

SOURCE: PLAINFIELD QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019. CHATHAM QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019.

## USGS KEY MAP

SCALE: 1" = 600'±



SOURCE: GOOGLE EARTH PRO, DATED 05/23/2018

## AERIAL MAP

SCALE: 1" = 100'±

CITY OF PLAINFIELD 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
704	2	CITY OF PLAINFIELD	515 WATCHUNG AVE PLAINFIELD, NJ 07061
704	5	NEW JERSEY BELL TELEPHONE CO	C/O DUFF & PHELPS PO 2749 ADDISON, TX 75001
704	6	REHOBOTH CHRISTIAN CHURCH	120-28 W 5TH STREET PLAINFIELD, NJ 07060
705	1	513 ARLINGTON LLC & JDS13 ARLINGTON LCC	PO BOX 32190 NEWARK, NJ 07102
705	2	HING, ANDRE P & LITOWTIE	619 HARVARD AVE SOUTH PLAINFIELD, NJ 07060
705	3	SANCHEZ, CARLOS	282 ROCK AVE NORTH PLAINFIELD, NJ 07063
705	4	LEE, SANG	83 ANDOVER AVENUE PLAINFIELD, NJ 07062
705	5	ADAMS, DEMETRIOS & ANDREA	778 W FOOTHILL ROAD BRIDGEWATER, NJ 08807
705	6	512 PARK AVE, LLC	PO BOX 113 COLONIA, NJ 08820
705	7	PARADES, FRANCISCO	209 EAST GOLF AVE SO PLAINFIELD, NJ 07080
705	8	AK TWO LLC	569 SPRINGFIELD AVE #2 BERKELEY HEIGHTS, NJ 07922
705	9	RALLOS FAUSTO	108 W 6TH ST PLAINFIELD, NJ 07060
705	11	513 ARLINGTON LLC & JDS13 ARLINGTON LCC	PO BOX 32190 NEWARK, NJ 07102
706	3	510 ARLINGTON CORPORATION	549 JERUSALEM RD SCOTCH PLAINS, NJ 07076
706	4	BROWN, STEVEN M	1312 CRIM RD BRIDGEWATER, NJ
706	5	HAJEK ENTERPRISES, LLC	522 ARLINGTON AVE PLAINFIELD, NJ 07060
706	6	MAJEK ENTERPRISES, LLC	522 ARLINGTON AVE PLAINFIELD, NJ 07060
711	1	EHAB PROPERTIES, LLC	4 HARRISON COURT WOODLAND PARK, NJ 07424
712	1	MOOREHOUSE SEVENTH STREET, LP	33 DIVISION ST SOMERVILLE, NJ 08876
712	2	EHAB PROPERTIES, LLC	4 HARRISON COURT WOODLAND PARK, NJ 07424

### AGENCIES TO BE NOTIFIED

AGENCY	ADDRESS
AMERICAN WATER SSC	PO BOX 3627 CHERRY HILL, NJ 08034
PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER - CORPORATE PROPERTIES	80 PARK PLAZA, T68 NEWARK, NJ 07102
BELL ATLANTIC NJ	540 BROAD STREET NEWARK, NJ 07102
PLAINFIELD MUNICIPAL UTILITIES AUTHORITY	127 ROOSEVELT AVENUE PLAINFIELD, NJ 07060
COMCAST CABLEVISION	73 ROCK AVENUE PLAINFIELD, NJ 07063
AT&T ATTN: NANCY PENCE	2315 SALEM ROAD CONYERS, GA 30013
NJ DEPARTMENT OF TRANSPORTATION TRANSPORTATION COMMISSIONER	1035 PARKWAY AVENUE P.O. BOX 600 TRENTON, NJ 08625-0600
UNION COUNTY BUREAU OF PLANNING & ECONOMIC DEVELOPMENT	10 ELIZABETH TOWN PLAZA, ELIZABETH, NJ 07202
UNION COUNTY PLANNING BOARD	
UNION COUNTY UTILITIES AUTHORITY	FOOT OF MEHRHOF ROAD
DIRECTOR OF ENGINEERING	P.O. BOX 9 LITTLE FERRY, NJ 07643

### CITY OF PLAINFIELD PLANNING BOARD APPROVAL

BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

# PRELIMINARY & FINAL MAJOR SITE PLAN FOR COMMUNIPAW ASSOCIATES, LLC PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING

BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY



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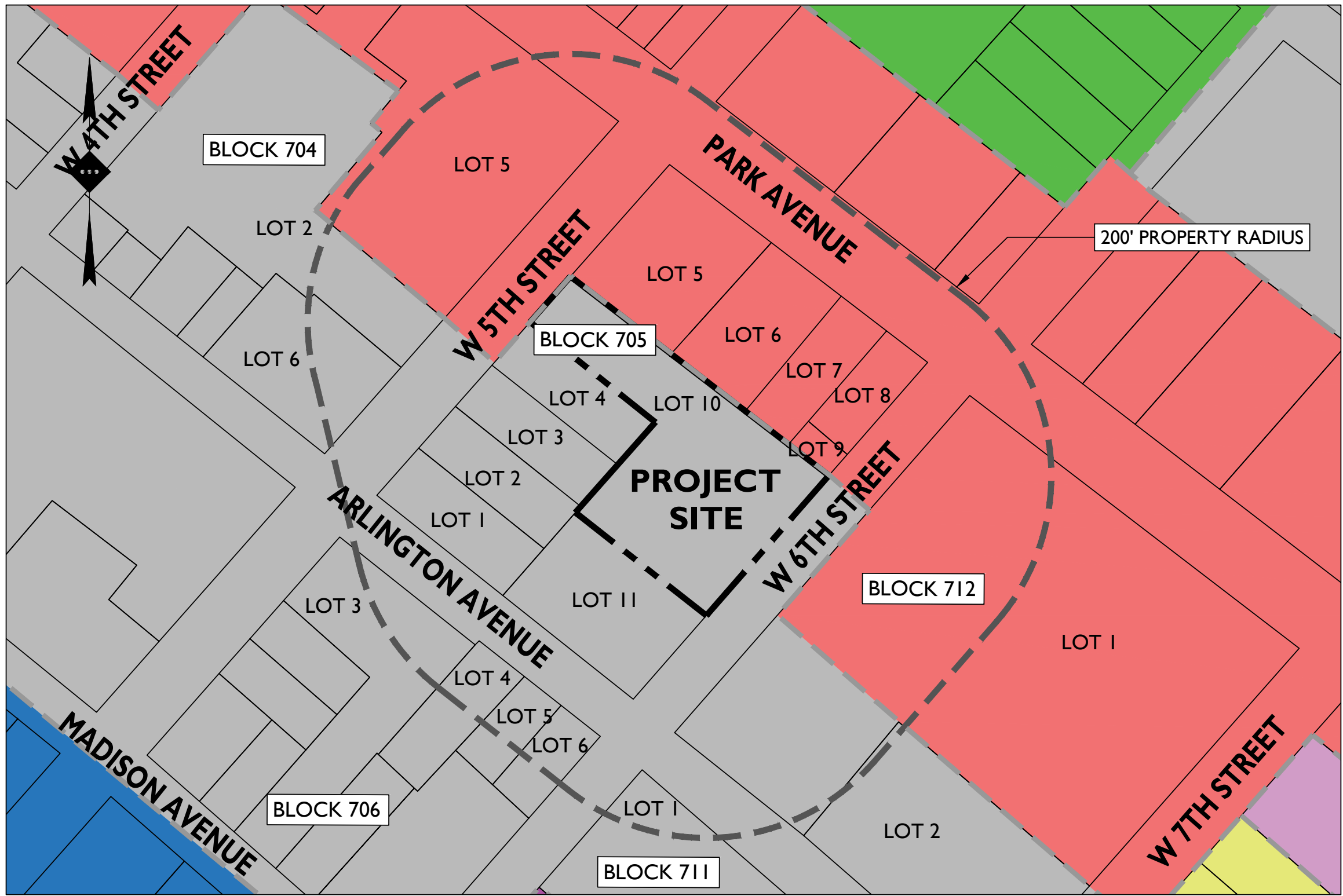
## APPLICANT & OWNER

COMMUNIPAW ASSOCIATES LLC  
1879 MORRIS AVENUE  
UNION, NEW JERSEY 07083

## ATTORNEY

JOSEPH A. PAPARO, ESQ.  
100 SOUTHGATE PARKWAY, P.O. BOX 1997  
MORRISTOWN NEW JERSEY, 07962  
(973) 889-4042  
JAPAPARO@PBNLAW.COM

VARIANCE RELIEF TABLE			
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED
VARIANCE	§ 17-9-43. Q.	PARKING SPACE DIMENSION REQUIREMENTS: MINIMUM DEPTH = 18 FT MINIMUM WIDTH = 9 FT	17 FT 8 FT
VARIANCE	§ TODD-4.2.1	MINIMUM REAR YARD SETBACK: 10 FT	0.4 FT
VARIANCE	§ TODD-4.3ASFT (c)	ARCHITECTURAL FEATURES OVER PEDESTRIAN SIDEWALKS MINIMUM HEIGHT CLEARANCE: 15 FT	AWNING: 9.5 FT
WAIVER	STREETSCAPE	PEDESTRIAN STREET LIGHTS; REQUIRED SPACING: 40 - 50 FT MINIMUM OFFSET FROM STREET TREES: 20 FT	60 FT 15 FT



SOURCE: TAX MAP OBTAINED FROM THE CITY OF PLAINFIELD'S TAX MAP VIEWER, DATED: OCTOBER 2020. ZONING MAP OBTAINED FROM THE CITY OF PLAINFIELD ZONING MAP, DATED: JUNE 2015

## TAX & ZONING MAP

SCALE: 1" = 100'±

### ZONING LEGEND

TD TRANSITION DISTRICT	CLAD CLEVELAND AVENUE ARTS DISTRICT
MU MIXED USE	PO-1 PROFESSIONAL OFFICE I
R-CA CRESCENT AVE HISTORIC DISTRICT	CBD CENTRAL BUSINESS DISTRICT

### PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - ALTA/SURVEY OF PROPERTY OBTAINED FROM PARKER ENGINEERING & SURVEYING PC, DATED: 05/06/2019
  - USGS KEY MAP OBTAINED FROM CHATHAM QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019. USGS KEY MAP OBTAINED FROM PLAINFIELD QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019.
  - ARCHITECTURAL PLANS PREPARED BY TAYLOR ARCHITECTURE & DESIGN, DATED: 08/17/2020
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED 05/23/2018
  - TAX MAP OBTAINED FROM THE CITY OF PLAINFIELD'S TAX MAP VIEWER, DATED: OCTOBER 2020.
  - ZONING MAP OBTAINED FROM THE CITY OF PLAINFIELD ZONING MAP, DATED: JUNE 2015
- ZONING MAP OBTAINED FROM THE ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

### SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING, DRAINAGE & UTILITY PLAN	C-5
LIGHTING PLAN	C-6
SOIL EROSION & SEDIMENT CONTROL PLAN	C-7
LANDSCAPING PLAN & DETAILS	C-8 - C-9
CONSTRUCTION DETAILS	C-10 - C-12

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Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN  
**COMMUNIPAW ASSOCIATES, LLC**  
PROPOSED MULTI-FAMILY  
RESIDENTIAL BUILDING

BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-200225

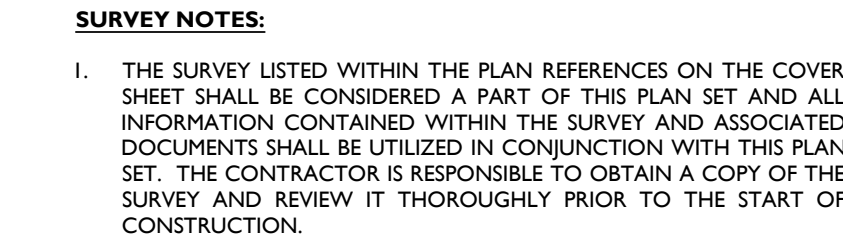
TITLE:



COVER SHEET

DRAWING:

C-1





 <b>STONEFIELD</b> engineering & design  Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI <a href="http://www.stonefielddeng.com">www.stonefielddeng.com</a>  Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 · Fax 201.340.4472	<b>NOT APPROVED FOR CONSTRUCTION</b>									
	ISSUE	DATE	BY	TRO	SZ					
	1	10/12/2021								
	2	11/29/2021								
<div> <p><b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b></p> <h1>COMMUNIPAW ASSOCIATES, LLC</h1> <h2>PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING</h2> <p>BLOCK 705, LOT 10 110-20 WEST 6TH STREET CITY OF PLAINFIELD UNION COUNTY, NEW JERSEY</p> </div>										
<div>  <b>STONEFIELD</b> engineering &amp; design           </div>										
<div> <p>JOSHUA H. KLINE, P.E. NEW JERSEY LICENSE No. 34347 LICENSED PROFESSIONAL ENGINEER</p> </div>										
<div> <p>SCALE: 1" = 20' PROJECT ID: PRI-200225</p> <p>TITLE:</p> <p><b>EXISTING CONDITIONS PLAN</b></p> <p>DRAWING:</p> <p><b>C-2</b></p> </div>										



Z:\PROJECTS\190520\190520\_10 WEST 5TH STREET PLANNED, HICAD\DWG\190520.DWG

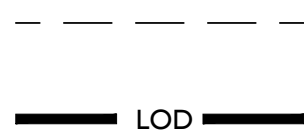
## WEST 5TH STREET

(60' PUBLIC RIGHT OF WAY)

## WEST 6TH STREET

(48' PUBLIC RIGHT OF WAY)

### SYMBOL



### DESCRIPTION

FEATURE TO BE REMOVED / DEMOLISHED  
LIMIT OF DISTURBANCE

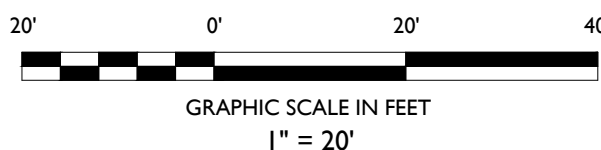
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



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### DEMOLITION NOTES

- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITIES' REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



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PRELIMINARY & FINAL MAJOR SITE PLAN

**COMMUNIPAW ASSOCIATES, LLC**  
**PROPOSED MULTI-FAMILY**  
**RESIDENTIAL BUILDING**

BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 20' PROJECT ID: PRI-200225

TITLE:

DEMOLITION PLAN

DRAWING:

C-3



## (60' PUBLIC RIGHT OF WAY)

<div>LAND USE AND ZONING</div> <div>BLOCK 705, LOT 10</div> <div>TODD SOUTH REDEVELOPMENT AREA - CENTRAL BUSINESS DISTRICT (CBD)</div>				
PROPOSED USE				
MULTI-FAMILY RESIDENTIAL	PERMITTED USE			
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED	
MINIMUM LOT AREA	5,000 SF (0.11 AC)	34,684 SF (0.80 AC)	34,684 SF (0.80 AC)	
MINIMUM LOT WIDTH	50.0 FT	167.3 FT	167.3 FT	
MINIMUM FRONT YARD SETBACK	0 FT	N/A	0 FT	
MINIMUM SIDE YARD SETBACK (ONE)	0 FT	N/A	0.6 FT	
MINIMUM SIDE YARD SETBACK (COMBINED)	0 FT	N/A	1.3 FT	
MINIMUM REAR YARD SETBACK	10 FT	N/A	0.4 FT (V)	
MAXIMUM BUILDING COVERAGE	90% (31,216 SF)	0%	84.1% (29,184 SF)	
MAXIMUM LOT COVERAGE	95% (32,950 SF)	35.9% (12,457 SF)	89.4% (31,013 SF)	
MAXIMUM FLOOR AREA RATIO (FAR)	7.2	N/A	3.7	
MAXIMUM DENSITY	135 DWELLING UNITS / ACRE <sup>1</sup>	N/A	89 DWELLING UNITS / ACRE (71 UNITS)	
MAXIMUM BUILDING HEIGHT	85 FT / 9 STORIES**	N/A	72.5 FT / 5 STORIES	
MINIMUM COMMON OPEN SPACE	10% (3,507 SF)***	100% (34,681 SF)	12.3% (4,277 SF)	

(V) VARIANCE  
PER § TODD - CBD, AS THE LOT AREA IS MORE THAN DOUBLE THE MINIMUM, THE MAX DENSITY IS INCREASED BY 10 DWELLING UNITS / ACRE FOR A TOTAL OF 135 DWELLING UNITS / ACRE

(\*\*\*) PER § TODD - CBD, AS THE LOT AREA IS MORE THAN DOUBLE THE MINIMUM, THE MAX HEIGHT IS INCREASED BY ONE STORY FOR A TOTAL OF 9 STORIES

(\*\*\*\*) ROOFTOP AMENITIES CAN CONTRIBUTE TOWARDS THE MINIMUM OPEN SPACE REQUIREMENT

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ TODD - 4.3PS(b)	RESIDENTIAL DWELLING UNITS WITHIN A 0.25 MILE RADIUS OF THE TRAIN STATION SHALL HAVE A PARKING REQUIREMENT OF 0.8 SPACES PER DWELLING UNIT (71 UNITS)(0.8 SPACES PER UNIT) = 57 SPACES	57 SPACES 6 SPACES (EV BONUS) TOTAL: 63 SPACES
§ 179-43. A.	DRIVEWAY SETBACK REQUIREMENTS; MINIMUM PROPERTY LINE SETBACK = 2 FT	3.0 FT
§ 179-43. Q.	PARKING SPACE DIMENSION REQUIREMENTS; MINIMUM DEPTH = 18 FT MINIMUM WIDTH = 9 FT	17 FT (V) 8 FT (V)
§ 171-11-15.B	MINIMUM DRIVE AISLE WIDTH: TWO-WAY (90 DEGREE): 24 FT	24.0 FT
§ 171-11-15.B	MINIMUM DRIVE WAY WIDTH: TWO-WAY: 22 FT	22.0 FT
§ TODD - 4.3PSDS(d)	MINIMUM NUMBER OF ELECTRIC VEHICLE SPACES: (REDEVELOPMENT AREA): 2 SPACES	COMPLIES
§ TODD - CBD	PARKING AREA SCREENING REQUIREMENTS: FIRST FLOOR PARKING AREAS SHALL BE APPROPRIATELY SCREENED WITH A FAUX WALL	COMPLIES
§ TODD-4.3Pa(a)	PERMITTED LOCATION FOR PARKING AREAS: REAR AND/OR SIDE YARD	COMPLIES

(V) VARIANCE

PLAINFIELD SIGNAGE DESIGN STANDARDS REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
PLAINFIELD SIGNAGE DESIGN STANDARDS §8.7(a)	WALL SIGNS: ONE WALL SIGN PERMITTED PER BUSINESS	1 SIGN
	MAXIMUM SIGN AREA: 10% OF TOTAL AREA OF THE FACADE OF THE BUILDING ON WHICH IT IS PLACED 43.5 FT X 18 FT = 783 SF	4.3 SF
	MAXIMUM PROJECTION: 9 INCHES FROM THE OUTER FACE OF A WALL <b>AND</b> SHALL NOT EXTEND OVER ANY PUBLIC RIGHT-OF-WAY	COMPLIES
	MAXIMUM VERTICAL DIMENSION: 2 FT	2.0 FT
	MAXIMUM MOUNTING HEIGHT FOR GROUND FLOOR USES: 14 FT (*)	4.25 FT

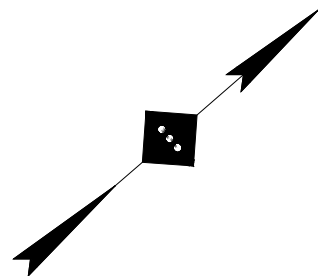
(V) VARIANCE  
(H) LESSER OF THE HEIGHT OF THE GROUND FLOOR AND 14 FT











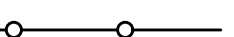

TODD SOUTH DEVELOPMENT PLAN DESIGN STANDARDS		
CODE SECTION	REQUIRED	PROPOSED
§ TODD-4.2.1.e)	BUILDING FACADE: MAXIMUM CONTINUOUS FACADE: 100 FT FACADE SHALL BE DIVERSIFIED EVERY 50 FT	300 FT 50 FT
§ TODD-4.3BMF (b)	PRIMARY ENTRANCES: ORIENTED TO PUBLIC STREETS OR PLAZAS	COMPLIES
§ TODD-4.3BMF (c)	BUILDING PLACEMENT SHALL BE PLACED TO MINIMIZE THE NUMBER OF DRIVEWAYS ALONG MAIN STREETS AND PRIMARY PEDESTRIAN ROUTES	COMPLIES
§ TODD-4.3BMF (d)	BUILDING DESIGN ELEMENTS SHALL BE INCLUDED TO ENCOURAGE PEDESTRIAN INTEREST SUCH AS LARGE DISPLAY WINDOWS, AWNINGS, MULTIPLE ENTRIES, AND CLEAR SIGNAGE	COMPLIES
§ TODD-4.3ASF (c)	ARCHITECTURAL FEATURES OVER PEDESTRIAN SIDEWALKS MINIMUM HEIGHT CLEARANCE: 15 FT MINIMUM SIDEWALK CURB OFFSET: 6 FT	AWNING: 9.5 FT (V) AWNING: 8.9 FT
§ TODD-4.3RDU (a)	MINIMUM PAVEMENT UNIT SIZE ONE-BEDROOM APARTMENT: 750 SF TWO-BEDROOM APARTMENT: 1,000 SF	820 SF 1,190 SF

