

PLOT PLAN

SCALE: 1" = 30'-0"

INFORMATION ON PLOT PLAN OBTAINED FROM SURVEY PREPARED BY:

FLETCHER ENGINEERING, INC.
 ENGINEERS-SURVEYORS-PLANNERS
 P.O. BOX 329
 FORDS, NEW JERSEY
 (732) 738-8809
 DATED: 12/06/21

SIGNATURE BLOCK:
 CITY ENGINEER:
 BOARD CHAIRMAN:
 BOARD SECRETARY:

CITY OF PLAINFIELD SCHEDULE B - BULK ZONING REQUIREMENTS:

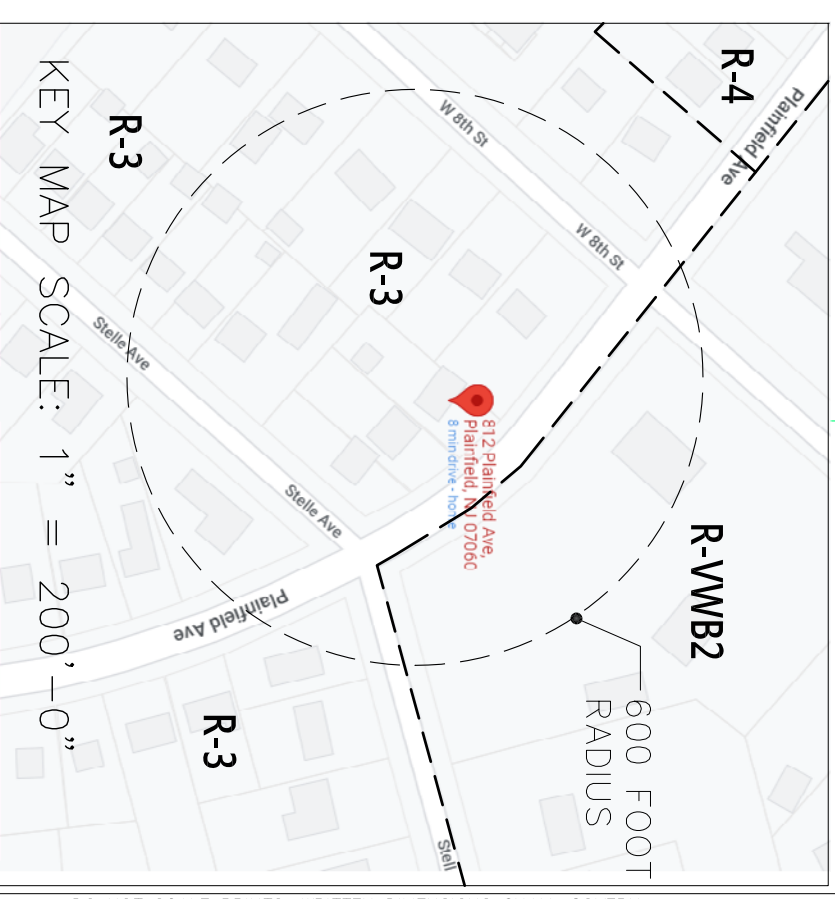
ZONE: R-3	REQUIRED	EXISTING	PROPOSED
Minimum Lot Area (square feet)	12,000	10,236.47	ND CHANGES
Maximum Density (du. per acre)	3.5	2.0	ND CHANGES
Minimum Lot Width (feet)	100	57.50	ND CHANGES
Minimum Lot Frontage (feet)	100	57.73	ND CHANGES
Minimum Lot Depth (feet)	100	179.51	ND CHANGES
House Front Yard Setback (feet)	25	44.9	ND CHANGES
House Side Yard Setback (feet) (WEST)	10	3.9	ND CHANGES
House Combined Side Yard Setbacks (feet)	30	13.2	ND CHANGES
House Rear Yard Setback (feet)	30	93.0	ND CHANGES
House Maximum Floor Area Ratio	N/A	N/A	ND CHANGES
Maximum Percent Building Cover	25%	17.7%	23.7%
Maximum Percent Total Lot Cover	40%	58%	64%
Minimum Number of Stories	N/A	N/A	ND CHANGES
Maximum Number of Stories	3	3.0	ND CHANGES
House Maximum Building Height (feet)	35	+/-32	ND CHANGES
Minimum Improvable Area (MIA in square feet)	3,000	5,940	ND CHANGES
MIA - Diameter of Circle (feet)	38	38	ND CHANGES
Garage Side Yard Setback (feet)	5.0	0.3	ND CHANGES
Garage Rear Side Yard Setback (feet)	5.0	25.66	3.66
Garage Coverage (% of principal building coverage)	35	28.4	72
Garage Maximum Number of Stories	1	1	1
Maximum Building Height (feet)	15	8	14.08

