

SOURCE: PLAINFIELD QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019. CHATHAM QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019

**USGS KEY MAP**

SCALE: 1" = 600'±

# PRELIMINARY & FINAL MAJOR SITE PLAN

FOR

# COMMUNIPAW ASSOCIATES, LLC

## PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING

BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY



Know what's below  
Call before you dig.

**APPLICANT & OWNER**

COMMUNIPAW ASSOCIATES LLC  
1879 MORRIS AVENUE  
UNION, NEW JERSEY 07083

**ATTORNEY**

JOSEPH A. PAPARO, ESQ.  
100 SOUTHGATE PARKWAY, P.O. BOX 1997  
MORRISTOWN NEW JERSEY, 07962  
(973) 889-4042  
JAPAPARO@PBNLAW.COM

VARIANCE RELIEF TABLE			
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED
VARIANCE	§ 179-43. Q.	PARKING SPACE DIMENSION REQUIREMENTS: MINIMUM DEPTH = 18 FT MINIMUM WIDTH = 9 FT	17 FT 8 FT
VARIANCE	§ TODD-4.2.1	MINIMUM REAR YARD SETBACK: 10 FT	0.4 FT
VARIANCE	§ TODD-4.3ASFT (c)	ARCHITECTURAL FEATURES OVER PEDESTRIAN SIDEWALKS MINIMUM HEIGHT CLEARANCE: 15 FT	AWNING: 9.5 FT
WAIVER	STREETSCAPE	PEDESTRIAN STREET LIGHTS: REQUIRED SPACING: 40 - 50 FT MINIMUM OFFSET FROM STREET TREES: 20 FT	60 FT 15 FT

ISSUE	DATE	BY	DESCRIPTION
1	10/12/2021	TRO	ISSUE FOR MUNICIPAL COUNTY & SCD SUBMISSION
2	11/29/2021	SZ	ISSUE FOR MUNICIPAL COUNTY & SCD SUBMISSION

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design



Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefielddeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

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**COMMUNIPAW ASSOCIATES, LLC**  
PROPOSED MULTI-FAMILY  
RESIDENTIAL BUILDING

BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-200225

TITLE:  
**COVER SHEET**

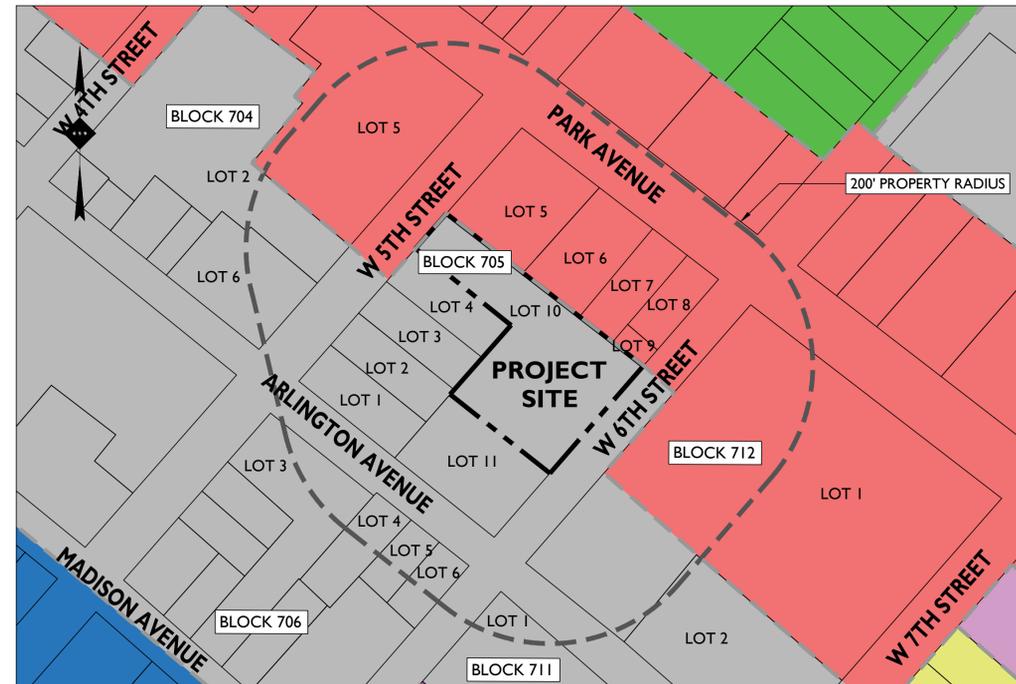
DRAWING:  
**C-1**



SOURCE: GOOGLE EARTH PRO, DATED 05/23/2018

**AERIAL MAP**

SCALE: 1" = 100'±



SOURCE: TAX MAP OBTAINED FROM THE CITY OF PLAINFIELD'S TAX MAP VIEWER, DATED: OCTOBER 2020. ZONING MAP OBTAINED FROM THE CITY OF PLAINFIELD ZONING MAP, DATED: JUNE 2015

**TAX & ZONING MAP**

SCALE: 1" = 100'±

**ZONING LEGEND**

	TD TRANSITION DISTRICT		CLAD CLEVELAND AVENUE ARTS DISTRICT
	MU MIXED USE		PO-1 PROFESSIONAL OFFICE I
	R-CA CRESCENT AVE HISTORIC DISTRICT		CBD CENTRAL BUSINESS DISTRICT

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - ALTA/SURVEY OF PROPERTY OBTAINED FROM PARKER ENGINEERING & SURVEYING PC, DATED: 05/06/2019
  - USGS KEY MAP OBTAINED FROM CHATHAM QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019. USGS KEY MAP OBTAINED FROM PLAINFIELD QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019.
  - ARCHITECTURAL PLANS PREPARED BY TAYLOR ARCHITECTURE & DESIGN, DATED: 08/17/2020
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED 05/23/2018
  - TAX MAP OBTAINED FROM THE CITY OF PLAINFIELD'S TAX MAP VIEWER, DATED: OCTOBER 2020.
  - ZONING MAP OBTAINED FROM THE CITY OF PLAINFIELD ZONING MAP, DATED: JUNE 2015
- ZONING MAP OBTAINED FROM THE ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING, DRAINAGE & UTILITY PLAN	C-5
LIGHTING PLAN	C-6
SOIL EROSION & SEDIMENT CONTROL PLAN	C-7
LANDSCAPING PLAN & DETAILS	C-8 - C-9
CONSTRUCTION DETAILS	C-10 - C-12

