



**JOINT CITY COUNCIL, HRA AND PLANNING COMMISSION WORK SESSION  
RICHFIELD MUNICIPAL CENTER, BARTHOLOMEW ROOM  
JUNE 21, 2021  
5:45 PM**

Call to order

1. Introduction and preliminary discussion of future plans for Minnesota Independence College and Community.
2. Discussion of a new development proposal for the property at 101 66th Street East (site of the previously approved Emi development).

Adjournment

**Auxiliary aids for individuals with disabilities are available upon request. Requests must be made at least 96 hours in advance to the City Clerk at 612-861-9738.**

**STAFF REPORT NO. 18****WORK SESSION****6/21/2021**

REPORT PREPARED BY: Melissa Poehlman, Asst. Community Development Director

DEPARTMENT DIRECTOR REVIEW: Julie Urban, Acting Executive Director  
6/14/2021

OTHER DEPARTMENT REVIEW:

CITY MANAGER REVIEW: Katie Rodriguez, City Manager  
6/15/2021

**ITEM FOR WORK SESSION:**

**Introduction and preliminary discussion of future plans for Minnesota Independence College and Community.**

**EXECUTIVE SUMMARY:**

Minnesota Independence College and Community (MICC; formerly Minnesota Life College) has operated out of the Colony Apartments at 35W and 76th Street since 1996. MICC is nonprofit "vocational and life skills training program for young adults with learning differences and autism spectrum disorders." MICC offers a variety of programs including a three-year college program that focuses on teaching students the skills necessary to live independently. The MICC Community Program offers graduates support and connections beyond graduation. These supports drive many graduates to search for housing in the immediate area of the campus. Over time, MICC has purchased three properties along 76th Street in the hopes of providing additional program space and housing.

At this work session, MICC's Executive Director Amy Gudmestad and Director of Advancement Ben Lentz, along with Bob Cunningham of Inland Development will share preliminary concepts for redevelopment of the properties at 2000, 2006, and 2018-76th Street West and program growth.

**DIRECTION NEEDED:**

**This work session is intended as an introduction to MICC for those policymakers who may not be familiar, and a preliminary discussion of growth plans. Staff and presenters are seeking feedback on a conceptual proposal for program and housing space on the properties at 2000, 2006, and 2018-76th Street West. Comprehensive Plan and/or Zoning changes may be necessary for the project to move forward.**

**BACKGROUND INFORMATION:****A. HISTORICAL CONTEXT**

- In 2016, the City Council approved an Interim Use Permit for MICC to use the property at 2000-76th Street West for social, meeting, and office space. Since opening in 2017, this space has operated without complaint. The current Interim Use Permit will expire in 2022.
- Properties in this area have been guided for medium-density housing since the adoption of the 2008 Comprehensive Plan.

**B. POLICIES (resolutions, ordinances, regulations, statutes, etc):**

- The properties at 2000, 2006, and 2018-76th Street West are part of a multi-block area that is guided for Medium Density Residential development.
- The properties are currently zoned R (Single-Family Residential) and are non-compliant with the Comprehensive Plan. This is in accordance with the City's practice of delaying the rezoning of single-family properties until an area is prioritized for redevelopment via action of the Council or until a development is contemplated.
- Conceptual plans indicate that a project may exceed some limits of the corresponding MR-2 (Medium Density Housing) District.

**C. CRITICAL TIMING ISSUES:**

None at this time.

**D. FINANCIAL IMPACT:**

None at this time.

**E. LEGAL CONSIDERATION:**

None at this time.

**ALTERNATIVE(S):**

None.

**PRINCIPAL PARTIES EXPECTED AT MEETING:**

Amy Gudmestad, MICC Ben Lentz, MICC Bob Cunningham, Inland Development Partners

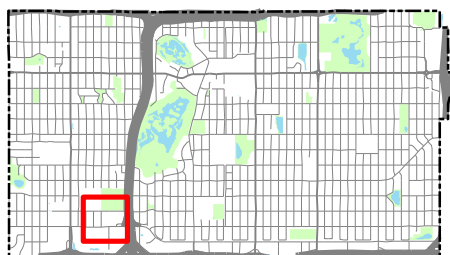
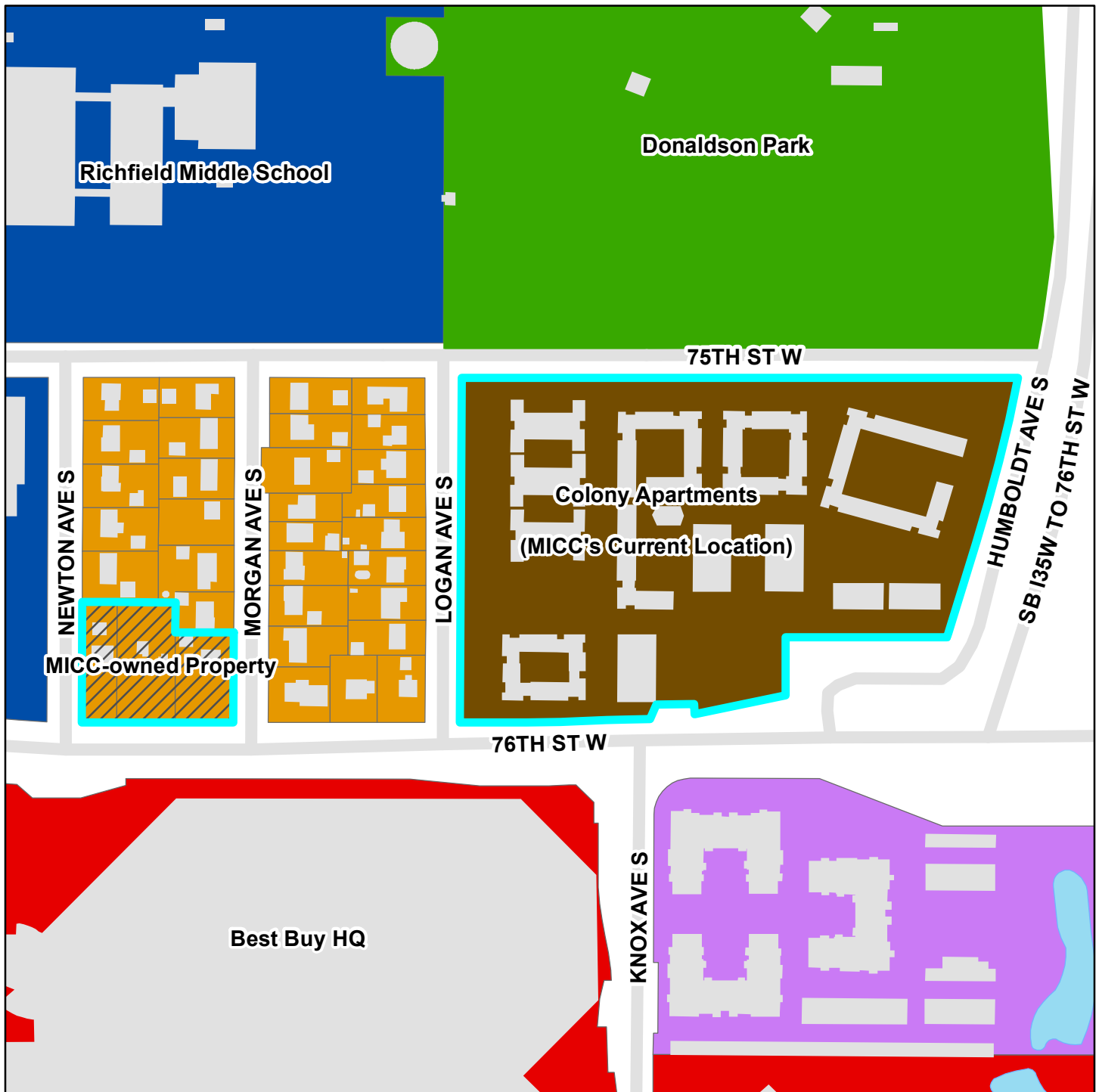
**ATTACHMENTS:**

Description	Type
▢ Area Planned Land Use Map	Exhibit
▢ MICC Conceptual Plan	Exhibit













# Minnesota Independence College and Community

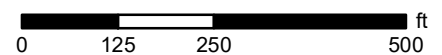
## 2040 Comprehensive Plan Designations



-  MICC Current Location
-  MICC Owned Properties

### 2040 Comprehensive Plan Designations

- |  |  |
|--|--|
|  Mixed Use                |  Medium Density Residential |
|  Regional Commercial      |  Low Density Residential    |
|  Community Commercial     |  Park                       |
|  Neighborhood Commercial  |  Quasi-Public               |
|  High Density Residential |  Right-of-Way (ROW)         |







# NW AERIAL

ANALYSIS & EXPLORATION MICC | RSP ARCHITECTS | BUMPY LANE LLC

01.30.2020 RSP





# VIEW FROM 76TH STREET

**STAFF REPORT NO. 19****WORK SESSION****6/21/2021**

REPORT PREPARED BY: Melissa Poehlman, Asst. Community Development Director

DEPARTMENT DIRECTOR REVIEW: Julie Urban, Acting Executive Director  
6/14/2021

OTHER DEPARTMENT REVIEW:

CITY MANAGER REVIEW: Katie Rodriguez, City Manager  
6/15/2021

**ITEM FOR WORK SESSION:**

**Discussion of a new development proposal for the property at 101 66th Street East (site of the previously approved Emi development).**

**EXECUTIVE SUMMARY:**

In October 2020, the City Council approved revised development plans for a mixed use building with approximately 1,800 square feet of ground floor commercial space and 42 apartments at 101 66th Street East. In January of 2021, the Housing and Redevelopment Authority (HRA) approved a Contract for Private Development with PLH & Associates to provide Tax Increment Financing to aid the project, in exchange for several affordable units. Since that time, developer PLH & Associates has sold the property to North Bay Companies (Developer).

Tonight North Bay Companies will present a preliminary proposal for a new project on this site. The new project includes a 75-unit, 6-story residential building and single-story commercial building of approximately 3,200 square feet.

**Existing regulatory framework:**

*Comprehensive Plan:* The Comprehensive Plan guides this site as Mixed Use and envisions projects with densities in the range of 25-75 dwelling units/acre.

*Zoning:* Planned Mixed Use (PMU) - A Planned Unit Development (PUD) is a negotiated zoning district intended to achieve certain efficiencies and goals of the City through flexibility in the application of underlying zoning district regulations. The approvals granted to a PUD are specific to that parcel; changes require an amendment to those approvals. The Mixed Use - Neighborhood (MU-N) District regulations were used as a guideline for the approval of the previous project. Flexibility was granted in the application of requirements related to setbacks, commercial uses, and parking that exceed maximum allowances.

**DIRECTION NEEDED:**

**Staff and the Developer are looking for preliminary feedback and to answer questions about the potential development.**

**BACKGROUND INFORMATION:**

**A. HISTORICAL CONTEXT**

- Southview Baptist Church vacated the property and began marketing it for sale in 2013.
- Developer PLH & Associates purchased the property in 2016.
- In June 2018, the City Council approved a Comprehensive Plan Amendment to guide the property for Mixed Use and PUD zoning and final development plans for a 3-story, 31 unit project with 6,000 square feet of ground floor retail space.
- After several project delays, the City Council approved revised development plans for a mixed use building with approximately 1,800 square feet of ground floor commercial space and 42 apartments in October 2020.

**B. POLICIES (resolutions, ordinances, regulations, statutes, etc):**

**Planned Unit Development**

Planned Unit Developments (PUDs) are intended to encourage the efficient use of land and resources and to encourage innovation in planning and building. In exchange for these efficiencies and superior design, flexibility in the application of dimensional requirements is available. The previous project requested minor zoning adjustments related to setbacks, additional commercial use permissions, and exceeding the maximum allowable parking.

**C. CRITICAL TIMING ISSUES:**

None at this time.

**D. FINANCIAL IMPACT:**

None at this time.

**E. LEGAL CONSIDERATION:**

None at this time.

**ALTERNATIVE(S):**

None.

**PRINCIPAL PARTIES EXPECTED AT MEETING:**

Representatives of North Bay Companies and DJR Architecture

**ATTACHMENTS:**

Description	Type
☐ Northbay Preliminary Plans	Exhibit
☐ Previously Approved Plans (2020)	Exhibit





SITE PLAN 1" = 60'-0"

#### COMMUNITY BENEFITS

Enhancing Local Business  
- North Bay is committed to providing a compelling and appropriately scaled retail space that will enhance and complement the adjacent commercial district.  
- Parking for the commercial space is provided directly behind the building adjacent to the commercial district to minimize impact on the residential neighborhood.

Affordability  
- 20% of units reserved for 60% AMI.  
- Affordable units to be distributed proportionally throughout the building.  
- Ground floor ADA ("type A") unit provided.

Sustainable Design  
- A solar array will be installed on the upper roof.  
- Stormwater retention system  
- EV Charging Stations provided  
- High efficiency water heaters  
- Organics Recycling  
- Programmable Thermostats  
- Low-flow dual flush toilets  
- Occupancy Sensors in Common Areas  
- LED Lights  
- Energy Star Appliances  
- Participation in the Energy Design Assistance program

Public Realm  
- The design of the public realm is critical for Mixed Use Neighborhood districts.  
- A public plaza connects the retail space to the multifamily residential and enhances the public realm.  
- The building is placed along the street to enhance the pedestrian experience and streetscape and allow for a buffer between the development and the adjacent single family residences.  
- Walk up units along 66th create a more activity along the length of the building and allows for "eyes on the street".  
- Thoughtfully designed landscape will create visual interest along the street, while also screening the building from the residential neighborhood to the south.

Density Appropriate Development  
- The Design meets the underlying zoning code of MU-N, and is consistent with the Comprehensive plan.  
- The density of the building allows for maximum open space to provide the desired on-site parking and landscaping.

Diverse Transportation Options  
- Electric vehicle charging stations are provided.  
- Bicycle amenities include a Fix-it station and indoor bicycle parking at a ratio of 1 space per bedroom.  
- High frequency route 515 transit stop is located at the 66th St. & Stevens Ave.

<b><u>ZONING</u></b>	
CURRENT PRIMARY ZONING	PMU
2040 COMP PLAN PLU	MIXED USE
<b><u>SITE</u></b>	
TOTAL AREA	45,511 SF per survey 1.044 acres
SITE AREA - BUILDING FOOTPRINT RES	15,778 SF
SITE AREA - FOOTPRINT - COMMERCIAL	3,210 SF
TOTAL	18,988 SF
ALLOWABLE DENSITY	75 UNIT/ACRE x 1.044 = 78 UNITS
PROVIDED DENSITY	75 UNITS

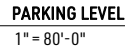
TOTAL AREA	45,511 SF*
SITE AREA - PERVIOUS	7,310 SF - 38.25%
SITE AREA - IMPERVIOUS	19,108 SF- 61.75%

PARKING REQUIRED - COMMERCIAL (3.6 PER 1000 W/ 10% TRANSIT REDUCTION)	12 STALLS
RESIDENTIAL (1.125 PER UNIT W/ 10% TRANSIT REDUCTION)	85 STALLS
TOTAL REQUIRED	97 STALLS
<b>PARKING PROVIDED</b>	<b>100 STALLS</b>

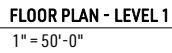
**BUILDING HEIGHT**  
**PROPOSED 70'-08" - 6 STORIES**

\* rentable totals are approximate, totals may change +/- 2% as project proceeds and building systems are finalized

UNIT COUNT BY TYPE	
UNIT TYPE	COUNT
1BR	39
2BR	10
STUDIO	26
<b>Unit Count: 75</b>	



**HEN COUNTY MAPS**  
1" = 200'-0"















# PLH MIXED USE BUILDING

RICHFIELD, MINNESOTA

ISG PROJECT # 17-20746



PROJECT GENERAL NOTES	
1.	ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL AND SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT / ENGINEER.
2.	CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CORRELATING QUANTITIES AND DIMENSIONS.
3.	WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4.	FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5.	DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
6.	ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
7.	LARGE-SCALE, MORE SPECIFIC DETAILS TAKE PRECEDENCE OVER SMALLER-SCALE, LESS SPECIFIC DETAILS AND INFORMATION. MORE STRINGENT REQUIREMENTS FOR CODE, PRODUCTS AND INSTALLATION TAKE PRECEDENCE OVER LESS STRINGENT REQUIREMENTS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
8.	PROVIDE CONTINUOUS SEALANT AROUND ALL MATERIALS AT EXTERIOR WALL PENETRATIONS. REFER TO SPECIFICATIONS FOR APPROPRIATE SEALANT.
9.	ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
10.	SEAL ALL OPENINGS IN WALLS, FLOORS, CEILINGS, AND ROOFS, AROUND DUCTS, PIPES, VENTS, TRAPS, CONDUIT AND ALL OTHER PENETRATIONS WITH FIRESTOPPING AS SPECIFIED AND REQUIRED BY CODES.
11.	PROVIDE TEMPORARY WALLS, ENCLOSURES, DUST SHIELDS AND WALK-OFF MATS AS REQUIRED TO SEPARATE DEMOLITION AND CONSTRUCTION FROM EXISTING BUILDING.
12.	PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING STRUCTURE TO REMAIN. PROVIDE SECURE AND WEATHERPROOF ENCLOSURE OF TEMPORARY OPENINGS IN EXTERIOR WALLS. PROTECT ALL BUILDING COMPONENTS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
13.	RESTORE ALL EXISTING AREAS AFFECTED BY DEMOLITION AND RELATED NEW CONSTRUCTION TO THEIR ORIGINAL CONDITION, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS, AND CEILINGS AND THEIR ASSOCIATED FINISHES.
14.	PROVIDE SOLID WALL BACKING WITH METAL OR FIRE-RETARDANT WOOD BLOCKING BEHIND DOOR HARDWARE SUCH AS WALL STOPS, BUMPERS, HOLD OPENS, ETC.



HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: LIC. NO.:

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DATE: LIC. NO.:

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PROJECT

**PLH MIXED USE BUILDING**

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
06/05/19	ADDENDUM #1	DRL
06/14/19	ADDENDUM #2	MDS

PROJECT NO.	17-20746
FILE NAME	20746 ARCH R18.RVT
DRAWN BY	DRL
DESIGNED BY	JPW
REVIEWED BY	JPW
ORIGINAL ISSUE DATE	05/22/2019
CLIENT PROJECT NO.	

TITLE

**TITLE SHEET,  
SHEET INDEX,  
PROJECT  
GENERAL NOTES**

SHEET  
**G1-10**

## PROJECT INDEX:

OWNER:

PLH & ASSOCIATES, LLC.  
PAUL LYNCH  
PO BOX 390157  
MINNEAPOLIS, MINNESOTA 55439  
608.206.7596

PROJECT ADDRESS:

PLH MIXED USE BLDG  
101 66th STREET EAST  
RICHFIELD, MINNESOTA

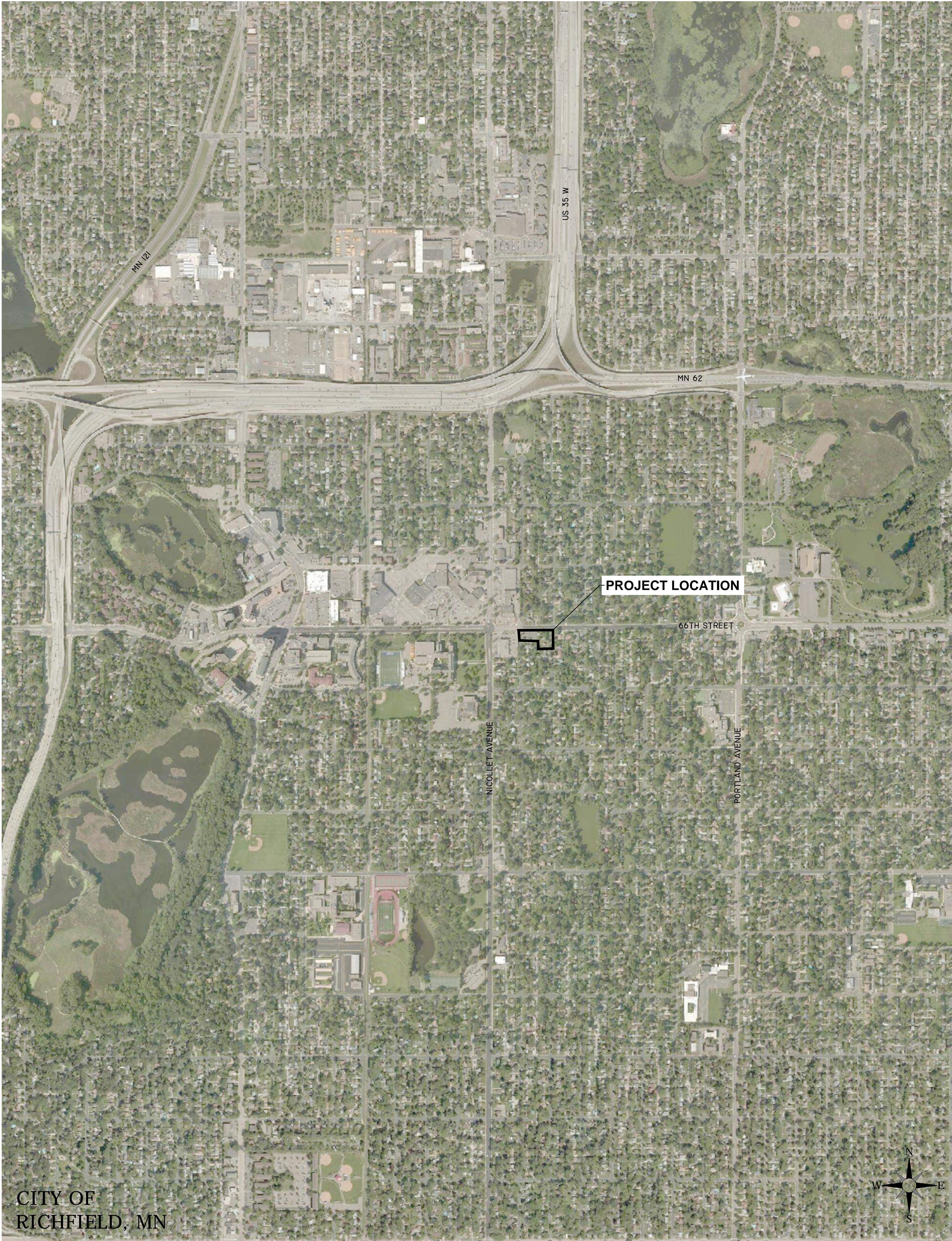
MANAGING OFFICE:

MINNEAPOLIS /  
ST. PAUL OFFICE  
7900 INTERNATIONAL DRIVE  
INTERNATIONAL PLAZA  
SUITE 550  
MINNEAPOLIS, MN 55425  
PHONE: 952.426.0699  
PROJECT MANAGER: JOE WAGNER  
EMAIL: joe.wagner@is-grp.com



REFERENCE SCALE  
0 1/4" = 1'-0"  
1" = 12'-0"  
2" = 24'-0"





LOCATION MAP

SCALE IN FEET

0 500' 1000'

PROJECT ADDRESS / LOCATION:  
6600 STEVENS AVENUE SOUTH  
RICHFIELD, MN 55423

S27, T28, R24

RICHFIELD, HENNEPIN, MINNESOTA

SITE SUMMARY			
PROPOSED ZONING:	PMU, PLANNED MIXED USE		
SITE AREA:	0.98 AC.		
IMPERVIOUS AREA PROPOSED:	0.72 AC. / 73%		
GREENSPACE PROPOSED:	0.26 AC. / 27%		
BUILDING COVERAGE PROPOSED:	0.30 AC. / 31%		
RETAIL SF:	6,122 SF		
RESIDENTIAL SF:	33,250 SF		
UNDERGROUND SF:	13,333 SF		
BUILDING SF:	52,705 SF		
RESIDENTIAL UNITS:	31 UNITS		
PARKING REQUIREMENTS (PER CITY CODE)			
TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
19' x 9'	1.5 / UNIT	47	33
19' X 9'	3.5 / 1000 SF	22	38
HANDICAP STALL		2	2
TOTAL:		69	71
SETBACKS			
	PARKING	BUILDING	
FRONT YARD	3'	0'	
SIDE YARD	3'	0'	
REAR YARD	3'	0'	
RESIDENTIAL	3'	15'	

PROJECT GENERAL NOTES

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- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "GOPHER STATE ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811 OR 1-800-252-1166).

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF RICHFIELD REQUIREMENTS AND MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2016 EDITION, AND THE STANDARD SPECIFICATIONS FOR SANITARY SEWER, STORM DRAIN AND WATERMAIN AS PROPOSED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA 2015, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 1996 ADJUSTMENT (NAD83(1996)) ON THE HENNEPIN COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN JUNE 2017 BY ISG.

FLOOD ZONE

THE FLOOD ZONE CLASSIFICATION/LIMITS DEPICTED HEREON, IF ANY, ARE SUBJECT TO MAP SCALE UNCERTAINTY. THE SURVEYED PROPERTY SHOWN ON THIS SURVEY MAP IS NOT IN A HAZARDOUS FLOOD AREA, ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 27053C0369F, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, EFFECTIVE DATE NOVEMBER 4, 2016. FLOOD AREAS ARE SHOWN ON THIS SURVEY.

LEGEND

EXISTING	
	CITY LIMITS
	SECTION LINE
	QUARTER SECTION LINE
	RIGHT OF WAY LINE
	PROPERTY / LOT LINE
	EASEMENT LINE
	ACCESS CONTROL
	WATER EDGE
	WETLAND BOUNDARY
	WETLAND / MARSH
	FENCE LINE
	CULVERT
	STORM SEWER
	SANITARY SEWER
	SANITARY SEWER FORCE MAIN
	WATER
	GAS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND TV
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	UNDERGROUND FIBER OPTIC
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE LINE
	MANHOLE/STRUCTURE
	CATCH BASIN
	HYDRANT
	VALVE
	CURB STOP
	POWER POLE
	UTILITY PEDESTAL / CABINET
PROPOSED	
	LOT LINE
	RIGHT OF WAY
	EASEMENT
	CULVERT
	STORM SEWER (PIPE WIDTH)
	SANITARY SEWER
	WATER
	GAS
	UNDERGROUND ELECTRIC
	UNDERGROUND TV
	CONTOUR
	SANITARY CLEAN OUT
	STORM MANHOLE
	CATCH BASIN
	HYDRANT
	VALVE
	CURB STOP
	LIGHT POLES

CIVIL SHEET INDEX

C0-10	SITE DATA
C0-20	SITE DETAILS
C0-21	SITE DETAILS
C0-22	SITE DETAILS
C0-23	SITE DETAILS
C0-24	SITE DETAILS
C0-25	STORMWATER CHAMBER DETAILS
C1-10	STORMWATER POLLUTION PREVENTION PLAN (SWPPP) EXISTING CONDITIONS
C1-20	STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROPOSED CONDITIONS
C1-30	STORMWATER POLLUTION PREVENTION PLAN NOTES
C1-31	STORMWATER POLLUTION PREVENTION PLAN NOTES
C1-32	STORMWATER POLLUTION PREVENTION PLAN NOTES
C1-33	STORMWATER POLLUTION PREVENTION PLAN DETAILS
C2-10	EXISTING SITE & REMOVALS PLAN
C3-10	SITE PLAN
C3-20	SITE UTILITY PLAN
C4-10	SITE GRADING PLAN
C5-10	SITE RESTORATION PLAN
C5-20	PLANTING PLAN
C5-21	PLANT SCHEDULE, NOTES, & DETAILS
C6-10	PHOTOMETRICS PLAN

ISG

B.M. ELEVATION=841.76  
TOP NUT OF HYDRANT LOCATED ON THE NORTH  
WEST CORNER OF THE STEVENS AVENUE AND  
66TH STREET INTERSECTION.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR  
REPORT WAS PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE  
STATE OF MINNESOTA.

RYAN J. ANDERSON

*Ryan Anderson*  
DATE: 05/14/19 LIC. NO.: 55938

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR  
REPORT WAS PREPARED BY ME OR UNDER MY DIRECT  
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PROFESSIONAL ENGINEER UNDER THE LAWS OF THE  
STATE OF MINNESOTA.

DATE: LIC. NO.:

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WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

PLH MIXED USE  
BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	17-20746
FILE NAME	20746 C0 - DETAILS
DRAWN BY	ART
DESIGNED BY	ART
REVIEWED BY	ATB
ORIGINAL ISSUE DATE	3/23/18

CLIENT PROJECT NO.

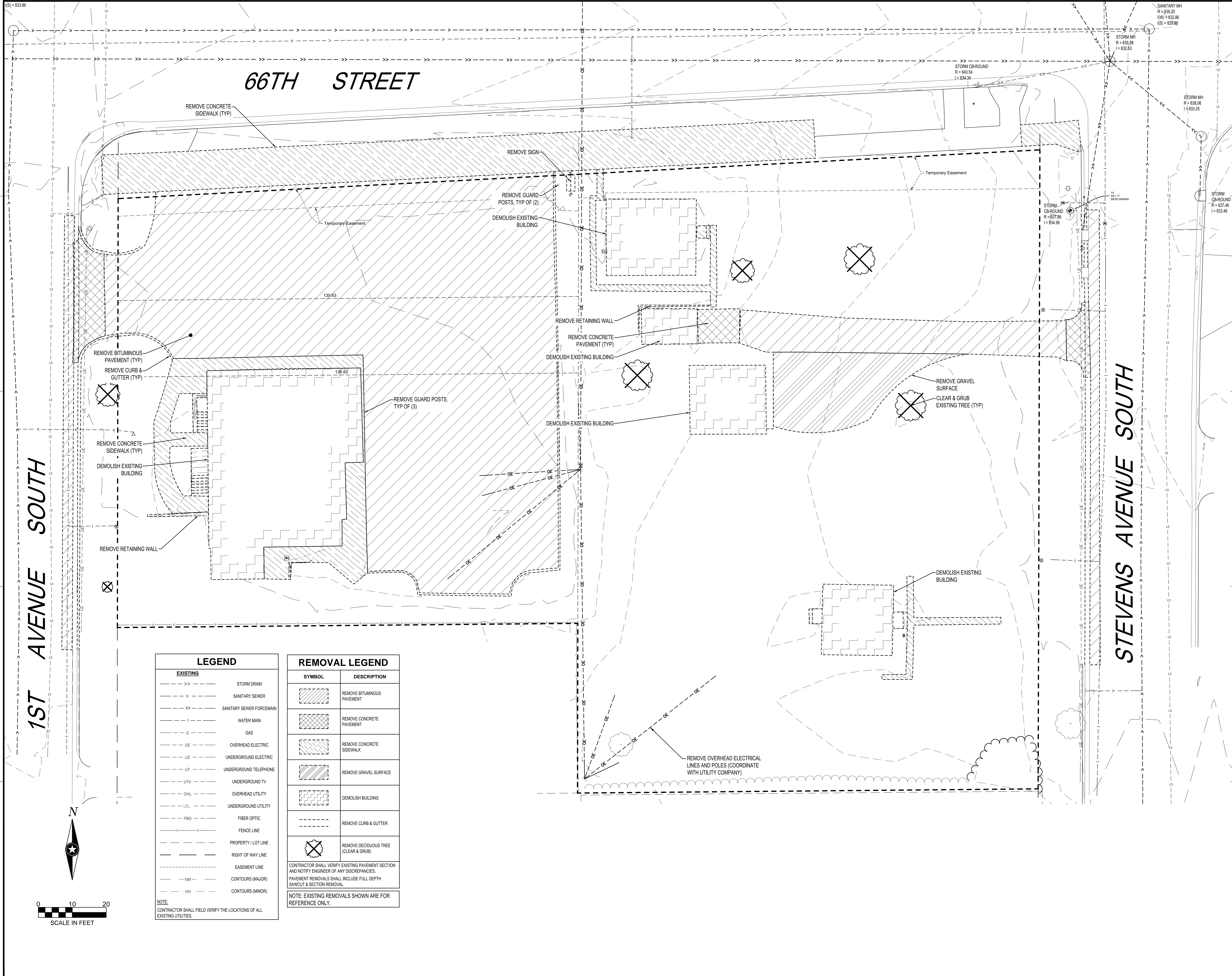
TITLE

SITE DATA

SHEET

CO-10





B.M. ELEVATION=841.76  
TOP NUT OF HYDRANT LOCATED ON THE NORTH  
WEST CORNER OF THE STEVENS AVENUE AND  
66TH STREET INTERSECTION.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR  
REPORT WAS PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE  
STATE OF MINNESOTA.

RYAN J. ANDERSON

*Ryan Anderson*

DATE: 05/14/19 LIC. NO.: 55938

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PROJECT

PLH MIXED USE  
BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 17-20746

FILE NAME 20746 C2 - EXISTING

DRAWN BY MNA

DESIGNED BY MNA

REVIEWED BY ATB

ORIGINAL ISSUE DATE 3/23/18

CLIENT PROJECT NO.

TITLE

EXISTING SITE &  
REMOVALS PLAN

SHEET

C2-10



66TH STREET

PROPOSED MIXED-USE BUILDING  
1ST FLOOR FFE=845.42'  
PARKING GARAGE FFE=834.42'

STEVENS AVENUE SOUTH

1ST AVENUE SOUTH

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	8\"/>
	HEAVY DUTY BITUMINOUS PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	COUNTY CONCRETE SIDEWALK SECTION
	CONCRETE SIDEWALK

PROPOSING TO REMOVE THESE STALLS TO GET TO THE MAXIMUM 67 STALLS.

B.M. ELEVATION = 841.76  
TOP OF HYDRANT LOCATED ON THE NORTH  
WEST CORNER OF THE STEVENS AVENUE AND  
66TH STREET INTERSECTION

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RYAN J. ANDERSON  
DATE: 05/16/19 LIC. NO.: 559306

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PLH MIXED USE  
BUILDING

RICHFIELD MINNESOTA

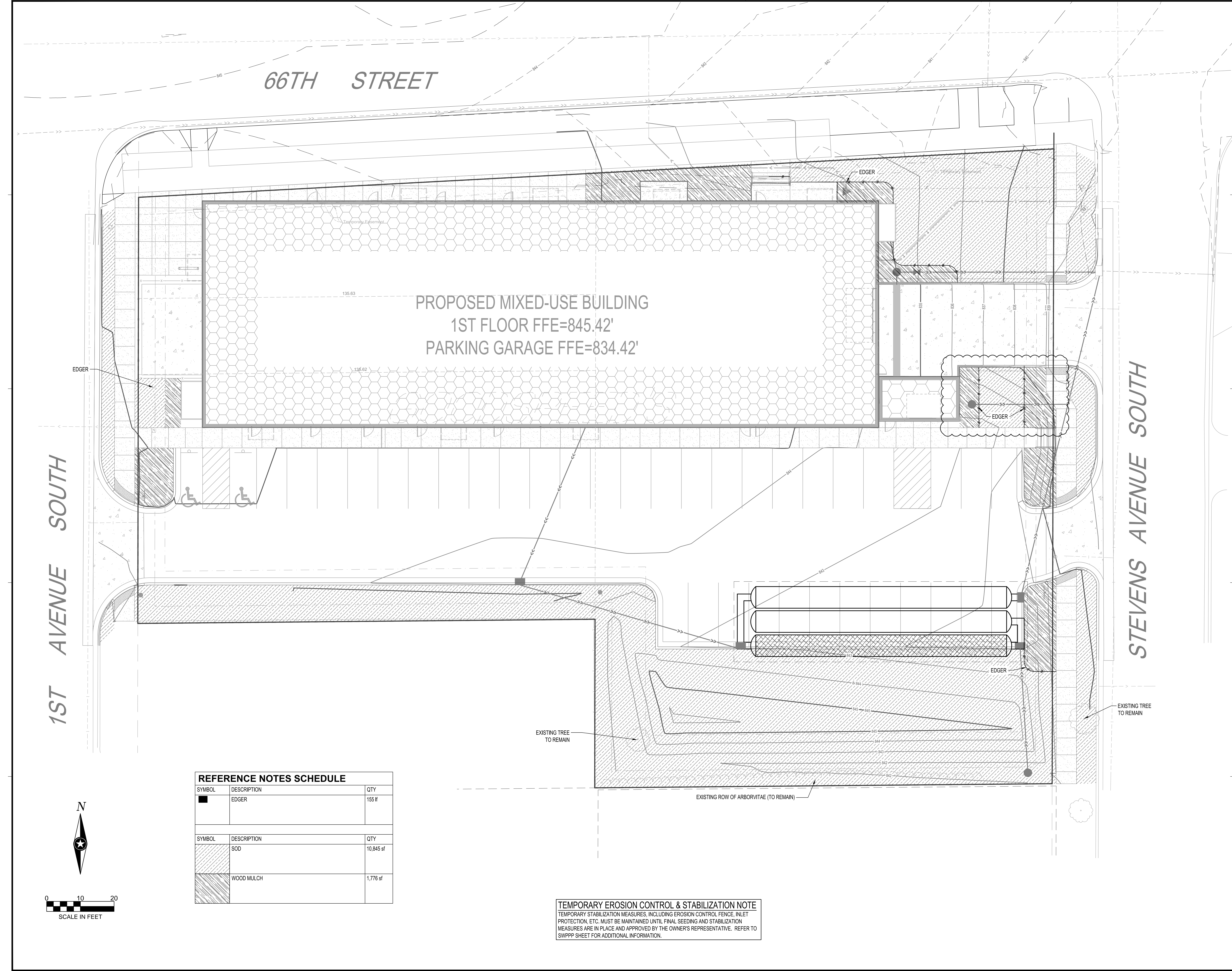
DATE	DESCRIPTION	BY
05/16/19	ADDENDUM 1	ART

PROJECT NO.	17-207-05
FILE NAME	2018-03 - SITE
DRAWN BY	MPV
DESIGNED BY	MPV
REVIEWED BY	AJR
ORIGINAL ISSUE DATE	3/23/18
CLIENT PROJECT NO.	