BUILDING SUBCODE INFORMATION

INTERNATIONAL RESIDENTIAL BUILDING CODE 2018 NEW JERSEY EDITION

- USE GROUP-RESIDENTIAL ONE & TWO FAMILY.....R-5
- CONSTRUCTION CLASSIFICATION.....TYPE V-B
- GARAGE AREA CALCULATIONS:

GARAGE & OVERHANG:	EXISTING	NEW	TOTAL
FIRST FLOOR	402 SQ. FT.	617 SQ. FT.	1019 SQ. FT.



PLOT PLAN; ZONING CHART KEY MAP




PROPOSED GARAGE EXTENSION FOR:
ANGEL ARRIAGA
812 PLAINFIELD AVENUE
PLAINFIELD, NEW JERSEY

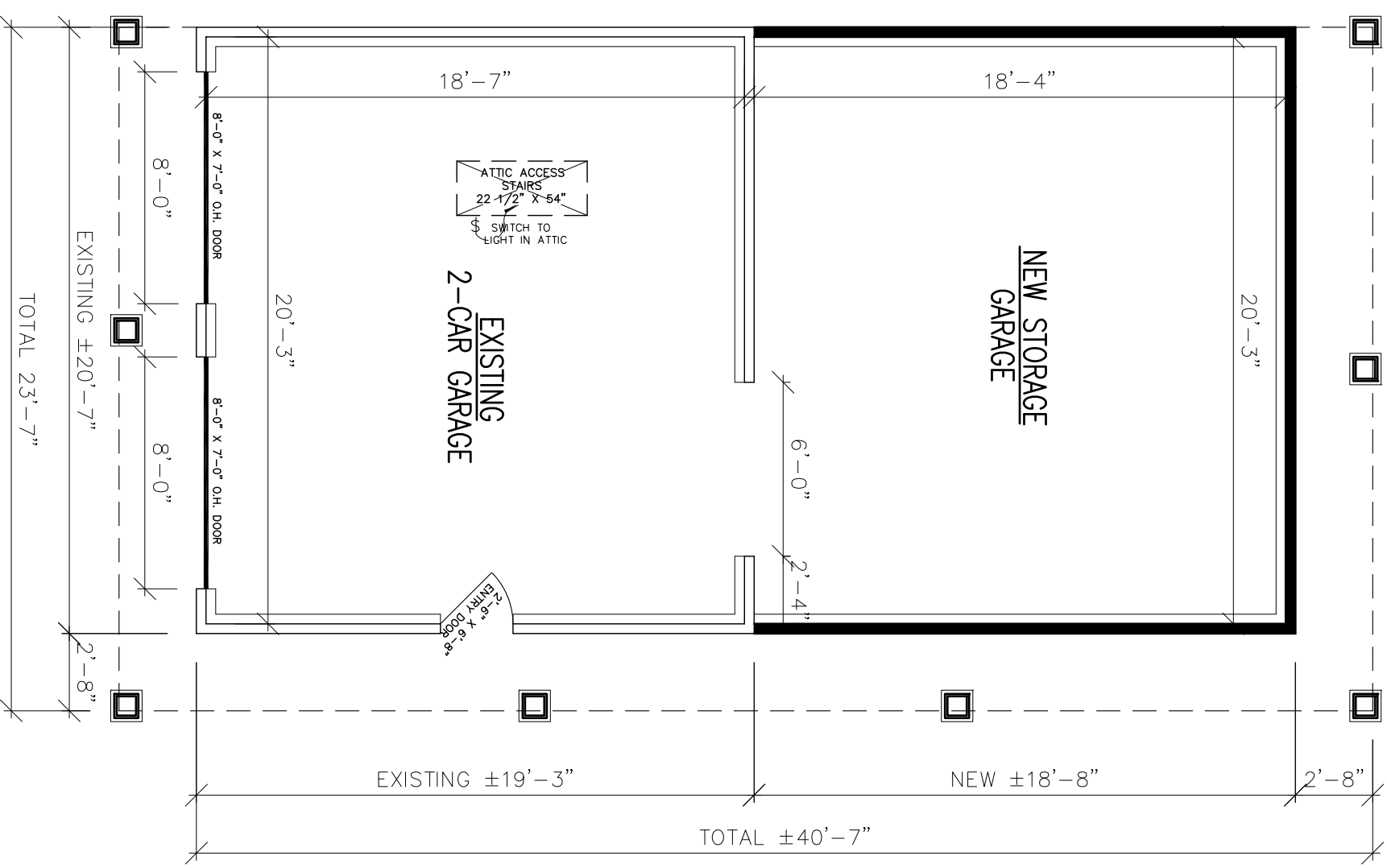
STEVE J. DRUGA, A.I.A.
 REGISTERED ARCHITECT
 TEL: (732) 752-3205
 FAX: (732) 752-7041
 E-MAIL: stevedrugadugarchitect.com