CITY OF PLAINFIELD 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
704	2	CITY OF PLAINFIELD	515 WATCHUNG AVE PLAINFIELD, NJ 07061
704	5	NEW JERSEY BELL TELEPHONE CO	C/O DUFF & PHELPS PO 2749 ADDISON, TX 75001
704	6	REHOBOTH CHRISTIAN CHURCH	120-28 W 5TH STREET PLAINFIELD, NJ 07060
705	1	513 ARLINGTON LLC & JDS13 ARLINGTON LCC	PO BOX 32190 NEWARK, NJ 07102
705	2	HING, ANDRE P & LITOWTIE	619 HARVARD AVE SOUTH PLAINFIELD, NJ 07062
705	3	SANCHEZ, CARLOS	282 ROCK AVE NORTH PLAINFIELD, NJ 07063
705	4	LEE, SANG	83 ANDOVER AVENUE PLAINFIELD, NJ 07062
705	5	ADAMS, DEMETRIOS & ANDREA	778 W FOOTHILL ROAD BRIDGEWATER, NJ 08807
705	6	512 PARK AVE, LLC	PO BOX 113 COLONIA, NJ 08820
705	7	PARDES, FRANCISCO	209 EAST GOLF AVE SO PLAINFIELD, NJ 07080
705	8	AK TWO LLC	549 SPRINGFIELD AVE #2 BERKELEY HEIGHTS, NJ 07922
705	9	FALLOS FAUSTO	108 W 6TH ST PLAINFIELD, NJ 07060
705	11	513 ARLINGTON LLC & JDS13 ARLINGTON LCC	PO BOX 32190 NEWARK, NJ 07102
706	3	510 ARLINGTON CORPORATION	549 JERUSALEM RD SCOTCH PLAINS, NJ 07076
706	4	BROWN, STEVEN M	1312 CRIM RD BRIDGEWATER, NJ
706	5	MAJEK ENTERPRISES, LLC	522 ARLINGTON AVE PLAINFIELD, NJ 07060
706	6	MAJEK ENTERPRISES, LLC	522 ARLINGTON AVE PLAINFIELD, NJ 07060
711	1	EHAB PROPERTIES, LLC	4 HARRISON COURT WOODLAND PARK, NJ 07424
712	1	MOOREHOUSE SEVENTH STREET, LP	33 DIVISION ST SOMERVILLE, NJ 08876
712	2	EHAB PROPERTIES, LLC	4 HARRISON COURT WOODLAND PARK, NJ 07424

AGENCIES TO BE NOTIFIED	
AGENCY	ADDRESS
AMERICAN WATER SSC	PO BOX 3627 CHERRY HILL, NJ 08034
PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER - CORPORATE PROPERTIES	80 PARK PLAZA, T68 NEWARK, NJ 07102
BELL ATLANTIC NJ	540 BROAD STREET NEWARK, NJ 07102
PLAINFIELD MUNICIPAL UTILITIES AUTHORITY	127 ROOSEVELT AVENUE PLAINFIELD, NJ 07060
COMCAST CABLEVISION	73 ROCK AVENUE PLAINFIELD, NJ 07063
AT&T ATTN: NANCY PENNE	2315 SALEM ROAD CONYERS, GA 30013
NJ DEPARTMENT OF TRANSPORTATION TRANSPORTATION COMMISSIONER	1035 PARKWAY AVENUE P.O. BOX 600 TRENTON, NJ 08645-0600
UNION COUNTY BUREAU OF PLANNING & ECONOMIC DEVELOPMENT UNION COUNTY PLANNING BOARD	10 ELIZABETH-TOWN PLAZA, ELIZABETH, NJ 07202
UNION COUNTY UTILITIES AUTHORITY DIRECTOR OF ENGINEERING	FOOT OF MEHRHOF ROAD P.O. BOX 9 LITTLE FERRY, NJ 07643

CITY OF PLAINFIELD PLANNING BOARD APPROVAL		
BOARD CHAIRPERSON	DATE	
BOARD SECRETARY	DATE	
BOARD ENGINEER	DATE	

PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
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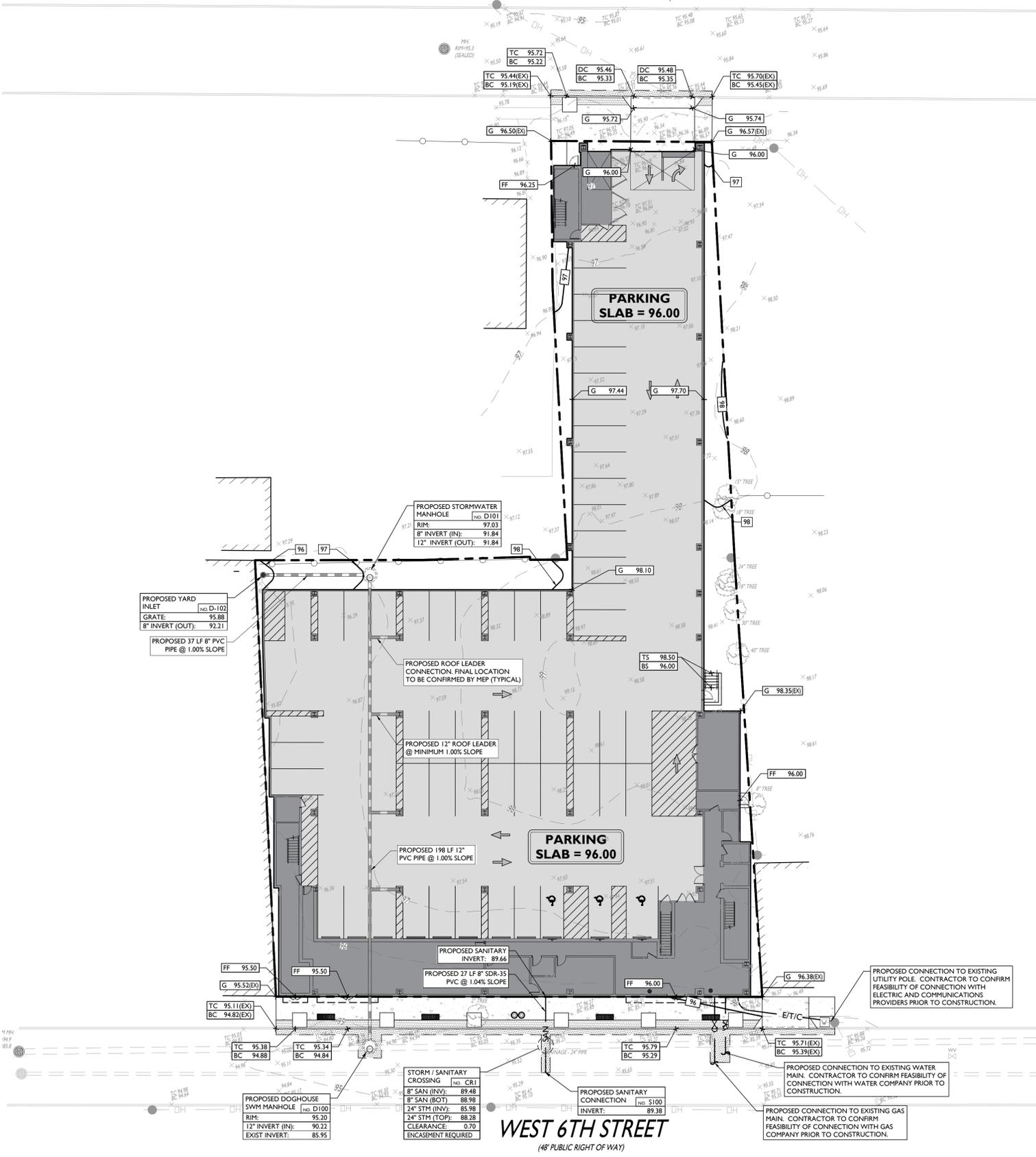
Z:\PROJECTS\2020\2020-0022\YLANI BALDRE - 07 WEST 6TH STREET-PLAINFIELD, NJ\CADD\DWG\01-COVER.DWG