TITLE  
SITE PLAN

SHEET  
C3-10





B.M. ELEVATION=841.76  
TOP NUT OF HYDRANT LOCATED ON THE NORTH  
WEST CORNER OF THE STEVENS AVENUE AND  
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PROJECT

### PLH MIXED USE BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
06/05/19	ADDENDUM 1	ART

PROJECT NO.	17-20746
FILE NAME	20746 C5 - LANDSCAPE
DRAWN BY	-
DESIGNED BY	-
REVIEWED BY	-
ORIGINAL ISSUE DATE	3/23/18
CLIENT PROJECT NO.	-

TITLE

### SITE RESTORATION PLAN

SHEET

C5-10

REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
■	EDGER	155 lf
SYMBOL	DESCRIPTION	QTY
▨	SOD	10,845 sf
▩	WOOD MULCH	1,776 sf

TEMPORARY EROSION CONTROL & STABILIZATION NOTE  
TEMPORARY STABILIZATION MEASURES, INCLUDING EROSION CONTROL FENCE, INLET  
PROTECTION, ETC. MUST BE MAINTAINED UNTIL FINAL SEEDING AND STABILIZATION  
MEASURES ARE IN PLACE AND APPROVED BY THE OWNER'S REPRESENTATIVE. REFER TO  
SWPPP SHEET FOR ADDITIONAL INFORMATION.



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PROJECT

## PLH MIXED USE BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
5/16/18	CITY RESUBMITTAL	ART

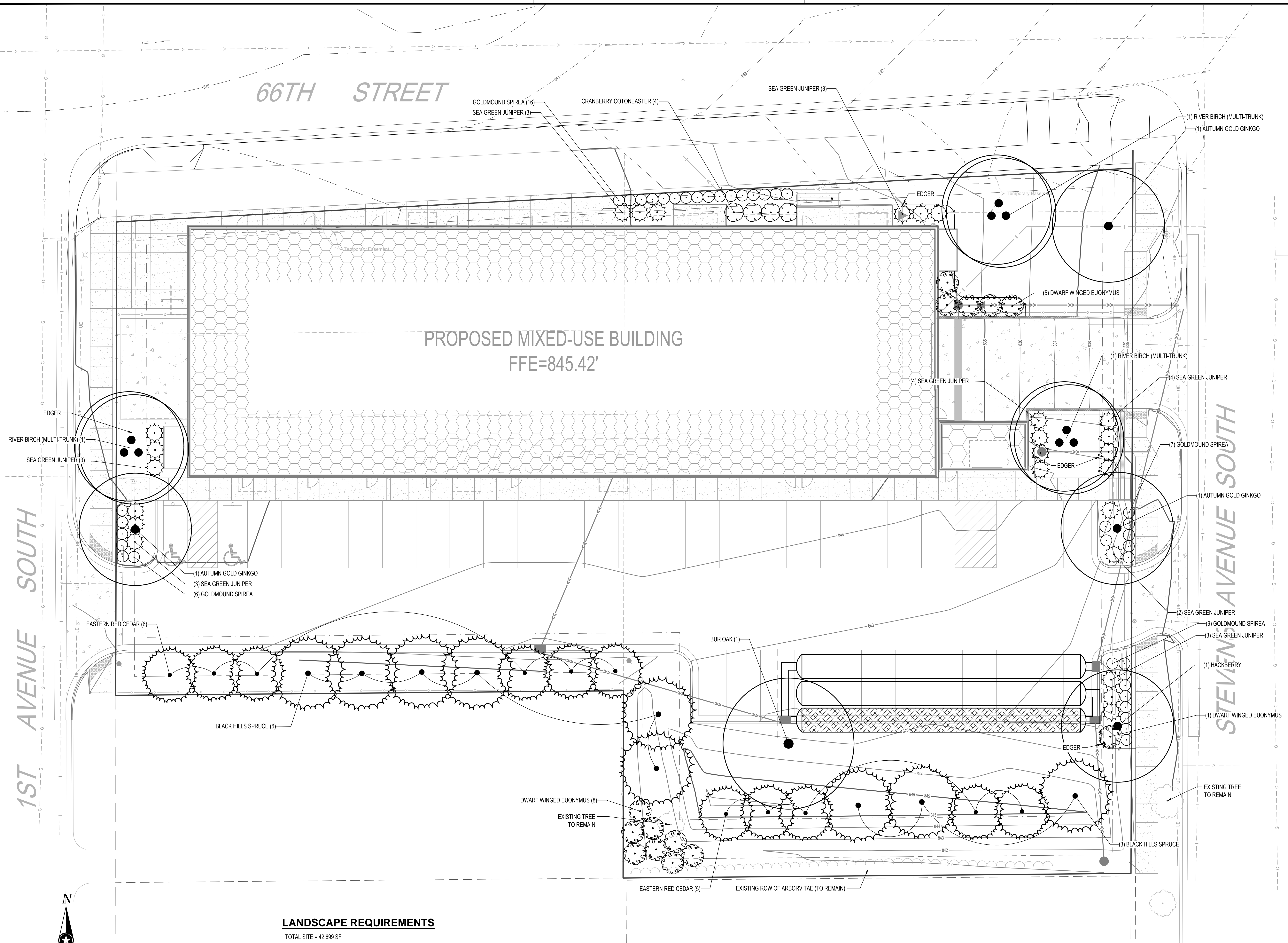
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FILE NAME	20746 C5 - LANDSCAPE
DRAWN BY	—
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ORIGINAL ISSUE DATE	3/23/18
CLIENT PROJECT NO.	—

TITLE

## PLANTING PLAN

SHEET

C5-20



### LANDSCAPE REQUIREMENTS

TOTAL SITE = 42,699 SF

30 TREES SHOWN  
2 EXISTING TREES (TO BE SAVED)  
28 PROPOSED TREES  
83 SHRUBS SHOWN

17 TREES REQUIRED  
CODE: 1 TREE PER 2500 SF OF DEVELOPABLE LANDSCAPE AREA  
(42,699 / 2500 = 17.1 OR 17 TREES)  
43 SHRUBS REQUIRED  
CODE: 1 SHRUB PER 1000 SF OF DEVELOPABLE LANDSCAPE AREA  
(42,699 / 1000 = 42.7 OR 43 SHRUBS)

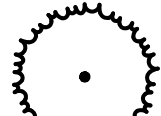
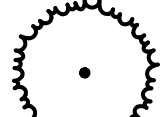
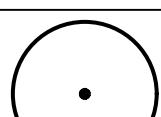
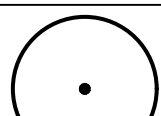


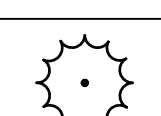
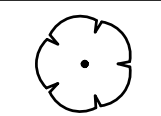

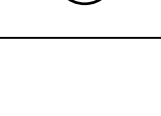
UTILITY LOCATIONS SHOWN ARE APPROXIMATE.  
CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES  
ON-SITE PRIOR TO CONSTRUCTION.



## GENERAL PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING BED EDGING - USE 3/4" x 6" PROFESSIONAL GRADE METAL EDGING IN ALL AREAS WHERE PLANTING BED MEETS LAWN AREAS OR WHERE INDICATED. USE 12" METAL SPIKES AS INSTRUCTED BY MANUFACTURER.
- PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, SURROUNDING ALL PROPOSED TREES TO A 3-INCH MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. IF LOCATED WITHIN A PLANT BED, SUBSTITUTE THIS MULCH WITH THE MULCH CALLED FOR WITHIN THAT PLANT BED. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- ALL AREAS NOT WITHIN PLANT BEDS OR PAVEMENT SHALL BE SODDED. TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED. SOD SECTIONS SHALL BE NO SMALLER THAN 24" X 36" STAKED IN PLACE WITH BIODEGRADABLE SOD STAKES WHEN SLOPE IS STEEPER THAN 5:1 OR WHEN CONDITIONS REQUIRE.
- IRRIGATION REQUIRED - IRRIGATION SYSTEM SHALL BE CONSTRUCTED AS A 'DESIGN BUILD' PROJECT AND SERVICE ALL GREEN SPACE INCLUDING LAWN AND PLANTING BEDS. CONTRACTOR TO SUBMIT DRAWING FOR APPROVAL BY ENGINEER AND LANDSCAPE ARCHITECT.
- FOR PLANT, SHRUB, AND TREE LOCATIONS, CONTRACTOR IS PERMITTED TO USE DISCRETION AS NECESSARY TO AVOID DRIVEWAYS, UTILITIES, OR OTHER CONFLICTS. THE TOTAL NUMBER OF PLANTS, INCLUDING SHRUBS AND TREES SHALL MEET CITY CODE.
- INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.
- IRRIGATION WATER METER TO BE INSTALLED BY PLUMBING CONTRACTOR.

## PLANT SCHEDULE

CON. TREES	QTY	COMMON NAME	SIZE	ROOT	NOTE
	9	Black Hills Spruce <i>Picea glauca densata</i>	6' Ht	B & B	
	11	Eastern Red Cedar <i>Juniperus virginiana</i>	6' Ht	B & B	
OVERSTORY	QTY	COMMON NAME	SIZE	ROOT	NOTE
	3	Autumn Gold Ginkgo <i>Ginkgo biloba 'Autumn Gold'</i>	2-1/2" Cal	B & B	male plant only
	1	Bur Oak <i>Quercus macrocarpa</i>	2-1/2" Cal	B & B	
	1	Hackberry <i>Celtis occidentalis</i>	2-1/2" Cal	B & B	
	3	River Birch (Multi-Trunk) <i>Betula nigra</i>	6' Ht	B & B	Multi-trunk
CON. SHRUBS	QTY	COMMON NAME	SIZE	ROOT	NOTE
	34	Sea Green Juniper <i>Juniperus chinensis 'Sea Green'</i>	24" Ht.	Cont	
DEC. SHRUBS	QTY	COMMON NAME	SIZE	ROOT	NOTE
	4	Cranberry Cotoneaster <i>Cotoneaster apiculatus</i>	16" Ht	Cont	
	15	Dwarf Winged Euonymus <i>Euonymus alatus 'Compactus'</i>	4' Ht.	Cont	
	43	Goldmound Spirea <i>Spiraea x bumalda 'Goldmound'</i>	24" Ht.	Cont	

B.M. ELEVATION=841.76

TOP NUT OF HYDRANT LOCATED ON THE NORTH WEST CORNER OF THE STEVENS AVENUE AND 66TH STREET INTERSECTION.

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PROJECT

## PLH MIXED USE BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
5/16/18	CITY RESUBMITTAL	ART

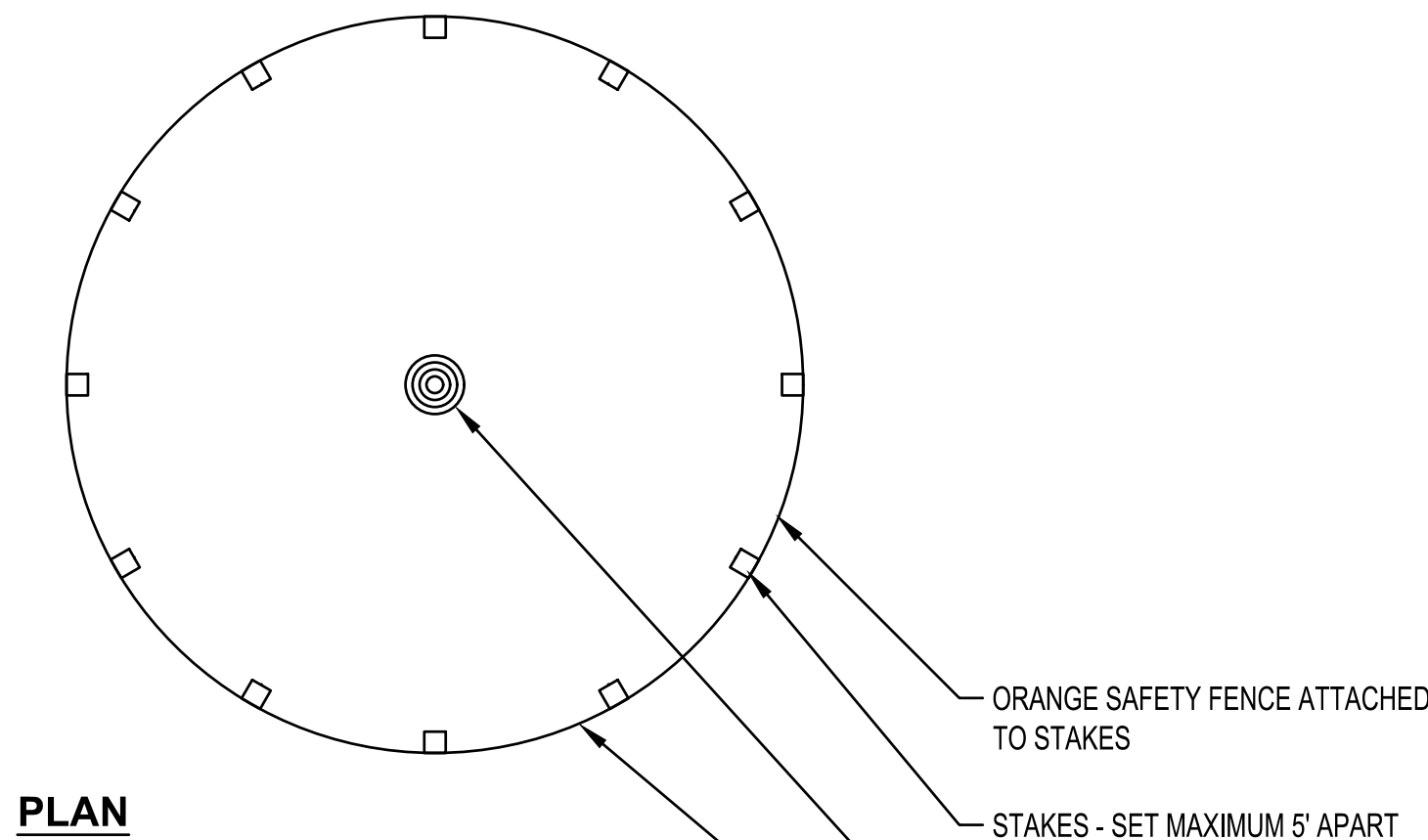
PROJECT NO.	17-20746
FILE NAME	20746 CS - LANDSCAPE
DRAWN BY	—
DESIGNED BY	—
REVIEWED BY	—
ORIGINAL ISSUE DATE	3/23/18
CLIENT PROJECT NO.	—

