levy of \$3,478,690, and a tax abatement levy of \$353,402.

E. LEGAL CONSIDERATION:

The City has scheduled November 26, 2019 for the TNT hearing and December 10, 2019 for the official adoption of the final levy and budget.

Final adoption of the payable 2020 property tax levies must be completed by December 30, 2019.

ALTERNATIVE RECOMMENDATION(S):

None with respect to conducting the public hearing, as it is mandated by state law.

PRINCIPAL PARTIES EXPECTED AT MEETING:

N/A



STAFF REPORT NO. 147
CITY COUNCIL MEETING
11/26/2019

REPORT PREPARED BY: Matt Brillhart, Associate Planner

DEPARTMENT DIRECTOR REVIEW: John Stark, Community Development Director
11/20/2019

OTHER DEPARTMENT REVIEW:

CITY MANAGER REVIEW: Katie Rodriguez, City Manager
11/26/2019

ITEM FOR COUNCIL CONSIDERATION:

Consider a resolution approving a subdivision and plat of property at 6812 Emerson Lane, allowing the construction of 5 new homes.

EXECUTIVE SUMMARY:

Endres Custom Homes, Inc. (Builder) has applied to purchase and develop the vacant property at 6812 Emerson Lane (Property) from the Housing and Redevelopment Authority (HRA). The Builder proposes to split the 1.3 acre lot into 5 separate lots, allowing for the construction of 5 new single-family homes. The homes would be based on the same split-level model with variations to the roof lines, siding patterns and exterior colors. Each home would have four bedrooms, three bathrooms, an attached two-car garage and would receive sound-attenuation upgrades to mitigate the noise of nearby Interstate Highway 35W. A public road (Emerson Lane) would be constructed to provide access to the homes, with a turnaround for emergency vehicles. In addition to the road extension, water, storm, and sanitary sewer mains would be extended to serve the new development. In July 2019, the HRA approved a Contract for Private Development with the Builder for the construction of five single-family homes and required public improvements on the Property. The homes would be constructed as part of the Richfield Rediscovered program; a highly successful program that is intended to provide "move-up" housing to new families or growing families who wish to stay in the community. The City's Comprehensive Plan continues to identify this as a need. Additional background information is included in the Historical Context and Financial Impact sections of this report.

In August, 2019, it was discovered that the survey provided by the seller to the HRA in 2005 was in error. That survey incorrectly located the west property line and resulted in the lot being marginally smaller than had previously been believed to be the case.

On October 29, 2019, the Builder submitted an application to plat (subdivide) the Property, including five residential lots and dedicating the public right-of-way necessary to extend Emerson Lane. Due to the amount of space needed to extend a public road through the Property, four of the five lots would be narrower than the 50 foot minimum width required by the Zoning Code. All five lots would be under the required 6,700 square foot minimum lot area.

The City's Subdivision Ordinance provides for exceptions to be granted from these requirements

under certain conditions: *"Whenever the tract to be subdivided or platted is of such unusual size or shape, or is surrounded by unusual conditions that the strict application of the requirements contained in this Section would result in a substantial hardship, the Council may vary or modify such requirements so that the subdivider is allowed to develop the property in a reasonable manner, but in such a manner that the public welfare and interests of the City and surrounding area are protected and the general intent and spirit of [the Zoning Code] is preserved."*

While the minimum lot width and area requirement is not met, the Comprehensive Plan allows for residential densities of up to 7 housing units per acre in Low Density Residential areas of the City. The area of the Property proposed for development is approximately 1.13 acres. Development of five homes would be consistent with the density guidelines provided in the Comprehensive Plan. Staff finds the unusual shape, size, and surrounding conditions of the Property to be an unusual circumstance that would present a hardship for the development of five homes. All five homes will meet all other Zoning Code requirements, including lot depth and setback requirements. The Builder has sufficiently shown that all five homes can be built as proposed without the need for any additional variances.

The proposed plat has been reviewed by the City Attorney's office, Richfield Public Works and MnDOT. All comments have been addressed or included as stipulations in the resolution. There are two resolutions attached related to this proposal. The Subdivision Waiver resolution would authorize the HRA to split the Property into two parts: the main portion that would be sold to the Builder, and a long, narrow strip that would be retained by the HRA. The plat resolution would approve a final plat of the Property, to be known as the Galatians Addition. Staff finds the proposed plat meets requirements and therefore recommends approval of the attached resolutions.

RECOMMENDED ACTION:

Conduct and close a public hearing and by motion:

- Adopt a resolution approving a subdivision of property at 6812 Emerson Lane.
- Adopt a resolution approving a plat of the GALATIANS Addition.

BASIS OF RECOMMENDATION:

A. HISTORICAL CONTEXT

- In 2005, the Housing and Redevelopment Authority (HRA) purchased the Property for \$275,000.
- The Property was purchased in order to remove two substandard structures from the lot and develop new homes under the Richfield Rediscovered (RR) program, to offset the loss of homes that were removed for Crosstown Hwy. 62 expansion.
- When staff began marketing the Property to builders, the housing market downturn had begun and interest was scarce for several years.
- Endres Custom Homes inquired about the Property in 2018, studying the feasibility of developing five homes, and began working with Public Works and Fire Departments to determine roadway and utility needs.
- Work sessions were held with the HRA and City Council on November 13, 2018, and April 15, 2019, to review a preliminary proposal, along with other ideas, including building one, two, three or four houses; incorporating the Property into Wood Lake Nature Center; building a dog park or archery range, and leaving the Property as-is.
- At the April work session, policymakers determined that either two or five houses would be appropriate and fiscally responsible uses given the HRA's financial investment in the Property and the need for housing in the community. They directed staff to also offer neighbors the opportunity to submit a proposal. Neighbors submitted a preliminary proposal for two houses but determined that they couldn't submit a financially-feasible final proposal.
- On July 15, 2019, the HRA approved a Contract for Private Development with Endres Custom Homes, agreeing to sell the Property for development of five homes.

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

- All plats or subdivisions of land must be approved by City Council resolution, pursuant to

the provisions of Minnesota State Statutes 462.357 and City Code Section 500.

- The Property is zoned Single Family Residential (R). The minimum lot width is 50 feet. Four of the five lots would not meet this requirement. The five lots measure 43, 44, 45, 48, and 50 feet wide.
- The minimum lot area is 6,700 square feet. Due to the amount of space required to extend the roadway into the Property, all five lots would be below that threshold.
- City Code Section 500.21 provides for variances to be granted as follows: *"Whenever the tract to be subdivided or platted is of such unusual size or shape, or is surrounded by unusual conditions that the strict application of the requirements contained in this Section would result in a substantial hardship, the Council may vary or modify such requirements so that the subdivider is allowed to develop the property in a reasonable manner, but in such a manner that the public welfare and interests of the City and surrounding area are protected and the general intent and spirit of [the Zoning Code] is preserved."*

C. CRITICAL TIMING ISSUES:

- Per State Statute, the City has 120 days from the date of submittal of a complete application to issue a decision regarding a plat unless the applicant agrees to an extension. A complete application was received on November 12, 2019. The Council must render a decision by March 12, 2020.
- The Contract for Private Development with the HRA requires that Endres Custom Homes close on the property by March 31, 2020.
- Emerson Avenue and Emerson Lane are scheduled for mill and overlay to be completed in Spring 2020, so utility improvements necessary for development should be completed beforehand to avoid damaging the newly refurbished road.

D. FINANCIAL IMPACT:

- Since 2005, the HRA has spent over \$330,000 for the acquisition, demolition and maintenance of this Property.
- The cost to prepare the Property for development is estimated at \$310,000 (\$62,000 per lot). This includes the cost of site preparation, road construction and utility installation. The developer would pay these costs for making the Property developable. The HRA will not receive any direct sale proceeds because of the need to offset the high cost to develop the Property.
- The long-term tax benefit of adding five new homes offers the greatest opportunity to recoup these public costs. For taxes payable in 2019, the total property taxes collected from a home valued at \$350,000 is approximately \$5,000.

E. LEGAL CONSIDERATION:

Notice of this public hearing was published in the *Sun Current* newspaper and mailed to properties within 350 feet of the subject property on November 14.

ALTERNATIVE RECOMMENDATION(S):

None

PRINCIPAL PARTIES EXPECTED AT MEETING:

Dustin Endres, Endres Custom Homes

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Subdivision Resolution	Resolution Letter
<input type="checkbox"/> Final Plat Resolution	Resolution Letter
<input type="checkbox"/> Context map	Exhibit
<input type="checkbox"/> Preliminary Plat	Exhibit
<input type="checkbox"/> Final Plat	Exhibit

- ▣ 3D Views
- ▣ Landscape Plan (color)

Exhibit
Exhibit

RESOLUTION NO.

**RESOLUTION AUTHORIZING A SUBDIVISION WAIVER
FOR 6812 EMERSON LANE**

WHEREAS, an application has been filed with the City of Richfield which requests approval of a subdivision waiver for the division of property commonly known as 6812 Emerson Lane ("Subject Property"), legally described in the attached Exhibit A; and

WHEREAS, the Richfield Housing and Redevelopment Authority is the current fee owner and proposes to divide the Subject Property into two parcels, legally described as "Parcel 1" and "Parcel 2" in the attached Exhibit B; and

WHEREAS, the City Council finds that compliance with City Code Section 500.05 Subdivision 1, requiring the property to be platted, would result in unnecessary hardship and that failure to comply therewith will not interfere with the purposes of the platting regulations of Section 500.01; and

WHEREAS, the majority of the property, described in Exhibit B as Parcel 1, is proposed to be platted as GALATIANS ADDITION, to be considered by the City Council in a separate Resolution; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Richfield, Minnesota, as follows:

1. A waiver for the subdivision of the Subject Property legally described above is hereby granted.
2. City staff is authorized and directed to take any action necessary to effectuate this Resolution and to authorize the recording of conveyances complying with the terms of this Resolution.

Adopted by the City Council of the City of Richfield, Minnesota this 26th day of November, 2019.

Maria Regan Gonzalez, Mayor

ATTEST:

Elizabeth VanHoose, City Clerk

EXHIBIT A

That part of Government Lot 6, Section 28, Township 28, North Range 24, West of the 4th Principal Meridian, described as follows: Commencing at the Northeast corner of the West 20 acres of said Government Lot 6; thence East along Fort Snelling and Minnetonka Road 160 feet; thence South to shore of Wood Lake; thence along the said shore to the East line of said 20 acres; thence North to place of beginning.

EXCEPT the North 783 feet thereof;

AND EXCEPT that part of Government Lot 6, Section 28, Township 28, Range 24 described as follows, to-wit: Beginning at a point on the West line of Lot 6, "Vehe Addition", 16 feet North of the Southwest corner thereof; thence West with the East line of the West 20 acres of said Government Lot 6 to its place of intersection with the Northerly line of West 68th Street; thence Northeasterly along the Northerly line of said West 68th Street to the Southwesterly corner of Lot 7, "Vehe Addition"; thence North along the West line of said Lots 6 and 7, "Vehe Addition", to the point of beginning;

AND EXCEPT that part of Government Lot 6, Section 28, Township 28, Range 24, lying South of the following described boundary line, to-wit: Commencing at the Southeast corner of Lot 7, "Vehe Addition"; thence Southwesterly a distance of 135.35 feet to the Southwest corner of said Lot 7, "Vehe Addition", to the actual point of beginning; thence continuing Southwesterly on an extension of the South line of said Lot 7, "Vehe Addition" to the East line of the West 20 acres of Government Lot 6, Section 28, Township 28, Range 24.

ALSO: The East 10 feet of the North 783 feet of that part of Government Lot 6, lying West of the West line of Payton Manor and the same extended, Section 28, Township 28, Range 24, k t comps Hennepin County, Minnesota, according to the United States Government Survey thereof and situate in Hennepin, County, Minnesota.

That part of the south 10 acres of the west 20 acres of Government Lot 6, Section 28, Township 28 North, Range 24 West, together with that part of dried up lake bed of Wood Lake appurtenant thereto, lying Easterly of Trunk Highway No 65 as located and established on March 23, 1956; which lies between Two lines run parallel with and distant 1 foot and 21 feet Westerly of the East line of the above described tract, northerly of a line run parallel with and distant 1 feet North of the South line of said tract, and Southerly of the following described line: Beginning at a point on a line run parallel with and distant 783 feet south of the east and west quarter line of said Section 28, distant 55 feet Westerly of its intersection with a line run parallel with and distant 10 feet West of the West line of Payton manor extended Southerly; thence run Southwesterly to a point on the East line of the Above described tract distant 345 feet North of the Southeast corner thereof; thence continue Southwesterly on the last described course for 60 feet and there terminating; containing 0.15 acre, more or less.

Subject to the following Restrictions:

No access shall be permitted to Trunk Highway No 50, renumbered 65, and to Trunk Highway No 394, renumbered 35W, from the lands herein conveyed. No advertising devices in any form or size shall be constructed, placed or permitted to be constructed or placed upon the lands except: 1) signs, displays and devices advertising the sale or lease of the property and 2) signs, displays and devices advertising activities conducted on the property. The real estate shall not be used as an automobile junkyard or as a repository for rubbish in any form.

Except that part of Government Lot 6, Section 28, Township 28, Range 24, shown as Parcel 65A on Minnesota Department of Transportation right of way plat numbered 27-111 as the same is on file and of record in the office of the County Recorder in and for Hennepin County.

Except the South 12.0 feet of the North 45.0 feet of the following described tract: The East 10 feet of the North 783 feet of that part of Government Lot 6, lying West of the West line of Payton Manor and the same extended, Section 28, Township 28, Range 24, together with right of access, begin the right or ingress and egress from that part of the above described tract not acquired to CSAH No 53.

EXHIBIT B

PARCEL 1: DESCRIPTION OF PROPERTY TO BE PLATTED AS GALATIANS

That part of Government Lot 6, Section 28, Township 28, Range 24, Hennepin County, Minnesota and that part of dried up lake bed of Wood Lake which lies south of the North 783 feet, west of VEHE ADDITION, east of the east right of way line of Interstate Highway No. 35W and north of the southwesterly extension of the south line of Lot 7, VEHE ADDITION, except that part described as follows:

Beginning at a point on the West line of Lot 6, "Vehe Addition", 16 feet North of the Southwest corner thereof; thence West on a line parallel with the Northerly line of said Government Lot 6 a distance of 148.0 feet; thence South on a line parallel with the East line of the West 20 acres of said Government Lot 6 to its place of intersection with the Northerly line of West 68th Street; thence Northeasterly along the Northerly line of said West 68th Street to the Southwesterly corner of Lot 7, "Vehe Addition"; thence North along the West line of said Lots 6 and 7, "Vehe Addition", to the point of beginning.

Together with that part of dried up lake bed of Wood Lake which lies east of the east right of way line of Interstate Highway No. 35W, south of the southwesterly extension of the south line of Lot 7, VEHE ADDITION, north of the South 1 foot of Government Lot 6, Section 28, Township 28, Range 24 and west of a line parallel with and 21 feet east of said east right of way line of Interstate Highway No. 35W.

PARCEL 2: DESCRIPTION OF 10 FOOT STRIP LYING NORTH OF GALATIANS

The East 10 feet of the North 783 feet of that part of Government Lot 6, lying West of the West line of Payton Manor and the same extended, Section 28, Township 28, Range 24, Hennepin County, Minnesota, according to the United States Government Survey thereof and situate in Hennepin, County, Minnesota.

Except that part of Government Lot 6, Section 28, Township 28, Range 24, shown as parcel 65A on Minnesota Department of Transportation right of way plat numbered 27-111 as the same is on file and of record in the office of the county recorder in and for Hennepin County, Minnesota.

Except the South 12.0 feet of the North 45.0 feet or the following described tract: the East 10 feet of the North 783 feet of that part of Government Lot 6, lying west of the west line of Payton Manor and the same extended, Section 28, Township 28, Range 24, Hennepin County, Minnesota, together with right of access, being the right of ingress and egress from that part of the above described tract not acquired to C.S.A.H. No. 53.

RESOLUTION NO.
RESOLUTION GRANTING APPROVAL
OF A PLAT FOR
GALATIANS ADDITION

WHEREAS, Endres Custom Homes (“Applicant”) has requested approval of a final plat to subdivide land located at 6812 Emerson Lane, legally described in the attached Exhibit A; and

WHEREAS, the Richfield Housing and Redevelopment Authority is the fee owner of the land and has consented to this application; and

WHEREAS, the proposed subdivision is to be known as GALATIANS ADDITION; and

WHEREAS, a public hearing was held on the proposed plat of GALATIANS ADDITION on Tuesday, November 26, 2019 at which all interested persons were given the opportunity to be heard; and

WHEREAS, the City Council finds that failure to comply with minimum lot width and area requirements will not injure the public welfare and that the interests of the City and surrounding area are protected and the general intent and spirit of the subdivision regulations are preserved.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Richfield, as follows:

1. The proposed plat of GALATIANS ADDITION satisfies the requirements of the City’s subdivision ordinances.
2. Approval of the plat of GALATIANS ADDITION is granted with the following conditions:
 - a. The applicant must address to the City Attorney’s satisfaction all items listed in the plat opinion letter prepared by the City Attorney’s office.
 - b. The applicant must submit two mylar copies of the plat for signature by the City.
 - c. The Applicant must file the final plat with the Hennepin County Recorder or Registrar of Titles within 30 days of this approval. Proof of recording must be submitted to the City.

Adopted by the City Council of the City of Richfield, Minnesota this 26th day of November, 2019.

Maria Regan Gonzalez, Mayor

ATTEST:

Elizabeth VanHoose, City Clerk

EXHIBIT A

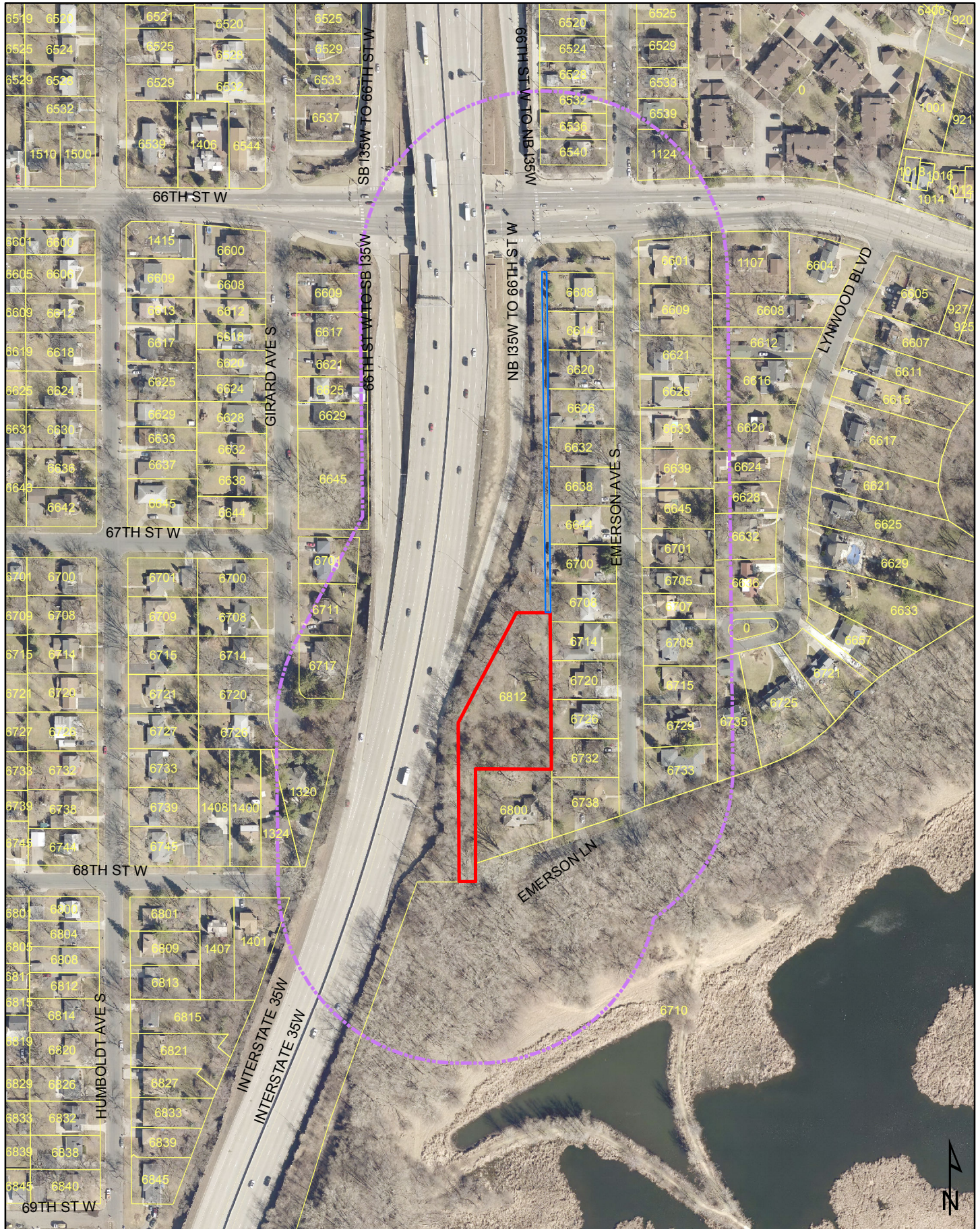
DESCRIPTION OF PROPERTY TO BE PLATTED AS GALATIANS

That part of Government Lot 6, Section 28, Township 28, Range 24, Hennepin County, Minnesota and that part of dried up lake bed of Wood Lake which lies south of the North 783 feet, west of VEHE ADDITION, east of the east right of way line of Interstate Highway No. 35W and north of the southwesterly extension of the south line of Lot 7, VEHE ADDITION, except that part described as follows:

Beginning at a point on the West line of Lot 6, "Vehe Addition", 16 feet North of the Southwest corner thereof; thence West on a line parallel with the Northerly line of said Government Lot 6 a distance of 148.0 feet; thence South on a line parallel with the East line of the West 20 acres of said Government Lot 6 to its place of intersection with the Northerly line of West 68th Street; thence Northeasterly along the Northerly line of said West 68th Street to the Southwesterly corner of Lot 7, "Vehe Addition"; thence North along the West line of said Lots 6 and 7, "Vehe Addition", to the point of beginning.

Together with that part of dried up lake bed of Wood Lake which lies east of the east right of way line of Interstate Highway No. 35W, south of the southwesterly extension of the south line of Lot 7, VEHE ADDITION, north of the South 1 foot of Government Lot 6, Section 28, Township 28, Range 24 and west of a line parallel with and 21 feet east of said east right of way line of Interstate Highway No. 35W.

6812 Emerson Lane - Plat and Subdivision

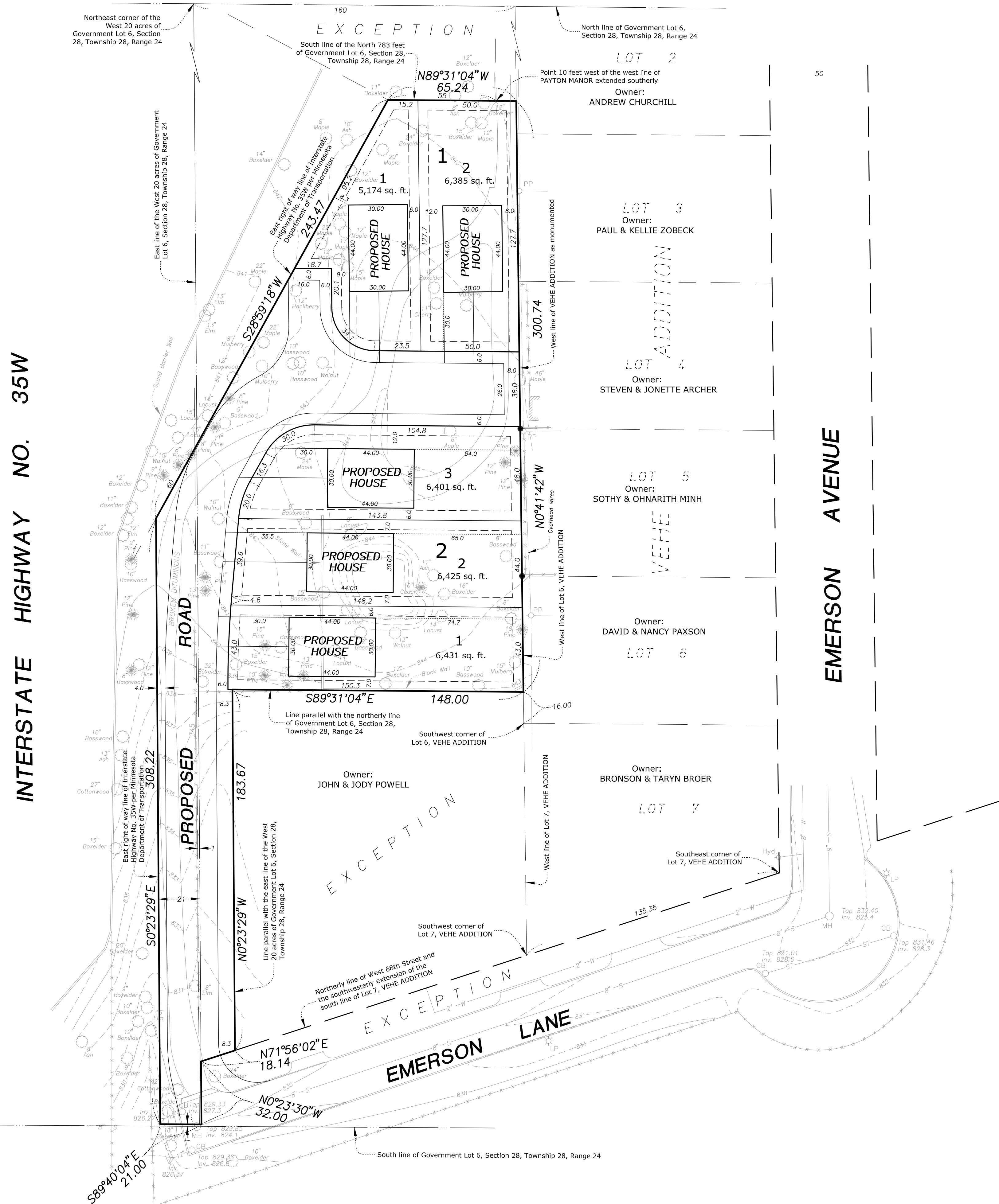


 Proposed Plat City HRA Outlot

 350 ft. notification area

0 125 250 500 750 1,000 Feet

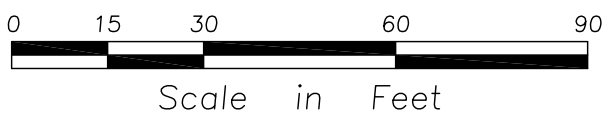
INTERSTATE HIGHWAY NO. 35W



Preliminary Plat of: GALATIANS

LEGEND

- Iron Monument Found
- S — Sanitary Sewer
- ST — Storm Sewer
- W — Watermain
- Hyd. ⬢ Hydrant
- GV • Gate Valve
- MH ○ Manhole
- CB ○ Catch Basin
- ▷ Flared End
- Inv. Invert Elevation
- PP ○ Power Pole
- LP ⚡ Light Pole
- * — Chain Link Fence



OWNER

City of Richfield HRA
6700 Portland Avenue
Richfield, Minnesota 55423

DEVELOPER

Endres Custom Homes
7245 South Robert Trail
Inver Grove Heights, Minnesota 55077
Phone: 612-221-2215
Attention: Dustin Endres

ENGINEER

Halling Engineering, Inc.
3727 East 255th Street
Webster, Minnesota 55088
Phone: 952-440-1680
Attention: Greg Halling

SURVEYOR

Rehder & Associates, Inc.
3440 Federal Drive
Suite 110
Eagan, Minnesota 55122
Phone: 651-452-5051
Attention: Greg Gentz

NOTES

- * Bearings shown are based on Hennepin County Coordinates.
- * Utilities shown are from information furnished by the City of Richfield and respective utility companies in response to Gopher State One Call Ticket No. 193022364 and are verified where possible.
- * Contact Gopher State One Call for utility locations before any construction shall begin. Phone 651-454-0002.
- * Bench mark: Top nut of hydrant at the northwest corner of Emerson Avenue and Emerson Lane. Elevation = 834.72 feet.
- * Total Area = 50,868 square feet (1.17 acres).
- * Zoning: R (Single Family).
- * This property is located in Flood Zone X (area outside 0.2% annual chance floodplain) per Flood Insurance Rate Map Number 27053C0368F dated November 4, 2016.

PROPERTY DESCRIPTION

That part of Government Lot 6, Section 28, Township 28, North Range 24, West of the 4th Principal Meridian, described as follows: Commencing at the Northeast corner of the West 20 acres of said Government Lot 6; thence East along Fort Snelling and Minnetonka Road 160 feet; thence South to shore of Wood Lake; thence along the said Shore to the East line of said 20 acres; thence North to place of beginning, EXCEPT the North 783 feet thereof; AND EXCEPT that part of Government Lot 6, Section 28, Township 28, Range 24, Hennepin County, Minnesota, described as follows, to-wit: Beginning at a point on the West line of Lot 6, "Vehe Addition", 16 feet North of the Southwest corner thereof; thence West on a line parallel with the Northerly line of said Government Lot 6 a distance of 148.0 feet; thence South on a line parallel with the East line of the West 20 acres of said Government Lot 6 to its place of intersection with the Northerly line of West 68th Street; thence Northeasterly along the Northerly line of said West 68th Street to the Southwesterly corner of Lot 7, "Vehe Addition"; thence North along the West line of said Lots 6 and 7, "Vehe Addition", to the point of beginning; AND EXCEPT that part of Government Lot 6, Section 28, Township 28, Range 24, lying South of the following described boundary line, to-wit: Commencing at the Southeast corner of Lot 7, "Vehe Addition"; thence Southwesterly a distance of 135.35 feet to the Southwest corner of Lot 7, "Vehe Addition", to the actual point of beginning; thence continuing Southwesterly on an extension of the South line of said Lot 7, "Vehe Addition" to the East line of the West 20 acres of Government Lot 6, Section 28, Township 28, Range 24.

