



**PLANNING COMMISSION MEETING
RICHFIELD MUNICIPAL CENTER, COUNCIL CHAMBERS
OCTOBER 23, 2023
7:00 PM**

Call to Order

Approval of the Minutes

- Approval of the minutes of the regular Planning Commission meeting of August 28, 2023.

Open Forum

Comments are to be an opportunity to address the Planning Commission. Please refer to the Planning Commission agendas and minutes web page for additional ways to submit comments prior to the meeting. Call into the open forum by dialing 1-415-655-0001 Use webinar access code: 2631 108 2816 and password: 1234.

Agenda Approval

1. Approval of the Agenda

Other Business

2. Consideration of a motion to reschedule the December Planning Commission meeting to December 11, 2023.
Staff Report No. 14

Public Hearings

3. A public hearing to consider a request for a Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Site Plan Approval and two Variances, for 38 units of affordable housing at 6613-6625 Portland Avenue South. Also, consideration of a resolution finding that the sale of this land for the construction of this project will be consistent with the proposed Comprehensive Plan Amendment.

Staff Report No. 15

Liaison Reports

Community Services Advisory Commission
City Council
Housing and Redevelopment Authority (HRA)
Richfield School Board
Transportation Commission
Chamber of Commerce
Sustainability Commission

City Planner's Reports

4. City Planner's Report

5. Next Meeting Time and Location

Regular meeting on November 27, 2023 at 7:00 p.m. in Council Chambers at City Hall

6. Adjournment

Auxiliary aids for individuals with disabilities are available upon request. Requests must be made at least 96 hours in advance to the City Clerk at 612-861-9739.

***Complete information on how to share comments or questions with the Planning Commission, see our Agendas and Minutes page**

https://www.richfieldmn.gov/city_government/planning_commission/agendas_and_minutes.php



PLANNING COMMISSION MEETING MINUTES
Richfield, Minnesota
Regular Planning Commission Meeting
August 28, 2023

CALL TO ORDER

The meeting was called to order by Chair Holmvgig-Johnson at 7:00 p.m. in the Council Chambers.

Planning Commissioners Present: Brendan Kennealy, Cole Hooey, Eddie Holmvgig-Johnson, Benjamin Surma, and James Rudolph

Commissioners Excused: Matt Taraldsen, and Brett Stursa

Staff Present: Sam Crosby, Planner II; Ruby Villa, Assistant Planner; Kumud Verma, Finance Director; and Katie Rodriguez, City Manager.

Others Present:

APPROVAL OF MINUTES

M/Kennealy, S/Hooey, to approve the minutes of the Regular Planning Commission meeting of July 25, 2023.

Motion carried: 5-0.

OPEN FORUM

Chair Holmvgig-Johnson reviewed the options to participate in the open forum. There were no callers or speakers.

ITEM #1

APPROVAL OF THE AGENDA

M/Kennealy, S/Surma, to approve the agenda.

Motion carried: 5-0.

ITEM #2

CONSIDERATION OF THE 2025-2028 CAPITAL IMPROVEMENT PROGRAM AND A FINDING OF CONSISTENCY WITH THE COMPREHENSIVE PLAN OF THE CAPITAL IMPROVEMENT PROGRAM AND THE 2024 CAPITAL IMPROVEMENT BUDGET. (STAFF REPORT NO. 12)

Finance Director Verma gave a brief presentation and overview of the 2024 Capital Improvement Budget and the 20225-2028 Capital Improvement Plan.

City Manager Rodriguez addressed multiple questions from the commission regarding funding of infrastructure improvements.

M/Kennealy, S/Surma, to (1) recommend approval of the 2025-2028 Capital Improvement Program; and (2) adopt a resolution finding that the 2024 Capital Improvement Budget and 2025-2028 Capital Improvement Program are consistent with the Comprehensive Plan.

Motion carried: 5-0.

ITEM #3	CONSIDERATION OF A RESOLUTION FINDING THAT THE DISPOSITION OF 6600 NEWTON AVENUE SOUTH AND 6326 14TH AVENUE SOUTH BY THE HOUSING AND REDEVELOPMENT AUTHORITY IS CONSISTENT WITH THE COMPREHENSIVE PLAN. (STAFF REPORT NO. 13)
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Planner Crosby presented Staff Report No.13.

Commissioner Surma inquired about the history of the properties. Chair Holmvig-Johnson inquired about a resolution for a standing approval finding that any time the Housing and Redevelopment Authority purchases a single-family property for reuse as a two-family dwelling it is consistent with the Comprehensive Plan. Planner Crosby reported that it had been discussed and is currently being researched.

M/Kennealy, S/Hooey, to adopt the resolution as recommended by staff.

Motion carried: 5-0.

ITEM #4	LIAISON REPORTS
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- Community Services Commission: Commissioner Rudolph had no report.
- City Council: Commissioner Kennealy reported that the Council held a work session on July 25th in which they discussed upcoming road construction projects on Nicollet Avenue for inclusion in the 2024 bonding bill and possible regulations regarding the use of cannabis in public places, with a consensus to regulate it like tobacco. During the regular meeting on July 25th the Council voted to repeal the moratorium on retail sales of cannabis edibles in the City and then passed a moratorium disallowing cannabis businesses in Richfield until 2025, unless the state board grants licenses before then. During the same meeting, the Council voted to cap tobacco licenses and eliminate flavored tobacco sales in Richfield. There was also discussion to approve state legislation for a local sales tax option. On August 2nd, the Council held a work session to preview the 2024 Capital Improvement Budget and provide a long-term financial planning update. Finally, on August 8th the Council held another work session to discuss the Velodrome project proposal near 77th and I-494.
- Housing and Redevelopment Authority (HRA): Commissioner Stursa was absent.
- Richfield School Board: Holmvig-Johnson reported that on August 7th, in addition to routine business, the Board went into closed session to conduct labor negotiations for bargaining units. On August 21st the Board held a regular meeting to discuss the general

election for the open director seats on the board. During this meeting the Board also voted to increase the operating levy, and to increase the Capital Improvement levy.

- Transportation Commission: Surma had no report.
- Chamber of Commerce: Commissioner Hooey stated that the Chamber discussed the success of the Toast to Richfield fundraising event that was held earlier this year.
- Sustainability Commission: Commissioner Taraldsen was absent.

ITEM #5	CITY PLANNER'S REPORT
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At their August 8th meeting, the City Council approved the Tierra Encantada Conditional Use Permit Amendment to increase the capacity of a daycare at Hope Church on Portland Avenue. During the same meeting, the Council also approved a moratorium on the operation of cannabis businesses within the city to allow staff time to study the issue of regulation. The regulation of cannabis businesses may need to be addressed through the zoning ordinance, which would require a text amendment. Staff awaits the availability of a state model ordinance to move forward.

ITEM #6	NEXT MEETING TIME AND LOCATION
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The next regular meeting is on Monday, September 25, 2023, at 7:00 pm in the Council Chambers.

ITEM #7	ADJOURNMENT
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M/Hooey, S/Kennealy to adjourn the meeting.

Motion carried: 5-0 and the meeting was adjourned at 7:26 p.m.

Submitted by:

Ruby Villa
Assistant Planner

Brett Stursa
Planning Commission Secretary

AGENDA SECTION:	Other Business
AGENDA ITEM #	2.
CASE NO.:	Staff Report No. 14



PLANNING COMMISSION MEETING 10/23/2023

REPORT PREPARED BY: Ruby Villa, Assistant Planner

COMMUNITY DEVELOPMENT DIRECTOR REVIEW: Melissa Poehlman, Community Development Director
10/26/2023

ITEM FOR COMMISSION CONSIDERATION:

Consideration of a motion to reschedule the December Planning Commission meeting to December 11, 2023.

EXECUTIVE SUMMARY:

The regularly scheduled December Planning Commission meeting falls on Monday, December 25. City offices will be closed on this date for Christmas Day. Staff recommends rescheduling the regular meeting to Monday, December 11, 2023.

RECOMMENDED ACTION:

By motion: Approve the rescheduling of the December Planning Commission meeting from December 25, 2023 to December 11, 2023.

BASIS OF RECOMMENDATION:

A. HISTORICAL CONTEXT

None.

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

None.

C. CRITICAL TIMING ISSUES:

None.

D. FINANCIAL IMPACT:

None.

E. LEGAL CONSIDERATION:

None.

ALTERNATIVE RECOMMENDATION(S):

None.

PRINCIPAL PARTIES EXPECTED AT MEETING:

AGENDA SECTION:	Public Hearings
AGENDA ITEM #	3
CASE NO.:	Staff Report No. 15



PLANNING COMMISSION MEETING 10/23/2023

REPORT PREPARED BY: Sam Crosby, Planner II

COMMUNITY DEVELOPMENT DIRECTOR REVIEW: Melissa Poehlman, Community Development Director
10/17/2023

ITEM FOR COMMISSION CONSIDERATION:

A public hearing to consider a request for a Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Site Plan Approval and two Variances, for 38 units of affordable housing at 6613-6625 Portland Avenue South. Also, consideration of a resolution finding that the sale of this land for the construction of this project will be consistent with the proposed Comprehensive Plan Amendment.

EXECUTIVE SUMMARY:

Beacon Interfaith Housing Collaborative (Applicant) is a non-profit housing developer that specializes in developing supportive housing at deeply affordable levels. They have applied for land use approvals to construct a 3-story, 38-unit housing development on the City-owned "remnant parcels" south of T&T

Automotive in the southeast quadrant of 66th Street East and Portland Avenue. The targeted clientele is neuro-diverse young adults. A portion of the ground level would provide common areas and supportive services. All 38 units would be studio apartments. Half of the units would be available at 30% of Area Median Income (AMI) and the other half of the units would be available at 50% AMI. See applicant's project narrative, attached.

The subject property is guided as "Medium Density Residential" by the 2040 Comprehensive Plan, which provides for up to 35 units per acre (or 21 units). "High Density Residential" provides for multi-family uses at a density of 35 to 100 units per acre (over 22, and up to 60 units). Because the project is proposing 38 units, the Applicant is pursuing a Comprehensive Plan Amendment to re-guide the site from Medium to High Density Residential. Because the proposed project meets many goals of the Comprehensive Plan and is located in an area that is compatible with higher intensity development, staff supports the request.

The subject property is currently zoned MR-2, "Multi-Family Residential" and lies within the Veteran's Park Area (VPA) overlay district. The Applicant is requesting a rezoning to MU-N, "Mixed Use, Neighborhood", as the dimensional standards therein more closely align with the purpose and intent of the VPA overlay district. The proposed zoning is compatible with the proposed High Density Residential land use designation.

In this case, the preliminary plat is required, not to subdivide the property, but to combine four parcels into one development site. The size of the properties were reduced when the right-of-way was expanded for the roundabout improvements, which necessitated the redrawing of the official boundary lines of the parcels, particularly along the front/west side.

Site Plan Approval is required for all developments in a Mixed Use district, not otherwise approved by a conditional use permit or planned unit development. It is worth noting that, once re-guided and rezoned, the proposed project complies with all aspects of the zoning code except two.

The first variance being requested is a 32-parking stall variance from the 43-parking stall requirement to allow 11 parking stalls. The second variance is a 5-foot variance from the 15-foot front building setback requirement, to allow a 10-foot building setback along the west property line.

Per the City's policy for land use requests that involve Comprehensive Plan amendments and rezonings, the Applicant held a neighborhood meeting. Neighbors expressed concerns about building height, privacy, view sheds, crime, and traffic. In response to the neighborhood meeting, the Applicant has reduced the size of the units in order to minimize the building mass, shifted the building farther from the east property line, moved the smoking hut to the north side of the building, and offered to increase the initial size of new trees in the rear. The neighborhood meeting conversation is summarized in greater detail in the "Neighborhood Meeting Summary" attachment.

Staff finds that the proposed project is in harmony with, and meets the intent and policies of, the Comprehensive Plan. Staff further finds that the project advances the goals of the VPA overlay district and meets all zoning code requirements except as noted by the two variances, which are both reasonable and based on unique circumstances. The County has reviewed the preliminary plat and has indicated their support. In summary, staff supports all aspects of the request, which are discussed in greater detail in the policies section, below, and in the "Required Findings" attachment to this report. Consequently, staff recommends approval of the project, subject to the conditions listed in the draft resolutions of approval.

RECOMMENDED ACTION:

Conduct and close a public hearing and by motion:

- 1. Recommend approval of amending the Comprehensive Plan designation for the subject property from Medium Density Residential to High Density Residential;**
- 2. Recommend approval of rezoning the subject property from MR-2, "Multi-Family Residential" to MU-N "Mixed Use Neighborhood";**
- 3. Recommend approval of the proposed preliminary plat, site plan, and 2 variances for the multi-family residential development of 38 units of affordable housing; and**
- 4. Approve the attached resolution finding that the sale of 6613, 6617, 6621 and 6625 Portland Avenue South for the construction of 38 units of affordable housing is consistent with the Comprehensive Plan, subject to City Council and Metropolitan Council approval of the aforementioned Comp Plan Amendment.**

BASIS OF RECOMMENDATION:

A. HISTORICAL CONTEXT

- The property is made up of remnant parcels from the Portland Avenue roundabout project. The Housing and Redevelopment Authority (HRA) has been seeking a viable development proposal for the site since 2009 (about 14 years).
- The northernmost parcel, 6613, was rezoned to MR-2 in 2010. The rest of the parcels were rezoned in 2021. All the parcels have been guided Medium Density Residential since at least 2013.
- The Portland and 66th Sub Area Study was completed, and the VPA overlay district was adopted in June of 2021.
- On March 8, 2022, at a joint work session of the City Council, HRA, and Planning Commission, Beacon presented conceptual plans for the development of up to 40 units of supportive, affordable rental housing at 6613-25 Portland Avenue South.
- On March 21, 2022, the HRA approved a resolution of support for the Beacon concept.
- On April 18, 2022, the HRA approved a Preliminary Redevelopment Agreement with Beacon. On January 17, 2023, the HRA extended the Preliminary Agreement until January 31, 2024.
- On the evening of May 4, 2023, the Applicant held a neighborhood meeting at the Richfield Community Center. Approximately 12 neighbors attended. See the attached "Neighborhood Meeting Summary" prepared by City staff.
- On June 20, 2023, the HRA approved a Redevelopment Agreement with Beacon Interfaith Housing Collaborative for the development of approximately 38 units of supportive housing.

B. POLICIES (resolutions, ordinances, regulations, statutes, etc):

Comprehensive Plan Amendment

- The Applicant is pursuing an amendment to re-guide the site from Medium Density Residential to High Density Residential.
- The subject site has been designated as Medium Density Residential since 2013. While the existing designation is not inappropriate, the proposed designation is equally or more appropriate.
- The High Density Residential future land use category is intended to allow for “multi-family uses at a density of 35 to 100 units per acre primarily located in areas convenient to transportation, shopping and social services necessary to support higher concentrations of people.” This site’s location, adjacent to the intersection of two County roadways, along the D-Line bus rapid transit route, and in close proximity to Veteran’s Park aligns with the characteristics envisioned for High Density Residential.
- Re-guiding the property to High Density Residential supports the purpose and intent of the VPA overlay district, which is (in brief) to produce structures of appropriate scale that transition from single-family residential to higher density mixed use and commercial while being sensitive to surrounding land uses and adhering to the sub-area study’s guidance and development principles. Those principles include (among other things):
 - Diversify Housing Options: This project utilizes a redevelopment opportunity to expand the mix of housing in the area, both in relation to services provided and population served.
 - Building transition: The subject proposal is a housing project that provides an appropriate transition between single-family residential to the east and Portland Avenue, an “A Minor Augmenter” under County jurisdiction, to the west, as well as between the single family residential to the south and the commercial use to the north.
 - Quantity of Parking: Because of the demographic served, the housing project is able to minimize the parking needed. This is a significant factor in what makes the project viable.
 - Finally, the project is sensitive to surrounding single-family residential through the lush landscaping and 6 foot tall privacy fence that would provide screening on the north, east and south sides. As well as pushing the building as far westward and northward as possible.
- In reviewing amendments to the Comprehensive Plan the City is acting in a legislative capacity. As such, a wider degree of discretion is afforded to the City to balance the various policy considerations. In general, the action must be reasonably related to advancing the health, safety, and general welfare of the community. Staff finds that providing affordable housing for those who are less advantaged advances the health, safety and general welfare of the community.

Rezoning

- A rezoning is also being requested to accommodate the density of the project. The MR-2 zoning district has a maximum of 25 units, regardless of lot size. The Applicant has not requested a rezoning to MR-3 because both the MR-2 and MR-3 zoning districts are antiquated in their bulk and dimensional requirements. In 1982, the sub districts of MR-2 and MR-3 were created based on what was already existing (projects built in the late 1970’s or earlier). They were updated in 1996, to add cluster homes, but generally have not kept pace with the realities of constructing multi-family housing in today’s market. Staff has hopes of holding workshops with the Planning Commission towards updating these districts to reflect current development patterns.
- In 2007, the City created three mixed use districts, one of which is the Mixed Use Neighborhood (MU-N) district. In this district, commercial services are not required and residential uses are emphasized at key transportation nodes/corners. The projects are intended to be of smaller scale and oriented to the neighborhood. The main differences between the MR-2 district and the MU-N district are building coverage limits (30% vs. 75%), unit sizes (minimums vs. no minimums), open space requirements (12,350 sq. ft. vs. 2,533 sq. ft.), rear and side setbacks (35 ft. vs. 5 ft.), building height (3 stories vs. 8 stories) and the number of studio units allowed (maximum 20% vs. no limit).
- The purpose and intent, as well as the bulk and dimensional standards, of the MU-N zoning district are more aligned with the purpose and intent of the VPA overlay district (i.e. discourage auto use and promote increased use of transit). Rezoning to MU-N provides the opportunity for a project that fits within the community fabric, as the building is not too dissimilar in height and bulk to other existing apartments in the immediate area, but does not have the availability of land that previous

generations enjoyed.

Preliminary Plat

- The property is already served by public utilities and recently improved street right-of-ways, therefore, no further land dedication is being requested beyond that which was required for the round-about. The MU-N zoning district does not have a minimum lot size requirement or dimensional requirements such as a lot width requirement. The required 5 foot utility and drainage easements are provided along the perimeters of the lot.
- The Applicant has worked with the County to restripe a southbound left-turn lane into the site, and a space for emergency vehicles to pull over behind the (northbound) bus bay. The attorney has provided a Preliminary Plat Opinion Letter that will be updated when the final plat is applied for.

Site Plan Approval

- The site layout pushes the building as far north and west as possible, to provide as much space between the building and the single-family residential as possible. The Applicant has worked with Metro Transit to provide private improvements that complement the public improvements within the right-of-way, and provide a seamless transition between the two. The plan includes a 6 foot tall privacy fence along the north, east and south property lines to provide privacy for both the residents and the neighbors, and lush landscaping along the perimeter of the site. Parking adequacy is discussed in the variance section, as is the front yard building setback variance. All other aspects of the zoning code, including building height, landscaping, architecture, electric vehicle charging, bike parking, solar access, impervious area and useable open space, are all being met.

Parking Variance

- Parking in the MU-N district requires 1.25 spaces for every dwelling unit, which is 48 spaces for the 38 units proposed. The code allows a 10% reduction for proximity to a high-frequency transit line, bringing the requirement down to 43 spaces. The Applicant is proposing only 11 parking spaces, which is a 32 stall difference, or 0.29 stalls per unit. The Applicant has provided a parking study (attached) which captures the parking utilization at their three other locations in St. Paul, Minneapolis and Edina. The locations provide 0.27, 0.21 and 0.33 stalls per unit, respectively and are, on average, only 62% full during peak operations.
- While all three comparative locations are 100% affordable at 30% AMI, the subject site is proposed to be only 50% affordable at 30% AMI. The increase in resident wages almost negligibly impact parking demand. The high cost of owning even a used car makes it very difficult for low income earners to have their own vehicle. As of 2021, nationally, only 16% of car owners make \$49,999 or less in annual income, 16% of half the units is three. The facility will also have, at most, five employees. The five employees, plus the potential for three resident vehicles, plus one for dial a ride type services, equals nine parking stalls. Two stalls would remain for visitors.
- This facility is a unique facility that serves a population with a higher rate of mental or physical impairment, that also impedes ownership of an automobile. A goal of the VPA overlay district is to minimize parking demand and this project does that. Because of the facility's financial demographic, which is guaranteed over the next 40 years due to funding requirements, staff supports the variance. To increase the comfort level with the variance, staff has included a condition of understanding, that - should for some unforeseen reason, the parking demand exceed the parking supply such that it creates a nuisance or issue - the owner of the property will work with the City to resolve the nuisance or issue.

Setback Variance

- The front yard setback in the MU-N district is a minimum of 15 feet and the northwest corner of the building is proposed to be 10 feet from the west property line. There is room to shift the building eastward, to comply with the setback requirement, but the project team chose to maximize the space along the rear of the building for two reasons. First, to provide as much setback from the neighboring single-family residential as possible. Second, to provide as much private green

space for the residents of the building as possible. The vast majority of the building complies with the 15-foot setback requirement – it is only the northern 37 feet that encroaches - a total of 118 square feet. The VPA overlay district has a 10-foot setback requirement, so placing the building closer to the street is not inappropriate in this location. As mentioned in the Applicant's narrative, the dedication of frontage to the round-a-bout project reduced the depth of the lot, specifically on the north end, in the area of the D-Line bus station. This is precisely the area of, and directly related to, where the variance is being requested. The requested setback is the minimum necessary to alleviate the practical difficulty that was created by a past public action; if the right-of-way had not been widened, the proposed building would comply with the 15-foot setback for the entire length.

Finding of Consistency

- MN Statutes Section 462.356 requires the Planning Commission to make a finding as to whether or not land disposition conforms to the City's Comprehensive Plan. Assuming that the Planning Commission will recommend, and the City Council will approve, the change in designation from Medium Density Residential to high Density Residential, the proposed sale would be consistent with the Comprehensive Plan and staff recommends approval of the attached resolution, which has been drafted to be contingent upon the finalization of the Comprehensive Plan Amendment by the Metropolitan Council.

Other Considerations

- *Safety.* Some residents have raised concerns about crime and safety. Richfield staff contacted the City of Edina staff, to inquire about the rate of police calls to their Beacon location, which has been operating since 2014. Edina staff could easily attest that calls for service are not greater in number or severity than any market rate apartment building of the same size. Generally speaking, the project could be expected to reduce crime, as those with a roof over their head are less likely to commit crimes than those that do not. The City with the most affordable housing units in the entire county — Irvine, CA — is the safest in the nation, based on FBI Uniform Crime Reporting statistics.

Strategic Outcome Consideration

- By approving this affordable housing project that serves neuro-divergent youth and young adults, the City "maintains Richfield as an affordable place to live" and "applies an equity-based framework to decision making."

Affordability

- The 2040 Comprehensive Plan calls for a full range of housing choices that meets residents' needs at every stage of their lives and ensures a healthy balance of housing types that meet the needs of a diverse population with diverse needs.
- Supporting housing stability for people with the lowest incomes is a way to further the community's commitment to equitable opportunities for all.
- The Metropolitan Council has identified the City's share of housing affordable at 30% of the AMI to be 66 units, and at 50% of AMI to be 29 units by 2030.
- The proposed project meets several priorities of the Affordable Housing Trust Fund, including:
 - Housing with units affordable at 30% of the AMI
 - Housing with accessible units
 - Housing with supportive services
 - Housing with resident rental subsidies

C. CRITICAL TIMING ISSUES:

- The development is not likely to start construction until funding is received, which may not be until 2025. Therefore, staff has written the approval to default to two years, rather than the standard one year. The Applicant can still request further extension after that, if needed. Likewise, the timeframe in which to file the final plat has also been extended to two years.
- The 60-day clock started when the application was deemed complete on September 8, 2023. Because the request involves both a Re-zoning (which requires more than one reading before the City Council) and a Comprehensive Plan Amendment (which requires both adjacent and affected

jurisdiction review, and Met Council approval), City staff already exercised the City's right to a time extension for an additional 60 days. The extended review period will end on – and therefore a decision is required by - Friday, January 5, 2025.

D. FINANCIAL IMPACT:

- The required land use application fees have been paid.

E. LEGAL CONSIDERATION:

- Notice of this hearing was mailed to properties within 500 feet of the proposed development and published in the Sun Current Newspaper on October 12, 2023.
- Tentative schedule for City Council actions:
 - November 14, 2023 - 1st Reading of Rezoning.
 - November 28, 2023 - 2nd Reading of Rezoning, and consideration of the Comprehensive Plan Amendment, Preliminary Plat, Site Plan & Variances.
- If approved at the November 28 meeting, the Comprehensive Plan Amendment will be sent to adjacent and relevant jurisdictions for comment, and the Metropolitan Council for review.

ALTERNATIVE RECOMMENDATION(S):

- Recommend approval of the proposed Comprehensive Plan Amendment, Rezoning, Site Plan, Variances, Preliminary Plat and Finding of Consistency with additional and/or modified conditions.
- Recommend denial of the requests with findings that requirements are not met.

PRINCIPAL PARTIES EXPECTED AT MEETING:

Jim Barnes, Senior Housing Project Manager for Beacon, and Paul Mellblom, Principal Architect MSR Designs.

ATTACHMENTS:

Description	Type
▢ Finding of Consistency Resolution	Resolution Letter
▢ Rezoning Ordinance	Ordinance
▢ CPA Resolution	Resolution Letter
▢ Prelim Plat Reso	Resolution Letter
▢ Site Plan & Var Reso	Resolution Letter
▢ Location and Zoning Map	Exhibit
▢ Planned Land Use Map	Exhibit
▢ Required Findings	Backup Material
▢ Neighborhood Meeting Summary	Backup Material
▢ Applicant's Narrative	Backup Material
▢ Parking Study	Backup Material
▢ Site Plans	Backup Material
▢ Graphic Renderings	Backup Material
▢ Colored Elevations	Backup Material
▢ Floor Plans	Backup Material
▢ Civil Plan Set	Backup Material
▢ Preliminary Plat	Backup Material
▢ Landscape Plan Set	Backup Material
▢ Photometric Plan Set	Backup Material
▢ Solar Shading Diagrams	Backup Material

RESOLUTION NO. _____
PLANNING COMMISSION
CITY OF RICHFIELD, MINNESOTA

**RESOLUTION FINDING THAT THE DISPOSITION OF REAL PROPERTY
LOCATED AT 6613-6625 PORTLAND AVENUE SOUTH
FOR MULTI-FAMILY REDEVELOPMENT
IS IN CONFORMANCE WITH THE COMPREHENSIVE PLAN**

WHEREAS, the Richfield Housing and Redevelopment Authority owns, and proposes to convey to Beacon Interfaith Housing Collaborative, LLC, the real property located at 6613-6625 Portland Avenue South, legally described as follows:

Lots 31, 32, 33 and 34, Auditor's Subdivision, Hennepin County, Minnesota, Torrens Property Certificate of Title 14184 72, 71, 70 and 69.

WHEREAS, the properties total 0.60 acres in size and are currently guided Medium Density Residential, which allows up to 34 units per acre; and

WHEREAS, Beacon Interfaith Collaborative has requested both a preliminary plat, to combine the four parcels into one, and a Comprehensive Plan Amendment to reguide the combined parcels to High Density Residential, which would allow up to 100 units per acre; and

WHEREAS, the Planning Commission has reviewed the Comprehensive Plan regarding the disposition of said real property;

WHEREAS, the disposition of the property for redevelopment as multi-family would be consistent with the Richfield Comprehensive Plan, both as currently guided and as proposed, differentiated only by intensity;

NOW THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of Richfield, that the proposed conveyance of the above-described property, by the Housing and Redevelopment Authority, for 38 units of affordable housing, is in conformance with the Richfield Comprehensive Plan, *subject to Council approval of the proposed Comprehensive Plan Amendment, by both the City Council and the Metropolitan Council.*

FURTHER BE IT RESOLVED, that should either the City Council or the Metropolitan Council not approve the Comprehensive Plan amendment, this resolution is null and void.

Adopted this 23th day of October, 2023, by the Planning Commission of the City of Richfield, Minnesota.

Richfield Planning Commission Chair

ATTEST:

Richfield Planning Commission Secretary

ORDINANCE NO. _____

**AN ORDINANCE RELATING TO ZONING;
AMENDING APPENDIX I OF THE RICHFIELD CITY CODE
BY REZONING 6613-6625 PORTLAND AVENUE SOUTH
FROM MULTI-FAMILY RESIDENTIAL (MR-2) TO
MIXED USE - NEIGHBORHOOD (MU-N)**

THE CITY OF RICHFIELD DOES ORDAIN:

Section 1. Section 13, Paragraph 43 of Appendix I of the Richfield Zoning Code (Multi-Family Residential – MR-2) is here amended as follows.

M-9 (E side of Portland Ave, S of 66th). Lots 28, 29, 30, ~~31, 32, 33, 34~~
and the West ½ of Lot 26, Auditor's Subdivision No. 340.

Sec. 2. Section 16, Appendix I of the Richfield Zoning Code (Mixed Use - Neighborhood) is here amended to add a new Paragraph 6 to read as follows:

(6) M-9 (E side of Portland Ave, S of 66th). Lots 31, 32, 33 and 34,
Auditor's Subdivision No. 340.

Sec. 3. This ordinance is effective in accordance with Section 3.09 of the Richfield City Charter.

Passed by the City Council of the City of Richfield, Minnesota this 28th day of November, 2023.

Mary B. Supple, Mayor

ATTEST:

Dustin Leslie, City Clerk

RESOLUTION NO.

**RESOLUTION AMENDING THE CITY'S COMPREHENSIVE PLAN
CHANGING THE DESIGNATION OF 6613-6625 PORTLAND AVENUE SOUTH
TO "HIGH DENSITY RESIDENTIAL"**

WHEREAS, the City's Comprehensive Plan provides a Planned Land Use Map guiding the future use of parcels within the City; and

WHEREAS, the 2040 Comprehensive Plan designates 6613, 6617, 6621, and 6625 Portland Avenue South ("subject property") as "Medium Density Residential"; and

WHEREAS, the City has reviewed the Planned Land Use Map and determined that it would be appropriate to designate the subject property as "High Density Residential" as described in City Council Staff Report No. ____; and

WHEREAS, the Planning Commission conducted a public hearing and recommended approval of amending the Comprehensive Plan at its October 23, 2023 meeting; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Richfield, Minnesota that the City's Comprehensive Plan is hereby amended to designate 6613, 6617, 6621 and 6625 Portland Avenue South as "High Density Residential" contingent upon the following:

1. The revision is submitted to and approved by the Metropolitan Council.

Adopted by the City Council of the City of Richfield, Minnesota this 28th day of November, 2023.

Mary B. Supple, Mayor

ATTEST:

Dustin Leslie, City Clerk

RESOLUTION NO.
RESOLUTION GRANTING APPROVAL
OF A PRELIMINARY PLAT
FOR ASTER COMMONS

WHEREAS, Beacon Interfaith Housing Collaborative, LLC. (“Applicant”) has requested approval of a preliminary plat that combines parcels generally located at 6613-6625 Portland Avenue South, legally described as:

Lots 31, 32, 33 and 34, Auditor’s Subdivision, Hennepin County, Minnesota, Torrens Property Certificate of Title 14184 72, 71, 70 and 69 and

WHEREAS, the proposed plat is to be known as ASTER COMMONS; and

WHEREAS, a public hearing was held for the proposed preliminary plat on Monday, October 23, 2023, at which all interested persons were given the opportunity to be heard; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Richfield, as follows:

1. The proposed preliminary plat of ASTER COMMONS satisfies the requirements of the City’s subdivision ordinances.
2. Approval of the preliminary plat of ASTER COMMONS is granted subject to the following conditions:
 - a. Prior to issuance of a building permit, the applicant must address to the City Attorney’s satisfaction all items listed in the final plat opinion letter to be prepared by the City Attorney’s office upon the submittal of a final plat document.
 - b. The Applicant must file the final plat within two years of the date of this approval, unless a written request for a time extension is approved by the City Council, or the preliminary plat will expire.

Adopted by the City Council of the City of Richfield, Minnesota this 28th day of November 2023.

Mary B. Supple, Mayor

ATTEST:

Dustin Leslie, City Clerk

RESOLUTION NO. _____

**RESOLUTION APPROVING A SITE PLAN
AND TWO VARIANCES
FOR ASTER COMMONS HOUSING
AT 6613-6625 PORTLAND AVENUE SOUTH**

WHEREAS, an application has been filed by Beacon Interfaith Housing Collaborative, LLC, with the City of Richfield which requests approval of proposed site plan, a 32 stall parking variance, and a 5 foot front yard setback variance, all in order to construct 38 units of affordable apartment homes at 6613, 6617, 6621, and 6625 Portland Avenue South, property legally described as:

Lots 31, 32, 33 and 34, Auditor's Subdivision No. 340, Hennepin County, Minnesota.

WHEREAS, Zoning Code Section 544.13, Subdivision 6, establishes a minimum number of required off-street parking spaces, which totals 48 spaces for this property; and

WHEREAS, Zoning Code Section 544.13, Subdivision 8, allows a reduction of 10% for proximity to transit (any parcel which is located within 1/4 mile of a frequently operating transit line), bringing the total required off-street parking spaces down to 43; and

WHEREAS, the proposed site plan provides 11 parking stalls; and

WHEREAS, the applicant has provided a parking study that illustrates the actual demand anticipated by the project, as demonstrated by their three other locations within the metro area; and

WHEREAS, Zoning Code Section 537.07, Subd. 1, requires that the principal building be set back a minimum of 15 feet from the front property line; and

WHEREAS, the proposed layout places the northwest corner of the building 10 feet from the front property line in order to maximize the rear yard setback; and

WHEREAS, notice of the public hearing was mailed to properties within 350 feet of the subject property and published in the Sun Current newspaper on October 12, 2023; and,

WHEREAS, the Planning Commission of the City of Richfield held a public hearing at its October 23, 2023 meeting and recommended approval of the requested site plan and variances; and

WHEREAS, the City Council has fully considered the request for site plan approval and variances;

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Richfield, Minnesota, as follows:

1. The City Council adopts as its Findings of Fact the **WHEREAS** clauses set forth above.
2. The City Council further adopts as its Findings of Fact the findings listed in the Required Findings Statement.
3. The requested site plan and variances are hereby approved subject to the following conditions:
 - a. Should the parking demand exceed the parking supply such that it creates a nuisance or issue, the owner of the property will work with the City to resolve the nuisance or issue.
 - b. Separate sign permits are required for signage greater than 6 square feet in size.
 - c. All required parking spaces shall remain available year-round and shall not be used for snow storage.
 - d. The property owner is responsible for the ongoing maintenance of all exterior improvements, including landscaping, in accordance with approved plans.
 - e. The applicant is responsible for obtaining all required permits, and compliance with all other City, County and State regulations.

Prior to the issuance of a building permit, the applicant shall:

- f. Provide a SAC determination from the Met Council.
- g. Provide proof of having recorded a copy of this resolution of approval.
- h. Enter into a construction and maintenance agreement with the City.

Prior to the issuance of a Certificate of Occupancy, the applicant shall:

- i. Enter into an escrow agreement for outstanding items and provide a surety equal to 125% of the value of any improvements not yet complete.
- j. Provide proof of having recorded the construction and maintenance agreement.
- k. The final plat shall be recorded and mylar copies provided to the City.

Prior to the release of the surety:

- I. All exterior improvements shall be installed.
- m. All requirements of the escrow agreement shall be met.
- 4. This approval is contingent upon the approval of the associated Comprehensive Plan Amendment and Rezoning of the property.
- 5. This approval shall expire two years from issuance unless the use for which the permit was granted has commenced, substantial work has been completed or upon written request by the applicant, the Council extends the expiration date for an additional period, as required by the Zoning Ordinance, Section 547.13, Subd. 9.

Adopted by the City Council of the City of Richfield, Minnesota this 28th day of November, 2023.