**WEST 5TH STREET**  
(60' PUBLIC RIGHT OF WAY)



**WEST 6TH STREET**  
(48' PUBLIC RIGHT OF WAY)

**GRADING NOTES**

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB CUTTERS: 1.00%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF PUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP PATH AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.

**DRAINAGE AND UTILITY NOTES**

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE ANY SANITARY SEWER SERVICE BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

**EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

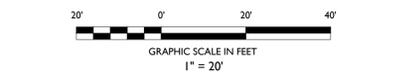
**STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**

- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
- ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
- THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
- DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
- FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
- THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

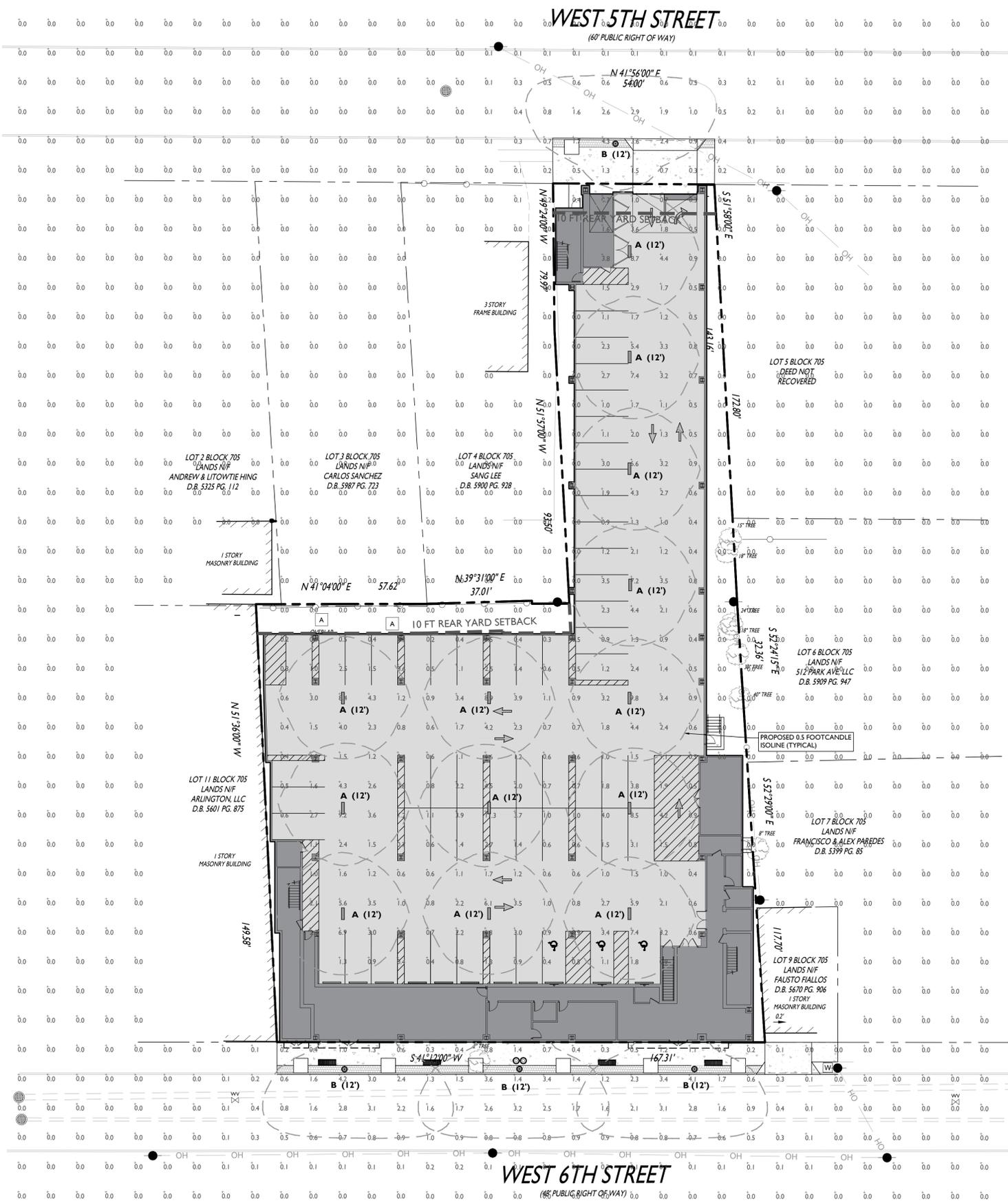
**STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**

- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
- NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
---	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X DC 100.12 BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 100.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT
---	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER PIPING
---	PROPOSED SANITARY LATERAL
---	PROPOSED DOMESTIC WATER SERVICE
---	PROPOSED ELECTRICAL/DATA CONDUITS
---	PROPOSED DATA CONDUITS
---	PROPOSED ELECTRIC CONDUITS
---	PROPOSED OVERHEAD WIRES
---	PROPOSED GAS LINE
---	PROPOSED VALVE
---	PROPOSED WATER TEE / BEND
---	PROPOSED FIRE HYDRANT
---	PROPOSED FIRE DIRECT CONNECTION (FDC)
---	PROPOSED SANITARY MANHOLE / CLEANOUT
---	PROPOSED UTILITY POLE