That part of the south 10 acres of the west 20 acres of Government Lot 6 of Section 28, Township 28 North, Range 24 West, together with that part of dried up lake bed of Wood Lake appurtenant thereto, lying easterly of Trunk Highway No. 65 as located and established on March 23, 1956; which lies between two lines run parallel with and distant 1 foot and 21 feet westerly of the east line of the above described tract, northerly of a line run parallel with and distant 1 foot north of the south line of said tract, and southerly of the following described line:

Beginning at a point on a line run parallel with and distant 783 feet south of the east and west quarter line of said Section 28, distant 55 feet westerly of its intersection with a line run parallel with and distant 10 feet west of the west line of Payton Manor extended southerly; thence run southwesterly to a point on the east line of the above described tract distant 345 feet north of the southeast corner thereof; thence continue southwesterly on the last described course for 60 feet and there terminating; containing 0.15 acre, more or less.

I hereby certify that this preliminary plat was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 28th day of October, 2019

REHDER & ASSOCIATES, INC.


Gary C. Huber, Land Surveyor
Minnesota License No. 22036

Rehder and Associates, Inc.

CIVIL ENGINEERS AND LAND SURVEYORS

3440 Federal Drive • Suite 110 • Eagan, Minnesota • Phone (651) 452-5051

JOB: 194-2200.096

C.R. DOC. NO. _____

That part of Government Lot 6, Section 28, Township 28, Range 24, Hennepin County, Minnesota and that part of dried up lake bed of Wood Lake which lies south of the North 783 feet, west of VEHE ADDITION, east of the east right of way line of Interstate Highway No. 35W and north of the southwesterly extension of the south line of Lot 7, VEHE ADDITION, except that part described as follow:

Together with that part of dried up lake bed of Wood Lake which lies east of the east right of way line of Interstate Highway No. 35W, south of the southwesterly extension of the South line of Lot 7, VEHE ADDITION, north of the South 1 foot of Government Lot 6, Section 28, Township 28, Range 24 and west of a line parallel with and 21 feet east of said east right of way line of Interstate Highway No. 35W.

In witness whereof said Endres Custom Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

This instrument was acknowledged before me on this _____ day of _____, 20____, by Dustin Endres, President of Endres Custom Homes, Inc., on behalf of the corporation.

Signature _____
 Notary Public, _____ County, Minnesota
 My Commission Expires _____

Dated this _____ day of _____, 20____.

Gary C. Huber, Licensed Land Surveyor
Minnesota License No. 22036

This instrument was acknowledged before me on this _____ day of _____, 20____, by Gary C. Huber.

Signature _____
 Notary Public, _____ County, Minnesota
 My Commission Expires _____

This plat of GALATIANS was approved and accepted by the City Council of the City of Richfield, Minnesota at a regular meeting thereof held this ____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subdivision 2.

By: _____, City Manager

I hereby certify that the taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.

By: _____, Deputy

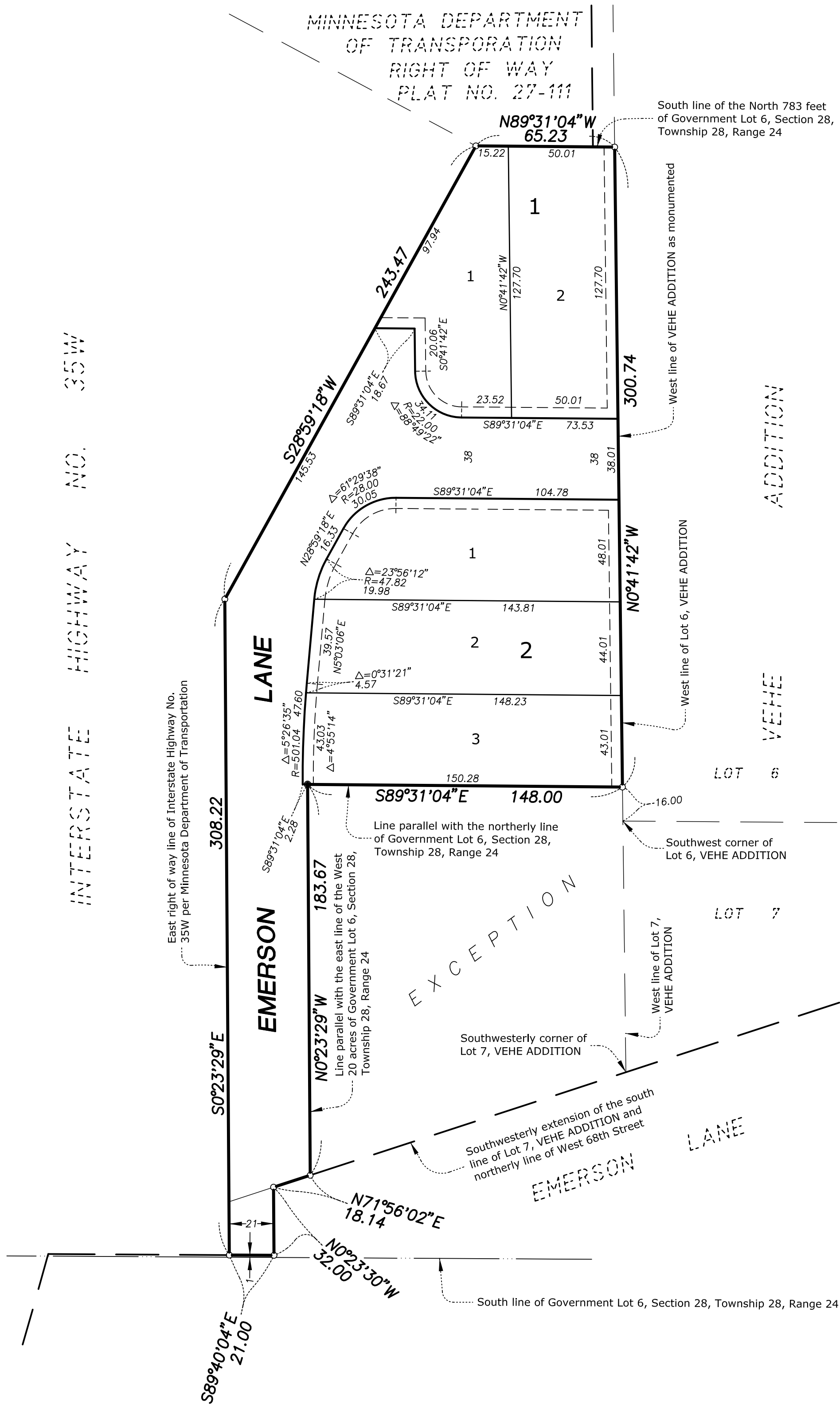
Pursuant to MN. STAT. Section 383B.565 (1969), this plat has been approved this _____ day of _____, 20____.

By: _____

I hereby certify that the within plat of GALATIANS was recorded in this office this _____ day of _____, 20____, at ____ o'clock ____ .M.

By: _____, Deputy

Rehder and Associates, Inc.





Endres
custom homes

7245 S Robert Trail, Inver Grove Heights, MN 55077



Endres
custom homes

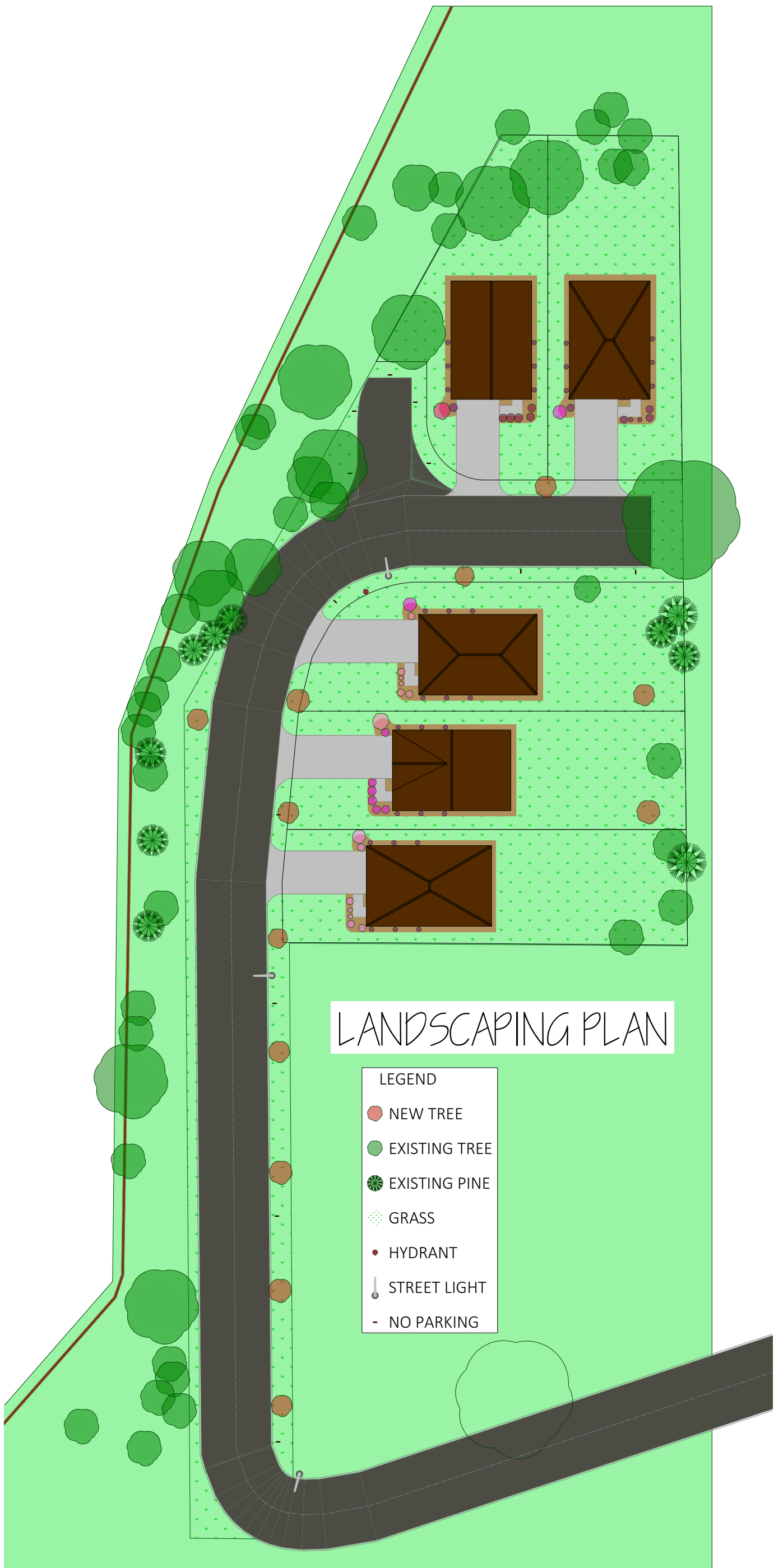
7245 S Robert Trail, Inver Grove Heights, MN 55077



Endres
custom homes

7245 S Robert Trail, Inver Grove Heights, MN 55077







STAFF REPORT NO. 148
CITY COUNCIL MEETING
11/26/2019

REPORT PREPARED BY: Matt Brillhart, Associate Planner / Melissa Poehlman, Asst. CD Director

DEPARTMENT DIRECTOR REVIEW: John Stark, Community Development Director
11/20/2019

OTHER DEPARTMENT REVIEW:

CITY MANAGER REVIEW: Katie Rodriguez, City Manager
11/20/2019

ITEM FOR COUNCIL CONSIDERATION:

Consider a resolution granting site plan approval and variances for a proposal to construct a 127-unit apartment building on a portion of the Lunds property at 6200 & 6228 Penn Avenue South.

EXECUTIVE SUMMARY:

Lunds Real Estate (Lunds) has submitted land use applications requesting site plan approval and variances for a six-story, 127-unit apartment building in the northwest corner of their existing parking lot. The property is zoned Mixed Use Community, and is located in the Penn Avenue Corridor Overlay District. The proposed site plan meets all Zoning Code requirements, aside from two variances.

Proposed plans for the six-story building are attractively designed and landscaped, and would provide a number of amenities to its residents, including a fitness center, community room, bicycle storage area, and outdoor amenity space on the 2nd floor. Resident parking is provided in underground and at-grade parking levels, and parking ratios for both the store and residential components exceed City requirements. In addition to ample accommodations for vehicles, the proposal includes an improved public sidewalk on Penn Avenue and pedestrian connections throughout the site.

Variances are requested for impervious surface coverage on the Lunds store property, and the apartment building's setback distance from Penn Avenue. Regarding impervious surface coverage, the store parcel exceeds the maximum allowed coverage of 80%. However, on the overall combined site, impervious coverage would be slightly below 80% (79.4%). Staff finds that it is reasonable to consider the two lots as parts of a cohesive whole. Regarding the front yard setback for the apartment building, Code allows a maximum setback of 20 feet. The proposed building setback is 141.6 feet to the east lot line abutting Penn Avenue. Staff finds that it is reasonable to allow a greater building setback for the purposes of maintaining existing traffic and parking circulation patterns for the grocery store, which has operated in this location since 1967. Additionally, this building placement allows the underground parking access to be oriented away from the adjacent residential neighborhood to the west. The proposed building exceeds the required setback from the residential properties to the west of the site.

Lunds has provided a traffic study (attached to this report) and Lunds representatives have met with City, Hennepin County and MnDOT staff to discuss potential impacts to Penn Avenue near Crosstown. There are currently three driveway access points onto Penn Avenue and no changes to access are currently proposed. The City and Hennepin County are currently embarking on a joint study of Penn Avenue between Crosstown and 68th Street, to identify improvements that could be made as part of a mill & overlay project planned for 2021. Lunds has committed to engaging in this process and providing additional analysis of traffic patterns to and from their site, in the event that any of the current driveway locations are impacted by future changes to Penn Avenue.

Staff finds that the proposed project meets the goals of the Comprehensive Plan and Zoning Code requirements, and therefore recommends approval of the applications.

RECOMMENDED ACTION:

By motion: Adopt a resolution granting site plan approval and variances for an apartment development on the Lunds property at 6200 & 6228 Penn Avenue South.

BASIS OF RECOMMENDATION:

A. HISTORICAL CONTEXT

Over the last 20+ years, the City has undertaken a series of studies related to reinvestment and revitalization of the Penn Avenue corridor. The most recent of these was the Penn Avenue Revitalization Plan, adopted in 2008 and effectuated through the creation of the Penn Avenue Corridor Overlay Zoning District in 2009. The intention of these Plans and the accompanying Design Guidelines has been to encourage redevelopment and investment that would lead to a walkable, attractive, and thriving corridor. To encourage investment, the City has made significant improvements to its own properties (Fire Station 2 and the Liquor Store), as well as partnering with Hennepin County to administer a Façade Improvement Grant Program.

Over the last several years, Lunds has explored a variety of options for the northwest corner of their property, floating potential uses including a day care and a car wash. A preliminary concept for a multi-family building was first presented to the City Council, HRA, and Planning Commission in October 2018. While the proposal did not require a neighborhood meeting, Lunds also held two listening sessions with the neighborhood (April 23 and September 25, 2019) and draft development plans were available for feedback at the Open Streets at Penn Fest event on September 15.

The proposed building would continue the established land use pattern of multifamily residential development on blocks surrounding Penn Avenue, and would be just the second market-rate apartment building constructed on the City's west side since the 1970s, following the NOVO apartment project approved in late 2018.

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

Comprehensive Plan

The Comprehensive Plan is an expression of the community's vision for the future. Since the early 1980s, the City's Comprehensive Plan has called for a mix of uses including higher density housing in this area, which would serve as a buffer between commercial uses on Penn Avenue and single-family homes to the west. Subsequent updates of the Comprehensive Plan in 1997, 2008, and 2018 have maintained that mixed use designation. The current Comprehensive Plan calls for a density range of 25-100 housing units per acre in the Penn Avenue Corridor.

Zoning

The property is zoned Mixed Use Community, and is located in the Penn Avenue Corridor Overlay District. The proposal meets all zoning code requirements, aside from the two variances discussed in the Executive Summary. A full discussion of all applicable review criteria is provided as an attachment to this

report - see "Code Requirements / Required Findings".

C. CRITICAL TIMING ISSUES:

60-DAY RULE: The 60-day clock 'started' when a complete application was received on October 14, 2019. A decision is required by December 13, 2019 or the Council must notify the applicant that it is extending the deadline (up to a maximum of 60 additional days or 120 days total) for issuing a decision.

D. FINANCIAL IMPACT:

The required application fees have been paid.

E. LEGAL CONSIDERATION:

- A public hearing was held before the Planning Commission on October 28, 2019.
- Notice of the public hearing was published in the Sun Current Newspaper and mailed to properties within 350 feet of the site on October 17th.
- Several residents spoke at the public hearing. Primary concerns were related to added traffic in and around the area.
- The Planning Commission voted unanimously (7-0) to recommend approval of the site plan and variances, with an additional condition that a dedicated pedestrian route be added. That requirement is met on the revised site plans.

ALTERNATIVE RECOMMENDATION(S):

- Approve the site plan and variances with modifications.
- Deny the proposal with findings that requirements are not met.

PRINCIPAL PARTIES EXPECTED AT MEETING:

Lunds Real Estate representatives

ATTACHMENTS:

Description	Type
□ Resolution	Resolution Letter
□ Required Findings	Exhibit
□ Zoning map	Backup Material
□ Developer Narrative	Backup Material
□ Site Plans	Exhibit
□ Rendered Landscape Plan	Backup Material
□ Elevations & Floor Plans	Backup Material
□ Traffic and Parking Study	Backup Material
□ 102819 DRAFT PC Minutes	Backup Material

RESOLUTION NO. _____

**RESOLUTION APPROVING A SITE PLAN AND VARIANCES
FOR A MULTIFAMILY RESIDENTIAL DEVELOPMENT AND GROCERY STORE
AT 6200 AND 6228 PENN AVENUE SOUTH**

WHEREAS, an application has been filed with the City of Richfield which requests approval of a site plan and variances for a multifamily residential development and grocery store on land ("subject property") that is legally described in the attached Exhibit A; and

WHEREAS, the Planning Commission held a public hearing and recommended approval of the site plan and variances at its October 28, 2019 meeting; and

WHEREAS, notice of the public hearing was published in the Sun Current and mailed to properties within 350 feet of the subject property on October 17, 2019; and

WHEREAS, Minnesota Statutes Section 462.357, Subdivision 6, provides for the granting of variances to the literal provisions of the zoning regulations in instances where enforcement would cause "practical difficulty" to the owners of the property under consideration; and

WHEREAS, the request meets those requirements necessary for approving a site plan as specified in Zoning Code Section 547.13, and variances as specified in Section 547.11, as detailed in the "Code Requirements / Required Findings" document attached to City Council Staff Report No. _____; and

WHEREAS, the City has fully considered the request for approval of the site plan and variances; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Richfield, Minnesota, as follows:

1. The City Council makes the following general findings:
 - a. The Property is zoned Mixed Use Community (MU-C) and is located in the Penn Avenue Corridor (PAC) overlay.
 - b. Multifamily dwellings are permitted in the MU-C District. The Penn Avenue Corridor District provides for a balanced mix of commercial, office and residential uses that together create a cohesive and pedestrian-friendly area.
 - c. The proposed density and building height conform to the Comprehensive Plan and Zoning Code.
 - d. With respect to the proposed site plan, the City Council finds that it will adequately serve the purpose for which it is proposed and will not have adverse effects upon public safety or the general welfare.
 - e. In the MU-C District, the maximum allowed front building setback is 20 feet. On the apartment parcel, the proposed front setback to Penn Avenue is 141.6 feet. The maximum impervious surface coverage allowed is 80%. On the grocery store parcel, the proposed impervious surface coverage is 84.2%. Variances from Section 537.07, Subdivision 1 are required.

2. Based on the above findings and those detailed in the “Code Requirements / Required Findings” document attached to City Council Report No. _____, a site plan and variances are approved for a multi-family residential development and grocery store at 6200 and 6228 Penn Avenue South, respectively. Approval of the site plan is subject to the following conditions:

- Parking & cross-access easements between the two parcels are required and must be recorded prior to the issuance of a Certificate of Occupancy.
- A minimum of 145 surface parking spaces shall remain available year round.
- A revised landscaping plan including tree quantities and sizes that conform to Zoning Code Section 544.03 must be submitted to and approved by the Community Development Director, prior to issuance of a building permit.
- The property owner is responsible for the ongoing maintenance and tending of all landscaping in accordance with approved plans. The inclusion of electrical infrastructure to light trees along Penn Avenue is recommended.
- Final lighting plans must be submitted to and approved by the Community Development Director. Pedestrian scale lighting shall highlight building entrances. Lighting in the right-of way must be approved by Public Works.
- Pedestrian routes through the property must meet minimum ADA requirements. To ensure that vehicle hoods do not encroach on walkways, curb stops are required in parking stalls that abut a pedestrian route at a perpendicular angle.
- Final plans for sidewalks and improvements in and along the right-of-way must be submitted to and approved by the Public Works Director. Sidewalks shall continue across the driveway curb cuts, per Public Works requirements. Coordinate boulevard tree species and placement with the City Forester.
- Final stormwater management plans must be submitted to and approved by the Public Works Director. Plans must meet all requirements of the City’s Surface Water Management Plan and Richfield Bloomington Water Management Organization. All applicable stormwater fees must be paid to the Public Works Department.
- Final utility plans must be submitted to and approved by the Public Works Director. All new utilities must be underground.
- The applicant is responsible for obtaining all required permits, compliance with all requirements detailed in the City’s Administrative Review Committee Report dated October 10, 2019, and compliance with all other applicable City and State regulations.
- A recorded copy of this resolution must be submitted to the City prior to the issuance of a building permit.
- A preliminary plat must be approved prior to the issuance of a building permit.
- A final plat must be approved and recorded prior to the issuance of a certificate of occupancy.
- Prior to the issuance of a Certificate of Occupancy, the Developer must submit a surety equal to 125% of the value of any improvements not yet complete.
- A maintenance agreement must be executed and approved by the Public Works Director prior to issuance of a Certificate of Occupancy.
- As-builts or \$7,500 cash escrow must be submitted to the Public Works Department prior to issuance of a final Certificate of Occupancy.
- During construction, the applicant shall minimize parking and traffic impacts on public streets related to worker/construction vehicles.

- This approval does not constitute approval of specific signs. Sign permits are required and must be applied for separately.
3. The approved site plan and variances shall expire one year from issuance unless building permits have been issued and substantial work has been performed, or upon written request by the Developer, the Council extends the expiration date for an additional period of up to one year, per Zoning Code Section 547.13, Subd. 9.

Adopted by the City Council of the City of Richfield, Minnesota this 26th day of November, 2019.

Maria Regan Gonzalez, Mayor

ATTEST:

Elizabeth VanHoose, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

EXISTING PARCEL DESCRIPTION:

Certificate of Title No: 845282

Par 1: The East 158 feet of the South 160 feet of the North 1/2 of the East 3/8 of the Northeast Quarter of the Northeast Quarter of Section 29, Township 28, Range 24.

Par 2: The East 330 feet of the North 1/2 of the North 1/2 of the Northeast Quarter,

Except the North 175 feet thereof,

Except the South 25 feet of the North 200 feet of the East 300 feet of said Northeast Quarter and except the East 158 feet of the South 160 feet of the North 1/2 of the East 3/8 of the Northeast Quarter of the Northeast Quarter;

all in Section 29, Township 28, Range 24.

Subject to all rights of access being the right of ingress to and egress from the Southerly line of the North 200 feet of the East 330 feet of the Northeast Quarter of said Section as shown in deed Doc No. 656151; (as to Par 2)

Subject to road easement over the West 30 feet and East 33 feet of the South 150 feet of the North 350 feet of the east 330 feet of the Northeast Quarter of the Northeast Quarter of said Section, as shown in deed Doc. No. 661295; (as to Par 2)

Certificate of Title No: 848433

The North 1/2 of the East 3/8 of the East 1/2 of the North 1/2 of Northeast Quarter;

Except the North 175 feet thereof, and

Except the East 330 feet thereof,

Code Requirements / Required Findings

Part 1 - Site Plan Approval (Subsection 547.13) In evaluating a site plan, the Planning Commission and Council shall consider its compliance with the following:

- a) *Consistency with the various elements and objectives of the City's long range plans including, but not limited to, the Comprehensive Plan.* In the Penn Avenue Corridor, the Mixed Use District is intended to be a vibrant, pedestrian-oriented neighborhood center. The District can accommodate a variety of uses, including multifamily residential development. Proposed density is within the range of 25-100 units per acre allowed in the Penn Avenue Corridor.
- b) *Consistency with the purposes of the Zoning Code.* The purposes of the Zoning Code include: assisting in the implementation of the Comprehensive Plan; creating harmonious and workable relationships among land uses; enhancing and protecting the physical appearance of the City and more. The proposal is consistent with these general purposes.
- c) *Preservation of the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas.* A large amount of the existing site is impervious surfaces. The addition of the apartment building and additional store parking will increase impervious surfaces, but overall will comply with regulations. See (g) below regarding tree protection.
- d) *Creation of a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development.* The architecture and site layout of the apartment building is intended to be complementary to the existing Lunds store. Lunds plans to make future upgrades to the store exterior to further enhance this design language connection.
- e) *Creation of a functional and harmonious design for structures and site features including:*
 - i. *Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors and the general community;*
 - ii. *Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development;*
 - iii. *Appropriateness of the materials, textures, colors and details of construction as an expression of the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions; and*
 - iv. *Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties.*

The proposal includes an improved public sidewalk on Penn Avenue and pedestrian connections to the store entrance. Bicycle parking is provided for residents and customers. Parking lot circulation for the existing store is maintained and parking lot screening will be improved by adding trees and shrubs. Underground and at-grade parking levels provide parking at ratios that meet Code requirements for both the store and apartment building.

- f) *Creation of an energy-conserving design through design location, orientation and elevation of structures, the use and location of glass in structures, and the use of landscape materials and site grading.* The proposal preserves the existing store building while adding new landscaping areas throughout both properties.
- g) *Protection of adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses.* The developer has submitted a survey of existing trees located along the west property line and a tree protection & removals plan. The development must meet all stormwater requirements outlined in the City's Surface Water Management Plan and Richfield Bloomington Water Management Organization.

Part 2 - Variances:

The applicant is requesting variances from Section 537.07, Subdivision 1.