ATTEST:

Mary B. Supple, Mayor

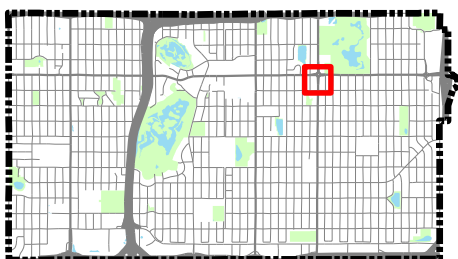
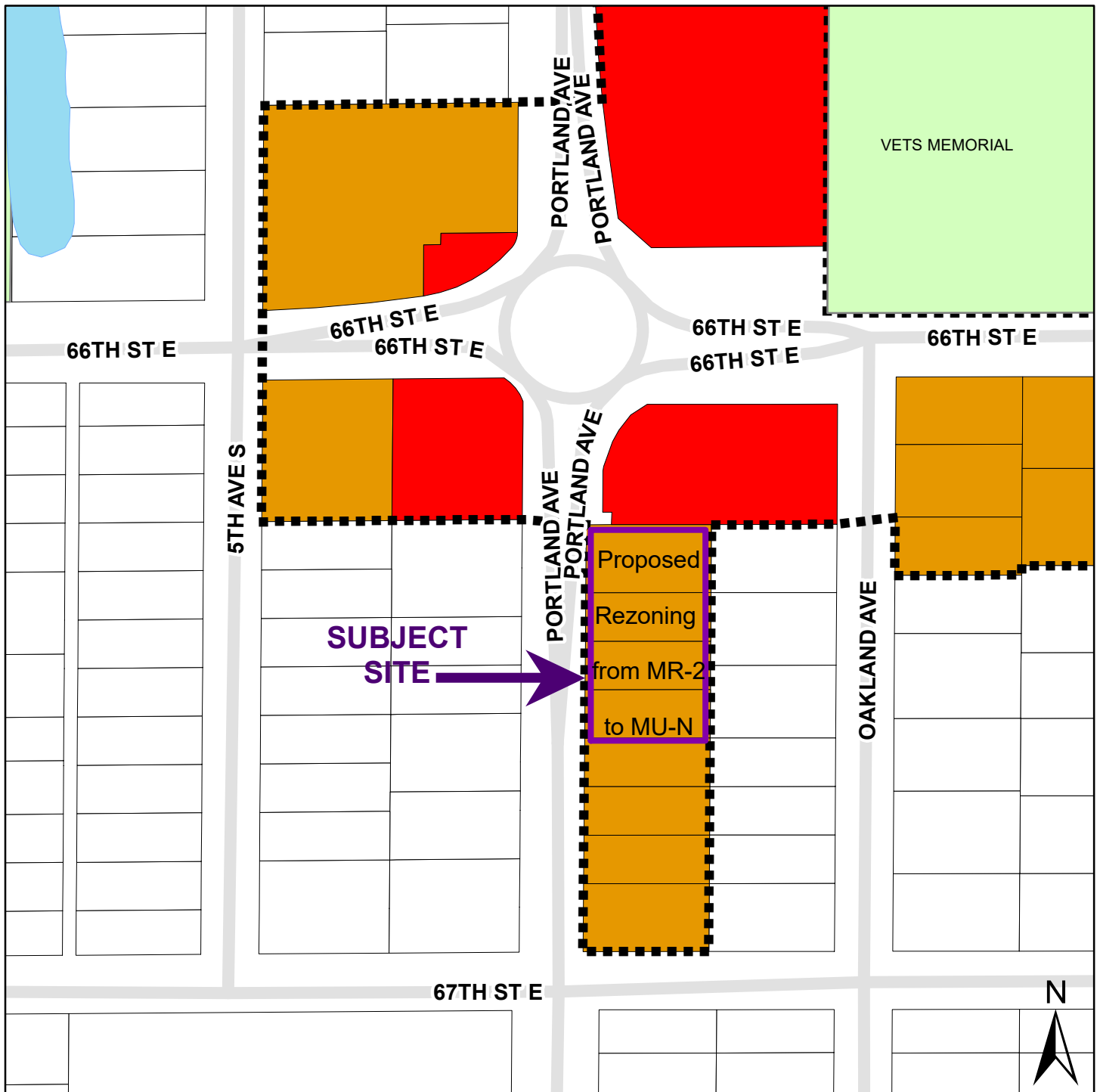
Dustin Leslie, City Clerk



6613-6625 Portland Avenue South

Location and Zoning Map

Beacon Interfaith Housing - Aster Commons



Legend

- R Low Density Residential
- MR-2 Multi-Family
- C-2 General Commercial
- MU-N Mixed Use-Neighborhood
- Parks



Veteran's Park Area Overlay

0 75 150 300 ft

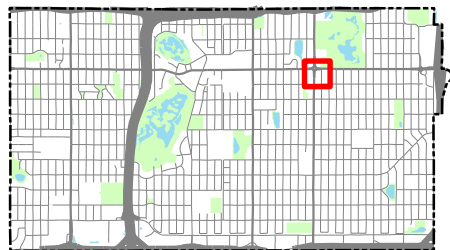
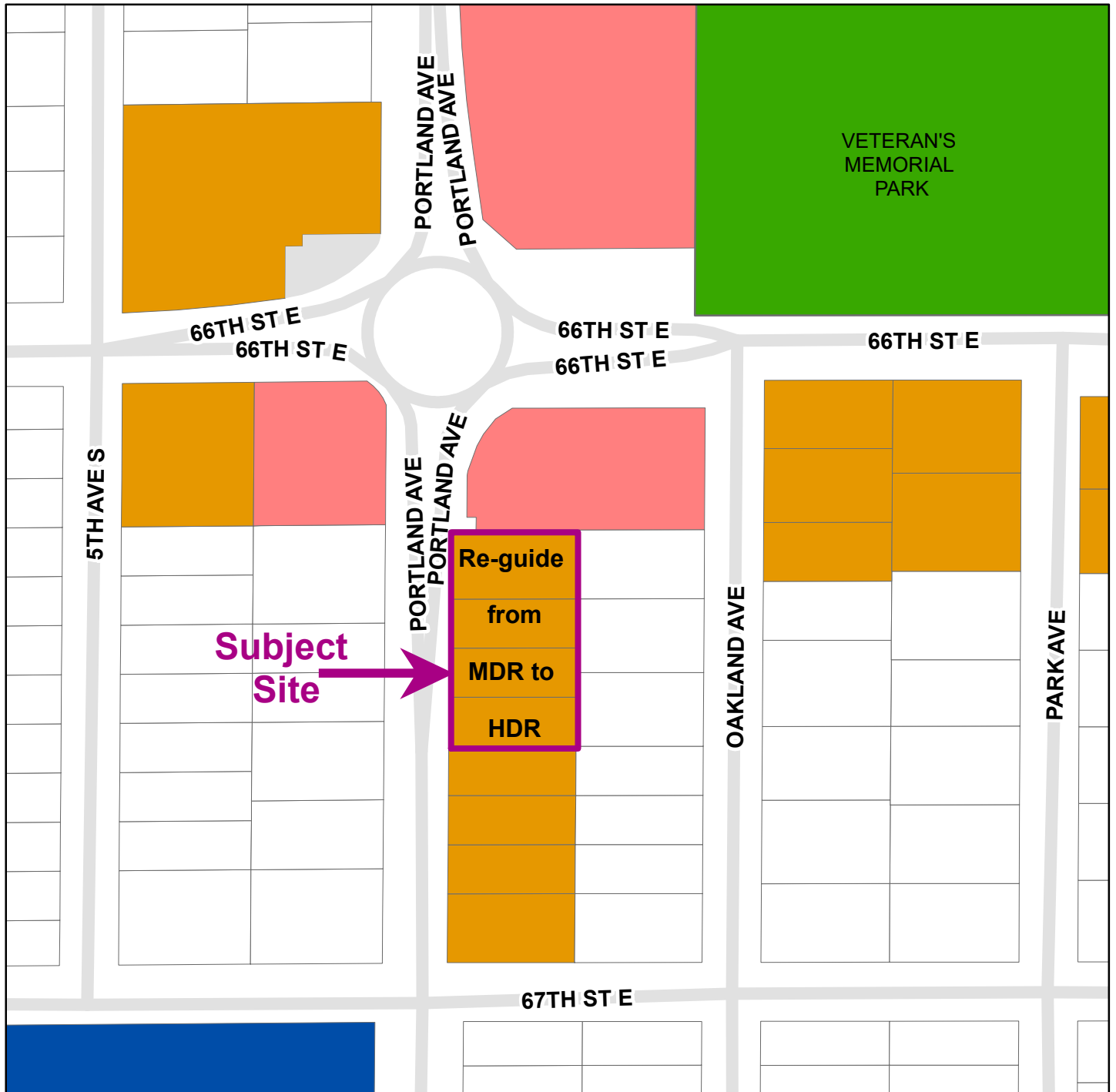
← PROPOSED



6613-6625 Portland Avenue South

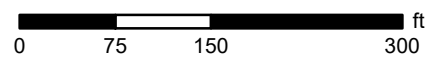
2040 Comprehensive Plan Designations

Beacon Interfaith Housing - Aster Commons



Legend:

- Low Density Residential
- Community Commercial
- Medium Density Residential (8-34 du/ac)
- High Density Residential (35-100 du/ac)
- Park
- Quasi-Public



← PROPOSED



REQUIRED FINDINGS – ASTER COMMONS

Part 1: Development proposals in the Mixed Use Districts shall be reviewed for compliance with the following (537.01, Subd.3):

1. *Consistency with the elements and objectives of the City's development guides, including the Comprehensive Plan and any redevelopment plans established for the area.*
 - As outlined in the policies section of the staff report, assuming the rezoning approval, the proposed development complies with all zoning requirements, save the two variances being requested.
 - The proposal also supports the purpose and intent of the Veteran's Park Area Overlay district, which, among other things, is to:
 - i. Diversify Housing Options
 - ii. Provide Sustainable Development
 - iii. Create Appropriate Transitions
 - iv. Minimize Parking
 - The project advances the following objectives of the City's Comprehensive Plan:
 - i. Includes site design and architectural characteristics that provide appropriate transitions between lower and higher intensity uses.
 - ii. Provides a full range of housing choices that contribute to vital and desirable neighborhoods that welcome diversity of age, race, and physical ability; while maintaining a comfortable small town atmosphere
 - iii. Focuses commercial and higher density residential development along major thoroughfares.
 - iv. Strongly encourages pedestrian-friendly and transit friendly building and site design through measures such as higher density development and growth, which is located along major transportation routes.
 - v. Ensure that redevelopment and infill projects maintain the integrity of existing neighborhoods.
 - vi. Uses quality, durable building and landscaping materials to maintain a high-quality standard.
 - vii. Provides quality amenities and a safe living environment.
 - viii. Supplies part of the City's allocation of the region's need for affordable housing.
 - ix. Furthers the development of a balanced housing stock that is available to a range of income levels.
2. *Consistency with the regulations of the Mixed Use Districts as described by Section 537 of the Code.*
 - As noted above, the proposed development is consistent with the Mixed Use District regulations.
3. *Creation of a design for structures and site features which promotes the following:*
 - i. *An internal sense of order among the buildings and uses.*
 - The location of the building, parking lot, and walkways provide for orderly and safe accessibility that will adequately serve residents, visitors, deliveries, and emergency vehicles. The project is designed to accommodate those arriving by all transportation modes. Pedestrian connections are provided around the west, south and east sides of the building. The front is activated by large windows and articulated main entrance.
 - ii. *The adequacy of vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public*

streets, width or interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

- See 3.i, above
- iii. *Energy conservation through the design of structures and the use of landscape materials and site grading.*
 - The landscaping plan proposes plantings to both soften the appearance of the site and uptake stormwater. The number, design and placement of windows allows plenty of natural light into the building. The roof has been designed to support the future installation of solar panels.
- iv. *The minimization of adverse environmental effects on persons using the development and adjacent properties.*
 - No adverse environmental effects are anticipated.

Part 2 - Site Plan Approval (Subsection 547.13) In evaluating a site plan, the Planning Commission and Council shall consider its compliance with the following:

1. *Consistency with the various elements and objectives of the City's long range plans including, but not limited to, the Comprehensive Plan.*
 - The proposed use is consistent with the long-range plans and comprehensive plan. See item 1 in Part 1, above.
2. *Consistency with the purposes of the Zoning Code.*
 - Except for the two variances requested, the proposed use is consistent with the Zoning Code and is allowed in the zoning district.
3. *Preservation of the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas.*
 - Any natural features were lost with the original development of the land in the 1940's. Five out of eight existing trees would be saved and no significant changes in grade are proposed.
4. *Creation of a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development.*
 - The proposed site layout is harmonious with the nearby existing and future buildings, by placing the building as far north and west on the site as possible, and by placing the parking on the south side of the property. This allows the vehicular access to be as far from the intersection as possible and the building to be as far from the low density residential as possible.
5. *Creation of a functional and harmonious design for structures and site features including:*
 - i. *Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors, and the general community;*
 - The site layout is logical and provides a generally desirable environment in the context of the area.
 - ii. *Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development;*
 - There is good design and function of open space, with various gathering spaces on the north and east sides of the building. The landscaping along the east and

south property is robust to help screen the building from the neighboring residences.

- iii. *Appropriateness of the materials, textures, colors and details of construction as an expression of the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions;*
 - Details of construction are compatible to the area.
 - iv. *Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties.*
 - There is adequate bike parking, with 6 outside and 36 inside. The pedestrian areas are also adequate with ADA access to both the back and front of the building. The simple arrangement of parking is safe, convenient and compatible with the surrounding properties. The amount of parking is adequate subject to approval of the requested variance. See Part 3, below.
6. *Creation of an energy-conserving design through design location, orientation and elevation of structures, the use and location of glass in structures, and the use of landscape materials and site grading.*
- The development is of standard building and site design and does not contain any unique energy-conserving features outside of traditional architectural and landscape architecture standard practices.
7. *Protection of adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses.*
- The building does not unreasonably block light or air to adjacent residences. Neighboring properties would be protected by a 6-foot tall privacy fence, robust landscaping along the property lines, the stormwater management features being located on the west side of the building and the smoking canopy being located on the north side of the building.

Part 3A – Parking Variance (Subsection 547.11, Subd.1) A variance may be granted from the literal provision of this code only when all of the following criteria are found to exist:

- a) *There are “practical difficulties” that prevent the property owner from using the property in a reasonable manner.*
 - The City’s parking requirements are based on the assumption that apartment dwellers are of an income level *and* physical or mental ability to own a vehicle. However, the residents of this particular apartment are highly unlikely to meet those criteria. Therefore, the City’s requirement imposes a practical difficulty to provide spaces that are not needed.
- b) *There are unusual or unique circumstances that apply to the property which were not created by the applicant and do not apply generally to other properties in the same zone or vicinity.*
 - The demographic make-up of the community to be served is the unique circumstance that applies to this property that does not apply to other market-rate

apartments in the same zone or vicinity. The funding source's requirement for restrictive covenants guarantees the demographic make-up for 40 years.

- c) *The variance would not alter the character of the neighborhood or the locality.*
 - Given that the residents of the building are highly unlikely to own a car, sufficient parking is provided in regards to the demand created (employees and visitors). Consequently, the variance is not anticipated to alter the character of the neighborhood.
- d) *The variance is the minimum necessary to alleviate the practical difficulty*
 - The Staff agrees that the variance is the minimum necessary to alleviate the practical difficulty.
- e) *The variance is in harmony with the general purpose and intent of the ordinance and consistent with the Comprehensive Plan.*
 - The variance is in harmony with the intent of the zoning ordinance as it provides adequate parking relative to the anticipated demand; it supports pedestrian, bicycle and mass transit use; provides a loading and unloading area, meets the drive aisle and parking aisle design standards; meets the ADA and electric vehicle charging requirements, and meets the setbacks. The variance is also consistent with the Comprehensive plan as it supports the type of development where vehicle use is minimized. Also, it supports housing that ensures a healthy balance of housing types that meet the needs of a diverse population with diverse needs.

Part 3B – Setback Variance (Subsection 547.11, Subd.1) A variance may be granted from the literal provision of this code only when all of the following criteria are found to exist:

- a) *There are “practical difficulties” that prevent the property owner from using the property in a reasonable manner.*
 - A slice of right-of-way was taken in the northwest corner of the property to accommodate a public improvement (the round-about at Portland Avenue and 66th Street E). This created a practical difficulty. A public action, such as a right-of-way dedication, is a classic practical difficulty, formerly known as a “hardship”.
- b) *There are unusual or unique circumstances that apply to the property which were not created by the applicant and do not apply generally to other properties in the same zone or vicinity.*
 - The reduction in parcel depth by the round-about project was a public action that was not created by the applicant and does not apply, generally, to other properties in the same zone or vicinity.
- c) *The variance would not alter the character of the neighborhood or the locality.*
 - The vast majority of the building complies with the required setback, it is only the northernmost corner of the building – specifically in the area where the lot was reduced for public purpose – that the building encroaches. The south side of the front of the proposed building aligns with the front of the neighboring residence to the south. Therefore, staff finds the variance will not alter the character of the neighborhood or locality.
- d) *The variance is the minimum necessary to alleviate the practical difficulty.*
 - The amount of right-of-way that was dedicated (25 feet) is much wider than the amount of variance being requested (5 feet). Consequently, staff agrees that the variance is the minimum necessary to alleviate the practical difficulty.

- e) *The variance is in harmony with the general purpose and intent of the ordinance and consistent with the Comprehensive Plan.*
- The building design could be altered to meet the setback requirement, but deviation is being requested in order to maximize the setback along the east side. Maximizing the rear yard provides as much space as possible for screening, light, air flow and transition between the adjacent single-family to the east and the subject building. A design that is sensitive to the surrounding land uses is in harmony with the intent of the zoning ordinance and the Comp Plan.

Part 4 - Preliminary Plat: (Subsection 500.05, Subd. 7) The Planning Commission, as a basis for their recommendation, and the City Council, as a basis for their approval, must make the following findings prior to approval of a preliminary plat:

- (a) *The subdivision is in conformance with this Section and the applicable regulations of the Zoning Ordinance.*
- The proposed preliminary plat is in conformance with Section 500 "Plats and Subdivision Regulations" of the municipal code and, subject to the approval of the two variances, is in conformance with all applicable regulations of the Zoning Ordinance.
- (b) *The subdivision does not conflict with any goals or policies of the Comprehensive Plan or other sub-area plan; the Capital Improvements Program; or any other City policy or regulation.*
- The combination of four parcels into one will facilitate the orderly, economic and safe development of land. As such, it does not conflict with any goals or policies of the Comp Plan or the Veteran's Park Area Overlay District.
- (c) *The subdivision can be economically served with public facilities and services.*
- The property is already served by public facilities and services, and the increase in capacity demand can easily be absorbed.
- (d) *The subdivision design mitigates potential substantial and irreversible negative impacts on the environment, including, but not limited to: topography; steep slopes; trees; vegetation; naturally occurring lakes, ponds, rivers and streams; susceptibility of the site to erosion, sedimentation or flooding; drainage; and storm water storage needs.*
- The subject site is relatively flat, the only natural features are a few existing trees. Of the seven trees which remain, four will be removed, but 16 will be planted.
- (e) *The subdivision will not be detrimental to the public health, safety or welfare.*
- Staff foresees no way in which the platting of the property would be detrimental to the public health, safety or welfare.

Aster Commons – Neighborhood Meeting Summary

On the evening of May 4, 2023, Beacon held a neighborhood meeting at the Richfield Community Center. Approximately 12 neighbors attended.

Neighbors expressed concerns about:

- building height,
- privacy,
- view sheds,
- crime, and
- traffic.

Neighbors heard the following:

- The building will reflect a preference for young adults (18-24), particularly those with neurodiversity, typically with Autism Spectrum Disorder, but also those experiencing housing insecurity, sometimes both.
- Behavioral or emotional issues can sometimes be associated with their clients, but not necessarily.
- There will not be anyone who is court ordered to live there. The facility is a traditional landlord/tenant arrangement. As such, they are willing to evict as needed.
- Volunteers of America (VOA) will be the primary service provider. They have over 50 years of experience providing service-enriched affordable housing as property managers, building owners, and service providers. Additionally, VOA offers a variety of community-based services regarding challenges to behavioral and emotional health and well-being.
- Staffing will be during regular business hours, but may vary according to resident needs and schedules.
- There will be no services provided to non-residents.
- The property will not be tax exempt.
- Beacon did consider other sites for this project. Sites within the City of Richfield included: 6501 Penn, 817 E 66th Street, the Post 435 site, and the HUB. They also researched 15 other sites in the west metro area.
- There have been other developers who explored other potential projects in the past, including two townhome developers and two multi-family housing developers. Limiting factors, which have hindered previous attempts at redevelopment include:
 - The County's restriction to one curb cut as far south as possible.
 - The shallow depth of the lot, which narrows from 123 feet on the south side to 104 feet on the north side.

In response to the neighborhood meeting, the applicant has:

- Reduced the size of the units in order to minimize the building mass.
- Shifted the building further from the east property line.
- Moved the smoking hut to the north side of the building.
- Offered to increase the initial size of new trees in the rear.

PROJECT SUMMARY

Aster Commons

6613 Portland Avenue South

Richfield, MN 55423

Aster Commons is a new, 3-story building of wood construction and slab on grade with a flat roof housing solar panels, to be installed provided they are funded. When completed the building will provide 38 studio apartments targeting neurodiverse young adults. The backyard will be extensively landscaped (trees and shrubbery) with a 6' high fence abutting the neighbor's properties to provide a safe space for these vulnerable young adults. Parking is provided by 11 onsite parking stalls at the south end of the site. The building will have security cameras located in interior common spaces and around the building perimeter to protect the residents' safety. The building provides a variety of spaces to support residents' wellbeing including property management, case management, therapy and counseling services, community rooms, a 3-season porch, meeting rooms, and quiet rooms. Residents must comply with income limits of 30% of AMI for 50% of the apartments and 30%-50% AMI for the other 50% of the apartments. The building is 28,079sf and is predicted to have 3-4 staff onsite throughout the day.

MSR Design has discussed this proposal with city staff and believe the following items need to be addressed in this application:

- Comp Plan Amendment to Reguide from MDR to HDR
- Rezoning from MR-2 to MU-N
- Variance for a 11-stall parking lot
- Variance for a 10' setback for building location in the front yard

COMPREHENSIVE PLAN AMENDMENT

The project is requesting a Comprehensive Plan amendment as the current guiding only allows for 34 dwelling units per acre and Aster Commons would exceed that limit by 4 units.

The proposed Comprehensive Plan Amendment to re-guide from MDR to HDR is justifiable because this is a node within the city that has been identified to have a higher land use capacity than the surrounding single-family neighborhood. The current MDR designation does not support the ambitions of the Veterans Park Area Overlay (VPA) zoning district by its own definition in Section 541.25 Subd. 1: "...to produce structures of consistent character and of appropriate scale that transition from single family residential to higher density mixed use..." (italics added for emphasis).

This site is located along Portland Avenue, a primary north-south arterial in the city of Richfield that contains many large commercial and institutional buildings along its spine between highway 62 and interstate 494, including churches, schools, and the Richfield Municipal Complex one block south of this site. This is an ideal site for a reguiding to HDR to allow this site to provide higher density housing and to provide affordable housing that helps the City of Richfield meet the community's Met Council affordable housing goals.

The site is in close proximity to commercial offerings as well as located along the BRT and adjacent to the 66th Street bus routes and protected bike path. The area is highly walkable and the nearby Veterans Park is an ideal municipal amenity that should have density nearby as a natural support area for residents.

This proposed use is a useful transition/buffer from the lower density single-family neighborhood behind the property to Portland Avenue, continuing the densification along Portland Avenue. Thus we believe the proposed regarding to HDR is congruent with the intents of the VPA and the reality of this property's best and highest use along Portland Avenue.

REZONING REQUEST

Proposed to rezone from MR-2 to MU-N to enable this proposed project to conform with the MU-N zoning designation with two minor variances needed. The current MR-2 zoning does not support the ambitions of the Veterans Park Area Overlay (VPA) district, as written in the municipal zoning code Section 541.25 Subd. 1: "...to produce structures of consistent character and of appropriate scale that transition from single family residential to higher density mixed use..." (italics added for emphasis). By definition, the MR-2 zone is a lower density zone that does not support the VPA's intentions to create a node of vitality at and adjacent to the Portland Avenue and 66th Street roundabout that seeks to diversify housing options per municipal zoning code Section 541.25 Subd. 1: "...to expand the mix of housing in the area such as row/townhouse, affordable units, courtyard apartments, courtyard cottages, and live-work units."

Additionally, Richfield has committed to supporting the Met Council's goals of providing 121 units of affordable dwelling units at or below 80% of the area median income by 2030. This project will help the city meet its long-term commitment to build affordable housing for Richfield by adding 38 new affordable units at or below 50% of the area median income.

VARIANCE REQUESTS

PARKING REDUCTION VARIANCE

Under the current zoning, only 20 units would be allowed and that would mean the project would need 25 parking stalls at 1.25 stalls per unit.

Proposed parking is 11 total parking stalls = 0.29 parking stalls per dwelling unit.

(a). Is there a practical difficulty present which denies a reasonable use of the property? (Explain):

Yes, the additional parking would result in a much smaller building to allow the zoning required parking count to fit onsite and much of that parking would always sit empty. A parking study was conducted by Beacon Interfaith Collaborative through the winter of 2022/2023 to measure total parking demand at three similar buildings owned by Beacon. This was done at the suggestion of Richfield city staff when the issue of excessive parking requirements for the target resident population was discussed at the Sketch Plan review session in August 2022. The study found that at any time a maximum of 8, 6, and 7 parking stalls were actually used at the three properties, each of which is larger than the proposed Aster Commons and are targeted to more all-purpose young adult housing rather than Aster Commons'

targeted population of neurodiverse young adults. Thus we are convinced the demand at Aster Commons will not exist for residents and staff to need more than the 10 car parking stalls provided onsite.

An additional parking stall is being provided and will be signed for Metro Mobility and ride share vehicles to pick up/discharge residents at the parking lot entry to the building. Four exterior bike parking spots and an interior bike storage room accommodating 38 bicycles are in the proposed design, including indoor space for 2 adaptive bikes with electric plug-ins (See Sheet A193 for layout and dimensions). Residents at Beacon's three other properties are very frequently users of these modes of transit and we anticipate that to be true for this property. Metro Mobility, ride share, buses and bicycles are predicted to be the primary means of transport for this population since this population has a higher rate of physical impairments than the general population and their incomes restrict the funds required to own/maintain an automobile. Thus having the parking stall count required by the code would create a sea of parking lot on this property since underground parking is cost prohibitive. Additionally, many of the residents will be unable to secure a driver's license due to their neurodiverse medical conditions.

(b). Are there any unusual or unique circumstances relating to the property or building which are beyond your control? (Explain):

Yes, the current site conditions of the new BRT station's proximity to new roundabout reduce the lot size and force the curb cut to be at the south end of the property. Both remove available site square footage for parking and limit building placement.

The proposed use of Metro Mobility and the adjacent BRT station aligns with city goals for reducing traffic and congestion. Thus the proposed reduced parking count aligns with overall city goals to reduce automobile traffic. The location along the BRT line, public sidewalks, and bike lanes along Portland Avenue and 66th Street are optimal for this population's predicted needs for transportation.

We believe this parking reduction represents less site burden than other uses that would typically be permitted by zoning that would allow at least 24 parking stalls. Thus granting this variance so this project can go forward as proposed will actually reduce individual automobile traffic since residents will be primarily utilizing public transportation, walking, and bicycle options for the most part.

(c). Is the variance consistent with the purpose and intent of the rule from which a variance is being requested? (Explain):

Yes, the purpose of this zoning code section is to provide sufficient off-street parking for the sites intended use; in this case that is residents, staff, and guests. Based on the parking study conducted by Beacon Interfaith Collaborative (noted above) at the buildings they own and manage in Edina, Minneapolis, and St Paul the parking demand will be less than or equal to the 10 parking stalls proposed. The results of this study were sent to city staff by Beacon in January 2023.

Per current zoning allowed for the site, there could be 24 dwelling units built onsite. Parking could be provided in underground and/or surface parking. If these were 3-bedroom apartments, there could reasonably be 72 to 96 residents onsite (assuming families with 2 children). At the zoning code required mandate this would result in only 30 parking stalls, which would likely mean additional parking on the nearby side streets since parking is not allowed on Portland Avenue. Thus we believe our proposal is a less intensive use of the site than if the building constructed were to be maximized per the current

zoning allowances. And that our proposed parking reduction will decrease neighborhood impact by reducing the level of traffic on the site and entering/exiting the property.

FRONT YARD SETBACK VARIANCE

Required property front setbacks are 15' min to 25' max per zoning code section 537.07 Bulk and Dimensional Standards MU-N table 2.

Proposed front setbacks are from 10' minimum to 25' maximum.

Maintaining 15' minimum front set back is doable except at the BRT station because that station infringes on the efficient use of the site.

The original site consists of the following lots 31, 32, 33 and 34 for a total of 28,478 square feet or 0.654 acres. Front building setback responds to revised site conditions with the recent roundabout installation and BRT station installed by Metro transit. The current site has been reduced to 25,266 SF. The building follows the recommended 15' setback for main front yard setback except at BRT bus shelter where we are requesting a 10' setback from the BRT station since the station sits within the 5' area of the setback. Side yard setbacks are 5' on the north and east yards and a 15' south setback has been created for the parking lot as required for adjacency to residential property. The east rear yard setback has been increased to 27'-4" to accommodate private resident features including rear patio space, walking paths, private seating areas and landscape.**(a). Is there a practical difficulty present which denies a reasonable use of the property? (Explain):**

Current site conditions with the new BRT station have resulted in the property being narrower at its north end due to the BRT bus stop that steps back into the site by 5'. This step back has necessitated the building being 10' from the front property line, which sits at the rear edge of the 5' indent for the bus shelter, sign, and bench. If this step-back in the property line had not been present, the building position would comply with zoning and this variance would not be necessary.

The project is also maintaining a min of 27' for the rear yard area to maintain the min of 10% useable area and to maintain more distance from the neighbors who front on the street to the east. The building placement is aligned to avoid solar shading of neighbors per the zoning code.

(b). Are there any unusual or unique circumstances relating to the property or building which are beyond your control? (Explain):

After talking with existing neighbors who live behind the property, we believe the best building location is to push it to the west and as far from the rear property line as possible. The current site layout accomplishes this by including a 27' setback on the rear (east) side of the site to provide as much separation as possible between the building and neighbors. This allows the project to include taller trees to be planted between the new building and rear property line to help screening between the building and the neighbors. If the site were to meet the requirements of the 15' minimum setback at the north end of the site, it would be a very convoluted building to maintain the 25' maximum setback at the south end of the site since the site is trapezoidal in shape. We believe this design layout better situates the building on the site than strictly complying with the 15' minimum setback rule.

The remainder of the proposed building adheres to the 15' setback except at the entry area due to the removal of original site sf for the BRT shelter, signage and bench.

(c). Is the variance consistent with the purpose and intent of the rule from which a variance is being requested? (Explain):

The newly constructed BRT station sits within the prior, typical 15' setback requirement for the property. Had the original property line been maintained then the building placement would comply with the 15' minimum setback dimension. The 15' minimum setback is maintained south of the bump into the property for the BRT shelter, bench, and sign.

2023

We believe the residents who will live at Aster Commons will be youth and young adults, some with neurodiverse conditions, emerging from homelessness without access to vehicles and heavily dependent on the metro transit system and bicycling thus requiring minimal parking. The site has a METRO D Line stop steps from the front door and ample bike storage will be provided.

Based on our study, tracking parking activity for a month period, we've determined that the planned eleven parking spaces proposed for the Aster Commons development will be sufficient and we will seek necessary approvals to proceed in this direction. At no time during this study were the parking spaces full or over extended.

[illegible]

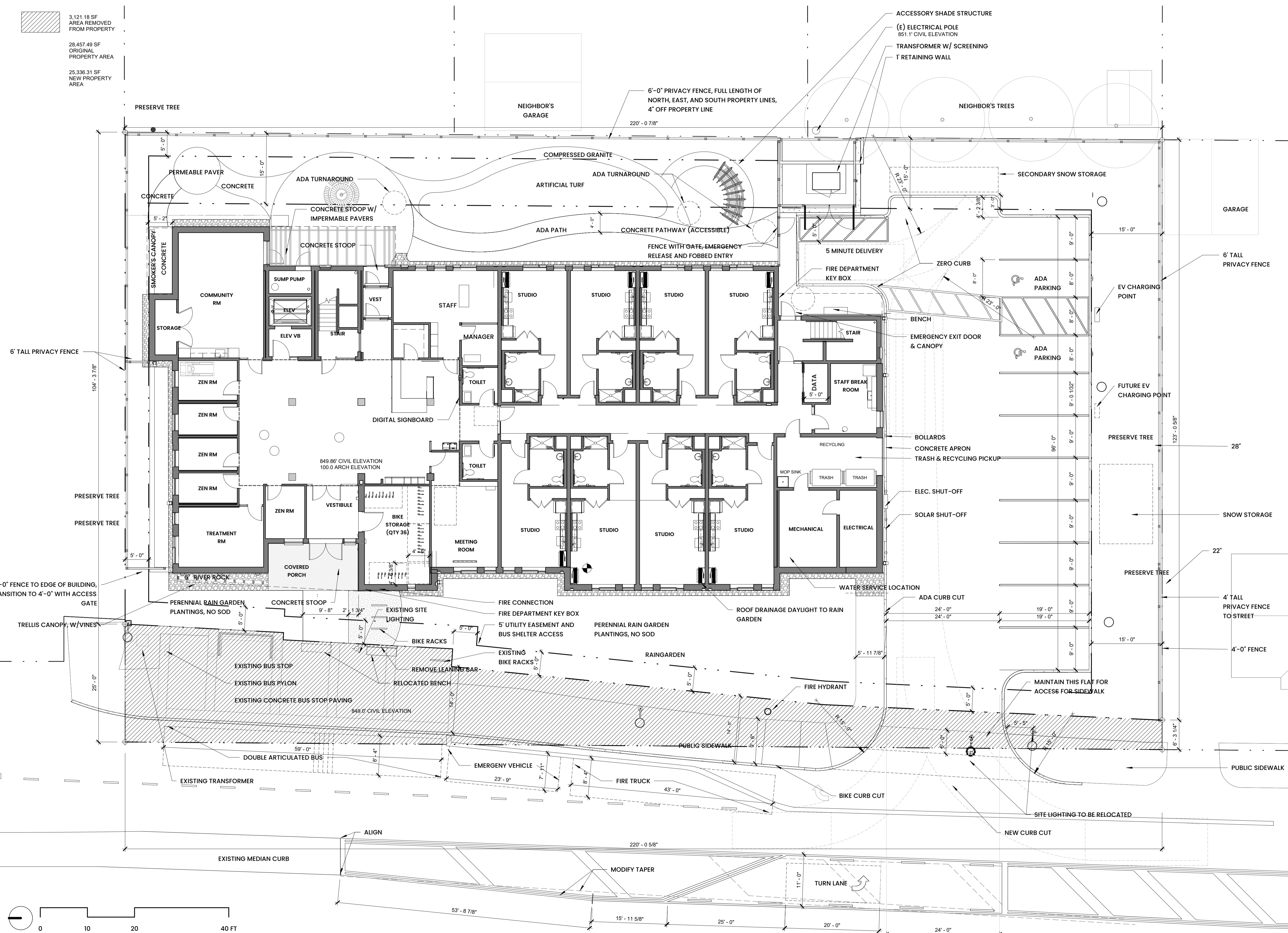
Eliminating the underground parking garage will create a potential savings of \$800,000 in construction costs.

Prepared by:
Kirsten Spreck
Director of Housing Development
Beacon Interfaith Housing Collaborative
kspreck@beaconinterfaith.org

SITE PLAN



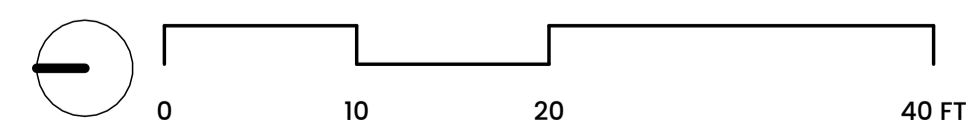
Drawing 2022 Copyright Meyer, Scherer & Rockcastle, Ltd. 10/1/2023 4:08:18 PM C:\projects\2022\18_022_Consulting\Aster\Aster.dwg



3,121.18 SF
AREA REMOVED
FROM PROPERTY

28,457.49 SF
ORIGINAL
PROPERTY AREA

25,336.31 SF
NEW PROPERTY
AREA



1 PRES SITE PLAN
A001 1" = 10'-0"

Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

Landscape Architecture

Confluence

530 N 3rd St #120, Minneapolis, MN 55401 | 612.333.3702

Civil and Structural Engineering

BKBM

530 N 3rd St #120, Minneapolis, MN 55401 | 763.843.0420

Mechanical, Electrical, & Plumbing

Emanuelson-Podus, Inc.

7705 Bush Lake Rd, Edina, MN 55439 | 952.930.0050

Project No. 2022018

Aster Commons
6613 Portland Avenue S.
Richfield, MN 55423

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.