(V) VARIANCE

STREETSCAPE DESIGN REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 17:11-24	MINIMUM PEDESTRIAN PASSAGE SIDEWALK WIDTH: 5 FT	5.5 FT
§ 17:11-24	MINIMUM NUMBER OF BENCHES: 1 BENCH PER 50 FT 168 FT X 1 BENCH/50 FT = 3.36 BENCHES <b>TOTAL = 4 BENCHES</b>	4 BENCHES
§ 17:11-24	MINIMUM BENCH SETBACK FROM CURB 2 FT	3.0 FT
§ 17:11-24	MINIMUM NUMBER OF TRASH RECEPTACLES: 1 RECEPTACLE PER 200 FT 168 FT X 1 RECEPTACLE/200 FT = 0.84 RECEPTALS <b>TOTAL = 1 RECEPTACLE</b>	1 RECEPTACLE
§ 17:11-24	TREE SPACING ALONG FRONTAGE: 20 = 30 FT ON CENTER	30 FT
§ 17:11-24	MINIMUM TREE SETBACK: 2 FT FROM CURB TO CENTER OF TREE	2.5 FT

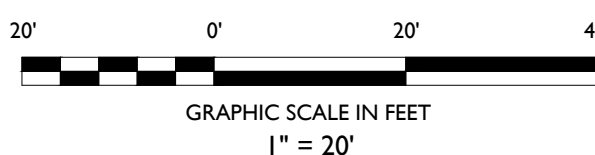
LOT AREA DELINEATION TABLE	
DESCRIPTION	PROPOSED AREA
BUILDING AREA	29,184 SF (84.1%)
PAVEMENT AREA	230 SF (0.67%)
OPEN SPACE AREA	3,646 SF (10.5%)
TOTAL LOT AREA	34,684 SF



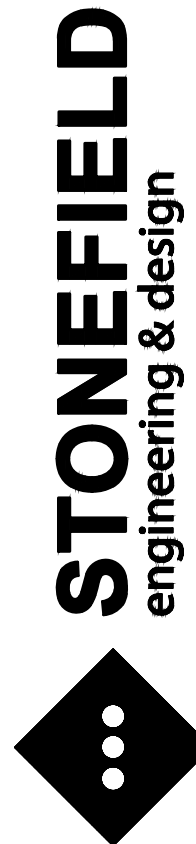
SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED AREA LIGHT
	PROPOSED RETAINING WALL
	PROPOSED HANDRAIL
	PROPOSED BUILDING DOORS

### GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK AND SHALL INITIATE THE NECESSARY PERMITS AND APPROVALS FOR INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE LLE PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED IMPROVEMENTS AND WORKS PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY OR CLAIMED BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT OBTAINING NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED IMPROVEMENTS AND WORKS. THIS OBLIGATION SHALL INCLUDE LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE ANY WORK TO BE PERFORMED BY ANY OTHER PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDETERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO BE DAMAGED OR DESTROYED BY THE WORK TO ITS ORIGINAL CONDITION OR TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE APPROPRIATE SHIELDING TO PROTECT ALL DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW, STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS APPROVED BY THE OWNER.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL, 2003 EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC RIGHT-OF-WAY.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION OF THE PROJECT.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT CONSTITUTE AN ENDORSEMENT OF THE CONTRACTOR'S WORK OR REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



**NOT APPROVED FOR CONSTRUCTION**



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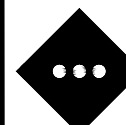
Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201 340 4468 • Fax 201 340 4472

BLOCK 703, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY NEW JERSEY

# PRELIMINARY & FINAL MAJOR SITE PLAN

**COMMUNIPAW ASSOCIATES, LLC**

# PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING



**STONEFIELD**  
engineering & design

**JOSHUA H. KLINE, P.E.**  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

SCALE: 1" = 20'	PROJECT ID: PRI-20022
TITLE:	

## SITE PLAN

**DRAWING:**

**C-4**



1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.

2. DURING EXCAVATION IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED TO MAINTAIN THE INTEGRITY OF NEARBY STRUCTURES AND NOTIFICATION TO UTILITIES TRENCHES, TO ENSURE THE INTEGRITY OF NEARBY STRUCTURES AND NOTIFICATION OF THE SURROUNDING SOIL.

3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC, FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.

5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:

- CURB GUTS: 0.50%
- CONCRETE SURFACES: 1.00%
- ASPHALT SURFACES: 1.00%

6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE THE SLOPE IS MAINTAINED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET.

7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE PROPOSED STRUCTURE, THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND APPROVE ANY PROPOSED DRAINAGE OR CONSTRUCTION CODE SYSTEM. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

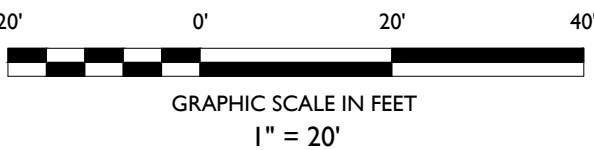
2. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 20% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS RAILS.
3. PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH CURRENT STATE GUIDELINES.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG ANYWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE. THE CONTRACTOR SHALL NOT EXCEED THIS REQUIREMENT WITHIN THE PLANS SET.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 8% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP; AT ACCESSIBLE BUILDING ENTRANCES; AT AT OR NEAR THE END OF AN ACCESSIBLE PATH OF TRAVEL; AND ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
6. CURB RAMP SLOPES SHALL BE 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR CURBS WITHOUT A HANDRAIL, THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
7. CURB RAMP FLARES SHALL BE PROVIDED AT BOTH SIDES OF THE RAMP AND SHALL NOT BE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
8. RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
9. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH OF TRAVEL. A MAXIMUM OF ¼ INCHES VERTICAL CHANGE FOR SHADES OR SHADING MATERIAL. WHAT THE TOP ½ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
10. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ¼ INCH.

1. THE CONTRACTOR REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ORDER TO IDENTIFY AND VERIFY THE LOCATION OF THE EXISTING AND VERIFIED UTILITIES. THE LOCATION OF UTILITIES IN THE FIELD, SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR FURTHER INVESTIGATION.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER MAIN. IF THE PROPOSED CONSTRUCTION CAUSES AN ENCROACHMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THE PROPOSED CONSTRUCTION CAUSES AN ENCROACHMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT THE PROPOSED LOCATION OF THE SANITARY SEWER SERVICE. IF A DISCREPANCY EXISTS BETWEEN THE FIELD LOCATION OF THE SANITARY SEWER SERVICE AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, A DISCREPANCY SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATIONS CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOR FURTHER REVIEW.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCY BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATION SHOWN ON THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING DESIGN AND OPERATIONS, AS REQUIRED, TO PROTECT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

1. PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR EQUIPMENT OR SUPPLIES OR AS A DUMPING AREA FOR SOLID MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
2. THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
3. ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE TIRE) SHALL BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE INFILTRATION BMP. 4. THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
5. DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A DISC HARROW OR DISC HARROW AND THEN SHOOTED OUT WITH A LEVELING DRAW or EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
6. FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECH ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES. IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION, IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING IMMEDIATELY.
7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

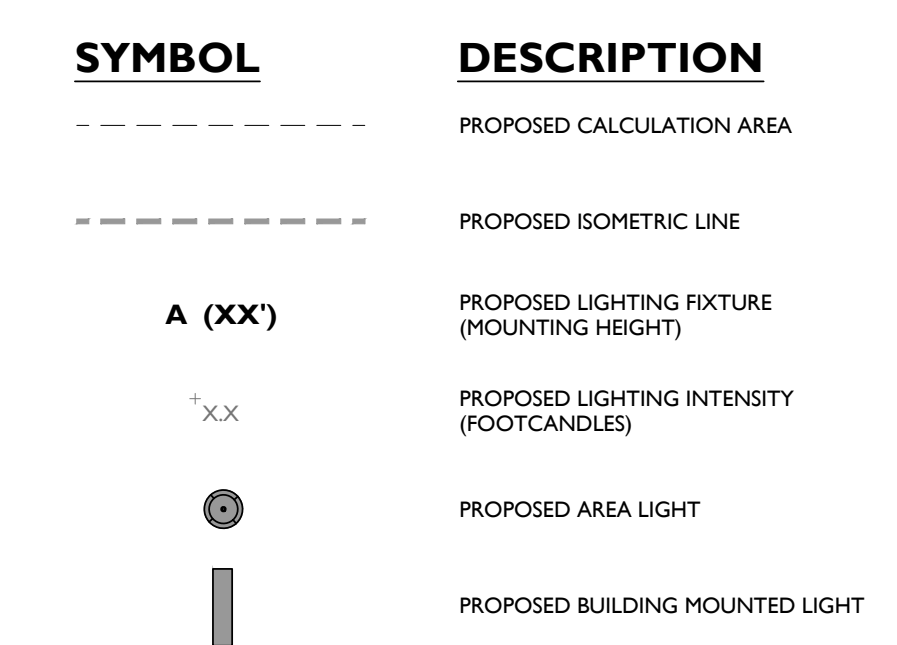
1. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.





# C-5

**BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY**





PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	13	S SERIES - 4 FT - CANOPY LIGHT - 3000K - 27.7 WATT *	SYMMETRICAL	0.90	LSI LIGHTING	S4-LED-40L-30.1ES
	B	4	TX03 - AREA LIGHT - 4000K - 35.4 WATT	TYPE III	0.90	HADCO LIGHTING	TX0332-G3-3-740-3.1ES

(\*) SIMILAR FIXTURES ARE PERMITTED. CONTRACTOR SHALL PROVIDE CUT SHEETS AND SPECIFICATIONS PRIOR TO CONSTRUCTION FOR REVIEW AND APPROVAL.