Apartment parcel – Front building setback (20 feet maximum; 42.2 feet proposed to nearest lot line, 141.6 feet proposed to east lot line at Penn Avenue)

Store parcel – Impervious surface coverage (80% maximum; 84.2% proposed on store parcel)

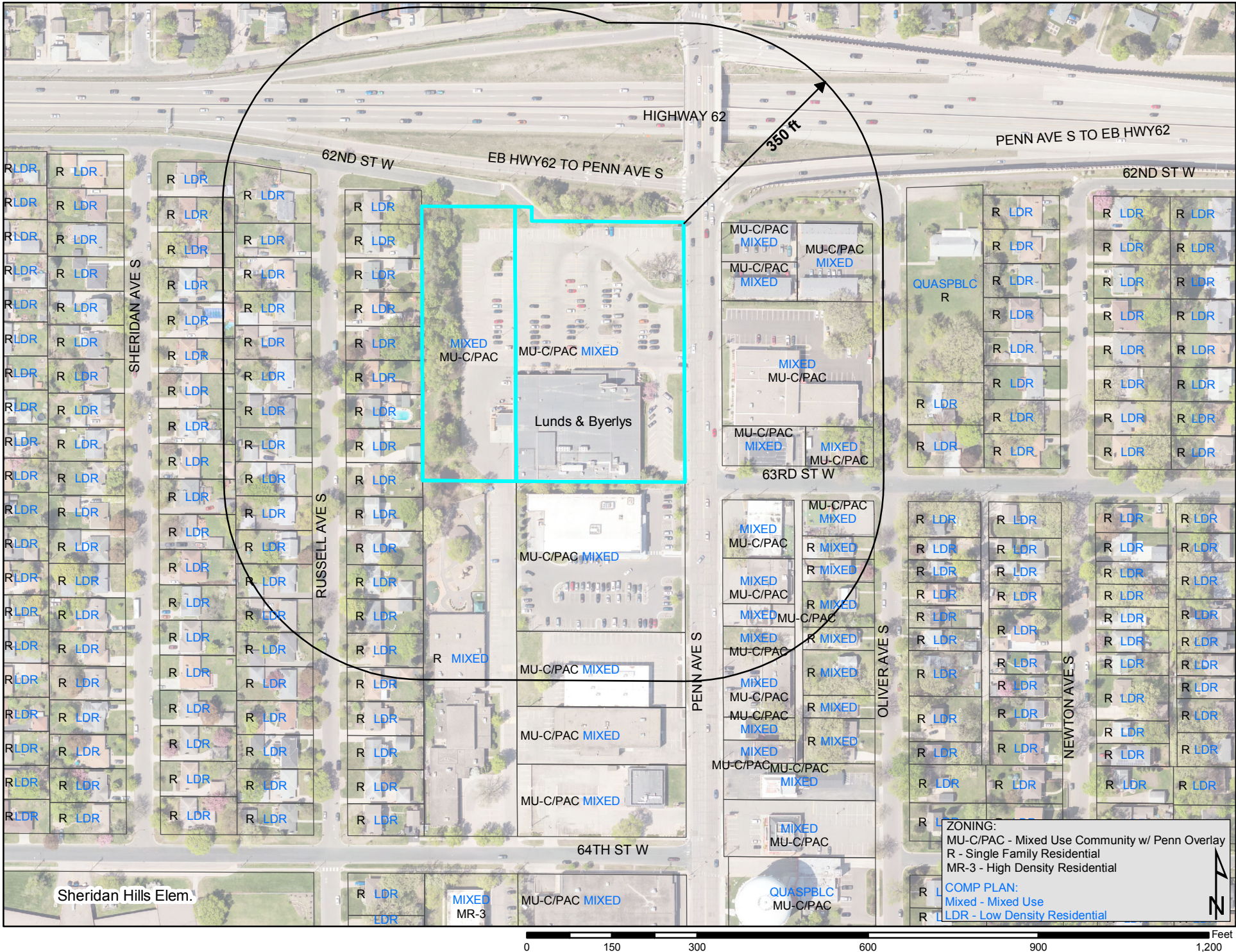
The findings necessary to approve variances are as follows (Subsection. 547.11):

- a) *There are "practical difficulties" that prevent the property owner from using the property in a reasonable manner.* The property owner proposes to add a residential building to the property while causing minimal impact to the existing grocery store, which was built in 1967. Requiring the apartment building to be placed near Penn Avenue would impact access to the grocery store, and would cause the underground parking access for the apartment building to be located on the west side of the building, closer to adjacent residential properties. With regards to impervious surface coverage, the existing property is nearly completely paved over today, with exception to the tree buffer on the west side and private boulevard along Penn Avenue. Due to the reduction in size of the store parcel, desire to maintain adequate parking for the store, and dedication of additional right-of-way to improve the sidewalk along Penn Avenue, the impervious surface coverage on the store parcel would exceed 80% (84.2%). The location of the existing store building and parking lot circulation is a practical difficulty, preventing the property owner from adding a residential building that otherwise fully complies with Zoning Code.
- b) *There are unusual or unique circumstances that apply to the property which were not created by the applicant and do not apply generally to other properties in the same zone or vicinity.* The existing store building was constructed in 1967, prior to the adoption of current Codes. Maintaining the orientation of the store building and parking field, while adding a desired residential use to the property is a unique circumstance. With regards to impervious surface coverage, the division of the property into two parcels is also a unique circumstance. Impervious surface coverage on the combined sites complies with the 80% maximum coverage allowed (79.4% proposed). Staff finds that it is reasonable to consider the two lots together as a cohesive site.
- c) *The variance would not alter the character of the neighborhood or the locality.* The proposed development is designed to minimize impacts on adjacent properties by orienting vehicular access away from the west side of the property. The proposed development will benefit the surrounding neighborhood and City as a whole by maintaining or improving circulation on the site and bringing new residents and

customers to the Penn Avenue Corridor. Negative impacts related to the granting of these variances are not anticipated.

- d) *The variance is the minimum necessary to alleviate the practical difficulty.* The proposed variances are the minimum necessary to reuse this property. While the apartment building could conceivably be located closer to Penn Avenue than proposed, the variance is the minimum necessary to maintain access, parking, and visibility to the existing grocery store building. The purpose of the maximum setback regulation is to locate new buildings close to the street to establish active street frontages and bring building entrances closer to pedestrians on the sidewalk. With regards to impervious surface coverage, the proposed 84.2% coverage proposed on the store parcel exceeds code maximums. Impervious surface coverage of 79.4% on the combined sites complies with the 80% maximum coverage allowed.
- e) *The variance is in harmony with the general purpose and intent of the ordinance and consistent with the Comprehensive Plan.* The proposed plans are consistent with the general purposes and intent of the Zoning Ordinance and Comprehensive Plan as discussed further in Part 1 of this document.

6200-6228 Penn Ave - Lunds Residential - Surrounding Zoning & Comprehensive Plan



Project Narrative

- a. Basic Description. On the site of the existing Lunds & Byerlys grocery store located at 6228 Penn Avenue South, Richfield MN, Lund Real Estate Holdings, LLC (LREH) is proposing to develop the following:
 1. 127-unit multifamily project
 2. 6 Story total building height
 3. 175 internal parking spaces (one level below grade and one at grade)
 4. Parking lot will be reconfigured to accommodate the new structure
 5. Combined parking of interior (175) stalls and exterior (162) stalls totals 337 stalls. City code requires 159 stalls for the multifamily portion of the development and 145 stalls for the grocery store (taking into account the 10% parking reduction allowable for proximity to public transit service) for a total of 304 stalls. While the total number of proposed parking stalls exceeds city requirements by 33 stalls, the number of surface stalls on the grocery parcel following the re-platting will be 142 (3 less than code requirements); however, an REA will be put in place which will give the grocery parcel access to the surface stalls on the multifamily parcel so the grocery parcel will have sufficient stalls to meet code requirements.
 6. Impervious area – Reconfiguration of the parking area along the southeast corner of the grocery lot pushes the grocery site impervious area to 81.7%, exceeding the city requirement of 80%; however, when taking the entire parcel into account, the impervious area for the development remains below the maximum allowed area (total for the site is 78.9%). As such, LREH requests that reconfiguration of this parking area be granted.
 7. Preliminary plat – the site will be re-platted to so that the multifamily project and grocery store will be 2 separate parcels to accommodate separate ownership. REA will be put in place to govern parking, access, sharing of expenses, and other terms and conditions as appropriate.
- b. Timing - It is anticipated that construction will begin in spring of 2020 with a completion within 18 months for an opening in Summer/Fall 2021. Parking lot and drive entrance reconfigurations will be staged to accommodate the need for both access and parking for the L&B store which will remain open throughout the construction period.
- c. Effect on adjacent properties – the site is bordered by Highway 62 to the north, Penn Avenue to the east, Aldi Grocery store to the south of the existing Lunds & Byerlys, so the only properties which might be affected are the single-family homes to the west. In order to have the least affect on these properties, LREH has more than doubled the set back on this side of the project from the required 20 feet to 48 feet. This has the benefit of having the building further away from the homes and it also preserves more of the large trees along the western edge of the property – both items in effect reducing the shadowing on the neighboring properties. Two other design items that reduce the affect on the western neighbors are 1) the location of entrances into the parking garages, and 2) the location of the project's amenity deck. Both of these design elements have been placed in such a way that they are shielded by the building so as to protect the neighbors from any noise or activity related to either. LREH has conducted 2

neighborhood meetings and has arrived at the proposed site plan taking neighborhood concerns into account.

PRELIMINARY SITE CONSTRUCTION PLANS

FOR

LUND'S MULTIFAMILY RESIDENTIAL

6822 PENN AVENUE SOUTH

RICHFIELD, MINNESOTA

ARCHITECT

DORAN

ARCHITECTURE

DORAN COMPANIES

7803 GLENROY ROAD SUITE 200

BLOOMINGTON, MN 55439

(P) - 952-288-2066

CONTACT: JEFF ARSENAULT, AIA

ENGINEER

WENCK

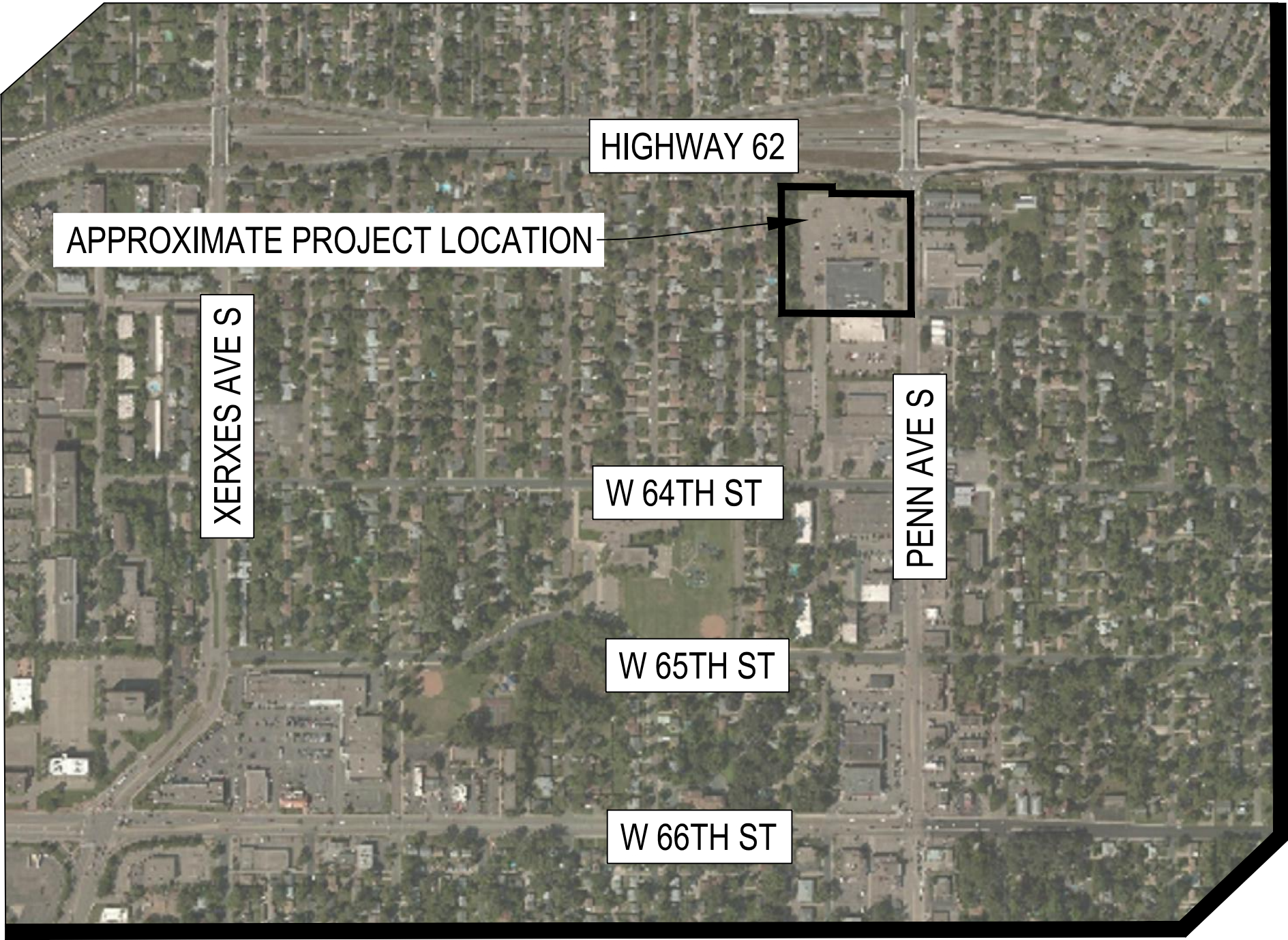
WENCK ASSOCIATES, INC.

7500 OLSON MEMORIAL HIGHWAY #300

GOLDEN VALLEY, MN 55427

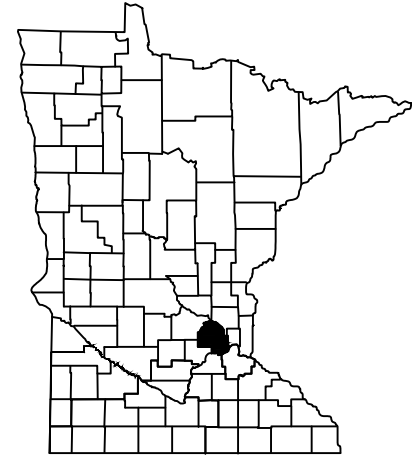
(P) - 763-252-6800

CONTACT: DAN LAVENDER, P.E.



VICINITY MAP

NOT TO SCALE



PROJECT LOCATION

CITY: MINNEAPOLIS

COUNTY: HENNEPIN

THIS PLANSET CONTAINS 13 SHEETS

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-001	COVER SHEET
C-002	SURVEY
C-003	EXISTING CONDITIONS
C-004	SITE CONTEXT MAP
C-005	REMOVAL PLAN AND EROSION CONTROL PHASE 1
C-101	SITE PLAN
C-102	ACCESSIBILITY PLAN
C-201	EROSION CONTROL PHASE 2
C-301	GRADING PLAN
C-401	WATER AND SANITARY SEWER PLAN
C-501	STORM SEWER PLAN
L-101	LANDSCAPE PLAN
L-102	LANDSCAPE NOTES AND DETAILS

ARCHITECT:

DORAN

COMPANIES

7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

CIVIL ENGINEER

WENCK

7500 OLSON MEMORIAL HIGHWAY #300
GOLDEN VALLEY, MN 55427
PHONE: 763-252-6800
WWW.WENCK.COM

ISSUE RECORD

No.	Description	Date
1	CITY SUBMITTAL	9/25/19
2	CITY RE-SUBMITTAL	10/14/19

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.: _____

DATE: _____

PROJECT

Richfield Lunds & Byerlys Apartments

LOCATION

6228 Penn Ave S.
Richfield, MN 55423

PROJECT NUMBER

5498-0003

ISSUE DATE

09/25/2019

ISSUE NO.

1

DRAWN BY

JTP

CHECKED BY

JRA

APPROVED BY

DL

PREPARED FOR

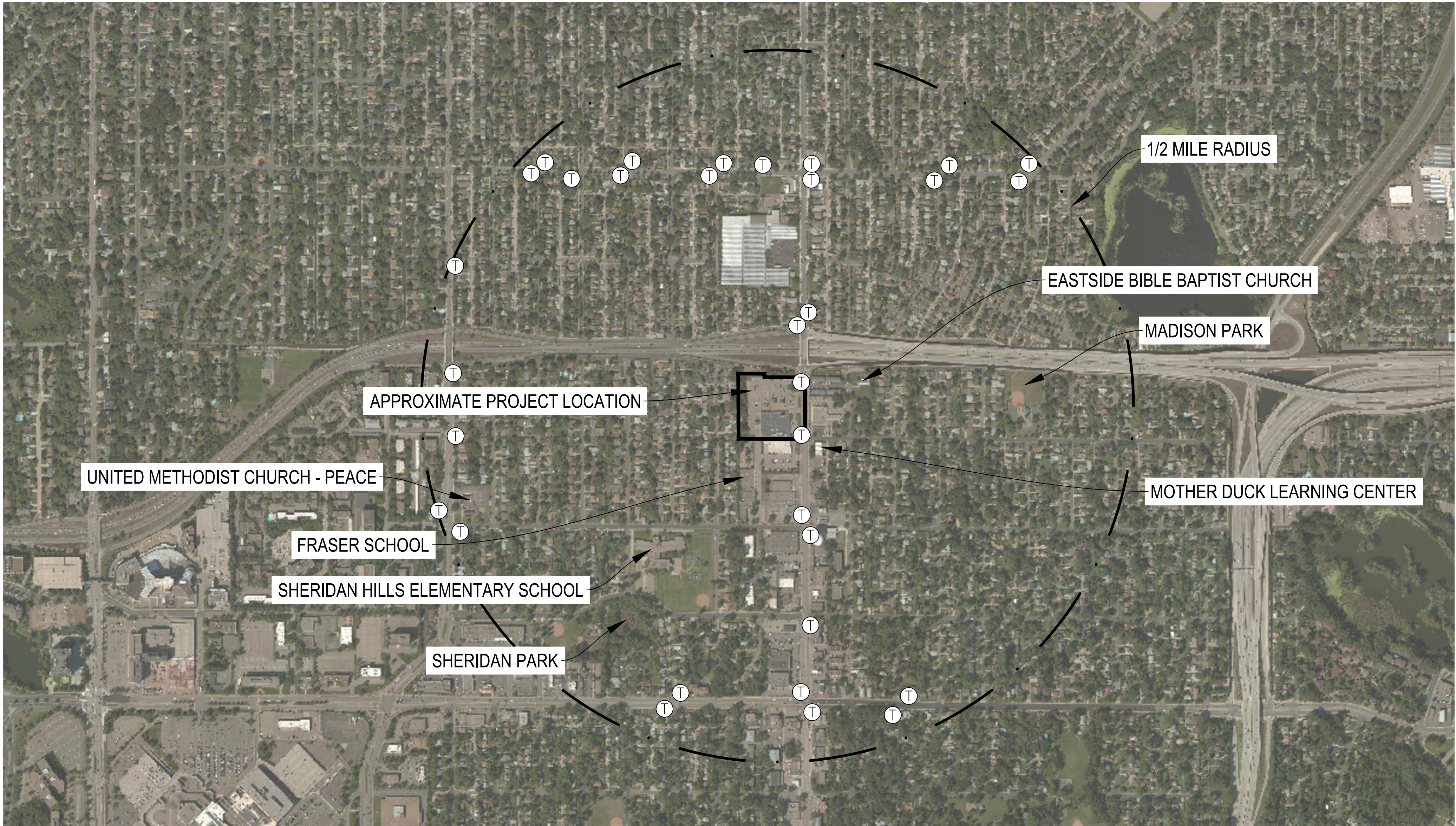
LUND REAL ESTATE HOLDINGS, LLC.

SHEET TITLE

COVER SHEET

SHEET NUMBER

C-001



SITE CONTEXT MAP

NOT TO SCALE

- Ⓣ NUMBER OF TRANSIT STOPS WITHIN 0.5 MILE RADIUS OF SITE: 30
APPROXIMATE (AERIAL) DISTANCE FROM SITE TO 3 CLOSEST TRANSIT STOPS:
- 1.320'
 - 2.500'
 - 3.535'

- OTHER LOCATIONS OF NOTE, AND APPROXIMATE AERIAL DISTANCE FROM SITE:
- SHERIDAN HILLS ELEMENTARY SCHOOL (SCHOOL) - 1,250'
 - FRASER SCHOOL (SCHOOL) - 660'
 - MOTHER DUCK LEARNING CENTER (SCHOOL) - 630'
 - MADISON PARK (PARK) - 1,820'
 - SHERIDAN PARK (PARK) - 1,800'
 - EASTSIDE BIBLE BAPTIST CHURCH (CHURCH) - 770'
 - UNITED METHODIST CHURCH - PEACH (CHURCH) - 2,240'

ARCHITECT:

DORAN
COMPANIES
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LOCATION
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Richfield, MN 55423

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PREPARED FOR
LUND REAL ESTATE HOLDINGS, LLC.

SHEET TITLE
SITE CONTEXT MAP

SHEET NUMBER

C-004

PLOT DATE: 9/10/2019 9:53:39 AM

MA 5498.0003, Richfield, Multifamily 4, SURVEY, CAD 5498-0003, sheet 1.dwg
Plot Date & Time: 23 September 2019 8:12 AM

CERTIFICATE OF SURVEY

6228 PENN AVENUE SOUTH, RICHFIELD, MN

EXISTING PARCEL DESCRIPTION:
Certificate of Title No: 845282

Par 1: The East 158 feet of the South 160 feet of the North 1/2 of the East 3/8 of the Northeast Quarter of the Northeast Quarter of Section 29, Township 28, Range 24.
Par 2: The East 330 feet of the North 1/2 of the North 1/2 of the Northeast Quarter, Except the North 175 feet thereof, Except the South 25 feet of the North 200 feet of the East 300 feet of said Northeast Quarter and except the East 158 feet of the South 160 feet of the North 1/2 of the East 3/8 of the Northeast Quarter of the Northeast Quarter; all in Section 29, Township 28, Range 24.

Subject to all rights of access being the right of ingress to and egress from the Southerly line of the North 200 feet of the East 330 feet of the Northeast Quarter of said Section as shown in deed Doc No. 656151; (as to Par 2)
Subject to road easement over the West 30 feet and East 33 feet of the South 150 feet of the North 350 feet of the east 330 feet of the Northeast Quarter of the Northeast Quarter of said Section, as shown in deed Doc. No. 661295; (as to Par 2)

Certificate of Title No: 848433

The North 1/2 of the East 3/8 of the East 1/2 of the North 1/2 of Northeast Quarter;
Except the North 175 feet thereof, and
Except the East 330 feet thereof,


Section 29, Township 28, Range 24.

SURVEYORS NOTES:

- Bearings shown hereon and CAD files provided by the surveyor are in the Hennepin County Coordinate System NAD83(11).
- Elevations shown hereon are in the NAVD88 vertical datum.
- Underground utility lines shown hereon are based on markings and maps provided as a result of a Gopher State One Call utility locate request. Wenck cannot guarantee that all lines were marked or that the markings or maps are accurate or complete.

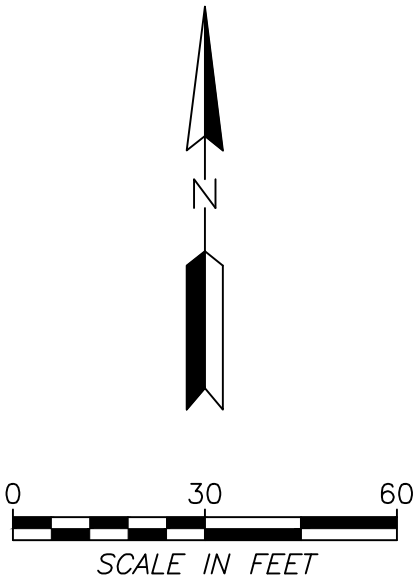
SURVEYORS CERTIFICATION:

I hereby certify that this survey was completed by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.


Chris Ambourn
LS 43055
9/23/2019
Date

LEGEND

- FOUND MONUMENT
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ STORM SEWER MANHOLE
 - ⊙ STORM SEWER INLET
 - ⊙ STORM SEWER INLET
 - △ FLARED END SECTION
 - ⊙ CURB STOP VALVE
 - ⊙ HYDRANT
 - ⊙ WATER GATE VALVE
 - ⊙ AUTO SPRINKLER
 - ⊙ POST INDICATOR VALVE
 - ⊙ GAS VALVE
 - ⊙ GAS METER
 - ⊙ COMMUNICATIONS PEDESTAL
 - ⊙ TELEPHONE MANHOLE
 - ⊙ ELECTRICAL PEDESTAL
 - ⊙ ELECTRIC METER
 - ⊙ ELECTRIC TRANSFORMER
 - ⊙ ELECTRIC MANHOLE
 - ⊙ TRAFFIC SIGN
 - BOLLARD/POST
 - ⊙ UTILITY POLE
 - ⊙ ANCHOR CABLE
 - ⊙ LIGHT POLE
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE
 - ⊙ HANDICAP PARKING SPACE
 - ⊙ HAND HOLE
- X FENCE LINE
 - GUARD RAIL
 - ▨ RETAINING WALL
 - ▨ STORM SEWER
 - ▨ SANITARY SEWER
 - ▨ WATERMAIN
 - ▨ IRRIGATION LINE
 - ▨ UNDERGROUND GAS LINE
 - ▨ UNDERGROUND COMMUNICATION LINE
 - ▨ UNDERGROUND FIBER OPTIC LINE
 - ▨ UNDERGROUND ELECTRIC LINE
 - ▨ OVERHEAD UTILITY LINE
 - ▨ TREE LINE
 - ▨ BUILDING



Responsive partner. Exceptional outcomes.

1802 WOODDALE DR.
WOODBURY, MN, 55125

Ph:651-485-5212

CLIENT NAME

LUND FOOD HOLDINGS, INC.

PROJECT TITLE

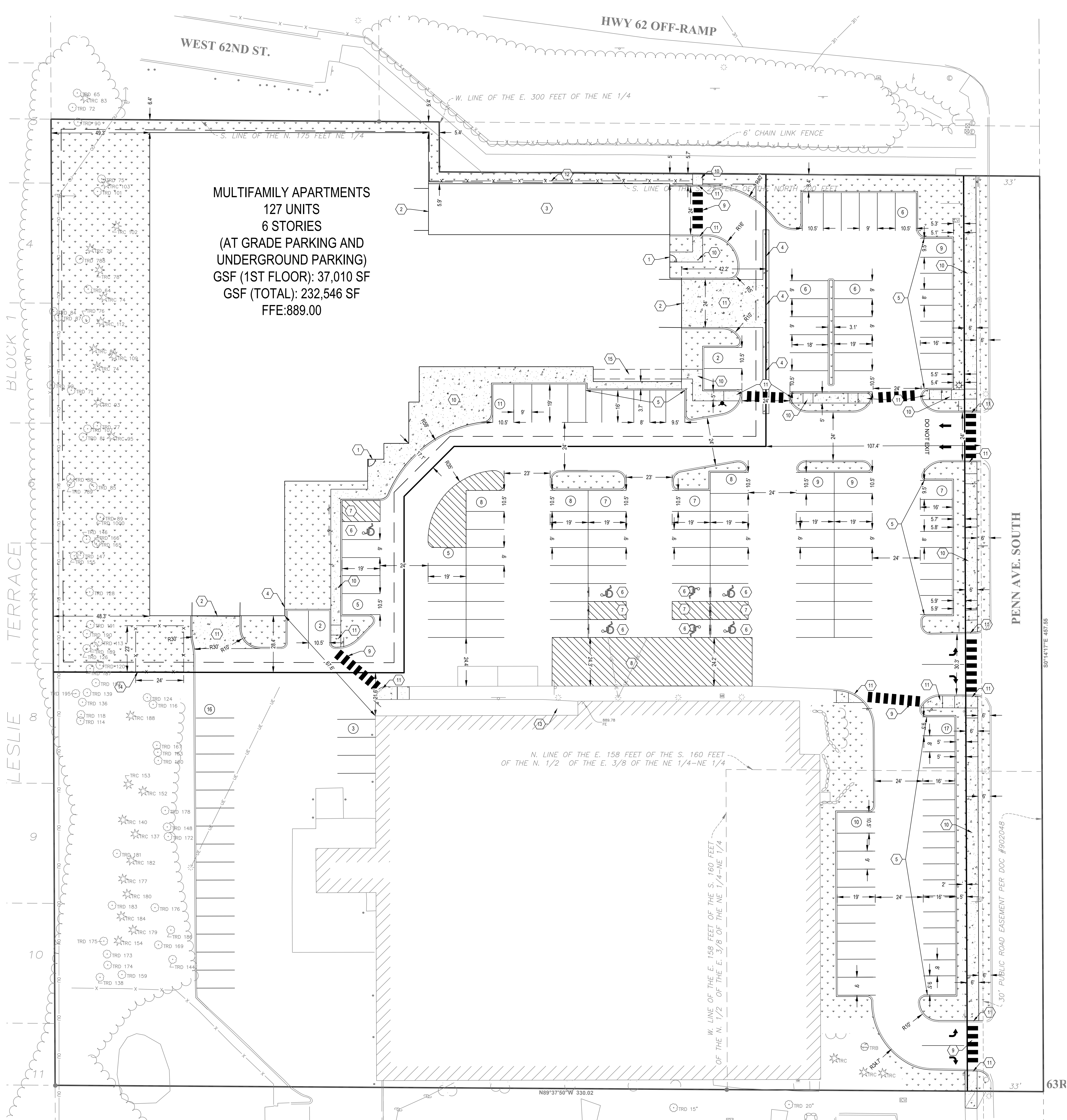
CERTIFICATE OF SURVEY

DWN BY CHK'D APP'D DWG DATE SEE ABOVE

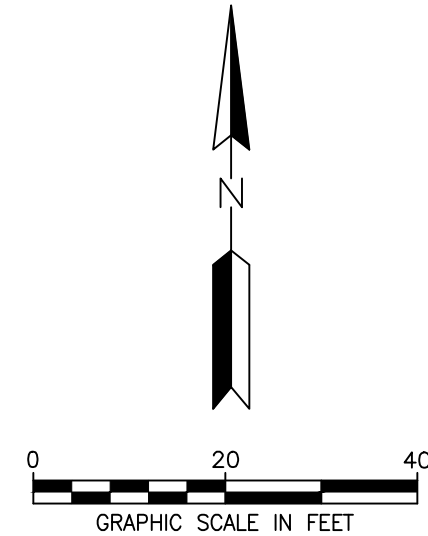
LL CNA CNA SCALE 1" = 30'

PROJECT NO. SHEET NO.