TITLE

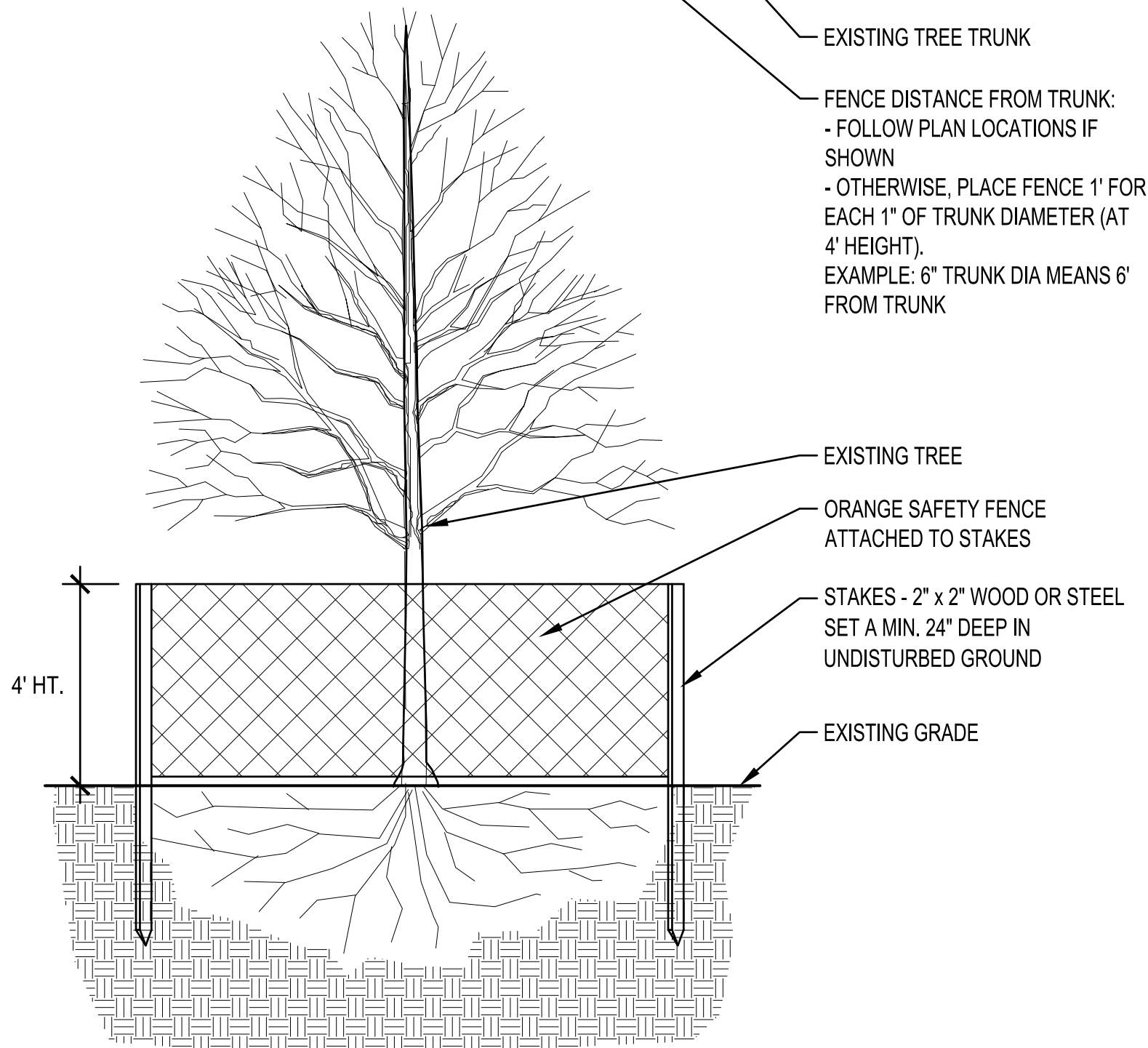
## PLANT SCHEDULE, NOTES, &amp; DETAILS

SHEET

C5-21



PLAN

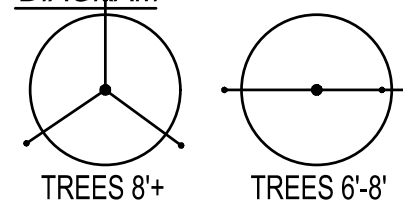


SECTION

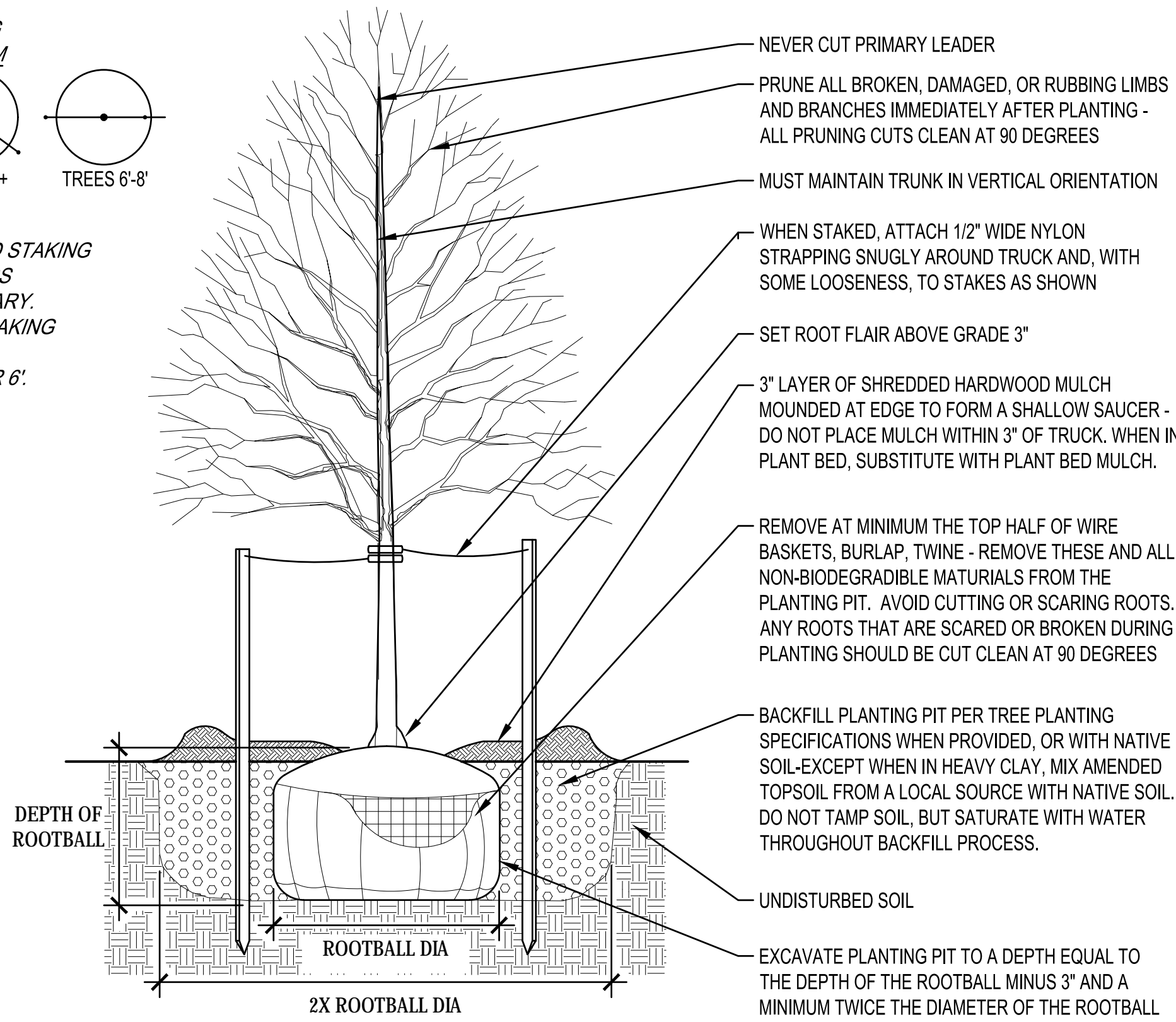
## TREE PROTECTION DETAIL

NO SCALE

## STAKING DIAGRAM

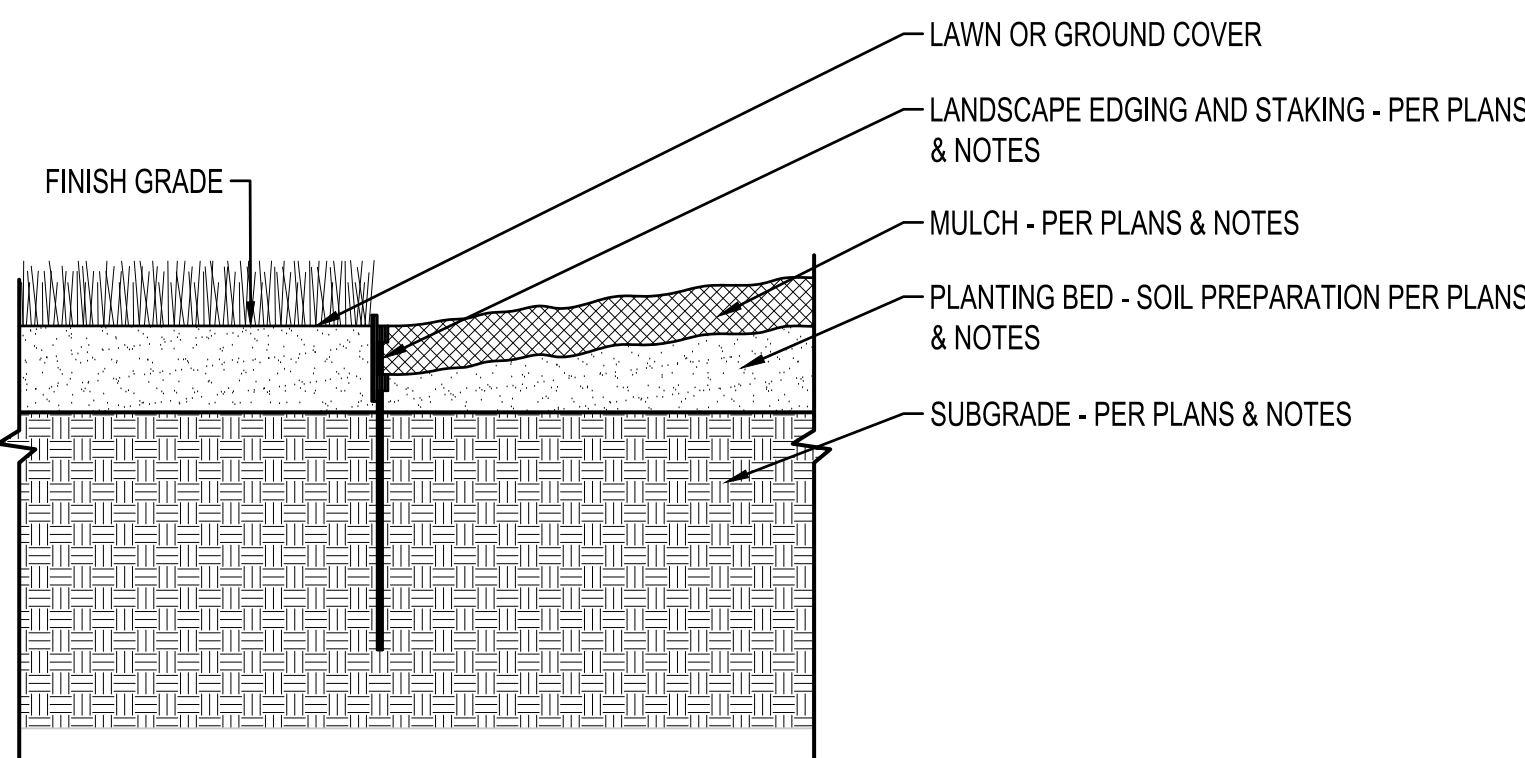


NOTE:  
\* AVOID STAKING UNLESS NECESSARY.  
\* NO STAKING TREES UNDER 6'.



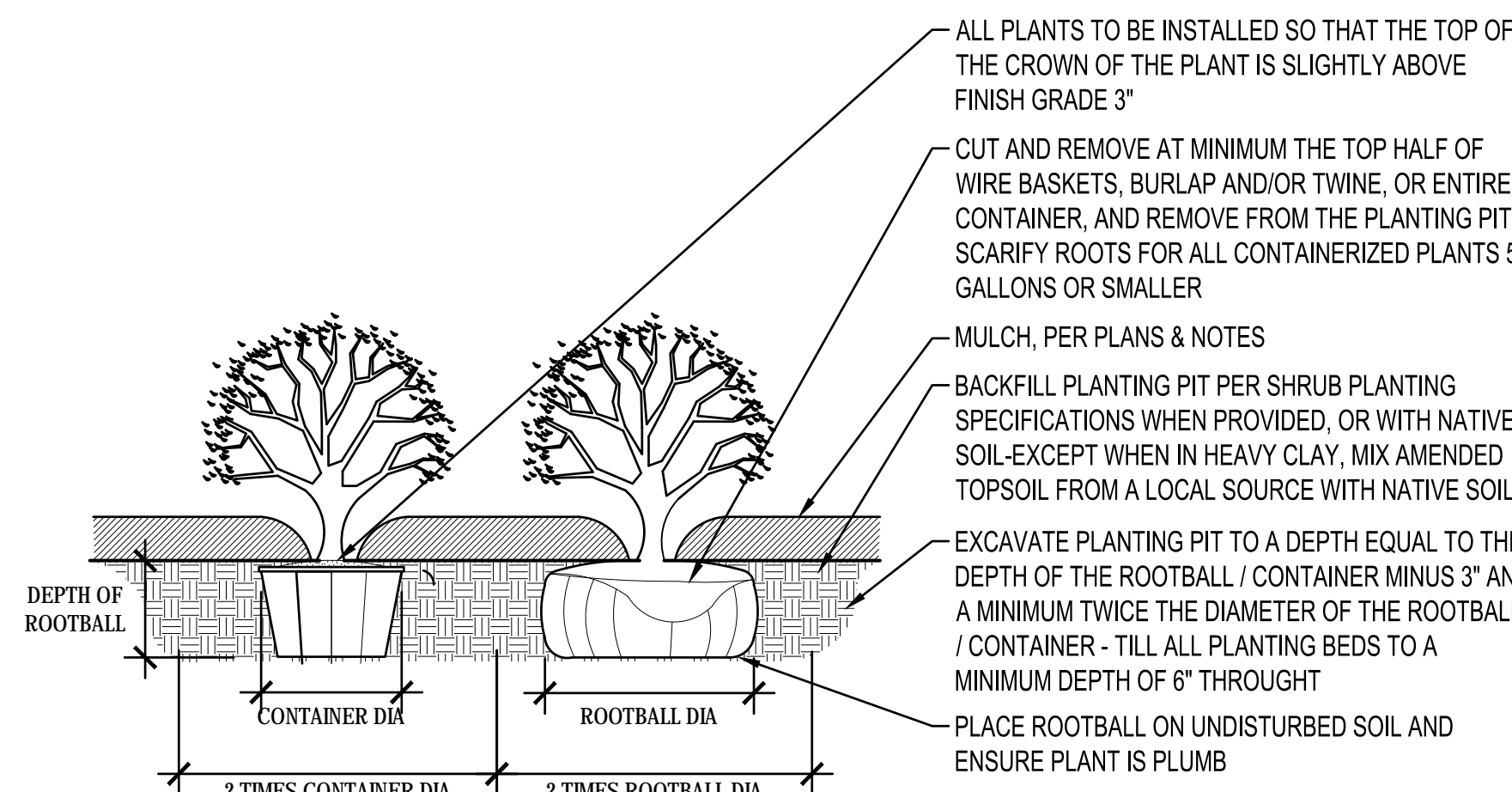
## TREE PLANTING DETAIL

NO SCALE



## LANDSCAPE EDGING DETAIL

NO SCALE



## SHRUB PLANTING DETAIL

NO SCALE

## TREE PLANTING NOTES

- PRIOR TO DELIVERY TO THE SITE, THE CONTRACTOR SHALL LOCATE THE BUTTRESS ROOTS OR TRUNK FLARE OF EACH TREE. IF FLARE IS LOCATED MORE THAN 2" DOWN FROM THE TOP OF THE ROOTBALL, THE TREE IS REJECTED AND SHALL NOT BE DELIVERED TO THE SITE.
- ONCE THE PROPERLY GROWN TREE IS DELIVERED TO THE SITE, MEASURE DISTANCE BETWEEN TOP OF THE BUTTRESS ROOTS AND THE BOTTOM OF THE ROOTBALL. SUBTRACT 2" TO DETERMINE DEPTH OF PLANTING PIT.
- DIG PIT TO DEPTH DETERMINED ABOVE. PIT SHALL BE DISHED WITH SIDEWALLS AS SHOWN BELOW. SCARIFY WALLS AND BOTTOM OF PIT.
- SET TREE IN PIT SO THAT THE FLARE IS ONE-TWO INCHES ABOVE SURROUNDING GRADE. IN ALL AREAS WITH HEAVY CLAY OR POORLY DRAINED SOILS (MOTTLING), CONTACT LANDSCAPE ARCHITECT. TREE MAY BE RELOCATED OR THE ROOTBALL FURTHER ELEVATED.
- REMOVE ANY SOIL FROM TOP OF ROOTBALL TO EXPOSE TOP OF FLARE. THE LANDSCAPE ARCHITECT WILL NOT ACCEPT ANY TREE UNLESS THE FLARE IS VISIBLE.
- BACKFILL PLANTING PIT TO WITHIN 12" OF GRADE AND THOROUGHLY WATER.
- REMOVE BURLAP, WIRE, AND ALL ROPE FROM THE TOP 12" OF THE ROOTBALL.
- BACKFILL TO THE TOP OF THE ROOTBALL.
- DO NOT CREATE WATERING RING.
- CONTACT OWNER'S REPRESENTATIVE TO INSPECT PLANTING PRIOR TO PLACING ANY MULCH OVER THE ROOT BALL.

## IRRIGATION REQUIREMENTS

IRRIGATION SYSTEM SHALL BE CONSTRUCTED AS A 'DESIGN BUILD' PROJECT AND SERVICE ALL LANDSCAPED AREA, EXCEPT WHERE NOTED OTHERWISE, INCLUDING LAWN AND PLANTING BEDS. CONTRACTOR TO SUBMIT DRAWINGS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.

## CONTAINER GROWN TREES

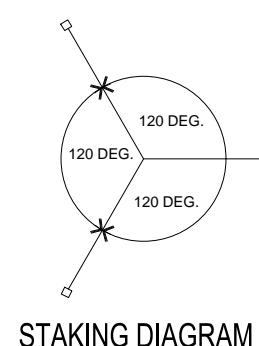
- LOCATE BUTTRESS ROOTS (SEE NOTES ABOVE).
- REMOVE EXCESS SOIL FROM TOP OF ROOT BALL TO EXPOSE TRUNK FLARE. MEASURE DEPTH OF ROOTBALL TO DETERMINE DEPTH OF PLANTING PIT.
- TO ELIMINATE ENCIRCLING ROOTS, MAKE SEVERAL VERTICAL SLITS AROUND PERIMETER OF ROOT MASS FROM TOP TO BOTTOM OF THE ROOTBALL. DEPTH OF SLITS INTO THE ROOTBALL SHALL BE AT LEAST 2".