DESIGN REQUIREMENTS		
CODE SECTION	REQUIREMENT	PROPOSED
§17:11-12B.3	STREET LAMP TYPE SHALL BE HADCO HAGERSTOWN V03 (50 WATTS) OR ITS FUNCTIONAL AND AESTHETIC EQUIVALENT	COMPLIES
§17:11-12C	WALL MOUNTED FIXTURES ARE ONLY PERMITTED IF DIRECTED INTO A SITE AND NOT POSITIONED TOWARDS NEIGHBORING PROPERTIES OR PUBLIC STREETS	COMPLIES
§17:11-12D	THE USE OF HIGH-PRESSURE SODIUM LIGHTING ATTACHED TO THE BUILDINGS OR LIGHT THE EXTERIOR OF THE BUILDING SHALL BE PROHIBITED	COMPLIES
§ 17:11-12E	<p><u>STREET FRONTAGE DECORATIVE LAMPSPOSTS:</u>            HEIGHT - 10 FT MINIMUM, 12 FT MAXIMUM            INTERVALS - 40 FT MINIMUM, 60 FT MAXIMUM</p> <p><u>INTERIOR WALKWAY DECORATIVE LAMPSPOSTS:</u>            HEIGHT - 10 FT MINIMUM, 12 FT MAXIMUM            INTERVALS - 30 FT MINIMUM, 40 FT MAXIMUM</p> <p><u>AVERAGE ILLUMINATION LEVELS:</u>            PARKING LOTS: 1.0 - 2.5 FC            PEDESTRIAN WALKWAYS: 0.5 - 1.0 FC</p>	HEIGHT: 12 FT INTERVAL: 60 FT
§17:11-12F		N/A
§ 17:11-12G.	<p>LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT OF NOT MORE THAN 25 FT OR THE LIGHTING OF THE BUILDING</p> <p>LIGHTING FOR PEDESTRIAN WAYS SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT OF NOT MORE THAN 12 FT</p>	2.0 FC 0.7 FC 12 FT 12 FT

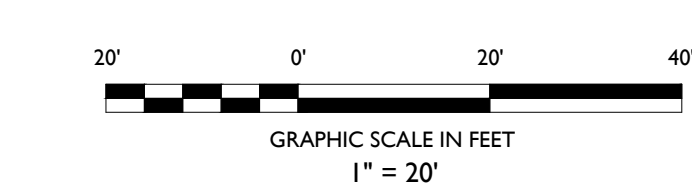
(W)	WAIVER
(N/A)	NOT APPLICABLE

STREETSCAPE DESIGN MANUAL REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
STREETSCAPE	MAXIMUM MOUNTING HEIGHT: 14 FT	12 FT
STREETSCAPE	PEDESTRIAN STREET LIGHTS: REQUIRED SPACING: 40 - 50 FT MINIMUM OFFSET FROM STREET TREES: 20 FT	60 FT (W) 15 FT (W)

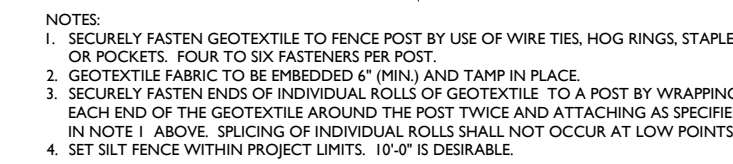
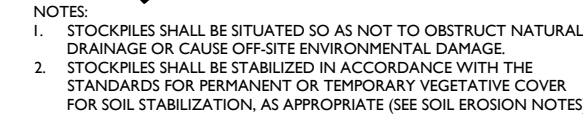
(W) WAIVER

### GENERAL LIGHTING NOTES


1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER'S ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. THE CALCULABLE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHTING LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
- LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER EXISTING/ PROPOSED FEATURES.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFELD ENGINEERING & DESIGN, LLC.

[illegible]





20' 0' 20' 40'



GRAPHIC SCALE IN FEET  
1" = 20'

**C-7**



NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN LANDSCAPE AREAS.



- 20' 0' 20' 40'
- GRAPHIC SCALE IN FEET  
1" = 20'

**NOT APPROVED FOR CONSTRUCTION**

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

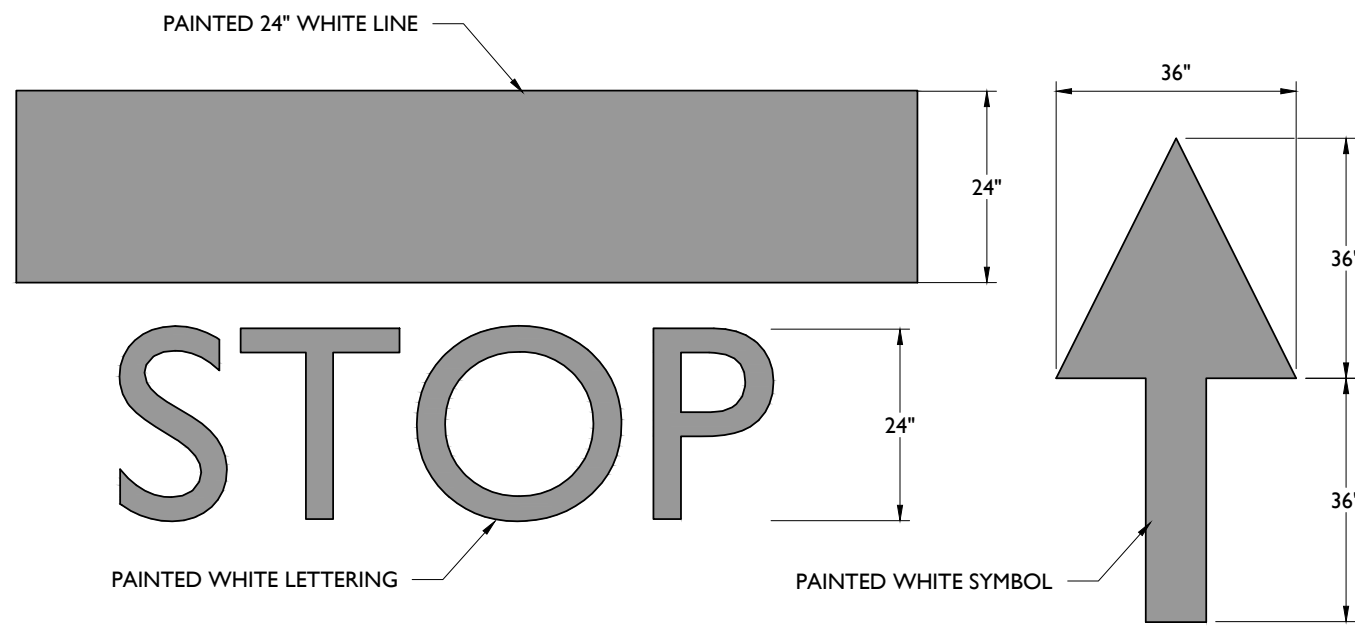
**BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY**

**C-8**









STOP BAR & ARROW DETAILS

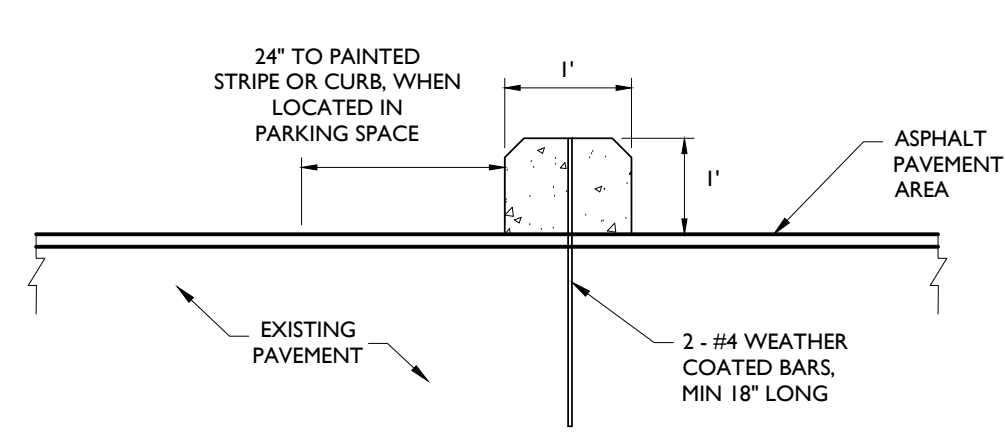
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND
NO LEFT TURN (R3-2)		CIRCLE AND DIAGONAL: RED LEGEND: BLACK	WHITE	24"x24"	GROUND

NOTE:  
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

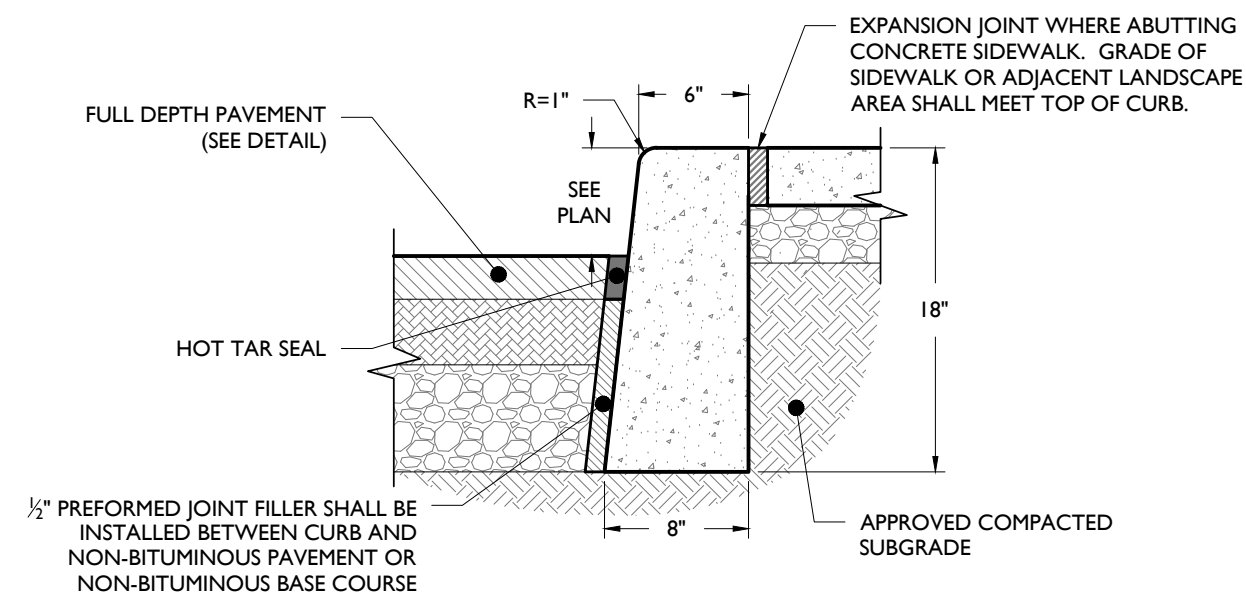
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CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