5498-0003 1 OF 1



MULTIFAMILY APARTMENTS
127 UNITS
6 STORIES
(AT GRADE PARKING AND
UNDERGROUND PARKING)
GSF (1ST FLOOR): 37,010 SF
GSF (TOTAL): 232,546 SF
FFE:889.00



SITE ANALYSIS TABLE			
ADDRESS	6200 PENN AVE S, RICHFIELD, MN 55423		
EXISTING ZONING	MU-CIPAC WITH H PENN OVERLAY		
PROPOSED ZONING	MU-CIPAC WITH H PENN OVERLAY		
PROPOSED USE	MULTIFAMILY RESIDENTIAL		
LOT AREA SUMMARY			
LOT NUMBER	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING PARCEL SUMMARY	5.30	3.94	1.36
PROPOSED PARCEL 1 (MULTIFAMILY RESIDENTIAL)	1.70	1.20	0.50
PROPOSED PARCEL 2 (LUND'S GROCERY)	3.20	2.70	0.50
COMBINED PARCELS (TOTAL)	4.90	3.90	1.00
PROPOSED USE 3 (PENN AVE ROW)	0.40	0.35	0.05
BUILDING SUMMARY			
LOT NUMBER	BUILDING FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	# OF STORIES
PROPOSED USE 1 (MULTIFAMILY RESIDENTIAL)	36,554	219,324	6
PROPOSED USE 2 (LUND'S GROCERY)	41,726	40,231	1
PARKING SUMMARY			
TOTAL PARKING	REQUIRED	PROPOSED	
MULTIFAMILY RES. BREAKDOWN		20 SURFACE STALLS	175 UNDERGROUND STALLS
MULTIFAMILY RESIDENTIAL	159 (127 UNITS)		
LUND'S GROCERY	161 STALLS (40,231 GFA)		141 STALLS
ACCESSIBLE PARKING	REQUIRED	PROPOSED	
MULTIFAMILY RESIDENTIAL	1	1	
LUND'S GROCERY	6	6	
GREENSPACE SUMMARY			
	CODE REQUIREMENT	LOT 1 PROPOSED	LOT 2 PROPOSED
IMPERVIOUS AREA (INCL. BLDG.)	80% MAX	70.4%	84.2%
PERVIOUS AREA	20% MIN	29.6%	15.8%
BUILDING AREA	25-50%	49.0%	28.8%
SETBACK SUMMARY			
	REQUIRED	LOT 1 PROPOSED	
FRONT	20' MAX, 10' MIN	149.2'	
SIDE	5'	5'	
REAR	5'	5'	
NOTES:			
1. MULTIFAMILY RESIDENTIAL USE IN MU-CIPAC ZONE REQUIRES 1.25 PARKING STALLS PER UNIT			
2. COMMERCIAL RETAIL USE IN MU-CIPAC ZONE REQUIRES 4 PARKING STALLS PER 1000 SF GFA			

LEGEND	
	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	CURB AND GUTTER
	BITUMINOUS PAVEMENT
	CONCRETE SIDEWALK
	GRASS / LANDSCAPING
	PROPOSED PARKING COUNT

- KEYNOTES
- DOOR LOCATION / STRUCTURAL STOOP - SEE ARCHITECTURAL / STRUCTURAL PLANS
 - GARAGE ENTRANCE - SEE ARCHITECTURAL PLANS
 - RAMP TO GARAGE ENTRANCE - SEE ARCHITECTURAL PLANS
 - CONCRETE VALLEY GUTTER
 - COMPACT STALLS (8x16)
 - ACCESSIBLE STALL WITH SIGN
 - ACCESSIBLE STALL ASILE WITH SIGN
 - PEDESTRIAN CROSSING AREA - STRIPED WITH SYSL @ 45° 2' O.C.
 - CROSSWALK - SEE DETAIL
 - CONCRETE SIDEWALK - SEE DETAIL
 - CONCRETE RAMP ENTRANCE - SEE DETAIL
 - FENCE - SEE ARCHITECTURAL PLANS FOR DETAIL
 - BIKE PARKING SPACES
 - DOG RUN - SEE ARCHITECTURAL PLANS FOR DETAIL
 - SIDEWALK ACCESS THROUGH BUILDING - SEE ARCHITECTURAL / STRUCTURAL PLANS

- NOTES:
- MULTIFAMILY RESIDENTIAL USE IN MU-CIPAC ZONE REQUIRES 1.25 PARKING STALLS PER UNIT
 - COMMERCIAL RETAIL USE IN MU-CIPAC ZONE REQUIRES 4 STALLS PER 1000 SF GFA

ARCHITECT:

DORAN
COMPANIES

7803 Glenroy Road, Suite 200
Bloomington, MN 55439
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CIVIL ENGINEER

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LICENSE NO.:
DATE:

PROJECT
Richfield Lunds &
Byerlys Apartments

LOCATION
6228 Penn Ave S,
Richfield, MN 55423

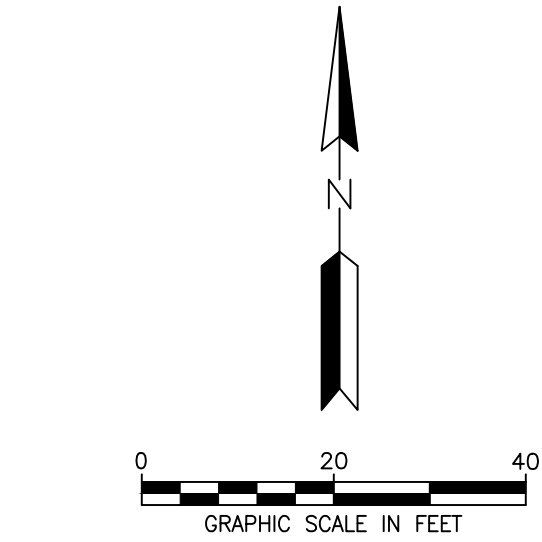
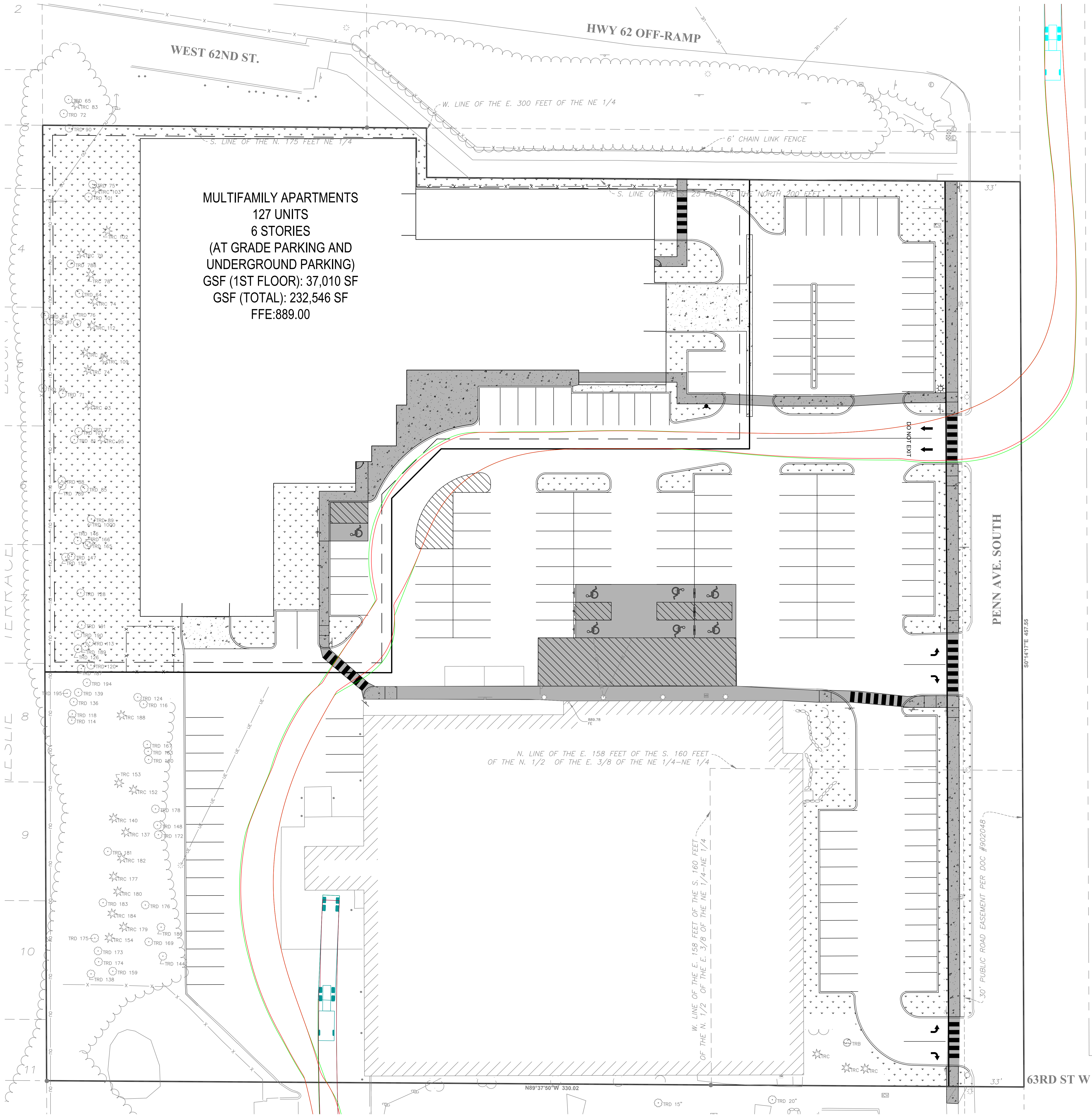
PROJECT NUMBER
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ISSUE DATE
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1
DRAWN BY
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CHECKED BY
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DL

PREPARED FOR
LUND REAL ESTATE HOLDINGS, LLC.

SHEET TITLE
SITE PLAN

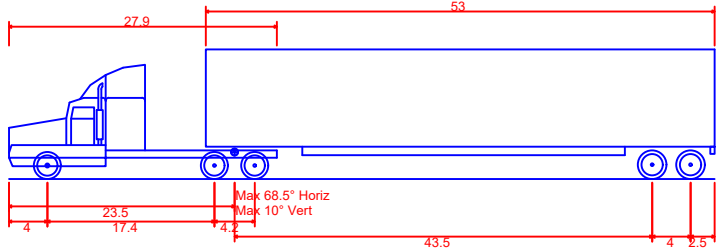
SHEET NUMBER

C-101



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	ACCESSIBLE ROUTE



WB-67 - Interstate Semi-Trailer
Overall Length 73.50ft
Overall Width 8.50ft
Overall Body Height 13.50ft
Min Body Ground Clearance 1.35ft
Max Trailer Width 8.50ft
Lock-to-lock time 0.00s
Max Steering Angle (Virtual) 28.40°

ARCHITECT:

DORAN
COMPANIES

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Byerlys Apartments**

LOCATION

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Richfield, MN 55423**

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ISSUE DATE

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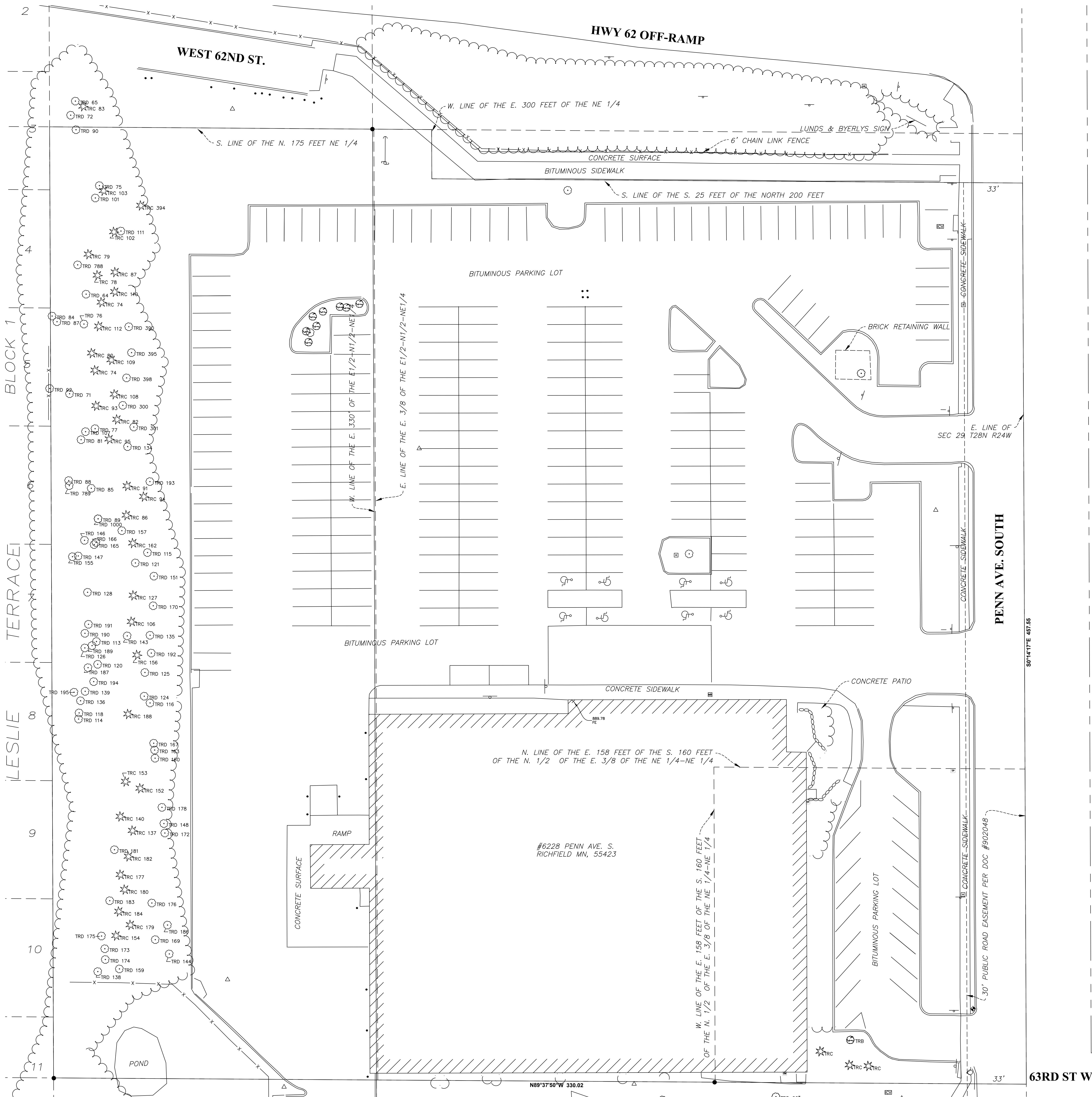
SHEET TITLE

ACCESSIBILITY PLAN

SHEET NUMBER

C-102

PLOT DATE: 9/10/2019 9:53:39 AM



Tag ID	Common	Scientific	Height	DBH 1	DBH 2	DBH 3	DBH 4	DBH 5	DBH 6	DBH 7	DBH 8	REMOVED?
64	green ash	fraxinus pennsylvanica	9									No
65	boxelder	acer negundo	17	14								No
71	little leaf linden	tilia cordata	13									No
72	green ash	fraxinus pennsylvanica	8									No
73	scotch pine	pinus sylvestris	35	9								No
74	scotch pine	pinus sylvestris	50	8								No
75	green ash	fraxinus pennsylvanica	5	3								No
76	quaking aspen	populus tremuloides	7									No
77	little leaf linden	tilia cordata	8									No
78	scotch pine	pinus sylvestris	30	7								No
79	scotch pine	pinus sylvestris	35	6								No
80	scotch pine	pinus sylvestris	50	9								No
81	eastern cottonwood	populus deltoides	12									No
82	scotch pine	pinus sylvestris	55	10								Yes
83	red pine	pinus resinosa	45	18								No
84	quaking aspen	populus tremuloides	5									No
85	green ash	fraxinus pennsylvanica	9									No
86	Colorado blue spruce	picea pungens	25	5								Yes
87	green ash	fraxinus pennsylvanica	5	4								Yes
88	boxelder	acer negundo	13									No
89	green ash	fraxinus pennsylvanica	5									No
90	green ash	fraxinus pennsylvanica	4									No
91	scotch pine	pinus sylvestris	65	11								Yes
92	boxelder	acer negundo	8									No
93	scotch pine	pinus sylvestris	50	9								No
94	scotch pine	pinus sylvestris	45	9								Yes
95	scotch pine	pinus sylvestris	50	9								No
101	hackberry	celtis occidentalis	6									No
102	red pine	pinus resinosa	40	12								No
103	red pine	pinus resinosa	40	13								No
106	scotch pine	pinus sylvestris	4									Yes
107	eastern cottonwood	populus deltoides	19									No
108	scotch pine	pinus sylvestris	60	10								Yes
109	scotch pine	pinus sylvestris	55	10								No
110	scotch pine	pinus sylvestris	30	9								Yes
111	hackberry	celtis occidentalis	15									Yes
112	scotch pine	pinus sylvestris	60	9								No
113	green ash	fraxinus pennsylvanica	5									No
114	green ash	fraxinus pennsylvanica	11	7								No
115	amur maple	acer ginnala	5	4	4	5						Yes
116	little leaf linden	tilia cordata	10									No
118	green ash	fraxinus pennsylvanica	12	3								No
119	green ash	fraxinus pennsylvanica	6									No
120	green ash	fraxinus pennsylvanica	5									No
121	amur maple	acer ginnala	7	4	4	1	5					Yes
124	boxelder	acer negundo	5									No
125	american elm	ulmus americana	7									Yes
126	green ash	fraxinus pennsylvanica	4									No
127	scotch pine	pinus sylvestris	30	8								Yes
128	silver maple	acer saccharinum	13									No
134	boxelder	acer negundo	7									Yes
135	red mulberry	morus rubra	7	4								No
135	little leaf linden	tilia cordata	9									Yes
136	eastern cottonwood	populus deltoides	23									No
137	Colorado blue spruce	picea pungens	35	7								No
138	green ash	fraxinus pennsylvanica	5									No
139	green ash	fraxinus pennsylvanica	4									No
140	Colorado blue spruce	picea pungens	35	7								No
143	quaking aspen	populus tremuloides	5									Yes
144	red mulberry	morus rubra	4	3								No
147	green ash	fraxinus pennsylvanica	12									No
148	red mulberry	morus rubra	4	2	1							No
151	amur maple	acer ginnala	4	5	5	4						Yes
152	scotch pine	pinus sylvestris	45	10								No
153	Colorado blue spruce	picea pungens	20	6								No
154	Colorado blue spruce	picea pungens	25	5								No
155	boxelder	acer negundo	5									No
156	scotch pine	pinus sylvestris	65	10								Yes
157	quaking aspen	populus tremuloides	6									Yes
159	eastern cottonwood	populus deltoides	22	17								No
160	red mulberry	morus rubra	4	1								No
162	Colorado blue spruce	picea pungens	20	4								Yes
163	green ash	fraxinus pennsylvanica	4									No
165	green ash	fraxinus pennsylvanica	10									No
166	green ash	fraxinus pennsylvanica	6									No
167	amur maple	acer ginnala	5	4								No
169	red mulberry	morus rubra	5	5								No
170	amur maple	acer ginnala	7	7	5	6						Yes
172	red mulberry	morus rubra	3	5	4							No
173	silver maple	acer saccharinum	6									No
174	green ash	fraxinus pennsylvanica	5									No
175	silver maple	acer saccharinum	6	3								No
176	green ash	fraxinus pennsylvanica	10									No
177	Colorado blue spruce	picea pungens	35	7								No
178	red mulberry	morus rubra	5	3								No
179	Colorado blue spruce	picea pungens	35	6								No
180	Colorado blue spruce	picea pungens	30	6								No
181	red mulberry	morus rubra	4	4	3							No
182	Colorado blue spruce	picea pungens	35	6								No
183	silver maple	acer saccharinum	6	4	7	7	8	3	8	7		No
184	Colorado blue spruce	picea pungens	30	5								No
186	red mulberry	morus rubra	4									No
187	green ash	fraxinus pennsylvanica	4									No
188	scotch pine	pinus sylvestris	50	8								No
189	green ash	fraxinus pennsylvanica	4									No
190	green ash	fraxinus pennsylvanica	4									No
191	green ash	fraxinus pennsylvanica	7									No
192	green ash	fraxinus pennsylvanica	4									Yes
193	red mulberry	morus rubra	5									Yes
194	green ash	fraxinus pennsylvanica	9									No
195	eastern cottonwood	populus deltoides	10									No
196	boxelder	acer negundo	4									No
300	amur maple	acer ginnala	4									Yes
301	red mulberry	morus rubra	9									Yes
390	green ash	fraxinus pennsylvanica	9									Yes
392	amur maple	acer ginnala	3	4	4	2	2					No
394	green ash	fraxinus pennsylvanica	9									Yes
395	amur maple	acer ginnala	4	4	4	3	4					Yes
398	amur maple	acer ginnala	6									Yes
787	scotch pine	pinus sylvestris	30	10								No
788	eastern cottonwood	populus deltoides	17									No
789	boxelder	acer negundo	17									No
1000	green ash	fraxinus pennsylvanica	7									No

ARCHITECT:

DORAN
COMPANIES

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Bloomington, MN 55439
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CIVIL ENGINEER



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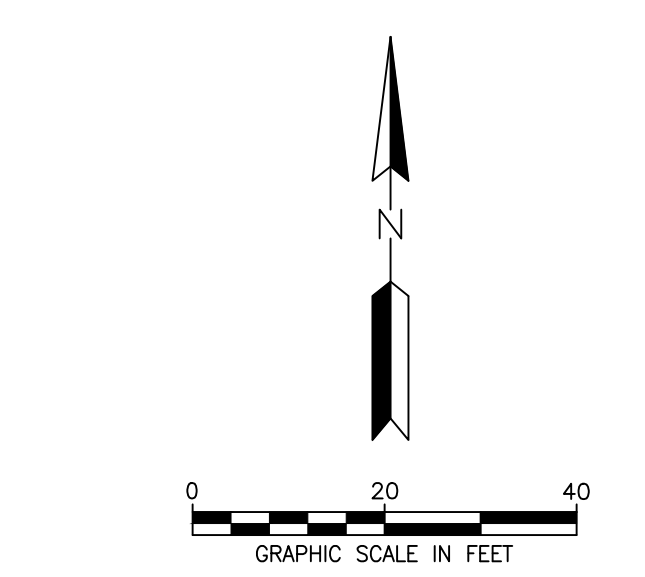
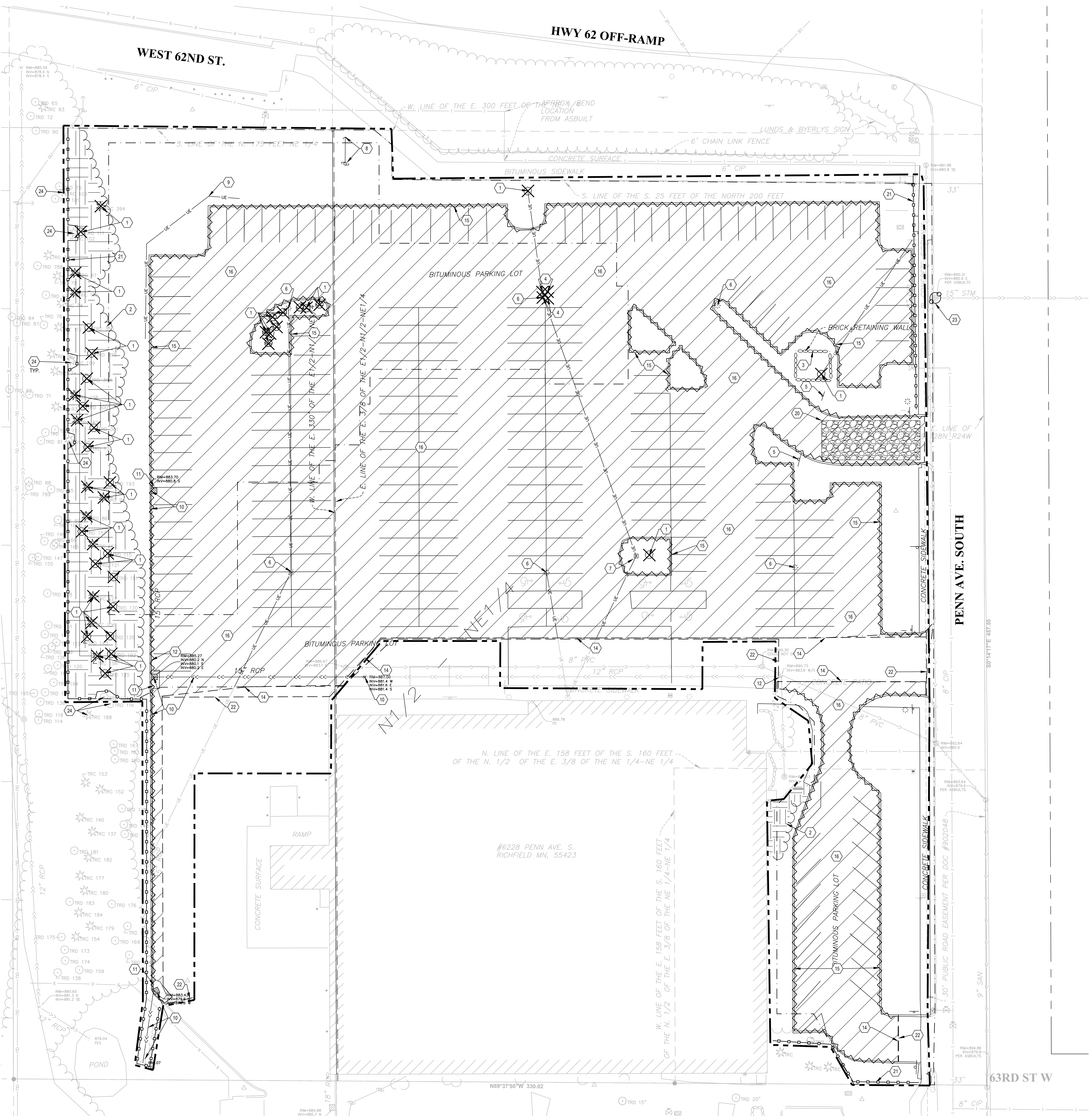
SHEET TITLE

TREE SURVEY

SHEET NUMBER

C-004

PLOT DATE: 9/10/2019 9:53:39 AM



- LEGEND**
- PROPERTY BOUNDARY
 - LOT LINE
 - EASEMENT LINE
 - SETBACK LINE
 - RIGHT OF WAY LINE
 - EXISTING EASEMENT LINE
 - EXISTING PROPERTY LINE
 - REMOVE FENCE
 - REMOVE STORM SEWER
 - REMOVE SANITARY SEWER
 - REMOVE WATERMAIN
 - REMOVE UNDERGROUND ELECTRIC LINE
 - REMOVE OVERHEAD UTILITY LINE
 - REMOVE BITUMINOUS PAVEMENT
 - REMOVE CONCRETE PAVEMENT
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING
 - CLEAR AND GRUB AREA
 - REMOVE CURB AND GUTTER
 - SAWCUT PAVEMENT
 - REMOVE STORM SEWER INLET
 - REMOVE HYDRANT
 - REMOVE WATER VALVE
 - REMOVE IRRIGATION CONTROL VALVE
 - REMOVE SIGN
 - REMOVE BOLLARD/POST
 - REMOVE UTILITY POLE
 - REMOVE ANCHOR CABLE
 - REMOVE LIGHT POLE
 - REMOVE DECIDUOUS TREE
 - REMOVE CONIFEROUS TREE
 - REMOVE SHRUB/BUSH
 - REMOVE HAND HOLE
 - REMOVE MAILBOX
 - GRADING LIMITS
 - CONSTRUCTION LIMITS
 - ROCK CONSTRUCTION ENTRANCE
 - SILT FENCE
 - FLOTATION SILT CURTAIN
 - BIOLOG (OR DITCH CHECK)
 - INLET PROTECTION
 - TREE PROTECTION

- KEYNOTES**
- REMOVE TREE/SHRUB
 - CLEAR AND GRUB AREA
 - REMOVE RETAINING WALL
 - REMOVE BOLLARD
 - SALVAGE SIGNPOST
 - REMOVE LIGHTPOLE AND FOUNDATION. COORDINATE WITH UTILITY COMPANY
 - REMOVE HANDHOLE. COORDINATE WITH UTILITY COMPANY
 - REMOVE UTILITY POLE/GUY ANCHOR. COORDINATE WITH UTILITY COMPANY
 - REMOVE UNDERGROUND ELECTRIC
 - REMOVE STORM SEWER/STORM STRUCTURE
 - REMOVE CONCRETE COLLAR
 - REMOVE AND REPLACE STRUCTURE CASTING. SEE STORM SEWER PLAN.
 - SALVAGE AND REINSTALL HYDRANT AND GATE VALVE
 - SAWCUT BITUMINOUS PAVEMENT
 - REMOVE CURB AND GUTTER
 - REMOVE BITUMINOUS PAVEMENT
 - THRU 19 NOT USED
 - INSTALL ROCK CONSTRUCTION ENTRANCE. LOCATION MAY CHANGE WITH PROJECT PHASING. CONTRACTOR TO ENSURE ENTRANCE TO SITE IS STABILIZED AT ALL TIMES.
 - INSTALL SILT FENCE
 - INSTALL BIOLOG
 - INSTALL INLET PROTECTION
 - PROTECT EXISTING TREE

ARCHITECT:

DORAN
COMPANIES

7803 Glenroy Road, Suite 200
Bloomington, MN 55439
652-288-2000
652-288-2031 fax

CIVIL ENGINEER

WENCK

7500 OLSON MEMORIAL HIGHWAY #300
GOLDEN VALLEY, MN 55427
PHONE: 763-252-6800
WWW.WENCK.COM

ISSUE RECORD

No.	Description	Date
1	CITY SUBMITTAL	9/25/19
2	CITY RE SUBMITTAL	10/14/19

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LICENSE NO.:
DATE:

PROJECT

Richfield Lunds & Byerlys Apartments

LOCATION

6228 Penn Ave S.
Richfield, MN 55423

PROJECT NUMBER
5498-0003

ISSUE DATE
09/25/2019

ISSUE NO.
1

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JTP

CHECKED BY
JRA

APPROVED BY
DL

PREPARED FOR

LUND REAL ESTATE HOLDINGS, LLC.