## STAKING

GUY ASSEMBLY: 16" POLYPROPYLENE OR POLYETHYLENE (40 MIL) 1-1/2" WIDE STRIP. (TYP.) DOUBLE STRAND 14 GA WIRE & 3 STEEL STAKES OR SIGN POSTS @ 120 DEG. O.C. (SEE STAKING DIAGRAM).

CONTRACTOR SHALL STAKE TREES ONLY IF THE TREE(S) BEGIN TO LEAN WITHIN THE GUARANTEE PERIOD.

COORDINATE STAKING TO INSURE UNIFORM ORIENTATION OF GUY LINES AND STAKES.



## TREES WILL BE REJECTED FOR THE FOLLOWING REASONS:

- POOR FORM
- DAMAGED TRUNK
- BURIED ROOT FLARES
- ENCIRCLING TRANSPORT ROOTS
- UNCONSOLIDATED ROOTBALL SOIL (DUE TO EXCESSIVE HANDLING)



66TH STREET

PROPOSED MIXED-USE BUILDING  
FFE=845.42'

STEVENS AVENUE SOUTH

1ST AVENUE SOUTH

Luminaire Schedule				
TYPE	SYMBOL	QTY	DESCRIPTION	MODEL
Z1		2	LITHONIA D-SERIES SIZE 1-530-T2M	DSXW1 LED 10C 530 40K T2M MVOLT
Z12		5	LITHONIA D-SERIES SIZE 1-350-T2M	DSXW1 LED 10C 350 40K T2M MVOLT
Z14		1	LITHONIA D-SERIES SIZE 1 - T4M	DSXW1 LED 10C 350 40K T4M MVOLT
Z2F		3	LITHONIA D-SERIES SIZE 2 - TFTM	DSXW2 LED 20C 1000 40K TFTM MVOLT

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PROJECT

PLH MIXED USE  
BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

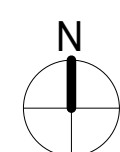
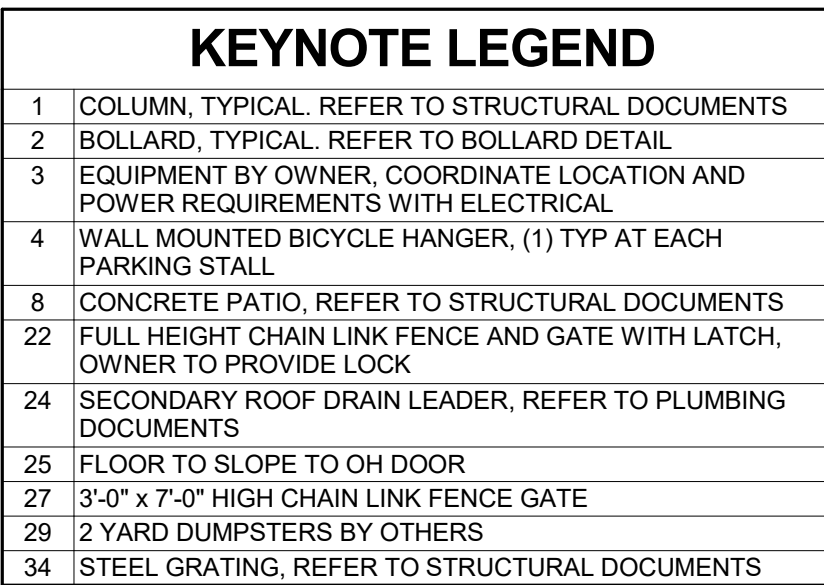
PROJECT NO.	17-20746
FILE NAME	20746 C6 - PHOTO
DRAWN BY	ART
DESIGNED BY	ART
REVIEWED BY	ATB
ORIGINAL ISSUE DATE	3/23/18
CLIENT PROJECT NO.	

TITLE

PHOTOMETRICS  
PLAN

SHEET

C6-10







# SHEET NOTES

1. ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE J6, UNLESS OTHERWISE NOTED.
2. SEE ENLARGED UNIT PLANS FOR UNIT WALL DIMENSIONS AND TYPES, DOOR NUMBERS AND ELEVATION REFERENCES.
3. TYPICAL DOOR LAYOUT IS FOR THE HINGE SIDE OF THE DOOR PANEL TO BE 6" FROM FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
4. DIMENSIONS ARE TO GRIDS AND CENTERLINE OF INTERIOR WALLS.
5. UNIT TYPES MAY BE MIRRORRED. COORDINATE ENLARGED UNIT TYPE PLANS WITH FLOOR PLANS.
6. REFER TO CODE PLANS FOR RATED EXTERIOR WALLS, REFER TO ASSEMBLY TYPES ON SHEET A1-01 FOR CONSTRUCTION.
7. GYP BD AT PARTY WALLS AND CEILINGS TO CONTINUE PAST INTERIOR WALLS AND THROUGH CHASES TO MAINTAIN SYSTEM INTEGRITY. PRE-ROCK ALL PARTY WALLS AND CEILINGS. SEE A1-01 FOR ASSEMBLY TYPES.
8. VERIFY ALL FRAMING DIMENSIONS W/ TUB ROUGH OPENING REQUIREMENTS PRIOR TO PANELIZING WALL SYSTEM.

# KEYNOTE LEGEND

- |    |   |
|----|---|
| 14 | BALCONY, REFER TO SECTION 5/A3-21                                     |
| 23 | ROOF DRAIN LEADER, REFER TO PLUMBING DOCUMENTS                        |
| 24 | SECONDARY ROOF DRAIN LEADER, REFER TO PLUMBING DOCUMENTS              |
| 26 | 24" x 24" ACCESS PANEL, COORDINATE LOCATION WITH MECHANICAL DOCUMENTS |

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

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PROJECT

## PLH MIXED USE BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

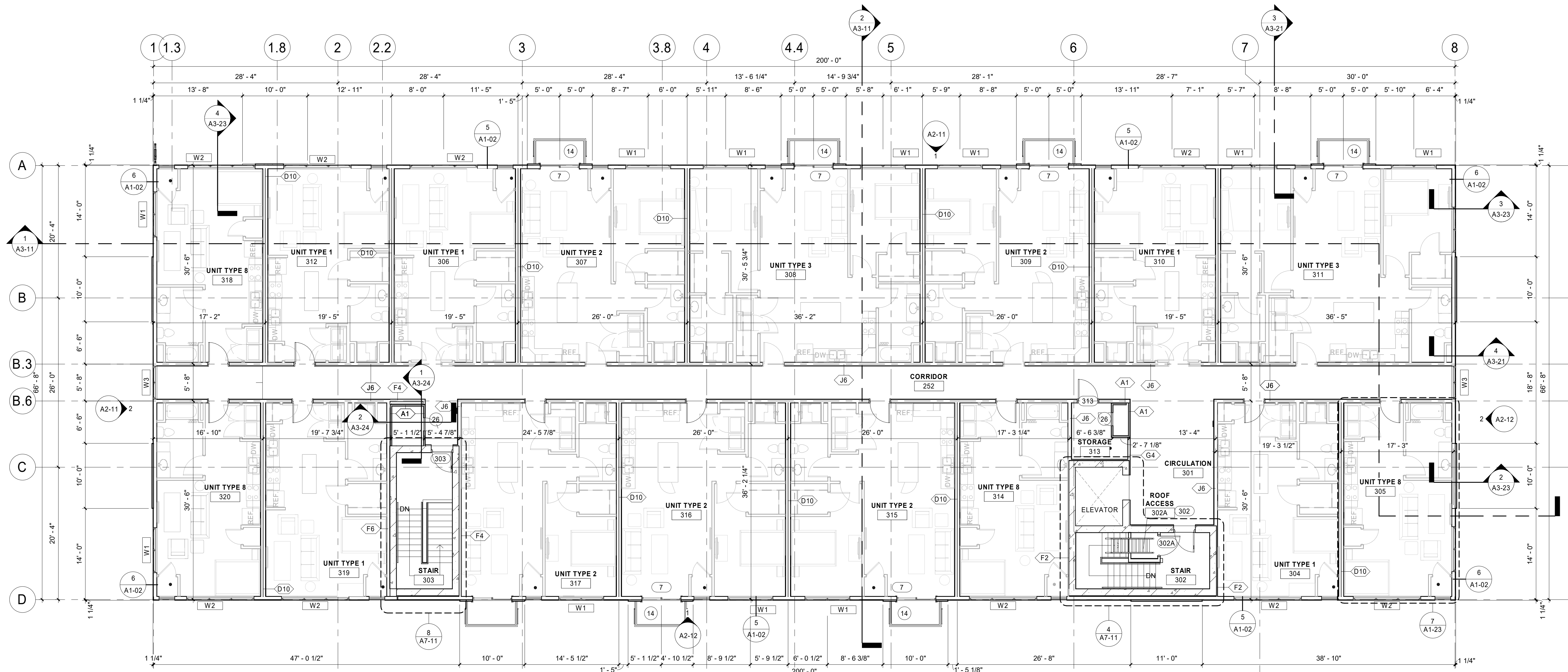
PROJECT NO. 17-20746  
FILE NAME 20746 ARCH R18.RVT  
DRAWN BY DRJ  
DESIGNED BY JPW  
REVIEWED BY JPW  
ORIGINAL ISSUE DATE 05/22/19  
CLIENT PROJECT NO.

TITLE

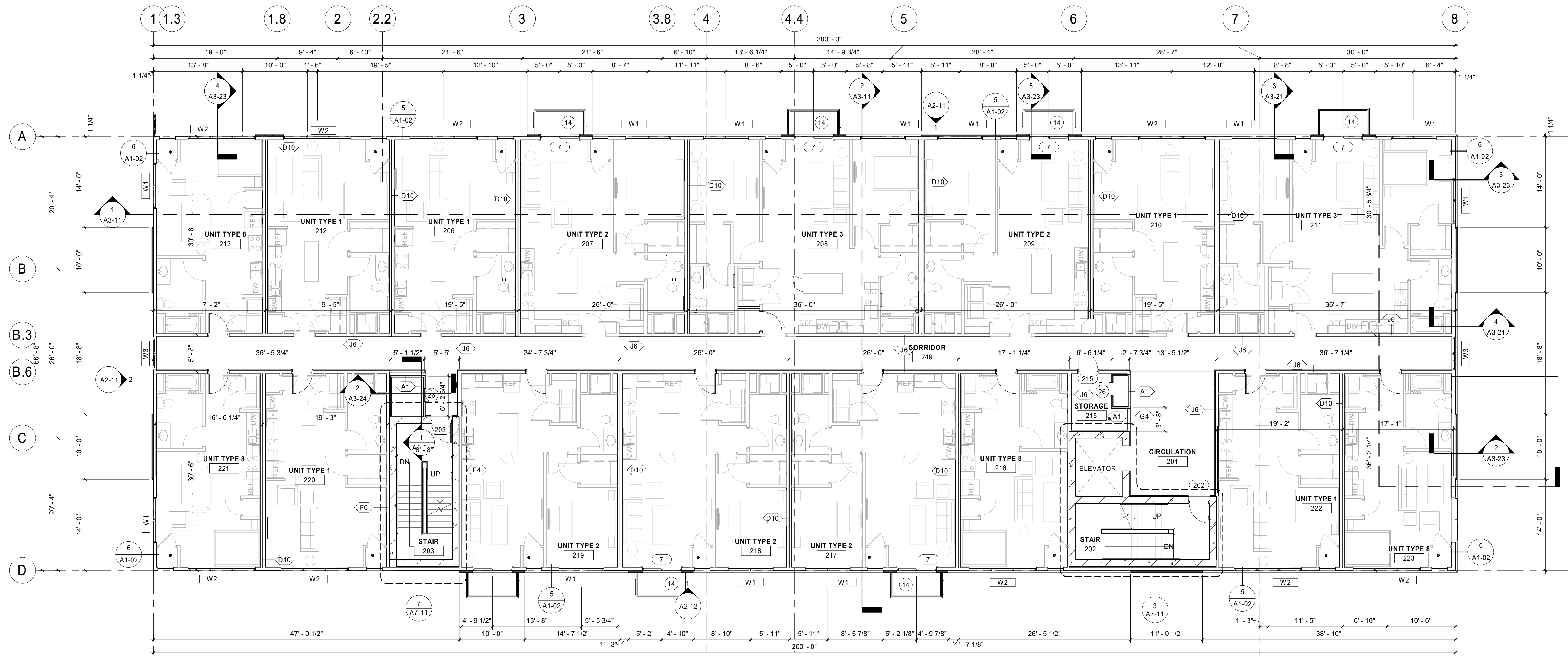
## SECOND AND THIRD FLOOR PLAN

SHEET

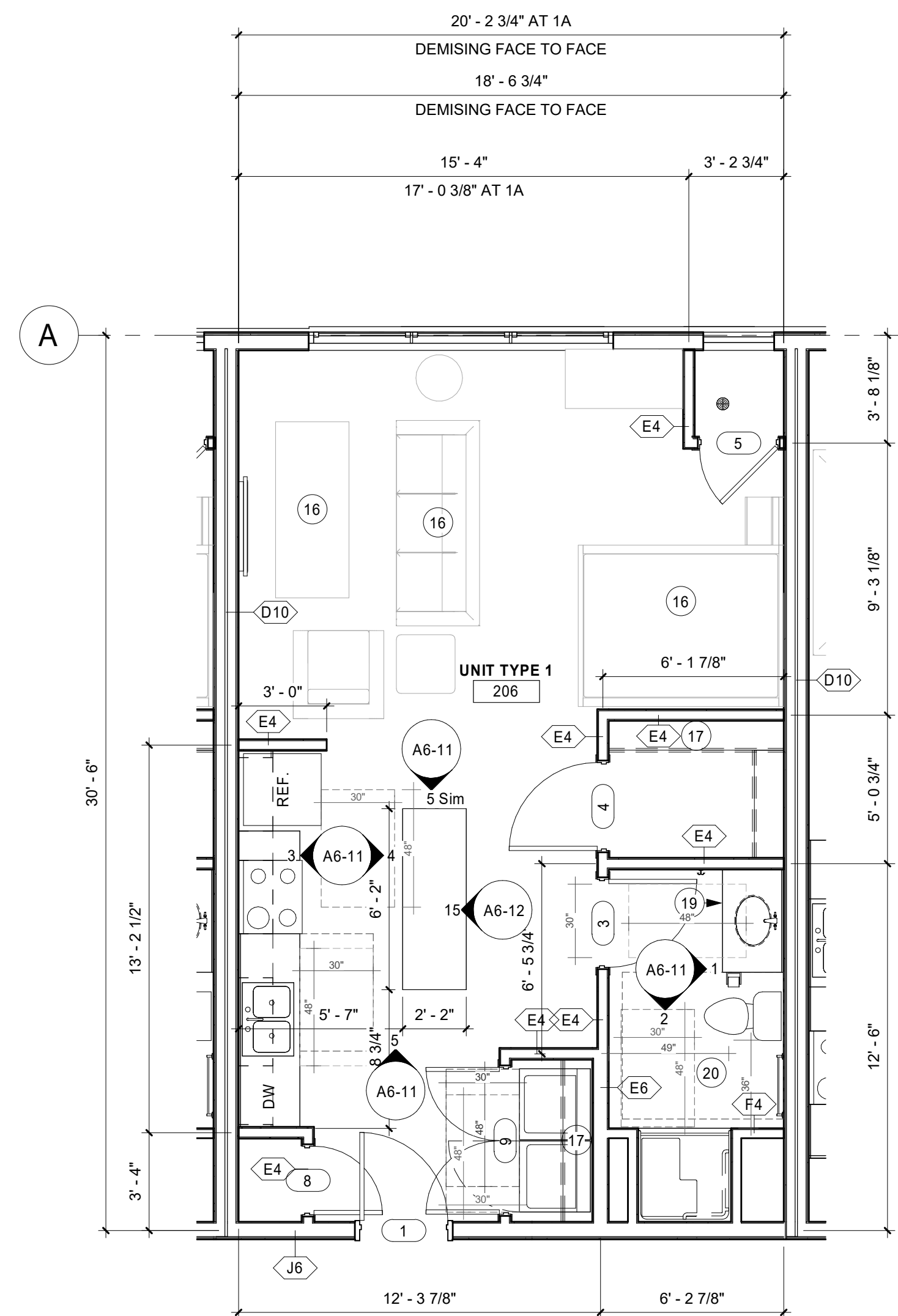
A1-22



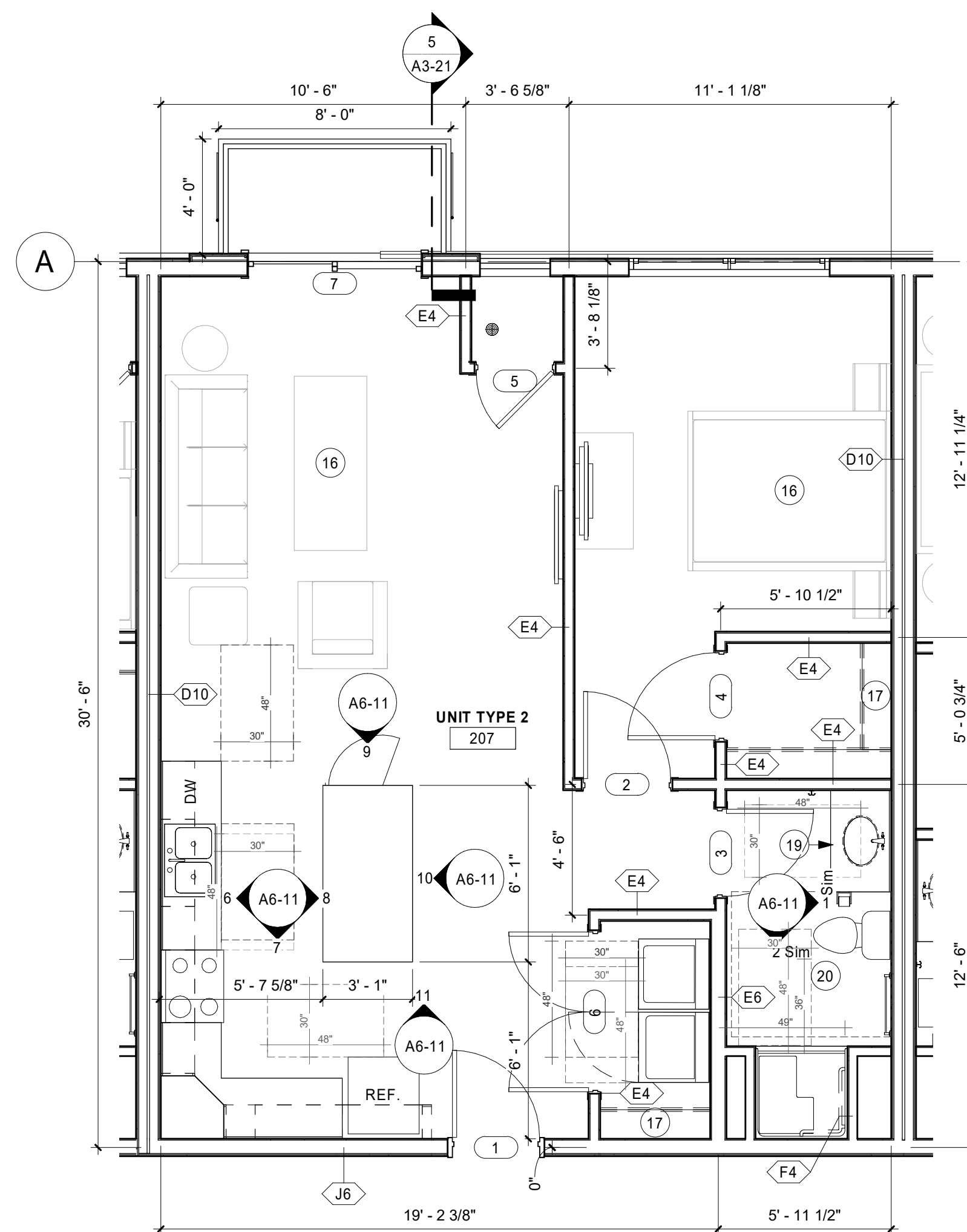
2 THIRD FLOOR PLAN  
1/8" = 1'-0"