<p><b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b></p> <p><b>STONEFIELD</b> engineering &amp; design</p> <p>Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI www.stonefielddesign.com</p> <p>Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 · Fax 201.340.4472</p>	<p>ISSUE FOR MUNICIPAL SUBMISSION</p> <p>ISSUE FOR MUNICIPAL COUNTY &amp; SCD SUBMISSION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>ISSUE</th> <th>BY</th> </tr> <tr> <td>2</td> <td>11/29/2021</td> <td>SZ</td> <td></td> </tr> <tr> <td>1</td> <td>10/12/2021</td> <td>TRO</td> <td></td> </tr> </table>	NO.	DATE	ISSUE	BY	2	11/29/2021	SZ		1	10/12/2021	TRO	
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<p><b>STONEFIELD</b> engineering &amp; design</p>													
<p>SCALE: 1" = 20' PROJECT ID: PRI-200215</p>													
<p>TITLE: <b>GRADING, DRAINAGE &amp; UTILITY PLAN</b></p>													
<p>DRAWING: <b>C-5</b></p>													



SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (12)	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
●	PROPOSED AREA LIGHT
■	PROPOSED BUILDING MOUNTED LIGHT

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
■	A	13	S SERIES - 4 FT - CANOPY LIGHT - 3000K - 27.7 WATT *	SYMMETRICAL	0.90	LSI LIGHTING	S4-LED-40L-30.IES
●	B	4	TX03 - AREA LIGHT - 4000K - 35.4 WATT	TYPE III	0.90	HADCO LIGHTING	TX0332-G3-3-740-3.IES

(\*) SIMILAR FIXTURES ARE PERMITTED. CONTRACTOR SHALL PROVIDE CUT SHEETS AND SPECIFICATIONS PRIOR TO CONSTRUCTION FOR REVIEW AND APPROVAL

DESIGN REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§17-11-12B.3	STREET LAMP TYPE SHALL BE HADCO HAGERSTOWN V03 (50 WATTS) OR ITS FUNCTIONAL AND AESTHETIC EQUIVALENT	COMPLIES
§17-11-12C	WALL MOUNTED FIXTURES ARE ONLY PERMITTED IF DIRECTED INTO A SITE AND NOT POSITIONED TOWARDS NEIGHBORING PROPERTIES OR PUBLIC STREETS	COMPLIES
§17-11-12D	THE USE OF HIGH-PRESSURE SODIUM LIGHTING ATTACHED TO THE BUILDINGS OR TO LIGHT THE EXTERIOR OF THE BUILDING SHALL BE PROHIBITED	COMPLIES
§17-11-12E	STREET FRONTAGE DECORATIVE LAMPPOSTS: HEIGHT - 10 FT MINIMUM, 12 FT MAXIMUM INTERVALS - 40 FT MINIMUM, 60 FT MAXIMUM INTERIOR WALKWAY DECORATIVE LAMPPOSTS: HEIGHT - 10 FT MINIMUM, 12 FT MAXIMUM INTERVALS - 30 FT MINIMUM, 40 FT MAXIMUM	HEIGHT: 12 FT INTERVAL: 60 FT N/A
§17-11-12F	AVERAGE ILLUMINATION LEVELS: PARKING LOTS: 1.0 - 2.5 FC PEDESTRIAN WALKWAYS: 0.5 - 1.0 FC	2.0 FC 0.7 FC
§17-11-12G	LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT OF NOT MORE THAN 25 FT OR THE HEIGHT OF THE BUILDING LIGHTING FOR PEDESTRIAN WAYS SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT OF NOT MORE THAN 12 FT	12 FT 12 FT

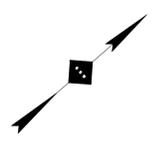
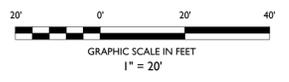
(W) WAIVER  
(N/A) NOT APPLICABLE

STREETSCAPE DESIGN MANUAL REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
STREETSCAPE	MAXIMUM MOUNTING HEIGHT: 14 FT	12 FT
STREETSCAPE	PEDESTRIAN STREET LIGHTS: REQUIRED SPACING: 40 - 50 FT MINIMUM OFFSET FROM STREET TREES: 20 FT	60 FT (W) 15 FT (W)

(W) WAIVER

**GENERAL LIGHTING NOTES**

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



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engineering & design

Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN  
**COMMUNIPAW ASSOCIATES, LLC**  
PROPOSED MULTI-FAMILY  
RESIDENTIAL BUILDING

BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

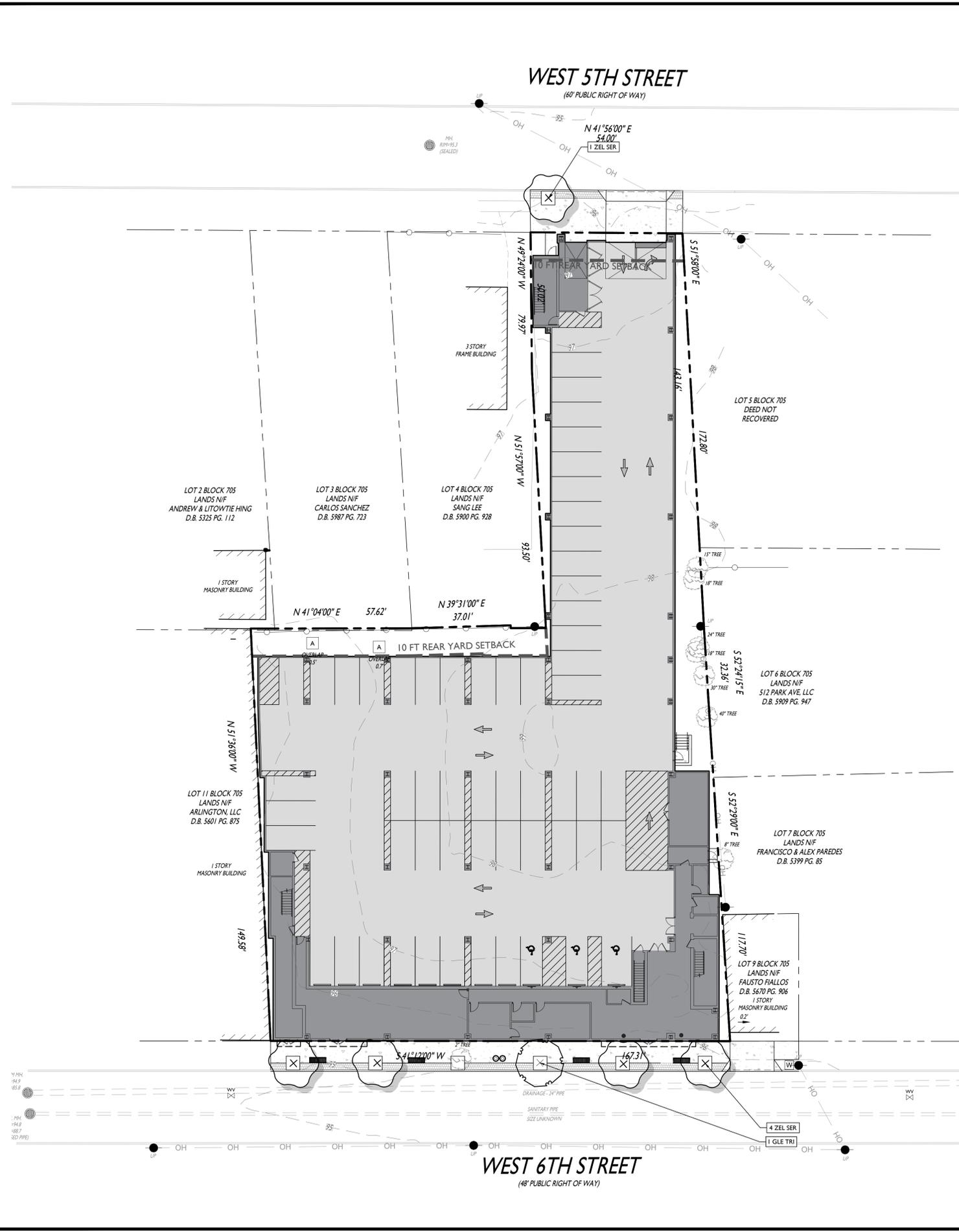
SCALE: 1" = 20' PROJECT ID: PRI-200215

TITLE:  
**LIGHTING PLAN**

DRAWING:  
**C-6**



Z:\PROJECTS\19022019\19022019 WEST 5TH STREET PLANNED, RECORDED PLOTTING\LANDSCAPING



PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	GLE TRI	1	GLEDITSIA TRIACANTHOS	HONEY LOCUST	2.5'-3" CAL	B&B	NATIVE
	ZEL SER	5	ZELKOVA SERRATA	SAWLEAF ZELKOVA	2.5'-3" CAL	B&B	---

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

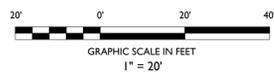
**IRRIGATION NOTE:**  
 IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT 800-272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "ONE CALL" TO IDENTIFY THE UTILITY SERVICES THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) ONCE "MARKED OUT", YOU CAN DIG THE SERVICES ARE WITHIN THE RISK OF INTERRUPTING SERVICES FROM ONE OF THESE UTILITIES. DAMAGE TO PROPERTY OR PERSONAL INJURY. IF YOU ARE HAVING A PROFESSIONAL DO THE RESPONSIBILITY TO CONTACT ONE CALL. UTILITY SERVICES ARE MARKED OUT WITH PAINT OR A FLAG. THE FOLLOWING LIST WILL HELP YOU IDENTIFY WHAT UTILITY HAS PERFORMED A MARK OUT:

**ONE CALL**  
 NEW JERSEY

ELECTRIC-RED, GAS/OIL-YELLOW, COMMUNICATION TV-ORANGE, WATER-BLUE, SEWER-GREEN, TEMPORARY SURVEY MARKINGS-MAGENTA, PROPOSED EXCAVATION-WHITE

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
  - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
  - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
  - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



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**COMMUNIPAW ASSOCIATES, LLC**  
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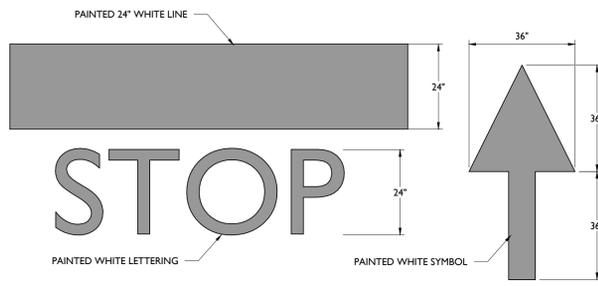
**STONEFIELD**  
 engineering & design

SCALE: 1" = 20' PROJECT ID: PRI-200215

TITLE:  
**LANDSCAPING PLAN**

DRAWING:  
**C-8**





**STOP BAR & ARROW DETAILS**

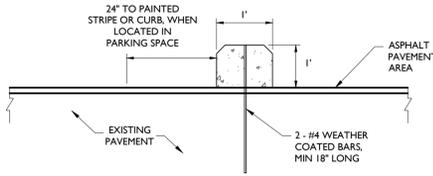
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND
NO LEFT TURN (R3-2)		CIRCLE AND DIAGONAL: RED LEGEND: BLACK	WHITE	24"x24"	GROUND

**SIGN DATA TABLE**

NOT TO SCALE

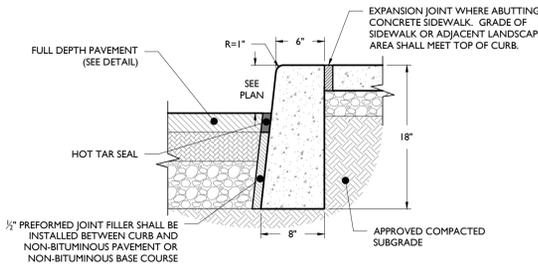
NOTE:  
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.



**CONCRETE WHEEL STOP DETAIL**

NOT TO SCALE

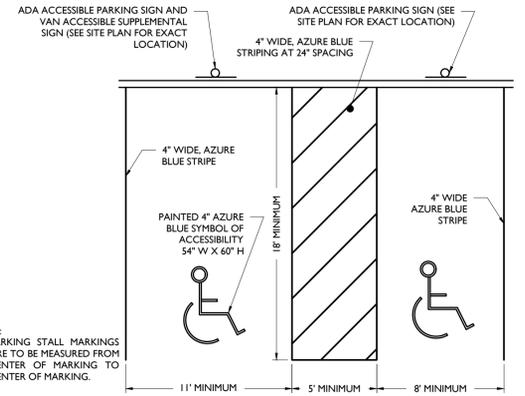
NOTES:  
1. ON CONCRETE PAVEMENT, SECURE WHEEL STOP WITH EPOXY BONDING AGENT.  
2. WHEEL STOP SHALL BE 6" LONG.  
3. WHEEL STOP SHALL BE PREFABRICATED CONCRETE.