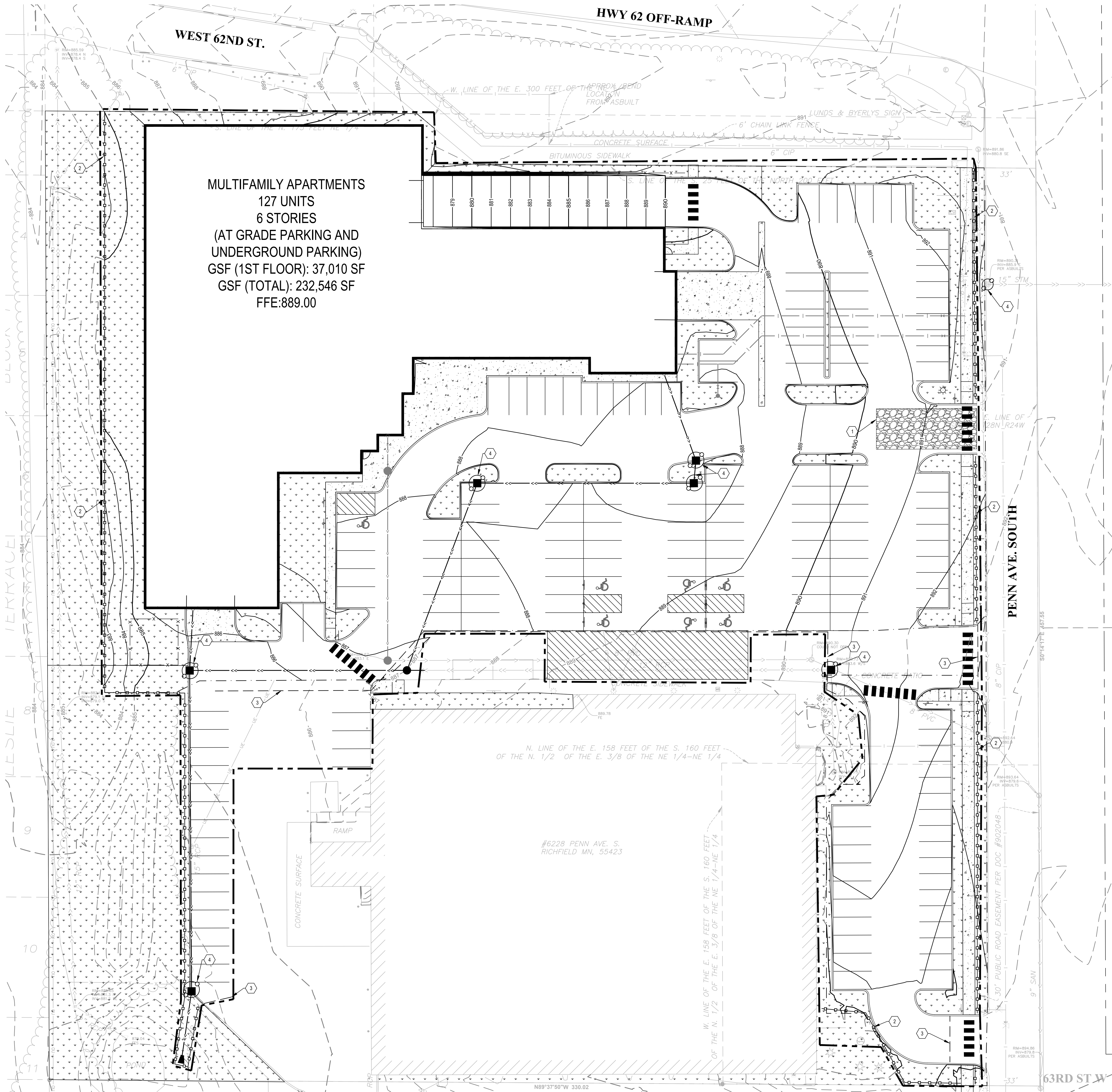
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REMOVAL PLAN AND EROSION CONTROL PHASE 1

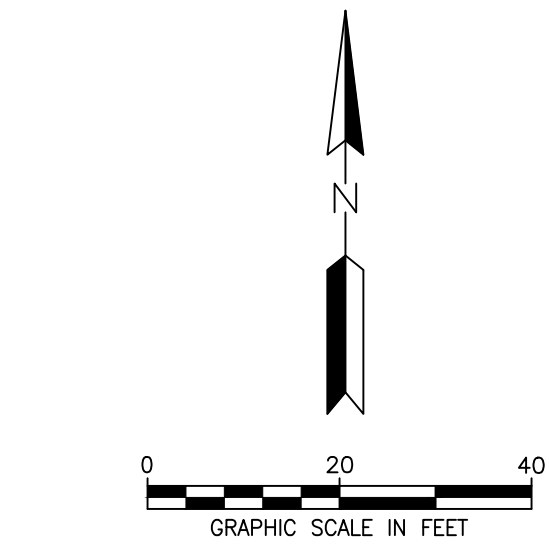
SHEET NUMBER

C-006

PLOT DATE: 9/10/2019 9:53:39 AM



MULTIFAMILY APARTMENTS
127 UNITS
6 STORIES
(AT GRADE PARKING AND
UNDERGROUND PARKING)
GSF (1ST FLOOR): 37,010 SF
GSF (TOTAL): 232,546 SF
FFE:889.00



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING SANITARY MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER INLET
	EXISTING FLARED END SECTION
	EXISTING HYDRANT
	EXISTING WATER WELL
	EXISTING WATER VALVE
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	STORM MANHOLE
	STORM CATCH BASIN
	SANITARY MANHOLE
	HYDRANT
	GATE VALVE
	ROCK CONSTRUCTION ENTRANCE
	EROSION CONTROL BLANKET
	SEED
	SILT FENCE
	BIOLOG
	INLET PROTECTION

KEYNOTES

1. INSTALL ROCK CONSTRUCTION ENTRANCE. LOCATION MAY CHANGE WITH PROJECT PHASING. CONTRACTOR TO ENSURE ENTRANCE TO SITE IS STABILIZED AT ALL TIMES.
2. INSTALL SILT FENCE
3. INSTALL BIOLOG
4. INSTALL INLET PROTECTION

ARCHITECT:

DORAN
COMPANIES

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CIVIL ENGINEER



WENCK

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Richfield Lunds & Byerlys Apartments

LOCATION

**6228 Penn Ave S,
Richfield, MN 55423**

PROJECT NUMBER

5498-0003

ISSUE DATE

09/25/2019

ISSUE NO.

1

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JTP

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JRA

APPROVED BY

DL

PREPARED FOR

LUND REAL ESTATE HOLDINGS, LLC.

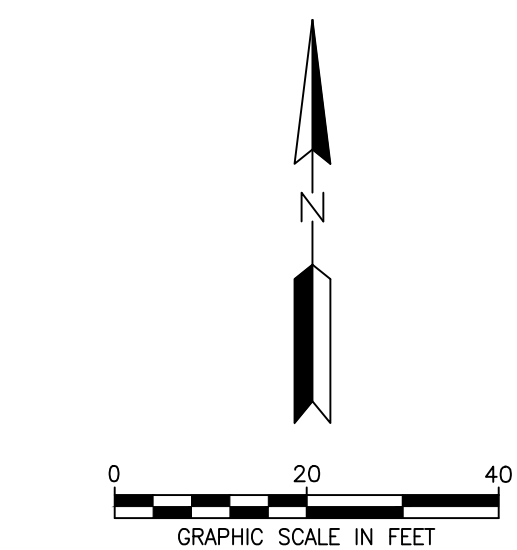
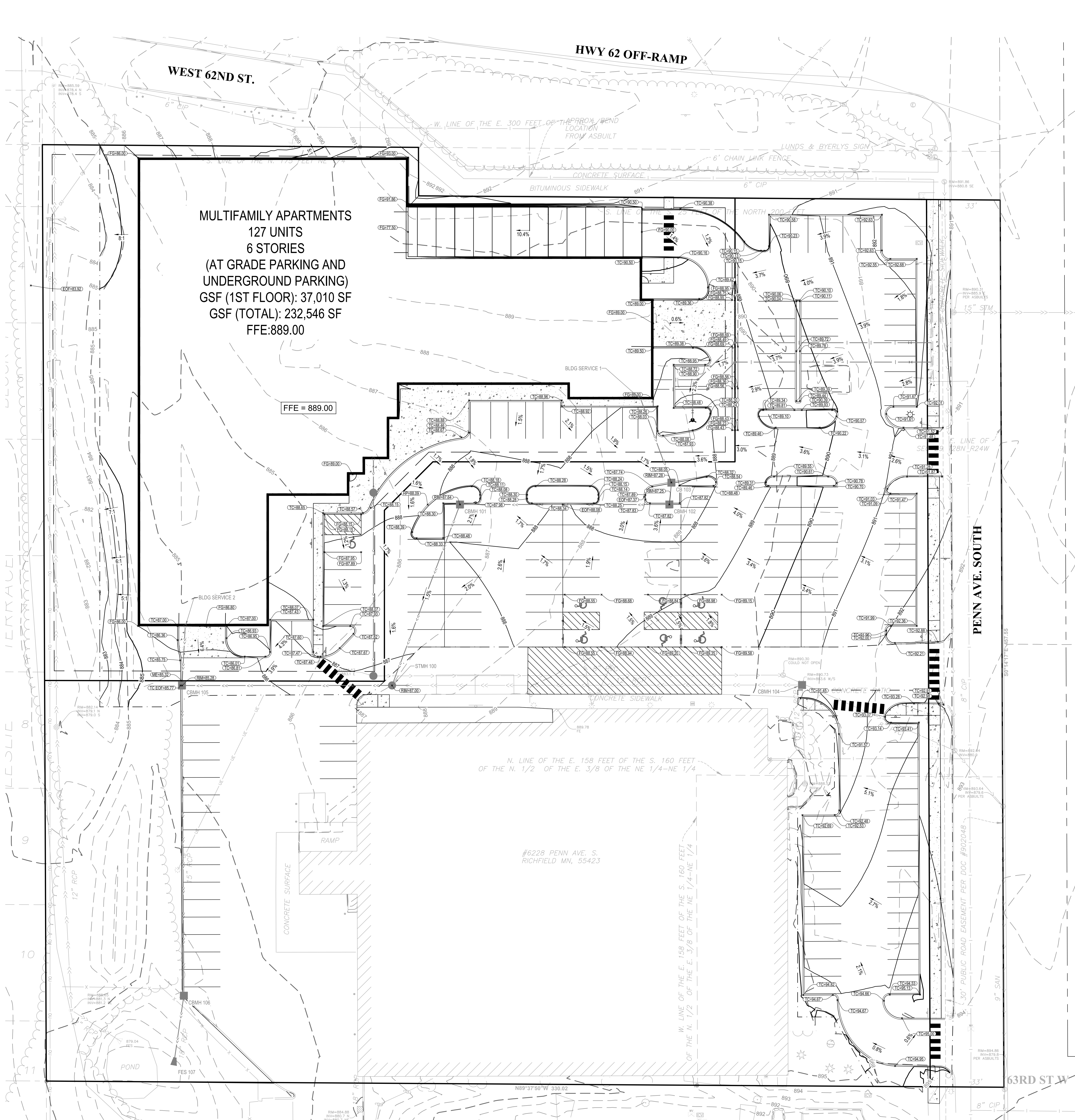
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**EROSION CONTROL
PHASE 2**

SHEET NUMBER

C-201

PLOT DATE: 9/10/2019 9:53:39 AM



LEGEND	
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	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	FLOW LINE ELEVATION
	FINISHED GRADE ELEVATION
	MATCH EXISTING ELEVATION
	SIDEWALK ELEVATION
	PAVEMENT ELEVATION
	EMERGENCY OVERFLOW ELEVATION
	TOP OF CURB ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION (AT GRADE)
	HIGH POINT SPOT ELEVATION
	LOW POINT SPOT ELEVATION
	TOP OF DITCH SPOT ELEVATION
	TOE OF DITCH SPOT ELEVATION
	STRUCTURE RIM SPOT ELEVATION
	TOP NUT HYDRANT SPOT ELEVATION
	SURFACE GRADE & FLOW DIRECTION
	3.0:1

ARCHITECT:

DORAN

COMPANIES

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652-288-2031 fax

CIVIL ENGINEER

WENCK
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LICENSE NO.:
DATE:

PROJECT
Richfield Lunds & Byerlys Apartments

LOCATION
6228 Penn Ave S,
Richfield, MN 55423

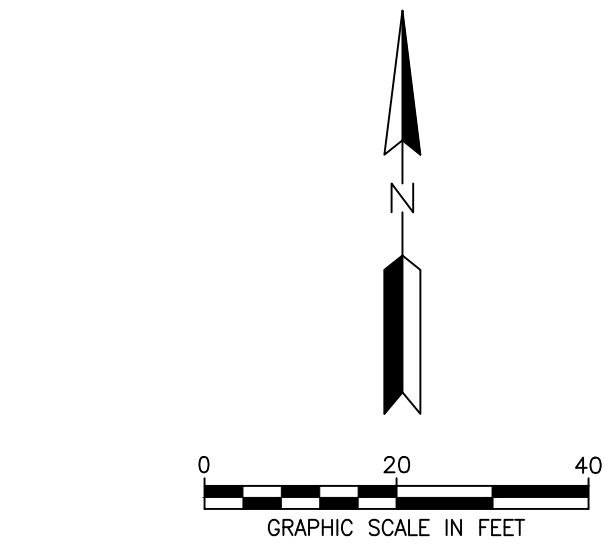
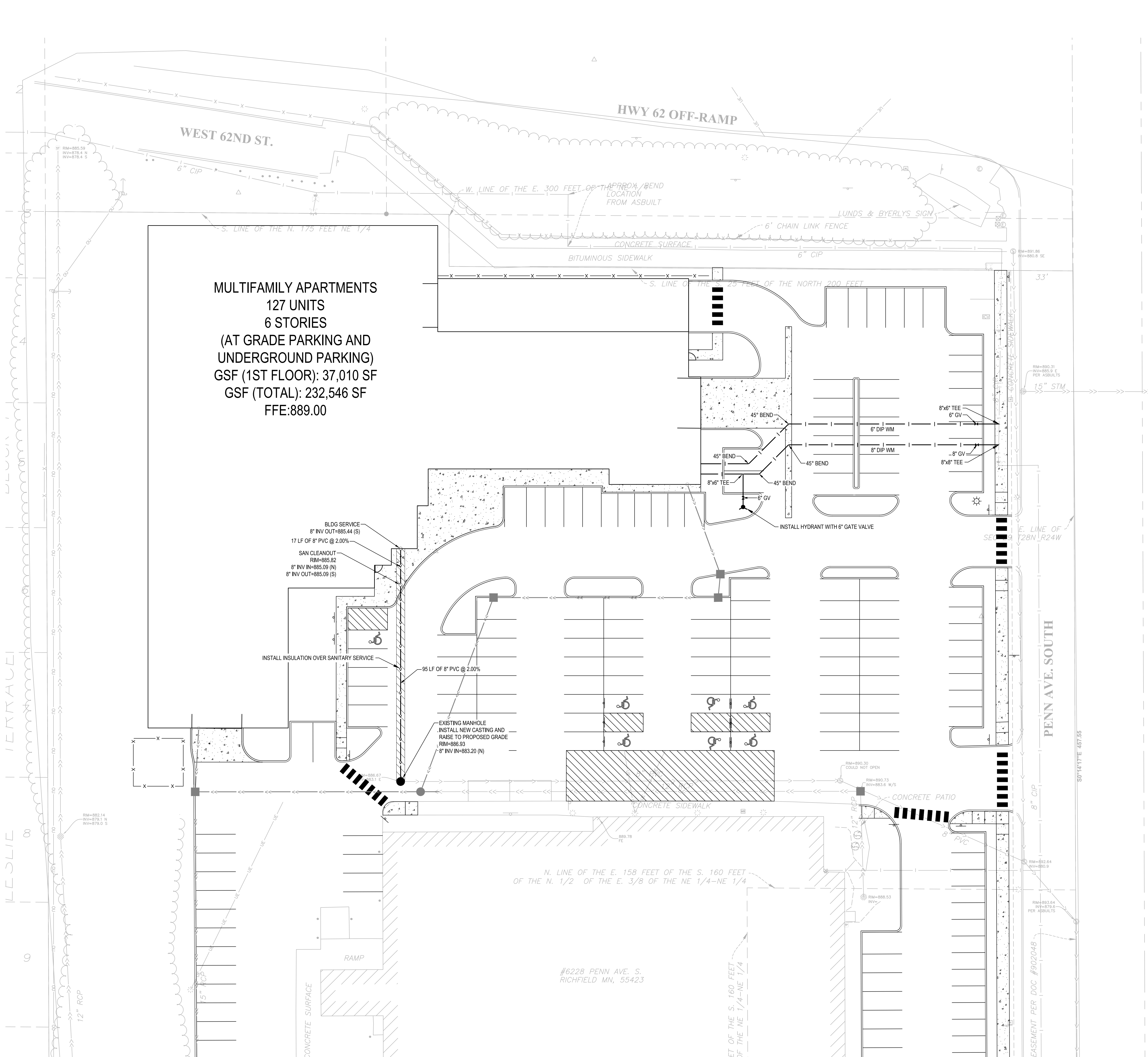
PROJECT NUMBER
5498-0003
ISSUE DATE
09/25/2019
ISSUE NO.
1
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JTP
CHECKED BY
JRA
APPROVED BY
DL

PREPARED FOR
LUND REAL ESTATE HOLDINGS, LLC.

SHEET TITLE
GRADING PLAN

SHEET NUMBER

C-301



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	SECTION LINE
	QUARTER LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING FORCEMAIN
	EXISTING WATERMAIN
	EXISTING SANITARY MANHOLE
	EXISTING CLEANOUT
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER INLET
	EXISTING FLARED END SECTION
	EXISTING CURB STOP
	EXISTING HYDRANT
	EXISTING WATER WELL
	EXISTING WATER VALVE
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	STORM SEWER
	DRAIN TILE
	STORMWATER FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	SANITARY FORCEMAIN
	WATERMAIN
	WATER SERVICE
	FIRE PROTECTION WATER SERVICE
	SANITARY INSULATION
	STORM MANHOLE
	STORM CATCH BASIN
	FLARED END SECTION
	STORM CLEANOUT
	SANITARY MANHOLE
	CLEANOUT
	HYDRANT
	GATE VALVE
	CURB STOP
	FIRE DEPARTMENT CONNECTION

ARCHITECT:

DORAN
COMPANIES

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651-288-2031 fax

CIVIL ENGINEER



WENCK

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GOLDEN VALLEY, MN 55427
PHONE: 763-252-6800
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LICENSE NO.:

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Richfield Lunds & Byerlys Apartments

LOCATION

**6228 Penn Ave S.
Richfield, MN 55423**

PROJECT NUMBER

5498-0003

ISSUE DATE

09/25/2019

ISSUE NO.

1

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APPROVED BY

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PREPARED FOR

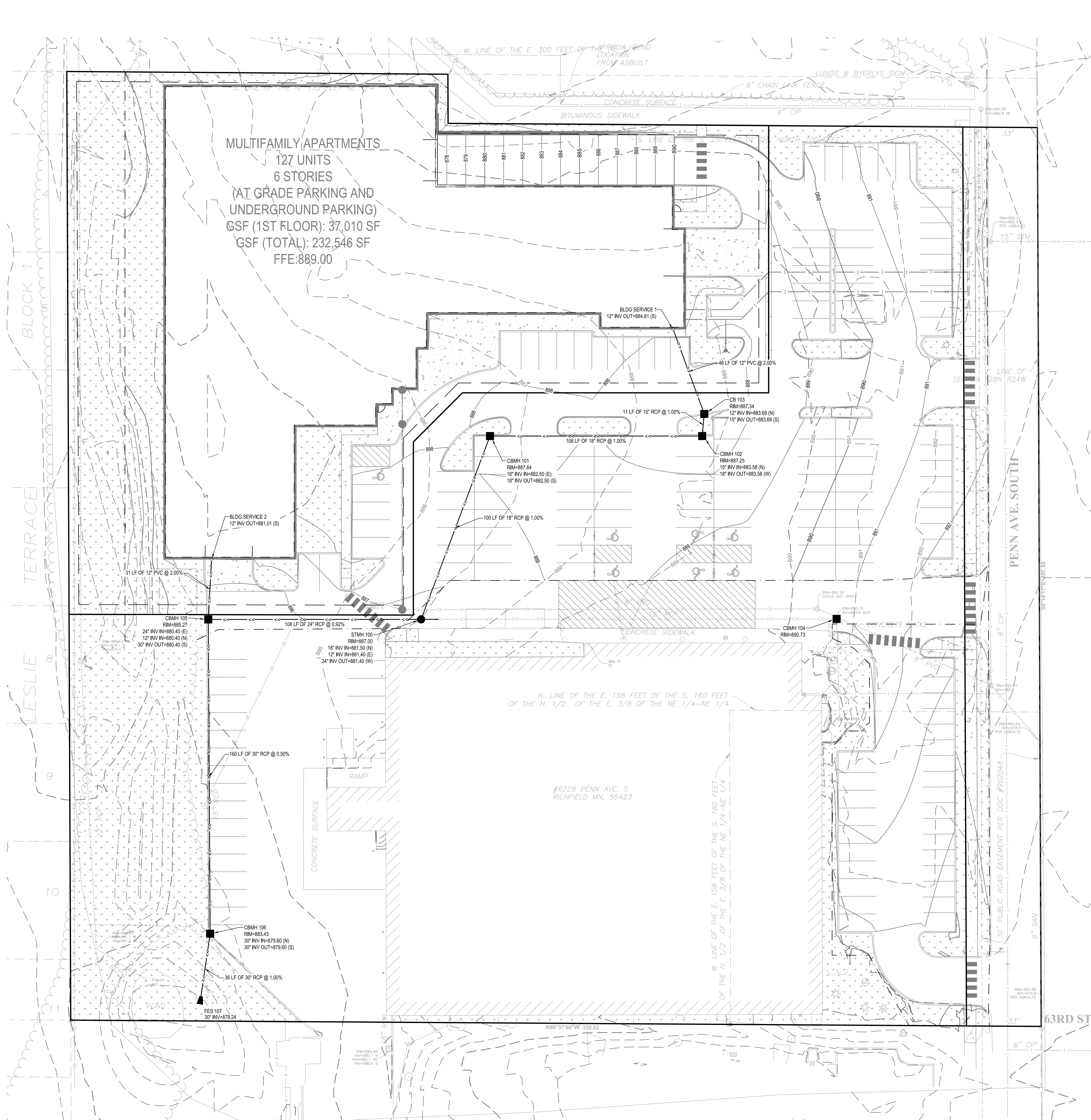
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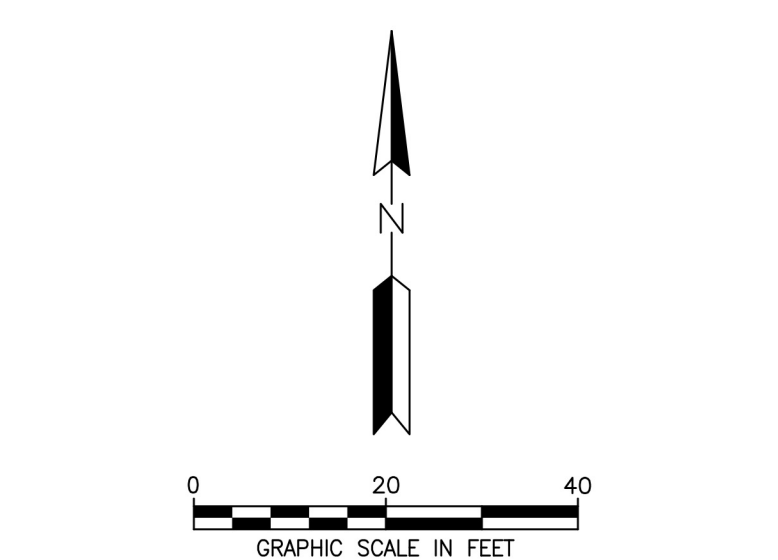
SHEET NUMBER

**WATER AND
SANITARY SEWER
PLAN**

PLOT DATE: 9/10/2019 9:53:39 AM

C-401





LEGEND	
	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	SECTION LINE
	QUARTER LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	DECIDUOUS TREE
	ORNAMENTAL TREE
	CONIFEROUS TREE
	SHRUB/PERENNIAL PLANT
	ROCK MULCH
	SEED
	SOD - IRRIGATED

THE CITY OF RICHFIELD REQUIRES 1 TREE PER 2500 SQUARE FEET AND 1 SHRUB PER 1000 SQUARE FEET OF DEVELOPABLE AREA ON THE PROJECT SITE.

	Area (FT ²)
Lot Area	213,574
Total Impervious Area	169,607
Total Remaining Existing Trees	84
Canopy Trees Required (49228 Area/2500 FT ²)	86
Shrubs Required (213,574 Area/1000 FT ²)	214
Street Frontage Trees (422/40 LF)	11

PLANTING SCHEDULE:						
Trees						
QTY	SYMBOL	COMMON NAME	LATIN NAME	HEIGHT	WIDTH	SPACING
9	AS	AUTUMN FEST MAPLE	ACER SACCHARUM 'JFS-KW8'	50'	35'	PER PLAN
10	SS	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	30'	20'	PER PLAN
4	MA	SHOWY MOUNTAIN ASH	SORBUS DECORA	25'	20'	PER PLAN
3	NP	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	60'	45'	PER PLAN
4	NC	NORTHERN CATALPA	CATALPA SPECIOSA	60'	35'	PER PLAN
14	PP	UPRIGHT COLORADO SPRUCE	PICEA PUNGENS 'FASTIGIATA'	20'	6'	PER PLAN
6	PG	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	40'	15'	PER PLAN
50		TOTAL TREES				
Shrubs						
QTY		COMMON NAME	LATIN NAME	HEIGHT	WIDTH	SPACING
70	MS	MINIATURE SNOWFLAKE MOCKORANGE	PHILADELPHUS X 'MINIATURE SNOWFLAKE'	4'	3'	PER PLAN
55	DS	COOL SPLASH BUSH HONEYSUCKLE	DIERVILLA SESSILIFOLIA 'LPDC PODARAS'	4'	4'	PER PLAN
17	OE	OSO EASY PAPIKA ROSE	ROSA 'CHEWMAY-TIME'	2'	2'	PER PLAN
45	AH	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	5'	5'	PER PLAN
11	LG	LITTLE GIANT ARBORVITAE	THUJA OCCIDENTALIS 'LITTLE GIANT'	5'	5'	PER PLAN
45	LD	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULIFOLIUS 'DONNA MAY'	4'	4'	PER PLAN
243		TOTAL SHRUBS				

ARCHITECT:

DORAN

COMPANIES

7893 Glenroy Road, Suite 200
Bloomington, MN 55439
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652.285.2031 fax

CIVIL ENGINEER

WENCK

7500 OLSON MEMORIAL HIGHWAY #300
GOLDEN VALLEY, MN 55427
PHONE: 763.252.6800
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LICENSE NO.:

DATE:

PROJECT

Richfield Lunds & Byerlys Apartments

LOCATION

6228 Penn Ave S.
Richfield, MN 55423

PROJECT NUMBER

5498-0003

ISSUE DATE

09/25/2019

ISSUE NO.

1

DRAWN BY

JTP

CHECKED BY

JRA

APPROVED BY

DL

PREPARED FOR

LUND REAL ESTATE HOLDINGS, LLC.