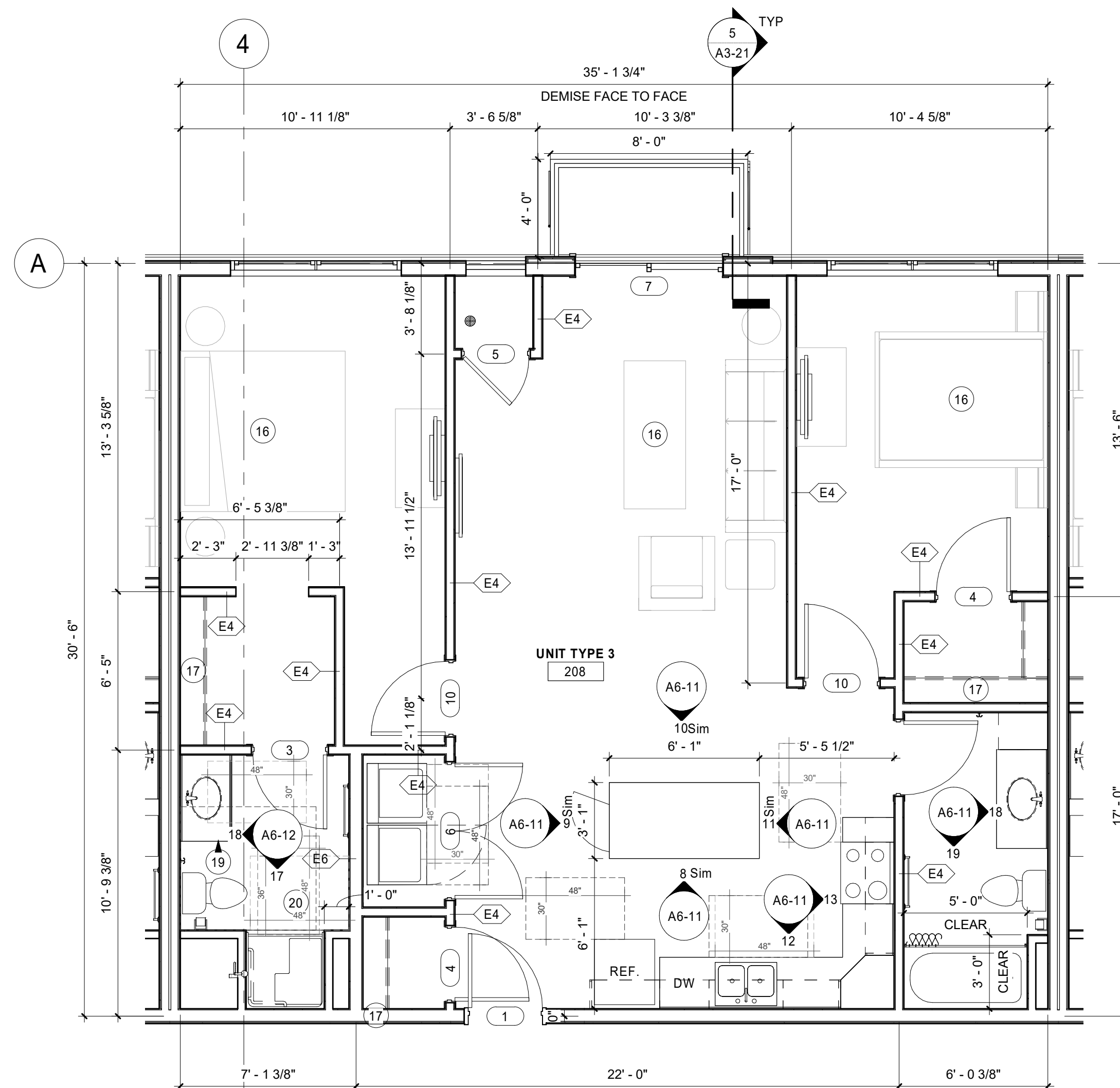
1 SECOND FLOOR PLAN  
1/8" = 1'-0"



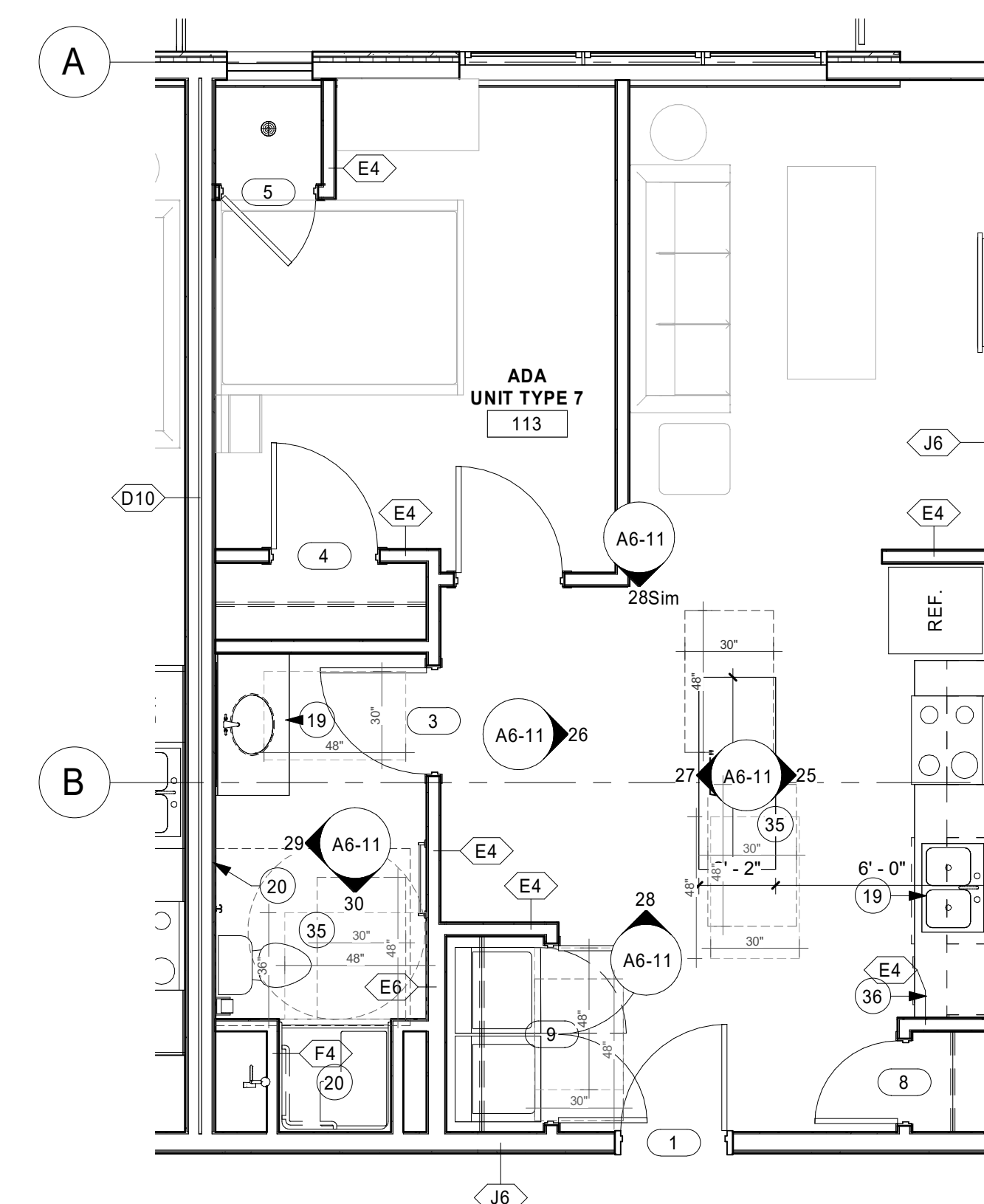
1 UNIT TYPE 1 - STUDIO TYPE B (1 - 580 SF - 10 INSTANCES)  
1/4" = 1'-0"



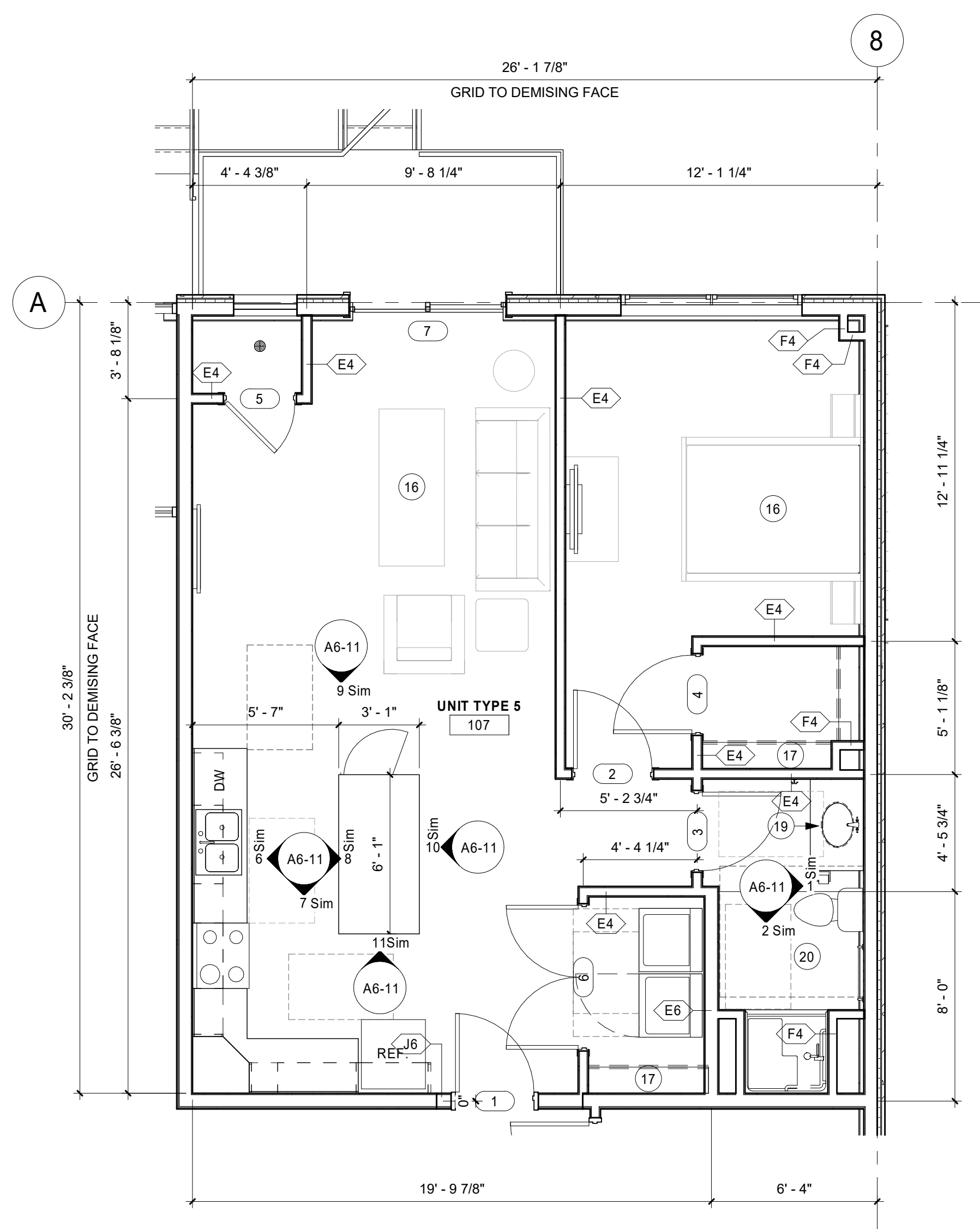
2 UNIT TYPE 2 - 1 BEDROOM TYPE B (780 SF - 18 INSTANCES)  
1/4" = 1'-0"



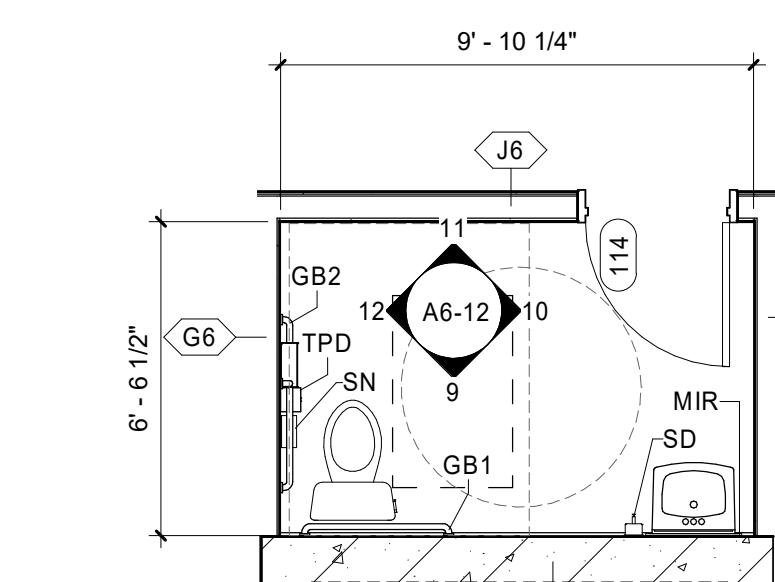
3 UNIT TYPE 3 - 2 BEDROOM TYPE B (1080 SF - 4 INSTANCES)  
1/4" = 1'-0"



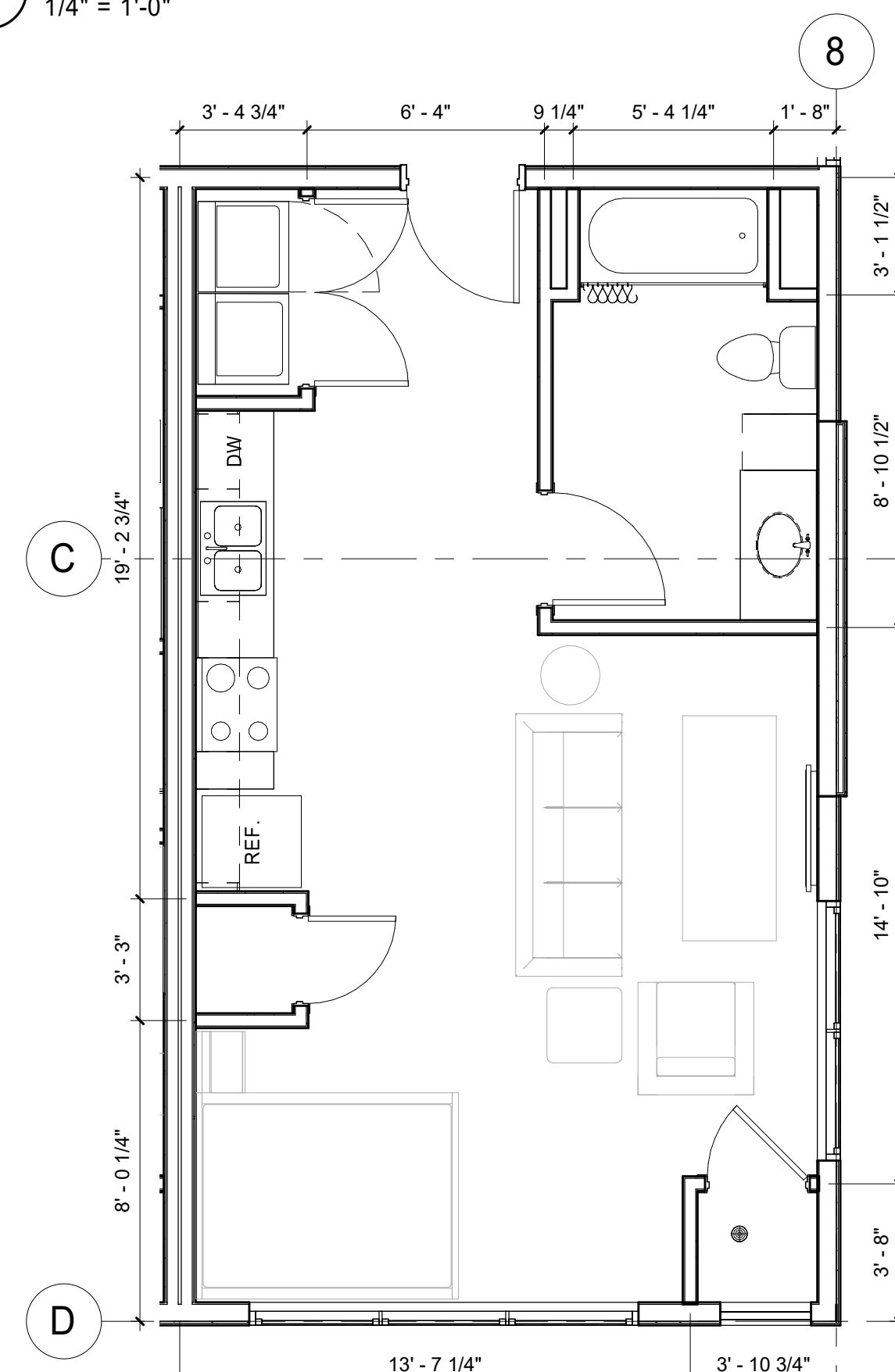
4 UNIT TYPE 7 - STUDIO - TYPE A (670 SF - 1 INSTANCE)  
1/4" = 1'-0"