250 STELTON RD. SUITE # 6
 PISCATAWAY N.J. 08854

NEW JERSEY REG. # A06897	PROJECT	SHEET
ARIZONA REG. # 12332	2K22-015B	P-1
DRAWN BY: ED	SCALE: NTS	1 OF 4 SHEETS
DATE: 8-11-2022		

DO NOT SCALE PRINTS, WRITTEN DIMENSIONS SHALL GOVERN

WALL CONSTRUCTION LEGEND	
	EXISTING WALL TO BE REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WOOD FRAMED CONSTRUCTION



GARAGE FIRST FLOOR
SCALE: 3/16" = 1'-0"

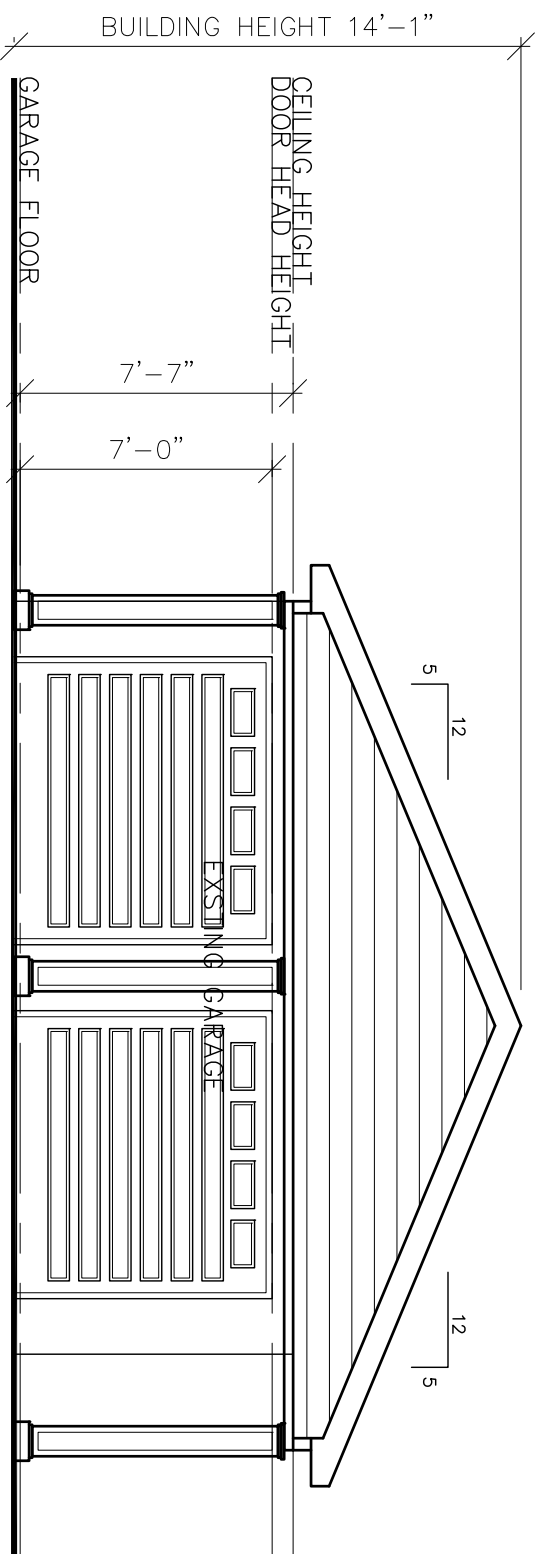
**FIRST FLOOR PLAN
SECOND FLOOR PLAN**

PROPOSED GARAGE EXTENSION FOR:
**ANGEL ARRIAGA
812 PLAINFIELD AVENUE
PLAINFIELD, NEW JERSEY**

STEVE J. DRUGA, A.I.A.
REGISTERED ARCHITECT
TEL: (732) 752-3205
FAX: (732) 752-7041
E-MAIL: steve@stevedrugarchitect.com
250 STELTON RD. SUITE # 6
PISCATAWAY N.J. 08854