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L-101

PLOT DATE: 9/10/2019 9:53:39 AM

Building Gross Floor Areas			Parking		Residential Building Total						
Location	P2	L1	Total	L2	L3	L4	L5	L6	L7	Total	Total Effic.
Units	-	-	0	22,783	25,880	25,880	25,880	25,880	-	126,303	79%
Amenities	-	2,988	2,988	9,286	-	-	-	-	741	10,027	6%
Commons	1,289	4,638	5,927	4,581	4,301	4,301	4,301	4,301	924	22,709	14%
Parking	35,208	29,384	64,592	-	-	-	-	-	-	-	0%
Parking + Common	36,497	34,022	70,519								
Total SF	36,497	37,010	73,507	36,650	30,181	30,181	30,181	30,181	1,665	159,039	100%
Res Effic.				88%	86%	86%	86%	86%	45%	86%	

** Units + Amenities / Total SF **

Parking Stall Counts	Count
P2	95
P1	80
Surface	0
Total	175

Parking Stalls Per Unit	Ratio
P1	0.75
L1	0.63
Exterior	0.00
Total	1.38

Unit Type	Count	%	57%
Alcove	21	17%	
1 Bedroom	52	41%	
2 Bedroom	49	39%	
3 Bedroom	5	4%	
Total Units	127		

Full Building Total
232,546



MAP OF AREA



DORAN
ARCHITECTURE

RICHFIELD LUNDS SITE

PROJECT SUMMARY

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



DORAN
ARCHITECTURE

RICHFIELD LUNDS SITE

AERIAL SE PERSPECTIVE

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



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ARCHITECTURE

RICHFIELD LUNDS SITE

AERIAL NE PERSPECTIVE

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



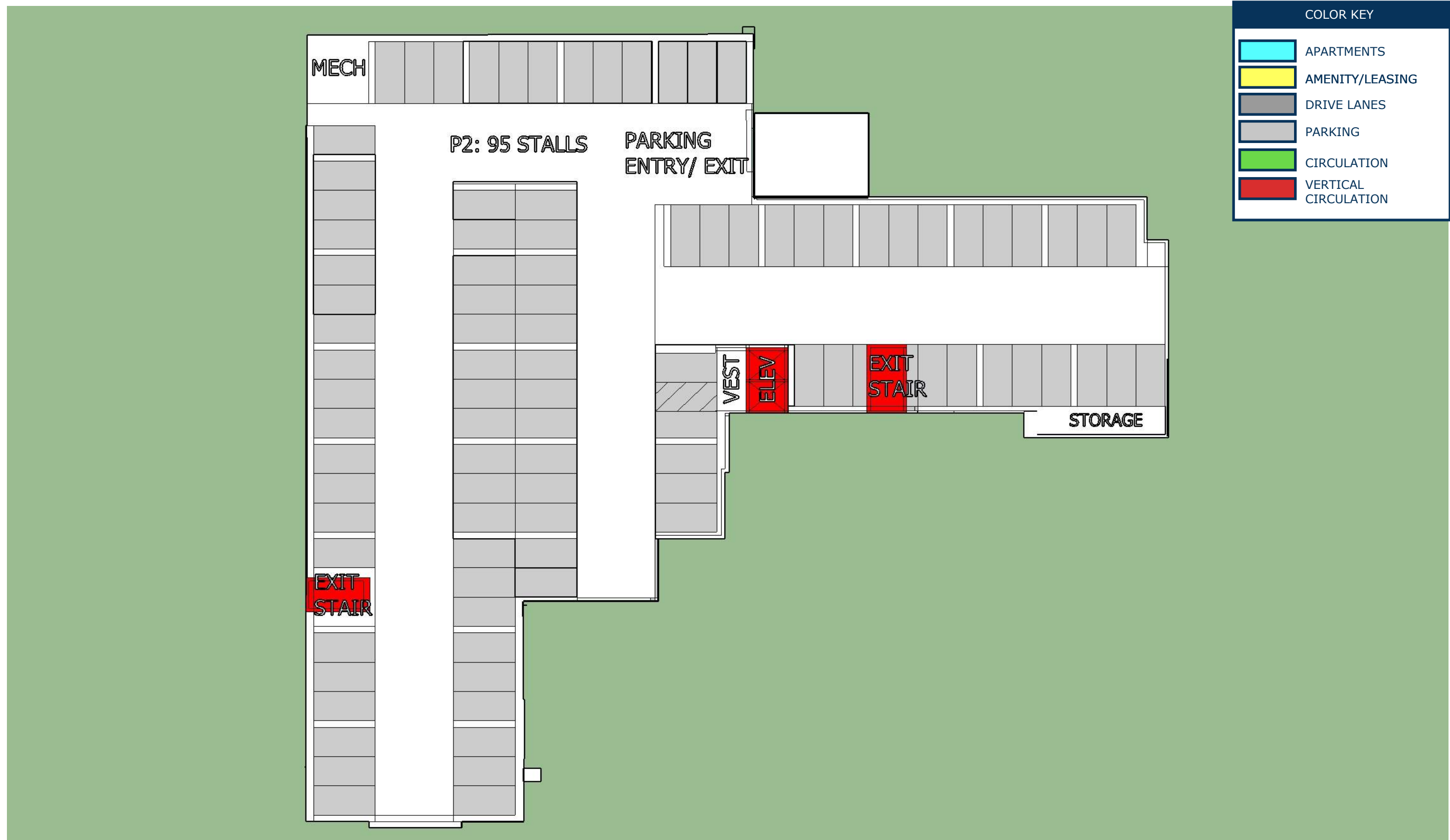
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ARCHITECTURE

RICHFIELD LUNDS SITE

AERIAL SW PERSPECTIVE

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



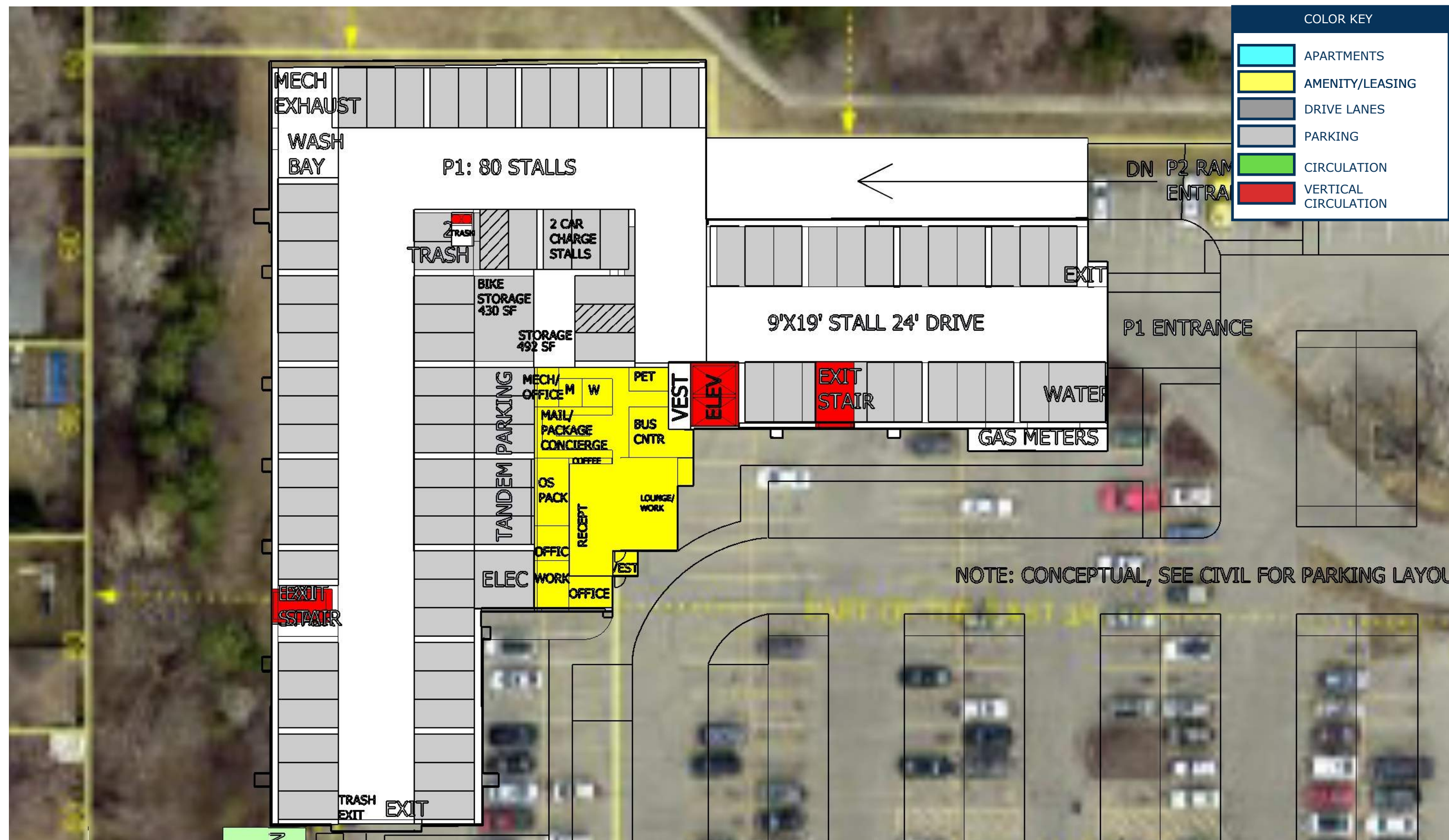
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RICHFIELD LUNDS SITE

LEVEL P2

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



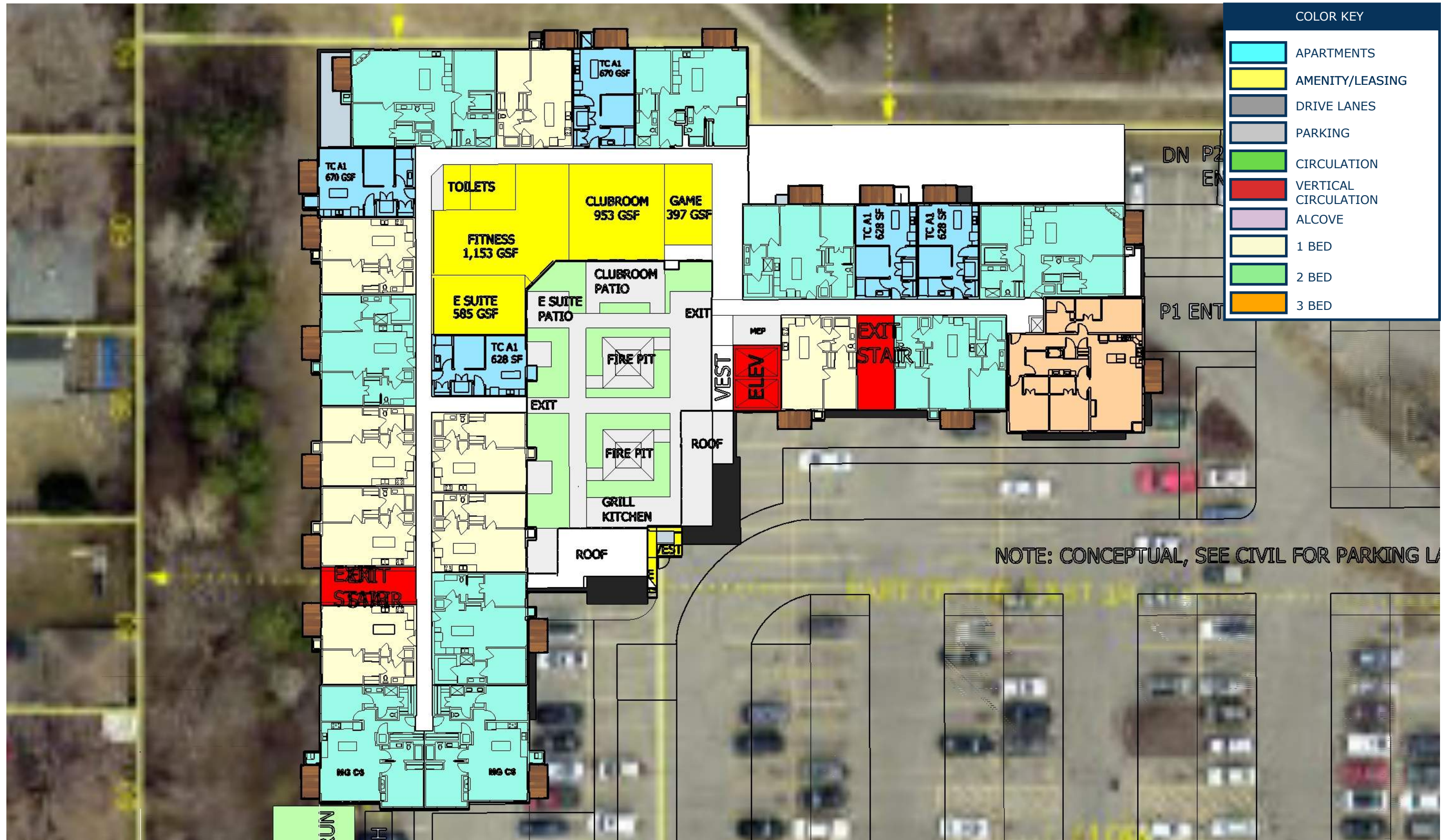
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ARCHITECTURE

RICHFIELD LUNDS SITE

LEVEL 1/ P1

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



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RICHFIELD LUNDS SITE

LEVEL 2

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



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ARCHITECTURE

RICHFIELD LUNDS SITE

LEVEL 3 - 6

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



RICHFIELD LUNDS SITE

SOUTH & EAST ELEVATIONS

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019

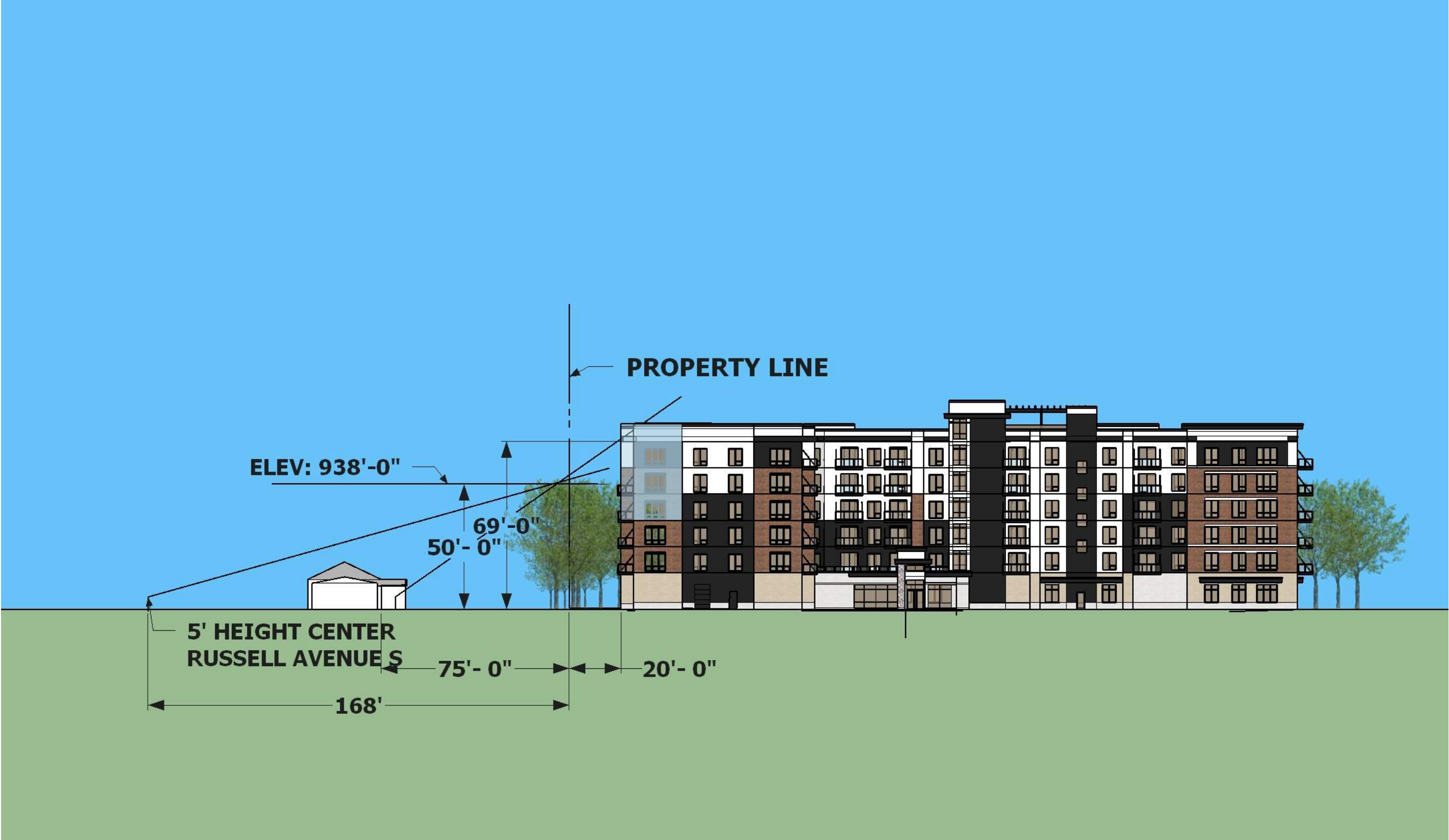


RICHFIELD LUNDS SITE

NORTH & WEST ELEVATIONS

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



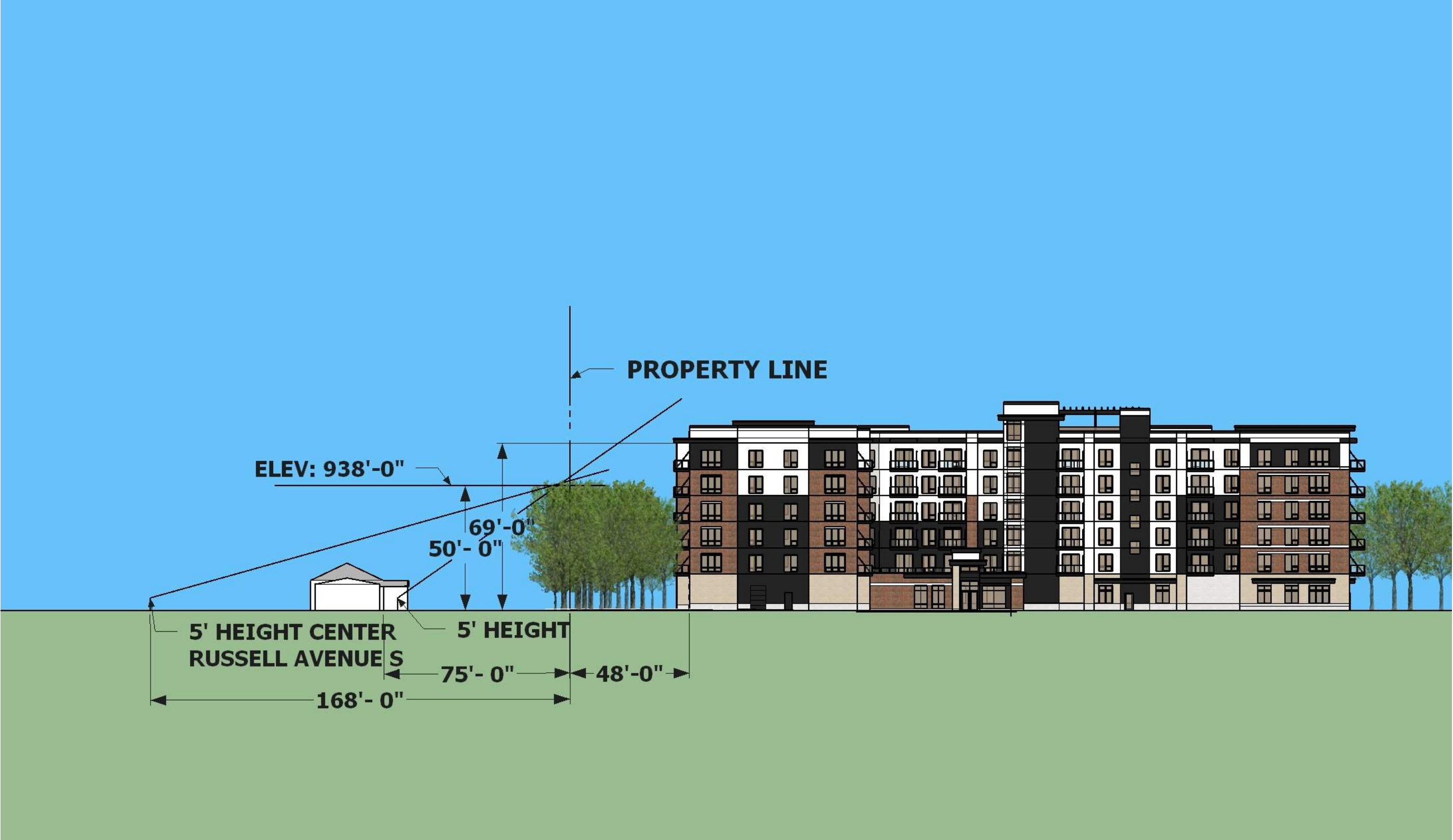
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RICHFIELD LUNDS SITE

SITE SECTION REQUIRED SETBACK

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

October 14, 2019



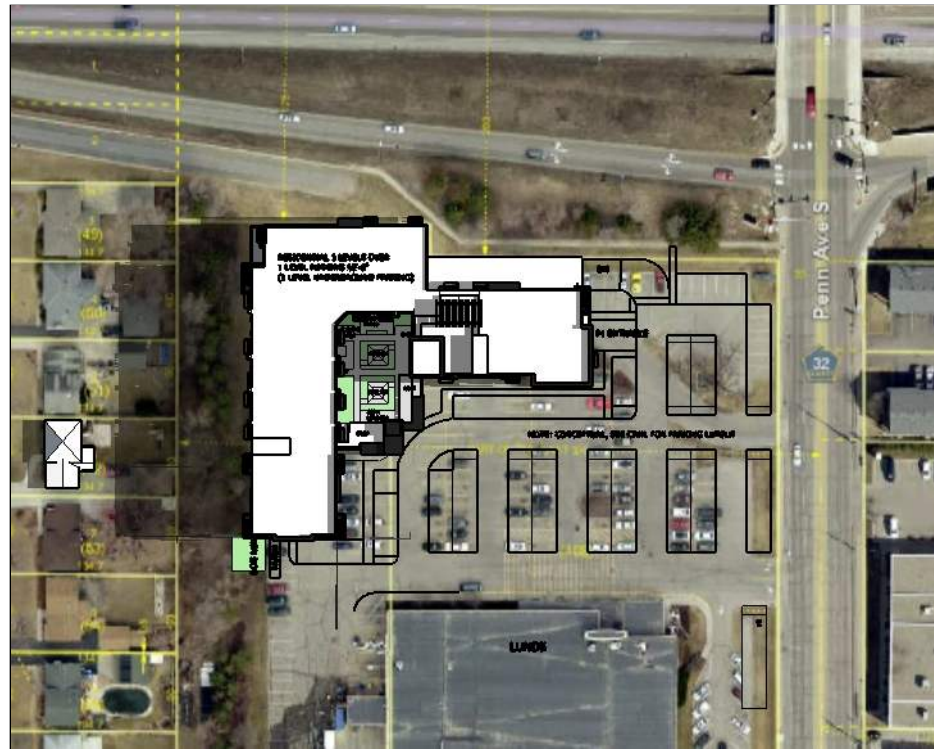
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ARCHITECTURE