Architect Seal

Signature _____
Print Name _____
Date _____ License No _____

Design Development

ISSUE / REVISION

Mark	Date	Description
2023.08.10	CITY REVIEW COMMENTS	

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SITE PLAN

A001

NOT FOR CONSTRUCTION

220' - 0 7/8"

104' - 3 7/8"

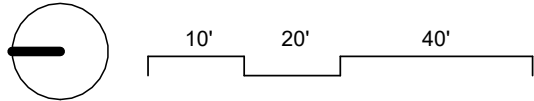
- 28,457.49 SF
ORIGINAL
PROPERTY AREA
- 3,121.18 SF
AREA REMOVED
FROM PROPERTY
- 25,336.31 SF
NEW PROPERTY
AREA

PROPOSED NEW
PROPERTY CORNER

ORIGINAL
PROPERTY CORNER

PROPOSED NEW
PROPERTY CORNER

ORIGINAL
PROPERTY CORNER



21' - 0 1/8"

53' - 8 7/8"

MODIFY TAPER

15' - 11 5/8"

25' - 0"

11' - 0"

TURN LANE

20' - 0"

24' - 0"

EXISTING MEDIAN STRIPING
TO BE WIDENED AT THIS
POINT FOR TURN LANE

1 SITE PLAN PROPERTY BOUNDARIES

AP001 1" = 20'-0"

MSRDesign



















1 BUILDING WEST ELEVATION - SHADED

AP211 1/16" = 1'-0"



BRICK - ENDICOTT MANGANESE IRONSPOT, VELOUR FINISH, NORWEGIAN SIZE



SIDING 1: NICHHA LATTURA V-GROOVE, WHITE



SIDING 2: NICHHA VINTAGEWOOD, SPRUCE

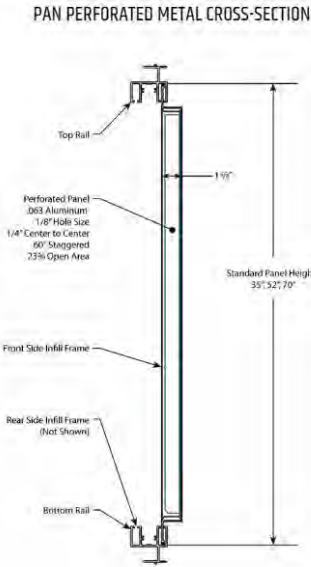


MECHANICAL SCREENING: CITYSCAPES ENVISOR PERFORATED PAN

MATERIAL	SQUARE FOOTAGE	% of FACADE
BRICK	1321	24%
NICHHA WHITE LATTURA V-GROOVE	1879	34%
NICHHA SPRUCE VINTAGEWOOD	771	14%
WINDOWS+ GLASS DOORS	1289	24%
METALS (TRIM, LOUVERS, PANELS, SCREENS)	160	3%

5,419 sf

PERFORATED METAL SCREEN CROSS SECTION





1 BUILDING NORTH ELEVATION - SHADED

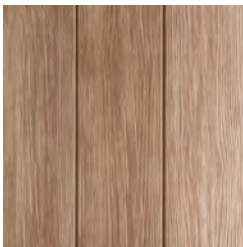
AP212 1/8" = 1'-0"



BRICK - ENDICOTT MANGANESE IRONSPOT, VELOUR FINISH, NORWEGIAN SIZE



SIDING 1: NICHHA LATTURA V-GROOVE, WHITE



SIDING 2: NICHHA VINTAGEWOOD, SPRUCE



MECHANICAL SCREENING: CITYSCAPES ENVISOR PERFORATED PAN



BALCONY: MIDWEST IRON METAL HANDRAIL BALCONY

MATERIAL

BRICK
NICHHA WHITE LATTURA V-GROOVE
NICHHA SPRUCE VINTAGEWOOD
WINDOWS+ GLASS DOORS
METALS (TRIM, LOUVERS, PANELS, SCREENS)

SQUARE FOOTAGE

688
548
672
579
99

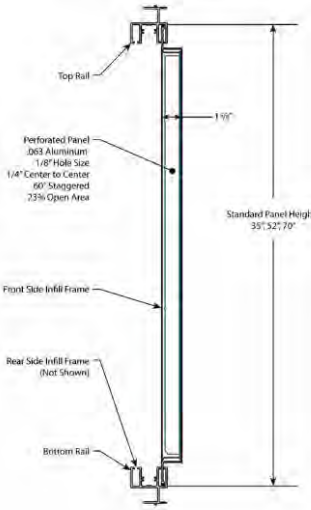
% of FACADE

27%
21%
26%
22%
4%

2,586 sf

PERFORATED METAL SCREEN CROSS SECTION

PAN PERFORATED METAL CROSS-SECTION





NOTE: SEE WEST ELEVATION FOR BUILDING HEIGHT AND MATERIAL DESIGNATIONS

1 BUILDING EAST ELEVATION - SHADED

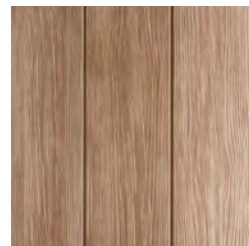
AP213 1/16" = 1'-0"



BRICK - ENDICOTT MANGANESE IRONSPOT, VELOUR FINISH, NORWEGIAN SIZE



SIDING 1: NICHHA LATTURA V-GROOVE, WHITE



SIDING 2: NICHHA VINTAGEWOOD, SPRUCE



MECHANICAL SCREENING: CITYSCAPES ENVISOR PERFORATED PAN



BALCONY: MIDWEST IRON METAL HANDRAIL BALCONY

MATERIAL

BRICK	370	7%
NICHHA WHITE LATTURA V-GROOVE	1488	22%
NICHHA SPRUCE VINTAGEWOOD	1921	6%
WINDOWS+ GLASS DOORS	1253	23%
METALS (TRIM, LOUVERS, PANELS, SCREENS)	374	7%

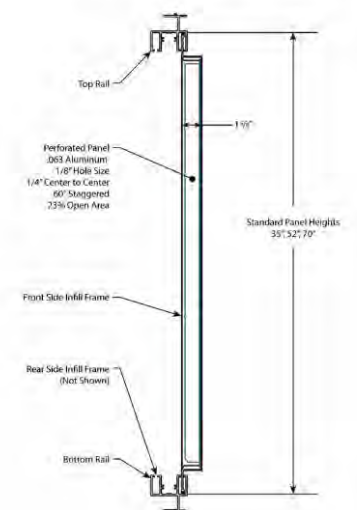
SQUARE FOOTAGE

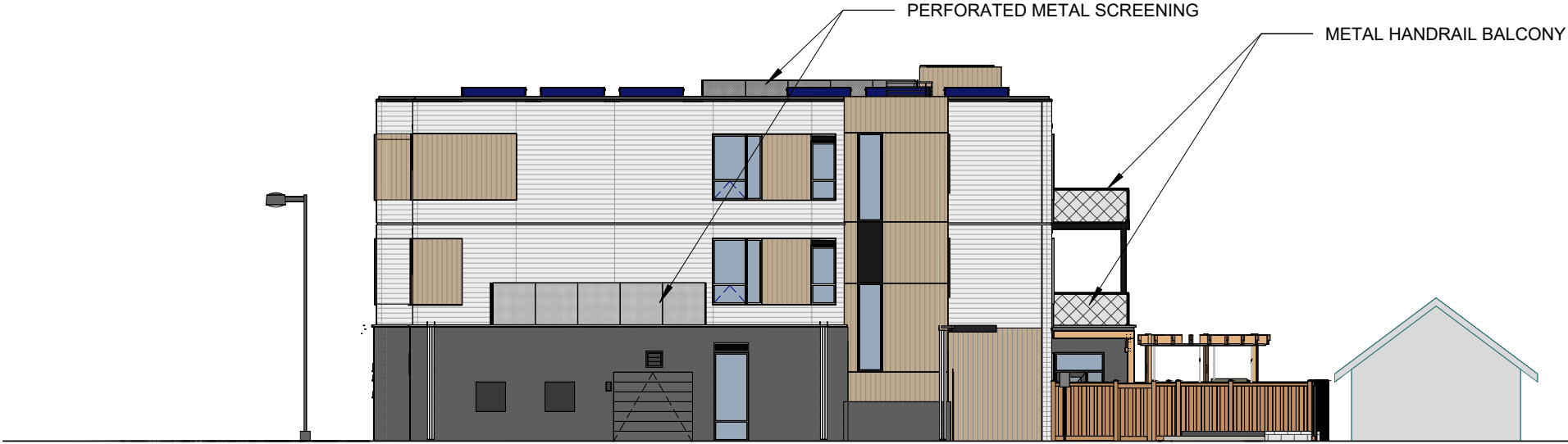
5,406 sf

% of FACADE

PERFORATED METAL SCREEN CROSS SECTION

PAN PERFORATED METAL CROSS-SECTION





NOTE: SEE WEST ELEVATION FOR BUILDING HEIGHT AND MATERIAL DESIGNATIONS

1 BUILDING SOUTH ELEVATION - SHADED

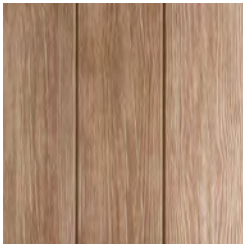
AP214 1/16" = 1'-0"



BRICK - ENDICOTT MANGANESE IRONSPOT, VELOUR FINISH, NORWEGIAN SIZE



SIDING 1: NICHIIHA LATTURA V-GROOVE, WHITE



SIDING 2: NICHIIHA VINTAGEWOOD, SPRUCE



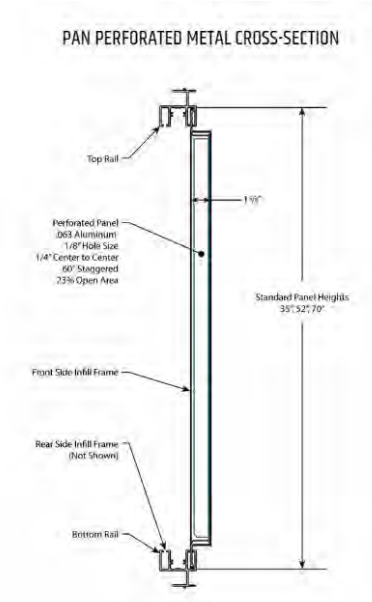
MECHANICAL SCREENING: CITYSCAPES ENVISOR PERFORATED PAN



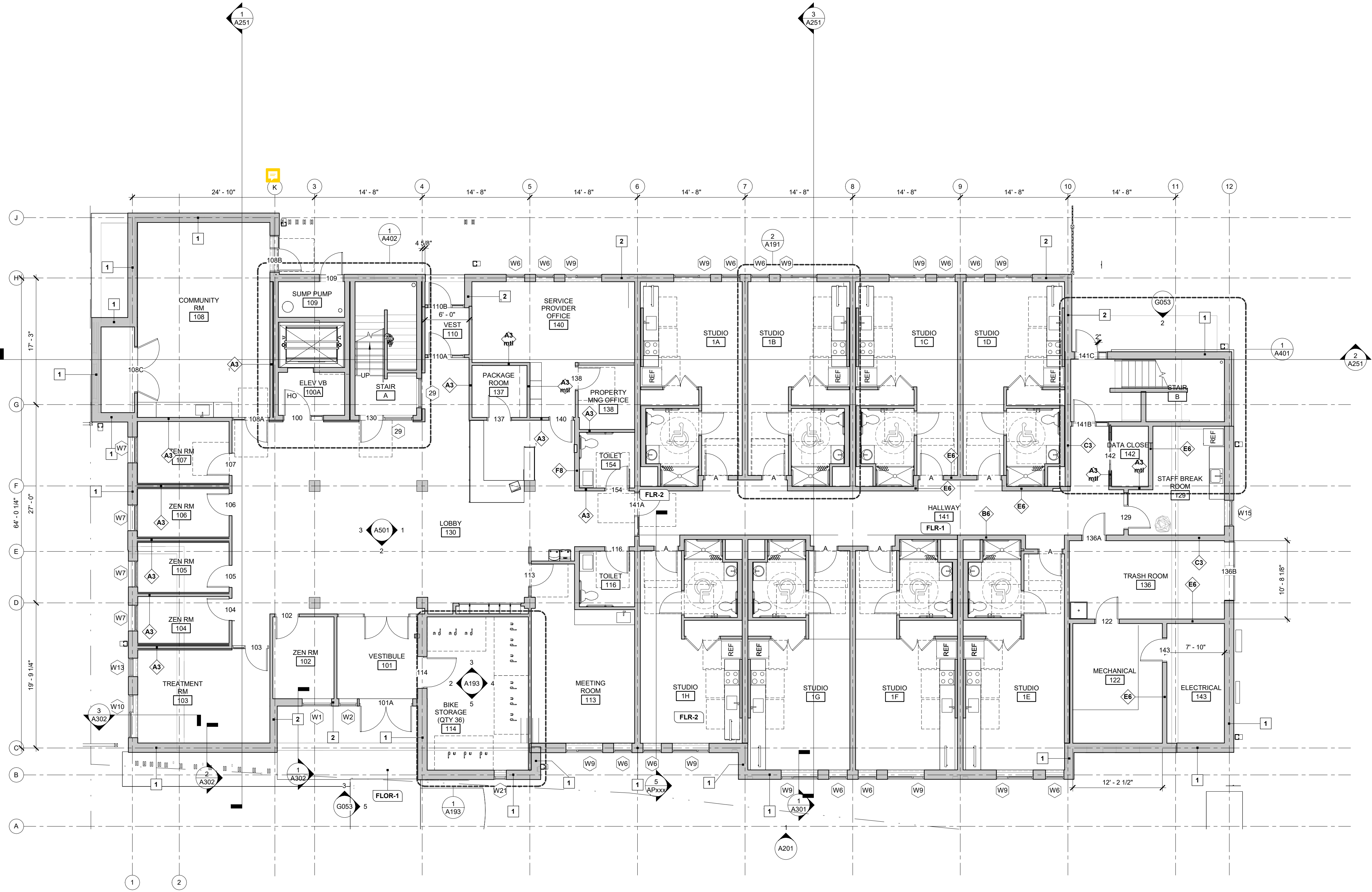
BALCONY: MIDWEST IRON METAL HANDRAIL BALCONY

MATERIAL	SQUARE FOOTAGE	% of FACADE
BRICK	1321	9%
NICHIIHA WHITE LATTURA V-GROOVE	1974	39%
NICHIIHA SPRUCE VINTAGEWOOD	676	24%
WINDOWS+ GLASS DOORS	187	8%
METALS (TRIM, LOUVERS, PANELS, SCREENS)	230	9%
	2,425 sf	

PERFORATED METAL SCREEN CROSS SECTION



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1 LEVEL 1 FLOOR PLAN
A101 1/8" = 1'-0"

Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

Landscape Architecture

Confluence

530 N 3rd St #120, Minneapolis, MN 55401 | 612.333.3702

Civil and Structural Engineering

BKBM

530 N 3rd St #120, Minneapolis, MN 55401 | 763.843.0420

Mechanical, Electrical, & Plumbing

Emanuelson-Podus, Inc.

7705 Bush Lake Rd, Edina, MN 55439 | 952.930.0050

Project No. 2022016

Aster Commons
6613 Portland Avenue S.
Richfield, MN 55423

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.

Architect Seal

Signature _____
Print Name _____
Date _____ License No. _____

Design Development

ISSUE / REVISION

Mark Date Description

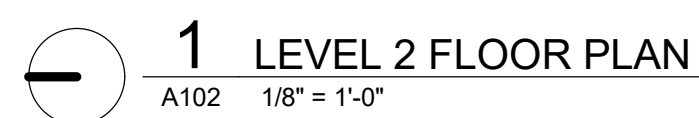
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LEVEL 1 FLOOR PLAN

A101

Mark	Date	Description
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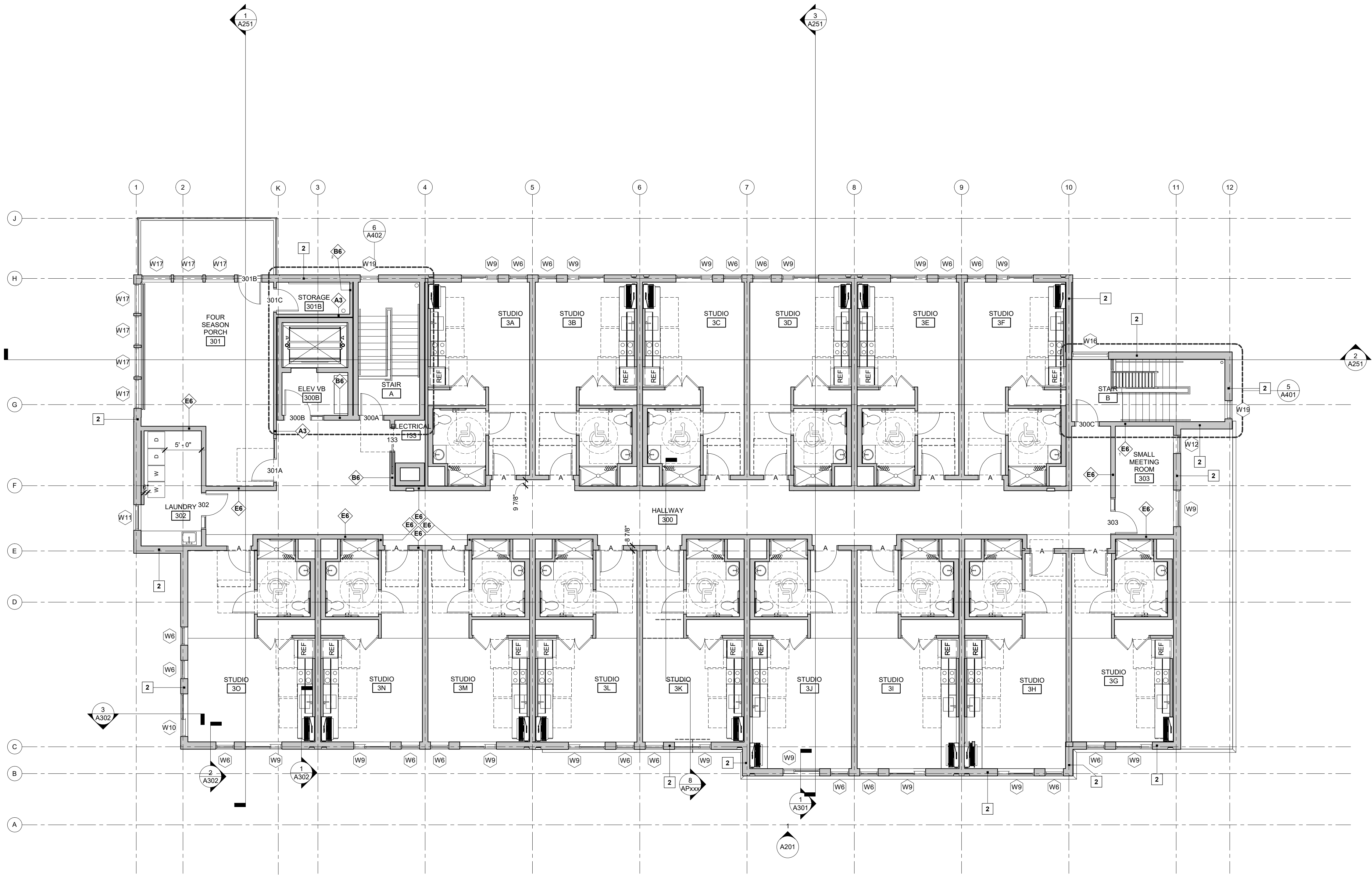
A102



NOT FOR CONSTRUCTION

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1 LEVEL 3 FLOOR PLAN
A103 1/8" = 1'-0"



Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

Landscape Architecture

Confluence

530 N 3rd St #120, Minneapolis, MN 55401 | 612.333.3702

Civil and Structural Engineering

BKBM

530 N 3rd St #120, Minneapolis, MN 55401 | 763.843.0420

Mechanical, Electrical, & Plumbing

Emanuelson-Podus, Inc.

7705 Bush Lake Rd, Edina, MN 55439 | 952.930.0050

Project No. 2022016

Aster Commons
6613 Portland Avenue S.
Richfield, MN 55423

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.

Architect Seal

Signature _____
Print Name _____
Date _____ License No. _____

Design Development

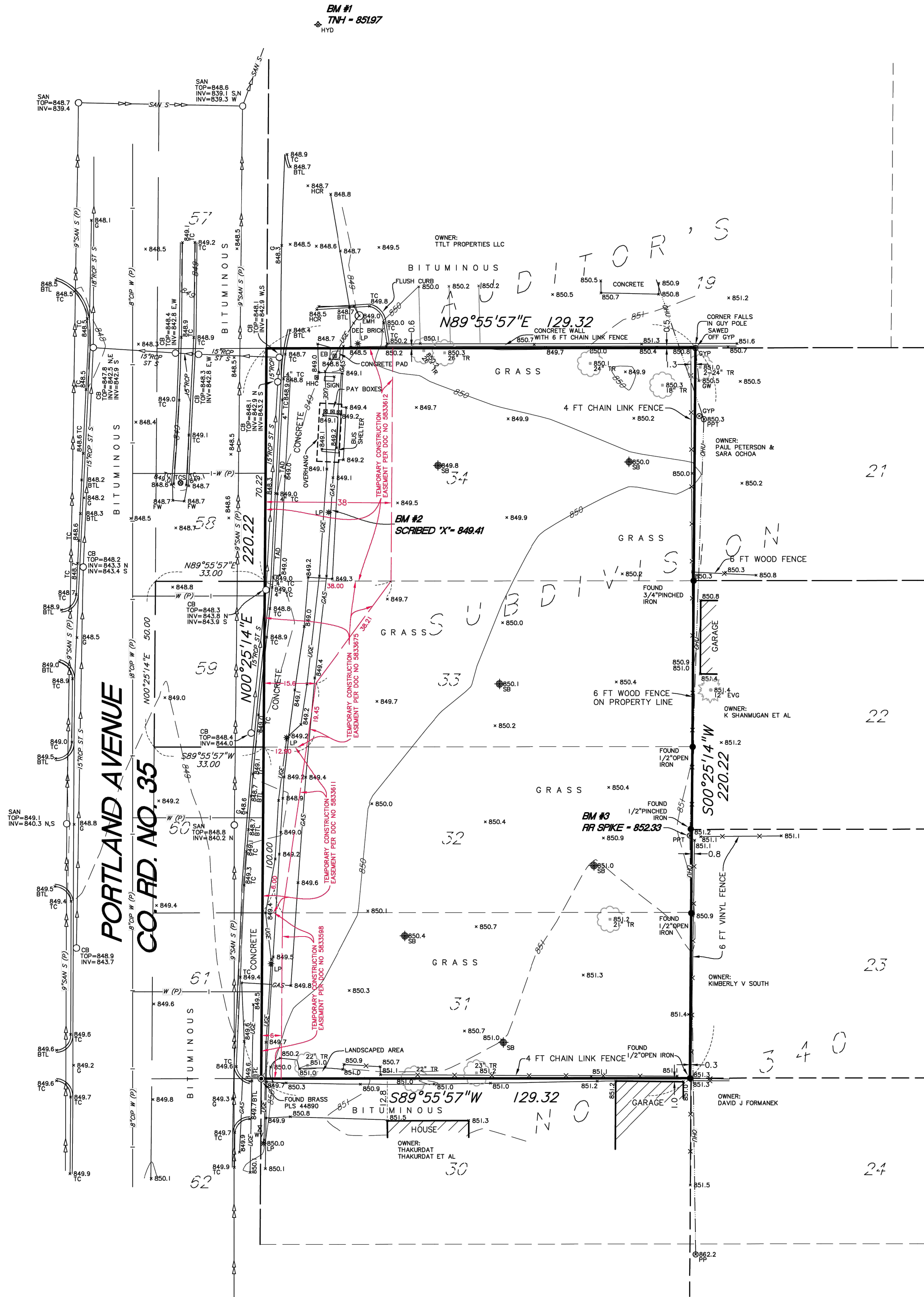
ISSUE / REVISION

Mark Date Description

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LEVEL 3 FLOOR PLAN

A103



GENERAL NOTES

- Survey coordinate and bearing basis: Hennepin County ground feet, based on the Minnesota Coordinate System, Southern Zone, NAD83, 1986 adjustment.
- "No Buildings Observed" on the surveyed property in the process of conducting the fieldwork.
- Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site.
- The boundary shown is per the Certificates of Title listed. We have not been able to obtain any information from the Hennepin County Highway Department regarding Portland Avenue right of way. The boundary may be updated if we receive an updated Title Commitment that has more information regarding Portland Avenue.

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 230971408 and 230971431.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

- The subject property appears to lie within Zone X (Area of Minimal Flood Hazard) per the National Flood Insurance Program, Flood Insurance Rate Map No. 27053C0369F, dated November 4, 2016, Community No. 270180. This information was obtained from the FEMA Map Service Center web site.

PARKING

No designated parking spaces were observed on site.

AREAS

Area (Lots 31, 32, 33 and 34) = 28,478 square feet or 0.654 acres
Area (Lot 59) = 1,650 square feet or 0.038 acres
Gross Area (Lots 31, 32, 33, 34 & 59) = 30,128 square feet or 0.692 acres

BENCHMARKS (BM)
(NAVD 88)

- Top of top nut of fire hydrant in the southeast quadrant of 66th St. E. and Portland Ave. S.
Elevation = 851.97 feet
- Top of scribed "X" on the top of east side of concrete light pole base; 1st light pole south of bus shelter on the east side of Portland Ave. S.
Elevation = 849.41 feet
- Top of railroad spike in the west face of power pole with transformer on the east side of the site, middle power pole.
Elevation = 852.33 feet

DESCRIPTION OF PROPERTY SURVEYED

(Per Certificates of Title Nos. 1418469, 1418470, 1418471 and 1418472)

Lots 31, 32, 33, 34 and 59 of Auditor's Subdivision Number 340, Hennepin County, Minnesota.

PLAT RECORDING INFORMATION

AUDITOR'S SUBDIVISION NUMBER 340 was filed of record on September 12, 1946 in Book 116 of Plats, Page 33.

TITLE COMMITMENT

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon.

This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.

LEGEND

- Denotes iron monument set marked with P.L.S. No. 44890
- Denotes found iron monument
- Denotes 1.17 inch diameter copper magnetized marker with disc cap affixed stamped LS-44890 found
- Denotes beavertail curb
- Denotes catch basin
- Denotes cast iron pipe
- Denotes electric box
- Denotes electric manhole
- Denotes gutter elevation
- Denotes guy wire
- Denotes guy pole
- Denotes disabled ramp
- Denotes communication handhole
- Denotes fire hydrant
- Denotes structure invert
- Denotes light pole
- Denotes overhead utility lines
- Denotes per plan
- Denotes power pole
- Denotes power pole with transformer
- Denotes reinforced concrete pipe
- Denotes sanitary manhole
- Denotes sanitary sewer
- Denotes soil boring
- Denotes storm sewer
- Denotes truncated domes plate
- Denotes top of concrete curb
- Denotes traffic control sign
- Denotes underground electric line
- Denotes water line
- Denotes water valve
- Denotes evergreen tree
- Denotes deciduous tree

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 3rd day of May, 2023

SUNDE LAND SURVEYING, LLC.

By: Leonard F. Carlson
Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

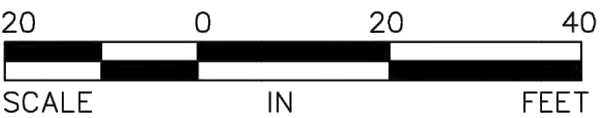
Revision	By	Date
	NDN	

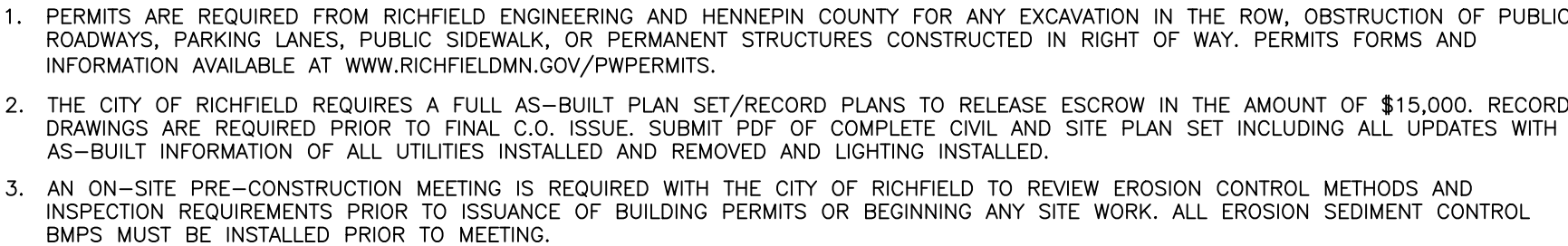
Drawing Title:
**BOUNDARY, LOCATION, TOPOGRAPHIC
and UTILITY SURVEY FOR:**
Beacon Interfaith Housing Collaborative
OF: 6613-6625 Portland Ave S., Richfield, MN

SUNDE
LAND SURVEYING
www.sunde.com

Main Office:
9001 East Bloomington Freeway (35W) • Suite 118
Bloomington, Minnesota 55420-3435
952-881-2455 (Fax: 952-888-9526)

Project: 2015-003-A Bk/Pg: 1094/39 Date: 05/03/2023
Township: 028 Range: 24 Section: 26
File: 2015003A001.dwg Sheet: 1 of 1

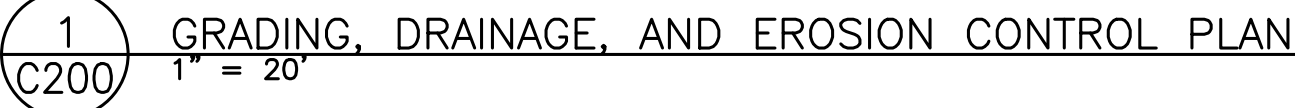




Mark Date	Description
06/30/2023	Review Set
08/10/2023	City Review Comments

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C200

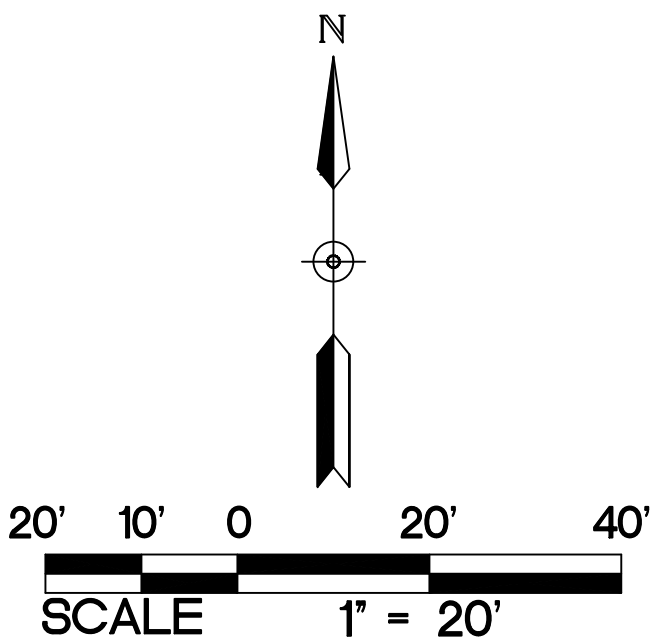


1. ALL TOP AND BOTTOM ELEVATIONS CORRESPOND TO THE RESPECTIVE GRADE ELEVATIONS ON EACH SIDE OF THE WALL.
2. THE BOTTOM ELEVATION IS THE ELEVATION OF THE LOW-GRADE SIDE OF THE WALL, NOT THE TOP ELEVATION OF THE BURIED BLOCK COURSE.

1. PERMITS ARE REQUIRED FROM RICHFIELD ENGINEERING AND HENNEPIN COUNTY FOR ANY EXCAVATION IN THE ROW, OBSTRUCTION OF PUBLIC ROADWAYS, PARKING LANES, PUBLIC SIDEWALK, OR PERMANENT STRUCTURES CONSTRUCTED IN RIGHT OF WAY. PERMITS FORMS AND INFORMATION AVAILABLE AT WWW.RICHFIELDMN.GOV/PWPPERMITS.
2. THE CITY OF RICHFIELD REQUIRES A FULL AS-BUILT PLAN SET/RECORD PLANS TO RELEASE ESCROW IN THE AMOUNT OF \$15,000. RECORD DRAWINGS ARE REQUIRED PRIOR TO FINAL C.O. ISSUE. SUBMIT PDF OF COMPLETE CIVIL AND SITE PLAN SET INCLUDING ALL UPDATES WITH AS-BUILT INFORMATION OF ALL UTILITIES INSTALLED AND REMOVED AND LIGHTING INSTALLED.

NOTE:
PRIOR TO THE START OF
CONSTRUCTION, THE CONTRACTOR
SHALL POTHOLE AND DETERMINE THE
LOCATION AND ELEVATION OF EXISTING
UNDERGROUND UTILITIES. CONTACT CIVIL
ENGINEER IF EXISTING UTILITIES TO
REMAIN WILL BE IMPACTED BY
PROPOSED WORK.

NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN
MAY RECEIVE RUNOFF FROM CONSTRUCTION
ACTIVITIES. INSTALL INLET SEDIMENT
PROTECTION PER DETAILS 4/C500 AND
5/C500 ON ALL STORM INLETS THAT MAY
RECEIVE RUNOFF.



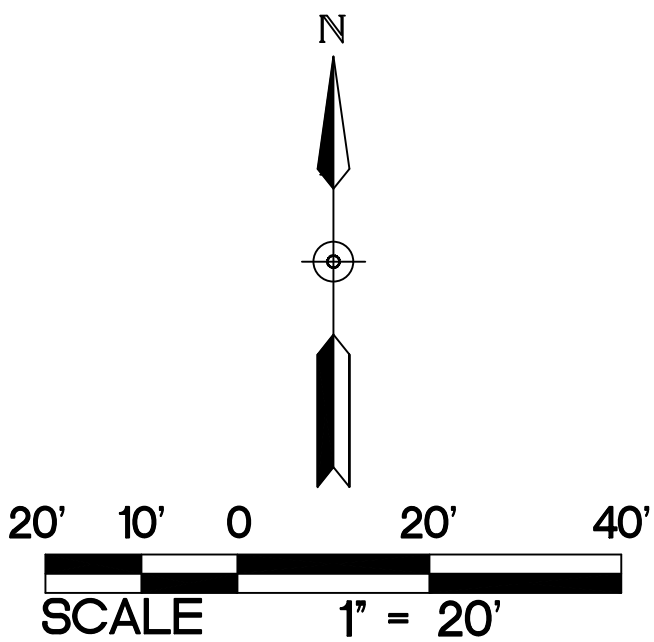
ABBREVIATIONS	
BLDG	Building
BM	Benchmark
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
SAN	Sanitary Sewer
ST	Storm Sewer
STR	Storm Sewer Structure
U.G.	Underground Electrical Line
W.O.	Washout

1. THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
2. THE BACKGROUND INFORMATION WAS PREPARED BY SUNDE LAND SURVEYING, (952) 881-2455.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR, IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
4. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
5. NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
6. ALL SPOT ELEVATIONS SHOWN AS 50.15, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 850.15.
7. ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
8. NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
9. ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
10. PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
11. **UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE PROVIDED TO THE CITY OF RICHFIELD LAND SURVEYOR HIRED BY THE CONTRACTOR. SURVEY SHALL BE PROVIDED TO THE CITY OF RICHFIELD AND CIVIL ENGINEER.**
12. PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY AND WATERSHED DISTRICT WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
13. ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
14. THE CONTRACTOR MAY STRIP AND SALVAGE TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. PRIOR TO FINAL STABILIZATION, SIX INCHES OF TOPSOIL OR ORGANIC MATERIAL IS TO BE SPREAD AND TILLED IN THE UNDERLYING SOILS. 6-INCHES OF TOPSOIL SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDED THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING, AND RE-SPREADING SHALL BE DONE IN ACCORDANCE WITH, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
15. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTY PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
16. IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; AND OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
17. WINTER MULCHING:
 - 17.A. SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - 17.B. FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MUST BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER AT A RATE OF 2000 GALLONS PER ACRE OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
18. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

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PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	
PROPERTY LINE	
SAWCUT LINE (APPROX.)	
RETAINING WALL	
SANITARY SEWER	
STORM SEWER	
WATER PIPE	
FIRE HYDRANT	
GATE CONNECTION	
GATE VALVE	
CATCH BASIN	
MANHOLE	
CLEANOUT	
SEWER INVERT ELEVATION	

ABBREVIATIONS	
BLDG	Building
BM	Benchmark
CB	Catch Basin
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HDPE	High Density Polyethylene
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
OHU	Overhead Utility Line
PVI	Pipe Indicator Valve
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
UGE	Underground Electric



KEYED NOTES ARE DENOTED BY NO ON PLAN.