**CONCRETE CURB DETAIL**

NOT TO SCALE

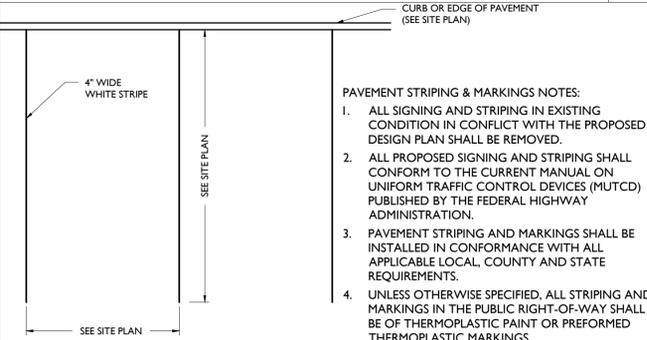
NOTES:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.  
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.  
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



**ACCESSIBLE PARKING STALL MARKINGS**

NOT TO SCALE

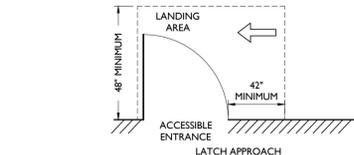
NOTE:  
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.



**PARKING STALL MARKINGS**

NOT TO SCALE

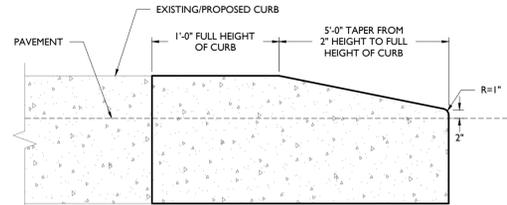
**PAVEMENT STRIPING & MARKINGS NOTES:**  
1. ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.  
2. ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.  
3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.  
4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.  
5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.



**ACCESSIBLE ENTRANCE LANDING DETAIL**

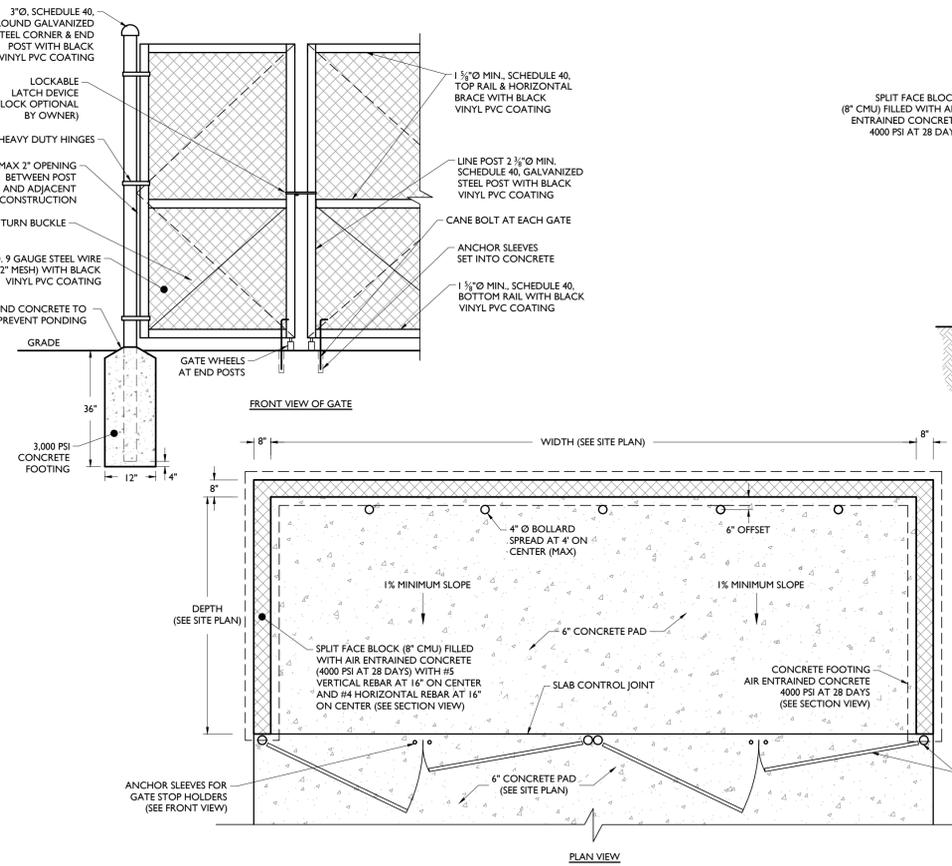
NOT TO SCALE

NOTES:  
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS.  
2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.  
3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.



**CURB TAPER DETAIL**

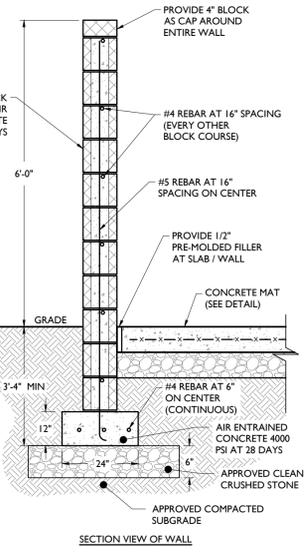
NOT TO SCALE



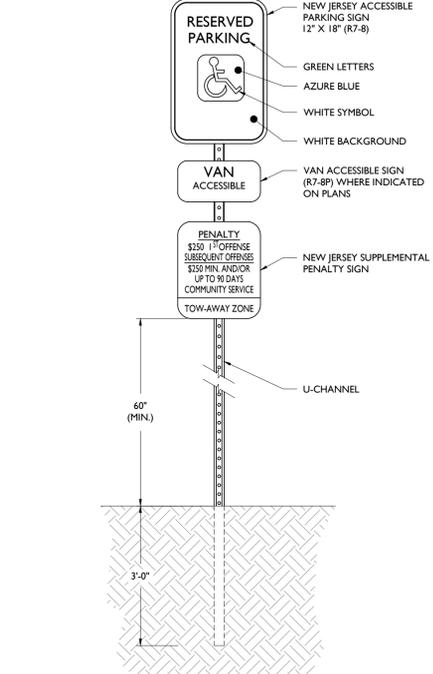
**DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL**