RICHFIELD LUNDS SITE

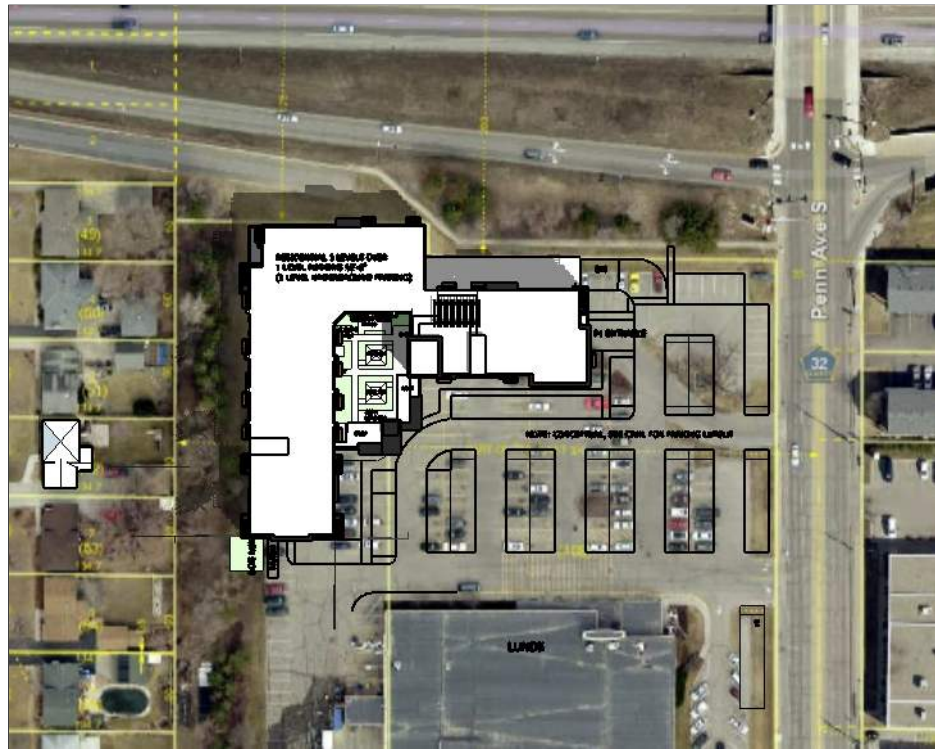
SITE SECTION PROPOSED SETBACK

PREPARED FOR: LUND REAL ESTATE HOLDINGS, INC

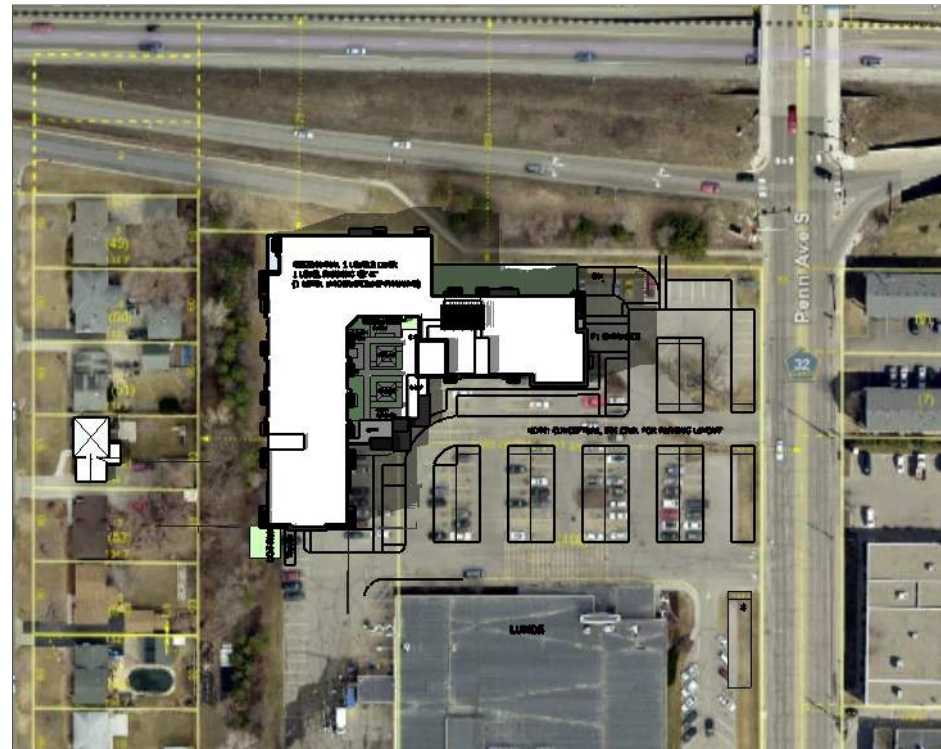
October 14, 2019



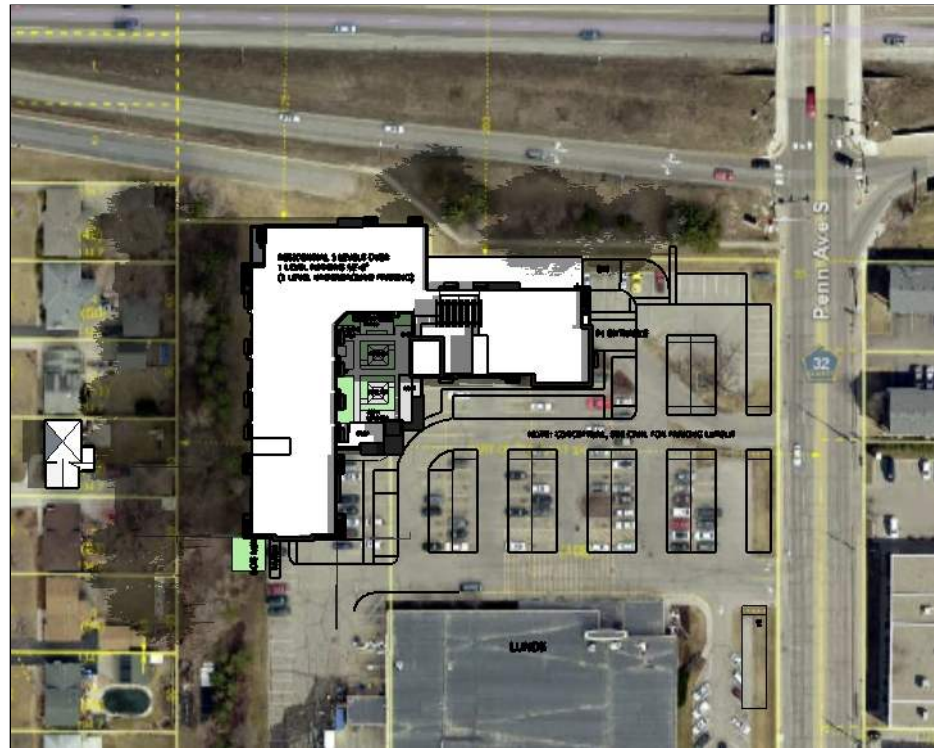
SUMMER SOLSTICE SHADOW, 9 AM WO TREES



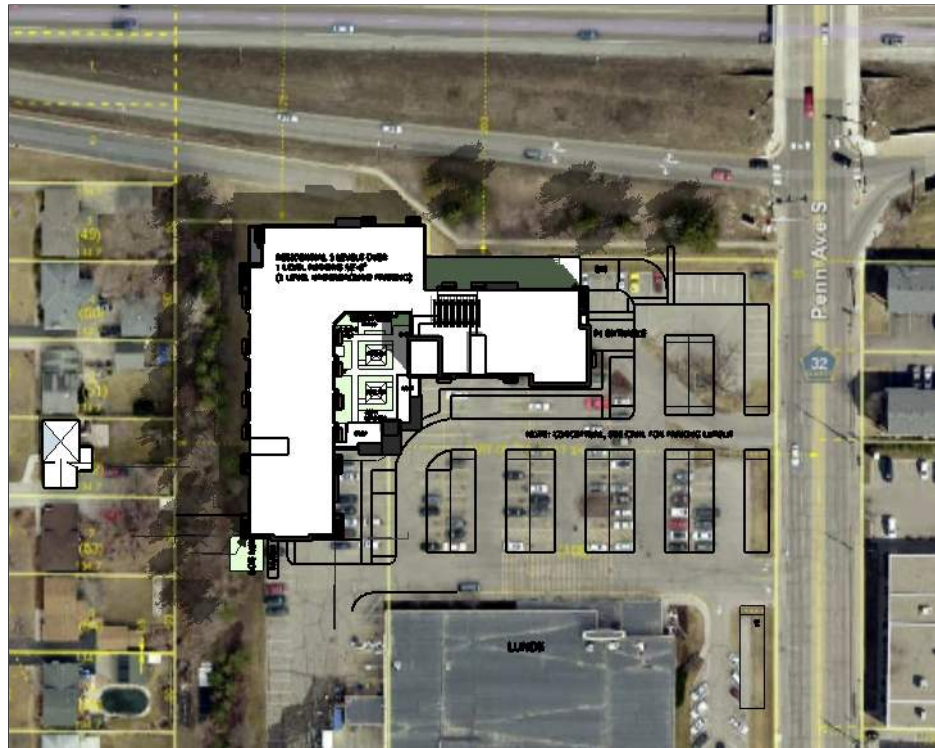
SUMMER SOLSTICE SHADOW, 12 PM WO TREES



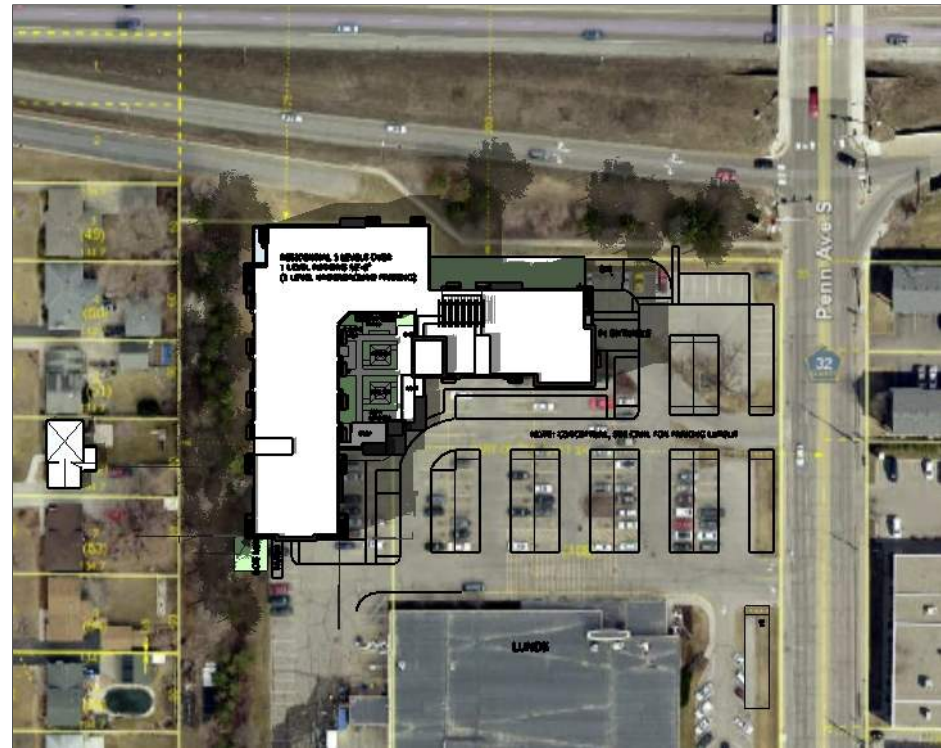
SUMMER SOLSTICE SHADOW, 4 PM WO TREES



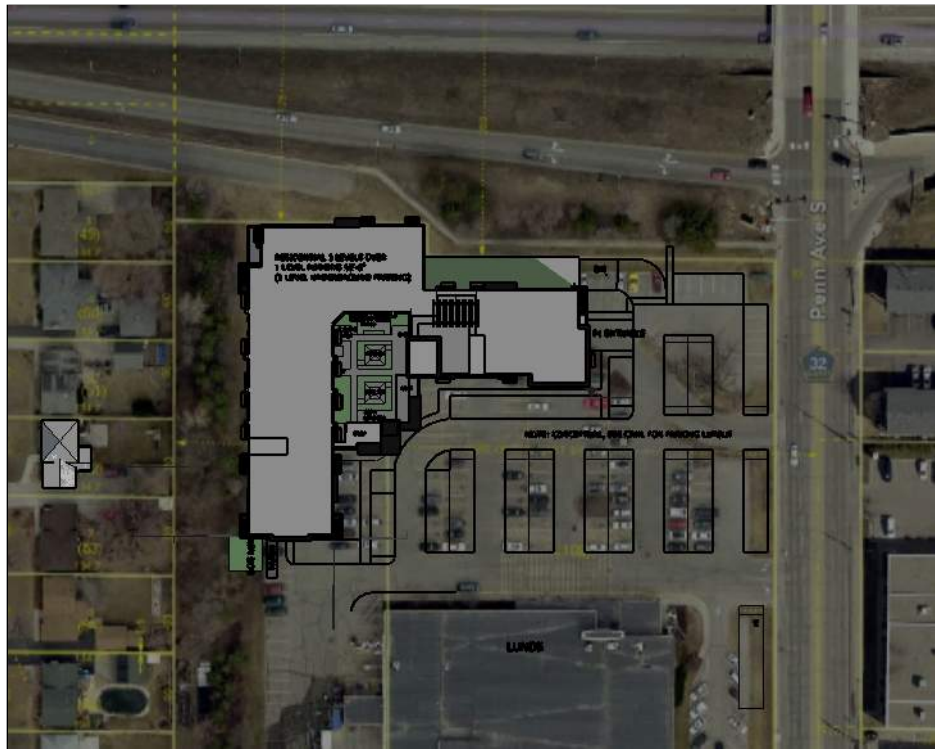
SUMMER SOLSTICE SHADOW, 9 AM WITH TREES



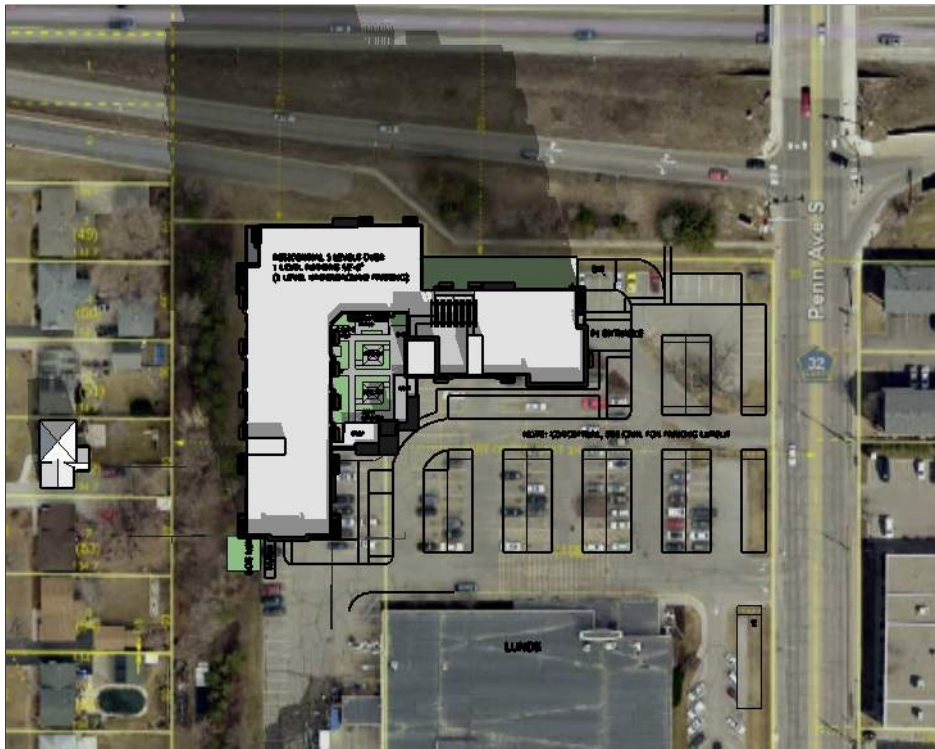
SUMMER SOLSTICE SHADOW, 12 PM WITH TREES



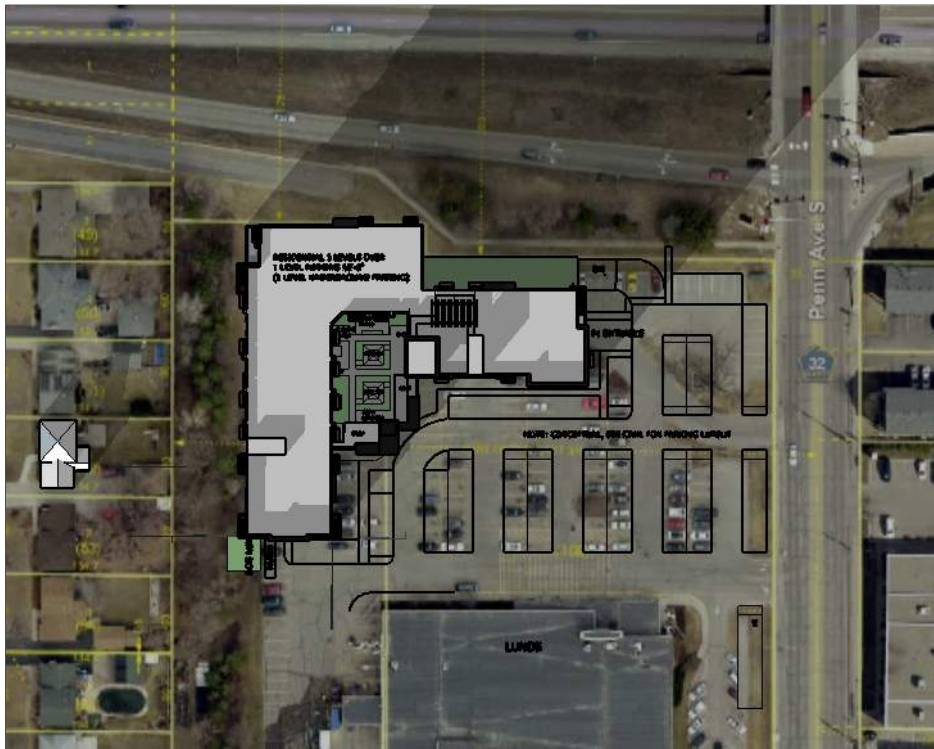
SUMMER SOLSTICE SHADOW, 4 PM WITH TREES



WINTER SOLSTICE SHADOW, 9 AM WO TREES



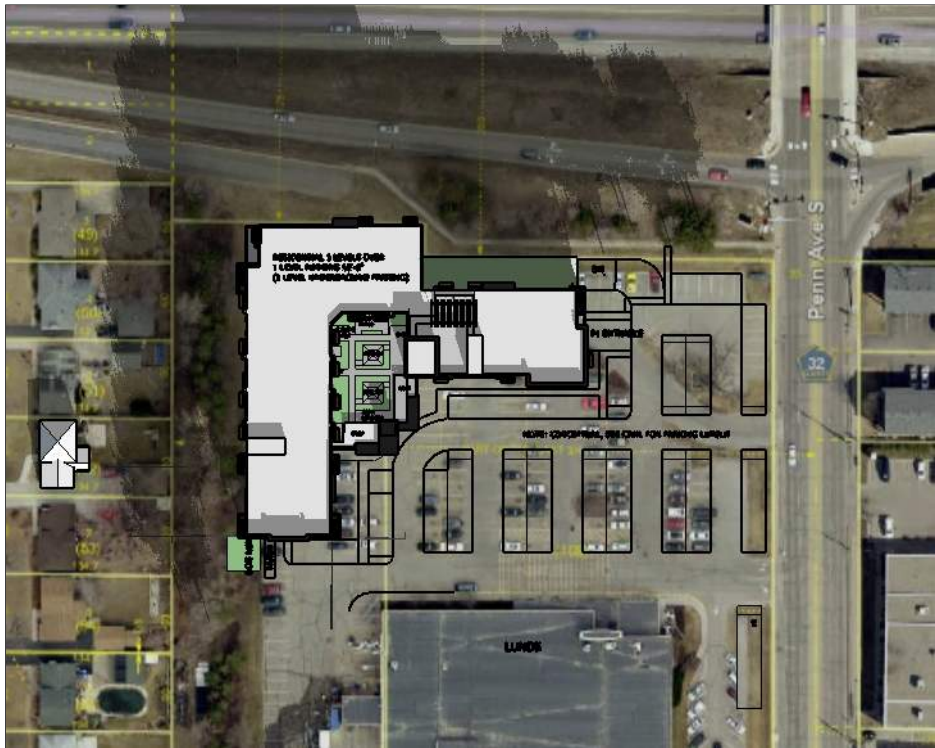
WINTER SOLSTICE SHADOW, 12 PM WO TREES



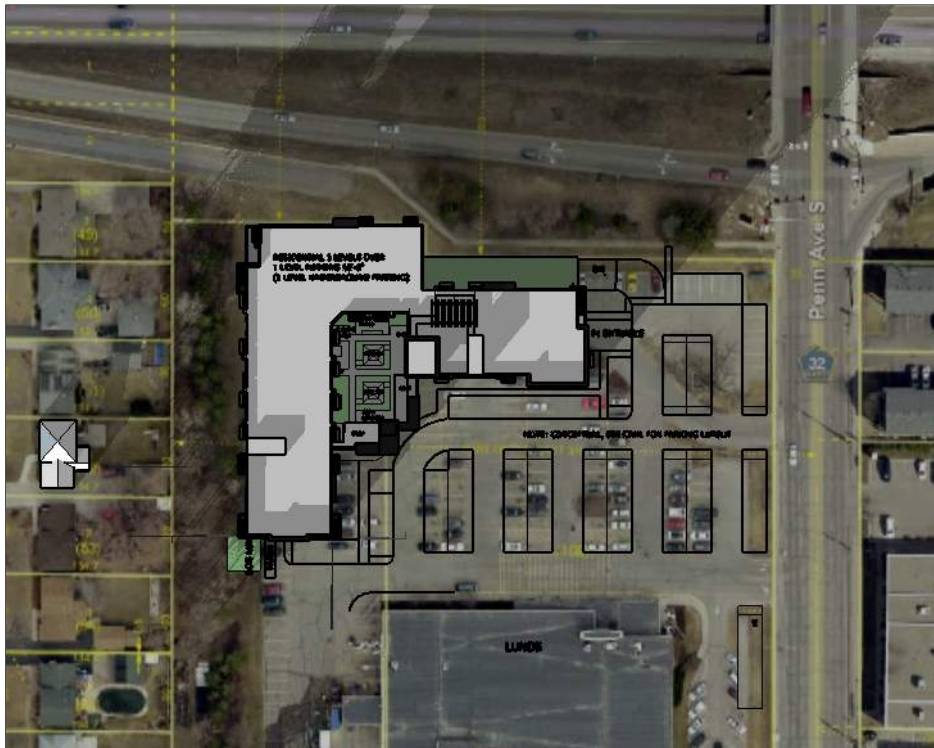
WINTER SOLSTICE SHADOW, 4 PM WO TREES



WINTER SOLSTICE SHADOW, 9 AM WITH TREES



WINTER SOLSTICE SHADOW, 12 PM WITH TREES



WINTER SOLSTICE SHADOW, 4 PM WITH TREES

Traffic and Parking Study for Lunds and Byerlys Apartments in Richfield, MN

Prepared for:
Lund Real Estate Holdings, Inc.

4100 W. 50th Street
Edina, MN 55424



Prepared by:

WENCK Associates, Inc.
1800 Pioneer Creek Center
Maple Plain, MN 55359
Phone: 7963-479-4200
Fax: 763-479-4242

Table of Contents

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I hereby certify that this report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.



DATE: October 8, 2019

Edward F. Terhaar
License No. 24441

1.0 Executive Summary

The purpose of this Traffic and Parking Study is to evaluate the impacts of the proposed new residential building located at 6228 Penn Avenue S. in Richfield, MN. The project site is located in the existing parking lot area at the Richfield Lunds and Byerlys store.

This study examined weekday a.m. and p.m. peak hour traffic impacts of the proposed redevelopment at the following intersections:

- Penn Avenue/north access
- Penn Avenue/middle access
- Penn Avenue/south access

The proposed project consists of constructing a new apartment building in the existing parking lot area at the Richfield Lunds and Byerlys store. The new building will have 130 dwelling units and 175 underground parking stalls. The project is expected to be completed by the end of 2021.

Under existing conditions, the north access operates as one-way entering, the middle access operates as one-way exiting, and south access operates as one-way exiting. The proposed project includes converting the north and middle access points to two-way traffic flow.

The conclusions drawn from the information and analyses presented in this report are as follows:

- The proposed development is expected to generate 47 net trips during the a.m. peak hour, 57 net trips during the p.m. peak hour, and 707 net trips daily.
- Overall, trips generated by the proposed development are expected to have minimal impact on traffic operations on the surrounding street system. From a level of service standpoint, Scenario 1 (two-way traffic) results in slightly better operations than Scenario 2 (one-way traffic). However, both scenarios result in acceptable traffic operations at the access intersections.
- The proposed number of parking spaces can accommodate the expected peak parking demand based on Institute of Transportation Engineers (ITE) data and existing parking usage for the grocery store.

2.0 Purpose and Background

The purpose of this Traffic and Parking Study is to evaluate the impacts of the proposed new residential building located at 6228 Penn Avenue S. in Richfield, MN. The project site is located in the existing parking lot area at the Richfield Lunds and Byerlys store. The project location is shown in **Figure 1**.

This study examined weekday a.m. and p.m. peak hour traffic impacts of the proposed redevelopment at the following intersections:

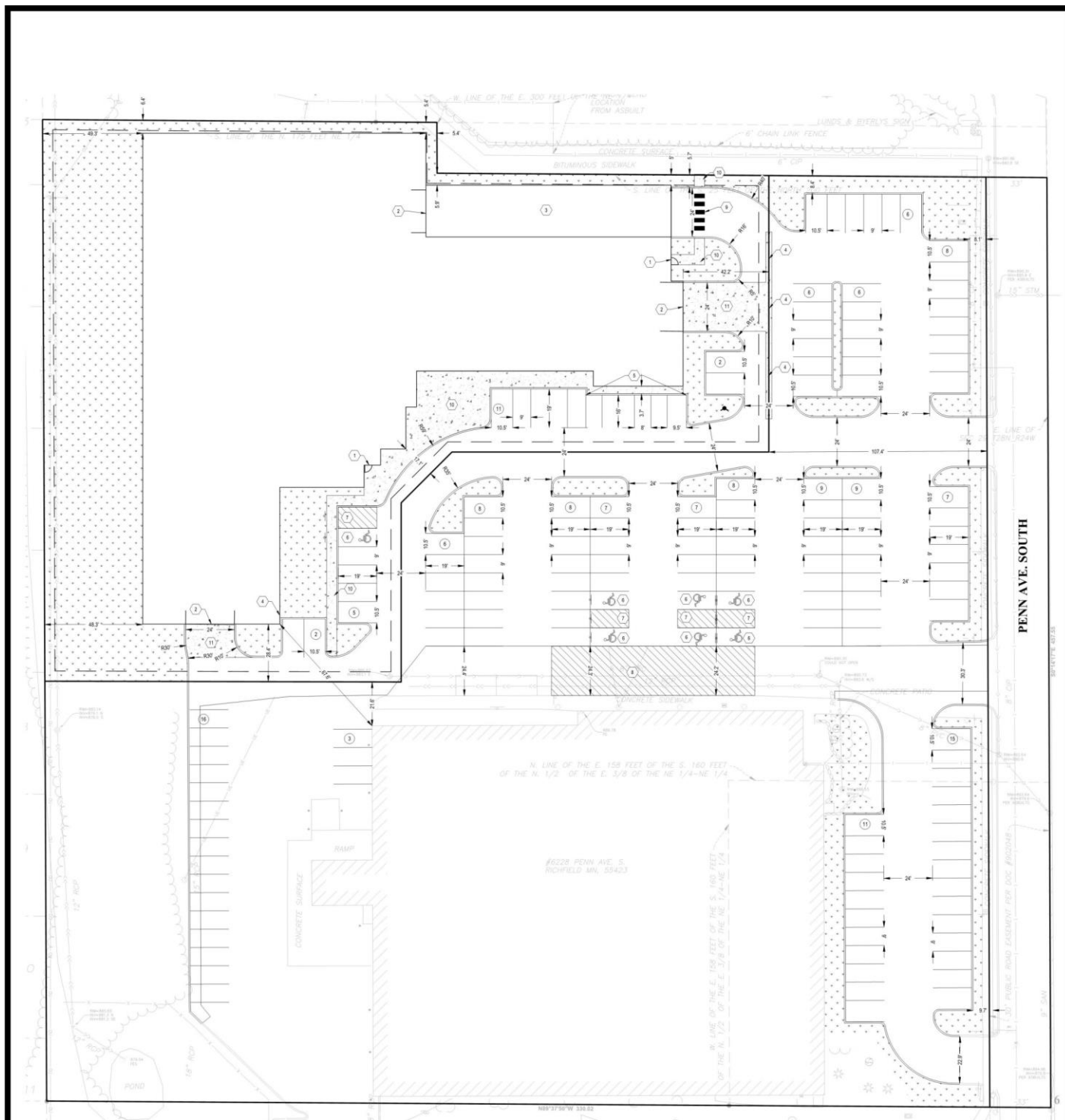
- Penn Avenue/north access
- Penn Avenue/middle access
- Penn Avenue/south access

Proposed Development Characteristics

The proposed project consists of constructing a new apartment building in the existing parking lot area at the Richfield Lunds and Byerlys store. The new building will have 130 dwelling units and 175 underground parking stalls.

Under existing conditions, the north access operates as one-way entering, the middle access operates as one-way exiting, and south access operates as one-way exiting. The proposed project includes converting the north and middle access points to two-way traffic flow.

The project is expected to be completed by the end of 2021. The current site plan is shown in **Figure 2**.



3.0 Existing Conditions

The proposed site is a portion of the parking lot for the existing grocery store. The site is bounded by Penn Avenue S. to the east, TH 62 to the north, the existing grocery store to the south, and residential property to the west.

Near the site location, Penn Avenue S. is a four lane undivided roadway with traffic signal control at major intersections. Existing conditions at intersections near the proposed project location are described below and are shown in **Figure 3**.

Penn Avenue/north access

This intersection has three legs, with the west leg configured for one-way entering only into the site. The northbound approach provides one left turn/through lane and one through only lane. The southbound approach provides one through/right turn lane and one through only lane.

Penn Avenue/middle access (minor street stop control)

This intersection has three approaches and is controlled with a stop sign on the eastbound approach. The eastbound approach provides one left turn lane and one right turn lane. The northbound approach provides one left turn/through lane and one through only lane. The southbound approach provides one through/right turn lane and one through only lane. The eastbound approach is configured for one-way exiting from the site.

Penn Avenue/south access (minor street stop control)

This intersection has three approaches and is controlled with a stop sign on the eastbound approach. The eastbound approach provides one left turn lane and one right turn lane. The northbound approach provides one left turn/through lane and one through only lane. The southbound approach provides one through/right turn lane and one through only lane. The eastbound approach is configured for one-way exiting from the site.

Turn movement data for the intersections was collected during the weekday a.m. (7:00 - 9:00 a.m.) and p.m. (4:00 - 6:00 p.m.) peak periods in September 2019.



4.0 Traffic Forecasts

Traffic Forecast Scenarios

To adequately address the impacts of the proposed project, forecasts and analyses were completed for the year 2022. Specifically, weekday a.m. and p.m. peak hour traffic forecasts were completed for the following scenarios:

- *2019 Existing.* Existing volumes were determined through traffic counts at the subject intersections. The existing volume information includes trips generated by the existing grocery store use.
- *2022 No-Build.* Existing volumes at the subject intersections were increased by 1.0 percent per year to determine 2022 No-Build volumes. The 1.0 percent per year growth rate was calculated based on recent growth experienced near the site.
- *2022 Build.* Trips generated by the proposed development were added to the 2022 No-Build volumes to determine 2022 Build volumes.

Trip Generation for Proposed Project

Weekday a.m. and p.m. peak hour trip generation for the proposed development were calculated based on data presented in the tenth edition of Trip Generation, published by the Institute of Transportation Engineers (ITE). The resultant trip generation estimates are shown in **Table 4-1**.

Table 4-1
Trip Generation for Proposed Project

Land Use	Size	Weekday AM Peak Hour			Weekday PM Peak Hour			Weekday Daily
		In	Out	Total	In	Out	Total	Total
Apartments	130 DU	12	35	47	35	22	57	707

DU=dwelling unit

As shown, the project adds 47 net trips during the a.m. peak hour, 57 net trips during the p.m. peak hour, and 707 net trips daily.

Trip Distribution Percentages

Trip distribution percentages for the subject development trips were established based on the nearby roadway network, existing and expected future traffic patterns, and location of the subject development in relation to major attractions and population concentrations.

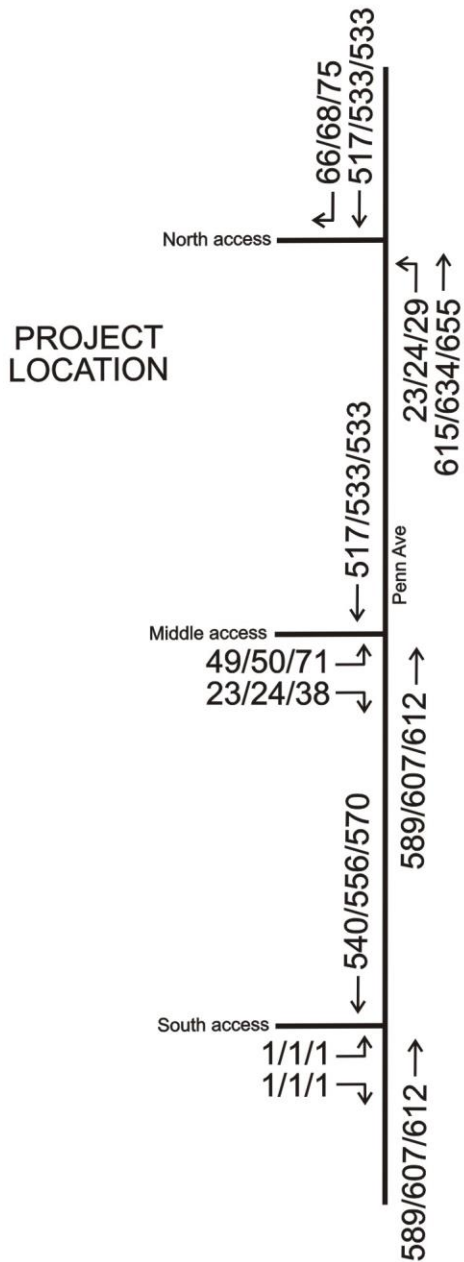
The distribution percentages for trips generated by the proposed development are as follows:

- 60 percent to/from the north on Penn Avenue
- 40 percent to/from the south on Penn Avenue

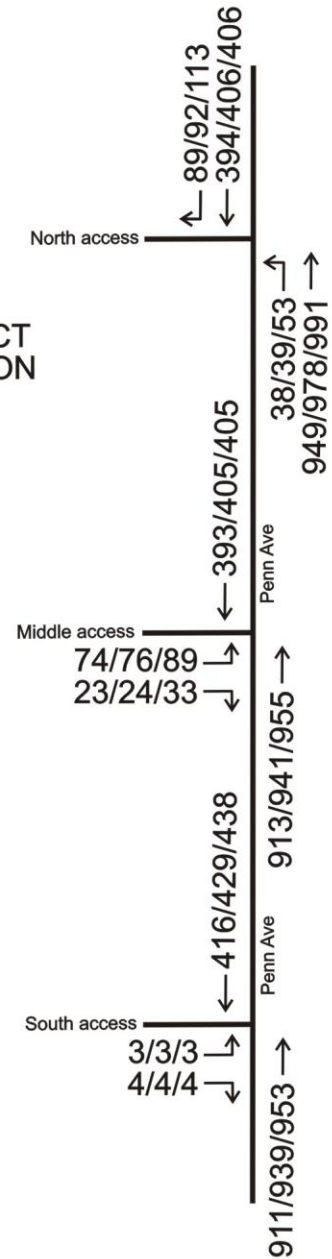
Traffic Volumes

Development trips were assigned to the surrounding roadway network using the preceding trip distribution percentages. Traffic volumes were established for the forecasting scenarios described earlier during the weekday a.m. and p.m. peak hours. The resultant traffic volumes are presented in **Figures 4 and 5**.