1. INSTALL 2-INCH CORPORATION STOP. CURB BOX TO BE INSTALLED AT PROPOSED PROPERTY LINE. REFER TO DETAIL 4/C501.
2. SUB 2-INCH DOMESTIC WATERLINE TO WITHIN 5- FEET OF THE PROPOSED BUILDING. TOP OF WATER SERVICE SHALL BE 7.5 FEET BELOW FINISHED GRADE AT THE PROPOSED CONNECTION POINT. COORDINATE EXACT LOCATION WITH MECHANICAL AND STRUCTURAL PLANS PRIOR TO THE START OF CONSTRUCTION.
3. INSTALL 6-INCH WET TAP, GATE VALVE TO BE INSTALLED AT PROPOSED PROPERTY LINE. REFER TO DETAIL 4/C501.
4. INSTALL 6-INCH BY 6-INCH TEE.
5. SUB 6-INCH FIRE PROTECTION LINE TO WITHIN 5- FEET OF THE PROPOSED BUILDING. TOP OF WATER SERVICE SHALL BE 7.5 FEET BELOW FINISHED GRADE AT THE PROPOSED CONNECTION POINT. COORDINATE EXACT LOCATION WITH MECHANICAL AND STRUCTURAL PLANS PRIOR TO THE START OF CONSTRUCTION.
6. INSTALL FIRE HYDRANT AND GATE VALVE. REFER TO DETAIL 6/C501.
7. INSTALL FIRE DEPARTMENT CONNECTION. REFER TO MECHANICAL PLANS.
8. CONNECT TO EXISTING 9-INCH CLAY PIPE WITH 9-INCH BY 6-INCH WYE. APPROXIMATE INVERT OF EXISTING PIPE IS 840.37. CONTRACTOR SHALL NOTIFY ENGINEER OF EXACT INVERT PRIOR TO INSTALLATION OF SANITARY SEWER. REFER TO DETAIL 1/C501.
9. INSTALL 8-3/8-INCH 6-INCH PVC PIPE AT MINIMUM 2.00% SLOPE TO INVERT 840.36. SUB TO WITHIN 5- FEET OF PROPOSED BUILDING. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
10. INSTALL 6-INCH 45-DEGREE BEND.
11. LOCATION OF PROPOSED 6-INCH SANITARY SEWER SERVICE. **COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.**
12. CORE DRILL EXISTING MANHOLE FOR PROPOSED PIPE CONNECTION. GROUT SEAL AROUND OPENING. REFER TO STORM SEWER TABLE FOR INVERT.
13. INSTALL DRAIN TILE CLEAN OUT. REFER TO DETAIL 3/C504.
14. INSTALL SUMP CATCH BASIN WITH SNOUT, ENVIROHOOD, OR APPROVED EQUAL. REFER TO DETAIL 4/C504.
15. INSTALL BACKFLOW PREVENTION VALVE FOR DRAIN TILE CONNECTIONS.
16. INSTALL SANITARY SEWER CLEAN OUT. REFER TO DETAIL 5/C504.

1. PERMITS ARE REQUIRED FROM RICHFIELD ENGINEERING AND HENNEPIN COUNTY FOR ANY EXCAVATION IN THE ROW. OBSTRUCTION OF PUBLIC ROADWAYS, PARKING LANS, PUBLIC SIDEWALK, OR PERMANENT STRUCTURES CONSTRUCTED IN THE WAY OF WAY. PERMITS AND INFORMATION AVAILABLE AT WWW.RICHFIELDMN.GOV/PWPERMITS.
2. THE CITY OF RICHFIELD REQUIRES A FULL AS-BUILT PLAN SET/RECORD PLANS TO RELEASE ESCROW IN THE AMOUNT OF \$15,000. RECORD DRAWINGS ARE REQUIRED PRIOR TO FINAL C.O. ISSUE. SUBMIT PDF OF COMPLETE CIVIL AND SITE PLAN SET INCLUDING ALL UPDATES WITH AS-BUILT INFORMATION OF ALL UTILITIES INSTALLED AND REMOVED AND LIGHTING INSTALLED.
3. WATER AND SANITARY SEWER SERVICES INCLUDING HYDRANTS, CLEAN-OUTS, AND SHUTOFF VALVE SHALL CONFORM TO CITY SPECIFICATIONS.
4. ENGINEERING MUST BE PRESENT TO INSPECT ALL CONCRETE FORMS WITHIN ROW PRIOR TO CONCRETE POUR. MINIMUM 24 HOUR NOTICE REQUIRED.
5. DRIVEWAYS MUST CONFORM TO CITY DETAIL STR-02.

STORM SEWER TABLE						
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE	
STRM #1	EX. CBMH	R-1733	845.77	SE = 844.10	28 L.F. OF 12" RCP @ 0.50%, STRM #2	
STRM #2	48" SUMP CB MH	R-2390	847.49	NW = 844.24 S = 844.52 N = 844.52	32 L.F. OF 12" RCP @ 0.50%, STRM #3 124 L.F. OF 8" PVC @ 0.91%, STRM #11	
STRM #3	48" SUMP MH	R-3067-C	848.85	N = 844.68 S = 844.68	21 L.F. OF 12" RCP @ 0.50%, STRM #4	
STRM #4	48" MH	R-1733	849.33	N = 844.78 S = 844.78 E = 844.78	22 L.F. OF 12" RCP @ 0.50%, STRM #5 39 L.F. OF 12" RCP @ 0.50%, STRM #6	
STRM #5	24"x36" CB	R-3067	849.00	N = 844.89	-----	
STRM #6	48" CB MH	R-2390	848.85	W = 844.98 E = 844.98	43 L.F. OF 12" RCP @ 0.50%, STRM #7	
STRM #7	48" CB MH	R-2390	849.00	W = 845.19 N = 845.19	77 L.F. OF 8" PVC @ 0.57%, STRM #8	
STRM #8	YARD DRAIN	ADS H-20	847.15	S = 845.63 N = 845.63	35 L.F. OF 8" PVC @ 0.72%, STRM #9	
STRM #9	YARD DRAIN	ADS H-20	847.59	S = 845.88 N = 845.88	46 L.F. OF 8" PVC @ 0.52%, STRM #10A	
STRM #10A	YARD DRAIN	ADS H-20	849.25	S = 846.12 N = 846.12	22 L.F. OF 8" PVC @ 0.60%, STRM #10B	
STRM #10B	YARD DRAIN	ADS H-20	849.25	S = 846.25	-----	
STRM #11	YARD DRAIN	ADS H-20	849.00	S = 845.65 E = 845.65	40 L.F. OF 8" PVC @ 0.88%, STRM #12	
STRM #12	YARD DRAIN	ADS H-20	849.00	W = 846.00	-----	

Aster Commons
6613 Portland Avenue South
Richfield, MN 55423

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the Laws of the State of Minnesota.

Signature _____
 Print Name Joel W. Maier
 Date 06/30/2023 License No 19181

Design Development

Mark Date	Description
06/30/2023	Review Set
08/10/2023	City Review Comments

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UTILITY PLAN

NOT FOR CONSTRUCTION

C300

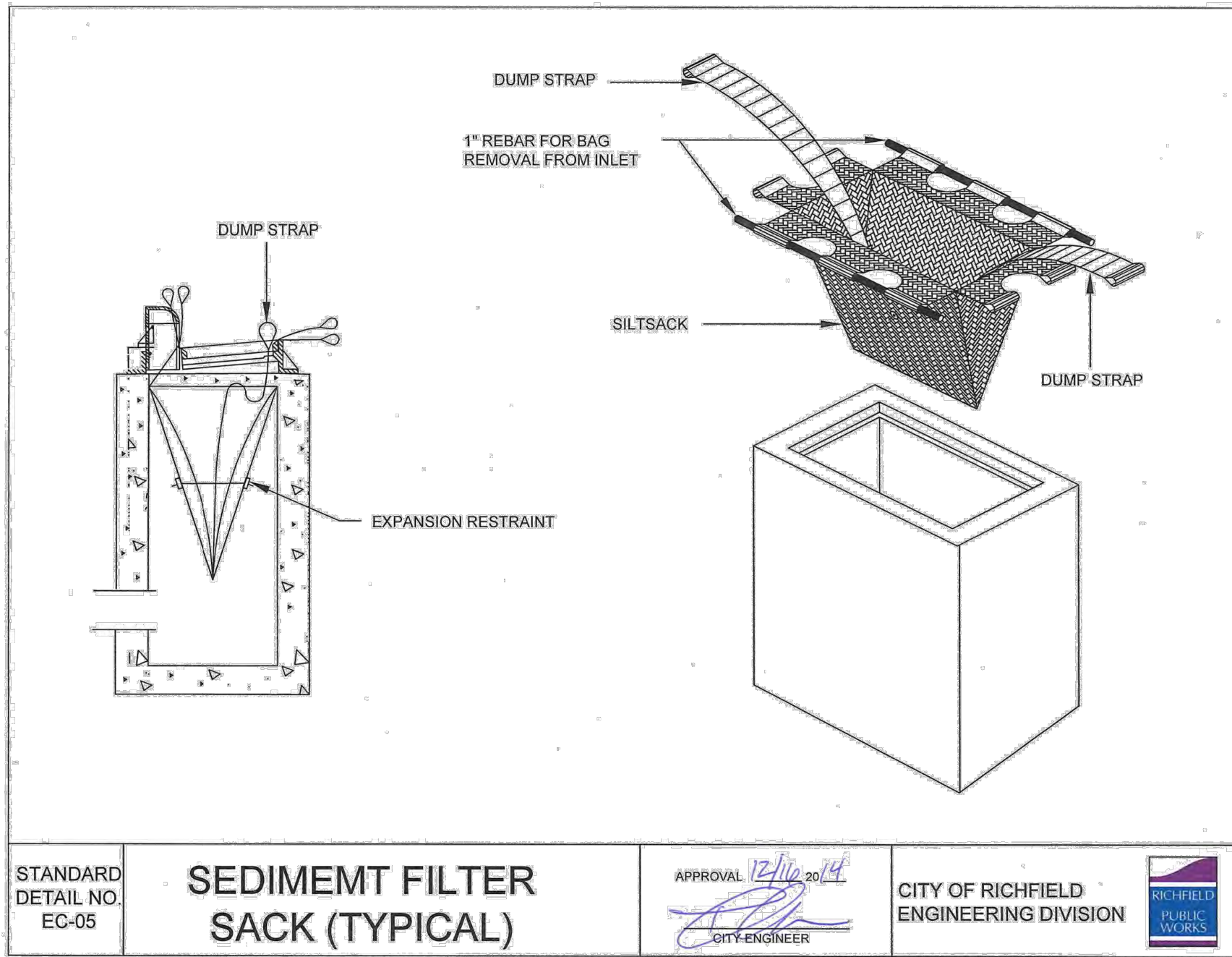
C400



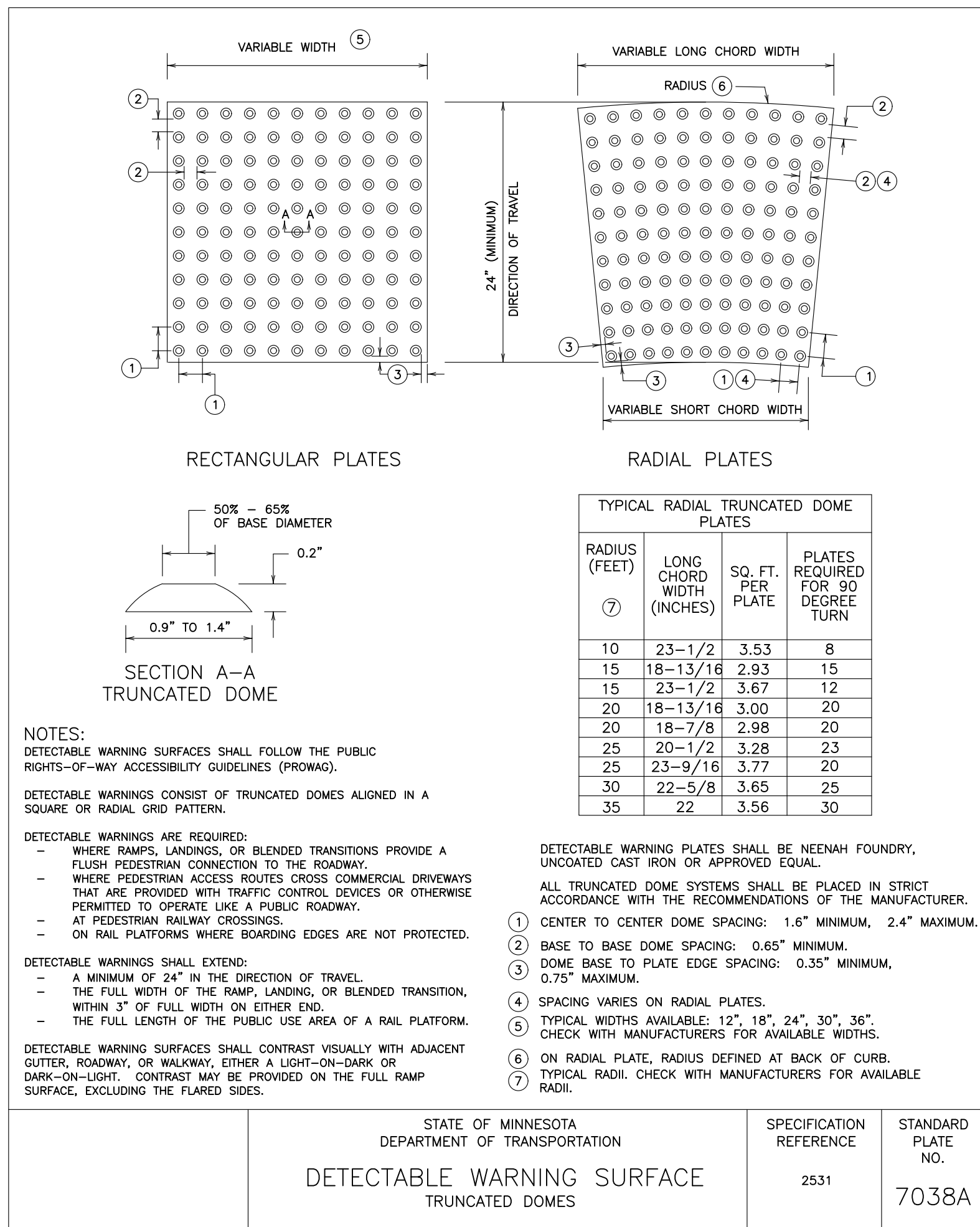
A north arrow pointing upwards, labeled 'N' at the top. Below the arrow is a graphic scale bar with markings for 20', 10', 0, 20', and 40'. The text 'SCALE' is written below the first 20' segment, and '1" = 20'' is written below the second 20' segment.

1. PERMITS ARE REQUIRED FROM RICHFIELD ENGINEERING AND HENNEPIN COUNTY FOR ANY EXCAVATION IN THE ROW, OBSTRUCTION OF PUBLIC ROADWAYS, PARKING LANES, PUBLIC SIDEWALK, OR PERMANENT STRUCTURES CONSTRUCTED IN THE RIGHT OF WAY. PERMITS FORMS AND INFORMATION AVAILABLE AT WWW.RICHFIELDMN.GOV/PWPERMITS.
2. THE CITY OF RICHFIELD REQUIRES A FULL AS-BUILT PLAN SET/RECORD PLANS TO RELEASE ESCROW IN THE AMOUNT OF \$15,000. RECORD DRAWINGS ARE REQUIRED PRIOR TO FINAL C.O. ISSUE. SUBMIT PDF OF COMPLETE CIVIL AND SITE PLAN SET INCLUDING ALL UPDATES WITH AS-BUILT INFORMATION OF ALL UTILITIES INSTALLED AND REMOVED AND LIGHTING INSTALLED.
3. CITY ENGINEERING MUST BE PRESENT TO INSPECT ALL CONCRETE FORMS WITHIN ROW PRIOR TO CONCRETE POUR. MINIMUM 24 HOUR NOTICE REQUIRED.
4. DRIVEWAYS MUST CONFORM TO CITY DETAIL STR-02.

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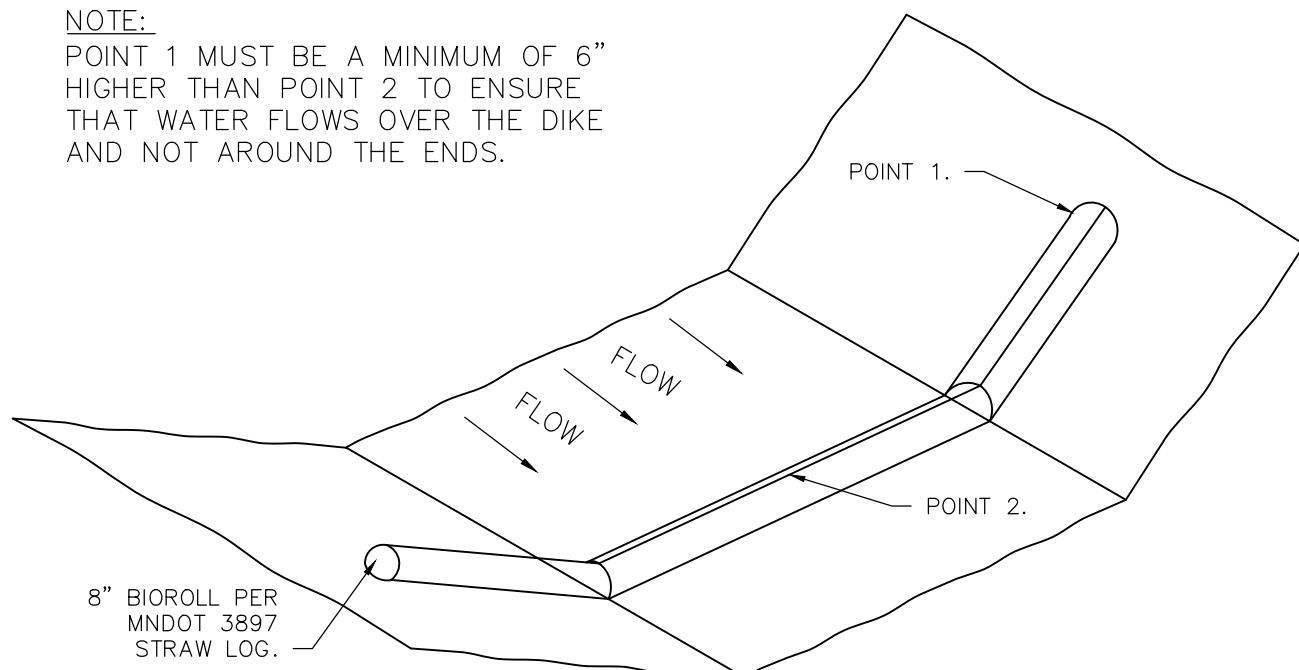
5
C500 INLET PROTECTION DETAIL
NOT TO SCALE



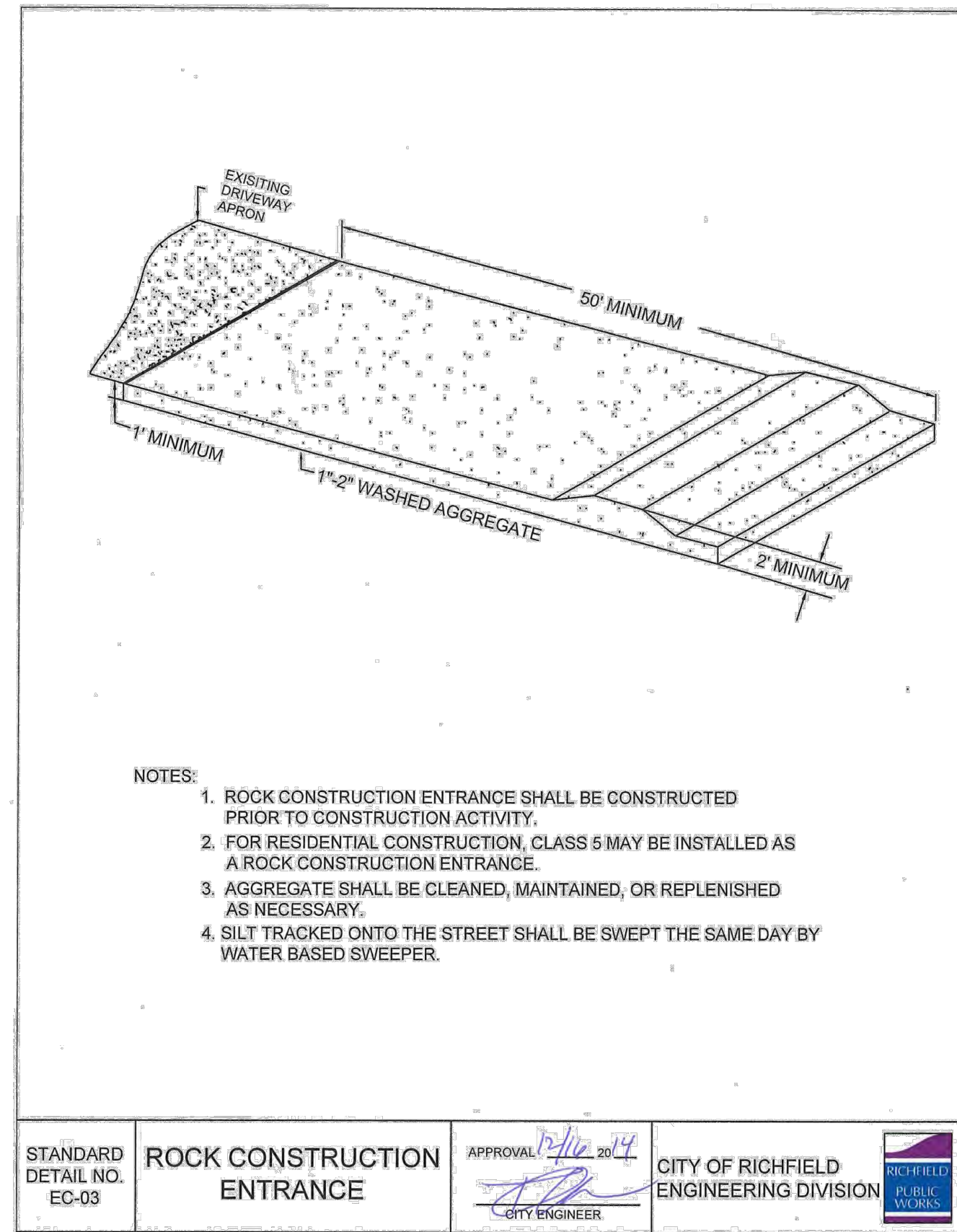
NOTE:
FOR ADA COMPLIANT PEDESTRIAN RAMPS, REFER TO MN/DOT STANDARD PLAN 5-297.250 PEDESTRIAN CURB RAMP DETAILS AT THE FOLLOWING WEB ADDRESS:
[HTTP://STANDARDPLATES.DOT.STATE.MN.US/STDPLATE.ASPX](http://STANDARDPLATES.DOT.STATE.MN.US/STDPLATE.ASPX)

CONTRACTOR SHALL COORDINATE FINAL CURB RAMP LOCATION AND PEDESTRIAN CURB RAMP DETAIL WITH THE CITY AND OWNER PRIOR TO INSTALLATION.

6
C500 PEDESTRIAN CURB RAMP - DETECTABLE WARNING
NOT TO SCALE

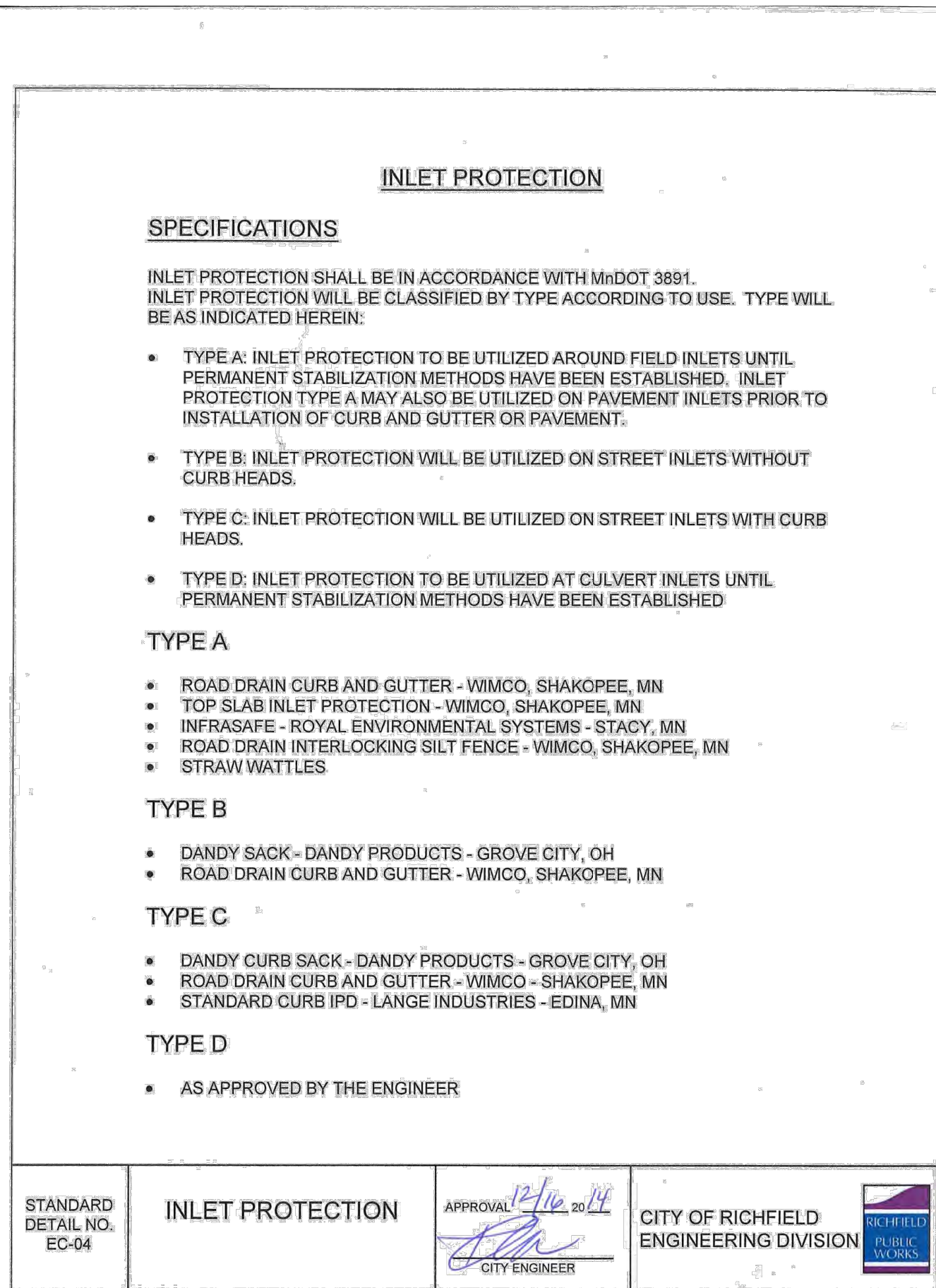


3
C500 BIO ROLL
NOT TO SCALE

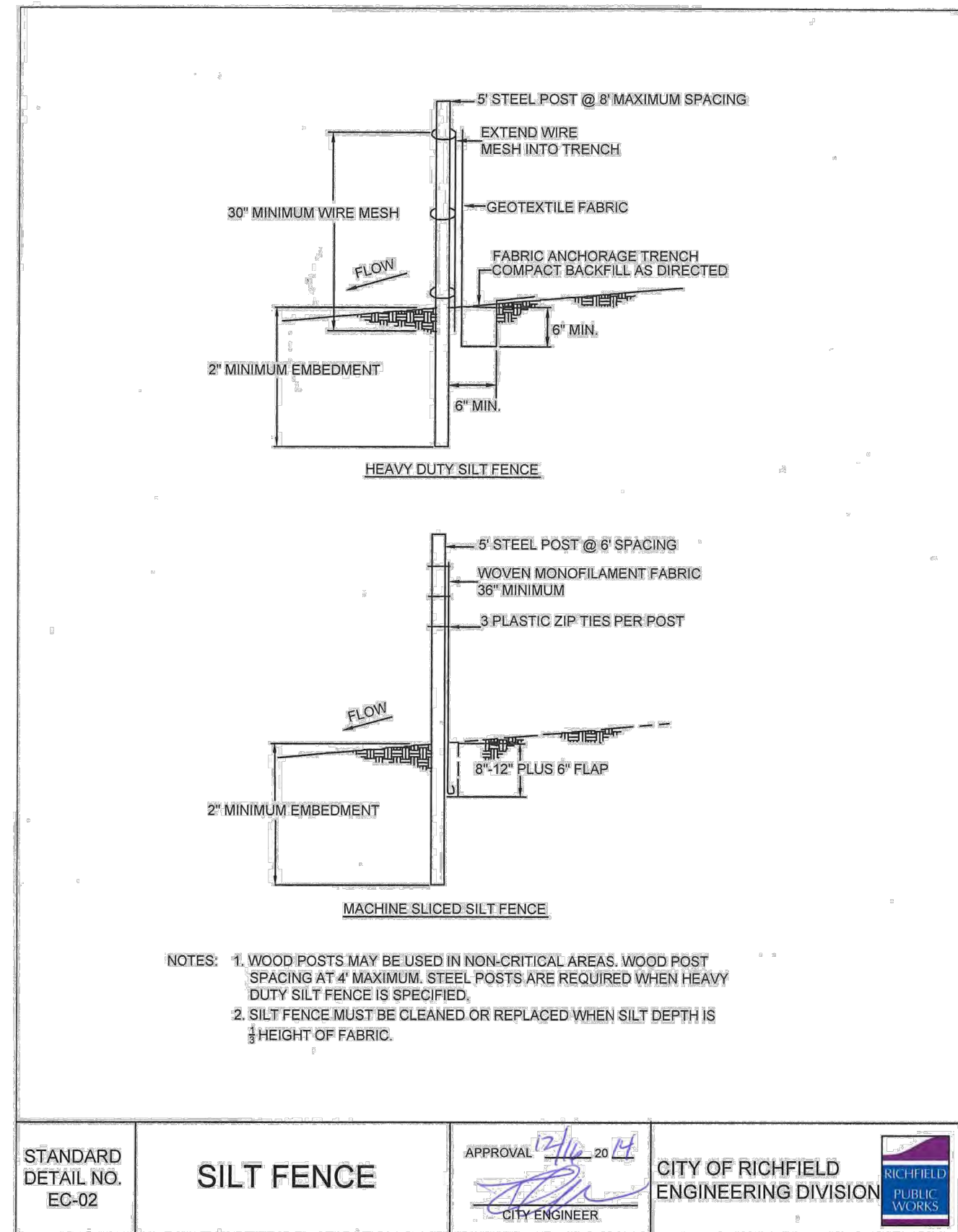


- NOTES:
1. ROCK CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED PRIOR TO CONSTRUCTION ACTIVITY.
 2. FOR RESIDENTIAL CONSTRUCTION, CLASS 5 MAY BE INSTALLED AS A ROCK CONSTRUCTION ENTRANCE.
 3. AGGREGATE SHALL BE CLEANED, MAINTAINED, OR REPLENISHED AS NECESSARY.
 4. SILT TRACKED ONTO THE STREET SHALL BE SWEEPED THE SAME DAY BY WATER BASED SWEEPER.

1
C500 ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



4
C500 INLET PROTECTION NOTES
NOT TO SCALE



- NOTES:
1. WOOD POSTS MAY BE USED IN NON-CRITICAL AREAS. WOOD POST SPACING AT 4' MAXIMUM. STEEL POSTS ARE REQUIRED WHEN HEAVY DUTY SILT FENCE IS SPECIFIED.
 2. SILT FENCE MUST BE CLEANED OR REPLACED WHEN SILT DEPTH IS 1/3 HEIGHT OF FABRIC.

2
C500 SILT FENCE
NOT TO SCALE

Architecture and Interiors

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Minneapolis, MN 55402 | 612.375.0336

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ENGINEERS
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Minneapolis, MN 55429-2518
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www.bkbm.com

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Aster Commons
6613 Portland Avenue South
Richfield, MN 55423

Project No. 2022018

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the Laws of the State of Minnesota.