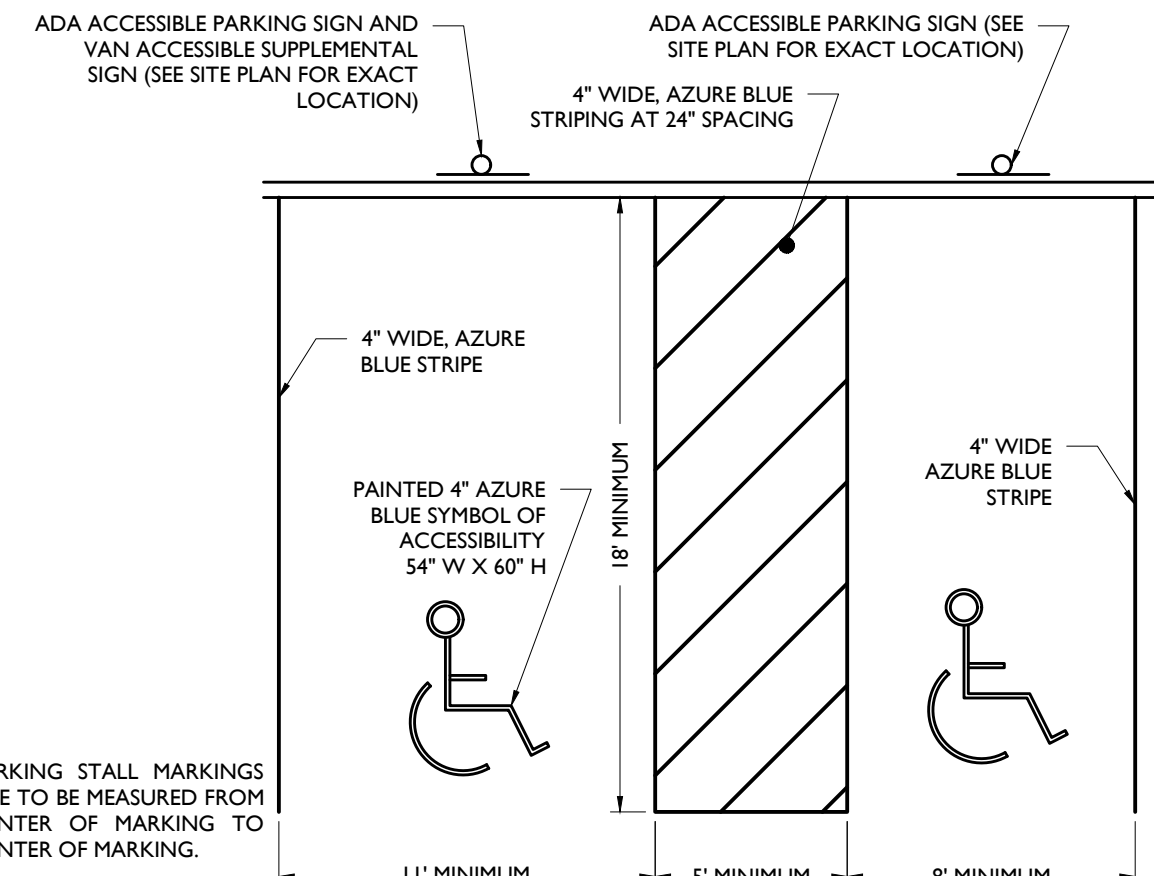
NOTES:  
1. ON CONCRETE PAVEMENT, SECURE WHEEL STOP WITH EPOXY BONDING AGENT.  
2. WHEEL STOP SHALL BE 6" LONG.  
3. WHEEL STOP SHALL BE PREFABRICATED CONCRETE.



CONCRETE CURB DETAIL

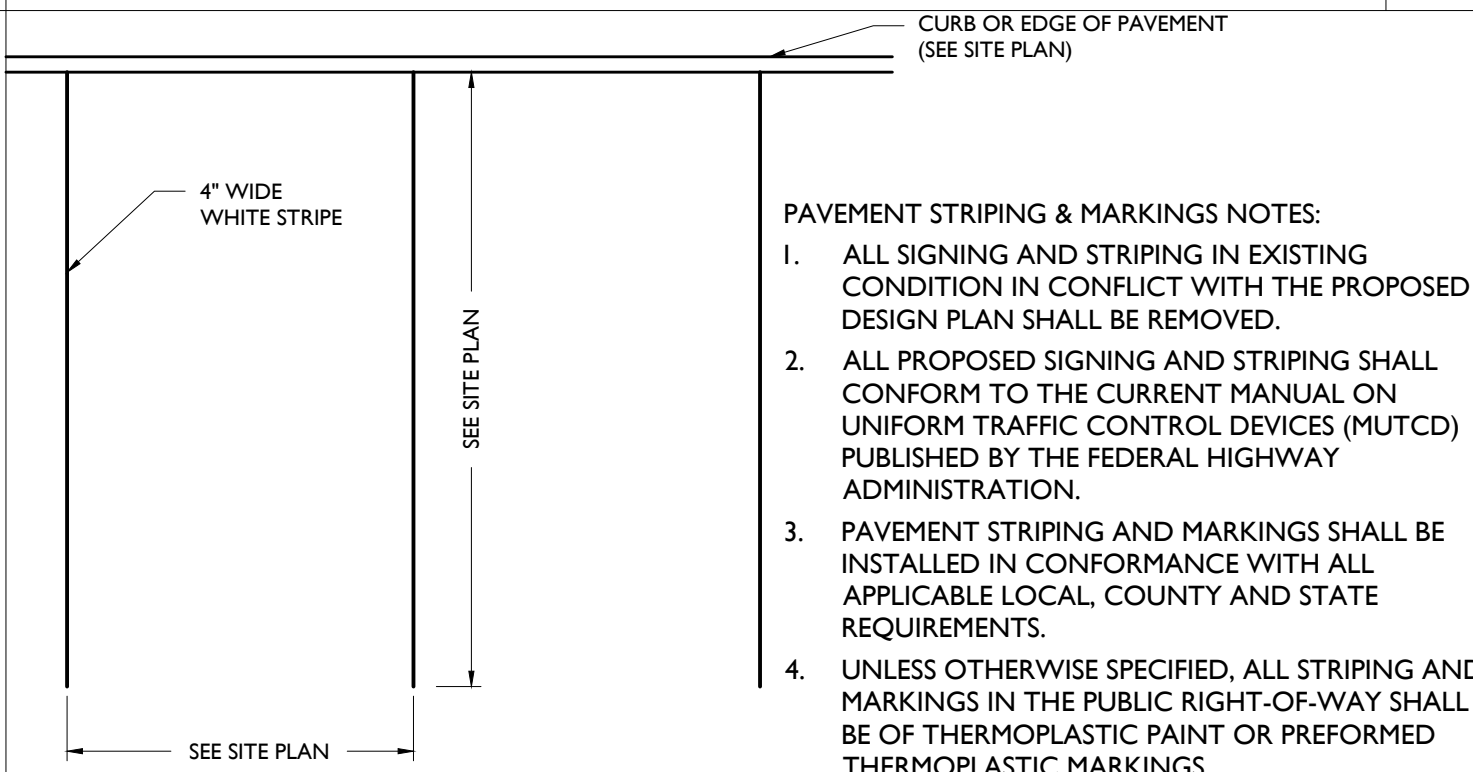
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NOTES:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.  
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.  
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



ACCESSIBLE PARKING STALL MARKINGS

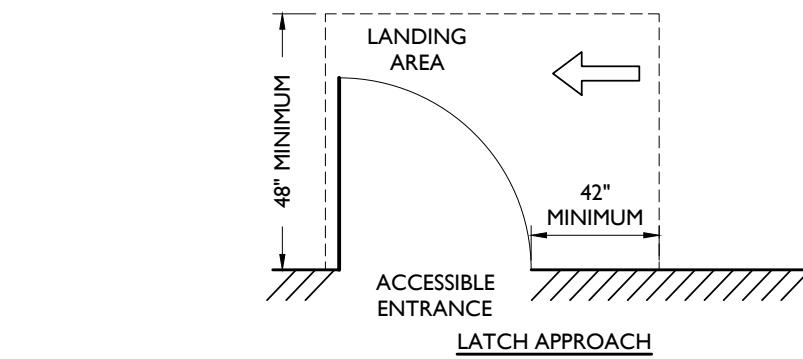
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PARKING STALL MARKINGS

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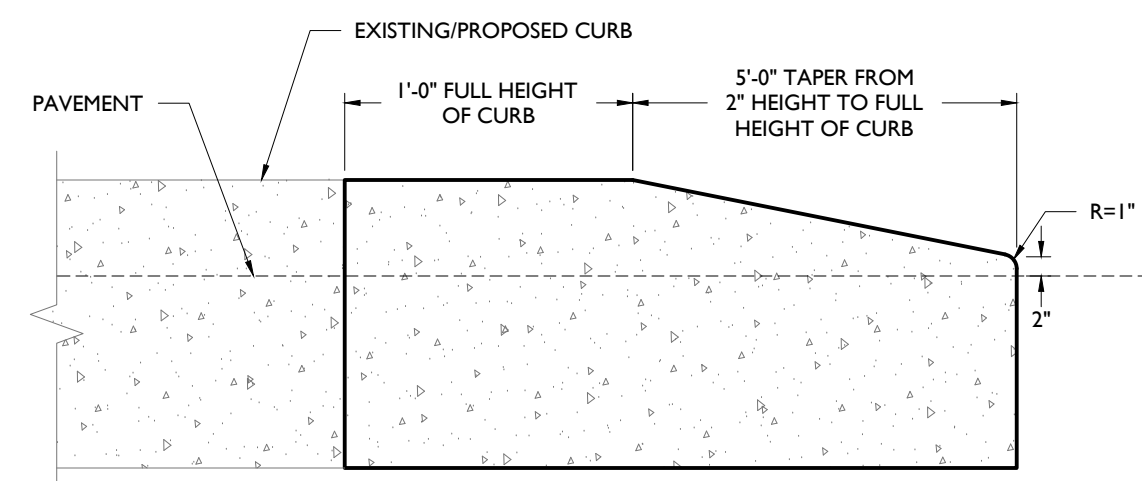
PAVEMENT STRIPING & MARKINGS NOTES:  
1. ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.  
2. ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.  
3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.  
4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.  
5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.