NOT TO SCALE

NOTE:  
BLOCK COLOR TO MATCH BUILDING OR AS SPECIFIED BY OWNER

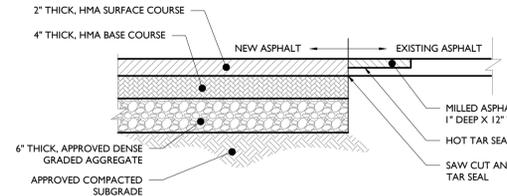


**SECTION VIEW OF WALL**



**ACCESSIBLE PARKING SIGN DETAIL**

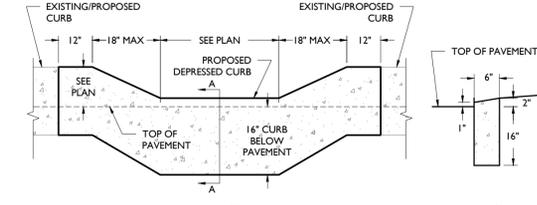
NOT TO SCALE



**FULL DEPTH ASPHALT PAVEMENT DETAIL**

NOT TO SCALE

NOTE:  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



**DEPRESSED CURB DETAIL**

NOT TO SCALE

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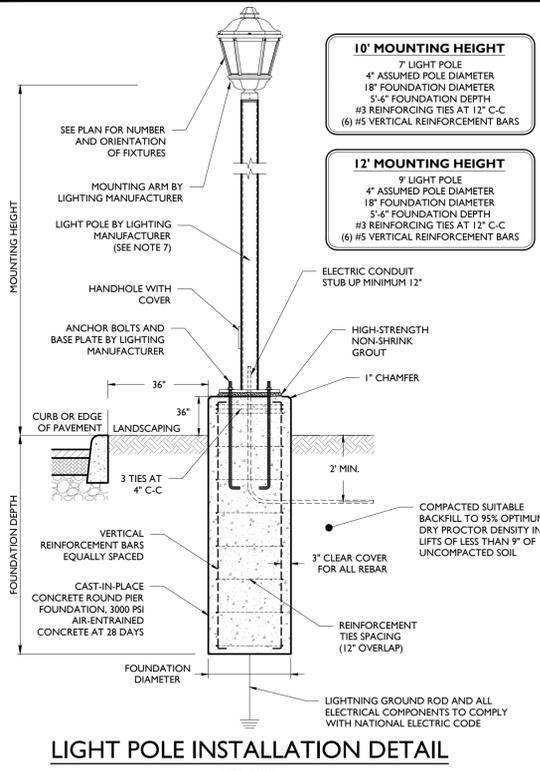
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SCALE: AS SHOWN PROJECT ID: PRI-200215

TITLE:  
**CONSTRUCTION  
DETAILS**

DRAWING:  
**C-10**





- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
  - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
  - ALL REBAR TO BE NEW GRADE 60 STEEL.
  - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
  - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 90% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
  - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
  - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/A58 7-93.
  - POUR TO BE TERMINATED AT A FORM.
  - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
  - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

**LSI** S4 LED Strip

**Luminaire Ordering Guide**

TYPICAL ORDER EXAMPLE: **S4 LED 40L UNV DIM1 35 80CRI**

Family	LED	Lumen Package	Lens	Voltage	Driver	Color Temp	CRI	Controls	Options	Packaging
S4 - 4 Strip	LED	ZBL-2000 ZBL-3000	(Blank) None	UNV-120-277V 347-277V	DIM1 - Drive to 1% (40-100) 8000 - Step dimming to 50%	35-3000K 40-5000K 50-5000K	80-90 90-95	(Blank) - None OCUCC - Occupancy Sensor 120-277V* CMBDE - Daylight Sensing/Occupancy Sensor 120-277V*	(Blank) - None EM10 - 10W Battery Backup (1300 Lumens) PWH - 5FT Pre-wired plug in assembly (0-10V Dimming)* PWHM - 5FT Pre-wired plug in assembly (0-10V Dimming)* PWHL - 5FT Pre-wired plug in assembly (0-10V Dimming)* PWHL - 5FT Pre-wired plug in assembly (0-10V Dimming)* PWHL - 5FT Pre-wired plug in assembly (0-10V Dimming)*	(Blank) - Single Pack

**Accessory Ordering Information** (Accessories are field installed)

	Description: T-Grid Hanger Kit Order Number: (Qty 2) - 10700		Description: T-Grid Color (including junction box, wire color & grid height) Order Number: (Qty 1) - 55881
	Description: Chain Hanger Set (8' length) Order Number: (Qty 2) - M38258		Description: 3' Pendant Order Number: (Qty 1) - 487400
	Description: Chain Hanger Set (8' length) Order Number: (Qty 2) - 121027		Description: 3' Pendant Order Number: (Qty 1) - 481500
	Description: Wire Guard - 4 foot Order Number: (Qty 1) - 54001		Description: 4' Pendant Order Number: (Qty 1) - 487382

**LIGHT FIXTURE 'A' SPECIFICATION**

NOT TO SCALE

**HADCO** by @ignify

Urban  
Hagerstown  
TX03 Post top

Hado's Hagerstown LED post gives you the ability to create a unique style through our modular post top concepts to blend into any residential and historic urban settings. With the latest LED technology you can seamlessly replace traditional HID technology to maximize energy savings and significantly reduce total cost of ownership. The Hagerstown luminaire provides excellent uniformity, traditional customizable look, with the benefits of modern technology.

**Ordering guide**

example: TX03-32-G3-B-A-2-A-5-E-N-740-A-9-5SD-SP1

Series	LEDs	Gen.	Pods	Finials	Fasteners	Finishes	Optical System	Photo controls
TX03	32 32	G3	G3	A A Octagonal finial B Round finial C C Finial D Fluted tapered hourglass finial E Smooth tapered hourglass finial F Tapered fluted finial G Tall round fluted finial H Round contemporary finial J Tapered fluted w/rounded stepped finial L Round fluted long finial T Decorative leaf finial	1 Hex head bolts 2 Allen head bolts C Finial H Bronze J Green	A Black B White C Verde H Bronze J Green	2 Type 2 2H Type 2 w/HSS 3 Type 3 3H Type 3 w/HSS 3WH Type 3 Wide w/HSS 4 Type 4 5 Type 5	Button eye photo controls E 120 VAC H 200/240/277 VAC K 347 VAC N None