Signature _____
Print Name Joel W. Maier
Date 06/30/2023 License No. 19181

Design Development

ISSUE / REVISION

Mark	Date	Description
	06/30/2023	Review Set
	08/10/2023	City Review Comments

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CIVIL DETAILS

C500

NOT FOR CONSTRUCTION

Signature _____

Print Name Joel W. Maier

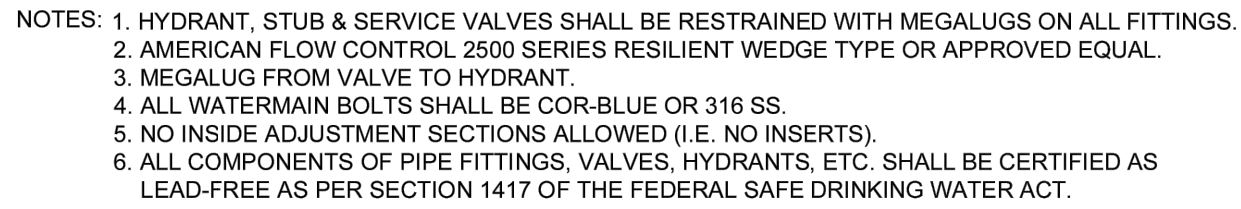
Date 06/30/2023 License No 19181

ISSUE / REVISION

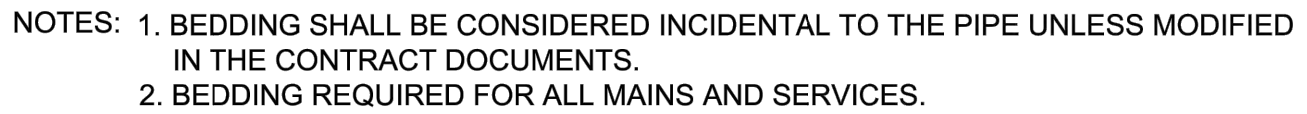
Mark Date	Description
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CIVIL DETAILS

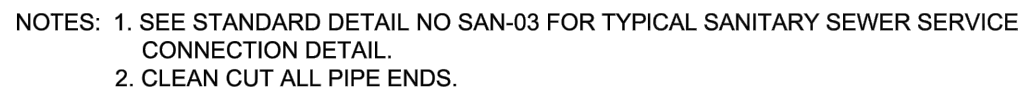
C501



5 VALVE BOX INSTALLATION
C501 NOT TO SCALE

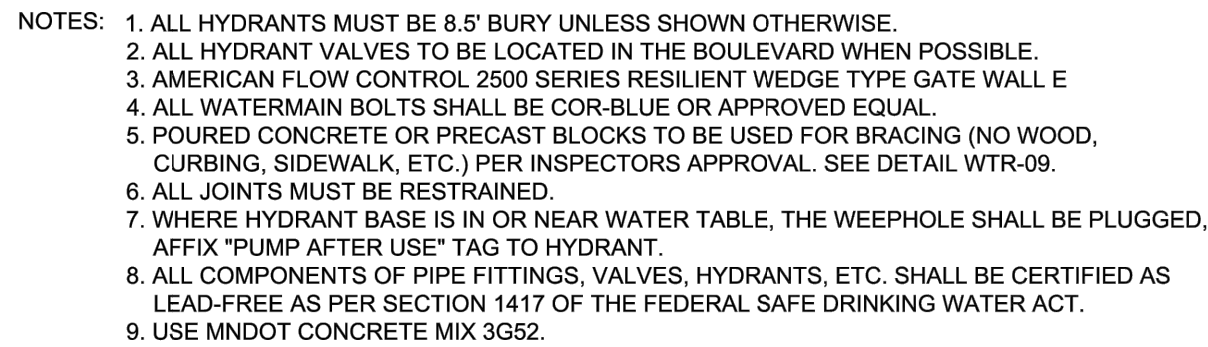


3 SANITARY SEWER BEDDING
C501 NOT TO SCALE

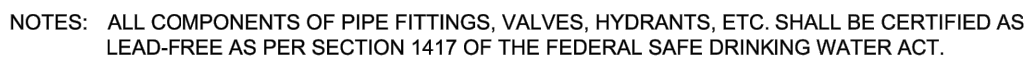


1
C501

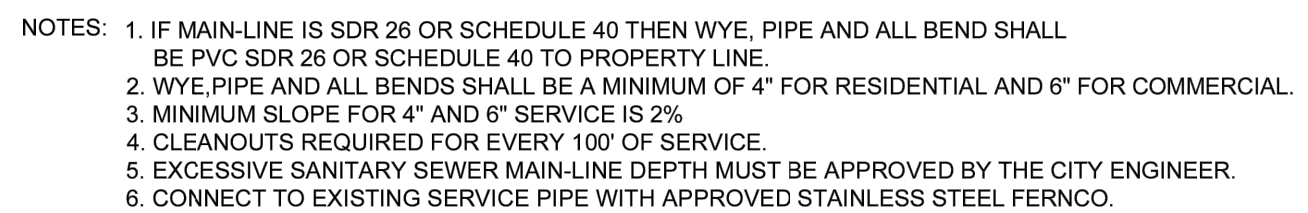
SANITARY SERVICE WYE CUT IN
NOT TO SCALE



6 HYDRANT INSTALLATION
C501 NOT TO SCALE



4 WATERMAIN WET TAP
C501 NOT TO SCALE



2
C501

SANITARY SEWER CONNECTION
NOT TO SCALE

Project No: 2022018

Signature _____

Print Name Joel W. Maier

Date 06/30/2023 License No 19181

Mark Date	Description
06/30/2023	Review Set
08/10/2023	City Review Comments

C502

C502

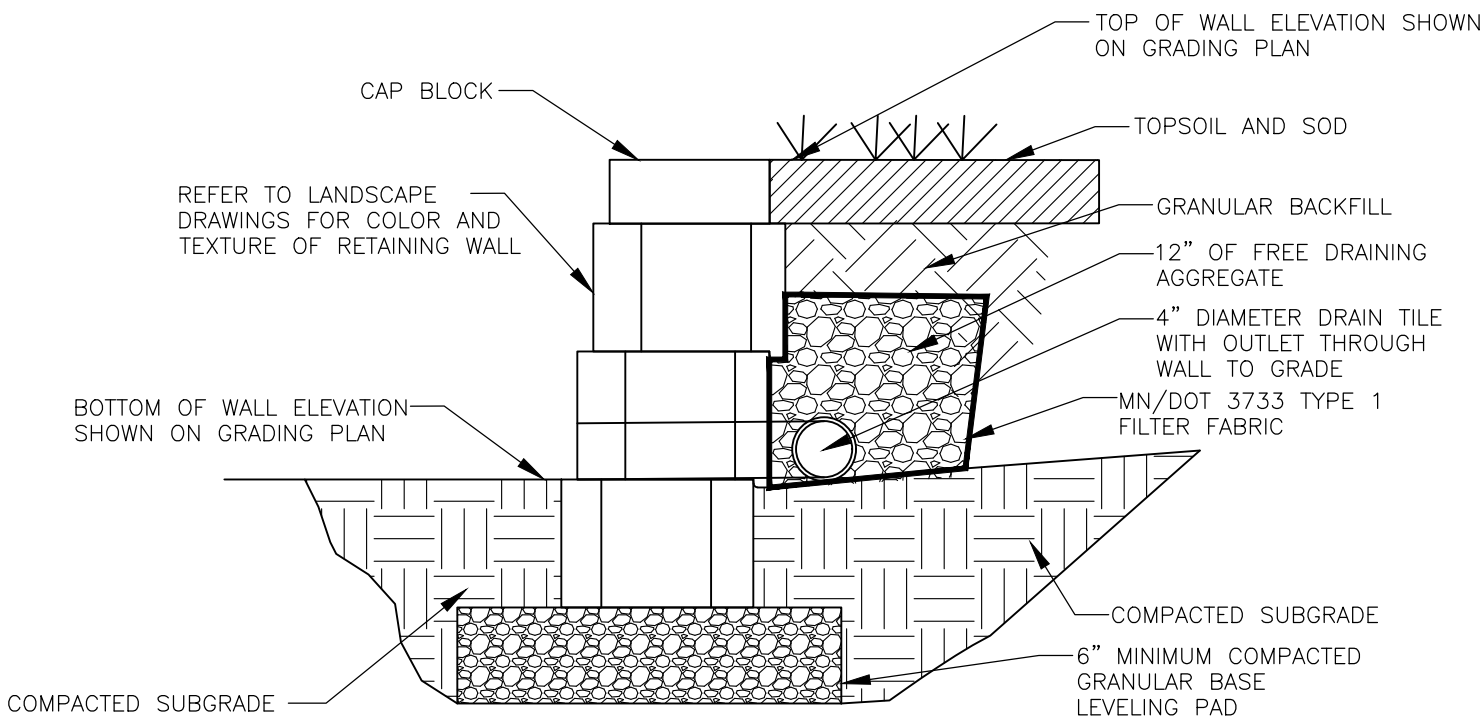


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Richfield, MN 55423

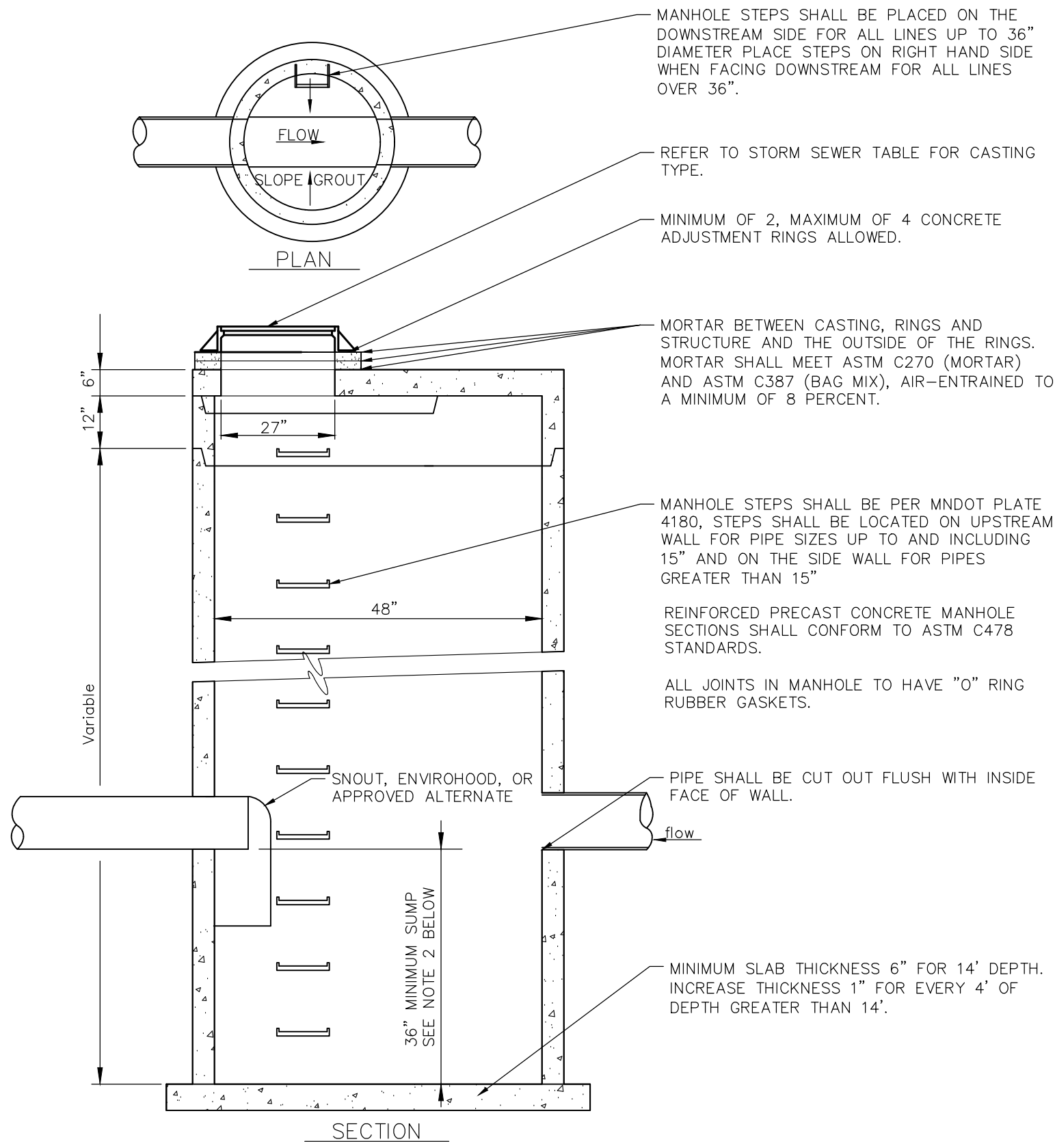
CIVIL DETAILS

C503



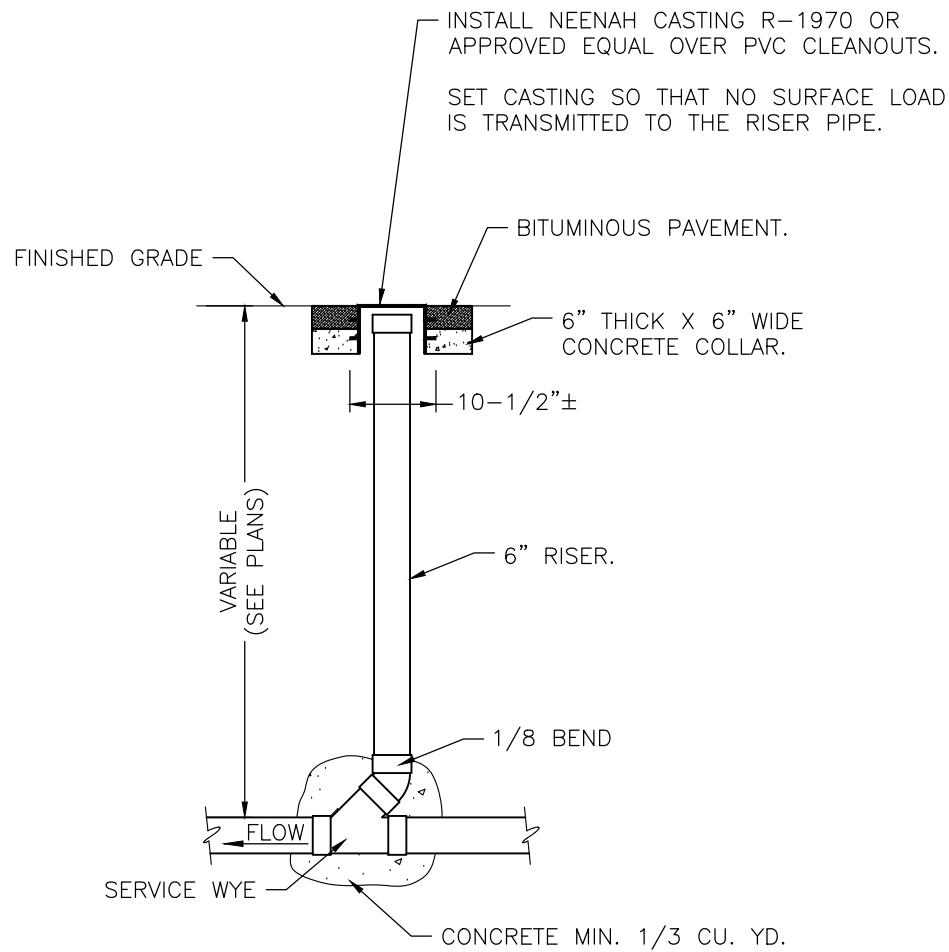


6
C504 TYPICAL SHORT HEIGHT RETAINING WALL
NOT TO SCALE

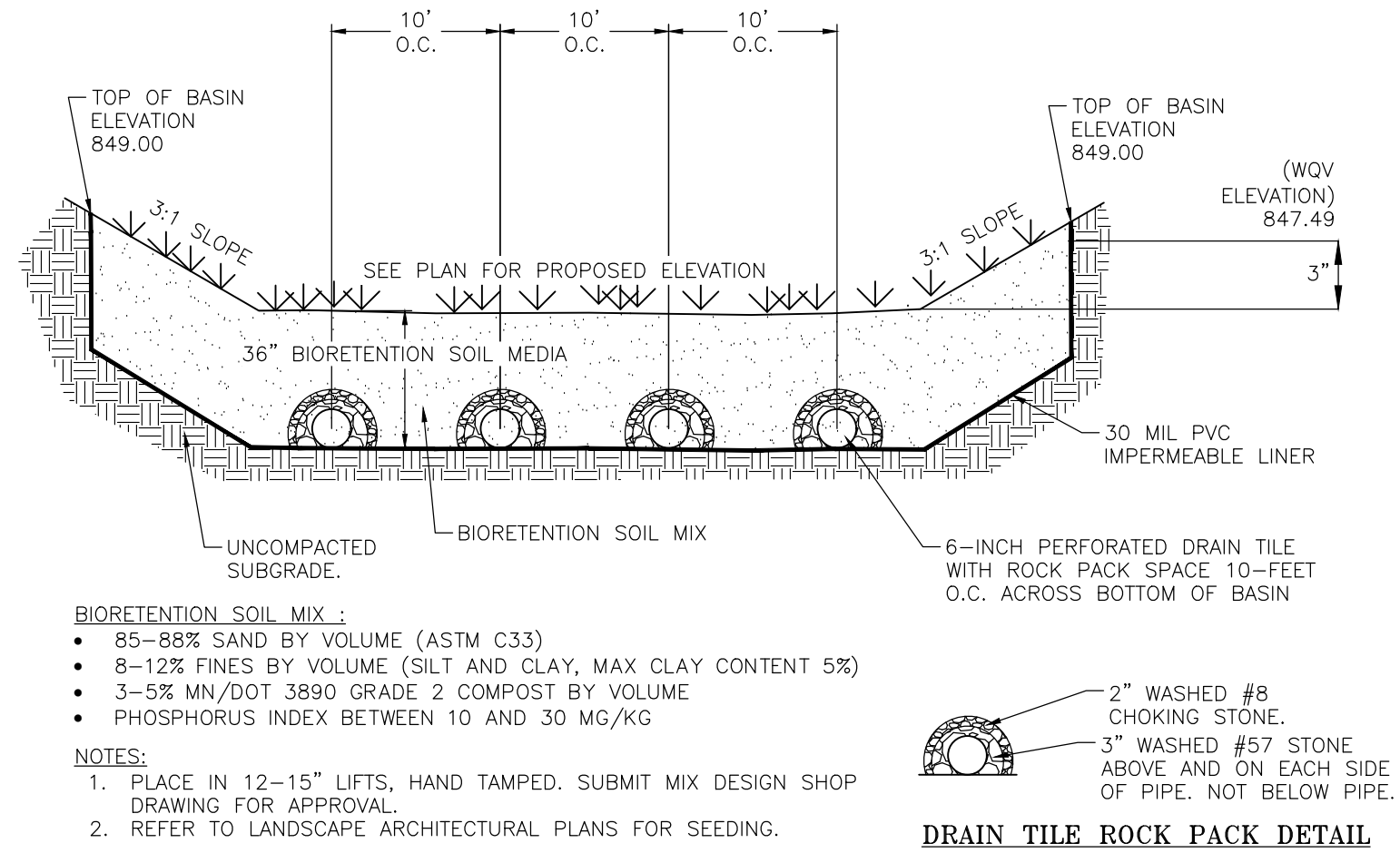


NOTE:
1: SNOUT OR ENVIROHOOD DEVICE SHALL HAVE A CROSS-SECTIONAL AREA GREATER THAN OR EQUAL TO THE CROSS-SECTIONAL AREA OF THE OUTLET PIPE OF THE SUMP MANHOLE.
2: SUMP DEPTH SHALL BE EQUAL TO 3 TIMES THE OUTLET PIPE DIAMETER, WITH A MAXIMUM SUMP DEPTH OF 9 FEET.

4
C504 SUMP CATCH BASIN MANHOLE
NOT TO SCALE



5
C504 SEWER CLEANOUT IN PAVEMENT
NOT TO SCALE

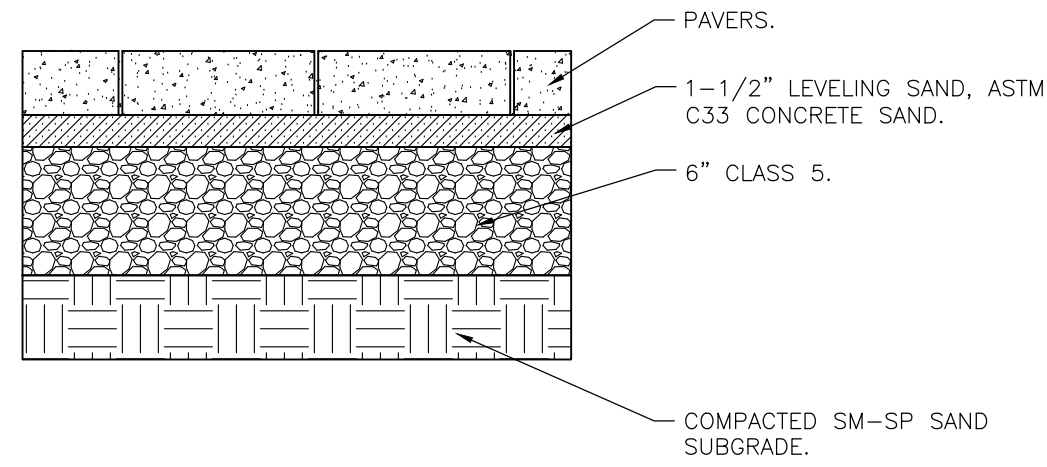


BIORETENTION SOIL MIX :
• 85-88% SAND BY VOLUME (ASTM C33)
• 8-12% FINES BY VOLUME (SILT AND CLAY, MAX CLAY CONTENT 5%)
• 3-5% MN/DOT 3890 GRADE 2 COMPOST BY VOLUME
• PHOSPHORUS INDEX BETWEEN 10 AND 30 MG/KG

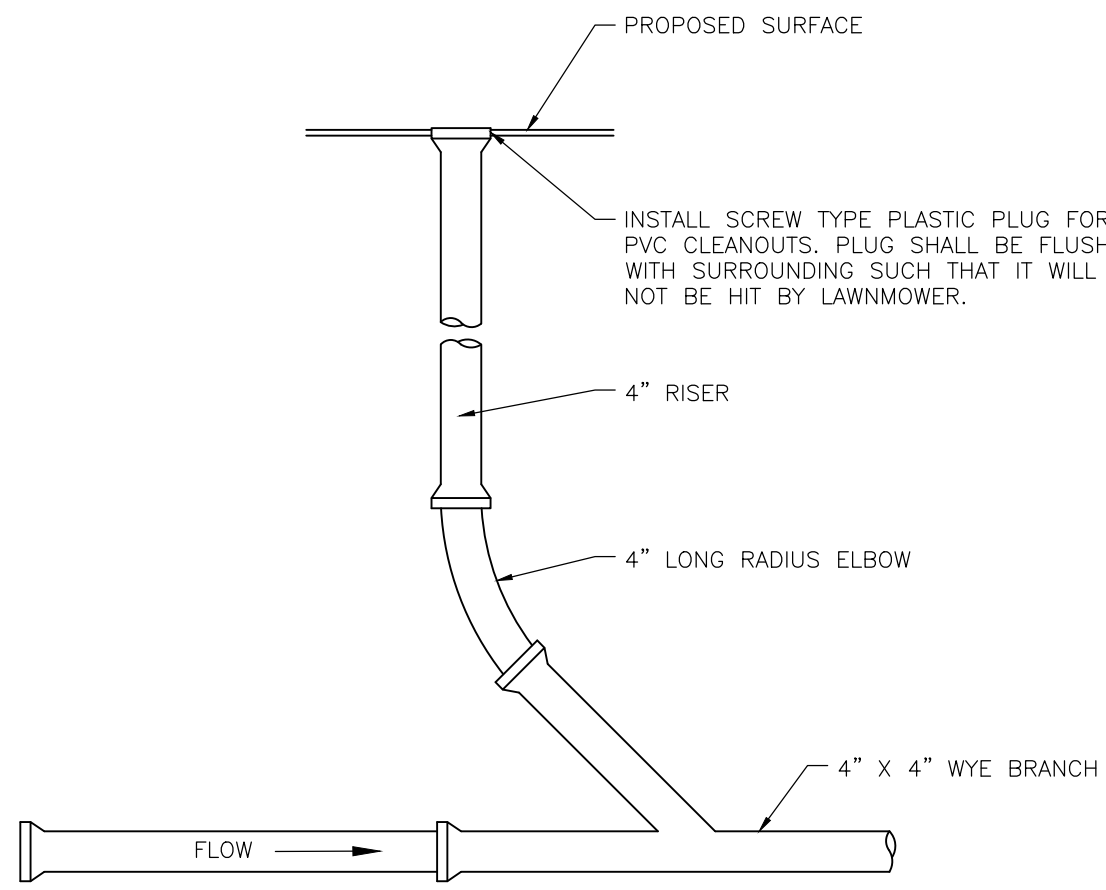
NOTES:
1. PLACE IN 12-16" LIFTS, HAND TAMPED. SUBMIT MIX DESIGN SHOP DRAWING FOR APPROVAL.
2. REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR SEEDING.

DRAIN TILE ROCK PACK DETAIL

1
C504 BIOFILTRATION BASIN DETAIL
NOT TO SCALE



2
C504 PAVER SIDEWALK
NOT TO SCALE

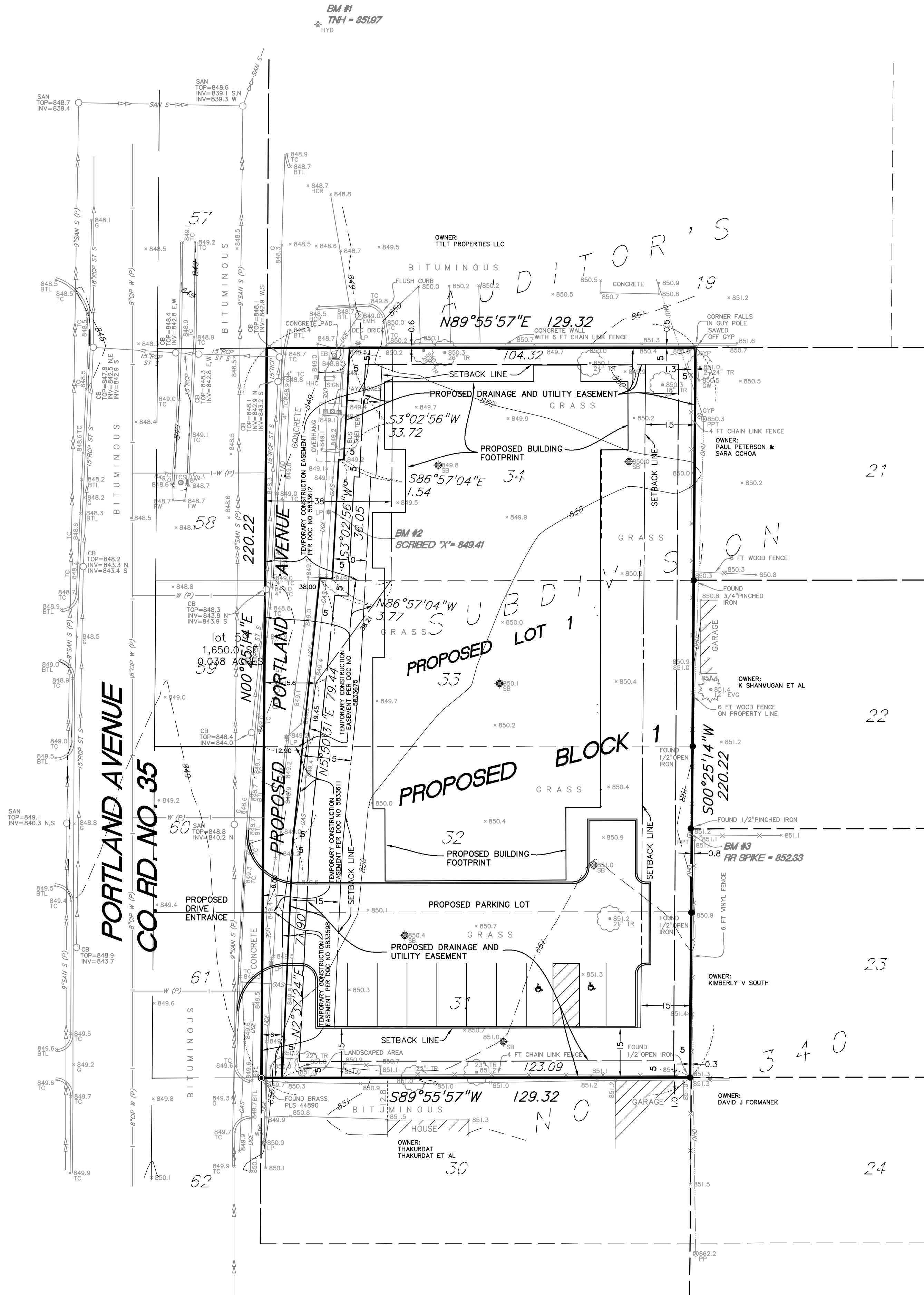


3
C504 SEWER CLEANOUT IN PERVIOUS AREA
NOT TO SCALE

C600



STORMWATER RUNOFF SUMMARY			
	2-YR STORM (2.84") RUNOFF (CFS)	10-YR STORM (4.25") RUNOFF (CFS)	100-YR STORM (7.50") RUNOFF (CFS)
EXISTING SITE	0.39	1.07	3.24
PROPOSED SITE	1.68	3.15	6.33



GENERAL NOTES

- Survey coordinate and bearing basis: Hennepin County ground feet, based on the Minnesota Coordinate System, Southern Zone, NAD83, 1986 adjustment.
- "No Buildings Observed" on the surveyed property in the process of conducting the fieldwork.
- Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site.
- The boundary shown is per the Certificates of Title listed. We have not been able to obtain any information from the Hennepin County Highway Department regarding Portland Avenue right of way. The boundary may be updated if we receive an updated Title Commitment that has more information regarding Portland Avenue.
- Physical features shown on the survey are per the last field visit on April 28, 2023.

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 230971408 and 230971431.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

- The subject property appears to lie within Zone X (Area of Minimal Flood Hazard) per the National Flood Insurance Program, Flood Insurance Rate Map No. 27053C0369F, dated November 4, 2016, Community No. 270180. This information was obtained from the FEMA Map Service Center web site.

PARKING

No designated parking spaces were observed on site.

AREAS

Existing Area = 28,478 square feet or 0.654 acres
Proposed Lot 1, Block 1 = 25,355 square feet or 0.582 acres

BENCHMARKS (BM)

(NAVD 88)

- Top of top nut of fire hydrant in the southeast quadrant of 66th St. E. and Portland Ave. S.
Elevation = 851.97 feet
- Top of scribed "X" on the top of east side of concrete light pole base; 1st light pole south of bus shelter on the east side of Portland Ave. S.
Elevation = 849.41 feet
- Top of railroad spike in the west face of power pole with transformer on the east side of the site, middle power pole.
Elevation = 852.33 feet

LEGEND

- Denotes found iron monument
- Denotes 1.17 inch diameter copper magnetized marker with disc cap affixed stamped LS-44890 found

- BTL Denotes beavertail curb
CB Denotes catch basin
CIP Denotes cast iron pipe
EB Denotes electric box
EMH Denotes electric manhole
G Denotes gutter elevation
GW Denotes guy wire
GYP Denotes guy pole
HCR Denotes disabled ramp
HHC Denotes communication handhole
HYD Denotes fire hydrant
INV Denotes structure invert
LP Denotes light pole
OHU Denotes overhead utility lines
(P) Denotes per plan
PP Denotes power pole
PPT Denotes power pole with transformer
RCP Denotes reinforced concrete pipe
SAN Denotes sanitary manhole
SAN S Denotes sanitary sewer
SB Denotes soil boring
ST S Denotes storm sewer
TAD Denotes truncated domes plate
TC Denotes top of concrete curb
TCS Denotes traffic control sign
UGE Denotes underground electric line
W Denotes water line
WV Denotes water valve

- EVG Denotes evergreen tree
TR Denotes deciduous tree

DESCRIPTION OF PROPERTY SURVEYED

(Per Commercial Partners Title, a division of Chicago Title Insurance Company, Commitment for Title Insurance File No. CP72041, Supplemental No. 1, commitment date June 30, 2023)

Lots 31, 32, 33 and 34, Auditor's Subdivision No. 340.

Hennepin County, Minnesota
Torrens Property

PLAT RECORDING INFORMATION

AUDITOR'S SUBDIVISION NUMBER 340 was filed of record on September 12, 1946 in Book 116 of Plats, Page 33.

TITLE COMMITMENT

Commercial Partners Title, a division of Chicago Title Insurance Company, Commitment for Title Insurance File No. CP72041, Supplemental No. 1, commitment date June 30, 2023, was relied upon as to matters of record.

Schedule B Exceptions:

Exceptions are indicated on survey with circled numbers unless otherwise noted. Items not listed below are standard exceptions and/or are not survey related.

9.) Terms and conditions of and temporary easement for construction and related purposes in favor of the Metropolitan Council, a public corporation and political subdivision of the State of Minnesota being described as Parcel No. 105, contained in Temporary Construction Easement dated April 27, 2021, filed May 6, 2021, as Document No. 5833598. (Lot 31) [Shown on survey]

10.) Terms and conditions of and temporary easement for construction and related purposes in favor of the Metropolitan Council, a public corporation and political subdivision of the State of Minnesota being described as Parcel No. 106, contained in Temporary Construction Easement dated April 27, 2021, filed May 6, 2021, as Document No. 5833611. (Lot 32) [Shown on survey]

11.) Terms and conditions of and temporary easement for construction and related purposes in favor of the Metropolitan Council, a public corporation and political subdivision of the State of Minnesota being described as Parcel No. 107, contained in Temporary Construction Easement dated April 27, 2021, filed May 6, 2021, as Document No. 5833675. (Lot 33) [Shown on survey]

12.) Terms and conditions of and temporary easement for construction and related purposes in favor of the Metropolitan Council, a public corporation and political subdivision of the State of Minnesota being described as Parcel No. 108, contained in Temporary Construction Easement dated April 27, 2021, filed May 6, 2021, as Document No. 5833612. (Lot 34) [Shown on survey]

OWNER:

HRA City of Richfield
6700 Portland Ave. S.
Richfield, MN 55423

APPLICANT:

Beacon Interfaith Housing Collaborative
2610 University Avenue West
Suite 100
St. Paul, MN 55114
Contact: Jim Barnes
jbarnes@beaconinterfaith.org
651-377-8183

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Dated this 18th day of July, 2023

SUNDE LAND SURVEYING, LLC

By: *Leonard F. Carlson*
Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

revised right of way line per comments	NDN	9/18/23
Revision	By	Date
	NDN	

Drawing Title:

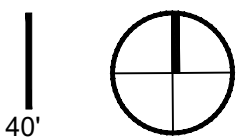
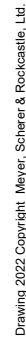
PRELIMINARY PLAT OF:
ASTER COMMONS

SUNDE
LAND SURVEYING
www.sunde.com

Main Office:
9001 East Bloomington Freeway (35W) • Suite 118
Bloomington, Minnesota 55420-3435
952-881-2455 (Fax: 952-888-9526)

Project: 2015-003-A	Bk/Pg: 1094/39	Date:
Township: 028	Range: 24	Section: 26
File: 2015003A_preplat.dwg		Sheet: 1 of 1





LA200

NOT FOR CONSTRUCTION

Aster Commons
6613 Portland Avenue South
Richfield, MN 55423

Project No. 20202018

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Architect Seal

Signature _____
Print Name _____
Date _____ License No. _____

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Mark Date Description

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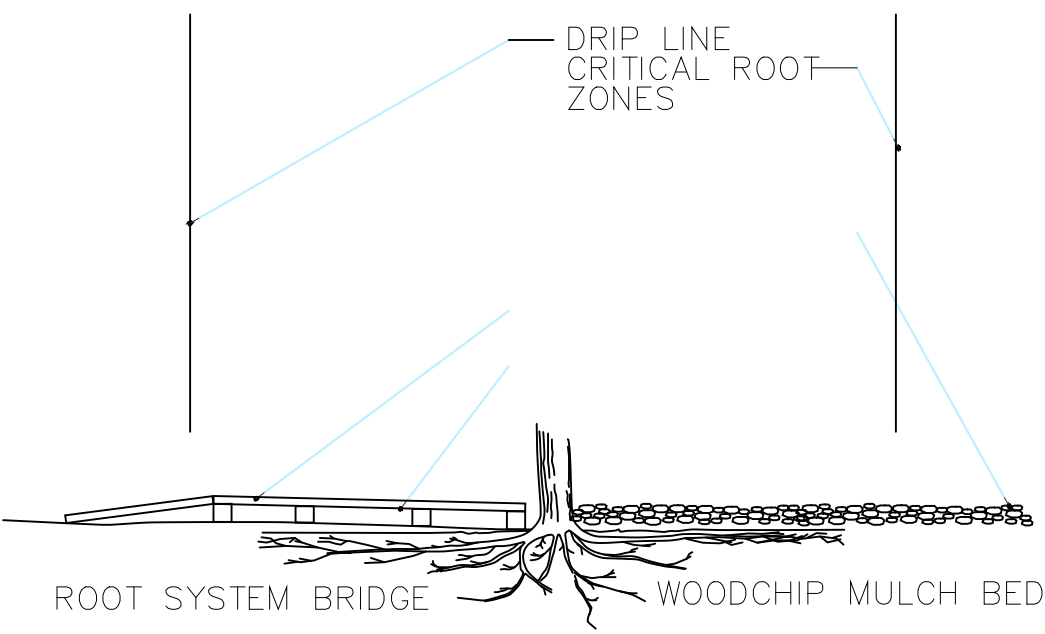
TREE PROTECTION
DETAIL

LA201

NOT FOR CONSTRUCTION

DISTRICT #: \$@DISTRICT@
PLOT NAME: \$@PLOTNAME@
PATH & FILENAME: \$@PATHFILENAME@

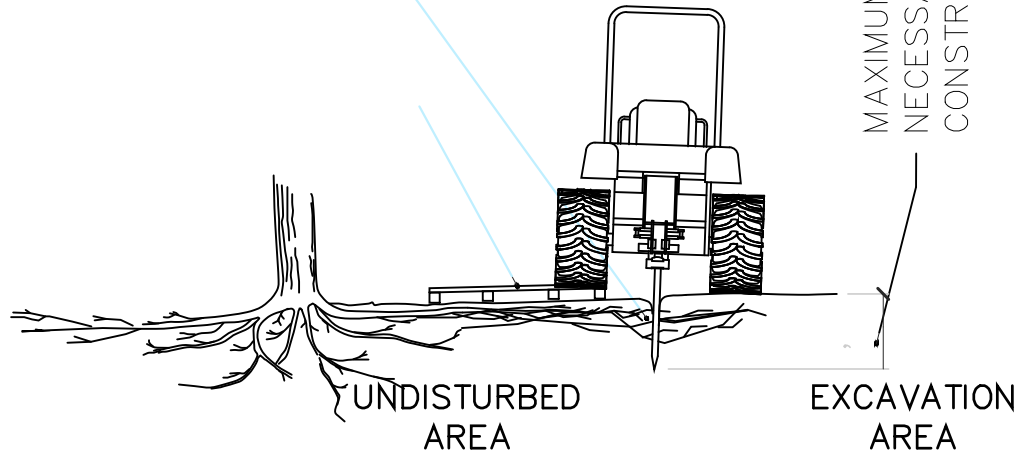
(MnDOT 2571.3E.1 and 2571.3K.2.a(9))



ROOT SYSTEM BRIDGE WOODCHIP MULCH BED

DRIP LINE CRITICAL ROOT ZONES

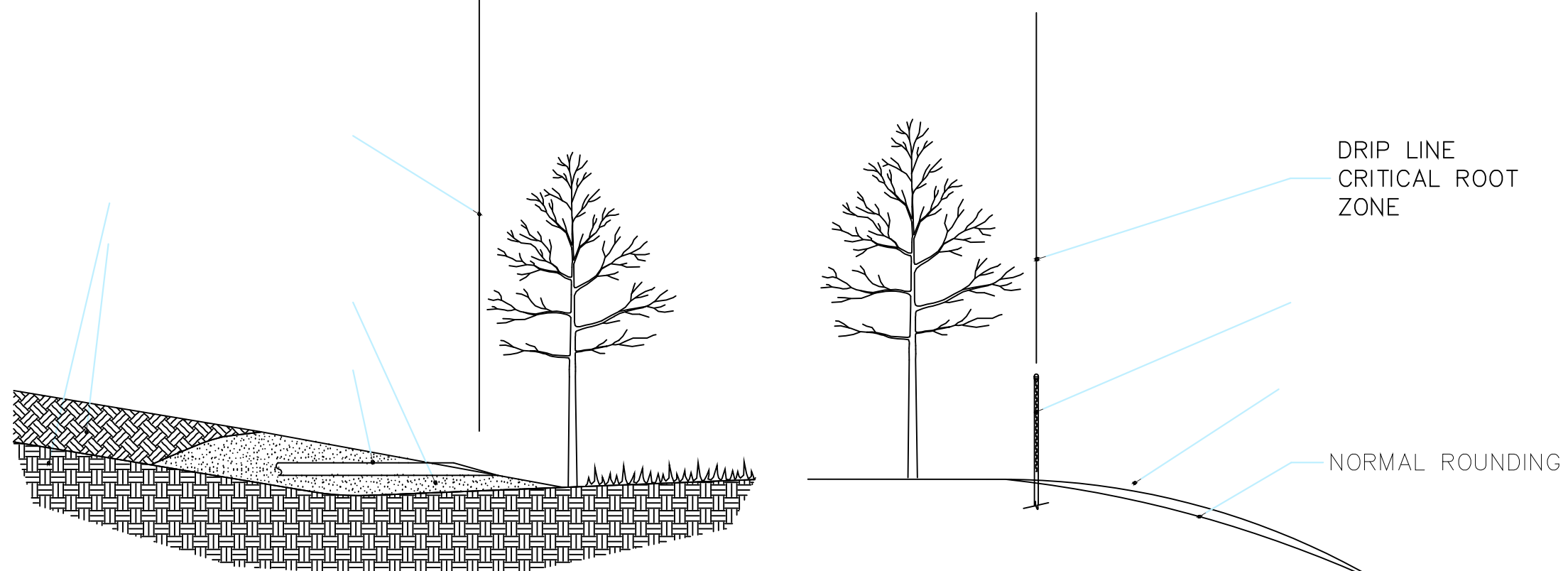
(MnDOT 2572.3A.1)



UNDISTURBED AREA EXCAVATION AREA

MAXIMUM DEPTH NECESSARY FOR CONSTRUCTION

(MnDOT 2572.3A.5)



DRIP LINE CRITICAL ROOT ZONE

NORMAL ROUNDING

IF CONSTRUCTION VEHICLES MUST PASS OVER ROOT ZONES, THE CONTRACTOR MUST EITHER:

1. CONSTRUCT ROOT SYSTEM BRIDGES WITH STEEL PLATE SUPPORTED ON WOOD TIMBERS PLACED RADIALLY TO THE TREE TRUNK.
- OR
2. PLACE A 6 INCH LAYER OF WOODCHIP MULCH OVER A TYPE III GEOTEXTILE (MnDOT 3733).