ACCESSIBLE ENTRANCE LANDING DETAIL

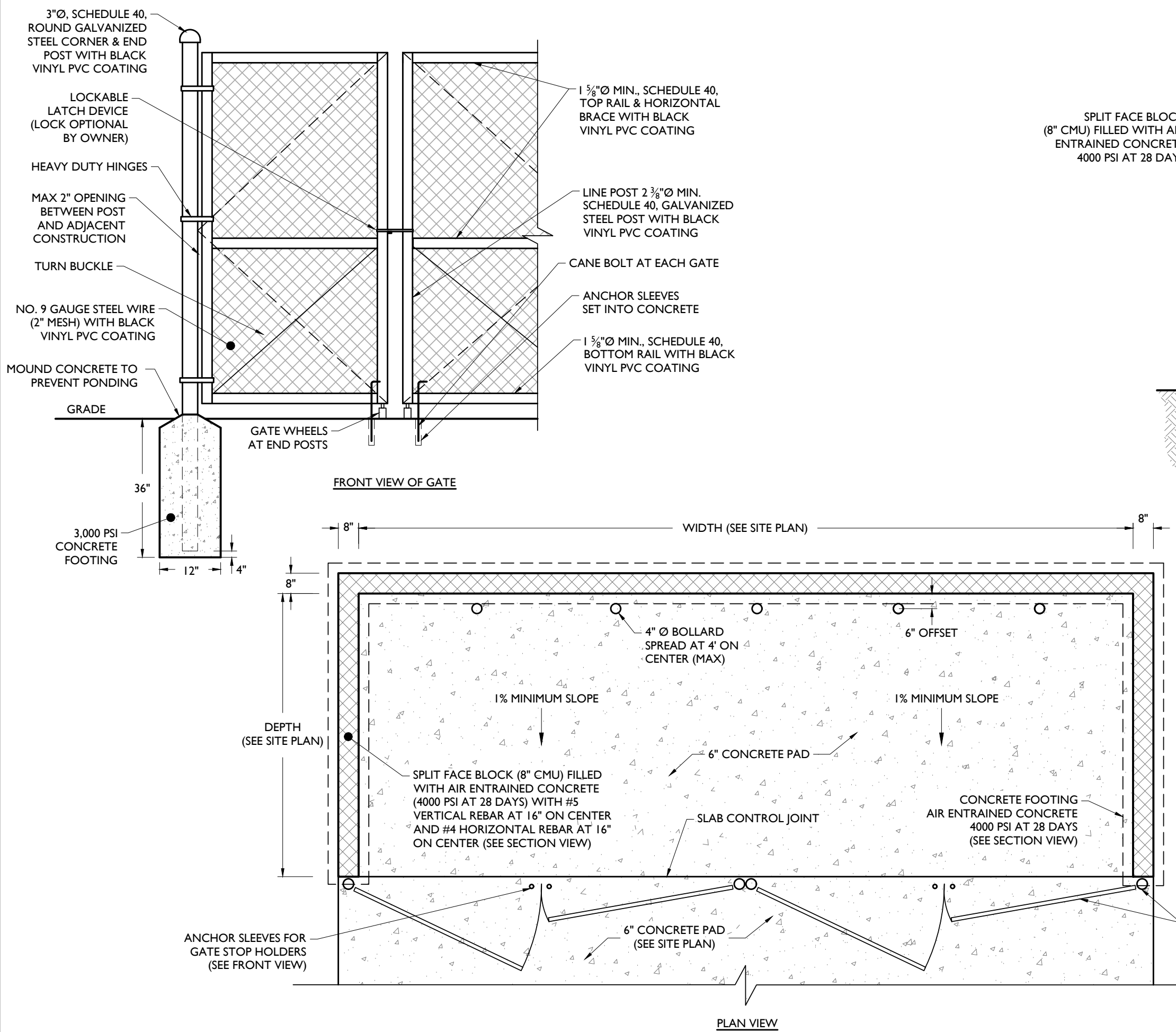
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NOTES:  
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS.  
2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.  
3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.



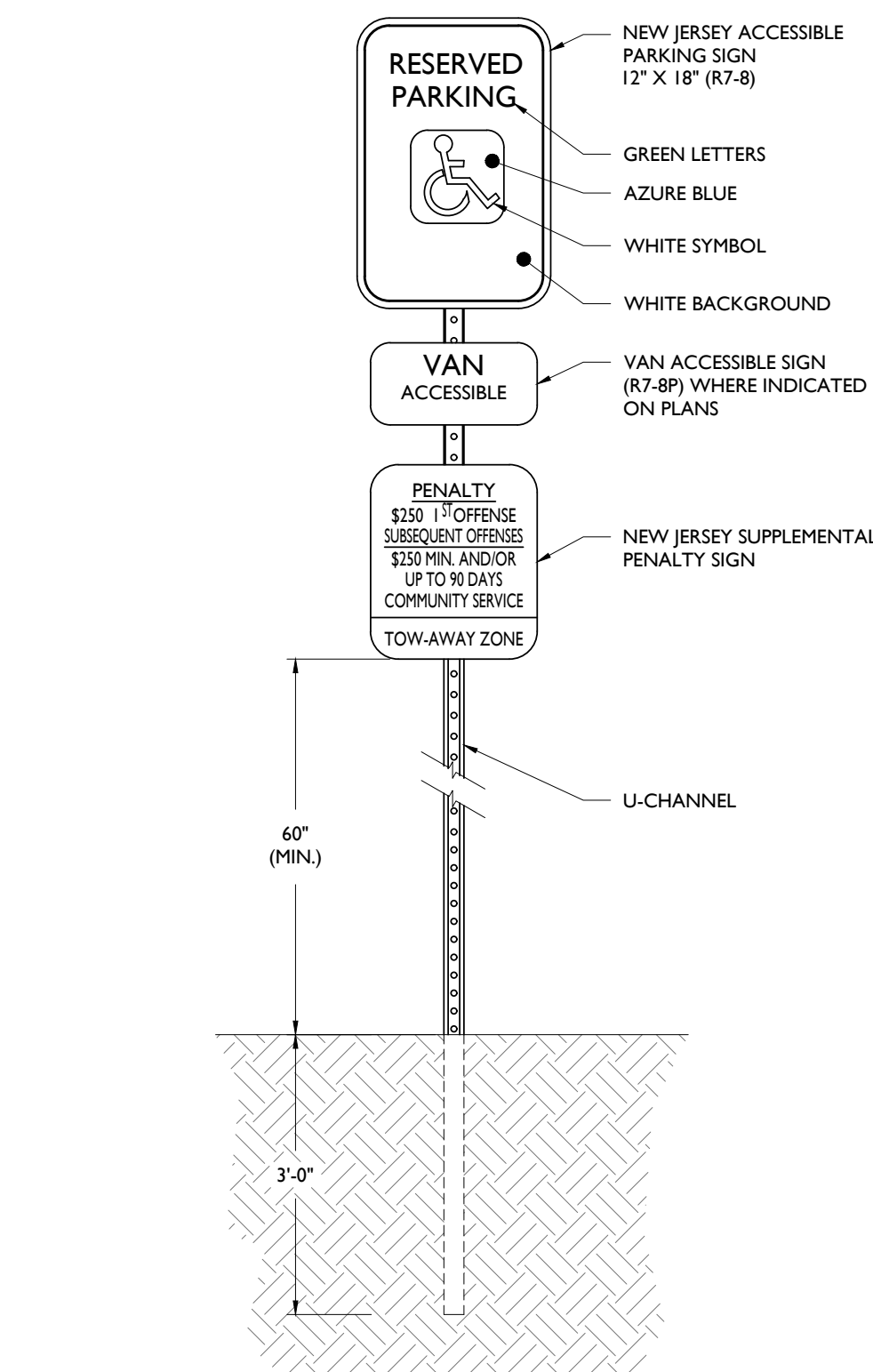
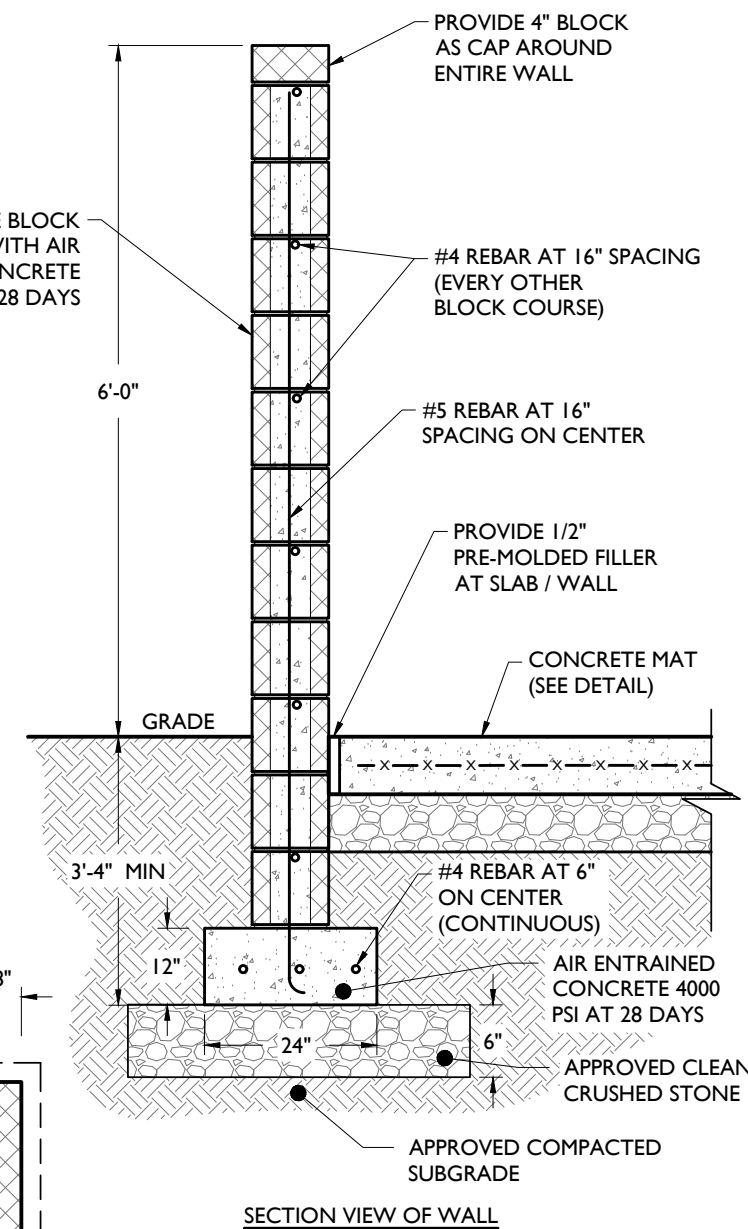
CURB TAPER DETAIL