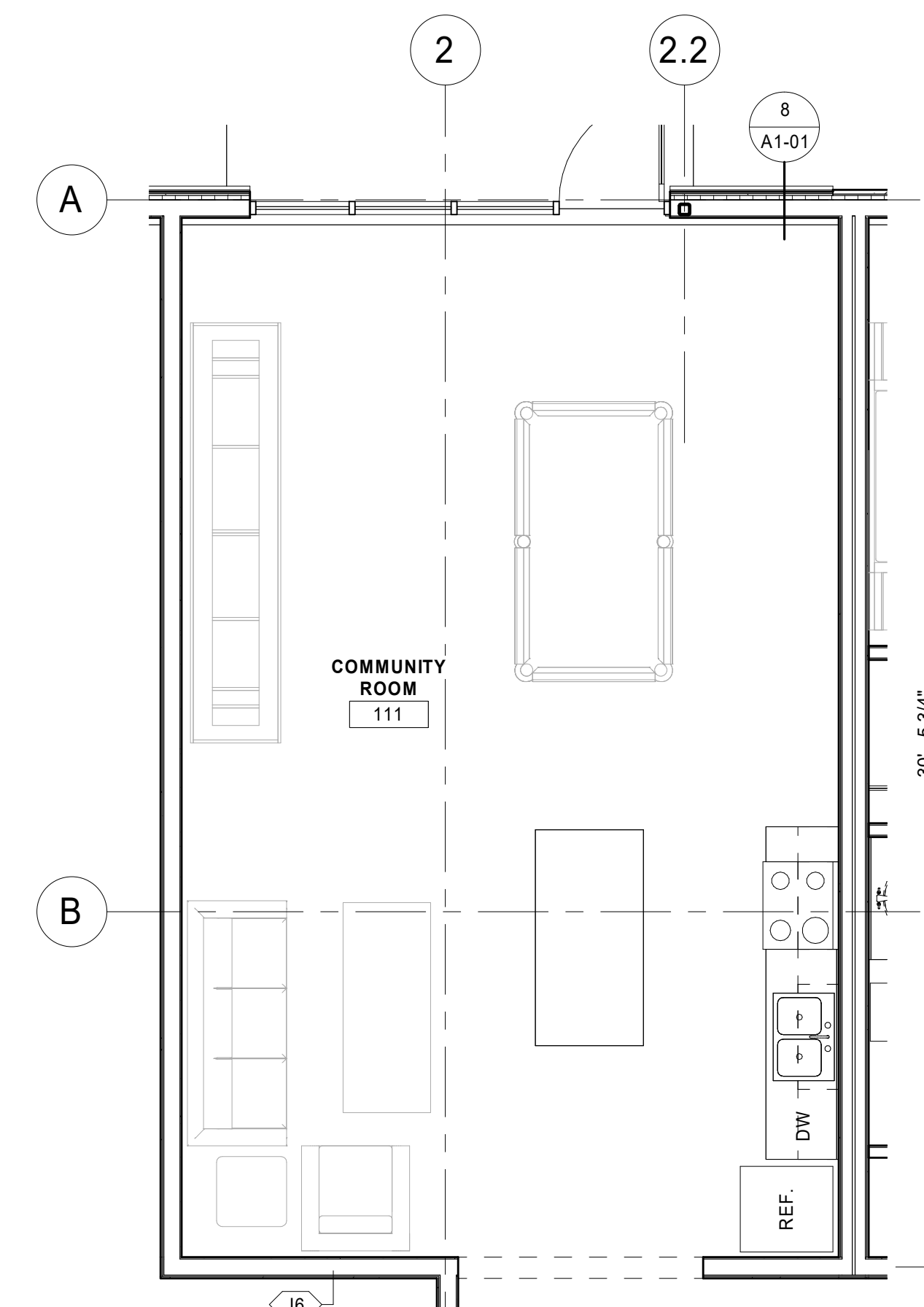
6 UNIT TYPE 5 - 1 BEDROOM TYPE B (780 SF - 1 INSTANCE)  
1/4" = 1'-0"



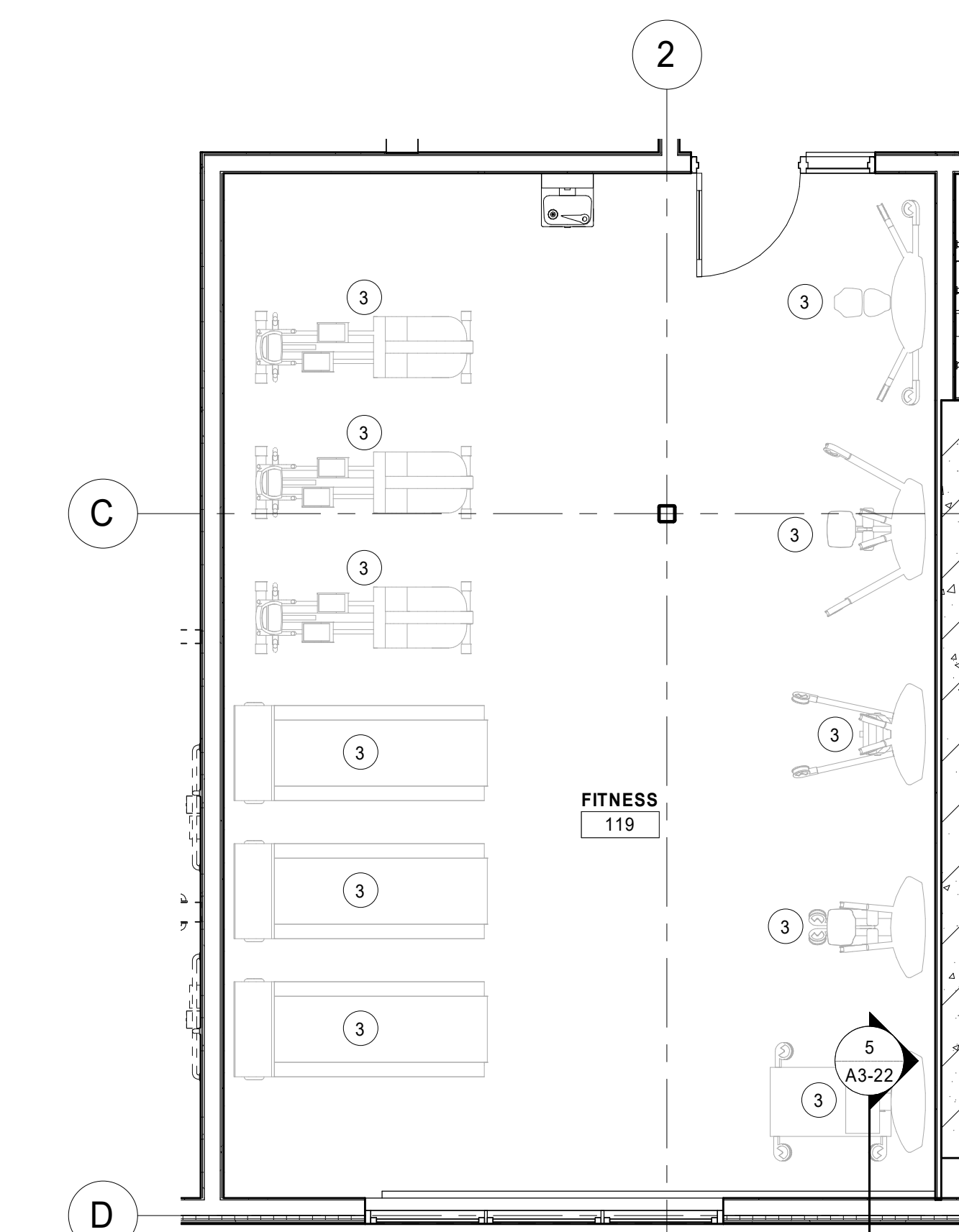
5 FIRST FLOOR TOILET 114  
1/4" = 1'-0"



7 UNIT TYPE 8 - STUDIO (510 SF - 8 INSTANCES)  
1/4" = 1'-0"



8 ENLARGED COMMUNITY ROOM PLAN  
1/4" = 1'-0"



9 ENLARGED FITNESS ROOM PLAN  
1/4" = 1'-0"

RESTROOM ACCESSORY SCHEDULE		
MARK	DESCRIPTION	COMMENTS
GB1	GRAB BAR - HORIZONTAL, 36" LONG	CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
GB2	GRAB BAR - HORIZONTAL, 42" LONG	CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
MIR	24"x36" FRAMELESS GLASS MIRROR	CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
PWL	TOILET PAPER DISPENSER - SHEET	CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
PTD	SOAP DISPENSER	CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
SN	SANITARY NAPKIN DISPOSAL	CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
TPO	TOILET PAPER DISPENSER	CONTRACTOR PROVIDED, CONTRACTOR INSTALLED

KEYNOTE LEGEND	
3	EQUIPMENT BY OWNER. COORDINATE LOCATION AND POWER REQUIREMENTS WITH ELECTRICAL
6	MECHANICAL UNIT. REFER TO MECHANICAL DOCUMENTS
7	FURNITURE BY OWNER
17	WIRE CLOSET SHELVING UNIT. COORDINATE WITH OWNER
19	SINK BASE IS REMOVABLE. COUNTER IS AT 34" AFF
20	PROVIDE BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN THIS BATHROOM
35	ALL FIXTURES THIS ROOM TO COMPLY WITH ADA MOUNTING HEIGHTS AND LOCATIONS - SEE SHEET G-1
36	BASE CABINET IS REMOVABLE

## SHEET NAMES

1. ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE J6 UNLESS OTHERWISE NOTED.
2. SEE ENLARGED UNIT PLANS FOR UNIT WALL DIMENSIONS AND TYPES, DOOR NUMBERS AND ELEVATION REFERENCES.
3. TYPICAL DOOR LAYOUT IS FOR THE HINGE SIDE OF THE DOOR PANEL TO BE 6" FROM FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
4. DIMENSIONS ARE TO GRIDS AND CENTERLINE OF INTERIOR WALLS.
5. UNIT TYPES MAY BE MIRRORED, COORDINATE ENLARGED UNIT TYPE PLANS WITH FLOOR PLANS.
6. REFER TO CODE PLANS FOR RATED EXTERIOR WALLS, REFER TO ASSEMBLY TYPES ON SHEET A-1-01 FOR CONSTRUCTION.
7. GYP BD AT PARTY WALLS AND CEILINGS TO CONTINUE PART INTERIOR WALLS AND THROUGH CHASES TO INTERIOR SYSTEM. SEE PRE-BOOK ALL PARTY WALLS AND CEILINGS. SEE A-1-01 FOR ASSEMBLY TYPES.
8. VERIFY ALL FRAMING DIMENSIONS W/ TUB ROUGH CHECK REQUIREMENTS PRIOR TO PANELIZING WALL SYSTEM.

ISG

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JASON E. HOEH

JASON E. HOEHN  
*Jason E. Hoehn*  
DATE 05/22/2019 LIC. NO. 40422  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR  
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ARCHITECT UNDER THE LAWS OF THE STATE OF  
MINNESOTA. JEREMY WIESEN

DATE 05/22/2019 UC NO 49451

DATE \_\_\_\_\_ LIC. NO. \_\_\_\_\_

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PROJECT

## PLH MIXED USE BUILDING

RICHFIELD MINNESOTA

[illegible]

PROJECT NO.	17-20746
FILE NAME	20746 ARCH R18.RVT
DRAWN BY	DRL
DESIGNED BY	JPW
REVIEWED BY	JPW
ORIGINAL ISSUE DATE	05/22/19
CLIENT PROJECT NO.	

TITLE
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## TYPICAL UNIT PLANS

SHEET

**A1-23**

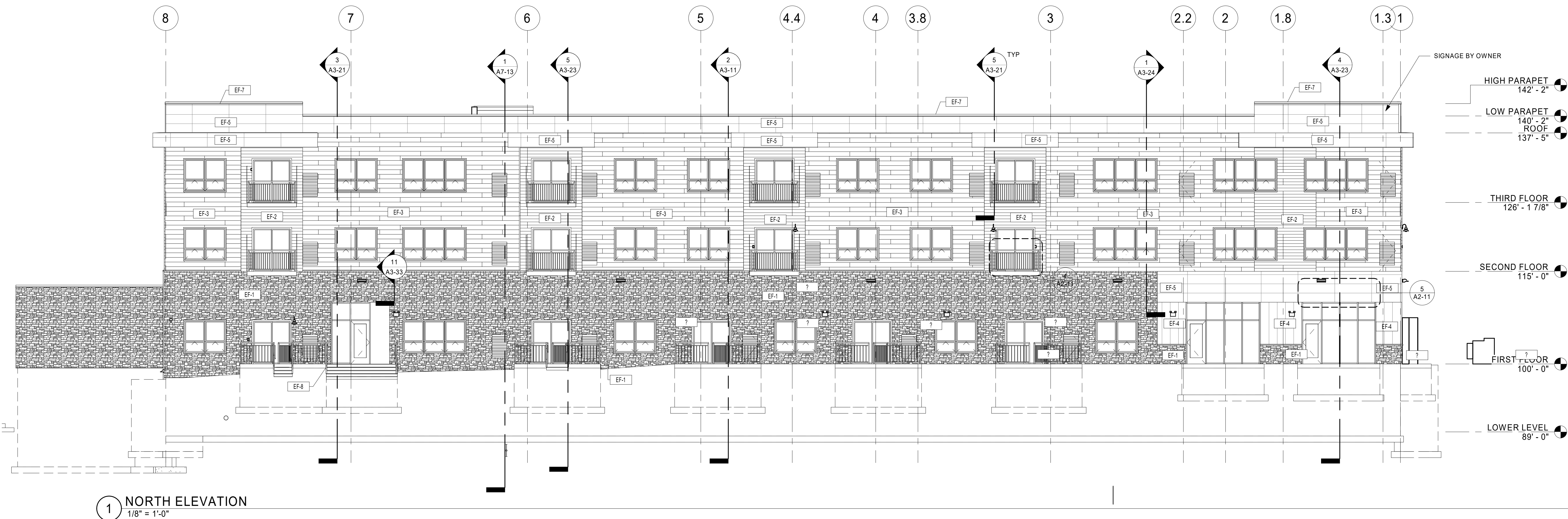


SIGNAGE				
MARK	WIDTH	HEIGHT	TEXT HEIGHT	COUNT
S3	8' - 6"	2' - 0"	1' - 0"	1
S5	12' - 0"	3' - 0"	1' - 6"	2

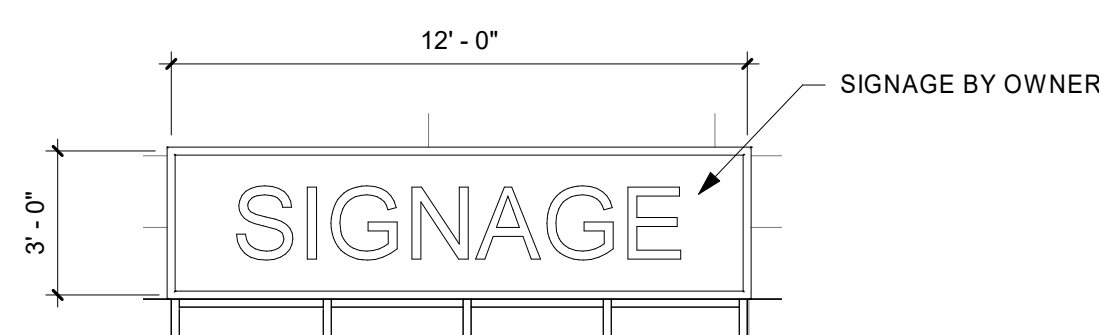
NOTE:  
OWNER TO APPROVE OF ALL FINISHES AND  
COLORS PRIOR TO PLACING FINAL ORDER

EXTERIOR WALL MATERIAL SCHEDULE AND TAKEOFF				
MARK	MATERIAL DESCRIPTION	MANUFACTURER	MODEL / COLOR	COMMENTS
EF-1	STONE PANEL		LEDGESTONE / OWNER TO SELECT COLOR	PROVIDE MATCHING SILL, FLASHING TO MATCH STONE
EF-2	6" LAP SIDING		OWNER TO SELECT COLOR	INSTALL HORIZONTALLY
EF-3	18" x 120" FIBER CEMENT SIDING		CEDAR	INSTALL HORIZONTALLY
EF-3A	METAL PANEL		CN1653, COLOR MANSARD BROWN	INSTALL HORIZONTALLY
EF-4	BOARD AND BATTEN SIDING		WHITE	INSTALL VERTICALLY
EF-5	18" x 72" FIBER CEMENT PANELS		GREY	INSTALL HORIZONTALLY
EF-7	CAP FLASHING		TO MATCH ADJACENT FINISH	
EF-8	PAINT		TO MATCH ADJACENT FINISH	