OTHER VEGETATION PROTECTION MEASURES

(MnDOT 2572.3A.12)

CLEAN ROOT CUTTING

(MnDOT 2572.3A.2)

1. WHEN DESIGNATED IN THE PLAN OR DIRECTED BY THE ENGINEER, PRIOR TO EXCAVATION, ALL TREE ROOTS WILL BE CLEANLY CUT BY A VIBRATORY PLOW OR OTHER APPROVED ROOT CUTTER.
2. THE TREE ROOTS WILL BE CUT CLEANLY TO THE MINIMUM DEPTH NECESSARY FOR CONSTRUCTION.
3. IMMEDIATELY, AND CLEANLY CUT DAMAGED AND EXPOSED ROOTS.
4. ROOT ENDS EXPOSED BY EXCAVATION ACTIVITIES SHALL BE IMMEDIATELY COVERED WITH A 6" LAYER OF ADJACENT SOIL.
5. EXPOSED CUT OAK ROOTS SHALL BE IMMEDIATELY (WITHIN 5 MINUTES) TREATED WITH A WOUND DRESSING MATERIAL CONSISTING OF LATEX PAINT OR SHELLAC.

ROOTING TOPSOIL BORROW

(MnDOT 2572.3A.4)

1. ANY FILL REQUIRED WITHIN THE DRIP LINE OF TREES, IS UNCOMPACTED ROOTING TOPSOIL BORROW.
2. EXCESSIVE FILL MAY REQUIRE PLACING PERFORATED PIPE WITH AT LEAST ONE DAYLIGHTED END OPENING AS AN AERATION SYSTEM.

SLOPE ROUNDING

(MnDOT 2572.3A.5)

SIGNIFICANT TREES NEAR THE PROPOSED CONSTRUCTION LIMITS WILL BE IDENTIFIED IN THE PLAN OR BY THE ENGINEER AND WILL BE PRESERVED BY THE CONTRACTOR.

1. PLACE THE TEMPORARY FENCE.
2. REDUCE SLOPE ROUNDING WHERE ROOT ZONES ARE DISTURBED BY NORMAL SLOPE ROUNDING.
3. VARY BACKSLOPE STEEPNESS TO AVOID TREE LOSS OR UNNECESSARY ROOT DAMAGE.

TEMPORARY SEDIMENT CONTROL PROTECTION AND RESTORATION OF VEGETATION FILTER BERMS, SEDIMENT CONTROL LOGS, AND BALE BARRIERS

STANDARD PLAN 5-297.4052 OF 8

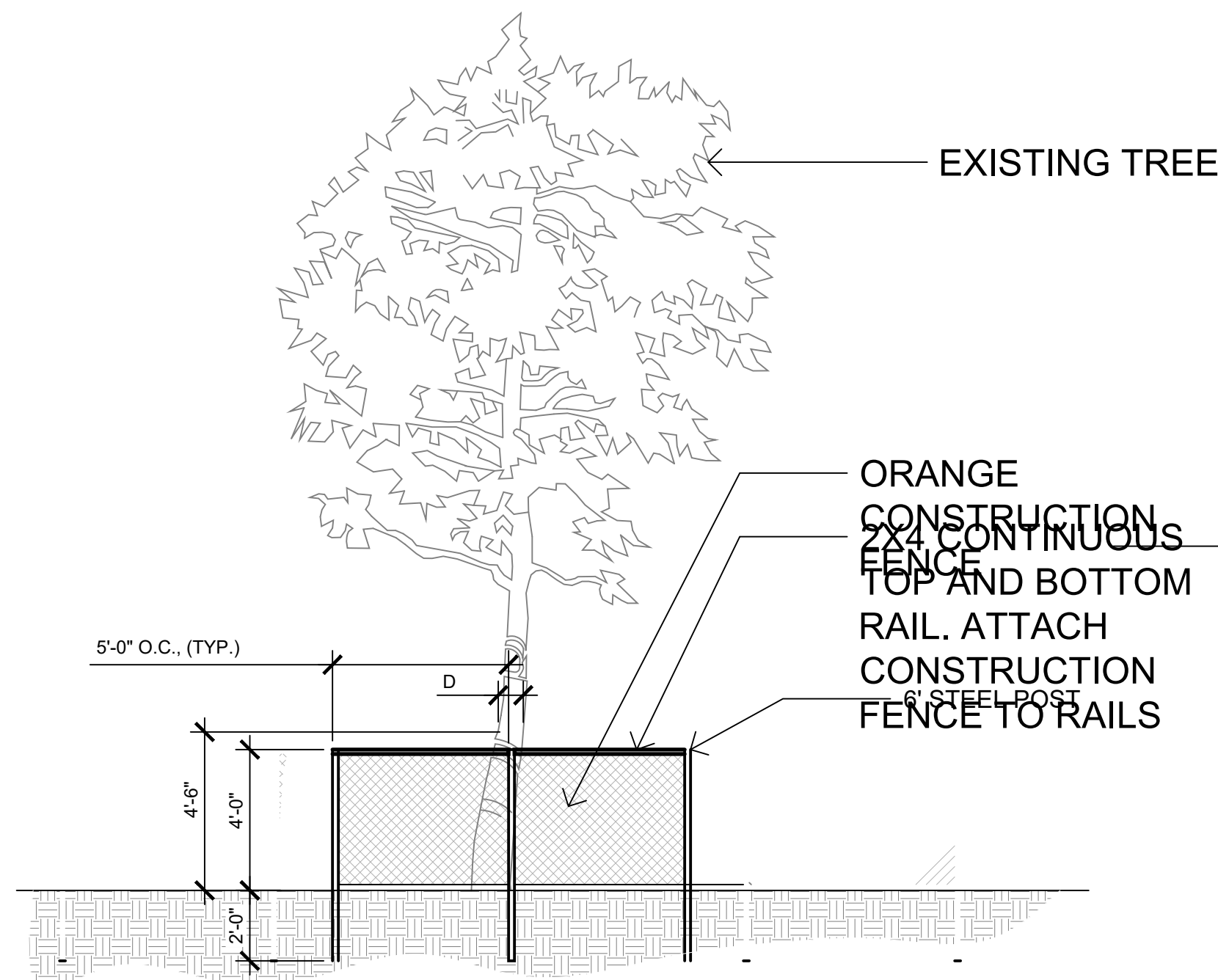
APPROVED: 1-8-2020
REVISED:

STATE PROJ. NO. (T.H.) SHEET NO. OF SHEETS

STATE DESIGN ENGINEER

02
L201 ROOT CUTTING AND PROTECTION ALTERNATIVES

N.T.S.



EXISTING TREE

ORANGE CONSTRUCTION FENCE

24" CONTINUOUS TOP AND BOTTOM RAIL. ATTACH CONSTRUCTION FENCE TO RAILS

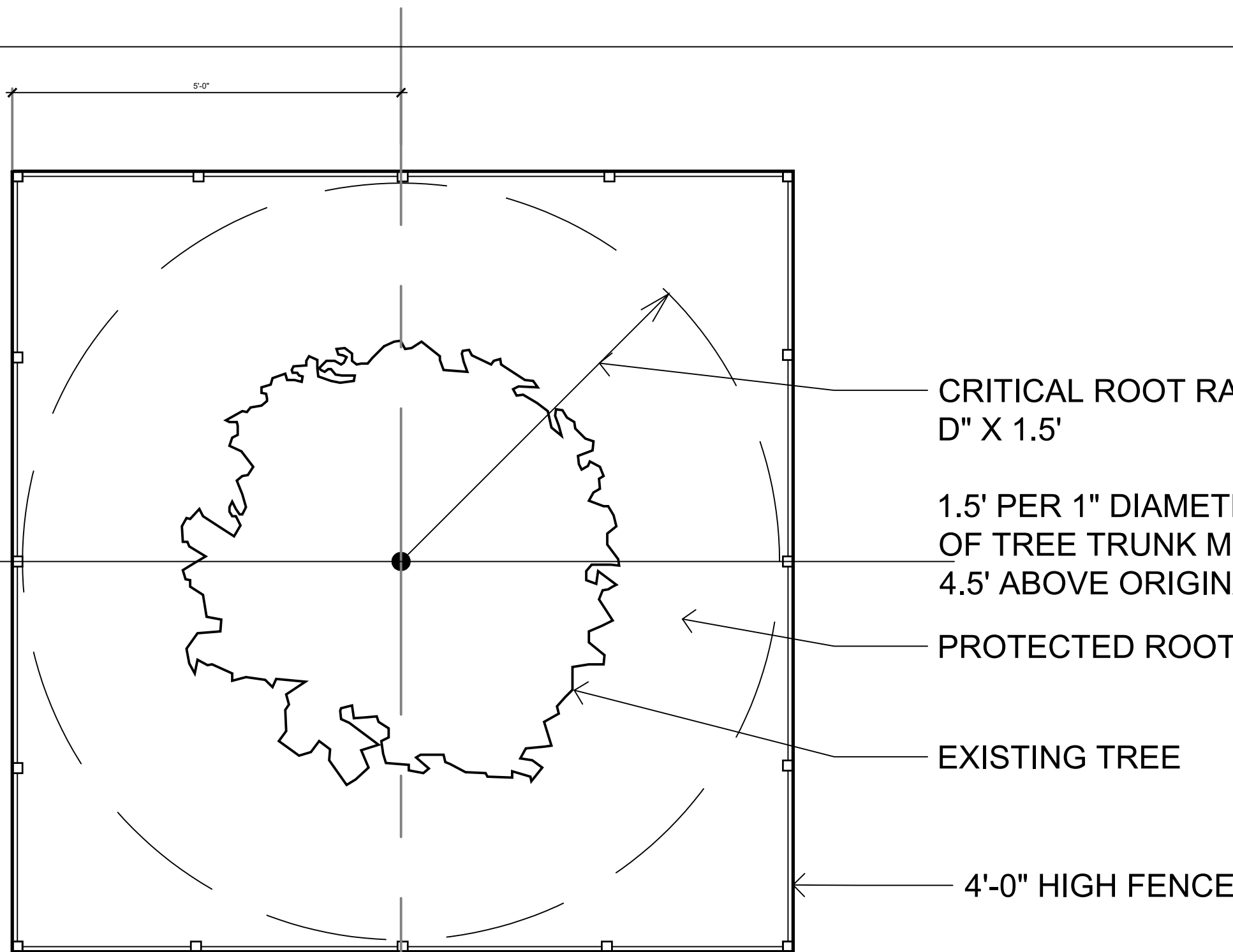
6" STEEL POST

5'-0" O.C., (TYP.)

4'-6"

4'-0"

2'-0"



CRITICAL ROOT RADIUS
D" X 1.5'

1.5' PER 1" DIAMETER
OF TREE TRUNK MEASURED
4.5' ABOVE ORIGINAL GRADE

PROTECTED ROOT ZONE

EXISTING TREE

4'-0" HIGH FENCE

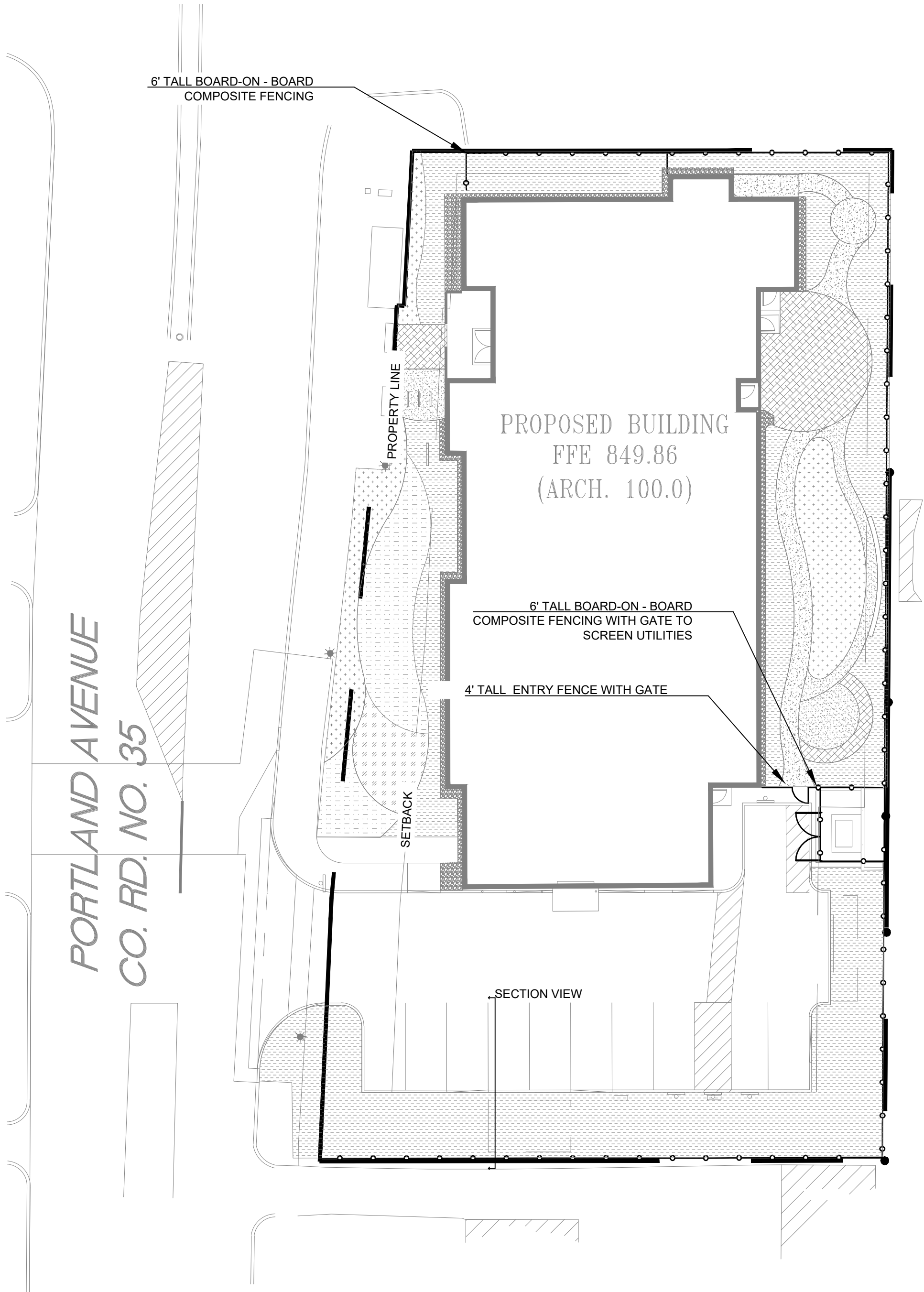
TREE PROTECTION GENERAL NOTES

1. ALL EFFORTS MUST BE TAKEN TO PROTECT THE TREES IDENTIFIED ON L400 FOR THE DURATION OF DEMOLITION AND CONSTRUCTION.
2. WHERE CONSTRUCTION ACTIVITY MUUST EXTEND INTO THE CRITICAL ROOT RADIUS, A 12-FOOT WIDE BY 12-INCH DEEP LAYER OF SHREDDED HARDWOOD MULCH SHALL BE PLACED OVER THE IMPACTED AREA. THE 12-FOOT WIDTH BY 12-INCH DEPTH SHALL BE MAINTAINED FOR THE ENTIRE PERIOD OF CONSTRUCTION THAT AFFECTS THE PROTECTED TREE. THE MULCH SHALL BE REM-VED ENTIRELY AT THE END OF CONSTRUCTION.

01
L201 TREE PROTECTION DETAIL, TYP.

1/4" = 1'-0"

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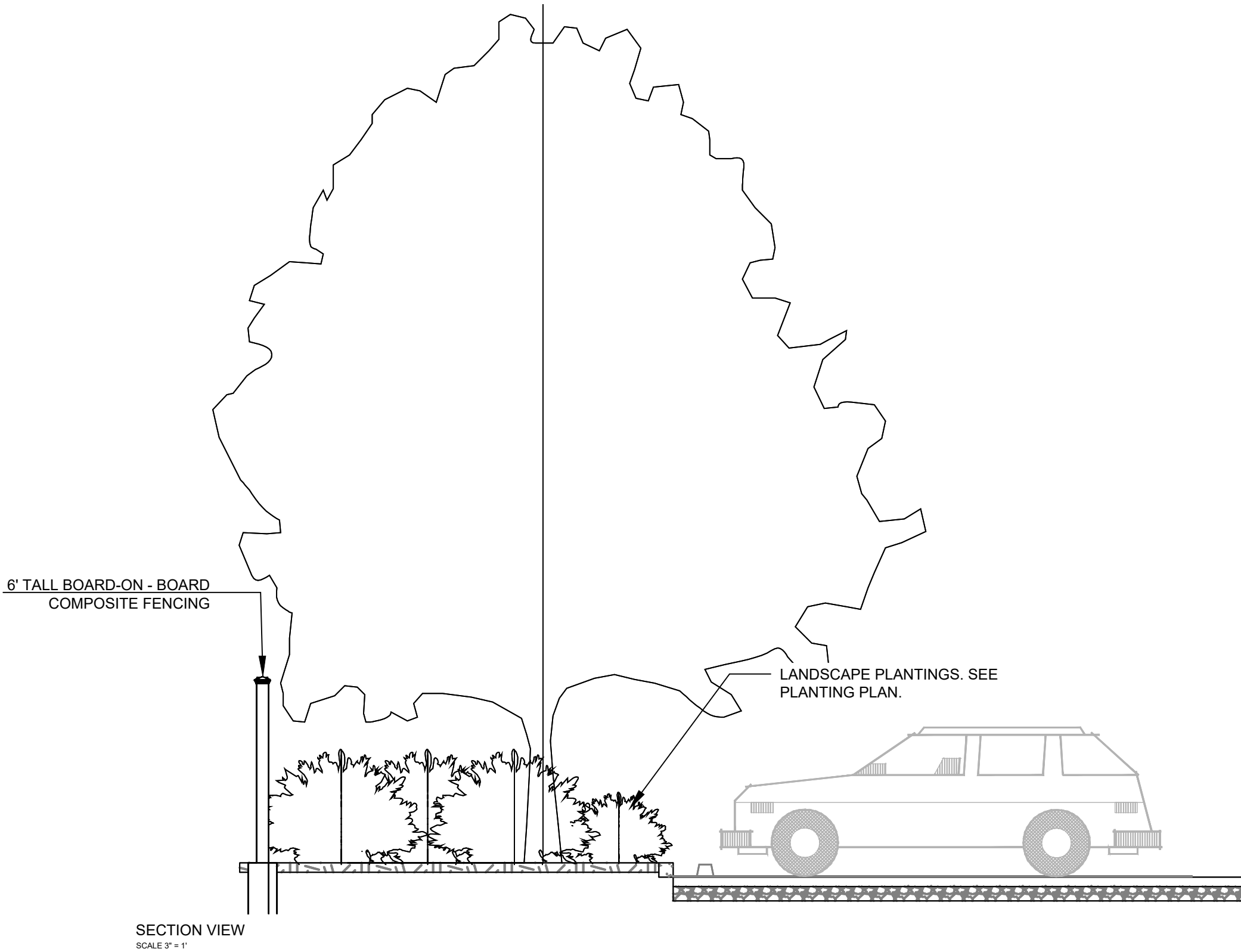
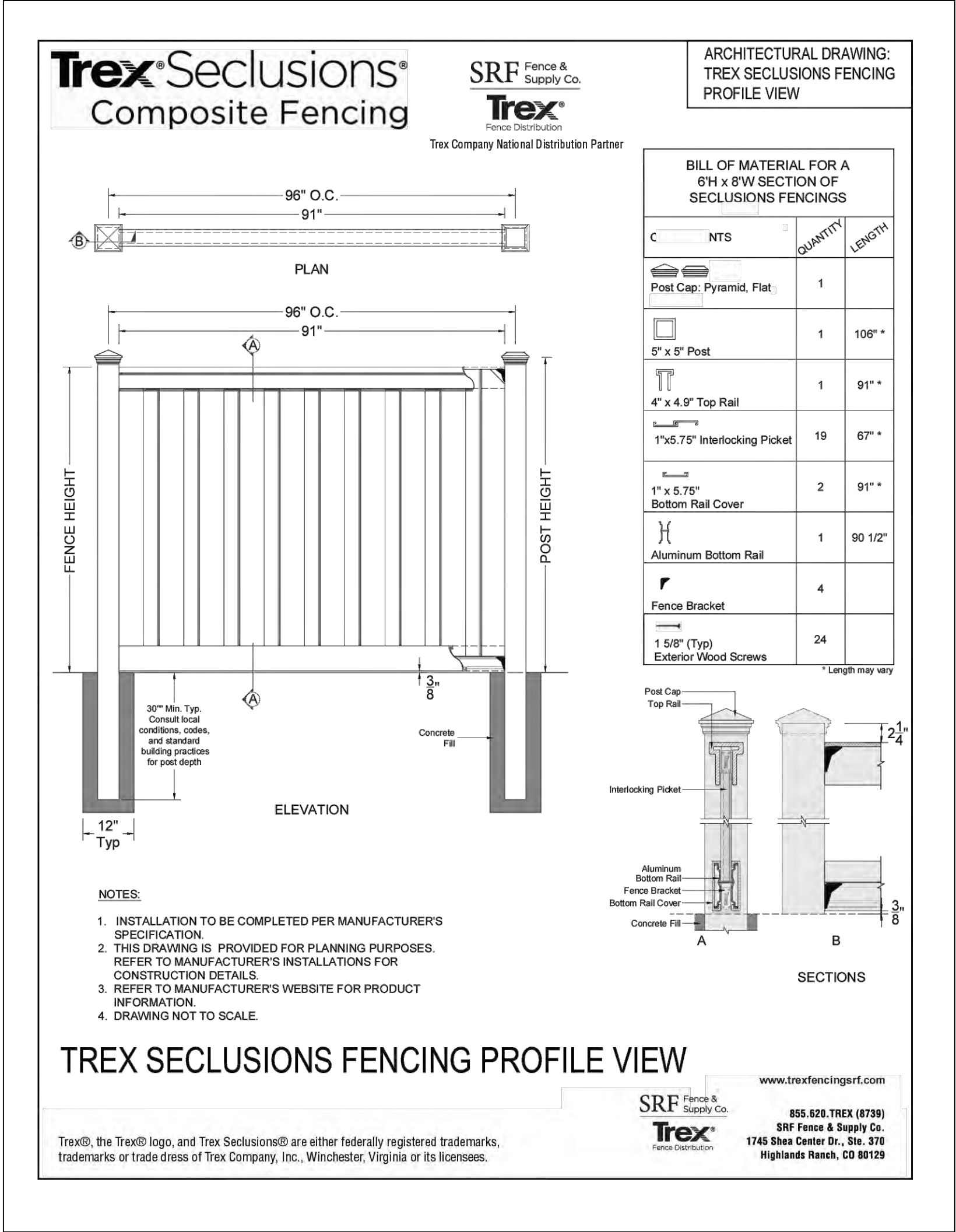
SITE MATERIAL LEGEND

- CONCRETE
- PERMEABLE PAVER
- STABILIZED GRANITE WALKWAY (PERMEABLE)
- ¾"-1" ROCK MULCH
- HARDWOOD MULCH WITH PLANTINGS - SEE PLANTING PLAN
- RAINGARDEN : ZONE 1
- RAINGARDEN : ZONE 2
- POLLINATOR LAWN SEED MIX

FENCING GENERAL NOTES

- THERE ARE THREE FENCING UNITS IDENTIFIED IN THE PROPOSED SITE:
- 448 LINEAR FEET OF 6' TALL BOARD-ON-BOARD COMPOSITE FENCING SURROUNDS THE SIDE AND BACK YARDS OF THE SITE. FENCING IS SET-BACK 6" INTO SITE FROM PROPERTY LINE.
 - 132 LINEAR FEET OF 6' TALL BOARD-ON-BOARD COMPOSITE FENCING WITH ACCESS GATE SURROUNDS THE TRANSFORMER AREA.
 - 12 LINEAR FEET OF 4' RAIL FENCE WITH ENTRY GATE AT THE ENTRY TO THE RESIDENTIAL BACKYARD.
 - FENCING TYPE WAS CHOSEN FOR ITS RESIDENTIAL CHARACTER.

PRODUCT FINISH AND DESIGN



SECTION VIEW
SCALE 3" = 1'

Aster Commons
6613 Portland Avenue South
Richfield, MN 55423

Project No. 2022018

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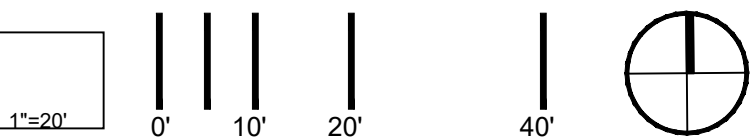
Mark Date Description

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FENCING PLAN

LA300

NOT FOR CONSTRUCTION



PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON / BOTANICAL NAME
Ex	6	Existing Tree To Remain /
Aa4	3	Autumn Blaze Maple / Acer x freemanii 'Jeffersred' TM
Ag2	3	Autumn Brilliance Serviceberry / Amelanchier x grandiflora 'Autumn Brilliance'
Br2	1	River Birch / Betula nigra Multi Trunk, 2 Trunk Minimum
PB	8	Pillar Birch / Betula platyphylla Single Trunk
Bw	3	Whitespire Birch / Betula populifolia 'Whitespire'
Cw	8	Golden Shadows® Dogwood / Cornus alternifolia 'Wstackman'
As	4	Ware's Oak 'Kindred Spirit' / Quercus x warei 'Nadler'
Ts	2	American Linden / Tilia americana 'Sentry'

Uo	2	Discovery Elm / Ulmus davidiana var. japonica
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME
Je	5	Eastern Red Cedar / Juniperus virginiana
SHRUBS	QTY	COMMON / BOTANICAL NAME
Al2	88	Iroquois Beauty Black Chokeberry / Aronia melanocarpa 'Iroquois Beauty' TM
Cs2	15	Cardinal Red Twig Dogwood / Cornus sericea 'Cardinal'
SC	93	Sandcherry / Prunus pumila
PERENNIALS	QTY	COMMON / BOTANICAL NAME
Ac	125	Lady's Mantle / Alchemilla mollis
Ag	68	Goatsbeard / Aruncus dioicus
Af	22	False Spiraea / Astilbe japonica 'Deutschland'
Nw	5	Celastrus Scandens 'Bailumn' / Autumn Revolution Bittersweet
Cb	134	Bicknell's Sedge / Carex bicknellii
Co	34	Blue Sedge / Carex glauca
Cos	117	Carex bicknellii / Copper Shouldered Oval Sedge

PLANNING REQUIREMENTS

THE PROPOSED BUILDING CONTAINS 38 UNITS. PER PLANNING REQUIREMENTS, 5 TREES ARE REQUIRED FOR EACH UNIT. THIS PROJECT REQUIRES AN ADDITIONAL 19 TREES. THIS PLAN PROPOSES 39 TREES BE ADDED TO THE SITE IN A RANGE OF SIZES, SPECIES, AND VARIETIES. 20% OF THE SPECIES ARE TO BE PLANTED WITH A CALIPER OF 4.5", 30% WITH A CALIPER OF 30%, AND 50% WITH A CALIPER OF 2.5".

TOTAL SITE AREA: 25336 SQ FEET
TOTAL LANDSCAPE AREA: 6378 SQ FEET (25% OF TOTAL SITE)

ALL PLANTINGS WERE SELECTED TO MAXIMIZE ECOLOGICAL STATUS. ALL PLANTINGS EITHER ARE NATIVE OR ARE KNOWN TO HAVE HIGH ENVIRONMENTAL PERFORMANCE (POLLUTION CAPTURE OR HEAT TOLERANCE).

SITE MATERIAL LEGEND

- CONCRETE
- PERMEABLE PAVER
- STABILIZED GRANITE WALKWAY (PERMEABLE)
- ¾"-1" ROCK MULCH
- HARDWOOD MULCH WITH PLANTINGS - SEE PLANTING PLAN
- RAINGARDEN : ZONE 1
- RAINGARDEN : ZONE 2
- POLLINATOR LAWN SEED MIX

Architecture and Interiors
510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

Aster Commons

6613 Portland Avenue South
Richfield, MN 55423

Project No. 2022018

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PLANTING PLAN

LA500

ZONE 1 MIX

Agastache foeniculum (Anise Hyssop)
Asclepias incarnata (Rose Milkweed)
Coreopsis lanceolata (Lance-leaf Coreopsis)
Dalea candida (White Prairie Clover)
Dalea purpurea (Purple Prairie Clover)
Echinacea purpurea (Purple Coneflower)
Eryngium yuccifolium (Rattlesnake Master)
Gentianella quinquefolia (Stiff Gentian)
Helenium autumnale (Sneezeweed)
Heliopsis helianthoides (Early Sunflower)
Lobelia siphilitica (Great Blue Lobelia)
Monarda fistulosa (Wild Bergamot)
Oligoneuron rigidum (Stiff Goldenrod)
Penstemon digitalis (Foxglove Beardtongue)
Ratibida pinnata (Yellow Coneflower)
Rudbeckia hirta (Black-eyed Susan)
Rudbeckia triloba (Brown-eyed Susan)
Symphyotrichum laeve (Smooth Blue Aster)
Verbena hastata (Blue Vervain)
Andropogon gerardii (Big Bluestem)
Bromus ciliatus (Fringed Brome)
Carex bebbii (Bebb's Oval Sedge)
Carex comosa (Bristly Sedge)
Carex hystericina (Porcupine Sedge)
Carex stipata (Common Fox Sedge)
Carex vulpinoidea (Brown Fox Sedge)
Scirpus atrovirens (Dark-green Bulrush)
Sorghastrum nutans (Indian Grass)
Bouteloua curtipendula (Side-oats Grama)

ZONE 2 MIX

Andropogon gerardii (Big Bluestem)
Bromus ciliatus (Fringed Brome)
Carex bicknellii (Copper-shouldered Oval Sedge)
Carex hystericina (Porcupine Sedge)
Carex vulpinoidea (Brown Fox Sedge)
Elymus canadensis (Canada Wild Rye)
Elymus virginicus (Virginia Wild Rye)
Juncus interior (Inland Rush)
Panicum virgatum (Switch Grass)
Sorghastrum nutans (Indian Grass)
Asclepias incarnata (Rose Milkweed)
Boltonia asteroides (False Aster)
Eupatorium perfoliatum (Boneset)
Eupatorium maculatum (Joe Pye Weed)
Heliopsis helianthoides (Early Sunflower)
Hibiscus laevis (Rose Mallow)
Liatris pycnostachya (Prairie Blazing Star)
Lobelia cardinalis (Cardinal Flower)
Lobelia siphilitica (Great Blue Lobelia)
Mimulus ringens (Monkey Flower)
Oligoneuron rigidum (Stiff Goldenrod)
Rudbeckia hirta (Black-eyed Susan)
Rudbeckia subtomentosa (Sweet Black-eyed Susan)
Rudbeckia triloba (Brown-eyed Susan)
Symphyotrichum laeve (Smooth Blue Aster)
Verbena hastata (Blue Vervain)
Vernonia fasciculata (Common Ironweed)