NOT TO SCALE



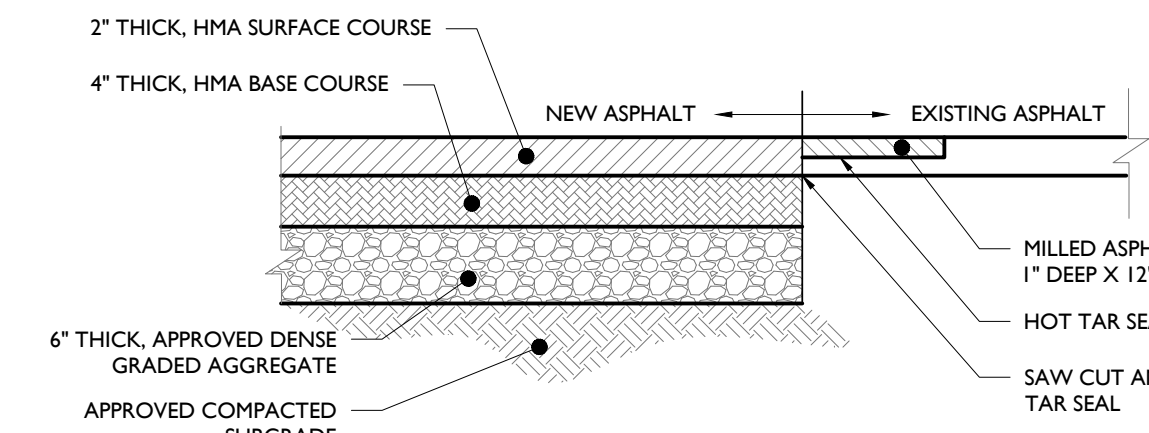
DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE



ACCESSIBLE PARKING SIGN DETAIL

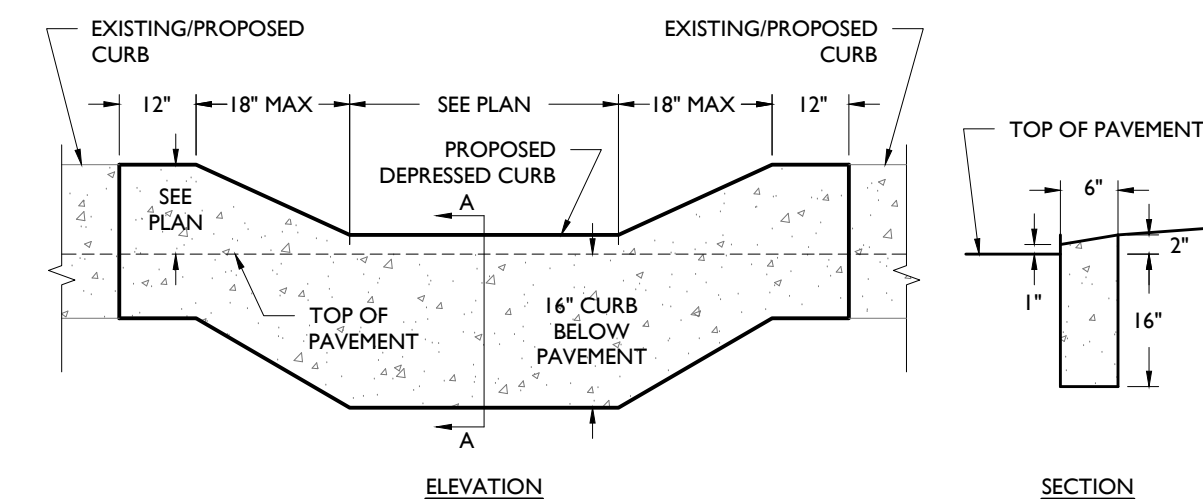
NOT TO SCALE



FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



DEPRESSED CURB DETAIL

NOT TO SCALE

NOTE:  
BLOCK COLOR TO MATCH BUILDING OR AS SPECIFIED BY OWNER

**STONEFIELD**  
engineering & design  
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Princeton, NJ • Tampa, FL • Detroit, MI  
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PRELIMINARY & FINAL MAJOR SITE PLAN  
**COMMUNIPAW ASSOCIATES, LLC**  
PROPOSED MULTI-FAMILY  
RESIDENTIAL BUILDING

BLOCK 705, LOT 10  
110-20 WEST 6TH STREET  
CITY OF PLAINFIELD  
UNION COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-200225

TITLE:  
**CONSTRUCTION  
DETAILS**

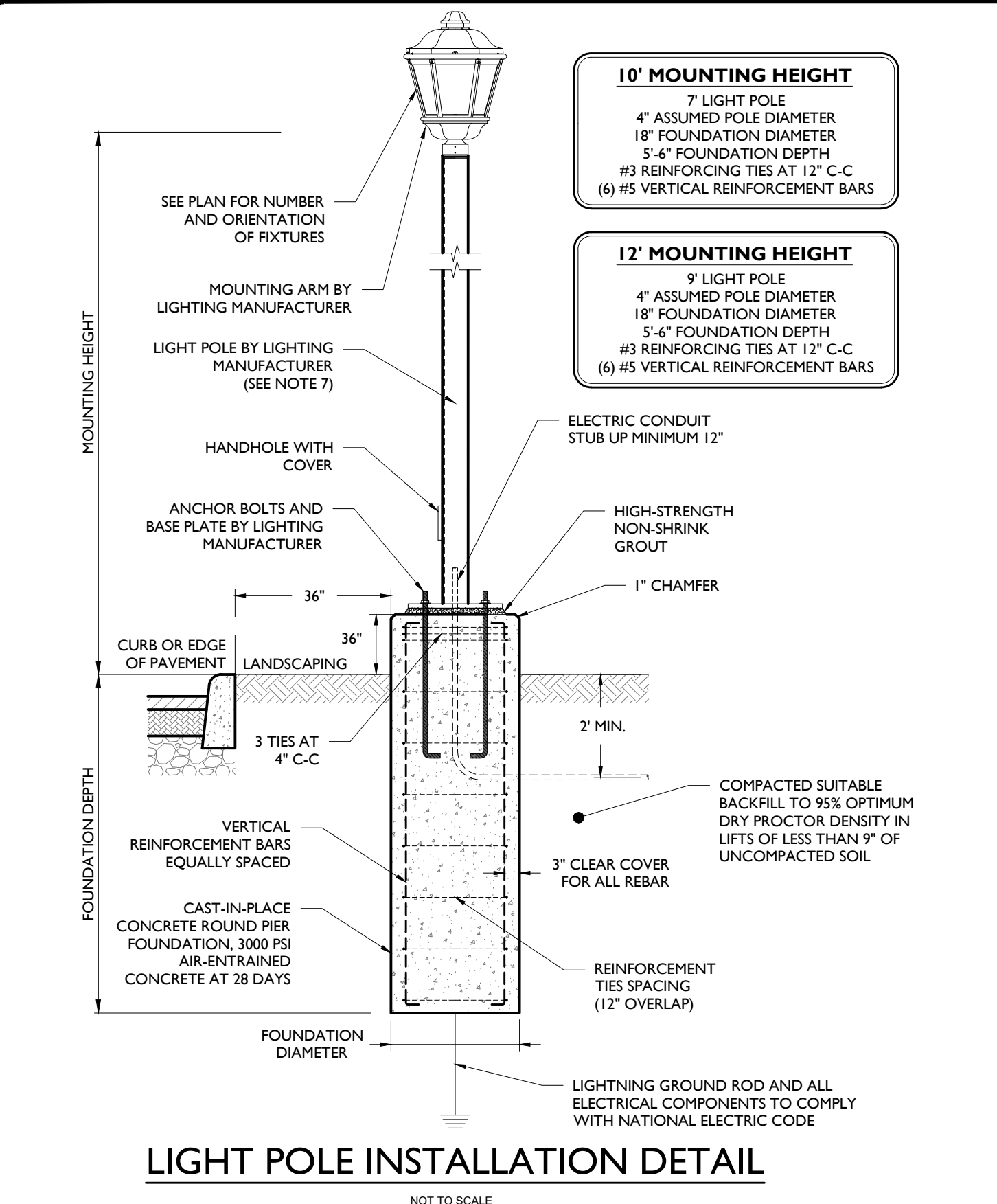
DRAWING:

**C-10**









- NOT TO SCALE
1. MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
3. ALL REBAR TO BE NEW GRADE 60 STEEL.
4. PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
7. POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/ASSE 7-93.
8. POUR TO BE TERMINATED AT A FORM.
9. WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

S4 LED Strip											
Luminaire Ordering Guide											
TYPICAL ORDER EXAMPLE: S4 LED 40L UNV DIM1 35 80CRI											
Family Size	LED	Lumen Package	Lens	Voltage	Driver	Color Temp	CRI	Controls	Options	Packaging	
S4 - 4' Strip	LED	20L - 2000 30L - 3000 40L - 4000 50L - 5000 60L - 6000 70L - 7000 80L - 8000 Custom Lumens?	(Blank) - None UNV - 120-277V 347-277V	DIM1 - Dims to 1% (0-10V) 5000 - 5000 dimming to 50% 50%?	30 - 3000K 40 - 4000K 50 - 5000K	30 - 3000K 40 - 4000K 50 - 5000K	80 CRI 90 CRI	(Blank) - None OCDS - Occupancy Sensor 120-277V (1300 Lumens) CHDS - Daylight harvesting/occupancy Sensor 120-277V	(Blank) - None EM10 - 10W Battery Backup (1300 Lumens) PM1 - SFT Pre-wired plug in assembly (standard) PM1M - SFT Pre-wired plug in assembly (0-10V Dimming) PM2 - SFT Pre-wired plug in assembly (0-10V Dimming) PM2M - SFT Pre-wired plug in assembly (0-10V Dimming)	(Blank) - Single Pack	
1. Consult factory for leadtime & DLC qualifications. 2. Not available with 347V. 3. Custom lenses and voltages available, consult factory. Values are within industry standard tolerances and not DLC listed.											
Accessory Ordering Information (Accessories are field installed)											
			Description: T-Grid Hanger Kit Order Number: (Qty 2) - 107050						Description: 34\"/>		
			Description: Chain Hanger Set (30\"/>						Description: 34\"/>		
			Description: Chain Hanger Set (30\"/>						Description: 34\"/>		
			Description: Wire Guard - 4 foot Order Number: (Qty 1) - 540301						Description: 34\"/>		

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10/30/20

LED Fixture 'A' Specification

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2

**HADCO**  
by @ignify

Urban  
Hagerstown  
TX03 Post top

Hado's Hagerstown LED post top gives you the ability to create a unique style through our modular post top concepts to blend into any residential and historic urban settings. With the latest LED technology you can seamlessly replace traditional HID technology to maximize energy savings and significantly reduce total cost of ownership. The Hagerstown luminaire provides excellent uniformity, traditional customizable look, with the benefits of modern technology.

Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
City: \_\_\_\_\_  
Type: \_\_\_\_\_  
Lamp: \_\_\_\_\_ Day: \_\_\_\_\_  
Notes: \_\_\_\_\_

Ordering guide

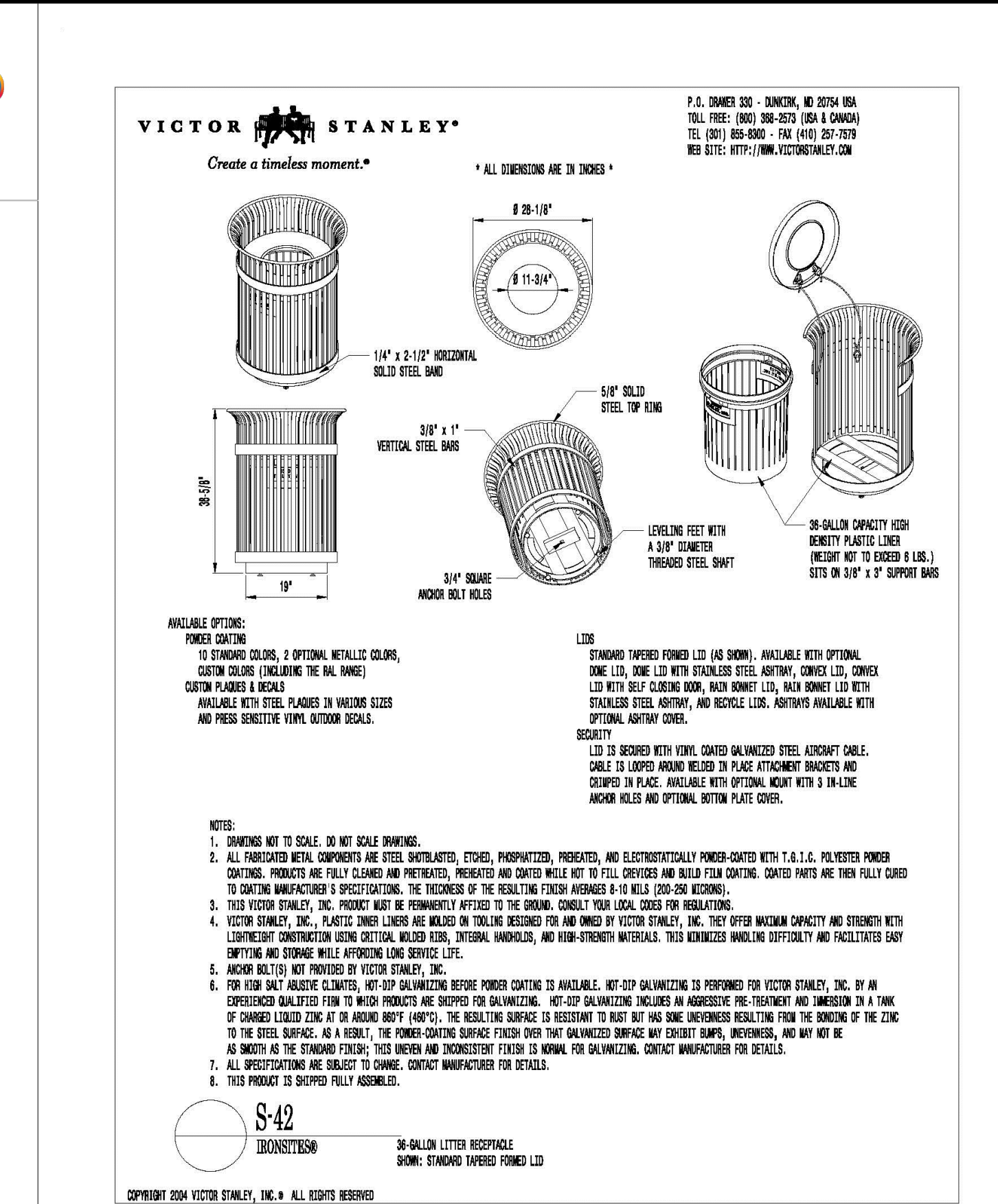
Series	LEDs	Gen.	Pods	Finials	Fasteners	Finishes	Optical System	Photo controls	
TX03	32 32	G3	Gen3	A Octagonal filler B Round filler C Fluted tapered hourglass filler D Smooth tapered hourglass filler E Tapered fluted filler F Tall round fluted filler G Round contemporary filler H Tapered fluted w/round stepped filler I Round fluted long filler J Decorative leaf filler K w/scalloped petals	A A finial B B finial C C finial D D finial E E finial F F finial G G finial H H finial N No finial	1 Hex head bolts 2 Allen head bolts	A Black B White C Verde H Bronze J Green	2 Type 2 2H Type 2 w/HSS 3 Type 3 3H Type 3 w/HSS 3WH Type 3 Wide w/HSS 4 Type 4 5 Type 5	Button eye photo controls E 120 VAC H 200/240/277 VAC K 347 VAC L Tank-lock receptacle M None

Ordering guide continued

Future Proof controls	Color Temp	Voltages	Currents	Driver Options	Surge protection
N 7-Fin Receptacle N None	730 3000K 740 4000K	A 120-277 VAC B 347-480 VAC	0 350mA 5 530 mA 7 700mA 9 900mA 1 1050mA	DA 4hrs 35% reduction DB 4hrs 50% reduction DC 4hrs 75% reduction DD 6hrs 25% reduction DE 6hrs 50% reduction DF 6hrs 75% reduction DG 8hrs 25% reduction DH 8hrs 50% reduction DI 8hrs 75% reduction N No dimming S PAKS Field adjustable wattage selector SRD Sensor ready driver (standard configuration) SRDI Sensor ready driver (ultimate configuration)	SP1 10W/100A (standard) SP2 20W/200A (optional)

1. Configurations with 48 (48) and 64 (64) LED array boards are not compatible with the 1050mA (1) driver current.  
2. Consult factory.  
3. Configurations with C.D.I. pods are not compatible with the Tank Lock receptacle (R) photo control.  
4. 87 is located on the top of the roof. No finial is required.

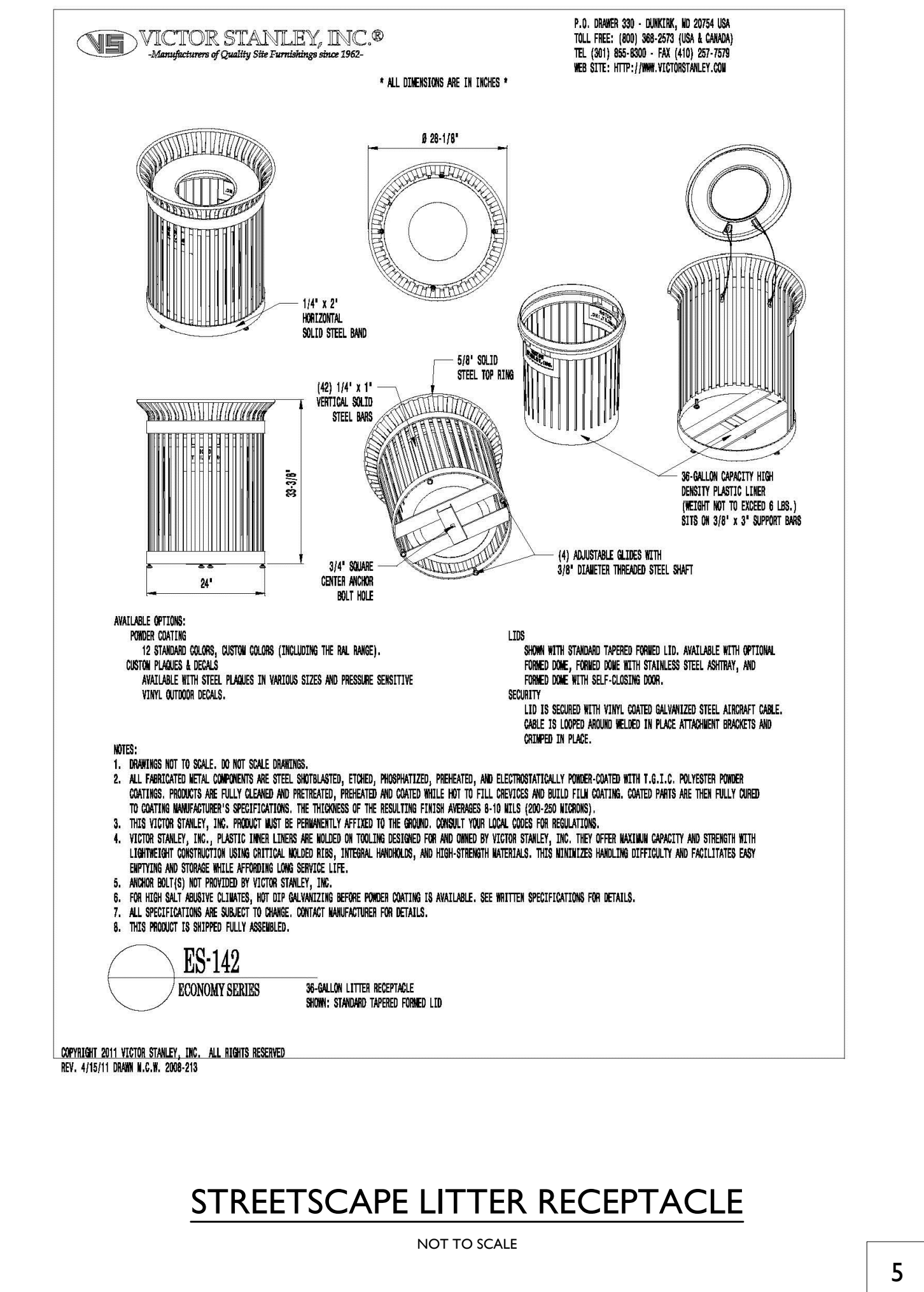
Urban\_Spec Sheet\_TX03.pdf 08/20 page 1 of 5



STREETSCAPE RECYCLING RECEPTACLE

NOT TO SCALE

4



STREETSCAPE LITTER RECEPTACLE

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PRELIMINARY & FINAL MAJOR SITE PLAN

COMMUNIPAW ASSOCIATES, LLC  
PROPOSED MULTI-FAMILY  
RESIDENTIAL BUILDING

PRELIMINARY & FINAL MAJOR SITE PLAN

**STONEFIELD**  
engineering & design

JOSHUA H. KLINE, P.E.  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN PROJECT ID: PRI-200225

DATE: 11/29/2021

DRAWING: C-12

11/29/2021

10/12/2021

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