**Future Proof controls**

Series	LEDs	Color Temp	Voltages	Currents	Driver Options	Serp protection
7-pin Receptacle	730 3000K 740 4000K	A 120-277 VAC B 347-480 VAC	D 350mA E 530 mA F 700mA G 900mA H 1050mA	DA 4hrs 25% reduction DB 4hrs 50% reduction DC 4hrs 75% reduction DD 4hrs 25% reduction DE 4hrs 50% reduction DF 4hrs 75% reduction DH 4hrs 25% reduction DJ 4hrs 50% reduction DL No dimming S FAWS Field adjustable wattage selector SD Sensor ready driver (standard configuration) SDH Sensor ready driver (alternate configuration)	SP1 (10W/100A standard) SP2 20W/200A (optional)	

- Configurations with 48 (48) and 64 (64) LED array boards are not compatible with the 1050mA (H) driver current.
- 64 LED are limited to 35C ambient rating with 900mA driver current.
- Control factory.
- Configurations with C, D, E, G pods are not compatible with the Twist Lock receptacle (R) photo control.
- R is located on the top of the roof, R is field to be required.

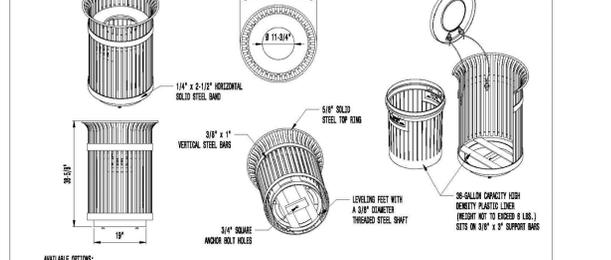
**LIGHT FIXTURE 'B' SPECIFICATION**

NOT TO SCALE

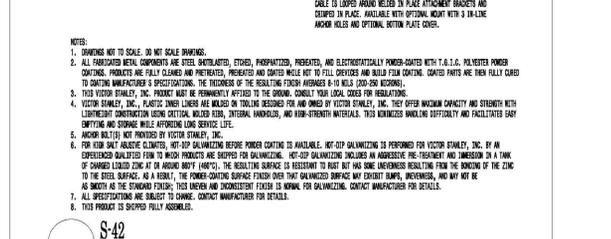
**VICTOR STANLEY**

Create a timeless moment.

\* ALL DIMENSIONS ARE IN INCHES \*



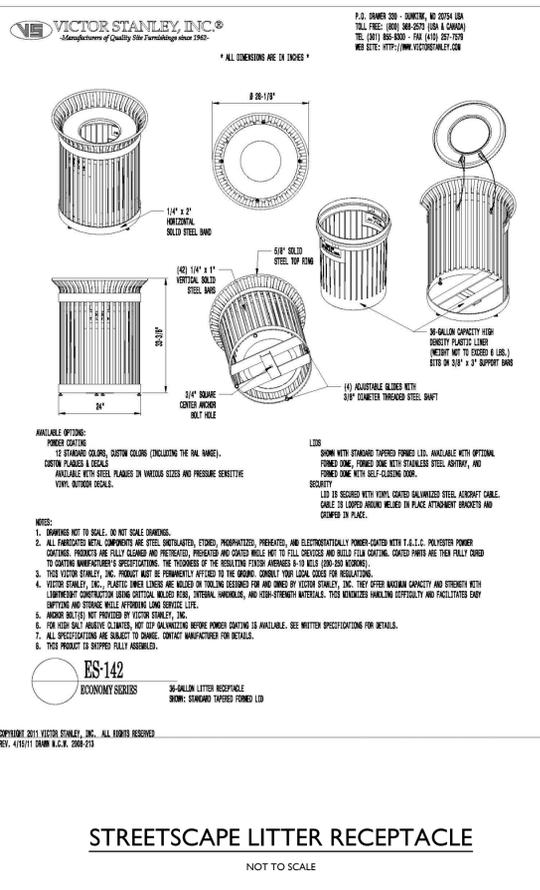
- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
  - ALL FABRICATED METAL COMPONENTS ARE STEEL, GALVANIZED, ETCHED, PHOSPHATIZED, PREPAINTED, AND ELECTROSTATICALLY POWDER-COATED WITH T.A.G. POLYESTER POWDER COATING. PRODUCTS ARE FULLY GALVANIZED AND PREPAINTED, PREPAINTED AND COATED METALS NOT TO FULL COVERAGE AND BULLY FILM COATING. COATED PARTS ARE THEN FULLY PAINTED TO MATCH UNPAINTED SURFACES & SPECIFICATIONS. THE THICKNESS OF THE COATING FINISH APPROXIMATELY 8-10 MILS (200 MICRONS).
  - THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
  - VICTOR STANLEY, INC. PLASTIC LITTER LIDS ARE MOLDED IN TOLLAN DESIGNED FOR AND MADE BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH LIGHTWEIGHT CONSTRUCTION USING OPTIMAL WALLS THICKNESS, INTERNAL HANGING, AND HIGH-STRENGTH MATERIALS. THIS KNOWLEDGE MAKING EFFICIENCY AND FACILITATES EASY LIFTING AND STORING WHILE PROVIDING LONG SERVICE LIFE.
  - WOOD BUILDS NOT PROVIDED BY VICTOR STANLEY, INC.
  - FOR USE ONLY ABOVE GROUND. NOT FOR GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
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- APPROXIMATE VICTOR STANLEY, INC. \* ALL RIGHTS RESERVED  
 REV. 12/12/18 (FORM 1.0.5) 2018-115

**STREETSCAPE RECYCLING RECEPTACLE**

NOT TO SCALE



**STREETSCAPE LITTER RECEPTACLE**

NOT TO SCALE

NO.	DATE	ISSUE	BY	DESCRIPTION
2	11/29/2021	TRO	SZ	ISSUE FOR MUNICIPAL SUBMISSION
1	10/12/2021	TRO	SZ	ISSUE FOR MUNICIPAL SUBMISSION

**NOT APPROVED FOR CONSTRUCTION**

**STONEFIELD**  
engineering & design

Rutherford, NJ • New York, NY • Boston, MA  
 Princeton, NJ • Tampa, FL • Detroit, MI  
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**PRELIMINARY & FINAL MAJOR SITE PLAN**

**COMMUNIPAW ASSOCIATES, LLC**  
**PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING**

BLOCK 705, LOT 10  
 110-20 WEST 6TH STREET  
 CITY OF PLAINFIELD  
 UNION COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.  
 NEW JERSEY LICENSE No. 54347  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-200215

TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-12**