Project No. 2022018

Aster Commons
6613 Portland Avenue South
Richfield, MN 55423

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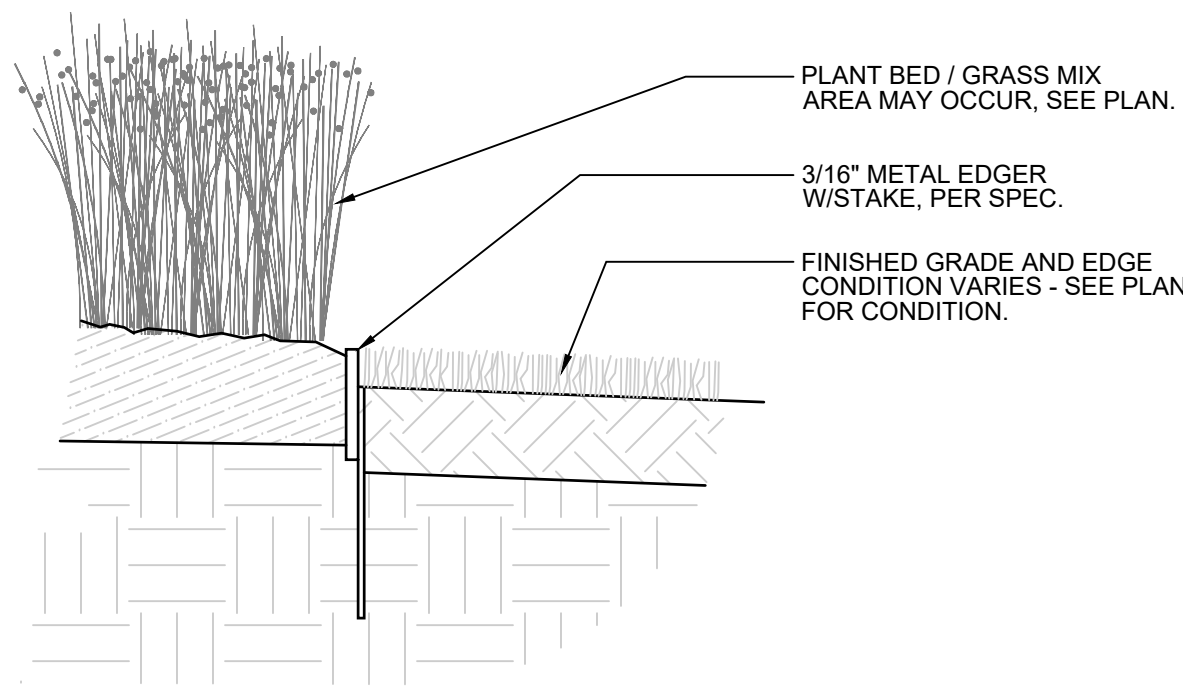
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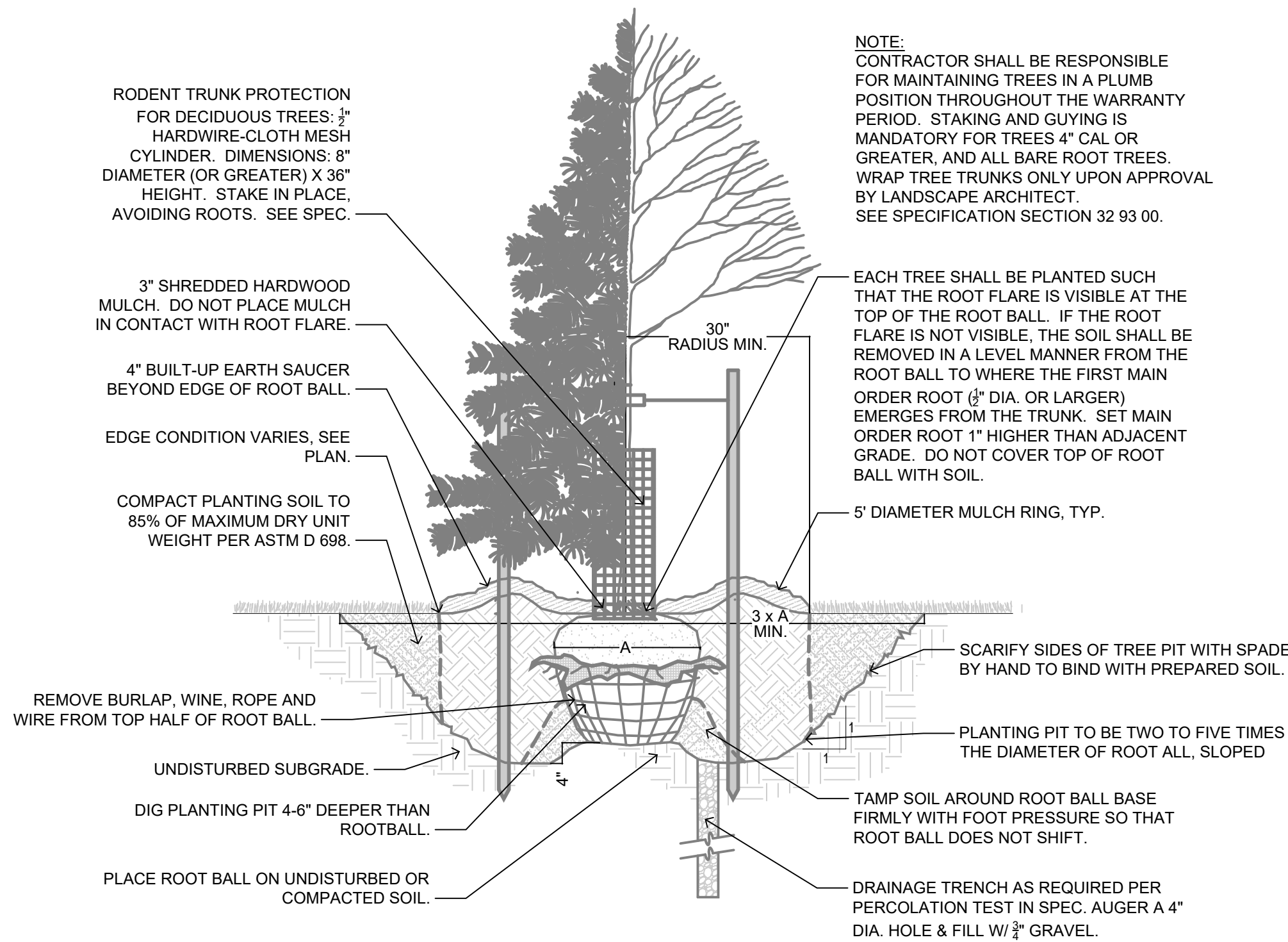
PLANTING PLAN : MIX
DETAILS

LA501

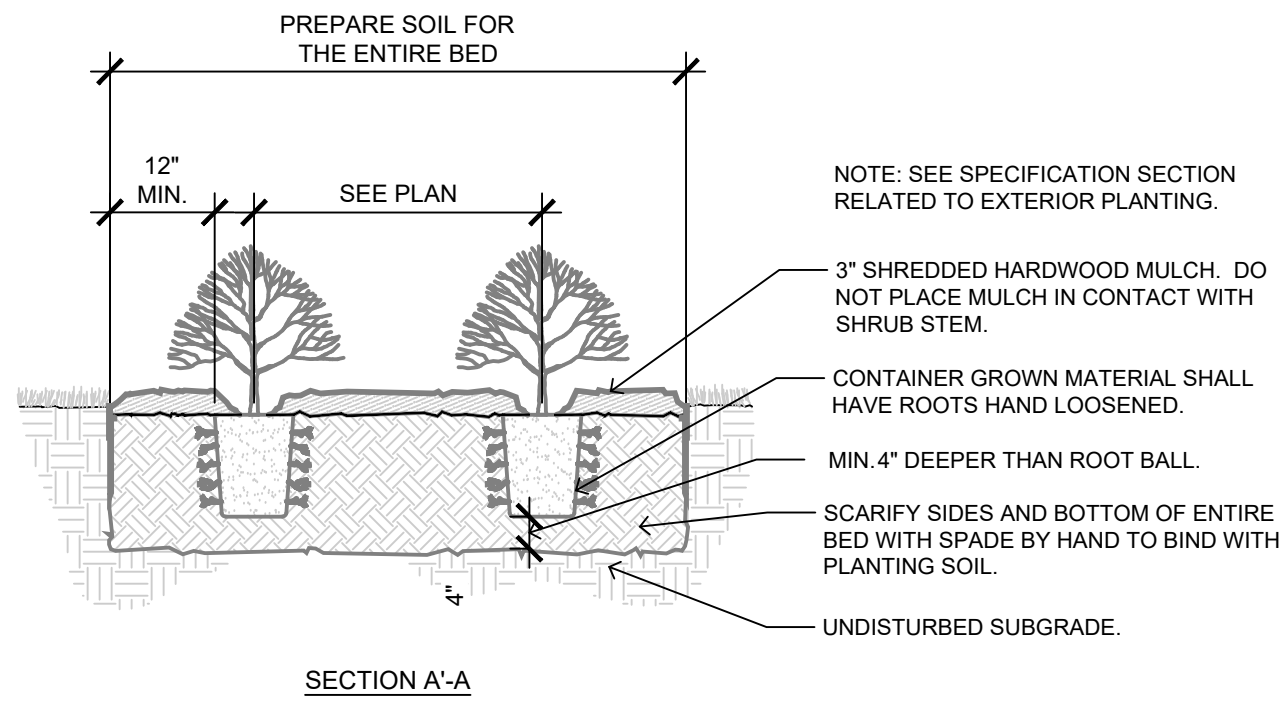
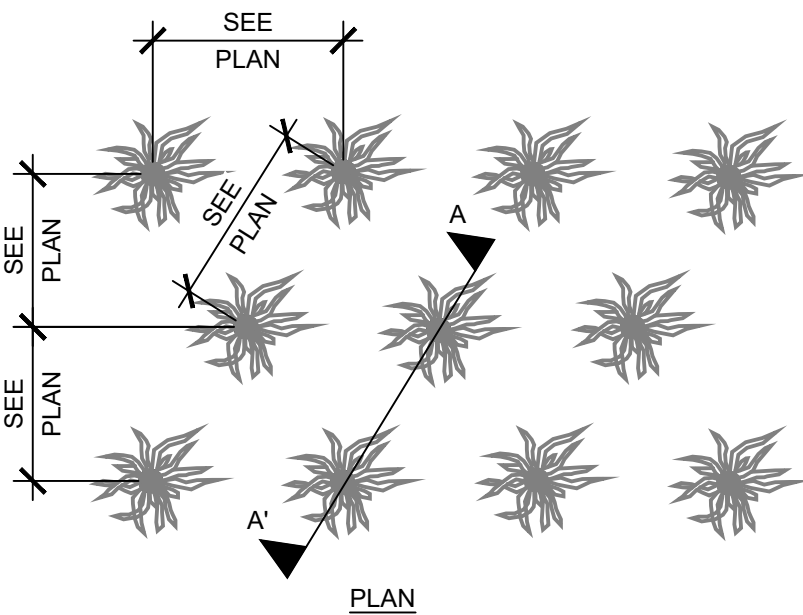
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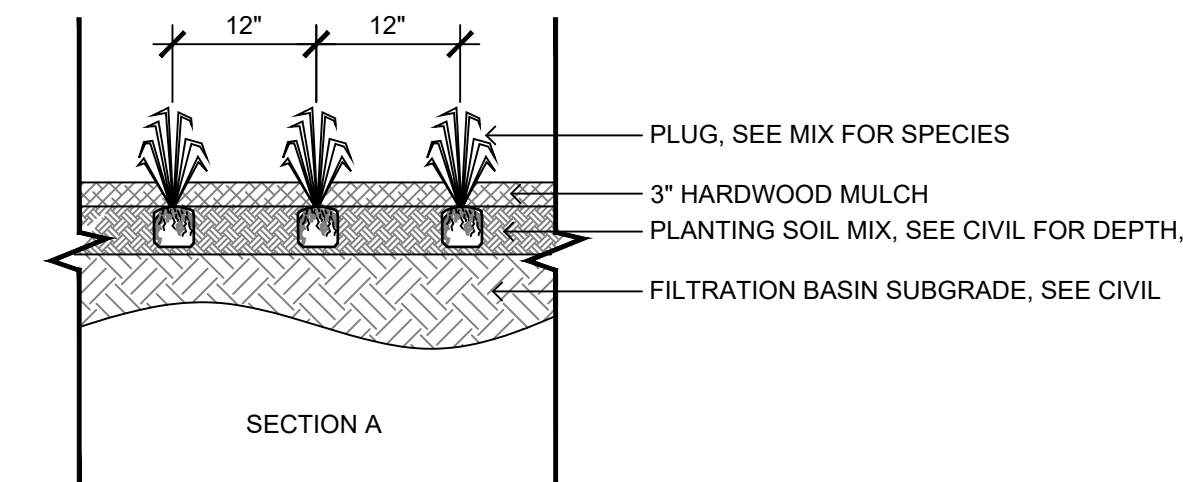
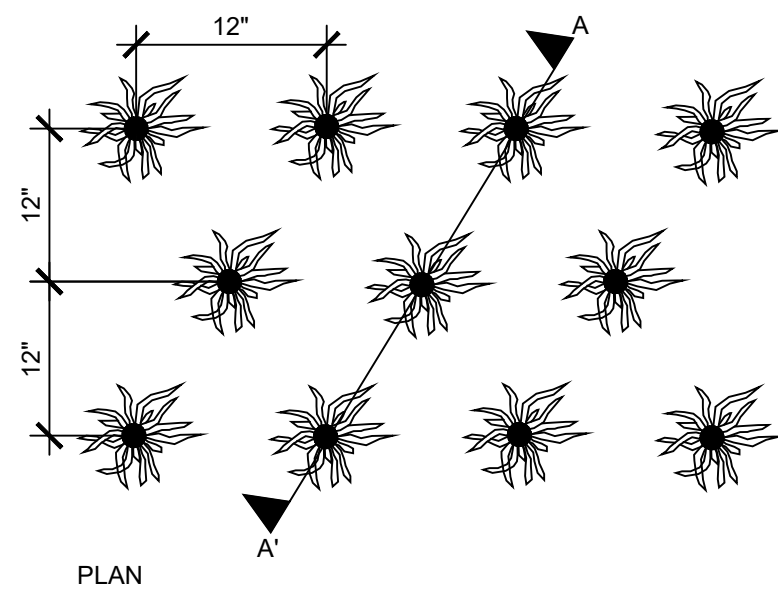
04 L502 TURF @ PLANT BED 1-1/2" = 1'-0"



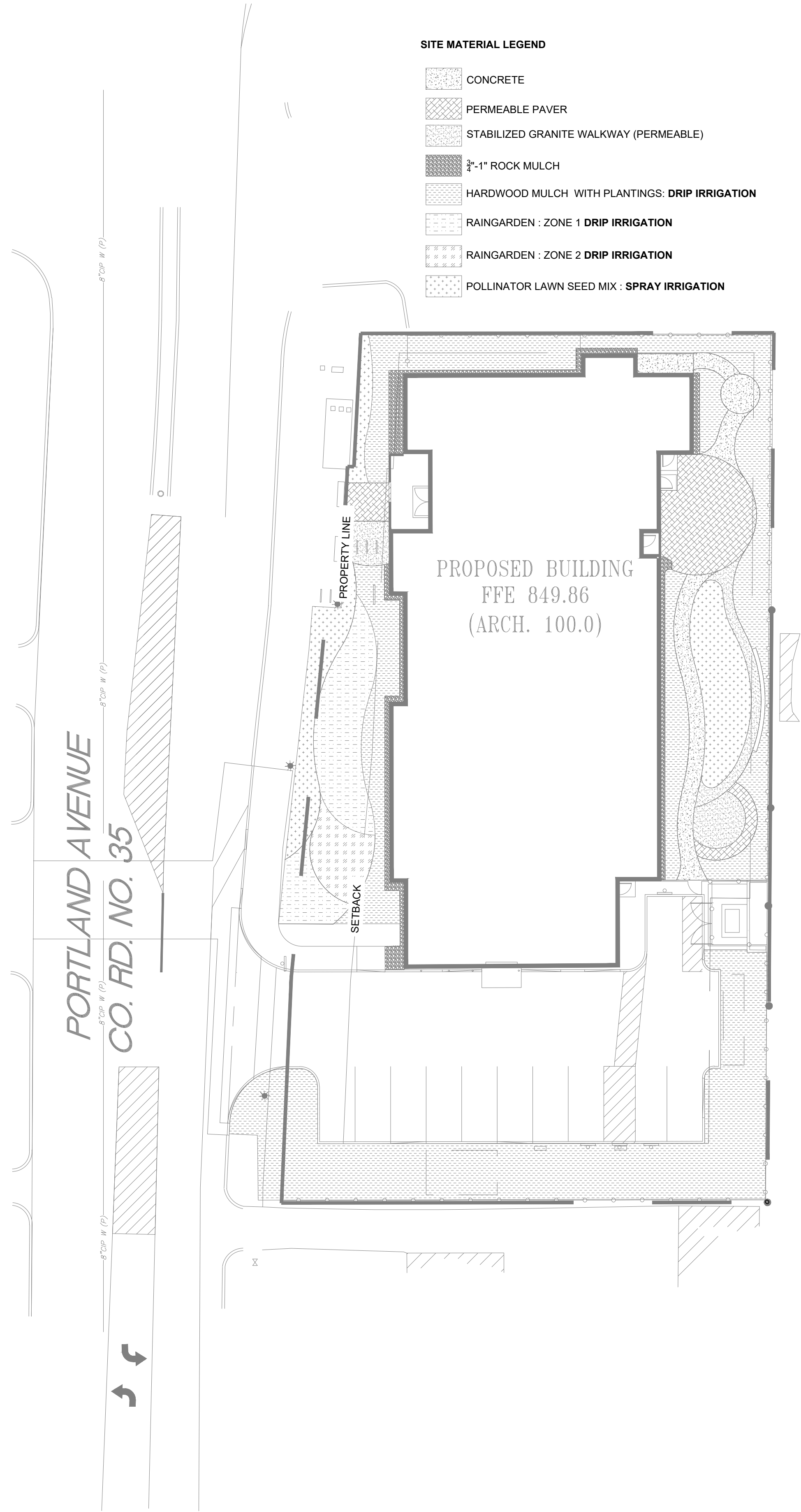
01 L502 TREE PLANTING DETAIL, TYP. 1/2" = 1'-0"



02 L502 PLANTING DETAIL, TYP. 1/2" = 1'-0"



03 L502 STORM FEATURE PLUG LAYOUT 1/2" = 1'-0"



GENERAL NOTES

EXISTING CONDITIONS: CONTRACTOR TO VERIFY AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES EXISTING WATER PRESSURE.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF UNDERGROUND SPRINKLERS SPECIFICATIONS (328423) PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE WITHIN THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

PROVIDE AND MAINTAIN WARNING SIGNS, BARRICADES AND CONSTRUCTION FENCING AS REQUIRED BY LOCAL AUTHORITIES.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND INSTALLATION OF ALL EQUIPMENT TO PROVIDE A WORKING IRRIGATION SYSTEM FOR THE OWNER. SEE ELECTRICAL AND PLUMBING SHEETS FOR WORK BY OTHERS.

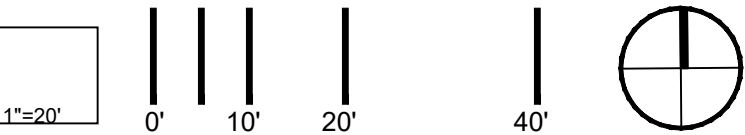
CONTRACTOR TO VERIFY PLUMBING EQUIPMENT (BACKFLOW, ETC) USED WILL MEET DEMANDS OF IRRIGATION AS RECOMMENDED BY MANUFACTURER AND ARE WITHIN TOLERANCES OF SPECIFICATIONS. BACKFLOW DEVICES ARE TO BE INSPECTED BY A CERTIFIED TECHNICIAN WHERE REQUIRED. CONTRACTOR TO COORDINATE ALL INSPECTIONS AS REQUIRED BY CODE.

ALL IRRIGATION EQUIPMENT AND PIPING TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL LAWS AND ORDINANCES THAT MAY APPLY.

IRRIGATION SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED BY THE IRRIGATION CONTRACTOR. SLEEVES SHALL BE 2X THE PIPE DIAMETER. SEPARATE SLEEVES ARE REQUIRED FOR CONTROL WIRE. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. WHERE REQUIRED DIRECTIONAL BORING OF PIPE SLEEVES UNDER CONCRETE SHALL BE INCLUDED AT NO ADDITIONAL COST.

INSTALL LATERAL LINES WITH A MINIMUM COVER OF 18" AND MAINLINES WITH A MINIMUM COVER OF 24".

IRRIGATION SYSTEM SHOULD BE INSTALLED WITH AUTOMATIC RAIN SHUT-OFF SENSORS.



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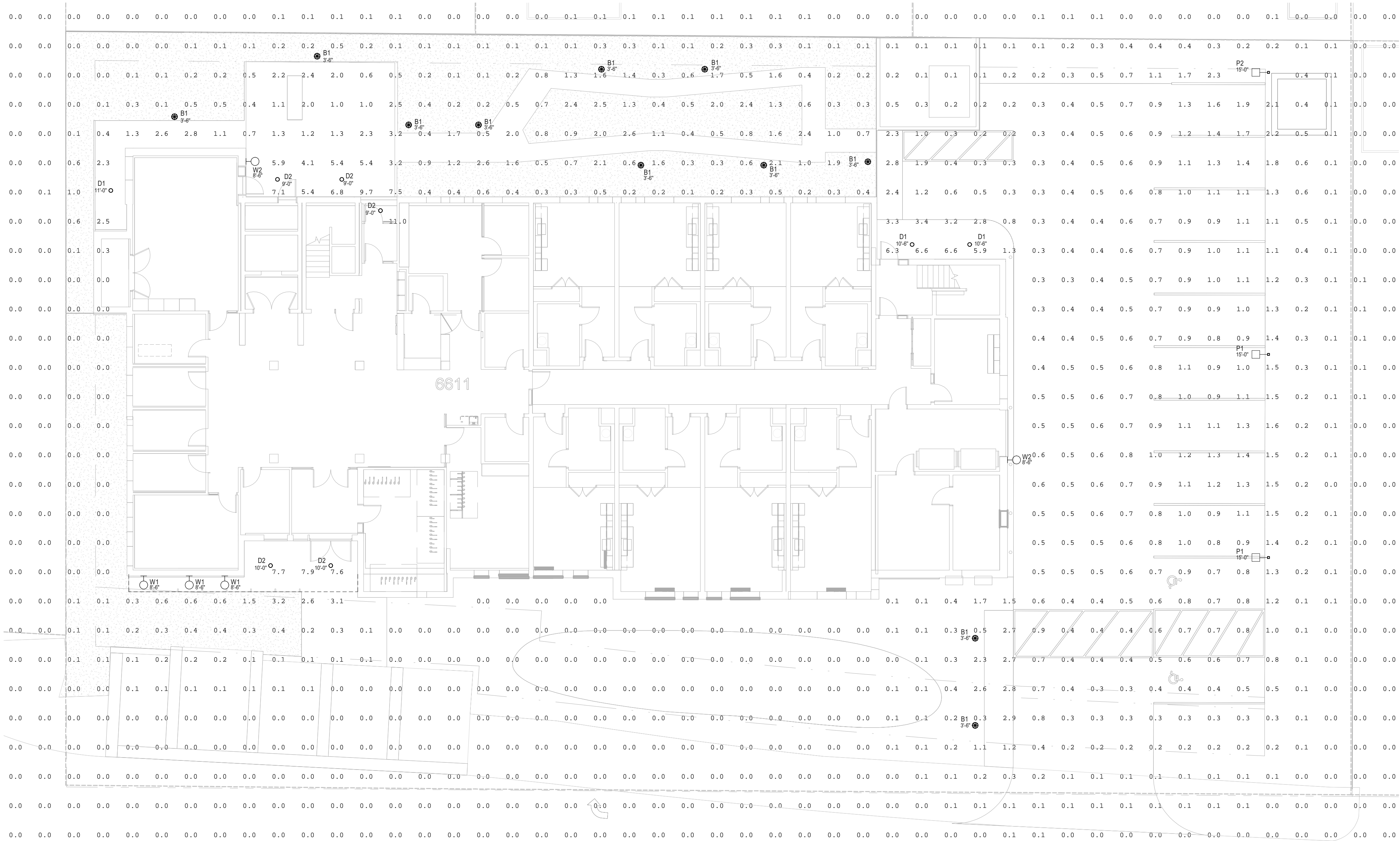
Mark Date Description

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ELECTRICAL SITE PHOTOMETRIC PLAN

SCALE: 3/32" = 1'-0"



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Max/Min	
E Entrance (Sft)	Illuminance	Fc	10.95	13.7	9.1	1.40	
E Property Line	Illuminance	Fc	0.12	0.3	0.0	N.A.	
N Property Line	Illuminance	Fc	0.10	0.9	0.0	N.A.	
S Property Line	Illuminance	Fc	0.02	0.1	0.0	N.A.	
Site Plan	Illuminance	Fc	0.43	13.7	0.0	N.A.	
N Property Line	Illuminance	Fc	0.03	0.1	0.0	N.A.	
NW Corner Entrance (Sft)	Illuminance	Fc	6.40	6.9	5.9	1.17	
Open Air Parking Lot	Illuminance	Fc	0.84	3.7	0.2	18.50	
SE Entrance (Sft)	Illuminance	Fc	6.25	6.8	5.7	1.19	
N Main Entrance (Sft)	Illuminance	Fc	7.17	8.2	5.2	1.58	

GENERAL NOTES:

- A. REFER TO SHEETS E002P, E003P, E004P, AND E005P FOR FIXTURE SCHEDULES, DETAILS, AND CUTSHEETS.
- B. LIGHTING LEVELS SHOWN ARE MAINTAINED. LIGHT LOSS FACTOR OF 0.90 WAS USED TO ACCOUNT FOR DIRT AND LUMEN DEPRECIATION.
- C. WALL SCONCE AND DOWNLIGHT MOUNTING HEIGHTS SHOWN ARE TO BOTTOM OF FIXTURE.
- D. LIGHT POLE PLACEMENT TO BE 3'-0" BEHIND CURB OR SIDEWALK, UNLESS NOTED OTHERWISE.
- E. SEE LIGHT POLE FOUNDATION DETAILS ON DETAIL SHEET FOR LIGHT POLE FOUNDATIONS.
- F. MOUNTING HEIGHTS SHOWN FOR POLES ARE TO TOP OF FIXTURE AND FOR SCONCES ARE FOR BOTTOM ON FIXTURE. SEE LIGHT FIXTURE SCHEDULE FOR BOLLARDS' HEIGHT.
- G. BOLLARD PLACEMENT TO BE 2'-0" BEHIND CURB OR SIDEWALK, UNLESS NOTED OTHERWISE. BOLLARD SHALL AIM AT PATH CLOSEST TO IT.

Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

Project No. 4827.0000

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6613 Portland Avenue South
Richfield, MN 55423

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Engineer's Seal

Signature _____

Print Name _____

Date _____ License No. _____

Schematic Design

ISSUE / REVISION

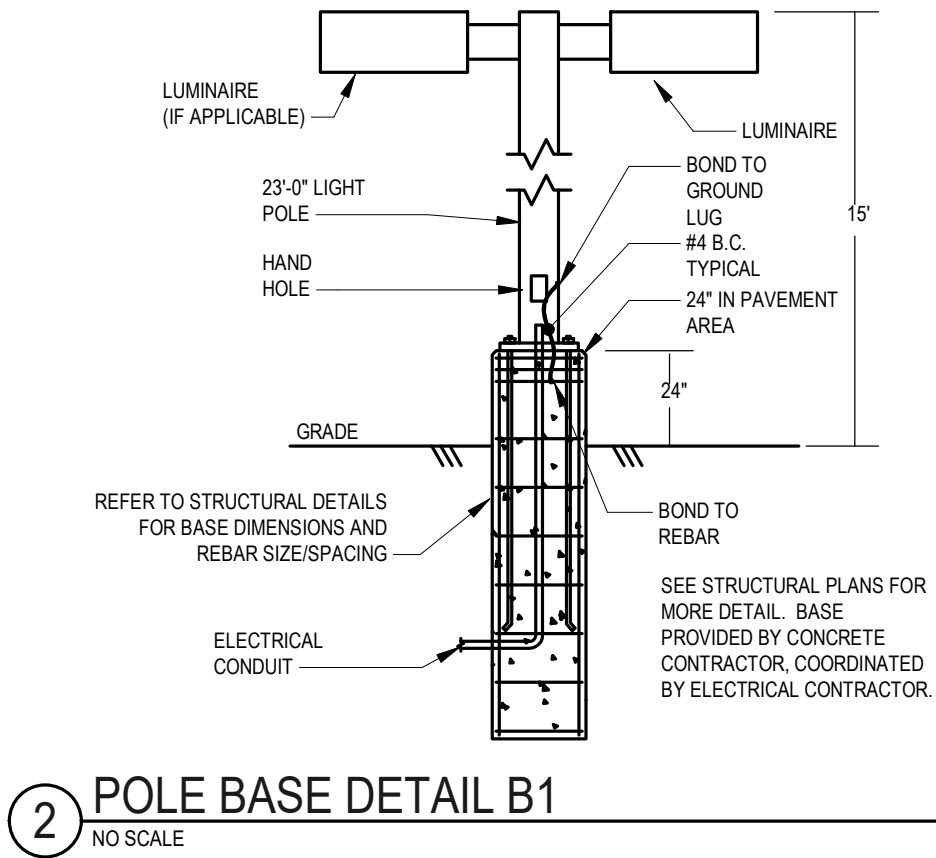
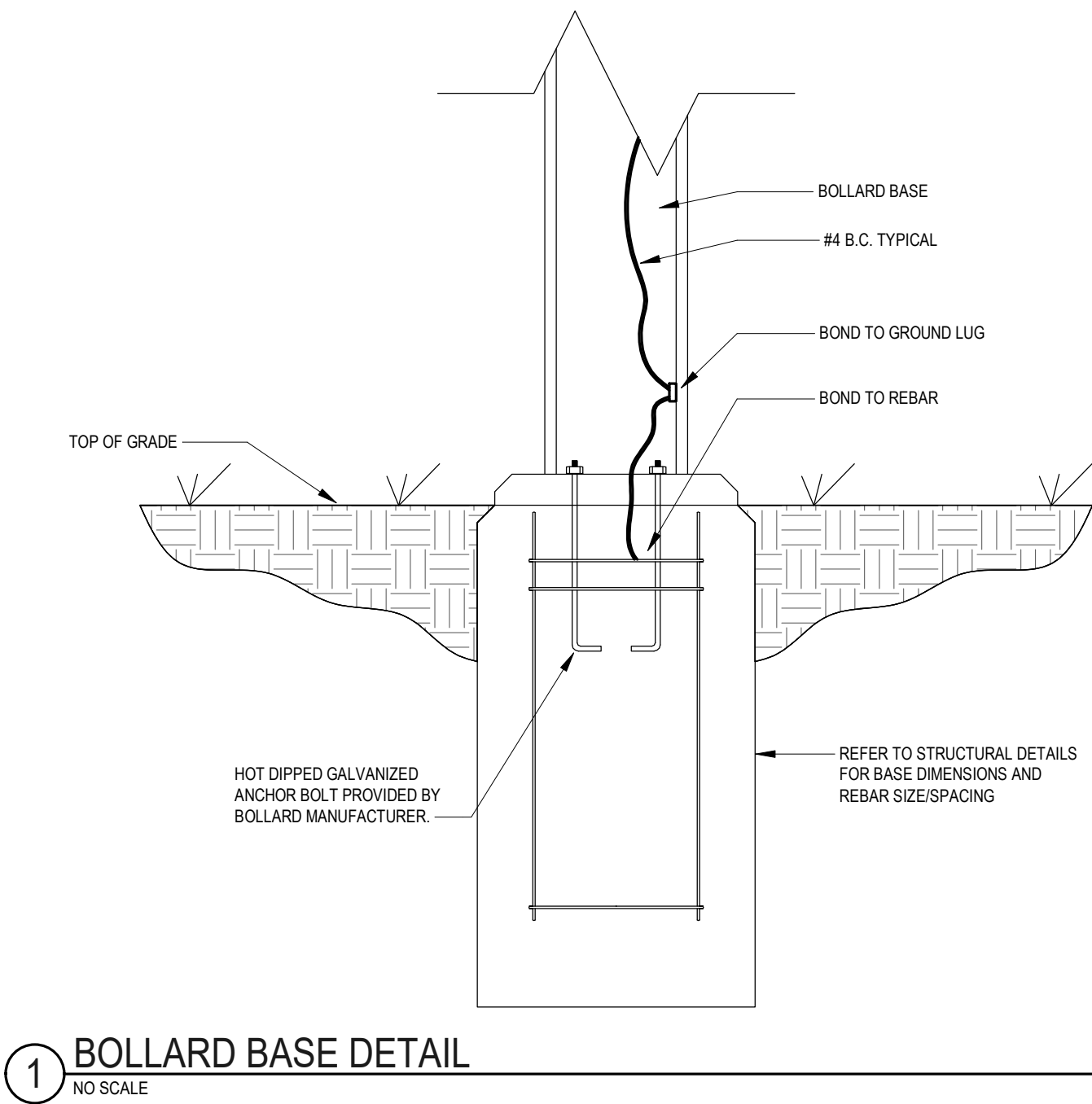
Mark	Date	Description
2023-06-19		ELECTRICAL SITE PHOTOMETRIC

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ELECTRICAL SITE
PHOTOMETRIC

E001P

LIGHT FIXTURE SCHEDULE									
TYPE	DESCRIPTION	VOLT	LAMPS		VA / FXT.	MANUFACTURER	CATALOG NUMBER	TYPE	
			TYPE	QTY / FXT.					
B1	42" TALL, 8" WIDE LED BOLLARD, ALUMINUM CONSTRUCTION, FROSTED GLASS LENS, SUITABLE FOR WET LOCATIONS, FORWARD THROW DISTRIBUTION, FINISH TO BE SELECTED BY THE ARCHITECT.	120VOLT	LED, 1300 LUMENS, 3000K, 80CRI	N/A	72	HYDREL	3130C-H42-4COB-30K-MVOLT-FT	B1	
D1	6" SURFACE MOUNTED CYLINDER LED DOWNLIGHT, ALUMINUM CONSTRUCTION, DIFFUSING LENS, WET LOCATION RATED, DOWNLIGHT DISTRIBUTION, FINISH TO BE SELECTED BY THE ARCHITECT.	120V	LED, 750 LUMENS, 3000K, 80CRI	N/A	9	LITHONIA LIGHTING	LDN6CYL-3007-L06	D1	
D2	6" SURFACE MOUNTED CYLINDER LED DOWNLIGHT, ALUMINUM CONSTRUCTION, DIFFUSING LENS, WET LOCATION RATED, DOWNLIGHT DISTRIBUTION, FINISH TO BE SELECTED BY THE ARCHITECT.	120V	LED, 1000 LUMENS, 3000K, 80CRI	N/A	11	LITHONIA LIGHTING	LDN6CYL-3010-L06	D2	
P1	16" WIDE, 13" LONG, 7" TALL LED POLE LIGHTING, ALUMINUM CONSTRUCTION, IP66 RATED, (1) LIGHT SQUARE, TYPE IV FORWARD THROW DISTRIBUTION, PROVIDE HOUSE SIDE SHIELD, MOUNT ON POLE SO TOP OF FIXTURE IS 15' AWAY FROM FLOOR, FINISH TO BE SELECTED BY THE ARCHITECT.	UNIV	LED, 1650 LUMENS, 3000K, 70CRI	N/A	19	COOPER LIGHTING	CCW-SA1A-730-U-T4FT-HSS	P1	
P2	16" WIDE, 13" LONG, 7" TALL LED POLE LIGHTING, ALUMINUM CONSTRUCTION, IP66 RATED, (1) LIGHT SQUARE, SLL DISTRIBUTION, PROVIDE HOUSE SIDE SHIELD, MOUNT ON POLE SO TOP OF FIXTURE IS 15' AWAY FROM FLOOR, FINISH TO BE SELECTED BY THE ARCHITECT.	UNIV	LED, 1600 LUMENS, 3000K, 70CRI	N/A	19	COOPER LIGHTING	CCW-SA1A-730-U-SLL-HSS	P2	
W1	5" WIDE, 5" TALL, 4" DEEP LED DECORATIVE WALL SCONCE, ALUMINUM CONSTRUCTION, UP AND DOWN DISTRIBUTION, UP DISTRIBUTION ONLY USED UNDERNEATH CANOPY FOR DECORATIVE PURPOSES, FINISH TO BE SELECTED BY THE ARCHITECT.	120V	LED, 445 LUMENS, 3000K, 90 CRI	N/A	16	WAC LIGHTING	WS-W230405-CS	W1	
W2	7-1/8" TALL, 4-7/8" WIDE SQUARE LED WALL SCONCE, ALUMINUM CONSTRUCTION, IP65 RATED, DOWNLIGHT ONLY, FINISH TO BE SELECTED BY THE ARCHITECT.	UNIV	LED, 145 LUMENS, 3000K, 85 CRI	N/A	11	WAC LIGHTING	DC-WS05U830	W2	



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Minnesota.

Engineer's Seal

Signature _____
Print Name _____
Date _____ License No. _____

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Mark Date Description



CATALOG NUMBER

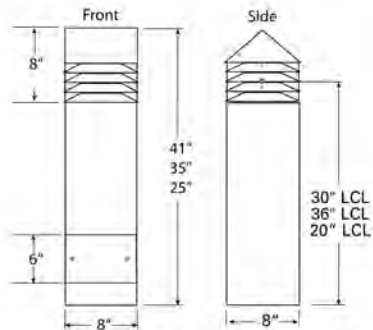
NOTES

TYPE: B1

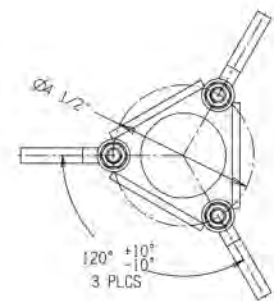


Specifications	
Diameter:	9"
Diameter:	229 mm
Diameter:	8"
Diameter:	204 mm
Height:	42"
Height:	1016 mm
Height:	36"
Height:	915 mm
Weight:	35lbs

DIMENSIONS



MOUNTING



3130C LED
Impact Resistant
Square Bollard Wedge Top

HIGHLIGHTS

- A confident solution for safety and performance in a proven vandal resistant bollard
- Motion Sensing Bi-Level switching using electromagnetic occupancy sensor → 20ft range
- USB receptacle or GFCI receptacle options
- 0-10V Dimming, ELV dimming
- Emergency operation up to 90 minutes
- 1810 lumens



LUMEN PACKAGES

	SYM
Delivered Lumens	1810
Watts	84
LPW	22

Note: Information Based on 50K



3130C LED | 2

ORDERING INFORMATION

EXAMPLE: 3130C H36 8COB 50K MVOLT SYM BL

Series	Height	Lamp type	Color	Voltage	Distribution	Options*
3130C	H24	4COB ¹	20K	2000°K Color Temp	SYM Symmetrical 360°	BLS ¹⁴ Bi-Level Switching (Motion Activated)
	H36	8COB	50K	5000°K Color Temp		GFCI Receptacle: 120 volt only, cannot be used with USB
	H42		40K	4000°K Color Temp		ELN ¹⁵ Emergency Operation (1387.5 lumen output; 90 minutes)
			50K	5000°K Color Temp		LDM 0-10V Dimming (Dims to 10%)
			AMBLW	Limited wavelength, Ambient S91 Nanometers	FT ¹ Forward Throw	IDIM ¹⁶ In-line Trailing Edge ELV Dimming (Dims to 40%); 120 volt only
						USB USB charging port; 120 volt only, cannot be used with GFCI

Finish		Optional Louvers Painted ⁸	
BL	Black	STG	Steel Gray
BZ	Bronze	TVG	Terra Verde Green
DDB	Dark Bronze	WH	White
DNA	Natural Aluminum	CF	Custom
GN	Green	Z ¹	Zinc Undercoat
GR	Gray	RALTD	RAL Paint Finishes
SND	Sand		

Note: RALTD for pricing only, replace with applicable RAL call out when ready to order. See the RALBROCDLURE for available options. It is recommended that Hydrel products only use textured paint.