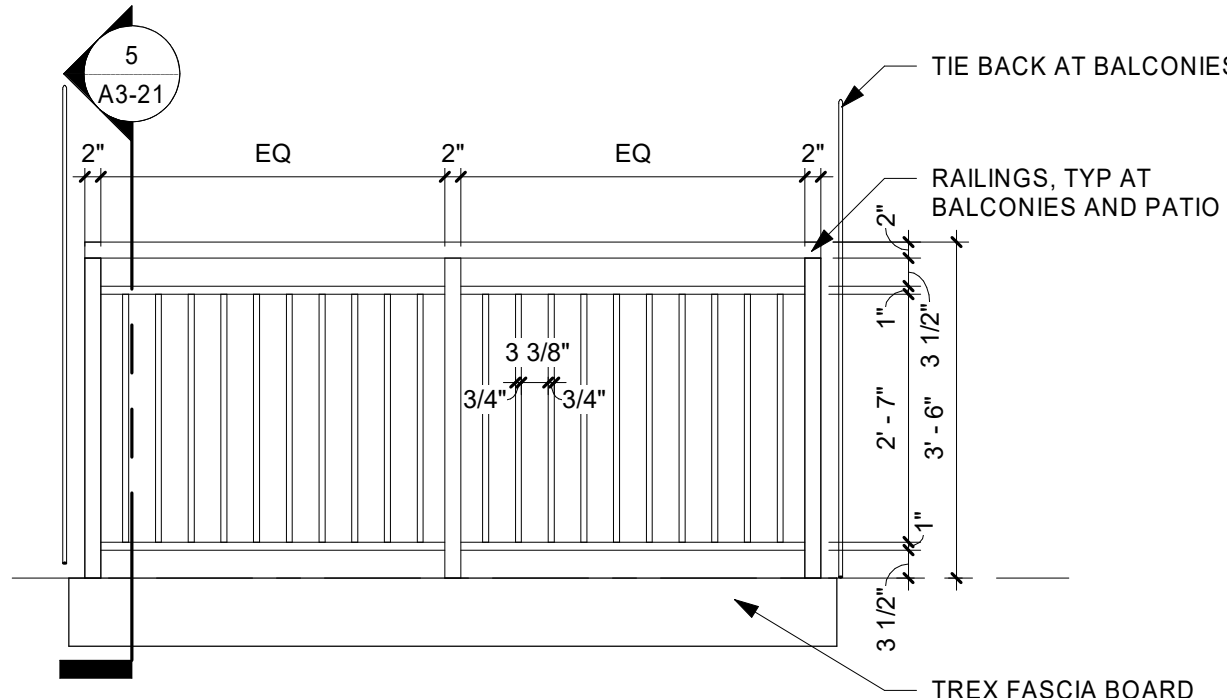
ALTERNATE:  
PROVIDE COST TO REPLACE UP TO 50% OF  
THE EF-3 WITH EF-3A



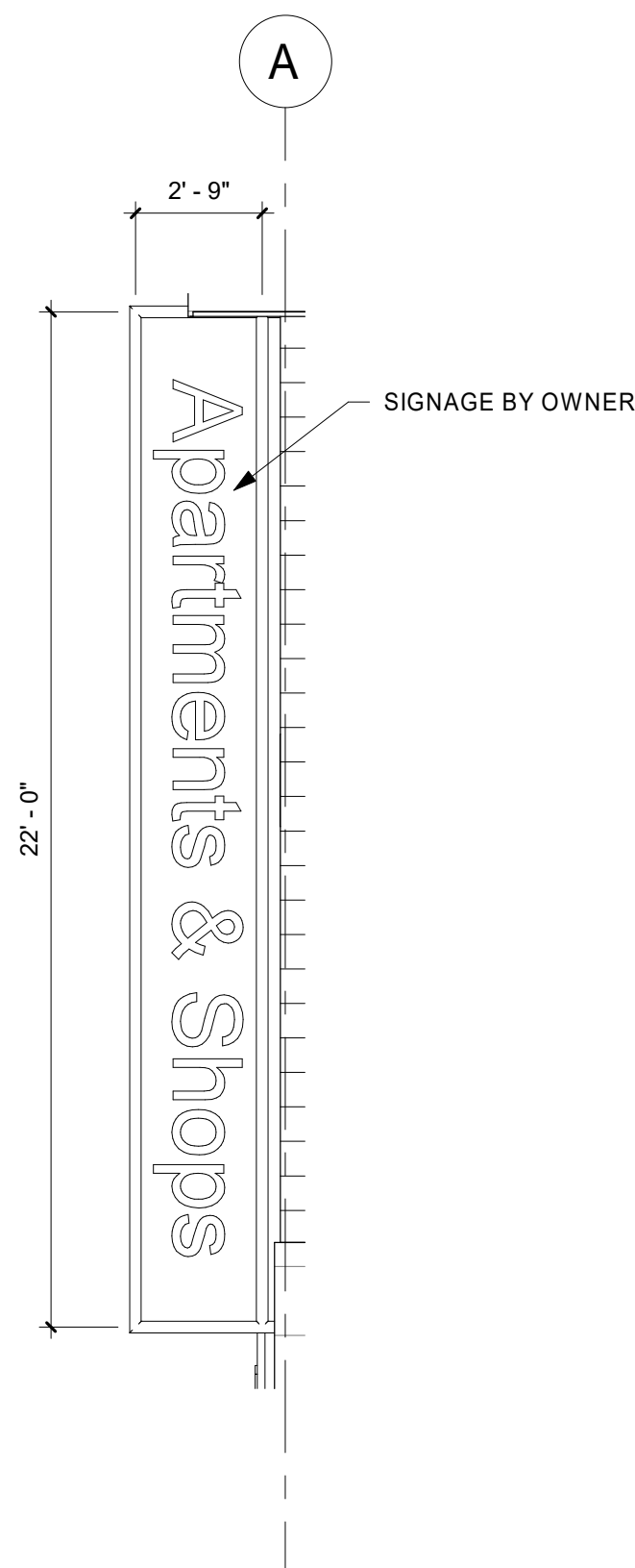
1 NORTH ELEVATION  
1/8" = 1'-0"



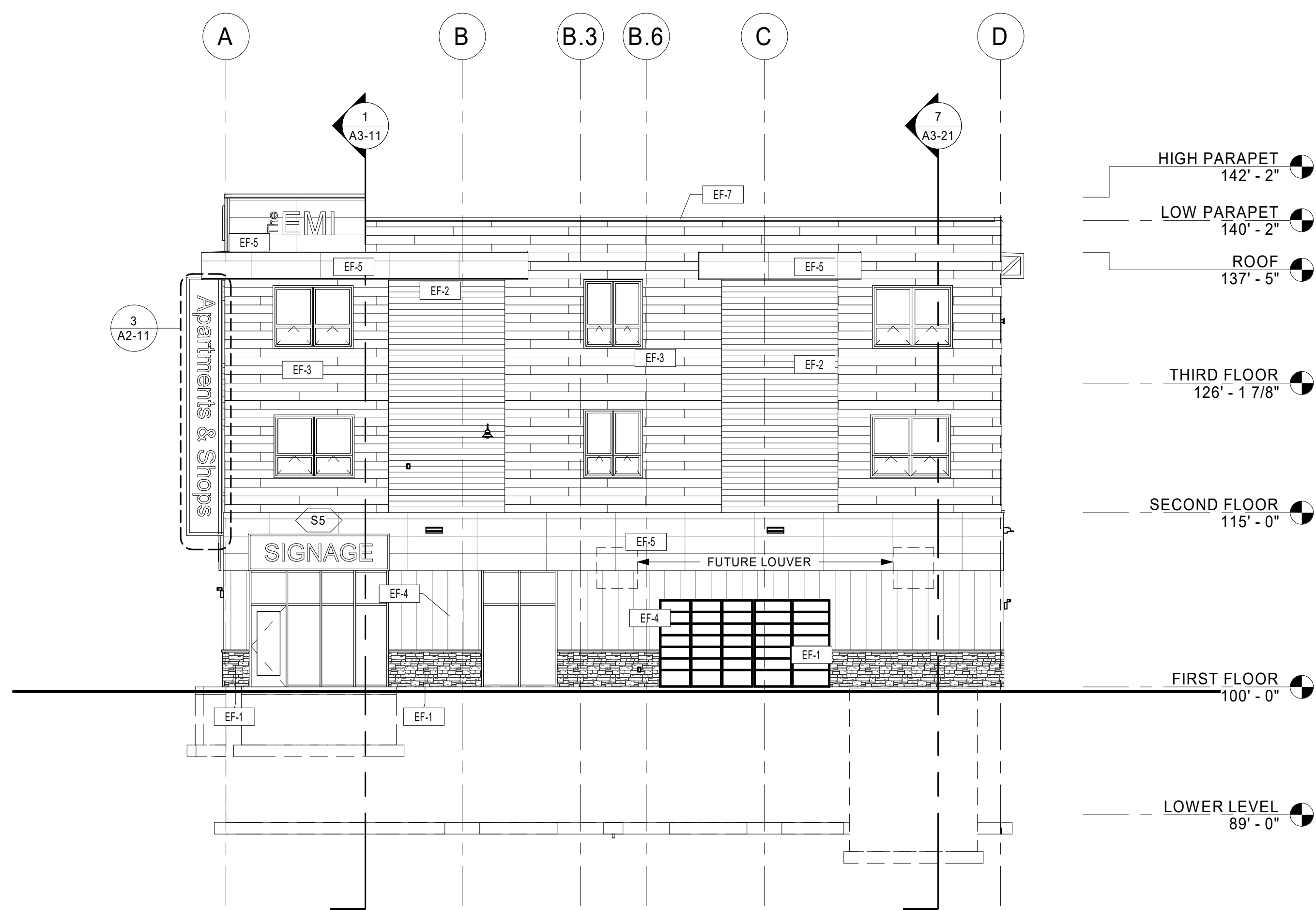
5 ENLARGED SIGN DETAIL  
1/4" = 1'-0"



4 TYPICAL RAILING ELEVATION  
1/2" = 1'-0"



3 ENLARGED SIGN DETAIL  
1/4" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

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PROJECT

## PLH MIXED USE BUILDING

RICHFIELD MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

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DRAWN BY	DRL
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TITLE

## EXTERIOR ELEVATIONS

SHEET

A2-11



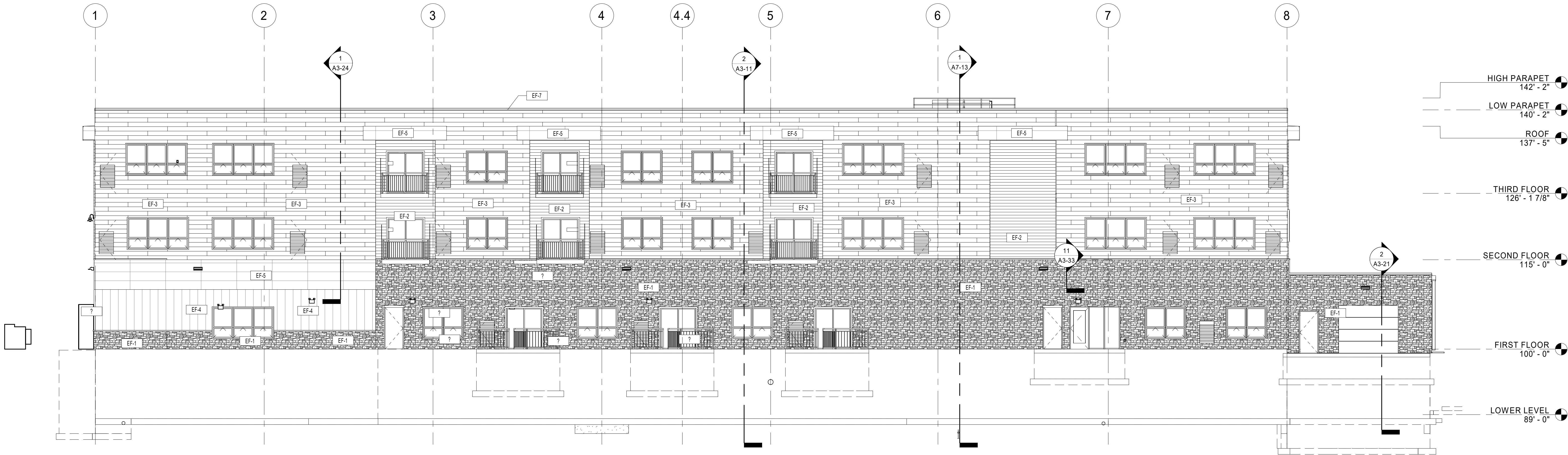


SIGNAGE				
MARK	WIDTH	HEIGHT	TEXT HEIGHT	COUNT
S3	8' - 6"	2' - 0"	1' - 0"	1
S5	12' - 0"	3' - 0"	1' - 6"	2

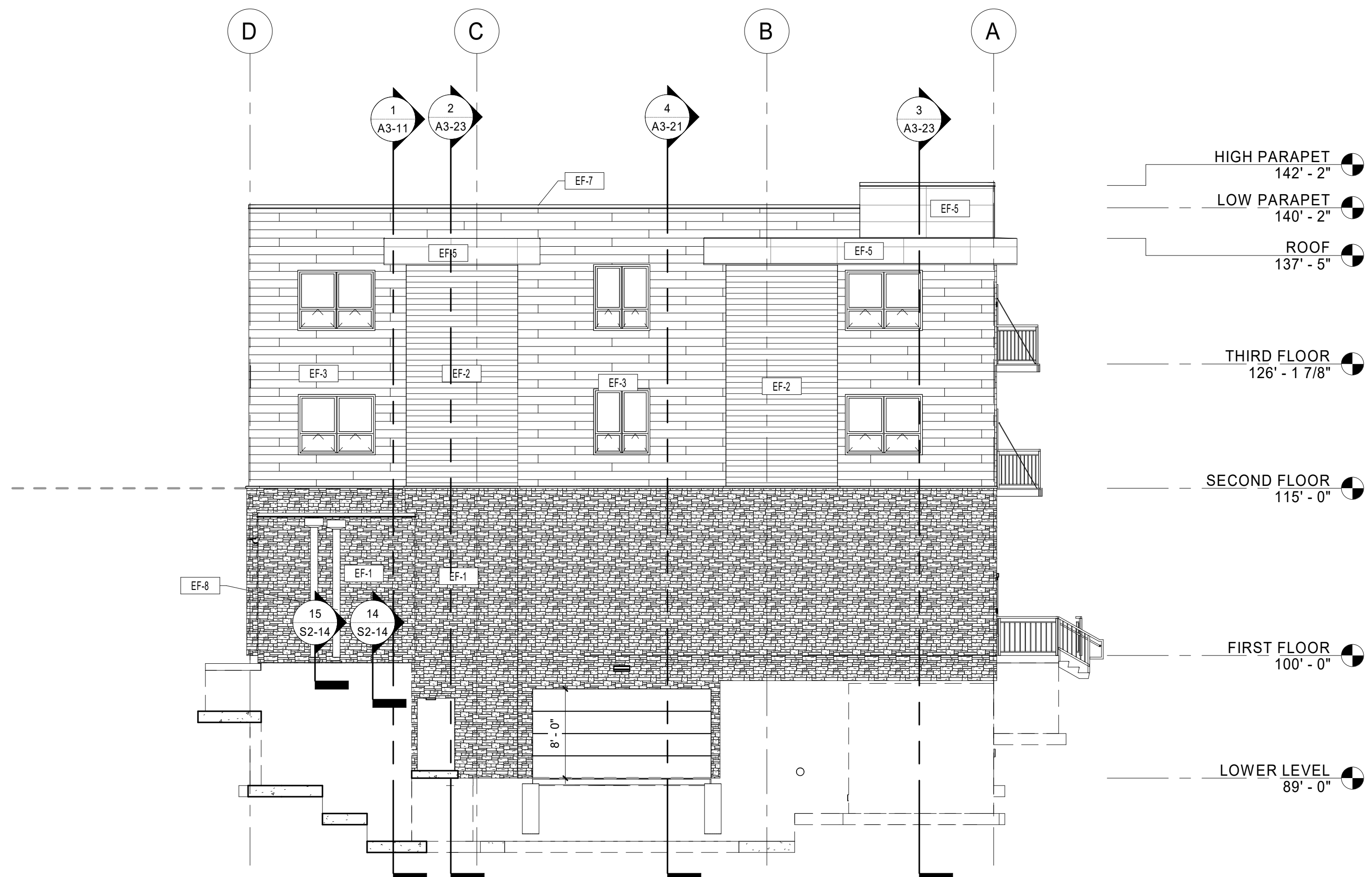
NOTE:  
OWNER TO APPROVE OF ALL FINISHES AND COLORS PRIOR TO PLACING FINAL ORDER

EXTERIOR WALL MATERIAL SCHEDULE AND TAKEOFF				
MARK	MATERIAL DESCRIPTION	MANUFACTURER	MODEL / COLOR	COMMENTS
EF-1	STONE PANEL		LEDGESTONE / OWNER TO SELECT COLOR	PROVIDE MATCHING SILL, FLASHING TO MATCH STONE
EF-2	6" LAP SIDING		OWNER TO SELECT COLOR	INSTALL HORIZONTALLY
EF-3	18" x 120" FIBER CEMENT SIDING		CEDAR	INSTALL HORIZONTALLY
EF-3A	METAL PANEL		CN1653, COLOR MANSARD BROWN	INSTALL HORIZONTALLY
EF-4	BOARD AND BATTEN SIDING		WHITE	INSTALL VERTICALLY
EF-5	18" x 72" FIBER CEMENT PANELS		GREY	INSTALL HORIZONTALLY
EF-7	CAP FLASHING		TO MATCH ADJACENT FINISH	
EF-8	PAINT		TO MATCH ADJACENT FINISH	

ALTERNATE:  
PROVIDE COST TO REPLACE UP TO 50% OF THE EF-3 WITH EF-3A



1 SOUTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

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## EXTERIOR ELEVATIONS

SHEET

A2-12