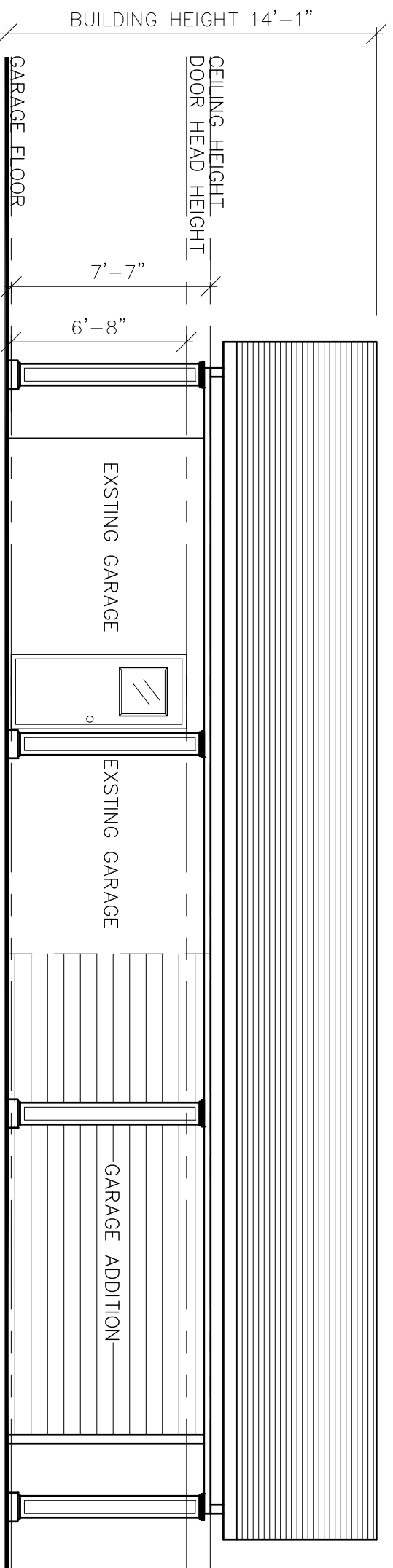
NEW JERSEY REG. # A106997	PROJECT	SHEET
ARIZONA REG. # 12332		
DRAWN BY: ED		
SCALE: NTS	2K22-019E	A-1
DATE: 8-11-2022		2 OF 4 SHEETS

MODIFIED:



FRONT ELEVATION

SCALE: 3/16" = 1'-0"




RIGHT ELEVATION

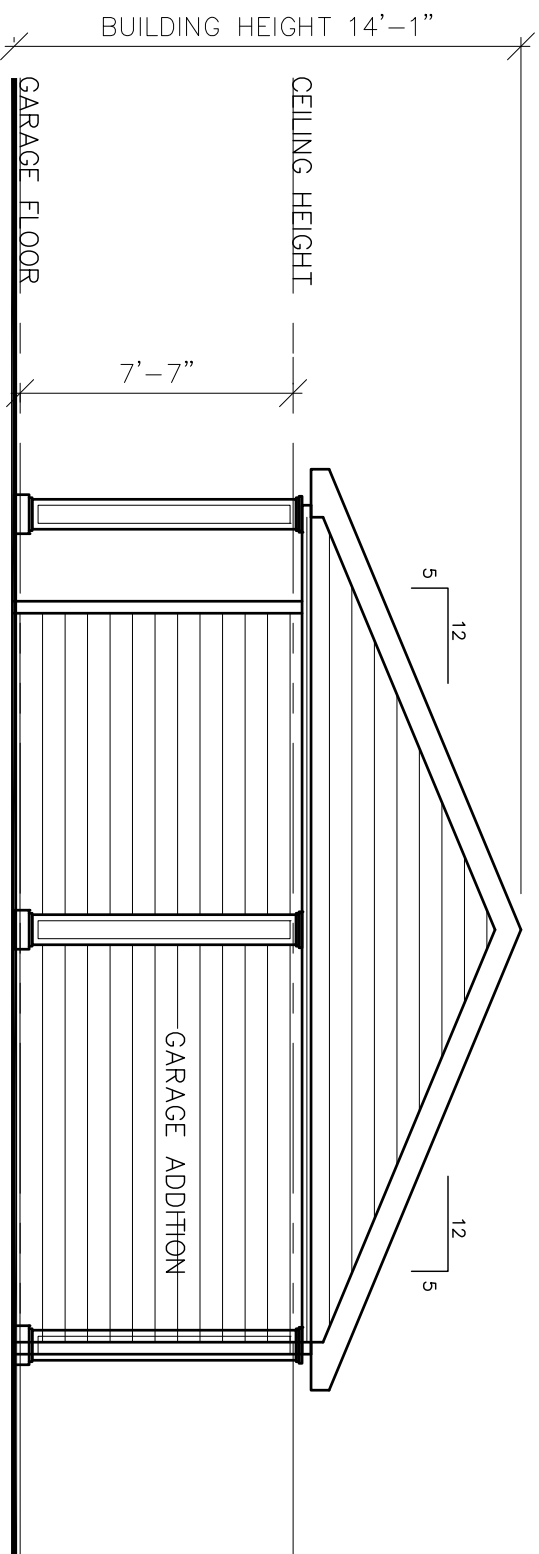
SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS

PROPOSED GARAGE EXTENSION FOR:
ANGEL ARRIAGA
812 PLAINFIELD AVENUE
PLAINFIELD, NEW JERSEY

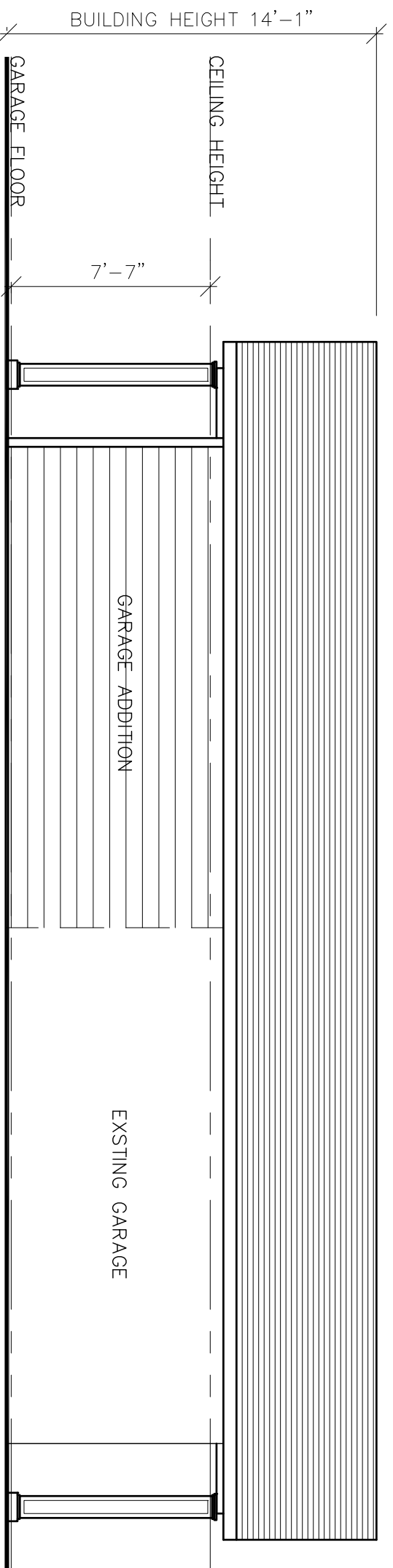
STEVE J. DRUGA, A.I.A.
 REGISTERED ARCHITECT

 250 STELTON RD. SUITE # 6
 PISCATAWAY N.J. 08854
 TEL: (732) 752-3205
 FAX: (732) 752-7041
 E-MAIL: steve@stevedrugarchitect.com

NEW JERSEY REG. # A06897	PROJECT	SHEET
ARIZONA REG. # 12332		
DRAWN BY: ED		
SCALE: NTS	2K22-015B	A-2
DATE: 8-11-2022		3 OF 4 SHEETS



REAR ELEVATION

SCALE: 3/16" = 1'-0"




LEFT ELEVATION

SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS

PROPOSED GARAGE EXTENSION FOR:
ANGEL ARRIAGA
812 PLAINFIELD AVENUE
PLAINFIELD, NEW JERSEY

STEVE J. DRUGA, A.I.A.
 REGISTERED ARCHITECT

 250 STELTON RD. SUITE # 6
 PISCATAWAY N.J. 08854
 TEL: (732) 752-3205
 FAX: (732) 752-7041
 E-MAIL: steve@stevedrugarchitect.com

NEW JERSEY REG. # A06897	PROJECT	SHEET
ARIZONA REG. # 12332		
DRAWN BY: ED		
SCALE: NTS	2K22-015B	A-3
DATE: 8-11-2022		4 OF 4 SHEETS