ELECTRICAL LOAD

Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
8 COB	250mA	72.35	0.603	0.348	0.301	0.261	0.209	0.151
	300mA	83.95	0.700	0.404	0.350	0.303	0.242	0.175

PROJECTED LED LUMEN MAINTENANCE

Data references the extrapolated performance projections for the Fixture platform in a 25°C ambient, based on 13,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LMF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.00	0.91	0.85	0.75

LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.05
10°C	1.03
20°C	1.01
25°C	1.00
30°C	0.99
40°C	0.98



- Notes:
- 4COB for use with 20K and AMBLW only. 20K and AMBLW require 4COB.
 - Required with ELN or BLS.
 - FT not available with BLS.
 - BLS is not available with ELN, LDM or IDIM.
 - ELN and BLS require 120 or 277 voltage, not MVOLT or 347.
 - Drive current will be 250.
 - ELN not available on 24" height.
 - Add zinc undercoat for harsh environments.
 - Louvers will be black unless otherwise specified (top only).

1 FIXTURE TYPE B1
NO SCALE

Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

Project No. 4827.0000

Aster Commons
6613 Portland Avenue South
Richfield, MN 55423

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Print Name _____

Date _____ License No. _____

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ELECTRICAL
CUTSHEETS

E003P

NOT FOR CONSTRUCTION



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Heavy gauge aluminum housing.
Ceiling mount for direct installation to 4" octagonal or square junction box.
Pendant mount entry for 3/8" National Pipe Thread stem; wires supplied by others.
Textured polyester powder paint finish standard.
Multiple cording, pendant, cord, and wall mount options available.
OPTICS — LEDs are bonded to a 3-step 56CM, 80 CRI minimum, 90 CRI optional.
LED light source concealed with diffusing optical lens.
General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.
Self-damped anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.
ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 347V available option; transformer must be field-installed to an accessible remote-mounted junction box.
0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.
70% lumen maintenance at 60,000 hours.
LISTINGS — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional). ENERGY STAR® certified product.
BUY AMERICAN ACT — This product is assembled in the USA and meets the Buy American(s) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.buyusa.gov/us/guide for additional information.
WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.lithonia.com/support/warranty/terms-and-conditions
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number
Notes
Type D1 AND D2



LDN6CYL

6" CYLINDER
Non-IC



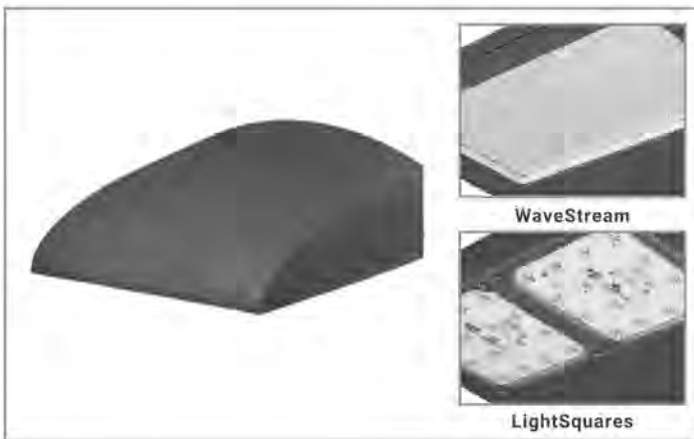
4+ Capable options indicated by the color background.

ORDERING INFORMATION			Lead times will vary depending on options selected. Consult with your sales representative.		Example: LDN6CYL 35/15 L06AR LSS MVOLT E21 FCM DWHG		
Series	Color temperature	Lumens	Aperture/Trim Color	Finish	Voltage		
LDN6CYL 6" cylinder	27/ 2700K	05 500 lumens	L06 Downlight	AR Clear	LSS Semi-specular	MVOLT Multi-volt	
	30/ 3000K	07 750 lumens		WR White	LD Matte diffuse	120 120V	
	35/ 3500K	10 1000 lumens	BR Black	LS Specular	277 277V		
	40/ 4000K	15 1500 lumens					
	50/ 5000K	20 2000 lumens					
		25 2500 lumens					
		30 3000 lumens					
		40 4000 lumens					
50 5000 lumens							
Driver ¹	Mounting		Options ⁴		Architectural Colors ^{5,11}		
	G210 0-10V driver dims to 10%	FCM Ceiling mount	SP ³ Single fuse	DWHG Matte white			
	G21 0-10V driver dims to 1%	WM Wall mount	NPP160 ^{2,8} nLight [™] network power/relay pack with 0-10V dimming for non-0-10V drivers (G210, G21).	D0B Dark bronze			
	E21 0-10V e60LED driver with smooth and flicker-free deep dimming performance down to 1%	ACC ⁷ 10ft aircraft cable and cord mount ACC180 ⁹ 15ft aircraft cable and cord mount	NPP160ER ¹⁰ nLight [™] network power/relay pack with 0-10V dimming for non-0-10V drivers (G210, G21). ER controls fixtures on emergency circuit.	D0L Black D0H Glossy white D0M Medium bronze			
		NPS80EZ ⁴ nLight [™] dimming pack controls 0-10V 0-10V 0-10V drivers (E210, E21).	D0A Natural aluminum				
		NPS80EZER ⁴ nLight [™] dimming pack controls 0-10V 0-10V 0-10V drivers (E210, E21). ER controls fixtures on emergency circuit.	D0S Sandstone				
		90CRI High CRI (90+)	D0G Charcoal grey				
		WL ¹ Wet location	DBR Bright red				
			DSB Steel blue				

1 Not available in ACC mount.
2 Not available with finishes.
3 Refer to TCEC-240 for compatible dimmers.
4 Supplied with 10ft supply and dimming connections.
5 White and supplied with white housings. All other finishes supplied with black cord.
6 Must specify voltage 120V or 277V.
7 Specify voltage. ER for use with generator supply EM power. Will require an emergency hot lead and normal hot lead.
8 Interface remote mounted. Access panel (supplied by others) recommended.
9 Not available with ACC & ACC180 mounting options.
10 Additional architectural colors available; see www.lithonia.com/rechillers.
11 Color and length of stem must be specified from 6" to 240" in 6" increments in maximum sections of 48". Ex. CY556 DWHG. Ceiling attachment for interior use. Consult factory for exterior. Must be field-installed to an accessible remote-mounted junction box.

DOWNLIGHTING LDN6CYL

Project	Catalog #	Type	P1 AND P2
Prepared by	Notes	Date	



Invue

ClearCurve Wall

Wall Mount Luminaire

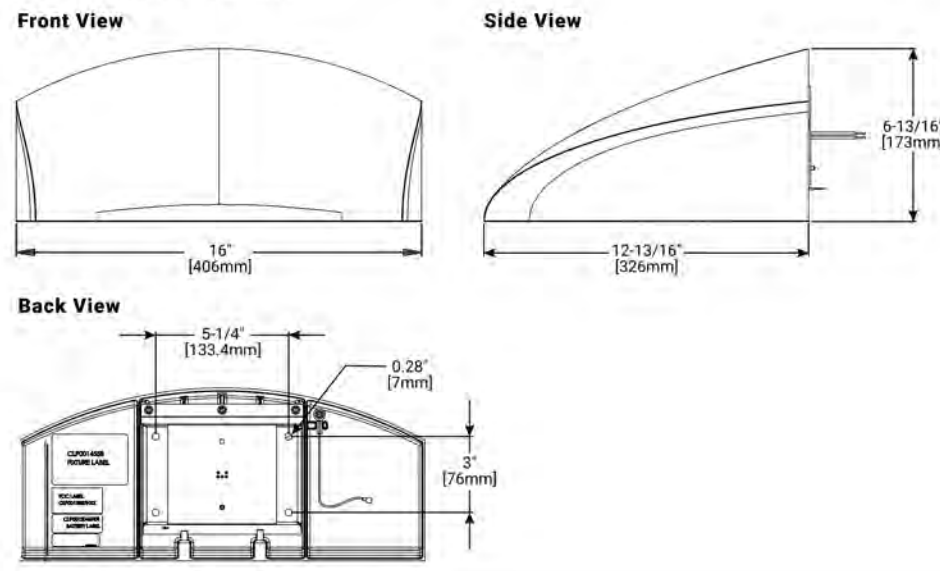
Interactive Menu

- Ordering Information page 2
- Product Specifications page 3
- Energy and Performance Data page 3
- Control Options page 4

Quick Facts

- Available with Visual Comfort or Discrete optics configurations
- Lumen packages range from 1,600 up to 12,000 lumens (18W - 110W)
- Efficacy up to 149 lumens per watt

Dimensional Details



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March 25, 2021 3:51 PM

Product Certifications



Connected Systems

- WaveLink

Invue

Ordering Information

SAMPLE NUMBER: CCW-VA4-740-U-T4W-GM

Product Family	Visual Comfort Configurations	Color Temperature	Voltage	Distribution	Finish
CCW-ClearCurve Wall	VA1-WaveStream, 2,800 lumens	727-70CR, 2700K	D-Universal, 120-277V	T2-Type II	AP-Grey
	VA2-WaveStream, 3,500 lumens	7287-70CR, 2700K	D-347V	T3-Universal	B2-Black
	VA3-WaveStream, 4,500 lumens	735-70CR, 3500K	C-277-480V	T4-Type IV Forward Thru	BR-Black
	VA4-WaveStream, 5,500 lumens	749-70CR, 4000K	D-347V	T5-Type V Wide	CP-Dark Platinum
Discrete Configurations	VA5-WaveStream, 6,000 lumens	758-70CR, 5000K	B-480V	SL2-Type II w/Spill Control	GM-Graphite Metallic
	VA6-WaveStream, 10,000 lumens	769-70CR, 4000K	B-480V	SL3-Type II w/Spill Control	WH-White
	VA7-1000 SQUARE	A-2500MA		SL4-Type IV w/Spill Control	
	VA8-2 LIGHT SQUARES	B-450MA		SL5-Type V w/Spill Control	
Options (Add as Suffix)	SAZ-2 LIGHT SQUARES	C-150MA		SL6-SP Spill Light Eliminator Right	
		D-800MA			
		E-1000MA			
		F-1200MA			
Accessories (Order Separately)					
FF-Double Fuse 10MSP-10V MOV Surge Protective Device 20MSP-20V MOV Surge Protective Device 25C-25A UL 1449 Fused Surge Protective Device 2L-2w Circuits CBP-Emergency Battery Pack (Ambient Temp. 0° to 40°C) CBP-Cold Weather Emergency Battery Pack (Ambient Temp. 20° to 40°C) CBP-Cold Weather Emergency Battery Pack, CEC Compliant (Ambient Temp. 20° to 40°C) ITS-Internal Transfer Switch, UL Recognized Component LSS-Optics Standard 9V SSS-Optics Standard 9V Right					
DA/RA1013-Photocontrol Shorting Cap DA/RA1014-NEMA Photocontrol - 120V DA/RA1016-NEMA Photocontrol - Multi-Tap 165-265V DA/RA1018-NEMA Photocontrol - 247V DA/RA1027-NEMA Photocontrol - 480V LS-100-100 Side Shield FSB-100-Wireless Configuration Tool for Motion Sensor SWPS-XX-WaveLink Wireless Sensor, 7' - 15' Mounting Height SWPS-XX-WaveLink Wireless Sensor, 15' - 40' Mounting Height WOLC-7P-10A-WaveLink Outdoor Control Module (7' PHL)					

NOTES:
1. Designlights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
2. Only available with 10V.
3. Not available with 2 Light Squares (SAZ2).
4. Only for use with 480V three systems. Per NEC, use for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
5. Not available with 1 Light Square (SAZ1). Not available with 10V.
6. System used available with other emergency options (E), CBP, CBP-CEC, or ITS, photocontrols / receptacles (BPC, PB, or PBT), or on-site systems (MS, D2 or ZH).
7. Only available with lumens, 120-277V (0-10V) voltage. Not available with VAA or SAZE Light Engines.
8. Light Square trim plate will be provided when VAA options are selected.
9. Light Square trim plate will be provided when VAA options are selected.
10. Not available with 10V or 120V Light Engine. Not available with emergency options (BPC, PB or PBT).
11. Not available with 10V option. Field tested to 5,000 hours per ASTM B117. Solder rating of 5 per ASTM D1654.
12. Not available with voltage 120-277V (0-10V) or 277-480V (0-10V).
13. Not available with emergency options (BPC, CBP, CBP-CEC, or ITS) or on-site systems (MS or ZH) or on-site systems (MS, D2 or ZH).
14. 120-277V (0-10V) or 277-480V (0-10V) voltage is specified, use a photocontrol that matches the input voltage and power (77V, 247V, or 480V).
15. Requires the use of photocontrol BPC or PBT. See After Hours Dim supplemental guide for additional information.
16. Requires the Motion Sensor (MS) or PBT. Sensor size determined by product length.
17. Sensor location (indicated PHL) may be needed to avoid shadows when operating below 30°-1, 1°-1, 1°-1.
18. Refer to the manual for the correct installation and wiring instructions.
19. More weather application information.
20. Requires 10V with sensor cable (MS or ZH).
21. Requires 480V network receptacle option (D2 or ZH) option.
22. Must enter and set Light Square network address in a field-programmable unit (1 or 2).
23. The last address adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.
24. Requires 7' PHL-NEMA Photocontrol receptacle (PHT) option. The WOLC-7 cannot be used in conjunction with other controls system (MS, D2, PB, PBT, or PHT). Only for use in 120-277V.
25. IEEE 802.15.4-compliant standard.



PSB16151EN page 2
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1 FIXTURE TYPES D1 AND D2
NO SCALE

2 FIXTURE TYPES P1 AND P2
NO SCALE

MSRDesign

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

Aster Commons
6613 Portland Avenue South
Richfield, MN 55423

Project No. 4827.0000

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ELECTRICAL
CUTSHEETS

E004P

NOT FOR CONSTRUCTION

WINDOW WALL SCONCE

WS-W230405-CS, WS-W230411-CS

Fixture Type:

W1

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Create a bold wash of illumination on walls with the bi-directional LED light sources offered in WINDOW by WAC. Personalize indoor and outdoor settings with this luminaires' dimmable up and down lights using its dynamic beam control options from 0° to 105° and 4 CCT selectability. WINDOW is ADA-compliant, wet-rated, and available in square and rectangular profiles finished in a choice of black and white, making this sleek, contemporary sconce ideal for a range of residential, hospitality, retail and commercial applications.

FEATURES

- Up and down lights
- On-board 4 CCTs selectable: 2700K, 3000K, 3500K, 4000K
- Dynamic beam angle adjustment: 0° - 105° (for both up light and down light)
- Can create different light patterns by adjusting the beam
- Suitable for indoor or outdoor (IP65 Rated)
- 5 year warranty
- ADA compliant

SPECIFICATIONS

Input: Die-cast Aluminum

Power: 100% - 1% ELV, TRIAC and 0-10V

Brightness: 16.5W

Beam Angle: Mid power LED rated life of 50,000 hours

CRI: Black, White (Electrostatically powder coated)

Rated Life: ETL & cETL Wet location listed

Model

Beam

Color Temp

CRI

Lumens

Finishes

<div><div><div>5"</div><div>5"</div></div><div><div>4"</div><div>4"</div></div></div>	<div><div><div>WS-W230405-CS</div></div></div>	<div><div>0-105°</div></div>	<div><div>2700K</div><div>3000K</div><div>3500K</div><div>4000K</div></div>	<div><div>390</div><div>445</div><div>495</div><div>505</div></div>	<div><div>BK</div><div>WT</div></div>	<div><div>Black</div><div>White</div></div>
<div><div><div>5"</div><div>5"</div></div><div><div>11"</div><div>4"</div></div></div>	<div><div><div>WS-W230411-CS</div></div></div>	<div><div>0-105°</div></div>	<div><div>2700K</div><div>3000K</div><div>3500K</div><div>4000K</div></div>	<div><div>426</div><div>475</div><div>525</div><div>535</div></div>	<div><div>BK</div><div>WT</div></div>	<div><div>Black</div><div>White</div></div>

WS-W230405-CS-

Example: WS-W230405-CS-BK

wacighting.com

Phone (800) 526.2588

Fax (800) 526.2585

Headquarters, East Manufacturing Facility

44 Harbor Park Drive

Port Washington, NY 11050

South East Manufacturing Facility

1600 Distribution Ct

Lithia Springs, GA 30122

Central Manufacturing Facility

1700 South J Elmer Freeway, Ste 100

Cedar Hill, TX 75104

West Manufacturing Facility

1750 S Archibald Ave

Ontario, CA 91761

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program.

JAN 2023

CUBE ARCHITECTURAL

DC-WS05-U

Ultra Narrow Beam LED Wall Mounts

Fixture Type:

W2

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Precise engineering using the latest energy efficient LED technology with a built-in ultra narrow beam precision optics. An appealing cubical profile perfect for accent lighting.

FEATURES

- High performance facade LED wall mount light
- Can be mounted upwards or downwards
- Solid aluminum construction
- 80,000 hour rated life
- 5 year warranty

SPECIFICATIONS

Input: 120V - 277VAC 50/60Hz

Dimming: 0 - 10V Dimming; 100% - 20% ELV 100% - 10% (120V only)

Standards: IP65 rated, UL & cUL wet location listed

Operating Temp: -40°C to 40°C

PHOTOMETRY

Reads 0.2 footcandle at 15 feet distance

ORDERING NUMBER

Distribution	Diameter	Watt	Beam	Color Temp	CRI	Lumens	CBCP	Light Direction	Finish					
Single	DC-WS	05	5"	11W	U	0°	<div><div>827</div><div>830</div><div>835</div><div>840</div></div>	<div><div>2700K</div><div>3000K</div><div>3500K</div><div>4000K</div></div>	<div><div>85</div><div>85</div><div>85</div><div>85</div></div>	<div><div>125</div><div>125</div><div>130</div><div>133</div></div>	<div><div>1182</div><div>1363</div><div>1411</div><div>1462</div></div>	<div><div>B</div></div>	<div><div>Towards the wall</div></div>	<div><div><div></div><div></div></div><div><div>BK</div><div>WT</div><div>BZ</div><div>GH</div></div></div> <div><div>Black</div><div>White</div><div>Bronze</div><div>Graphite</div></div>

DC-WS05-U

B-

Example: DC-WS05-U830B-WT

wacighting.com

Phone (800) 526.2588

Fax (800) 526.2585

Headquarters/Eastern Distribution Center

44 Harbor Park Drive

Port Washington, NY 11050

Central Distribution Center

1600 Distribution Ct

Lithia Springs, GA 30122

Western Distribution Center

1750 Archibald Avenue

Ontario, CA 91760

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AUG 2018

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NO SCALE

2 FIXTURE TYPE W2
NO SCALE

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Mark Date Description

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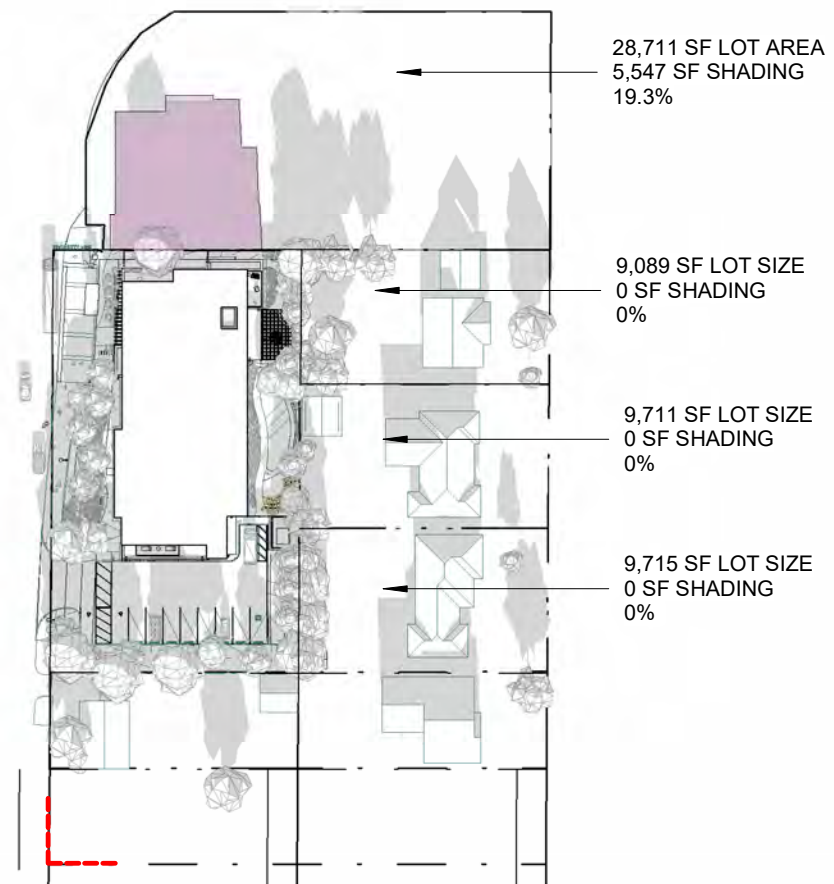
ELECTRICAL
CUTSHEETS

E005P

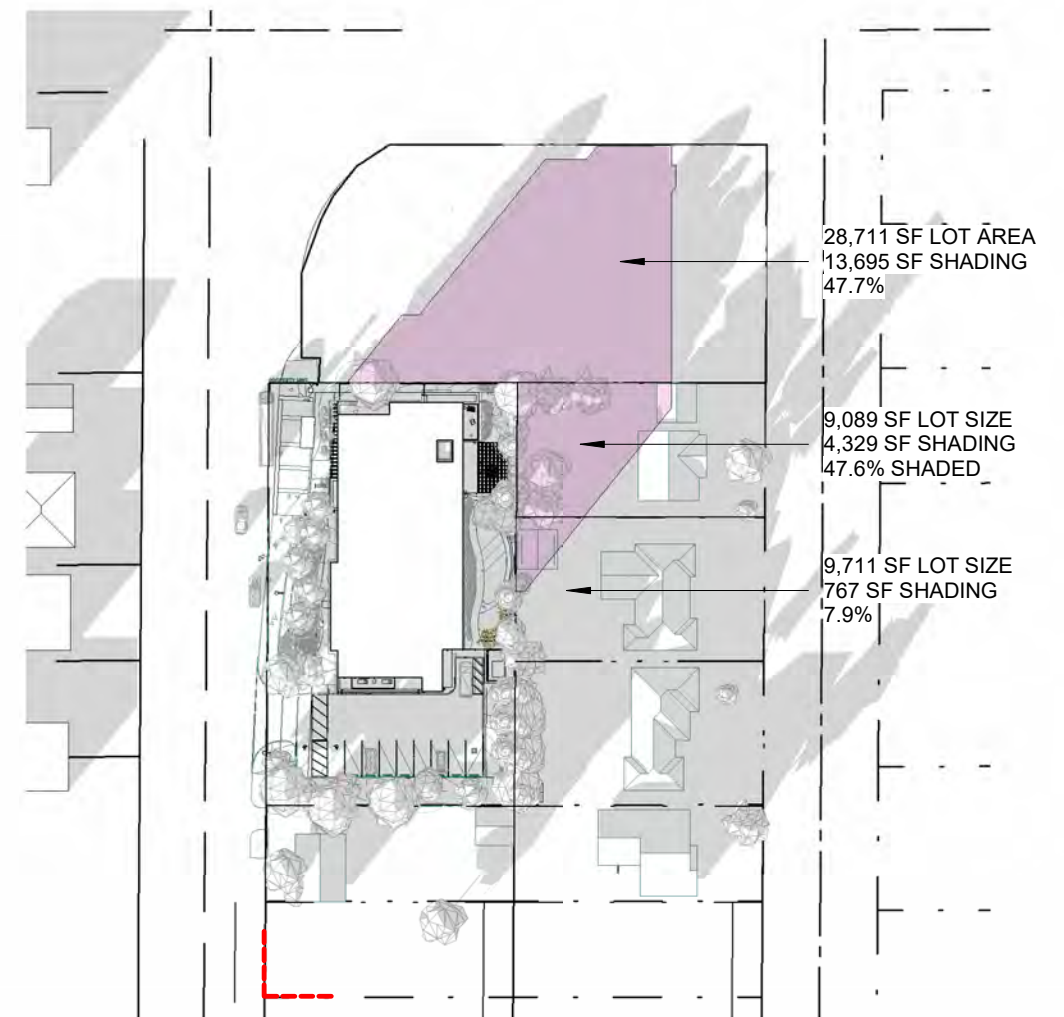
NOT FOR CONSTRUCTION



1 SHADING DEC 23 9AM
AP401 1" = 100'-0"



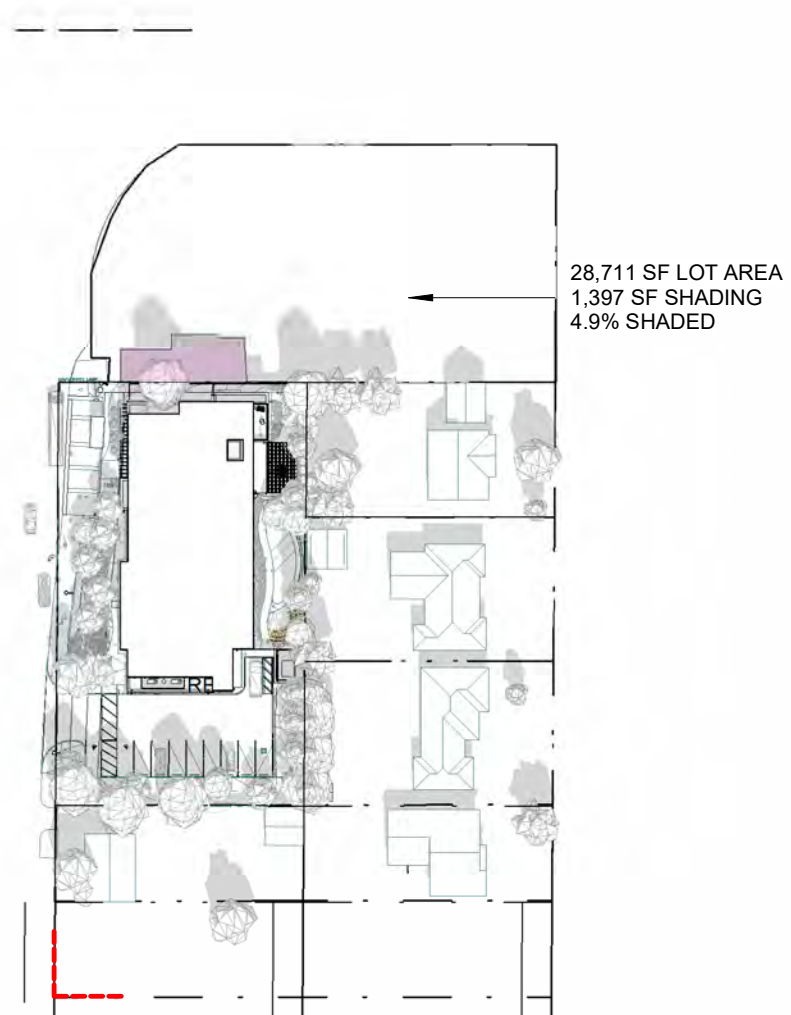
2 SHADING DEC 23 12PM
AP401 1" = 100'-0"



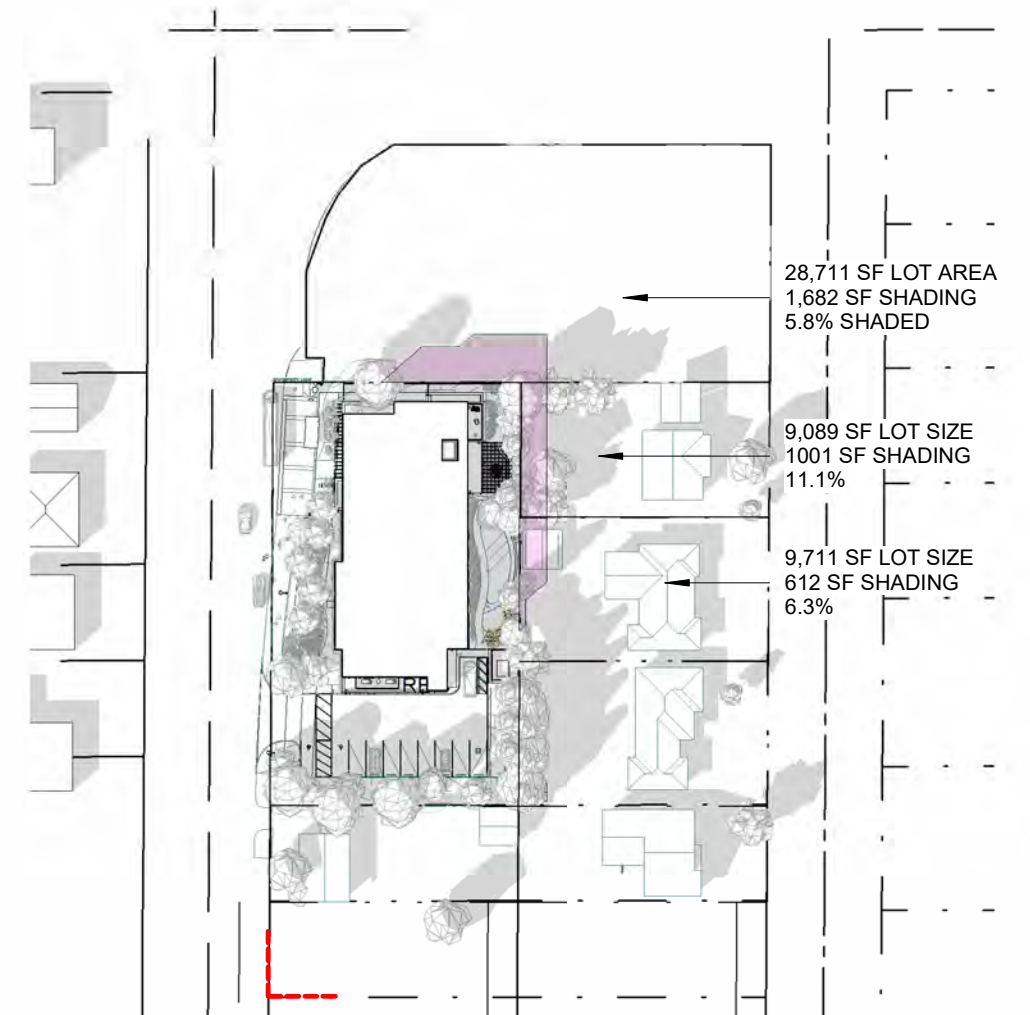
3 SHADING DEC 23 3PM
AP401 1" = 100'-0"



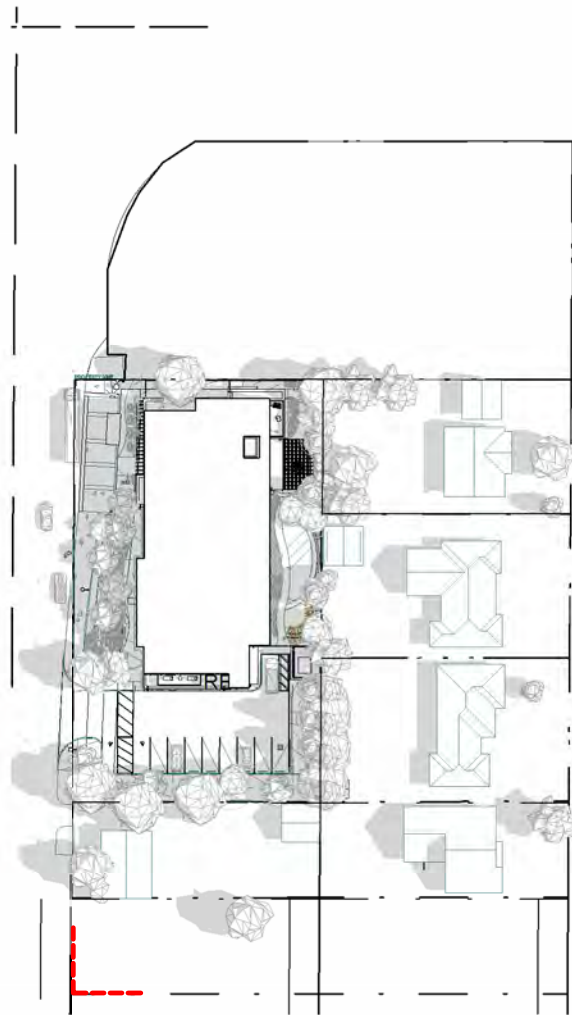
1 SHADING MAR 23 9AM
AP402 1" = 100'-0"



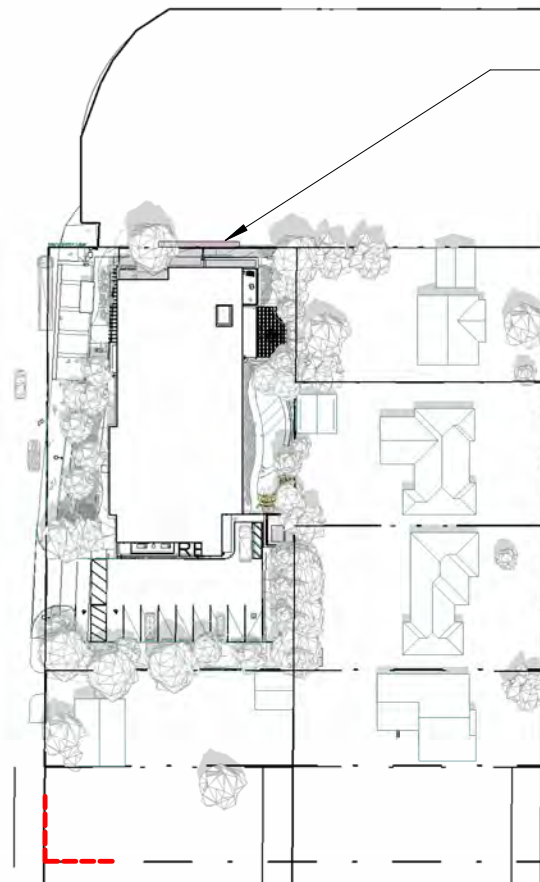
2 SHADING MAR 23 12PM
AP402 1" = 100'-0"



3 SHADING MAR 23 3PM
AP402 1" = 100'-0"

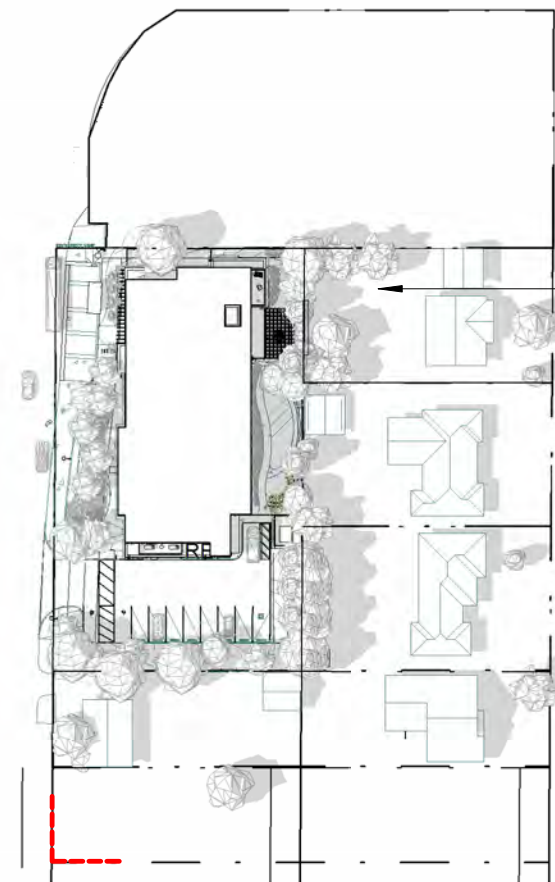


1 SHADING JUN 23 9AM
AP403 1" = 100'-0"



28,711 SF LOT AREA
128 SF SHADING
0.4%

2 SHADING JUN 23 12PM
AP403 1" = 100'-0"



9,089 SF LOT SIZE
78 SF SHADING
0.8% SHADED

3 SHADING JUN 23 3PM
AP403 1" = 100'-0"