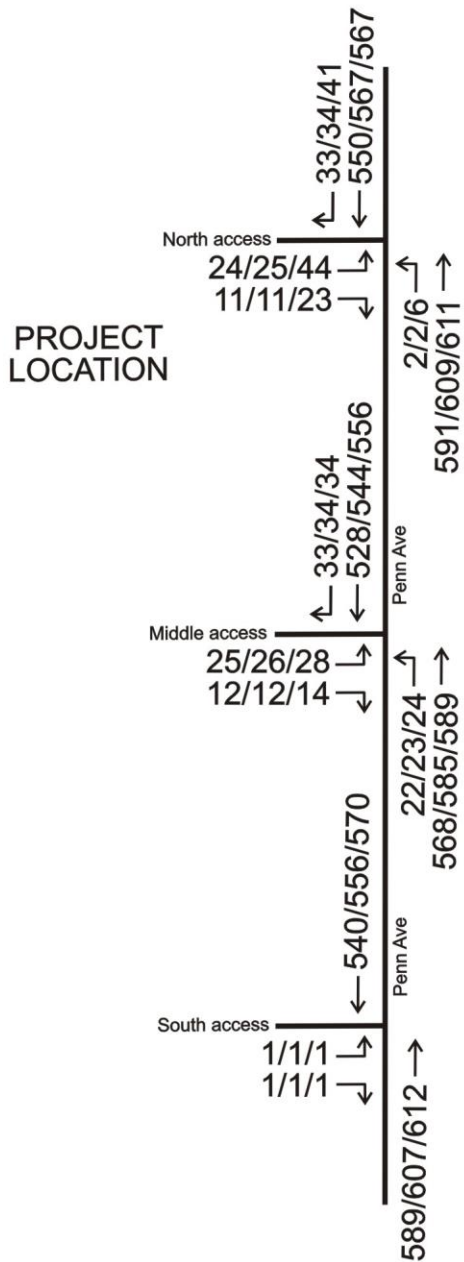
A.M. PEAK HOUR



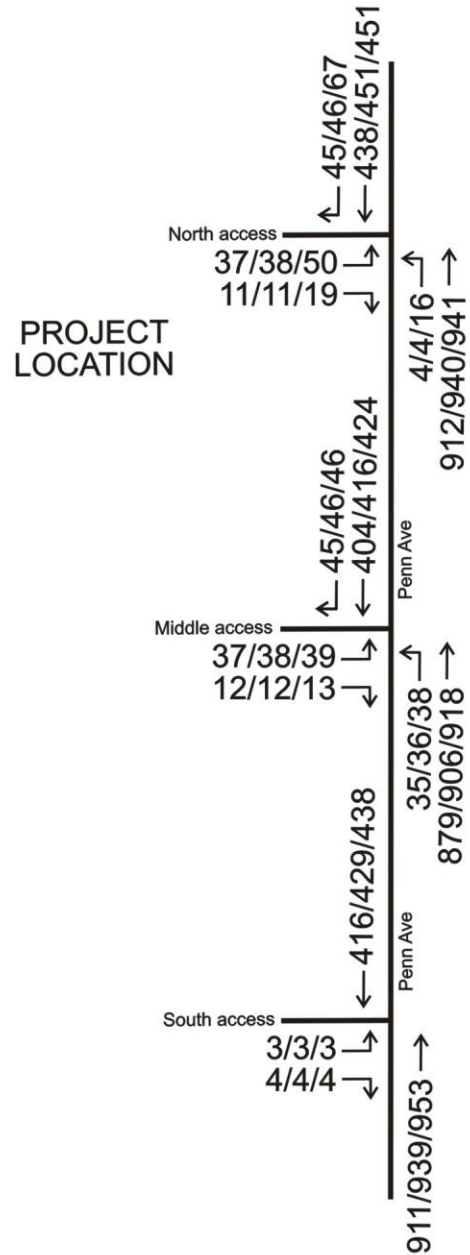
P.M. PEAK HOUR



A.M. PEAK HOUR



P.M. PEAK HOUR



2019
 2022 NO-BUILD
 2022 BUILD
 XX/XX/XX

5.0 Traffic Analysis

Intersection Level of Service Analysis

Traffic analyses were completed for the subject intersections for all scenarios described earlier during the weekday a.m. and p.m. peak hours using Synchro software. Initial analysis was completed using existing geometrics and intersection control.

Capacity analysis results are presented in terms of level of service (LOS), which is defined in terms of traffic delay at the intersection. LOS ranges from A to F. LOS A represents the best intersection operation, with little delay for each vehicle using the intersection. LOS F represents the worst intersection operation with excessive delay. The following is a detailed description of the conditions described by each LOS designation:

- Level of service A corresponds to a free flow condition with motorists virtually unaffected by the intersection control mechanism. For a signalized or an unsignalized intersection, the average delay per vehicle would be approximately 10 seconds or less.
- Level of service B represents stable flow with a high degree of freedom, but with some influence from the intersection control device and the traffic volumes. For a signalized intersection, the average delay ranges from 10 to 20 seconds. An unsignalized intersection would have delays ranging from 10 to 15 seconds for this level.
- Level of service C depicts a restricted flow which remains stable, but with significant influence from the intersection control device and the traffic volumes. The general level of comfort and convenience changes noticeably at this level. The delay ranges from 20 to 35 seconds for a signalized intersection and from 15 to 25 seconds for an unsignalized intersection at this level.
- Level of service D corresponds to high-density flow in which speed and freedom are significantly restricted. Though traffic flow remains stable, reductions in comfort and convenience are experienced. The control delay for this level is 35 to 55 seconds for a signalized intersection and 25 to 35 seconds for an unsignalized intersection.
- Level of service E represents unstable flow of traffic at or near the capacity of the intersection with poor levels of comfort and convenience. The delay ranges from 55 to 80 seconds for a signalized intersection and from 35 to 50 seconds for an unsignalized intersection at this level.
- Level of service F represents forced flow in which the volume of traffic approaching the intersection exceeds the volume that can be served. Characteristics often experienced include long queues, stop-and-go waves, poor travel times, low comfort and convenience, and increased accident exposure. Delays over 80 seconds for a signalized intersection and over 50 seconds for an unsignalized intersection correspond to this level of service.

The LOS results for the study intersections are discussed below.

Scenario 1 – North and middle access changed to two-way, south access remains one-way (preferred option)

Penn Avenue/north access (driveway stop control) - During the a.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS A. The overall intersection operates at LOS A for all scenarios.

During the p.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS A. The overall intersection operates at LOS A for all scenarios.

Penn Avenue/middle access (driveway stop control) - During the a.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

During the p.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

Penn Avenue/south access (driveway stop control) - During the a.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

During the p.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

Scenario 2 – Existing one-way driveway operations

Penn Avenue/north access (driveway stop control) - During the a.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS A. The overall intersection operates at LOS A for all scenarios.

During the p.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS A. The overall intersection operates at LOS A for all scenarios.

Penn Avenue/middle access (driveway stop control) - During the a.m. peak hour under existing and 2022 No-Build conditions, all movements operate at LOS C or better. Under 2022 Build conditions, the eastbound left turn operates at LOS D while all other movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

During the p.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

Penn Avenue/south access (driveway stop control) - During the a.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

During the p.m. peak hour under existing, 2022 No-Build, and 2022 Build conditions, all movements operate at LOS C or better. The overall intersection operates at LOS A for all scenarios.

Overall Traffic Impact

Overall, trips generated by the proposed development are expected to have minimal impact on traffic operations on the surrounding street system. From a level of service standpoint, Scenario 1 (two-way traffic) results in slightly better operations than Scenario 2 (one-way traffic). However, both scenarios result in acceptable traffic operations at the access intersections.

6.0 Parking Analysis

The proposed apartment building will be constructed in the northwest quadrant of the property in space that is currently used for parking. Under existing conditions there are 229 striped parking spaces on the site. The proposed project includes 175 underground spaces and 160 surface spaces, for a total of 335 on-site parking spaces.

Parking Demand Calculations

Parking data from the Institute of Transportation Engineers (ITE) was used to determine the expected peak parking demand for the apartment building. Data provided in the ITE publication *Parking Generation*, 5th Edition, indicates that the peak parking demand for the apartment is 153 spaces on a weekday and 143 spaces on a Saturday.

Existing Parking Usage

Existing parking usage for the grocery store was surveyed on three weekdays and one Saturday in September 2019. The results of the surveys are shown in Table 2.

Table 2
Existing On-Site Parking Usage

Date and Time of Day	Total On-Site (229 total spaces)	
	Spaces used	Spaces open
Tuesday September 10, 2019 12:10 pm	81	148
Tuesday September 10, 2019 2:00 pm	87	142
Thursday September 12, 2019 2:00 pm	70	159
Saturday September 21, 2019 10:00 am	96	133
Saturday September 21, 2019 12:00 pm	98	131
Saturday September 21, 2019 2:00 pm	93	136
Monday September 30, 2019 4:30 pm	68	161
Monday September 30, 2019 5:00 pm	64	165
Monday September 30, 2019 5:30 pm	75	154
Monday September 30, 2019 6:00 pm	74	155

For the overall site, there was a maximum of 98 spaces used on September 21st and a minimum of 70 spaces used on September 12th.

Overall Parking Impact

Data provided in the ITE publication *Parking Generation*, 5th Edition, indicates the grocery store and apartment uses peak at different times during the day. Based on the ITE data, the peak weekday parking demand occurs between 6 a.m. and 8 a.m. The peak parking demand during that time period is 199 spaces. On a Saturday, the peak parking demand occurs between 8 a.m. and 11 a.m. The peak parking demand during that time is 210 spaces.

The 335 spaces provided is 136 spaces greater than the calculated peak weekday demand and 125 spaces greater than the calculated peak Saturday demand. Based on these calculations, the amount of proposed parking is adequate.

7.0 Conclusions and Recommendations

The conclusions drawn from the information and analyses presented in this report are as follows:

- The proposed development is expected to generate 47 net trips during the a.m. peak hour, 57 net trips during the p.m. peak hour, and 707 net trips daily.
- Overall, trips generated by the proposed development are expected to have minimal impact on traffic operations on the surrounding street system. From a level of service standpoint, Scenario 1 (two-way traffic) results in slightly better operations than Scenario 2 (one-way traffic). However, both scenarios result in acceptable traffic operations at the access intersections.
- The proposed number of parking spaces can accommodate the expected peak parking demand based on Institute of Transportation Engineers (ITE) data and existing usage for the grocery store.



Planning Commission Minutes

October 28, 2019

MEMBERS PRESENT: Chairperson Allysen Hoberg, Commissioners Bryan Pynn, Sean Hayford Oleary, Peter Lavin, James Rudolph, Susan Rosenberg and Kathryn Quam

MEMBERS ABSENT: None

STAFF PRESENT: Matt Brillhart, Associate Planner
Melissa Poehlman, Asst. Community Development Director

OTHERS PRESENT: Brad Lis, Lunds Real Estate

Chairperson Hoberg called the meeting to order at 7:00 p.m.

APPROVAL OF MINUTES

M/Hayford Oleary, S/Pynn to approve the minutes of the August 26, 2019 meeting.

Motion carried: 7-0

OPEN FORUM

No members of the public spoke.

ITEM #1 APPROVAL OF AGENDA

M/Quam, S/Rudolph to approve the agenda.

Motion carried: 7-0

PUBLIC HEARINGS

ITEM #2

19-VAR-07 – Consideration of a request for a variance from sign code requirements at Southdale Square (2900 66th St W).

Associate Planner Matt Brillhart presented the staff report.

M/Rosenberg, S/Quam to close the public hearing.

Motion carried: 7-0

M/Hayford Oleary, S/Rosenberg to approve a resolution granting a variance from sign code requirements at Southdale Square.

Motion carried: 7-0

ITEM #3

19-SP-02, 19-VAR-06 – Consideration of a request for site plan approval and variances for a proposal to construct a 127-unit apartment building on a portion of the Lunds property at 6200 & 6228 Penn Avenue.

Brillhart presented the staff report.

Brad Lis of Lunds introduced the project, answering Commissioners' questions about the parking study, building setback, traffic access configuration, and pedestrian access routes.

Poehlman stated that the plans and proposed traffic access changes were under review by Hennepin County.

Speakers at the public hearing (sign-in sheet attached) stated concerns with traffic impacts on Penn Avenue, 64th Street, and the access route over Fraser's property to the south, as well as potential impacts on property values.

October 28, 2019

M/Quam, S/Pynn to close the public hearing.

Motion carried: 7-0

M/Rudolph, S/Pynn to recommend approval of the site plan and variances for a 127-unit apartment building on Lunds property at 6200 & 6228 Penn Avenue.

M/Hayford Oleary, S/Hoberg to amend the resolution to include a stipulation requiring a direct east-west pedestrian connection from the apartment building entrance to Penn Avenue that meets minimum ADA requirements.

Amendment carried: 7-0

Motion carried: 7-0

ITEM #4

19-CUP-10 – Consideration of a request for a conditional use permit to allow small wireless facilities in the right-of-way at 6920 Penn Avenue. 19-CUP-11 – Cancel public hearing for 7108 Lyndale Avenue.

Brillhart presented the staff report.

M/Pynn, S/Quam to close the public hearing.

Motion carried: 7-0

Responding to a number of questions from the Commission, Poehlman stated that the State Legislature and Federal government have tied cities' hands and limited the ability to block these facilities from coming in. In terms of health impacts, the World Health Organization does not currently recognize electromagnetic hypersensitivity as a medical diagnosis. Poehlman further stated that the Planning Commission's discretion in this CUP process was largely limited to questions of neighborhood character and aesthetics, by potentially regulating the design and quantity/concentration of pole locations. Based on the projected spacing between antennas of 1-2 blocks, city staff was not proposing additional spacing requirements at this time.

M/Hayford Oleary, S/Pynn to recommend approval of a conditional use permit to allow small wireless facilities in the right-of-way at 6920 Penn Avenue.

Motion carried: 6-1 (Rudolph opposed)

M/Pynn, S/Hayford Oleary to cancel the public hearing for 7108 Lyndale Avenue.

Motion carried: 7-0

ITEM #5

19-APUD-05 – Continue a public hearing to consider an amendment to the Richfield-Bloomington Honda Planned Unit Development to November 25, 2019.

M/Hoberg, S/Quam to continue the public hearing.

Motion carried: 7-0

OTHER BUSINESS

ITEM #6

Consideration of a motion rescheduling the December Planning Commission meeting to December 9, 2019.

M/Hoberg, S/Quam to reschedule the December meeting.

Motion carried: 7-0

LIAISON REPORTS

Community Services Advisory Commission: No report.

City Council: No report.

HRA: No report.

School Board: Elections on November 5.

Transportation Commission: No report.

Chamber of Commerce: No report.

CITY PLANNER'S REPORT

Poehlman informed the Commission that there would be a work session on November 18 to review proposals for the HRA-owned property at 6501 Penn Ave; as well as an open house on November 14 to discuss right-of-way improvements in the Penn Avenue corridor. Brillhart shared that Metro Transit would be holding open houses to discuss potential changes to local bus service that connects with the future Orange Line rapid bus.

ADJOURNMENT

M/Rudolph, S/Hayford Oleary to adjourn the meeting.

The meeting was adjourned by unanimous consent at **9:17 p.m.**

Motion carried: 7-0

Planning Commission Secretary

PLANNING COMMISSION MEETING SIGN-IN SHEET

Name (print legibly)

Address or Organization

~~Bob~~ Engle

6221 Russell Ave S.

John Richards

6229 Russell

Paty Bugh

2414 W. 65¹/₂ St

Carolyn Hanna

6233 Russell Ave S.



STAFF REPORT NO. 149
CITY COUNCIL MEETING
11/26/2019

REPORT PREPARED BY: Chris Link, Operations Superintendent

DEPARTMENT DIRECTOR REVIEW: Kristin Asher, Public Works Director/City Engineer
11/19/2019

OTHER DEPARTMENT REVIEW: Mary Tietjen, City Attorney

CITY MANAGER REVIEW: Katie Rodriguez, City Manager
11/20/2019

ITEM FOR COUNCIL CONSIDERATION:

Consider a resolution:

1. **abolishing the Lyndale/Hub/Nicollet (LHN) Maintenance District established in December 1980; and**
2. **rescinding the LHN Maintenance District services ordered for the period January 1, 2020 to December 31, 2020.**

EXECUTIVE SUMMARY:

The LHN Maintenance District was established to recover special maintenance expenses within the area in 1981. At the November 13 City Council Work Session, staff received direction to discontinue the district and not accrue charges in 2020.

Many of the landscape design elements within the district have changed or have been removed through redevelopment and recent road reconstruction projects. It was also discussed that properties that have redeveloped now have Maintenance Agreements defining maintenance responsibilities between the City and developer. Many of the special features unique to properties in the LHN District at the time of its establishment have changed, have been removed, or are now common in other areas throughout the City.

RECOMMENDED ACTION:

By motion: Adopt a resolution:

1. **abolishing the Lyndale/Hub/Nicollet (LHN) Maintenance District established in December 1980; and**
2. **rescinding the LHN Maintenance District services ordered for the period January 1, 2020 to December 31, 2020.**

BASIS OF RECOMMENDATION:

A. **HISTORICAL CONTEXT**

- Each year City Council assesses charges to eligible properties in the LHN Maintenance District and re-establishes the district for the following year.
- City Council gave direction to no longer continue to assess properties within the district at the

November 13, 2019 City Council Work Session for the reasons mentioned in the executive summary.

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

- Section 825 of City Code defines services which can be assessed.
- Individual, adjacent property owners may still be assessed if they do not provide proper maintenance of the boulevard areas.

C. CRITICAL TIMING ISSUES:

Dissolving the district at this meeting would ensure:

- Charges to the City that would be passed on to the eligible LHN Maintenance District property owners would not accrue for 2020.
- An acceptable amount of time to notify affected property owners of the change in the LHN Maintenance District assessment policy and any new maintenance responsibilities they will need to take on.

D. FINANCIAL IMPACT:

- The City of Richfield will no longer be reimbursed for maintenance charges to the District.
- The 2020 Street and Park Maintenance budgets will be revised to reflect maintenance charges.
- It is estimated that maintenance costs will be \$10,000/year
- Estimated charges for 2019 are \$22,000, this is will be the final assessment for the district.

E. LEGAL CONSIDERATION:

The City Attorney has reviewed this staff report and resolution and will be available to answer questions.

ALTERNATIVE RECOMMENDATION(S):

PRINCIPAL PARTIES EXPECTED AT MEETING:

None.

ATTACHMENTS:

Description	Type
□ Resolution	Resolution Letter

RESOLUTION NO. _____

**RESOLUTION ABOLISHING THE LYNDALDE/HUB/NICOLLET
(LHN) MAINTENANCE DISTRICT AND RESCINDING
APPROVAL FOR WORK PREVIOUSLY ORDERED FOR THE
PERIOD JANUARY 1, 2020 TO DECEMBER 31, 2020**

WHEREAS, the City Council of the City of Richfield established the Lyndale/HUB/Nicollet Development Project Area (the “LHN District”) by adoption of Resolution No. 6356 on December 22, 1980; and

WHEREAS, the LHN District was established for the purposes of assessing benefited properties for current services provided by the City, pursuant to authority in Section 825 of the City Code, such as: snow, ice and rubbish removal; weed elimination; tree trimming; landscaping; and other similar services; and

WHEREAS, at its meeting on October 8, 2019, the Council adopted Resolution No. 11661 ordering the undertaking of current services in the LHN District for the 2020 calendar year;

WHEREAS, subsequent to the October 8, 2019 meeting, the City Council determined that current services provided by the City have diminished over the years due to redevelopment and individual maintenance agreements with affected properties within the LHN District and the removal of special features unique to properties in the LHN District; and

WHEREAS, the City Council has therefore concluded that the LHN District no longer serves the same beneficial purpose as when it was first established in 1980.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Richfield, Minnesota, as follows:

1. Resolution No. 6356 adopted by the City Council on December 22, 1980 is rescinded and the LHN District is abolished.
2. Resolution No. 11661 is rescinded and current services ordered for 2020 are hereby cancelled.
3. City staff are authorized and directed to carry out all necessary steps, including communication with affected property owners, related to the abolition of the LHN District and cancellation of current services for 2020.

Passed by the City Council of the City of Richfield, Minnesota, this 26th day of November, 2019.

Maria Regan Gonzalez, Mayor

ATTEST:

Elizabeth VanHoose, City Clerk



STAFF REPORT NO. 150
CITY COUNCIL MEETING
11/26/2019

REPORT PREPARED BY: Jesse Swenson, HR Manager

DEPARTMENT DIRECTOR REVIEW:

OTHER DEPARTMENT REVIEW:

CITY MANAGER REVIEW: Katie Rodriguez, City Manager
11/19/2019

ITEM FOR COUNCIL CONSIDERATION:

Consider approval of a resolution approving the contract with the Police Lieutenants Teamsters 320 for the contract period January 1, 2020 through December 31, 2021 and authorize the City Manager to execute the agreement.

EXECUTIVE SUMMARY:

City staff has completed labor negotiations with the Police Lieutenants Teamsters 320 (Union). The provisions of the 2020-2021 labor agreement cover all of the employees in this Union, which consists of 3 positions.

The two-year contract provides a wage adjustment of 3.0% in 2020 and a wage adjustment of 3.0% in 2021.

The other provisions of the tentative agreement include:

- A one-time equity adjustment to the base monthly wage of the top step of the pay grade in 2020 and 2021. The one-time equity adjustment in each year is \$78 per month to the base monthly wage. When evaluating wages, the City strives to keep its employee groups' wages within the average of similarly-sized metro area cities. An analysis revealed that the top step of this pay plan had fallen below the average, necessitating a one-time equity adjustment to the top step of this pay plan.
- Up to a \$105 per month increase in the City's contribution towards health insurance.
- A \$0.25 per month increase towards employee single dental coverage.
- Agreement to accept the same level of contributions that Management and General Services employees will be receiving in 2021 for health and dental insurance coverage.

RECOMMENDED ACTION:

By motion: Adopt a resolution approving the provisions of the 2020-2021 labor agreement with the Police Lieutenants Teamsters 320 bargaining unit and authorize the City Manager to execute the agreement.

BASIS OF RECOMMENDATION:

A. HISTORICAL CONTEXT

The tentatively approved two year contract settlement includes the following significant changes:

- Wages: A 3.0% wage adjustment for 2020 and a 3.0% wage adjustment for 2021. An additional one-time equity adjustment in 2020 and 2021 to the base monthly wage of the top step of the pay

grade. The one-time equity adjustment is \$78 to the base monthly wage.

- Health Insurance: Up to a \$105 increase to the Employer health insurance contribution, which provides up to a maximum contribution of \$921.50 per month for single Employee coverage, \$1,312 per month for Employee plus spouse or Employee plus child(ren) coverage and \$1,435 per month for Employee plus family coverage.
- Dental Insurance: A \$0.25 per month increase to the Employer contribution for employee single dental insurance coverage at \$60.00 per month.

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

- The City has met and negotiated in good faith with the Union and its representatives and is bound under the Public Employer's Labor Relations Act to meet and bargain over the terms and conditions of employment.
- The proposed settlement for the health and dental insurance provisions is identical to those provided to both union and non-union City employees. The City has a long history of providing the same level of insurance benefits to all eligible City employees.
- The 3.0% wage increase represents the same 3.0% wage adjustment implemented for non-union City employees and all other contracts settled for 2020.
- The wage adjustment and health insurance increase is comparable to other bargaining groups in similar metro cities. A survey of Stanton 5 cities indicates that those cities are providing anywhere from a 2.75 to 3 percent increase. The City has a long history of trying to remain as close to the mid-range as possible for Stanton 5 cities, in terms of wages and benefits.
- The 3.0% wage adjustment for 2021 is the City's and Union's best estimation of what will be the average of such settlements in the metro area. The Police Sergeants Local 320 unit has also agreed to this increase for 2021. The City is aware of at least three other metro area cities that have settled at 3.0% for 2021.

C. CRITICAL TIMING ISSUES:

In order to allow the City's accounting personnel to modify payroll records in a timely manner for 2020 wages and benefits, it is recommended that the City Council act on November 26, 2019 to adopt the attached resolution providing for contract changes, effective January 1, 2020.

D. FINANCIAL IMPACT:

- A 3.0% wage increase for contract year 2020 and 3.0% wage increase for contract year 2021.
- A one-time equity adjustment of \$78 per month in 2020 and 2021 to the top step of the pay grade. Only one of three Lieutenants is currently at the top step, with an annual impact of \$936 to the budget.
- A maximum \$105 per month increase in Employer monthly contributions towards health insurance coverage for 2020.
- A \$0.25 per month increase in Employer monthly contributions towards dental insurance in 2020.

E. LEGAL CONSIDERATION:

If the terms of this agreement are not approved, further negotiation and/or mediation will be necessary.

ALTERNATIVE RECOMMENDATION(S):

- Do not approve the terms of this agreement and prepare for further negotiation and/or mediation.
- Defer discussion to another date.

PRINCIPAL PARTIES EXPECTED AT MEETING:

None

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Resolution	Resolution Letter

RESOLUTION NO.

**RESOLUTION APPROVING LABOR AGREEMENT BETWEEN THE
CITY OF RICHFIELD AND
POLICE LIEUTENANTS TEAMSTERS 320
BARGAINING UNIT FOR YEARS 2020 - 2021**

WHEREAS, the City Manager and the Richfield Police Lieutenants Teamsters 320 have reached an understanding concerning conditions of employment for years 2020 and 2021; and

WHEREAS, it would be inappropriate to penalize Lieutenants Teamsters 320 members who have negotiated in good faith; and

WHEREAS, the City Ordinance requires that contracts between the City and the exclusive representative of the employees in an appropriate bargaining unit shall be completed by Council resolution.

NOW, THEREFORE, BE IT RESOLVED that the City Council does hereby approve the Labor Agreement between the City of Richfield and Lieutenants Teamsters 320 Bargaining Unit for years 2020 and 2021, under the provisions of the Labor Agreement to be implemented, effective January 1, 2020 and authorize the City Manager to execute the contract.

Adopted by the City Council of the City of Richfield, Minnesota this 26th day of November 2019.

Maria Regan Gonzalez Mayor

ATTEST:

Elizabeth VanHoose City Clerk



STAFF REPORT NO. 151
CITY COUNCIL MEETING
11/26/2019

REPORT PREPARED BY: Jesse Swenson, HR Manager

DEPARTMENT DIRECTOR REVIEW: Pam Dmytrenko
11/8/2019

OTHER DEPARTMENT REVIEW:

CITY MANAGER REVIEW: Katie Rodriguez, City Manager
11/19/2019

ITEM FOR COUNCIL CONSIDERATION:

Consider the adoption of a resolution approving the contract with the Police Sergeants Teamsters 320 for the contract period January 1, 2020 through December 31, 2021 and authorize the City Manager to execute the agreement.

EXECUTIVE SUMMARY:

City staff has completed labor negotiations with the Police Sergeants Teamsters 320 (Union). The provisions of the 2020-2021 labor agreement cover all of the employees in this Union, which consists of 8 positions.

The two-year contract provides a wage adjustment of 3.0% in 2020 and a wage adjustment of 3.0% in 2021.

The other provisions of the tentative agreement include:

- Up to a \$105 per month increase in the City's contribution towards health insurance.
- A \$0.25 per month increase towards employee single dental coverage.
- Agreement to accept the same level of contributions that Management and General Services employees will be receiving in 2021 for health and dental insurance coverage.
- An increase in court stand-by pay of \$2, from \$35 to \$37 per occurrence.

RECOMMENDED ACTION:

By motion: Adopt a resolution approving the provisions of the 2020-2021 labor agreement with the Police Sergeants Teamsters 320 bargaining unit and authorize the City Manager to execute the agreement.

BASIS OF RECOMMENDATION:

A. HISTORICAL CONTEXT

The tentatively approved two year contract settlement includes the following significant changes:

- Wages: A 3.0% wage adjustment for 2020 and a 3.0% wage adjustment for 2021.
- Health Insurance: Up to a \$105 increase to the Employer health insurance contribution, which provides up to a maximum contribution of \$921.50 per month for single Employee coverage, \$1,312 per month for Employee plus spouse or Employee plus child(ren) coverage and \$1,435 per month for Employee plus family coverage.
- Dental Insurance: A \$0.25 per month increase to the Employer contribution for employee single

dental insurance coverage at \$60.00 per month.

- Court standby increase of \$2, from \$35 to \$37 per occurrence.

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

- The City has met and negotiated in good faith with the Union and its representatives and is bound under the Public Employer's Labor Relations Act to meet and bargain over the terms and conditions of employment.
- The proposed settlement for the health and dental insurance provisions is identical to those provided to both union and non-union City employees. The City has a long history of providing the same level of insurance benefits to all eligible City employees.
- The 3.0% wage increase represents the same 3.0% wage adjustment implemented for non-union City employees and all other contracts settled for 2020.
- The wage adjustment and health insurance increase is comparable to other bargaining groups in similar metro cities. A survey of Stanton 5 cities indicates that those cities are providing anywhere from a 2.75 to 3 percent increase. The City has a long history of trying to remain as close to the mid-range as possible for Stanton 5 cities, in terms of wages and benefits.
- The 3.0% wage adjustment for 2021 is the City's and Union's best estimation of what will be the average of such settlements in the metro area. The Police Lieutenant bargaining unit has also agreed to this increase for 2021. The City is aware of at least three other metro area cities that have settled at 3.0% for 2021.

C. CRITICAL TIMING ISSUES:

In order to allow the City's accounting personnel to modify payroll records in a timely manner for 2020 wages and benefits, it is recommended that the City Council act on November 26, 2019 to adopt a resolution providing for contract changes, effective January 1, 2020.

D. FINANCIAL IMPACT:

- A 3.0% wage increase for contract year 2020 and 3.0% wage increase for contract year 2021.
- A maximum \$105 per month increase in employer monthly contributions towards health insurance coverage for 2020.
- A \$0.25 per month increase in Employer monthly contributions towards dental insurance in 2020.
- A \$2 increase to court standby pay, from \$35 to \$37 per occurrence.

E. LEGAL CONSIDERATION:

If the terms of this agreement are not approved, further negotiation and/or mediation will be necessary.

ALTERNATIVE RECOMMENDATION(S):

- Do not approve the terms of this agreement and prepare for further negotiation and/or mediation.
- Defer discussion to another date.

PRINCIPAL PARTIES EXPECTED AT MEETING:

None

ATTACHMENTS:

Description	Type
□ Resolution	Resolution Letter

RESOLUTION NO.

**RESOLUTION APPROVING LABOR AGREEMENT BETWEEN THE
CITY OF RICHFIELD AND
POLICE SERGEANTS TEAMSTERS 320
BARGAINING UNIT FOR YEARS 2020 - 2021**

WHEREAS, the City Manager and the Richfield Police Sergeants Teamsters 320 have reached an understanding concerning conditions of employment for years 2020 and 2021; and

WHEREAS, it would be inappropriate to penalize Sergeants Teamsters 320 members who have negotiated in good faith; and

WHEREAS, the City Ordinance requires that contracts between the City and the exclusive representative of the employees in an appropriate bargaining unit shall be completed by Council resolution.

NOW, THEREFORE, BE IT RESOLVED that the City Council does hereby approve the Labor Agreement between the City of Richfield and Lieutenants Teamsters 320 Bargaining Unit for years 2020 and 2021, under the provisions of the Labor Agreement to be implemented, effective January 1, 2020 and authorize the City Manager to execute the contract.

Adopted by the City Council of the City of Richfield, Minnesota this 26th day of November 2019.

Maria Regan Gonzalez Mayor

ATTEST:

Elizabeth VanHoose City Clerk